



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 25100

**Owner Name:** Dogan and Susan Civgin

**Case Planner:** Anna Ginette, CP&B Director

**Date Posted:** \_\_\_\_\_

**Date Approved:** 04/15/2025

**Project Location:** Carmelo St. 2-SE of 10th Ave.

**APN #:** 010275017000      **BLOCK/LOT:** Q/4

**Applicant:** Adrian Lopez - Forma Design Studio

**Project Description:** This approval of Design Study DS 25100 (Civgin) authorizes a project to replace (3)-Doors and (9)-Windows "like for like" with no structural changes and colors to match existing located at Carmelo St. 2-SE of 10th Ave. in the R-1 District and, APN: 010275017000 as depicted in the plans stamped approved by Community Planning and Building Department on 04/15/2025 unless modified by the conditions of approval contained herein.

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*



## FINDINGS AND CONDITIONS

**Project:** DS 25100 (Civgin)

**Location:** Carmelo Street 2 southeast of 10th Avenue; 010-275-017-000

**Date of Action:** April 15, 2025

### Project Description:

**DS 25100 (Civgin)** authorizes the approval of Design Study DS 25100 (Civgin) for a project to replace (3)-Doors and (9)-Windows "like for like" with no structural changes and colors to match existing located at Carmelo St. 2-SE of 10th Ave. in the R-1 District and, APN: 010275017000 as depicted in the plans stamped approved by Community Planning and Building Department on 04/15/2025 unless modified by the conditions of approval contained herein.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.		
For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate the Staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).		
<b>CMC 17.58.060.B Findings for Design Review Approval</b>	YES	NO
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
<b>Additional Staff Analysis/Discussion:</b> N/A. Streamlined permit with no special conditions.		

ENVIRONMENTAL REVIEW
The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i> , "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i> , the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.
<b>Finding:</b> The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15301 (Class 1) – Existing Facilities, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.
<b>Additional Staff Analysis/Discussion:</b> N/A. Streamlined permit with no special conditions.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<b>Authorization.</b> This approval of Design Study DS 25100 (Civgin) authorizes a project to replace (3)-Doors and (9)-Windows "like for like" with no structural changes and colors to match existing located at Carmelo St. 2-SE of 10th Ave. in the R-1 District and, APN: 010275017000 as depicted in the plans stamped approved by Community Planning and Building Department on 04/15/2025 unless modified by the conditions of approval contained herein.
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	<b>Permit Required.</b> <p><input type="checkbox"/> A Building Permit shall be applied for and obtained from the <a href="#">Building Division</a> prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division.</p> <p><input checked="" type="checkbox"/> A building permit is not required; however, the applicant shall apply for and obtain a Notice of Authorized Work from the Building Division prior to commencement of work. To apply for the Notice of Authorized Work, please submit the <a href="#">Scope of Work Declaration</a> through the city's <a href="#">online permit portal</a>.</p>
4.	<b>Permit Validity.</b> The project shall be implemented in accordance with the time limits set forth <a href="#">CMC 17.52.170 (Time Limits on Approvals and Denials)</a> . During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	<b>USA North 811.</b> Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

9.	<b>Conditions of Approval.</b> Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	<b>Tree Removal Prohibited.</b> Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	<p><b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.</li> <li>• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> </ul> <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. <b>The Forester can be reached at 831-620-2073.</b></p>
12.	<b>Foundation Work Near Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

SPECIAL CONDITIONS	
13.	N/A
14.	N/A
15.	N/A
16.	N/A
17.	N/A

\*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

Date

Once signed, please email to [sgorman@ci.carmel.ca.us](mailto:sgorman@ci.carmel.ca.us).

DATE	REVISION



P.O. Box 2094, Carmel, CA, 93921  
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formadesignstudio.com

Prepared by:  
adrian@formadesignstudio.com

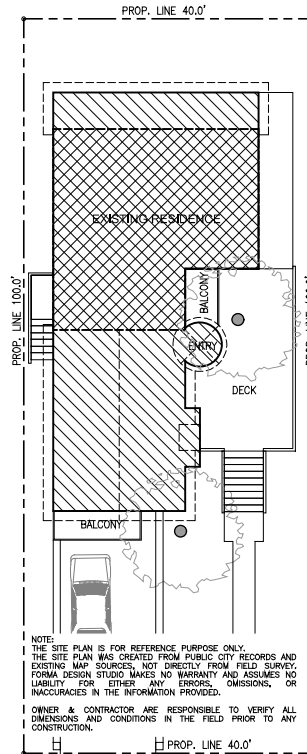
# CIVGIN RESIDENCE

## CARMELO ST. 2-SE of 10TH AVE.

### CARMEL by-the SEA, CALIFORNIA

#### DIVISION 1 - GENERAL REQUIREMENTS

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
    - a. THESE NOTES AND DRAWINGS.
    - b. ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
    - c. WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE DESIGNER'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
    - d. INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
    - e. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.
  - 1.2 SITE VERIFICATION - EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.
  - 1.3 CONSTRUCTION DOCUMENTS
    - a. THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
    - b. THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK.
    - c. THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.
    - d. THE DESIGNER IS NOT RESPONSIBLE FOR ANY INTERPRETATION OR MISINTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER FIRST.
    - e. THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.
  - 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
  - 1.5 ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.
  - 1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.
  - 1.7 ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL, AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
  - 1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMAL DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.
  - 1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.
  - 1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.
  - 1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.
- #### TREE PROTECTION NOTES
1. ESTABLISHMENT OF A TREE PRESERVATION ZONE (TPZ), CHAIN LINK OR ORANGE NETTING FENCING, WITH STAKES IN THE GROUND, NO LESS THAN 48 INCHES IN HEIGHT, SHALL BE INSTALLED AT THE DRIPLINE (THE PERIMETER OF THE FOLIAR CANOPY) OF THE TREE. THE INSTALLATION WILL BE DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING WILL NOT BE REMOVED WITHOUT THE CONSENT OF THE CONSULTING ARBORIST.
  2. NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS OR LIQUIDS OF ANY TYPE SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
  3. SOIL COMPACTION SHALL BE MINIMIZED WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 6" LAYER OF MULCH. TREE CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE.
  4. NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT. IF TREE ROOTS ARE UNHARMED DURING THE CONSTRUCTION PROCESS THE CONSULTING ARBORIST WILL BE NOTIFIED IMMEDIATELY. EXPOSED ROOTS WILL BE COVERED WITH MOISTENED BURLAP UNTIL A DETERMINATION IS MADE BY THE ON SITE ARBORIST.
  5. ANY AREAS OF PROPOSED TRENCHING WILL BE EVALUATED WITH THE CONSULTING ARBORIST AND THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL TRENCHING IN THE TPZ ON THIS SITE WILL BE APPROVED BY THE ARBORIST. TRENCHING WITHIN A TREE'S DRIPLINE WILL BE PERFORMED BY HAND. TREE ROOTS ENCOUNTERED WILL BE AVOIDED OR PROPERLY PRUNED UNDER GUIDANCE OF THE CONSULTING ARBORIST.
- #### DECONSTRUCTION NOTES
1. PRIOR TO COMMENCING DECONSTRUCTION OR DEMOLITION CONTRACTOR SHALL REMOVE ALL ITEMS SUITABLE FOR SALE OR SALVAGE. THESE ITEMS SHALL BE DESIGNATED DURING A COMPREHENSIVE WALK-THROUGH WITH THE PROJECT MANAGER AS OWNER'S REPRESENTATIVE.
  2. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING AS REQUIRED AT ALL AREAS WHERE EXISTING FOOTINGS, WALLS BEAMS AND HEADERS ARE DESIGNATED TO BE REMOVED. CONTRACTOR SHALL VERIFY THESE REQUIREMENTS WITH THE PROJECT ENGINEER PRIOR TO COMMENCING WORK.
  3. DEMOLITION AND DECONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTEREY BAY UNITED AIR POLLUTION CONTROL DISTRICT RULE 439.
  4. SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING DURING THE ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REMOVAL PROCESS.
  5. DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
  6. COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MPH PER HOUR.
  7. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT STRUCT. ENGINEER OF ANY CONDITION DISCOVERED DURING DEMOLITION OR DECONSTRUCTION WHICH MAY REQUIRE REVISION OF THE PROJECT DRAWINGS AND DETAILS OR WHICH MAY AFFECT PROJECT TIME LINE OR COSTS.



SITE LEGEND

- EXISTING MAIN FLOOR
- EXISTING UPPER FLOOR

EXISTING SITE PLAN



Scale  
1/8"=1'-0"

1

#### SITE INFORMATION 1

##### DESIGN TEAM ASSOCIATED WITH THIS PROJECT

**forma** Design Studio: Engineer of Record: N/A  
PO Box 2094 -  
Carmel, CA 93921 -  
formadesignstudio.com -  
Ph: 831,521,5924 -

General Contractor: Lic. 436776 Energy Compliance: N/A  
Douglas Campbell -  
PO Box 1150 -  
Monterey, CA 93942 -  
dfc1954@sbcglobal.net -  
Ph: 831,809,0665 -

THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

##### APPLICABLE CODES FOR THIS PROJECT:

- 2022 California Building Code (CBC)
- 2022 California Residential Code (CRC)
- 2022 California Fire Code (CFC)
- 2022 California Plumbing Code (CPC)
- 2022 California Mechanical Code (CMC)
- 2022 California Electrical Code (CEC)
- 2022 California Energy Code (CEnc)
- 2022 California Green Building Code (CGB)
- 2022 City of Carmel Municipal Code & State Regulatory Requirements

##### PROPOSED PLANS

SHEET G-1.1	PROJECT INFORMATION - PLOT PLAN - NOTES
SHEET G-1.2	GENERAL NOTES
SHEET G-1.3	CGBC RESIDENTIAL MANDATORY MEASURES
SHEET G-1.4	CONSTRUCTION BEST MANAGEMENT PRACTICE NOTES
SHEET A-1.0	AS-BUILT FLOORS - DOOR & WINDOW SCHEDULE
DOORS - SHOP DRAWINGS	
SHEET-1	DOOR CONFIGURATION
SHEET-2	DOOR CONFIGURATION
WINDOWS - SHOP DRAWINGS	
SHEET-1	WINDOW CONFIGURATION
SHEET-2	WINDOW CONFIGURATION
SHEET-2	WINDOW CONFIGURATION

Job Number  
2025-05  
Date  
03-27-25  
Revision  
Drawn By  
FDS

Sheet Number

G-1.1

of Sheets

SHEET INDEX 2

PROJECT INFORMATION



DATE	REVISION



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Prepared by:  
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CIVGIN RESIDENCE  
CARMEL ST. 2-SE of 10th AVE.  
CARMEL BY THE SEA, CALIFORNIA

- C. GENERAL MATERIAL SPECIFICATIONS
1. MORTAR MIX: MORTAR TO BE USED ON CONSTRUCTION OF MASONRY WALLS, SHALL CONFORM TO ASTM C 270 TYPE S OR M.
  2. GROUT MIX: GROUT SHALL COMPLY WITH ARTICLE 2.2 OF TMS 602/ACI 530.1/ASCE6.
  3. MASONRY: THE MASONRY UNITS SHALL COMPLY WITH ASTM C55 FOR CONCRETE BRICK; ASTM C 73 FOR CALCULUM SILICATE FACE BRICK; ASTM C 90 FOR LOAD BEARING CONCRETE MASONRY OR ASTM C 14 FOR PREFACED CONCRETE AND CALCIUM SILICATE MASONRY UNITS.
  4. REINFORCING STEEL: THE REINFORCING STEEL USED IN CONSTRUCTION OF REINFORCED MASONRY OR CONCRETE STRUCTURES SHALL CONFORM TO ARTICLE 2.4 OF TMS 602/ACI 530.1/ASCE6.
  5. STRUCTURAL STEEL: STEEL USED AS STRUCTURAL SPECIES SUCH AS WIDE FLANGE SECTIONS, CHANNELS, PLATES, ANGLES SHALL COMPLY WITH THE SPECIFIED ASTM STANDARD OR SPECIFICATION AND THE PROVISIONS OF CHAPTER 22 OF THE CRC.
  6. ROOFING AND WEATHERPROOFING
    1. ALL WEATHER-EXPOSED SURFACES REQUIRE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR SURFACES COMPLYING WITH ASTM D 226, ONE LAYER NO. 15, TEXT. SEE EXCEPTIONS. (SEC. R703.2.)
    2. FLASHING AND COUNTERFLASHING, EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. ALL PARAPETS SHALL BE PROVIDED WITH COPING OF APPROVED MATERIALS. ALL FLASHING, COUNTERFLASHING AND COPING, WHEN OF METAL, SHALL NOT BE OF LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL. (SEC. R 903.2.1.)
    3. WATERPROOFING WEATHER-EXPOSED AREAS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 1/4" INCH VERTICAL IN 12 UNITS HORIZONTAL. (2% SLOPE) FOR DRAINAGE. AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, FLASHING AND COUNTERFLASHING SHALL BE PROVIDED AS REQUIRED IN SEC. R903.
    4. DAMPROOFING FOUNDATION WALLS: FOUNDATION WALLS ENCLOSING A BASEMENT BELOW FINISHED GRADE SHALL BE DAMPROOFED OUTSIDE BY APPROVED METHODS AND MATERIALS. (SEC. R406.1.)
    5. WINDOW WELLS: SHALL BE A MINIMUM OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
    6. ROOF COVERING: ASPHALT SHINGLE, WOOD SHINGLE OR SHAKE, TILE AND MINERAL SURFACING, BUILT-UP ROOFING SHALL BE INSTALLED PER APPLICABLE REQUIREMENTS OF CHAPTER 9.
    7. WOOD SHINGLE AND WOOD SHAKE ROOFS: WOOD ROOF COVERING MATERIAL SHALL BE PRESSURE TREATED FOR FIRE RETARDANCY MEETING A MINIMUM OF CLASS C RATING.
    8. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES OR ARE DESIGNED TO SUPPORT ACCUMULATED WATER, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. ROOF DRAINS SHALL BE ADEQUATE IN SIZE TO CONVEY THE WATER TRIBUTARY TO THE ROOF DRAINAGE LOCATIONS. OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SUFFERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS MAY BE INSTALLED IN ADJACENT PARAPET WALLS WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ADJACENT ROOF AND HAVING A MINIMUM OPENING HEIGHT OF 4". OVERFLOW DRAINS SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT FROM THE ROOF DRAINS. ROOF DRAINS AND OVERFLOW DRAINS, WHEN LOCATED 2" ABOVE THE LOW POINT OF THE ADJACENT ROOF, SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
    9. ATTIC VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300 PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED IDENTIFICATION LOCATED 24" IN THE UPPER PORTION OF THE SPACE TO BE VENTED AT LEAST 18" FROM THE CEILING. ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION. (SEC. R806.1.) PROVIDE 1/2 OF THE AREA SPACE BETWEEN INSULATION AND THE ROOF SHEATHING AT EAVE OR CORNICE VENTS.
    10. WEEP SCREED: ASTM C 926, A WEEP SCREED WITH A MINIMUM 3/16" VERTICAL ATTACHING FLANGE SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE FOR ALL EXTERIOR STUCCO WALLS FINISHED ON THE EXTERIOR WITH STUCCO. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE EAVE OR 2" ABOVE FAWED BASES. (SEC. R703.6.2.1.)
    11. TWO LAYERS OF GRADE D PAPER ARE REQUIRED OVER WOOD BASE SHEATHING WHEN STUCCO IS USED. (SEC. R703.6.3.)
  - E. GENERAL
    1. ATTIC ACCESS: ATTIC AREAS SHALL BE ACCESSIBLE BY AN OPENING NO LESS THAN 22" X 30", WITH A FURNACE IN THE ATTIC THE OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. THE ATTIC ACCESS LOCATION SHALL BE IN A HALLWAY OR OTHER READY ACCESSIBLE LOCATION. (SEC. R807.1.) 30 MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.
    2. SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 72" ABOVE THE DRAIN INLET WITH SMOOTH, HARD, NONABSORBENT SURFACES. GLAZING USED IN WALLS, DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, WATER RESISTANT GLASS OR SHALL NOT BE USED.
    3. ELECTRIC METER ENCLOSURE: CIPUTAC PACIFIC GAS & ELECTRIC COMPANY, CUSTOMER EXTENSION PLANNING DEPARTMENT, FOR METER LOCATION. ALL WIRING MUST COMPLY WITH THE CURRENTLY ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE.
    4. FIRE WARNING SYSTEMS:
      - 4.1. GENERAL. DWELLING UNITS, CONGREGATE RESIDENCES AND HOTEL OR LODGING HOUSE GUEST ROOMS THAT ARE USED FOR SLEEPING PURPOSES SHALL BE PROVIDED WITH SMOKE ALARMS. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTRUCTIONS.
      - 4.2. ADDITIONS, ALTERATIONS OR REPAIRS. WHEN THE VALUATION OF AN ADDITION, ALTERATION OR REPAIR TO A GROUP R OCCUPANCY EXCEEDS \$1,000 AND A PERMIT IS REQUIRED, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING GROUP R OCCUPANCIES, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SEC.R314.
      - 4.3. POWER SOURCE. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE SMOKE ALARM SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDINGS WITH LOW VOLTAGE POWER (SEC. R314.4.)
      - 4.4. LOCATION WITHIN DWELLING UNITS. IN DWELLING UNITS, A SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS, A SMOKE ALARM SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT. IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS, THE SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL, EXCEPT WHEN AN INTERVENING DOOR IS PLACED BETWEEN THE LEVELS A SMOKE ALARM SHALL BE INSTALLED ON EACH LEVEL WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, THE SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL. IN CASE OF A FIRE IN PROXIMITY TO THE STAIRWAY, A SMOKE ALARM SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED (SEC.R314.3.)
      5. EMERGENCY ESCAPE OR RESCUE. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL RAMP OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS MAY BE 5.0 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT OVER THE FINISHED FLOOR SHALL BE 20". THE MINIMUM NET CLEAR OPENING WITH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. (SEC. R310). ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN PROXIMITY TO THE WINDOW WITH THE FOLLOWING:
        - THE CLEAR HORIZONTAL DIMENSIONS SHALL ALLOW THE WINDOW TO BE FULLY OPENED AND PROVIDE A MINIMUM ACCESSIBLE NET CLEAR OPENING OF 9 SQUARE FEET.
        - WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPPED WITH AN APPROVED PERMANENTLY AFFIXED LADDER OR STEPS THAT ARE PERMISSIBLE WITH THE WINDOW IN THE FULLY OPEN POSITION. THE LADDER OR STEPS SHALL NOT ENDOURCH INTO THE PROVED PLASTIC (SEC. 2406.3). THRESHOLDS TO BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22" DOOR (CPC 408.5).
    6. GLASS AND GLAZING: GLASS AND GLAZING SHALL SATISFY THE PROVISION OF CHAPTER 24, FEDERAL SPECIFICATIONS MAY TAKE PRECEDENCE. SEE YOUR GLAZING CONTRACTOR.
    7. COMPACTION REPORTS ARE REQUIRED FOR ALL FILL SOILS OVER 12" DEEP.
      8. IF THERE ARE CUTS MORE THAN TWO FEET, OR FILLS MORE THAN ONE FOOT IN HEIGHT, OR IF MORE THAN 200 CUBIC YARDS OF EARTH IS MOVED, A GRADING PERMIT IS REQUIRED.
    9. NATURAL DRAINAGE PATTERNS SHALL NOT BE ALTERED IN SUCH A WAY AS TO CONCENTRATE OR ALTER THE POINT OF DISCHARGE FOR DRAINAGE FLOWS.
    10. ALL PIPING PASSING THROUGH MASONRY OR CONCRETE WALLS SHALL BE SLEEVED IN AN APPROVED MANNER 313.10 CPC.

11. ABS DWV SYSTEMS ARE LIMITED TO 2-STORIES IN HEIGHT OF RESIDENTIAL OCCUPANCIES.
12. THE DISCHARGE LINE FROM AN EJECTOR PUMP OR OTHER MECHANICAL DEVICE SHALL BE EQUIPPED WITH AN ACCESSIBLE BACKFLOW VALVE OR SWING CHECK VALVE AND GATE OR BALL VALVE. REFER TO SECTION 710.4 CPC FOR VALVE LOCATION.
13. DRAINAGE PIPING SERVING FIXTURES LOCATED ON FLOORS BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY AN APPROVED BACKFLOW VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKFLOW VALVE.
14. PERMANENT VACUUM BREAKERS MUST BE INSTALLED ON ALL HOSE BIBBS.
15. IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
16. DUCTS FOR DOMESTIC KITCHEN RANGE VENTILATION SHALL BE OF METAL AND HAVE SMOOTH INTERIOR SURFACES AND HAVE A MINIMUM EXHAUST RATE OF 100 CFM.
17. DUCTS FOR DOMESTIC KITCHEN DOWNDRAFT GRILL-RANGE VENTILATION INSTALLED UNDER A CONCRETE SLAB MAY BE OF APPROVED SCHEDULE 40 PVS WHEN INSTALLED PER THE REQUIREMENTS LISTED IN SECTION 504.2 CMC AND THE MANUFACTURER'S SPECIFICATIONS.
18. DOMESTIC CLOTHES DRYER VENTS SHALL BE A MINIMUM OF 4 DIAMETER, MUST TERMINATE OUTSIDE THE BUILDING AND BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCT MUST BE OF METAL WITH SMOOTH INTERIOR SURFACES, SCREENS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW OF AIR ARE PROHIBITED. CHAP 5.
19. TERMINATION OF ENVIRONMENTAL EXHAUST AIR SHALL NOT BE CLOSER THAN 3-0' TO A PROPERTY LINE OR OPENING INTO THE BUILDING.
20. ROOMS CONTAINING A BATHTUB, SHOWER, SPA AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED PER THE CALIFORNIA MECHANICAL CODE, CBC SECTION 1203A.2.1, WITH AN EXHAUST FAN THAT COMPLIES WITH CGRS 4.508 AND SHALL INCLUDE THE FOLLOWING: HAVE A MIN. VENTILATION RATE OF 50 CFM BE EXHAUSTED TO THE OUTSIDE AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF CONTROLLING THE RELATIVE HUMIDITY OF ROOMS TO 50% OR LESS. THE HUMIDISTAT SHALL BE SEPARATE FROM AND INTEGRAL TO THE EXHAUST FAN. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FAN. IF, IF FAN IS INTEGRAL WITH THE LIGHTING IT SHALL BE POSSIBLE FOR THE LIGHTING TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.
21. FAN ASSISTED APPLIANCES MUST BE VENTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE CMC. CATEGORIES II, III AND IV MUST BE VENTED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
22. WARM-AIR FURNACES INSTALLED IN BEDROOMS AND/OR BATHROOMS SHALL COMPLY WITH CHAPTER 9 CMC.
23. DOMESTIC FREE-STANDING OR BUILT-IN RANGES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKTOP OF NOT LESS THAN 30 TO UNPROTECTED COMBUSTIBLE MATERIAL. SEC.916 CMC.
24. ALL 125-volt SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN BEDROOMS, KITCHENS, DINING ROOMS, BATHROOMS, REAR PORCHES, DECKS, TERRACES, PARTIAL PORCHES, RECREATION ROOMS, HALLWAYS, CLOSETS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT-CIRCUIT-INTERRUPTER(S), (AFCI).
25. ALL TABLES NOT REFERENCED ABOVE BUT SHOWN ON PAGES 7-10 ARE HEREBY INCORPORATED IN THE APPROVED PLANS.
26. GUARDS/GUARDRAILS: GUARDS SHALL BE LOCATED ALONG OPEN-ENDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 42" HORIZONTALLY TO THE EDGE OF THE OPEN EDGE. (SEC. R312.)  
EXCEPTIONS FOR OCCUPANCIES IN R-1, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2, GUARDS WHOSE TOP RAIL ALSO SERVES AS A (STAIRWAY) HANDRAIL SHALL HAVE A HEIGHT OF NOT LESS THAN 34" NOR MORE THAN 38" MEASURED VERTICALLY FROM THE LEADING EDGE OF THE STAIR TREAD NOSING. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH (SEC. R312.1.3).  
EXCEPTIONS:
  - 1) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE THAT A SPHERE 6" IN DIAMETER CANNOT PASS THROUGH (SEC.R 312.1.3 EXC. 1).
  - 2. WITHIN INDIVIDUAL DWELLING UNITS AND SLEEPING UNITS IN GROUP R-2 AND R-3 OCCUPANCIES, OPENINGS FOR REQUIRED GUARDS ON SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE OF 4 3/8 INCHES TO PASS THROUGH. (SEC. R312.3 EXC. 2).
28. ALL WATER FIXTURE FLOOR RATE REQUIRED PER CALIFORNIA GREEN BUILDING CODE (CGRB).
29. ALL HOT WATER LINES SHALL BE INSULATED WITH ONE INCH PIPE WRAP.
30. SOLDER OF WATER LINES WILL CONTAIN LESS THAN 0.2% LEAD.
31. PROVIDE A NON REMOVABLE BACK FLOW PREVENTION DEVICE AT ALL HOSEBIBBS.
32. HEATING AND COOLING EQUIPMENT LOCATED IN GARAGE, WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH FLOTS, SWITCHES AND BURNERS OR HEATING ELEMENTS AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL. (SEC. 303.1.3, CMC AND CPC, CHAP 5).
33. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SEC. 308, CMC.
34. WHIRLPOOL BATH
  - A REMOVABLE PANEL OF SUFFICIENT DIMENSION SHALL BE PROVIDED TO ACCESS THE PUMP.
  - THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN VEIN OF THE TRAP.
  - THE PUMP AND THE CIRCULATION PIPING SHALL BE SELF-DRAINING TO MINIMIZE WATER RETENTION IN ACCORDANCE WITH STANDARDS REFERENCED IN CPC TABLE 14-1.
  - SUCTION FITTING ON WHIRLPOOL BATH SHALL COMPLY WITH THE LISTED STANDARDS. (CPC SEC. 415.0-415.4)
  - PROVIDE 12 INCHES SQUARE MINIMUM ACCESS PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES WITH SLP-JOIN CONNECTIONS. SEC. 405.2, CPC.
35. PROVIDE A SEISMIC ANCHORAGE OR STRAPPING FOR WATER HEATERS. SEC. 510.5, CPC.
36. HOT WATER FAUCETS WITH MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER SOURCE SHALL HAVE A REGULATION SYSTEM PER MONETARY CODE REQUIREMENTS.
37. DWV AND WATER SUPPLY PIPING MATERIALS AND INSTALLATIONS SHALL CONFORM TO THE CPC.
38. TUB & SHOWER VALVES TO BE SINGLE CONTROL PRESSURE BALANCING ANTI-SCOLD TYPE.
39. WATER CLOSETS REQUIRE MIN. SPACE 30" WIDE BY 24" IN FRONT.
40. SHOWER CONTROLS SHALL BE ACCESSIBLE WITHOUT GETTING WET.
41. WATER CONSERVING PLUMBING FIXTURES (WATER CLOSETS & URINALS) SHALL COMPLY WITH THE FOLLOWING:
  - WATER CLOSETS: THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSIDE SPECIFICATION FOR TANK-TYPE TOILETS. (NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH OF ONE REDUCED FLUSH AND ONE FULL FLUSH. SECTION 4.303.1.1)
  - URINALS: THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH. SECTION 4.303.1.2.
  - WATER CONSERVING PLUMBING FITTINGS (FAUCETS AND SHOWER HEADS) SHALL COMPLY WITH THE FOLLOWING:
    - SHOWER HEADS: SINGLE SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSIDE SPECIFICATION FOR SHOWERHEADS. SECTION 4.303.1.3.2.
    - MULTIPLE SHOWERHEADS SERVING ONE SHOWER: THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD. SECTION 4.303.1.3.2.
- WHEN SHOWER IS SERVED BY MORE THAN ONE SHOWER-HEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE OF 1.8 GPM@80 PSIG. CAL GREEN 4.303.1.3.2
- FAUCETS: THE MAXIMUM FLOW RATE OF RESIDENTIAL FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS: THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.
- METERING FAUCETS: METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
- KITCHEN FAUCETS: THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTES AT 60 PSI.

- GENERAL NOTES
- APPLICABLE CODES: 2022 CBC, CRC, CPC, CMC, CGC, CEC, CGBC, CA ENERGY CODE AND LOCAL ORDINANCES.
- PROVIDE INSTALLATION OF CARBON MONOXIDE IN ALL OF THE FOLLOWING AREAS PER [CRC R315.2 AND R314.3]
- A) ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
  - B) IN EACH ROOM USED FOR SLEEPING PURPOSES WHERE FUEL BURNING APPLIANCES ARE INSTALLED.
  - C) IN EACH STORY WITH A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS WITH TWO OR MORE LEVELS, SMOKE ALARMS SHALL BE INSTALLED ON EACH LEVEL AND ON THE ADJACENT LOWER LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
  - D) CARBON MONOXIDE SENSORS MAY BE COMBINED CARBON MONOXIDE/SMOKE DETECTORS (CPC 315.4)
1. FOUNDATIONS AND UNDERFLOOR
    - A. CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS AND SHALL BE COMPOSED OF 1 PART CEMENT, 3 PARTS SAND, 4 PARTS OF 1" MAXIMUM SIZE ROCK, AND NOT MORE THAN 7 1/2 GALLONS OF WATER PER SACK OF CEMENT. (U.O.N BY ENGINEER OF RECORD)
    2. CONCRETE SLABS: SLABS ON A GRADE SHALL BE AT LEAST 5" THICK (SEC. R506.1), WITH A MIN. 15-MIL VAPOR BARRIER BENEATH SLAB. (U.O.N BY GEOLOGICAL REPORT)
    3. WOOD AND EARTH SEPARATION: FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 8" ABOVE THE ADJACENT FINISH GRADE. (SEC. R317.1). PROVIDE 18" CLEARANCE UNDER WOOD JOISTS AND 12" CLEARANCE UNDER WOOD ORDERS (SEC. R317.1).
    4. FOUNDATION REINFORCEMENT: FOUNDATIONS WITH STEM WALLS SHALL BE PROVIDED WITH A MINIMUM OF ONE NO. 4 BAR WITHIN 12" OF THE TOP OF THE WALL AND ONE NO. 4 BAR LOCATED 3 INCHES TO 4 INCHES FROM THE BOTTOM OF THE FOOTING. SLAB ON GRADE CAST MONOLITHICALLY WITH THE FOOTING MAY HAVE ONE NO. 5 BAR OR TWO NO. 4 BAR IN THE MIDDLE THIRD OF THE FOOTING DEPTH (R403.1.3.1). (U.O.N BY ENGINEER OF RECORD)
    5. TREATED WOOD: ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, IN DIRECT CONTACT WITH EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM EXPOSED GROUND, AND WOOD JOISTS CLOSER THAN 18" TO WOOD OR CONCRETE OR SUPPORTS CLOSER THAN 12" TO THE GROUND, SHALL BE PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH ANPA U1 OR PROVED WOOD OF NATURAL RESISTANCE TO DECAY (R317.1).
    6. ANCHOR BOLTS AND FOOTING SILLS: FOUNDATION PLATES AND SILLS SHALL HAVE FULL BEARING ON THE FOOTING WALL OR SLAB AND SHALL BE BOLTED TO THE FOUNDATION WITH 1/2 X 12 IN STEEL BOLTS EMBEDDED AT LEAST 7 INTO CONCRETE OR MASONRY AND SPACED NOT MORE THAN 6 PARTS. NOT LESS THAN TWO BOLTS PER PIECE, WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE, AND NOT CLOSER THAN 7 BOLT DIAMETERS FROM EACH END (R403.1.6). PLATE WASHERS 5 X 3/4 IN. O.D. SHALL BE USED ON EACH END OF EACH PIECE. (U.O.N BY ENGINEER OF RECORD)
  7. UNDER-FLOOR VENTILATION: UNDER-FLOOR AREAS SHALL BE VENTILATED BY OPENINGS IN FOUNDATION WALLS. VENT OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN ONE SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL-SPACE AREA. THE OPENINGS SHALL BE ARRANGED TO PROVIDE CROSS VENTILATION AT EACH WALLLINE CONTAINING VENTS. AT LEAST ONE VENT SHOULD BE LOCATED WITHIN 3' OF EACH CORNER OF THE BUILDING (R409.2).
  8. VENTS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION BEING 1/8" THICK.
  9. UNDERFLOOR ACCESS: UNDERFLOOR ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18" X 24". OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16" X 24" (R408.4).
  - B. WOOD FRAMING
    1. LUMBER: ALL JOISTS, RAFTERS, BEAMS, AND POSTS 2" TO 4" THICK SHALL BE NO. 2 GRADE DOUGLAS FIR-LARCH OR BETTER. ALL POSTS AND BEAMS 4" AND THICKER SHALL BE NO. 1 GRADE DOUGLAS FIR-LARCH OR BETTER (SEE ITEM B.15, FOR GRADE REQUIREMENTS FOR STUDS).
    2. WALL BRACING: BUILDINGS SHALL BE PROVIDED WITH EXTERIOR AND INTERIOR BRACED WALL LINES. SPACING SHALL NOT EXCEED 25 ON CENTER IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IN EACH STORY. (SEC.R602.10)
    3. CROSS BRIDGING: JOISTS EXCEEDING 2X12 SHALL BE SUPPORTED LATERALLY BY DIAGONAL BRIDGING, FULL-DEPTH BOARD OR A CONTINUOUS 1-INCH-BY-5-INCH STRIP NAILED ALONG THE BOTTOM OF THE JOIST NOT EXCEEDING 8". (R602.7.1.)
    4. PROVIDE BRIDGING AT THE ENDS AND AT THE SUPPORTS OF FLOOR JOISTS. (SEC. R502.7).
    5. DOUBLE JOISTS: FLOOR JOISTS SHALL BE DOUBLED UNDER BEARING PARTITIONS RUNNING PARALLEL WITH THE JOISTS. BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GRADERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH (SEC. R502.4).
    6. RAFTER PURLIN BRACES ARE TO BE NOT LESS THAN 40" TO THE HORIZONTAL, THE UNBRACED LENGTH OF PURLIN BRACES SHALL NOT EXCEED 8'. THE MAXIMUM SPAN OF 2" X 4" PURLIN SHALL BE 4 FEET. 2" X 6" PURLIN SHALL BE 6 FEET. IN NO CASE SHALL PURLINS BE SMALLER THAN THE SUPPORTED RAFTERS. (SEC. R602.2.1)
    7. RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER AT THE RIDGE, RIDGE BOARDS SHALL NOT BE LESS THAN NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE END OUT OF THE RAFTERS, VALLEYS AND HIPPS SHALL NOT BE LESS THAN 2 NOMINAL THICKNESS AND NOT LESS THAN THE END OUT OF THE RAFTER (SEC. R602.3).
    8. RAFTER TIES: RAFTER TIES SHALL BE SPACED NOT MORE THAN 4' ON CENTER WHERE RAFTERS AND CEILING JOISTS ARE OR PARALLEL. RAFTER TIES SHALL BE NOT MORE THAN 24" ON CENTER WITH TIE ROOFING. RAFTER TIES SHALL BE PROVIDED AS LOW AS POSSIBLE ON EACH RAFTER PACE (SEC. R602.3.1).
    9. PROVIDE 1/2" MINIMUM CLEARANCE BETWEEN TOP PLATES OF INTERIOR PARTITIONS AND BOTTOM CHORDS OF TRUSSES.
    10. PROVIDE DOUBLE 2" X 4" TOP PLATES WITH THE END JOINTS OFFSET AT LEAST 24" (SEC. R602.3.2.).
    11. NAILING/FASTENING SHALL BE IN COMPLIANCE WITH TABLE R602.3.1(1) OF THE CRC (SEE SHEET 7 OF THIS FORM).
    12. FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: (SECTION R302.11)
      - A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT TO EXCEED 10' B. AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOTTITS, DROP CEILINGS AND COVE CEILINGS.
      - C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
      - D. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS [WITH NON-COMBUSTIBLE MATERIALS].
      - E. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
    13. FIRE BLOCK CONSTRUCTION: EXCEPT AS PROVIDED IN SECT R302.11, ITEM 4 FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS.
      - A. 2 NOMINAL LUMBER.
      - B. TWO THICKNESSES OF 1" NOMINAL LUMBER WITH BROKEN LAP JOINTS.
      - C. ONE THICKNESS OF 2X4 WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 2X3/2 WOOD STRUCTURAL PANELS.
      - D. ONE THICKNESS OF 5/8 PARTICLE BOARD WITH JOINTS BACKED BY 3/4 PARTICLE BOARD.
      - E. ONE HALF INCH THICK Gypsum BOARD.
      - F. ONE-QUARTER INCH CEMENT BASED MILLBROAD.
      - G. BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
      14. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON RIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT FIREBLOCK FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS (SECTION R302.11.1.1).
      15. STUDS IN ONE STORY BUILDINGS SUPPORTING ONLY A ROOF ASSEMBLY, STUDS FOR EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE 2" X 4" ON CENTER. STUDS FOR INTERIOR WALLS SUPPORTING A FLOOR AND ROOF SHALL BE 2" X 4" ON CENTER. STUDS FOR INTERIOR NON-BEARING PARTITIONS MAY BE 2" X 3" AT 16" ON CENTER. STUDS NOT MORE THAN 8' LONG MAY BE UTILITY GRADE DOUGLAS FIR-LARCH OR BETTER WHEN SUPPORTING NOT MORE THAN 24" OF CEILING AND 10' FOR INTERIOR NONLOAD BEARING WALLS. STUDS LONGER THAN 8' LONG SHALL BE IN ACCORDANCE WITH TABLE R602.3(5).
      16. AN A.I.T.C. CERTIFICATE OF CONFORMANCE FOR GLUED LAMINATED WOOD MEMBERS SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.
      17. FRAMING AROUND OPENINGS, TRIMMER AND HEADER RAFTERS SHALL BE DOUBLED, OR OF LUMBER OF EQUIVALENT CROSS-SECTION, WHEN THE SPAN OF THE HEADER EXCEEDS 4'. THE ENDS OF HEADER RAFTERS MORE THAN 6' LONG SHALL BE SUPPORTED BY APPROVED RAFTER HANGERS UNLESS BEARING ON A BEAM, PARTITION OR WALL (SEC. R602.10).

Approved: 4/15/2025  
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DATE	REVISION



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ON-SITE FACILITIES:  
CONSTRUCTION TOILETS/PORTA-POTITIES WILL BE PLACED AROUND THE CONSTRUCTION SITE TO PROVIDE ACCESS TO ALL WORKERS. FACILITIES WILL BE RELOCATED AS NEEDED TO PROVIDE REASONABLE ACCESS.

SIENAGE:  
ALONG WITH THE HOURS OF OPERATION AND CONSTRUCTION TRAFFIC SIGNAGE, NAME AND PHONE NUMBERS FOR THE ON-SITE PERSON RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION MANAGEMENT PLAN WILL BE DISPLAYED ON JOBSITE SIGNS ALONG WITH NOTICES AND JOBSITE RULES.

CIVGIN RESIDENCE  
CARMEL ST. 2.5E OF 10th AVE.  
CARMEL BY THE SEA, CALIFORNIA

Job Number	2025-05
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G-1.3

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CBCG NOTES

2022 CGBC RESIDENTIAL MANDATORY MEASURES

SECTION REQUIREMENTS  
CHAPTER 1 – ADMINISTRATION

101.1.1 SCOPE  
APPLIES TO ALL NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS: LOW-RISE, HIGH-RISE, AND HOTELS/MOTELS.

CHAPTER 3 – GREEN BUILDING

- 301.1.1 ADDITIONS AND ALTERATIONS  
-APPLIES TO ADDITIONS OR ALTERATIONS OF RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE.  
-REQUIREMENTS ONLY APPLY WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.  
-NOTE: DIRECTS CODE-USERS TO CIVIL CODE SECTION 1101.1 ET SEQ., REGARDING REPLACEMENT OF NON-COMPLIANT PLUMBING FIXTURES.

DIVISION 4.2 – ENERGY EFFICIENCY

- 4.201.1 & 5.201.1 SCOPE  
-ENERGY EFFICIENCY REQUIREMENTS FOR LOW-RISE RESIDENTIAL (SECTION 4.201.1) AND HIGHRISE RESIDENTIAL/MOTELS/MOTELS (SECTION 5.201.1) ARE NOW IN BOTH RESIDENTIAL AND NONRESIDENTIAL CHAPTERS OF CALGREEN.  
-STANDARDS FOR RESIDENTIAL BUILDINGS DO NOT REQUIRE COMPLIANCE WITH LEVELS OF MINIMUM ENERGY EFFICIENCY BEYOND THOSE REQUIRED BY THE 2016 CALIFORNIA ENERGY CODE.

DIVISION 4.3 – WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)

- 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS, PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING:
  - 4.303.1.1 WATER CLOSETS: ≤ 1.28 GAL/FLUSH
  - 4.303.1.2 WALL MOUNTED URINALS: ≤ 0.128 GAL/FLUSH; ALL OTHER URINALS ≤ 0.5 GAL/FLUSH
  - 4.303.1.3.1 SINGLE SHOWERHEADS: ≤ 1.8 GPM @ 80 PSI
  - 4.303.1.3.2 MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME
  - 4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS: MAXIMUM FLOW RATE ≤ 1.2 GPM @ 60 PSI; MINIMUM FLOW RATE ≥ 0.8 GPM @ 20 PSI
  - 4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS OF RESIDENTIAL BUILDINGS: ≤ 0.5 GPM @ 60 PSI
  - 4.303.1.4.3 METERING FAUCETS: ≤ 0.25 GALLONS PER CYCLE
  - 4.303.1.4.4 KITCHEN FAUCETS: ≤ 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM
  - 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS  
PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

DIVISION 4.3 – WATER EFFICIENCY AND CONSERVATION (OUTDOOR WATER USE)

- 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS  
AFTER DECEMBER 1, 2015, NEW RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - 1. A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (WMELO), WHICHEVER IS MORE STRINGENT, OR
  - 2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2500 SQUARE FEET MAY COMPLY WITH THE WMELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.

DIVISION 4.4 – MATERIAL, CONSERVATION & RESOURCE EFFICIENCY (ENHANCED DURABILITY & REDUCED MAINTENANCE)

- 4.408.1 RODENT PROOFING  
ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUTITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

DIVISION 4.4 – MATERIAL, CONSERVATION & RESOURCE EFFICIENCY (CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING)

- 4.408.1 CONSTRUCTION WASTE REDUCTION OF AT LEAST 65%
  - RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2.2.
- 4.408.3 OR 4.408.4: OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE
  - DOCUMENTATION IS REQUIRED PER SECTION 4.408.5, EXCEPTIONS:
    - 1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
    - 2. ALTERNATIVE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL ENFORCING AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
    - 3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HUAL BOUNDARIES OF THE DIVISION FACILITY.
- 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN  
SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN MEETING ITEMS 1 THROUGH 5 IN SECTION 4.408.2. PLANS SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE FOR EXAMINATION DURING CONSTRUCTION.
- 4.408.3 WASTE MANAGEMENT COMPANY  
UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS IN SECTION 4.408.1.
- 4.408.4 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE  
-(LR) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED IN LANDFILLS, WHICH DO NOT EXCEED 3.4 POUNDS PER SQUARE FOOT OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.
  - PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.

DIVISION 4.4 – MATERIAL, CONSERVATION & RESOURCE EFFICIENCY (BUILDING MAINTENANCE & OPERATION)

- 4.410.1 OPERATION AND MAINTENANCE MANUAL  
AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COVERS 10 SPECIFIC SUBJECT AREAS SHALL BE PLACED IN THE BUILDING.

DIVISION 4.5 – ENVIRONMENTAL QUALITY (FIREPLACES)

- 4.503.1 GENERAL  
ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE, ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) APPLICATIONS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES.

DIVISION 4.5 – ENVIRONMENTAL QUALITY (POLLUTANT CONTROL)

- 4.504.1 PROTECTION DURING CONSTRUCTION  
AT THE TIME OF CONSTRUCTION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED. TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS ENTERING THE SYSTEM MAY BE USED.

- 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS  
ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:
  - 1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL, OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCQMD RULE 116B VOC LIMITS, AS SHOWN IN TABLES 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS SHALL ALSO COMPLY WITH RULE 116B PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2.2 BELOW.
  - 2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATUTORY VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507.

- 4.504.2.2 PAINTS AND COATINGS  
ALL COATINGS PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALLY COATING CATEGORIES UNDER IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT, OR NONHARDENING GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37, OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

- 4.504.2.3 AEROSOL PAINTS AND COATINGS  
AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(E)(1) AND (F)(1) OF THE CCR, TITLE 17, COMMENCING WITH SECTION 94507, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

- 4.504.3 CARPET SYSTEMS  
CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF 1 OF THE FOLLOWING:
  - 1. CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM  
CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
  - 3. NSF/ANSI 140 AT THE GOLD LEVEL
  - 4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD

- 4.504.3.1 CARPET CUSHION  
CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM.

- 4.504.3.2 CARPET ADHESIVE  
CARPET ADHESIVES SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

- 4.504.4 RESILIENT FLOORING SYSTEMS  
WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
  - 1. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE
  - 2. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM)
  - 3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM
  - 4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)

- 4.504.5 COMPOSITE WOOD PRODUCTS  
-HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN THE AIR RESOURCES BOARD'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET. SEQ.), AS SHOWN IN TABLE.

- 4.504.5.1 DOCUMENTATION  
CERTIFICATION OF COMPLIANCE SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY, AND AS REQUIRED IN SECTION 4.504.5.1.

DIVISION 4.5 – ENVIRONMENTAL QUALITY (INTERIOR MOISTURE CONTROL)

- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS  
BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
  - 1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.
  - 2. MOISTURE BEADING SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.
  - 3. AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

DIVISION 4.5 – ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY & EXHAUST)

- 4.506.1 BATHROOM EXHAUST FANS  
EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
  - 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
  - 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
  - A) HUMIDITY CONTROLS SHALL BE CAPABLE OF MANUAL OR AUTOMATIC ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80%.
  - B) A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL OR BUILT-IN. NOTE: FOR CALGREEN A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION. FANS OR MECHANICAL VENTILATION IS REQUIRED IN EACH BATHROOM.

CONSTRUCTION BEST MANAGEMENT PRACTICE (BMP'S)

MATERIALS AND WASTE MANAGEMENT

NON-HAZARDOUS MATERIALS

- 1. BERM AND COVER STOCKPILES OF SAND, DIRT OR OTHER CONSTRUCTION MATERIAL WITH TARPS WHEN RAIN IS FORECAST OR IF NOT ACTIVELY BEING USED WITHIN 14 DAYS.
- 2. USE (IF IT DON'T EXIST) RECLAIMED WATER FOR DUST CONTROL.

HAZARDOUS MATERIALS

- 1. LABEL ALL HAZARDOUS MATERIALS AND HAZARDOUS WASTES ( SUCH AS PESTICIDES, PAINTS, THINNERS, SOLVENTS, FUEL, OIL AND ANTIFREEZES) IN ACCORDANCE WITH CITY, COUNTY, STATE AND FEDERAL REGULATIONS.
- 2. STORE HAZARDOUS MATERIALS AND WASTES IN WATER TIGHT CONTAINERS, STORE IN APPROPRIATE SECONDARY CONTAINMENT, AND COVER THEM AT THE END OF EVERY WORKDAY OR DURING WET WEATHER OR WHEN RAIN IS FORECAST.
- 3. FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS FOR HAZARDOUS MATERIALS AND BE CAREFUL NOT TO USE MORE THAN NECESSARY. DO NOT APPLY CHEMICALS OUTDOORS WHEN RAIN IS FORECAST WITHIN 24 HOURS.
- 4. ARRANGE FOR APPROPRIATE DISPOSAL OF ALL HAZARDOUS WASTES.

WASTE MANAGEMENT

- 1. COVER WASTE DISPOSAL CONTAINERS WITH TAPPS AT THE END OF EVERY WORK DAY AND DURING WET WEATHER.
- 2. COVER WASTE DISPOSAL CONTAINERS FREQUENTLY FOR LEAKS AND TO MAKE SURE THEY ARE NOT OVER FILLED. NEVER HOSE DOWN A DUMPTER ON THE CONSTRUCTION SITE.
- 3. CLEAN OR REPLACE PORTABLE TOILETS FREQUENTLY FOR LEAKS AND SPILLS.
- 4. DISPOSE ALL WASTES AND DEBRIS PROPERLY. RECYCLE MATERIALS AND WASTES THAT CAN BE RECYCLED (SUCH AS ASPHALT, CONCRETE, AGGREGATE BASE MATERIALS, WOOD, GYP BOARD, PIPE, ETC).
- 5. DISPOSE OF LIQUIDS RESIDUES FROM PAINTS, THINNERS, SOLVENTS, GLUES, AND CLEANING FLUIDS AS HAZARDOUS WASTE.

CONSTRUCTION ENTRANCES AND PERIMETERS

- 1. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND DESTABILIZE ALL CONSTRUCTION ENTRANCE AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENTS DISCHARGES FROM SITE AND TRACKING OF SITE.
- 2. SWEEP OR VACUUM ANY STREET TRACKING IMMEDIATELY AND SECURE SEDIMENT SOURCE TO PREVENT FURTHER TRACKING. NEVER HOSE DOWN STREETS TO CLEAN UP TRACKING.

CONCRETE, GROUT AND MORTAR APPLICATION

- 1. STORE CONCRETE, GROUT AND MORTAR UNDER COVER ON PALLETS AND AWAY FROM DRAINAGE AREAS. THESE MATERIALS MUST NEVER REACH A STORM DRAIN.
- 2. WASH OUT CONCRETE EQUIPMENT/TRUCKS OFFSITE OR IN A CONTAINED AREA, SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL, OR ONTO SURROUNDING AREAS. LET CONCRETE HARDEN AND DISPOSE OF AS GARBAGE.
- 3. COLLECT THE WASH WATER FROM WASHING EXPOSED AGGREGATE CONCRETE AND REMOVE IT FROM APPROPRIATE DISPOSAL OFFSITE.

DEWATERING

- 1. EFFECTIVELY MANAGE ALL RUN-ON, ALL RUNOFF WITHIN THE SITE, AND ALL RUNOFF THAT DISCHARGES FROM THE SITE. DIVERT RUN-ON WATER FROM OFFSITE AWAY FROM ALL DISTURBED AREAS OR OTHERWISE ENSURE COMPLIANCE.
- 2. WHEN DEWATERING, NOTIFY AND OBTAIN APPROVAL FROM THE LOCAL MUNICIPALITY BEFORE DISCHARGING WATER TO A STREET GUTTER OR STORM DRAIN. FILTRATION OR DIVERSION THROUGH A BASIN, TANK, OR SEDIMENT TRAP MAY BE REQUIRED.
- 3. IN AREAS OF KNOWN CONTAMINATION, TESTING IS REQUIRED PRIOR TO REUSE OR DISCHARGE OF GROUNDWATER. CONSULT WITH THE ENGINEER TO DETERMINE WHETHER TESTING IS REQUIRED AND HOW TO INTERPRET RESULTS. CONTAMINATED GROUNDWATER MUST BE TREATED OR HAULED OFF-SITE FOR PROPER DISPOSAL.

PAINTING AND PAINT REMOVAL

PAINTING CLEANUP

- 1. NEVER CLEANUP BRUSHES OR RINSE PAINT CONTAINERS INTO A STREET, GUTTER, STORM DRAIN, OR SURFACE WATER.
- 2. FOR OIL-BASED PAINTS, PAINT OUT BRUSHES TO THE EXTENT POSSIBLE AND CLEAN WITH THINNER OR SOLVENT IN A PROPER CONTAINER. FILTER AND REUSE THINNERS AND SOLVENTS. DISPOSE OF RESIDUE AND UNUSABLE THINNER/SOLVENTS AS HAZARDOUS WASTE.

PAINIT REMOVAL

- 1. CHEMICAL PAINT STRIPPING RESIDUE AND CHIPS AND DUST FROM MARINE PAINTS OR PAINTS CONTAINING LEAD OR TRIBUTYL TIN MUST BE DISPOSED OF AS HAZARDOUS WASTE.
- 2. PAINT CHIPS AND DUST FROM NON-HAZARDOUS DRY STRIPPING AND SAND BLASTING MAY BE SWEEP UP OR COLLECTED IN PLASTIC DROP CLOTHS AND DISPOSED OF AS TRASH.

LANDSCAPE MATERIALS

- 1. STORE STOCKPILED LANDSCAPING MATERIALS BY STORING THEM UNDER TARPS WHEN THEY ARE NOT ACTIVELY BEING USED.
- 2. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS. COVER OR STORE THESE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED OR APPLIED.
- 3. DISCONTINUE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTS RAIN EVENT OR DURING WET WEATHER.



DATE	REVISION



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Prepared by:




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**CIVGIN RESIDENCE**  
CARMEL ST, 2-SE of 10th AVE.  
CARMEL BY THE SEA, CALIFORNIA

## CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



### MATERIALS & WASTE MANAGEMENT

**Non-Hazardous Materials**

- Barn and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use flat (not covered) reclaimed water for dust control.

**Hazardous Materials**


- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

**Waste Management**

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never leave a dumpster at the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, egg hard, pipe, etc.).
- Dispose of liquid residues from paints, thinners, solvents, and cleaning fluids as hazardous waste.

**Construction Entrances and Perimeter**

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment sumps prevent further tracking. Never hose down streets to clean up tracking.




### EQUIPMENT MANAGEMENT & SPILL CONTROL

**Maintenance and Parking**

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using solvents, degreasers, steam cleaning equipment, etc.

**Spill Prevention and Control**

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and report leaks properly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or hosing them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



### EARTHWORK & CONTAMINATED SOILS

**Erosion Control**


- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or seeded straw mats) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes where construction is not immediately planned.

**Sediment Control**

- Protect storm drain inlets, gutters, ditches, and drainage easements with appropriate BMPs, such as gravel bags, filter rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as filter rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.

**Contaminated Soils**

- If any of the following conditions are observed, file for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor
  - Abandoned underground tanks
  - Abandoned wells
  - Buried barrels, debris, or trash




### PAVING ASPHALT WORK

- Avoid preheating and coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.


**Sweeping & Asphalt Concrete Removal**

- Completely cover or barricade storm drain inlets when using cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, sweep, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.



### CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal.




### PAINTING & PAINT REMOVAL

**Painting cleanup**

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer area you have general permission from the local wastewater treatment authority. Never pour paint down a storm drain. Dilution or diversion through a basin, tank, or sediment trap may be required.
- In areas of leaves contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and/or to interpret results. Contaminated groundwater must be treated or hauled offsite for proper disposal.


**Paint Removal**

- Chemical paint stripping residue and chips and dust from marine paints or epoxies containing lead or bichlorin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



### DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of leaves contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and/or to interpret results. Contaminated groundwater must be treated or hauled offsite for proper disposal.



### LANDSCAPE MATERIALS

- Certain stockpiled landscaping materials by mixing them under tarps when they are not actively being used.
- Stock erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discourage application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

\* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

**Preserve existing vegetation**  
Preserve existing trees and vegetation where possible to prevent erosion.

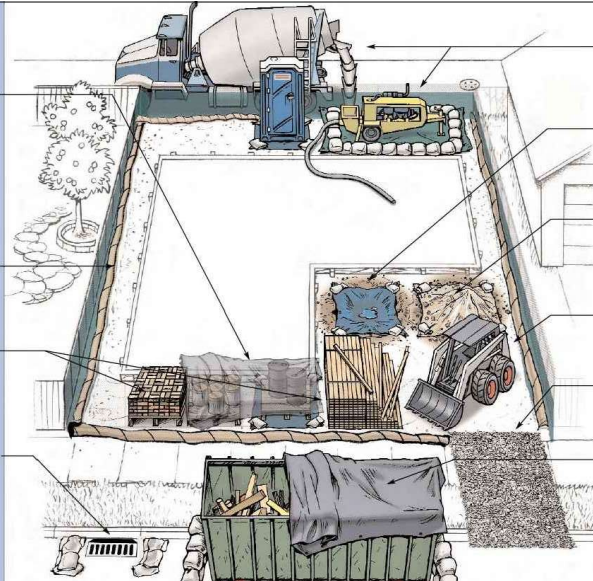
**Paint and Stucco**  
All paint and stucco materials stored on the site must be contained and covered. It is illegal for contractors to wash out paintbrushes in the street or dump any residues into the sewer or the storm drain. Paintbrushes and spray guns shall be washed/cleaned out into a hazardous materials barrel or put back into its original container and disposed of properly. Latex paint should be dried in its container and placed in the garbage. Oil paint and thinners need to be recycled as hazardous wastes. Keep extra absorbent materials and/or a wet/dry vacuum on site to quickly pick up unintended spills. Site must also be checked and maintained daily. All chemicals and hazardous materials must be secured to prevent vandalism.

**Perimeter Controls**  
Gravel and woodchip bags, silt fences, and fiber rolls are typical perimeter controls, and shall be used to surround the entire site. Replace any damaged perimeter controls immediately.

**Building Materials / Staging areas**  
Building materials should always be covered when not in use to prevent runoff caused by wind or rain.

**Dewatering Activities**  
A DNR permit may be required before dewatering during construction.

**Storm Drains and Catch Basins**  
Storm drains must be protected at all times with perimeter controls, such as fiber rolls, filterbag inserts, or gravel bags.



**Concrete Trucks / Pumps**  
Any concrete pumps parked in public streets or alleys should be surrounded by perimeter controls, such as berms or fiber rolls. Tarps also should be placed beneath concrete pumps at all times. Residual materials must be cleaned up as well.

**Washout Area**  
The disposal of "wet" construction materials should be handled in the washout area or off-site. This includes stucco and concrete. Use an impervious tarp to line the bottom and prevent run-off in nearby areas. The washout area must be checked and maintained daily to ensure compliance.

**Dirt and Grading**  
Mounds of dirt or gravel should be stored on site and covered each day with a tarp. When in use, all exposed dirt piles should be sprayed with water to prevent excessive dust. Tarps must be available and onsite to cover 125% of exposed areas. All stockpiles must have perimeter controls at all times.

**Earthmoving Equipment**  
All earthmoving equipment should be stored onsite. Maintenance and repair should never be conducted on the site. All tracks and trails left by equipment leading to and from the site should be cleaned up immediately.

**Construction site access drives**  
Access drives at any construction site should be made of mulch, wood chips or 3/4 inch rock with a geo-textile liner below the grade of the road. This is to be used by all vehicles to limit tracks of mud onto the streets.

**Dumpsters**  
Keep dumpsters covered. Areas around dumpsters should be swept daily.

Job Number	2025-05
Date	03-27-25
Revision	
Drawn By	FDS

Sheet Number

**G-1.4**

of Sheets

BMP'S NOTES

DATE	REVISION



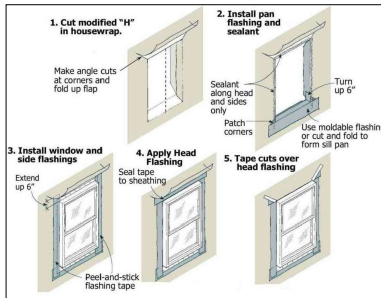
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**CIVGIN RESIDENCE**  
CARMEL ST, 25E of 10th AVE,  
CARMEL BY THE SEA, CALIFORNIA

Job Number **2025-05**  
Date **03-27-25**  
Revision  
Drawn By **FDS**

Sheet Number  
**A-1.0**  
of Sheets  
AS-BUILT PLANS



**WINDOW WATERPROOFING**

WINDOW FLASHING SHALL COMPLY WITH R703.4 SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. FLUID-APPLIED MEMBRANES USED IN FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH AAMA 714

**DOOR & WINDOW NOTES:**

1. ALL WINDOW/DOOR SPECIFICATIONS TO COMPLY WITH CURRENT STATE AND COUNTY BUILDING CODES. REFER TO GENERAL NOTES FOR MORE INFORMATION.
2. DOOR AND WINDOW SIZE: 28'-70" 2'-8" x 7'-0"
3. (T) = TEMPERED GLASS
4. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS CONFORMING TO U.L.C. CHAPTER 24, SUCH AREAS SHALL INCLUDE BUT ARE NOT LIMITED TO SLIDING GLASS DOORS, TUB & SHOWER ENCLOSURES & STEAM ROOMS. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS (U.B.C. 2406.3 AND 2406.4):  
a) GLAZING WITHIN A 24" RADIUS OF THE VERTICAL JAMB OF ANY DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE.  
b) GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.  
c) GLAZING WITH AN AREA MORE THAN 950.S.F., LESS THAN 18" ABOVE THE FLOOR AND WITH ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.  
d) GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE.
5. COMBUSTION AIR VENT OPENINGS WITHIN DOOR SHALL BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM ENCLOSURE.
6. WINDOWS FOR NATURAL LIGHT & VENTILATION SHALL BE SIZED IN COMPLIANCE WITH CBC 1205.
7. EMERGENCY ESCAPE OR RESCUE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS MAY BE 5.0 S.F. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR (SEC. R310). ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN COMPLIANCE WITH THE FOLLOWING:
8. ALL GLAZING AT CONDITIONED SPACES SHALL BE DUAL-PANE.

NOTE: THE PROVIDED DOOR AND WINDOW DIMENSIONS IN THIS SHEET ARE FOR REFERENCE ONLY. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR VERIFYING FRAMING DIMENSIONS ON-SITE BEFORE PLACING ORDERS. ALL MEASUREMENTS MUST BE CONFIRMED AND ALIGN WITH THE ACTUAL SITE CONDITIONS TO ENSURE PROPER FIT AND INSTALLATION.

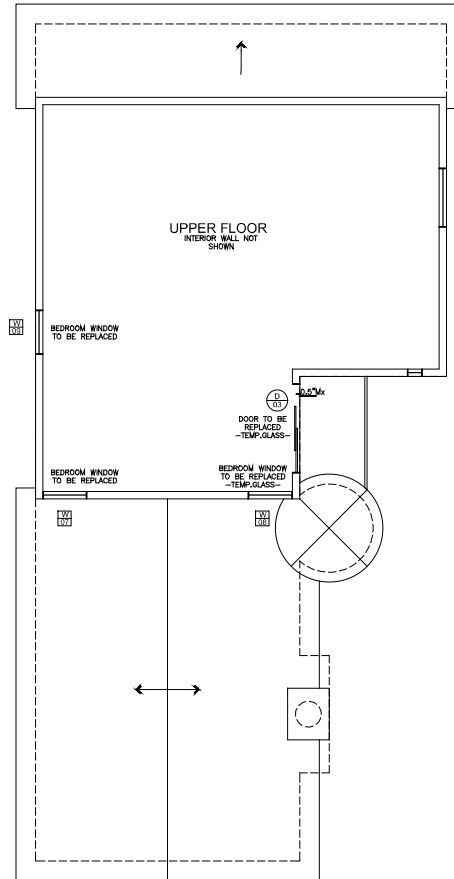
**DOOR SCHEDULE — MARVIN ULTIMATE**

NUMBER	ROOM NUMBER	ROOM NAME	SIZE	TYPE	GLAZING	REMARKS
D-01		FAMILY ROOM	8'0"-6'8"	DBL-LE	SLIDING FRENCH DOOR - TEMP. GLASS	
D-02		HALLWAY	8'0"-6'8"	DBL-LE	SLIDING FRENCH DOOR - TEMP. GLASS	
D-03		PRIMARY BEDROOM	8'0"-6'8"	DBL-LE	SLIDING FRENCH DOOR - TEMP. GLASS	

**WINDOW SCHEDULE — MARVIN ULTIMATE**

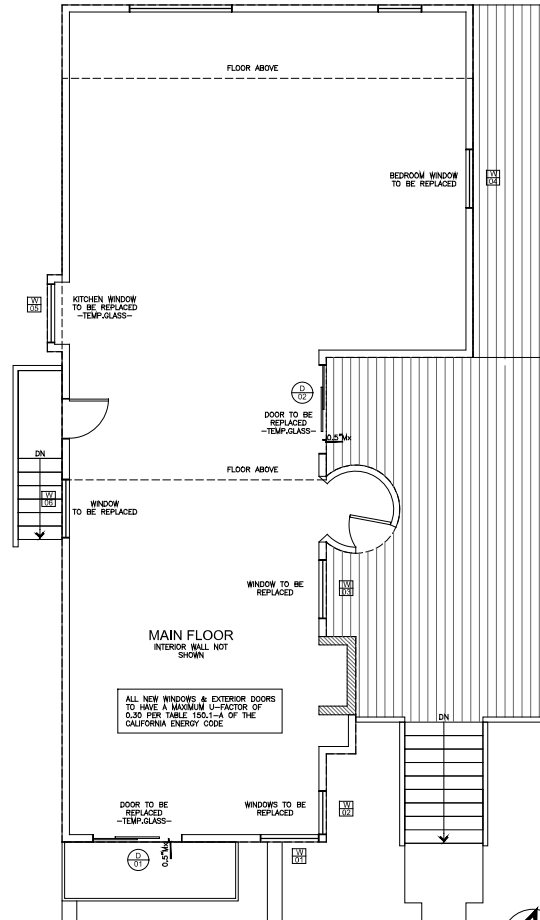
NUMBER	ROOM NUMBER	ROOM NAME	SIZE	CONF.	TYPE	GLAZING	REMARKS
W-01		FAMILY ROOM	4'0"-4'0"	XX	DBL-LE	CSMNT	
W-02		FAMILY ROOM	3'0"-4'0"	X	DBL-LE	CSMNT	
W-03		FAMILY ROOM	4'0"-4'0"	O	DBL-LE	FIXED	
W-04		LAUNDRY	4'0"-3'0"	OK	DBL-LE	FIXED / CSMNT	
W-05		KITCHEN	4'0"-3'0"	OK	DBL-LE	FIXED / CSMNT - TEMP. GLASS	
W-06		DINING ROOM	4'0"-4'0"	OK	DBL-LE	FIXED / CSMNT	
W-07		PRIMARY BEDROOM	3'0"-4'0"	X	DBL-LE	CSMNT	
W-08		PRIMARY BEDROOM	3'0"-4'0"	X	DBL-LE	CSMNT - TEMP. GLASS	
W-09		PRIMARY BEDROOM	3'0"-4'0"	X	DBL-LE	CSMNT	

**DOOR & WINDOW SCHEDULE** 3



**UPPER FLOOR PLAN** Scale 1/4"=1'-0" 2

NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. ALL DIMENSIONS SHOWN RELATING TO EXISTING CONSTRUCTION ARE APPROXIMATE (EXISTING WALLS MAY NOT BE PLUMB AND WALLS MAY NOT BE EXACTLY PARALLEL). THE CONTRACTOR SHALL FIELD VERIFY ALL ACTUAL DIMENSIONS AND CONTACT THE DESIGNER TO ADDRESS ANY DISCREPANCIES. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE DESIGNER. UNLESS NOTED +/- OR V.F. (VERIFY IN FIELD). EXACT LOCATIONS, DISTANCES, ELEVATIONS AND SIMILAR DATA SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND BY THEIR DESIGNER INSTRUCTIONS.



**MAIN FLOOR PLAN** Scale 1/4"=1'-0" 1

WALL LEGEND  
(E) FRAMED WALL  
(E) MASONRY WALL

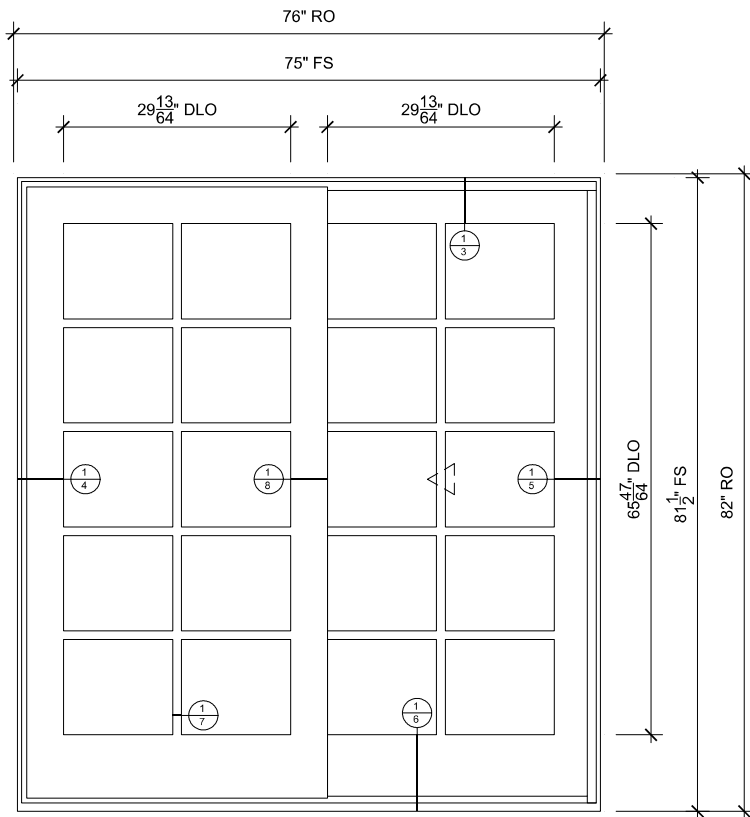




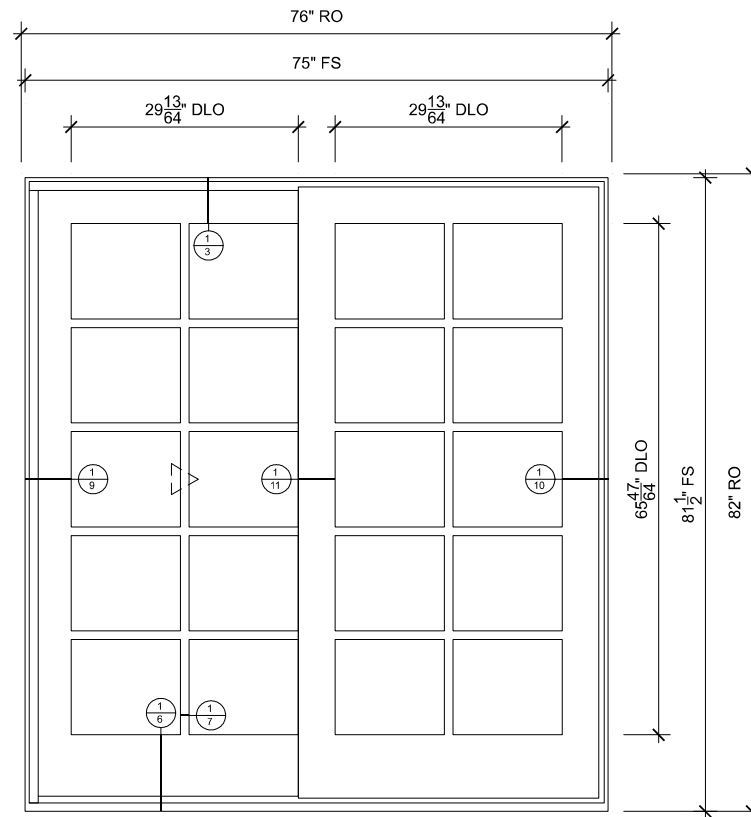
**ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:**  
Before ordering the Marvin products illustrated within these shop drawings, the purchaser must obtain the signature of the Architectural Division at Marvin Windows & Doors, P.O. Box 100, Warroad, Minnesota 56763. If the Marvin products included herein are ordered without reference to the shop drawings, Marvin Windows & Doors, Inc. shall have no responsibility in guaranteeing product coordination with the drawings.

PROJ/JOB: Don Civgin / Don Civgin - doors only  
DIST/DEALER: CENTRAL COAST WINDOW-WATSONVILLE  
DRAWN: DEBBIE SWEET  
QUOTE#: CMKP7RY PK VER:0004.12.00 CREATED: 03/27/2025 REVISION:

SHEET  
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**MBR**  
SCALE: 3/4" = 1'-0"  
**DOOR-03**



**HALL**  
SCALE: 3/4" = 1'-0"  
**DOOR-02**

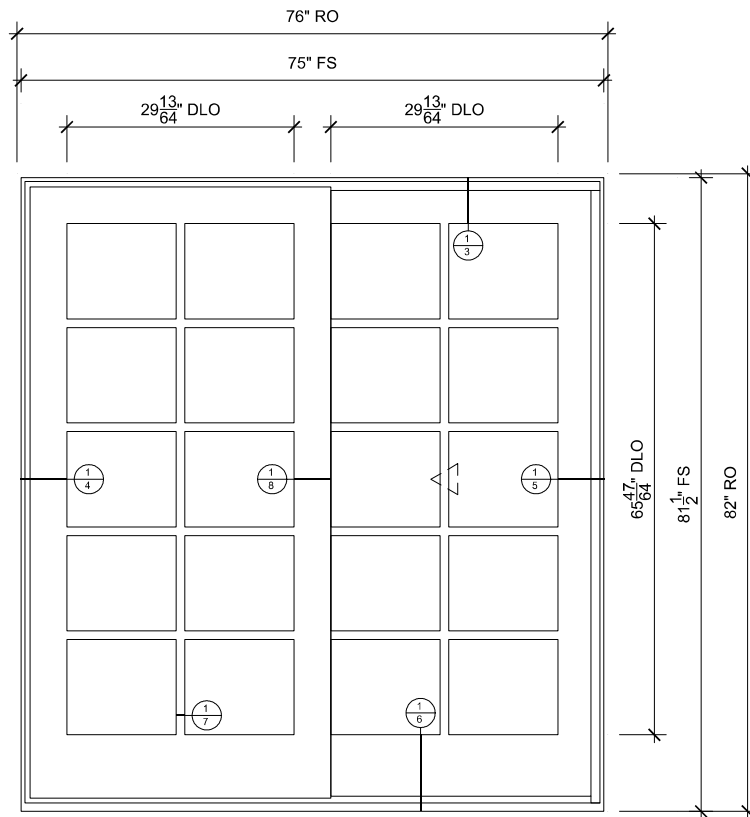
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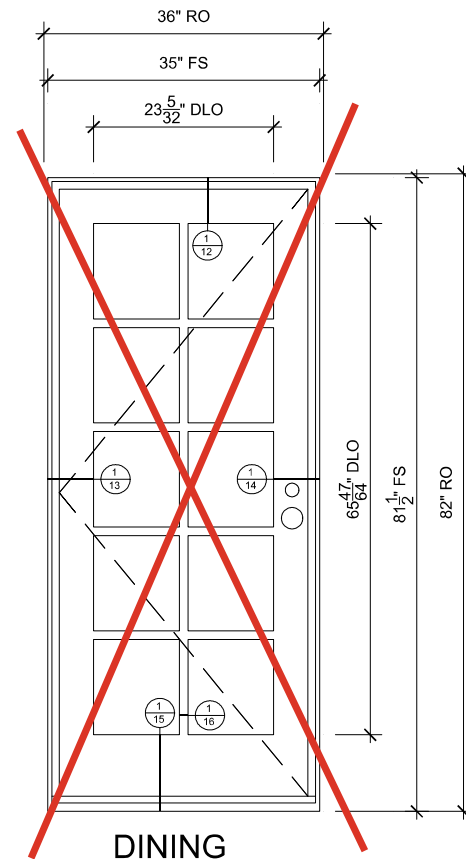
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PROJ/JOB: Don Civgin / Don Civgin - doors only  
DIST/DEALER: CENTRAL COAST WINDOW-WATSONVILLE  
DRAWN: DEBBIE SWEET  
QUOTE#: CMKPYRY PK VER:0004.12.00 CREATED: 03/27/2025 REVISION:

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**FAMILY**  
SCALE: 3/4" = 1'-0"  
**DOOR-01**



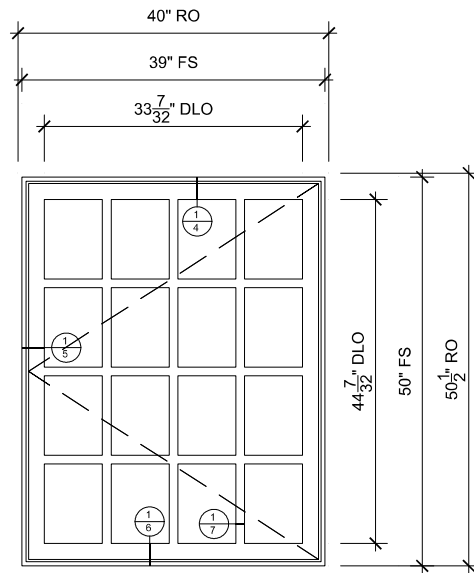
**DINING**  
SCALE: 3/4" = 1'-0"  
**VOID**

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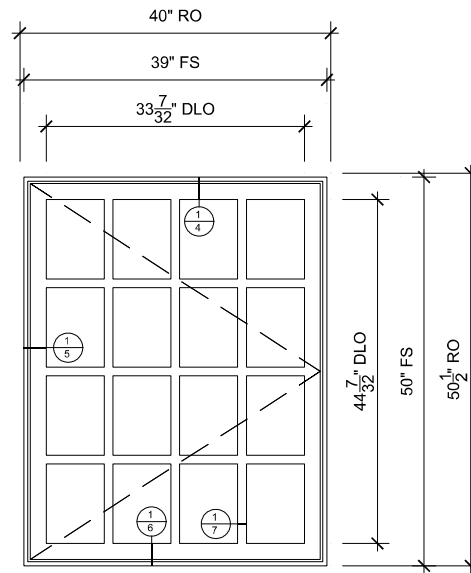




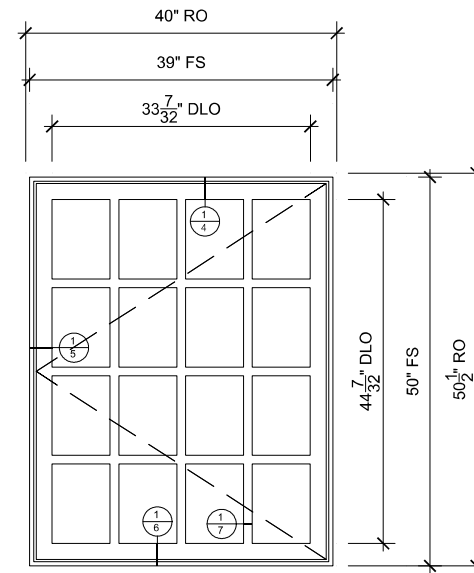
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**MBR**  
SCALE: 3/4" = 1'-0"  
**WINDOW-07**



**MBR**  
SCALE: 3/4" = 1'-0"  
**WINDOW-08**



**MBR**  
SCALE: 3/4" = 1'-0"  
**WINDOW-09**

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PROJ/JOB: Don Civgin / Don Civgin - windows only  
DIST/DEALER: CENTRAL COAST WINDOW-WATSONVILLE  
DRAWN: DEBBIE SWEET  
QUOTE#: TRXWFEC PK VER:0004.12.00 CREATED: 03/27/2025 REVISION:

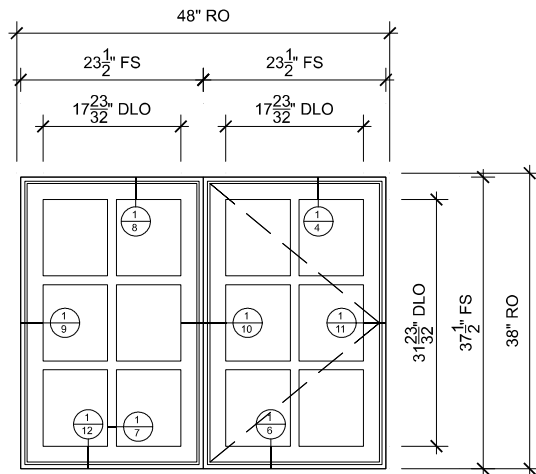
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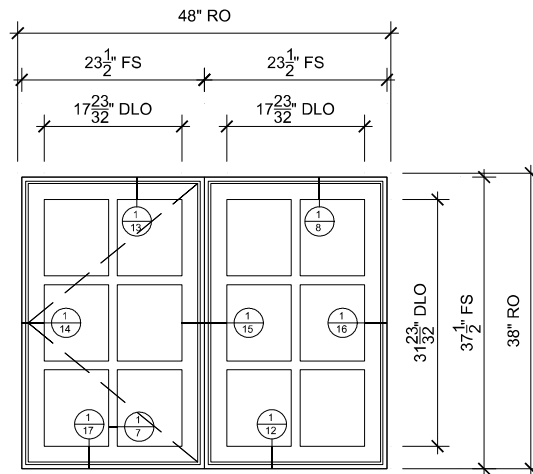
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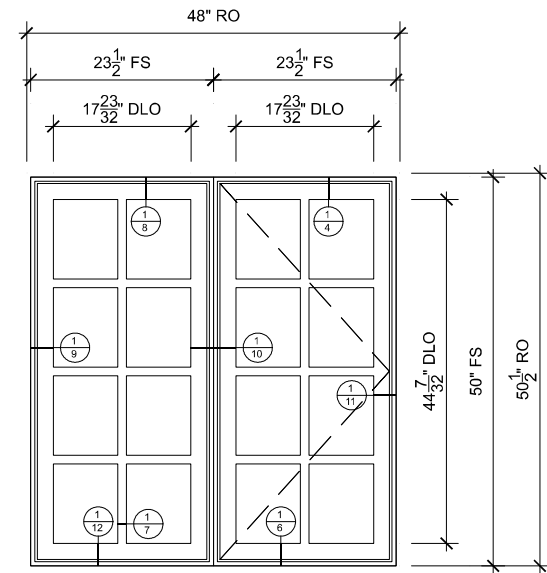
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2  
OF 18



**BAR**  
SCALE: 3/4" = 1'-0"  
**WINDOW-04**



**KITCHEN**  
SCALE: 3/4" = 1'-0"  
**WINDOW-05**



**FAMILY**  
SCALE: 3/4" = 1'-0"  
**WINDOW-03**

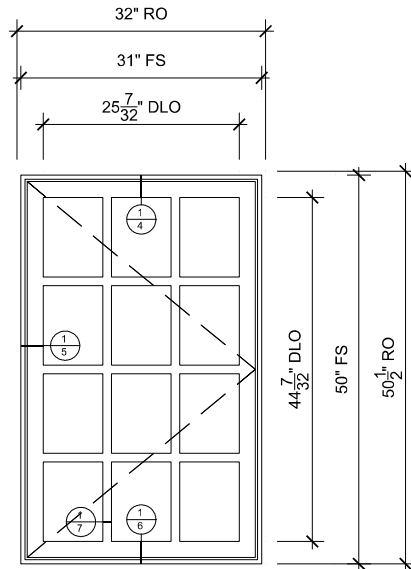
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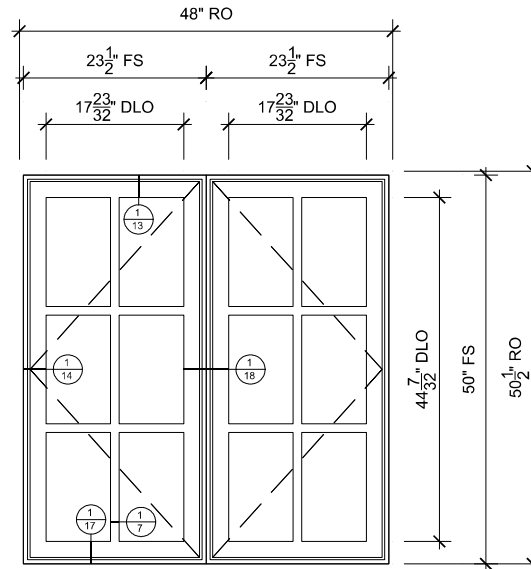
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DIST/DEALER: CENTRAL COAST WINDOW-WATSONVILLE  
DRAWN: DEBBIE SWEET  
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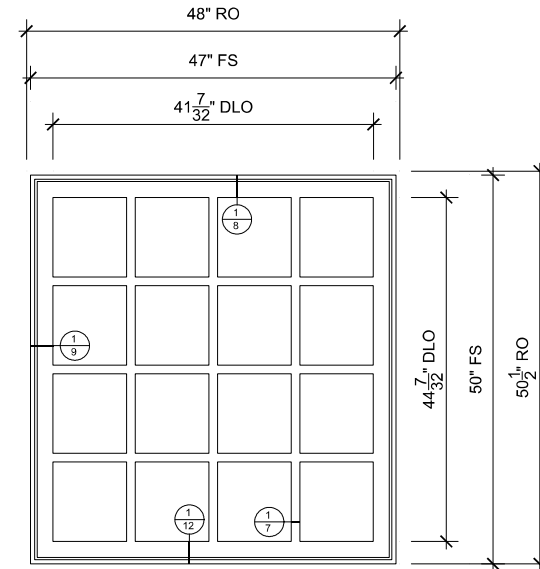
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3  
OF 18



**FAMILY**  
SCALE: 3/4" = 1'-0"  
**WINDOW-02**



**FAMILY**  
SCALE: 3/4" = 1'-0"  
**WINDOW-01**



**FAMILY**  
SCALE: 3/4" = 1'-0"  
**WINDOW-03**