



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 25080

Owner Name: Andrew Kadar

Case Planner: Jacob Olander, Associate Planner

Date Posted: _____

Date Approved: 05/20/2025

Project Location: Forest 5 SW of Ocean

APN #: 010041005000 **BLOCK/LOT:** 83/5

Applicant: Andrew Kadar

Project Description: This approval of Design Study DS 25080 (Kadar) authorizes a project for a new garage door located at Forest 5 SW of Ocean in the R-1 District and, APN: 010041005000 as depicted in the plans stamped approved by Community Planning and Building Department on 05/20/2025 unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 25080 (Kadar)

Location: Forest 5 SW of Ocean; 010-041-005-000

Date of Action: May 20, 2025

Project Description:

DS 25080 (Kadar) authorizes the installation of a new garage door located on Forest 5 SW of Ocean in the Single-Family Residential (R-1) District.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.		
For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).		
CMC 17.58.060.B Findings for Design Review Approval	YES	NO
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
Additional Staff Analysis/Discussion:		
No additional staff analysis.		

ENVIRONMENTAL REVIEW
The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i> , "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i> , the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.
Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15301 (Class 1) – Existing Facilities, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.
Additional Staff Analysis/Discussion: The applicant is proposing a new garage door to an existing single-family residence.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study DS 25080 (Kadar) authorizes a project for a new garage door located at Forest 5 SW of Ocean in the R-1 District and, APN: 010041005000 as depicted in the plans stamped approved by Community Planning and Building Department on 05/20/2025 unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Required. ☒ A Building Permit shall be applied for and obtained from the Building Division prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division. ☐ A building permit is not required; however, the applicant shall apply for and obtain a Notice of Authorized Work from the Building Division prior to commencement of work. To apply for the Notice of Authorized Work, please submit the Scope of Work Declaration through the city's online permit portal.
4.	Permit Validity. The project shall be implemented in accordance with the time limits set forth CMC 17.52.170 (Time Limits on Approvals and Denials) . During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

9.	Conditions of Approval. Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. • Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. The Forester can be reached at 831-620-2073.
12.	Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

SPECIAL CONDITIONS	
13.	Annotated Plans. The applicant shall submit the annotated approved plans as a supplemental document as part of the building permit application.
14.	Updated Plans. The applicant shall update the project plans to incorporate the redlines prior to building permit submittal.
15.	
16.	
17.	

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

Date

Once signed, please email to jolander@ci.carmel.ca.us.

SHEET NUMBER	DESCRIPTION
1	TITLE SHEET, SITE PLAN
C1	CIVIL PLAN
2	EXISTING FLOOR PLAN, NOTES
3	PROPOSED FLOOR PLAN, NOTES
4	EXISTING ELEVATIONS
5	PROPOSED ELEVATIONS
6	ELECTRICAL / LIGHTING PLAN
7	GENERAL NOTES

ABBREVIATIONS		
& AND < ANGLE @ AT C CENTERLINE Ø DIA OR ROUND ⊥PERPENDICULAR # POUND OR NO.	FOF	FACE OF FIN
	FOS	FACE OF STUDS
ACOUS ACOUSTICAL ADJ ADJUSTABLE AFF ABOVE FINISHED FLOOR AL ALUMINUM APX APPROXIMATE ARCH ARCHITECT	FPRF	FIREPROOF
	FTG	FOOTING
BD BOARD BOT BOTTOM CAB CABINET CPT CARPET CEM CEMENT CER CERAMIC CI CAST IRON CLG CEILING CLKG CAULKING CKT CIRCUIT CLR CLEAR CONC CONCRETE C CONDUIT CO CONDUIT ONLY CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR CTR CENTER	FURR	FURRING
	FUT	FUTURE
DET DETAIL DIA DIAMETER DIM DIMENSION DISC DISCONNECT DR DOOR DBL DOUBLE DN DOWN DWG DRAWING	GA	GAUGE
	GALV	GALVANIZED
EA EACH EL ELEVATION ELEC ELECTRICAL EMER EMERGENCY ENCL ENCLOSURE EQ EQUAL EQT EQUIPMENT (E) EXISTING EXPO EXPOSED EXP EXPANSION EXT EXTERIOR FDN FOUNDATION FIN FINISH FIX FIXTURE FL FLOOR FLASH FLASHING FLOUR FLOURESCENT FOC FACE OF CONCRETE	GENL	GENERAL
	GL	GLASS
GR GRADE GYPSUM GYPSUM	GR	GRADE
	GYP	GYPSUM
HC HOLLOW CORE HBD HARDBOARD HWD HARDWOOD HDW HARDWARE HOR HORIZONTAL HGT HEIGHT	HC	HOLLOW CORE
	HBD	HARDBOARD
ID INSIDE DIAMETER INSUL INSULATION INT INTERIOR	HWD	HARDWOOD
	HDW	HARDWARE
LAM LAMINATE LAV LAVATORY LT LIGHT MCWD MARINA COAST WATER DISTRICT MECH MECHANICAL MEMB MEMBRANE MC MEDICINE CABINET MTL METAL MIR MIRROR MNT MOUNTED MTC NOT IN CONTRACT NOM NOMINAL NTS NOT TO SCALE	HGT	HEIGHT
	ID	INSIDE DIAMETER
OBS OBSCURE OC ON CENTER OD OUTSIDE DIAMETER OPNG OPENING OPP OPPOSITE	INSUL	INSULATION
	INT	INTERIOR
PRCST PRECAST PL PLATE P PLASTIC PLAS PLASTER PLYWD PLYWOOD PR PAIR PNT PAINT PTD PAPER TOWEL DISP. PTN PARTITION	JT	JOINT
	LAM	LAMINATE
Q T QUARRY TILE	LAV	LAVATORY
	LT	LIGHT
R RISER RAD RADIUS REINF REINFORCED REQ REQUIRED RESIL RESILIENT RO ROUGH OPENING RWD REDWOOD	MCWD	MARINA COAST WATER DISTRICT
	MECH	MECHANICAL
SC SOLID CORE SCD SEAT COVER DISP. SD SOAP DISPENSER SHT SHEET SIM SIMILAR SND SANITARY NAPKIN DISP. SPEC SPECIFICATION (S) STL STAINLESS STEEL SSK SERVICE SINK STD STANDARD SUSP SUSPENDED SURF SURFACE SM SURFACE MOUNTED SW SWITCH SWBD SWITCH BOARD SYM SYMMETRICAL	MEMB	MEMBRANE
	MC	MEDICINE CABINET
T TREAD TB TOWEL BAR TC TERMINAL CAN TEL TELEPHONE T&G TONGUE AND GROOVE THK THICK TPD TOILET PAPER DISP. TV TELEVISION TYP TYPICAL	MTL	METAL
	MIR	MIRROR
UNF UNFINISHED UNON UNLESS OTHERWISE NOTED URINAL	MNT	MOUNTED
	MTC	NOT IN CONTRACT
WDW WINDOW W WITH WC WATER CLOSET WD WOOD WH WATER HEATER W/O WITHOUT WP WATERPROOF WR WATER RESISTANT WGT WEIGHT	NTS	NOT TO SCALE
	OBS	OBSCURE
WGT WEIGHT	OC	ON CENTER
	OD	OUTSIDE DIAMETER
VERT VERTICAL	OPNG	OPENING
	OPP	OPPOSITE
WGT WEIGHT	PRCST	PRECAST
	PL	PLATE
WGT WEIGHT	P	PLASTIC
	PLAS	PLASTER
WGT WEIGHT	PLYWD	PLYWOOD
	PR	PAIR
WGT WEIGHT	PNT	PAINT
	PTD	PAPER TOWEL DISP.
WGT WEIGHT	PTN	PARTITION
	Q T	QUARRY TILE

PERTINENT DATA	
ZONING: RESIDENTIAL	
TYPE OF CONSTRUCTION: V-B	
OCCUPANCY: R-3	
EXISTING LOT SIZE: 5000 SQUARE FEET	
Existing House – 1142 SF	
Existing Garage – 221 SF	
Single story structure	
SPRINKLERS: No	
SCOPE OF WORK:	
REMODEL BEDROOMS AND KITCHEN, REARRANGE EXISTING WINDOWS, ADD BATHROOM, ADD NEW INTERIOR / EXTERIOR DOORS.	

General Notes	
GENERAL NOTES	
--DO NOT SCALE THESE DRAWINGS. USE THE WRITTEN DIMENSIONS AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.	
--THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN PART OR IN WHOLE FOR ANY WORK OTHER THAN THE LOCATION SHOWN HEREIN.	
--THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK.	
--VERIFY ALL UTILITY DATA AND LOCATIONS PRIOR TO ANY WORK. ONSITE UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE AGENCY OR UTILITY COMPANY.	
--THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS AND AT THE END OF THE WORK PROVIDE THE OWNER WITH ALL THE ORIGINAL SIGNED DOCUMENTS FROM THE INSPECTING ENTITY.	
-- ANNUAL SPACES AROUND PIPE, ELECTRIC CABLE, CONDUITS AND OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS.	
-- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE.	
-- USE MATERIALS WITH NOT LESS THAN 10% RECYCLED CONTENT VALUE	
-- REDUCE CONSTRUCTION WASTE BY NOT LESS THAN 65%. DOCUMENTATION SHALL BE SUBMITTED TO THE ENFORCING AGENCY DEMONSTRATING COMPLIANCE.	
-- ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.	
-- PAINTS STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.	
-- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.	
-- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.	
-- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.	
-- VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.	
-- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% AND SHALL BE CHECK BEFORE ENCLOSURE	

Ordinances and Regulations	
2022 CALIFORNIA FIRE CODE	
2022 CALIFORNIA RESIDENTIAL CODE	
2022 CALIFORNIA PLUMBING CODE	
2022 CALIFORNIA MECHANICAL CODE	
2022 CALIFORNIA CALGREEN CODE	
2022 CALIFORNIA ENERGY STANDARDS	
2022 CALIFORNIA RESIDENTIAL CODE	
CITY OF CARMEL STANDARDS AND STATE REGULATORY REQUIREMENTS.	

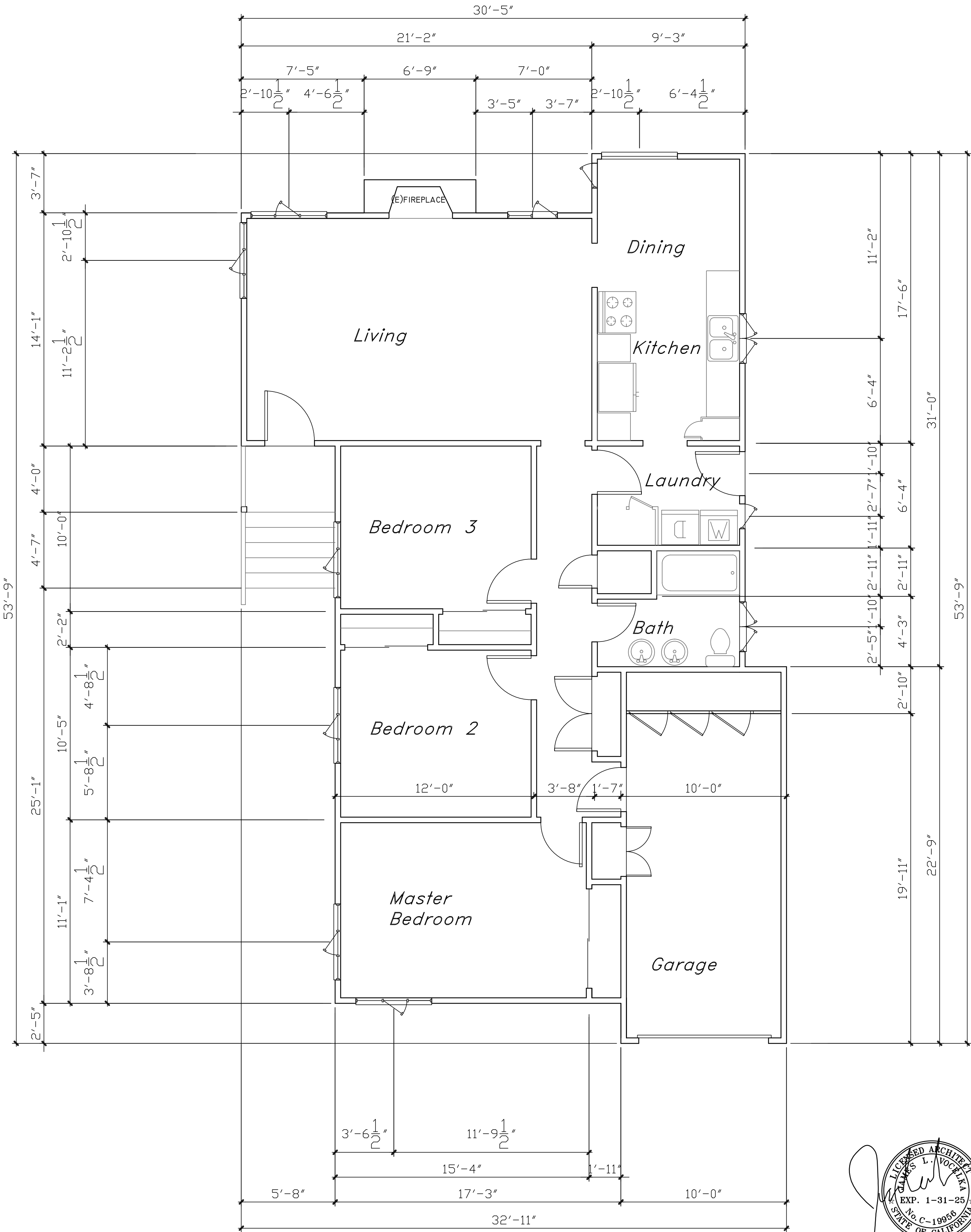
VICINITY MAP	

All colors and materials to match existing

see C1 fpr permeable / impermeable surfaces

Site Plan

REVISION DATE	KEY
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	▲
	▲
	▲
DRAWING DATE: 6-18-24	
THIS SET OF DRAWINGS IS THE PROPERTY OF JAMES L. VOCELKA ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JAMES L. VOCELKA ARCHITECT.	
JAMES "JIM" VOCELKA ARCHITECT 10200 KILPATRICK DR. SAN JOSE, CALIFORNIA 95197 PHONE: 831-663-6644 FAX: 831-663-6640 LICENSE NUMBER: C-19956	
SHEET TITLE Site Plan Pertinent Data Sheet Index Vicinity Map	
PROJECT New remodel for: Andrew Kadar 5 northwest of ocean on forest Carmel, CA A.P. # 010-041-005 PHONE: (413)-530-7587	
SCALE AS NOTED	
DRAWN CADD	
JOB -	
SHEET 1	
OF 7 SHEETS	

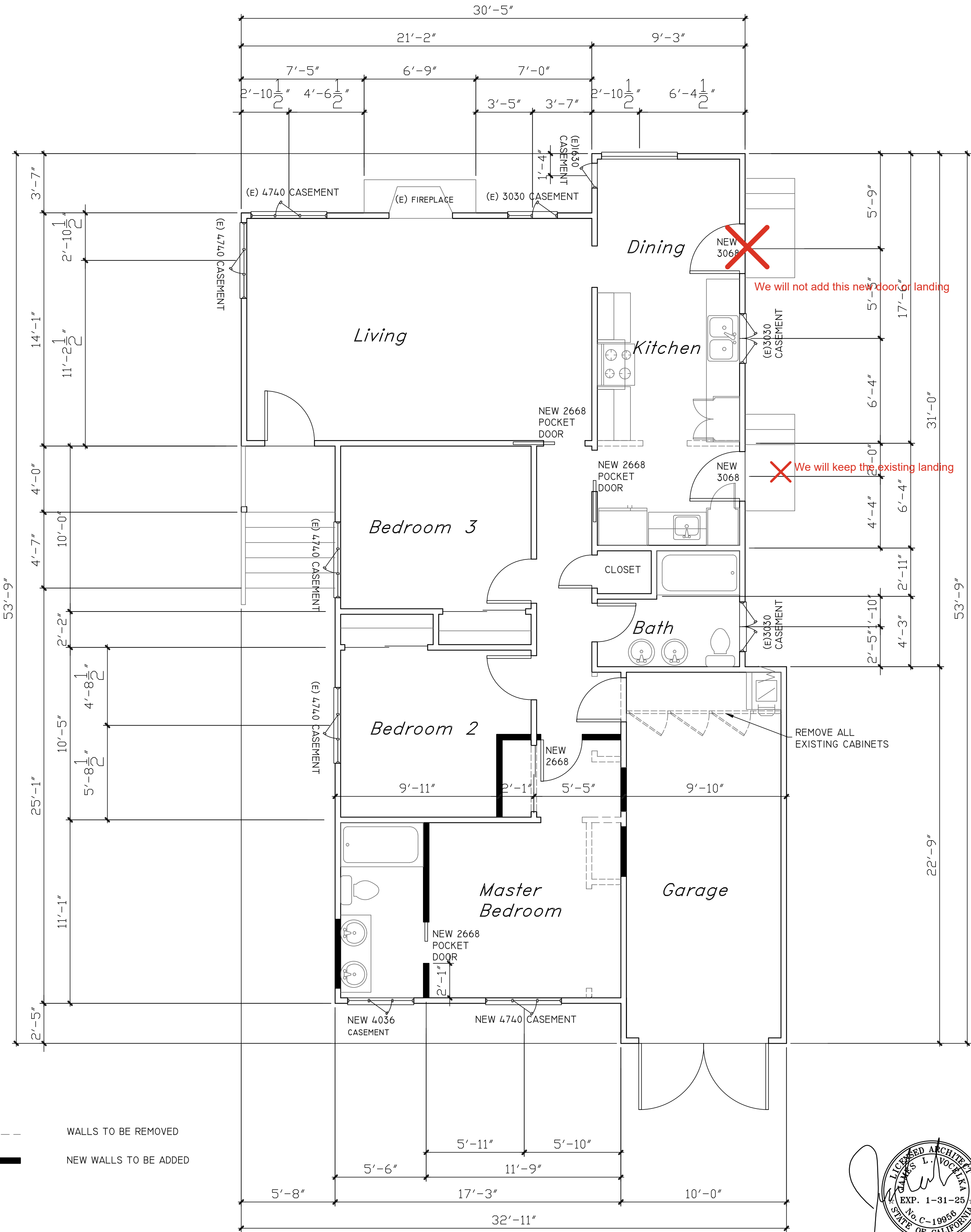


Existing Floor Plan

1/4"=1' 0"



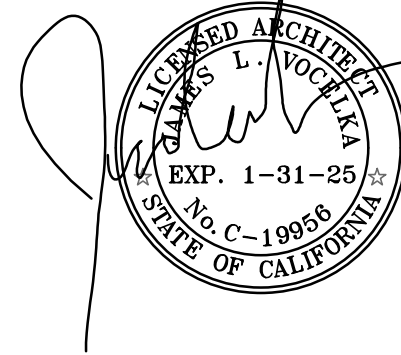
REVISION	KEY
DATE	
DRAWING DATE: 9-24-23	
THIS SET OF PLANS & SPECIFICATIONS IS PREPARED AND SUBMITTED FOR THE PURPOSE OF OBTAINING PERMITS AND APPROVALS FROM THE CITY OF CARMEL-BY-THE-SEA. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS, WHETHER OR NOT SUCH DAMAGE OR INJURY IS CAUSED IN WHOLE OR IN PART BY NEGLIGENCE OR OTHERWISE.	
JAMES "JIM" VOCELKA ARCHITECT 10200 KILPATRICK DR. SAN JOSE, CALIFORNIA 95130 PHONE: 831-663-6644 FAX: 831-663-6640 LICENSE NUMBER: C-19956 Ability VENTURES INC.	
SHEET TITLE Existing Floor Plan Notes -	
PROJECT New remodel for: Andrew Kadar 5 northwest of ocean on forest Carmel, CA A.P. # 010-041-005 PHONE: (413)-530-7587	
SCALE AS NOTED	
DRAWN CADD	
JOB -	
SHEET 2	
OF 7 SHEETS	



--- WALLS TO BE REMOVED
— NEW WALLS TO BE ADDED

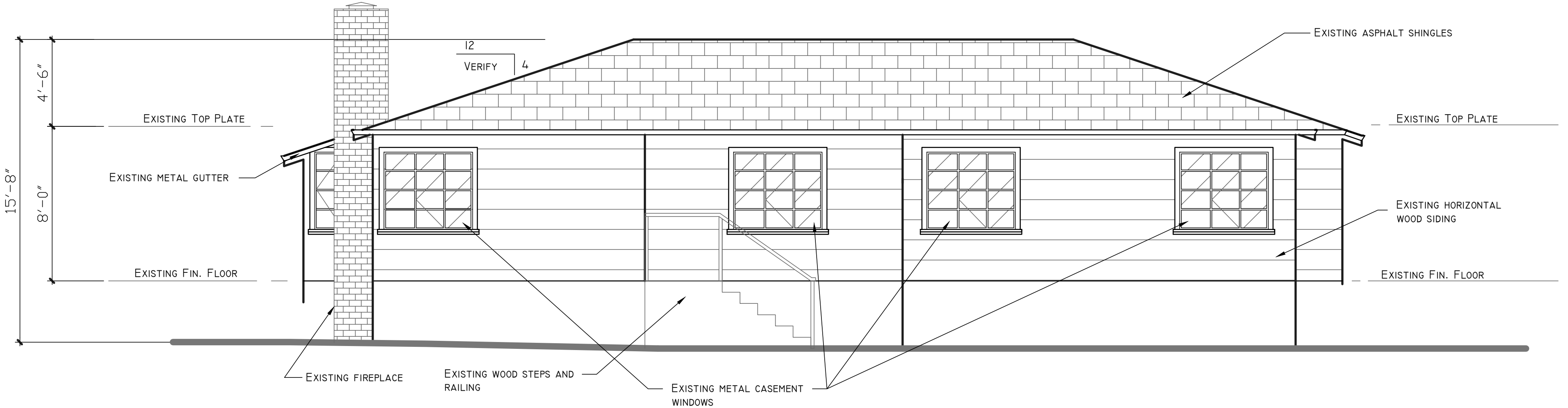
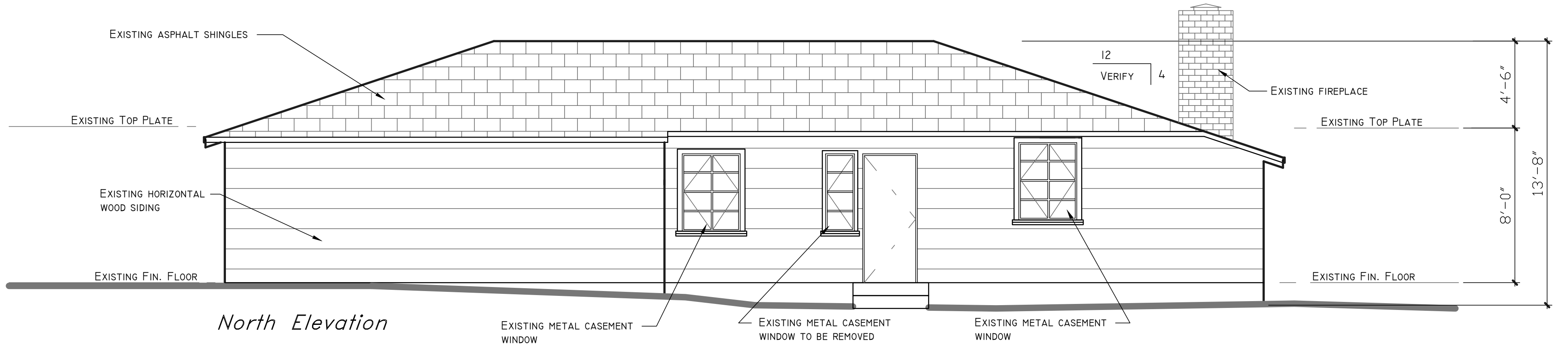
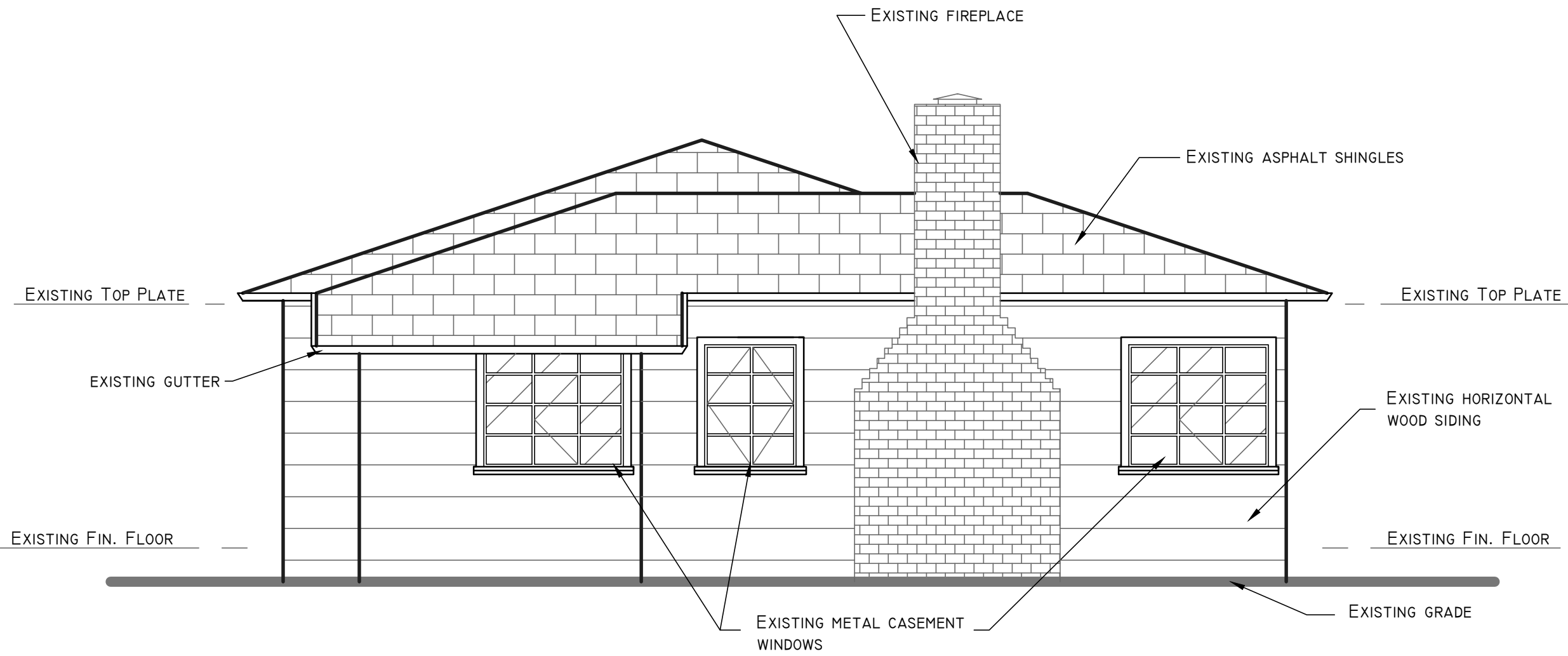
Proposed Floor Plan

1/4"=1' 0"



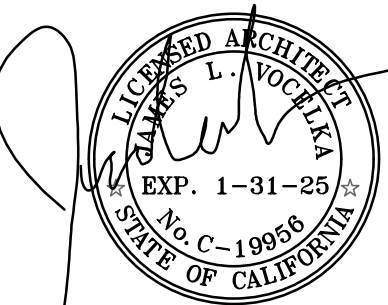
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Ability CONSTRUCTORS INC.		
SHEET TITLE Proposed Floor Plan Notes		
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SCALE AS NOTED		
DRAWN CADD		
JOB -		
SHEET 3		
OF 7 SHEETS		

Approved 5/20/2025
DS 25080 (Kadar)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Associate Planner

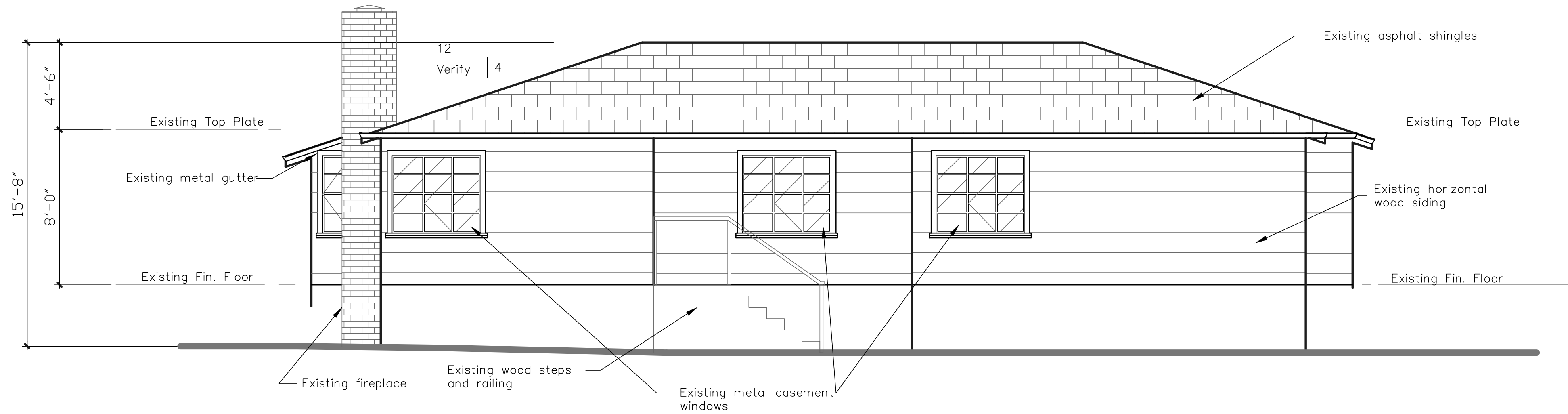
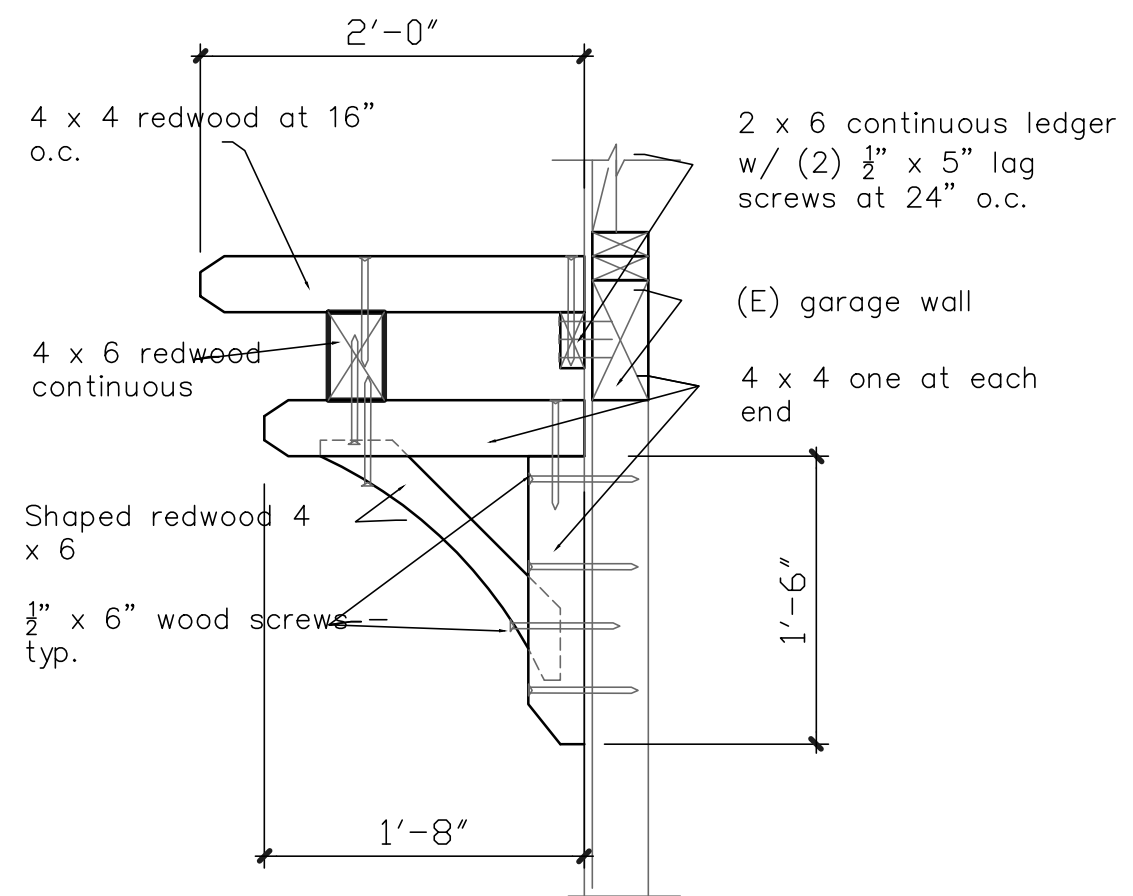
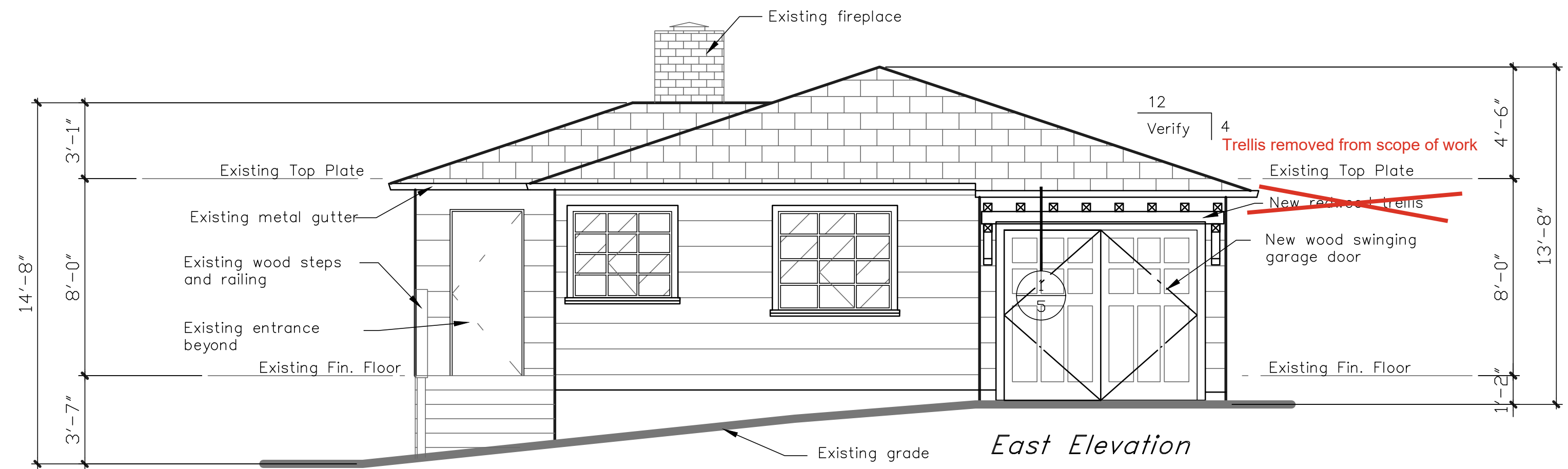
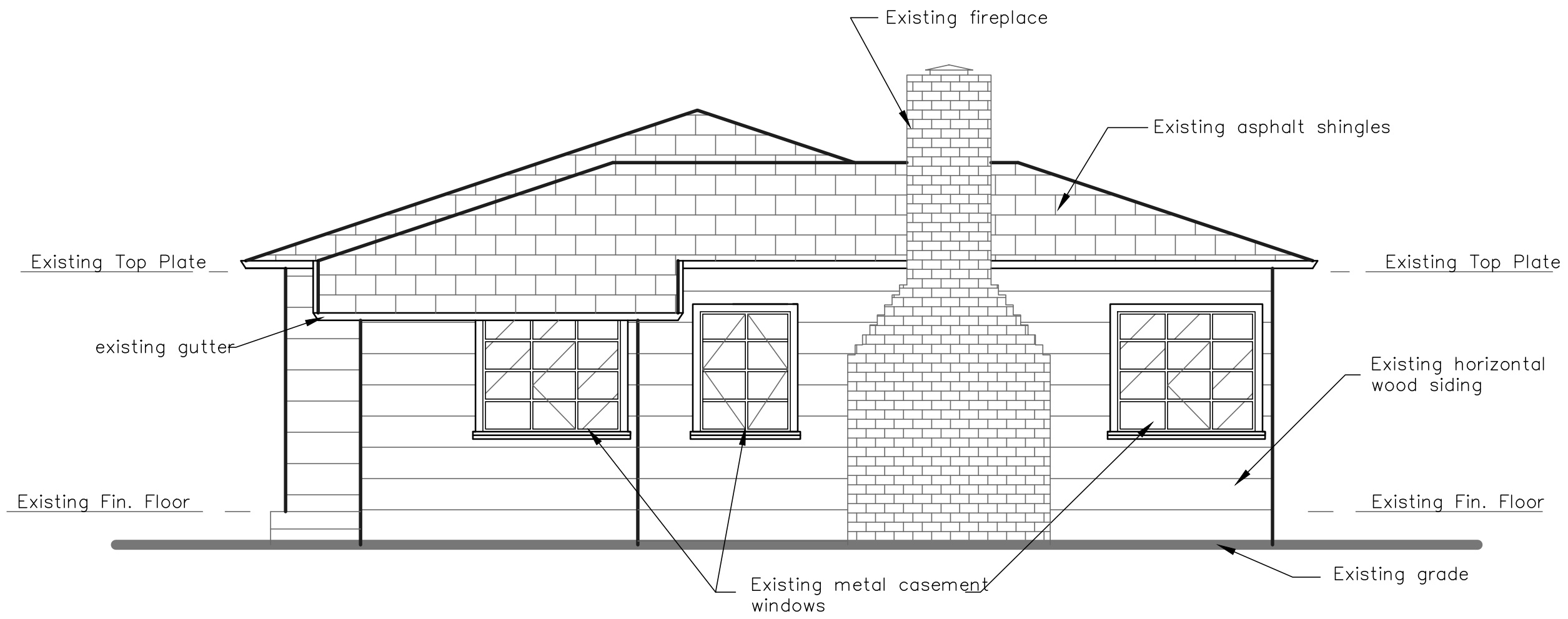
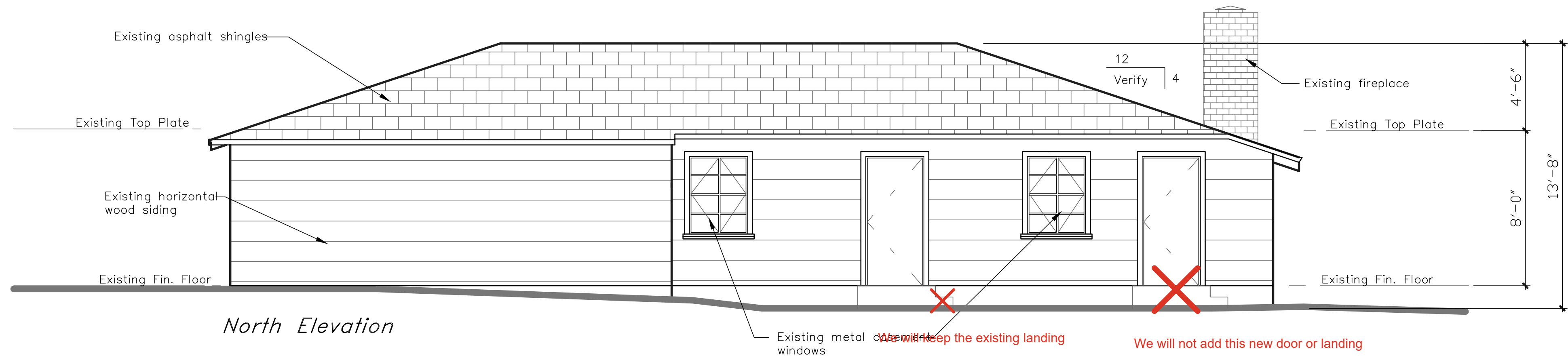


Existing Exterior Elevations

1/4"=1' 0"



REVISION DATE	KEY
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	▲
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DRAWING DATE: 9-24-23	
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JAMES "JIM" VOCELKA ARCHITECT 10200 KILPATRICK RD. SAN JOSE, CALIFORNIA 95130 PHONE: 831-663-6644 FAX: 831-663-6640 LICENSE NUMBER: C-19956	
SHEET TITLE Existing Exterior Elevations Notes	
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SCALE AS NOTED	
DRAWN CADD	
JOB -	
SHEET 4	
OF 7 SHEETS	



Proposed Exterior Elevations

$$1/4'' = 1'$$

- 0"

REVISION DATE	KEY
	
	
	
	

DRAWING DATE:
9-24-23

AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO REPRODUCTION FOR PUBLIC INFORMATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

JAMES "JIM" VOCELKA
ARCHITECT

19020 KAREN DR.
SALINAS, CALIFORNIA 93907
PHONE: 831-663-6644
FAX: 831-663-6640
LICENSE NUMBER: C-19956

STREET NAME	Proposed Exterior Elevations	Notes
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New remodel for:
Andrew Kadar
5 northwest of ocean on forest
Carmel, CA
A.P. # 010-041-005 PHONE: (413)-530-7587

SCALE AS NOTED

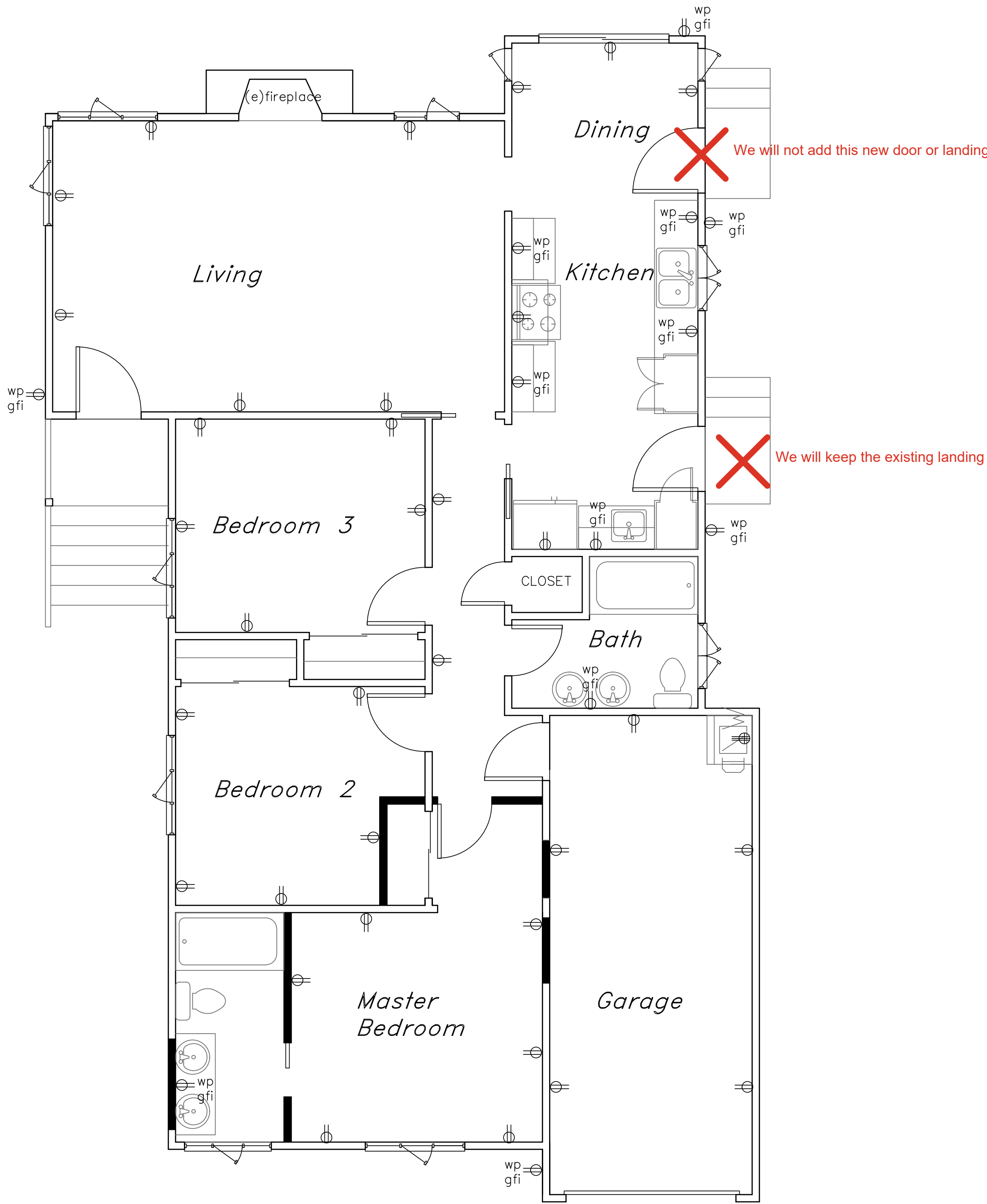
RAWN CADD

DB —

SHEET 1

5

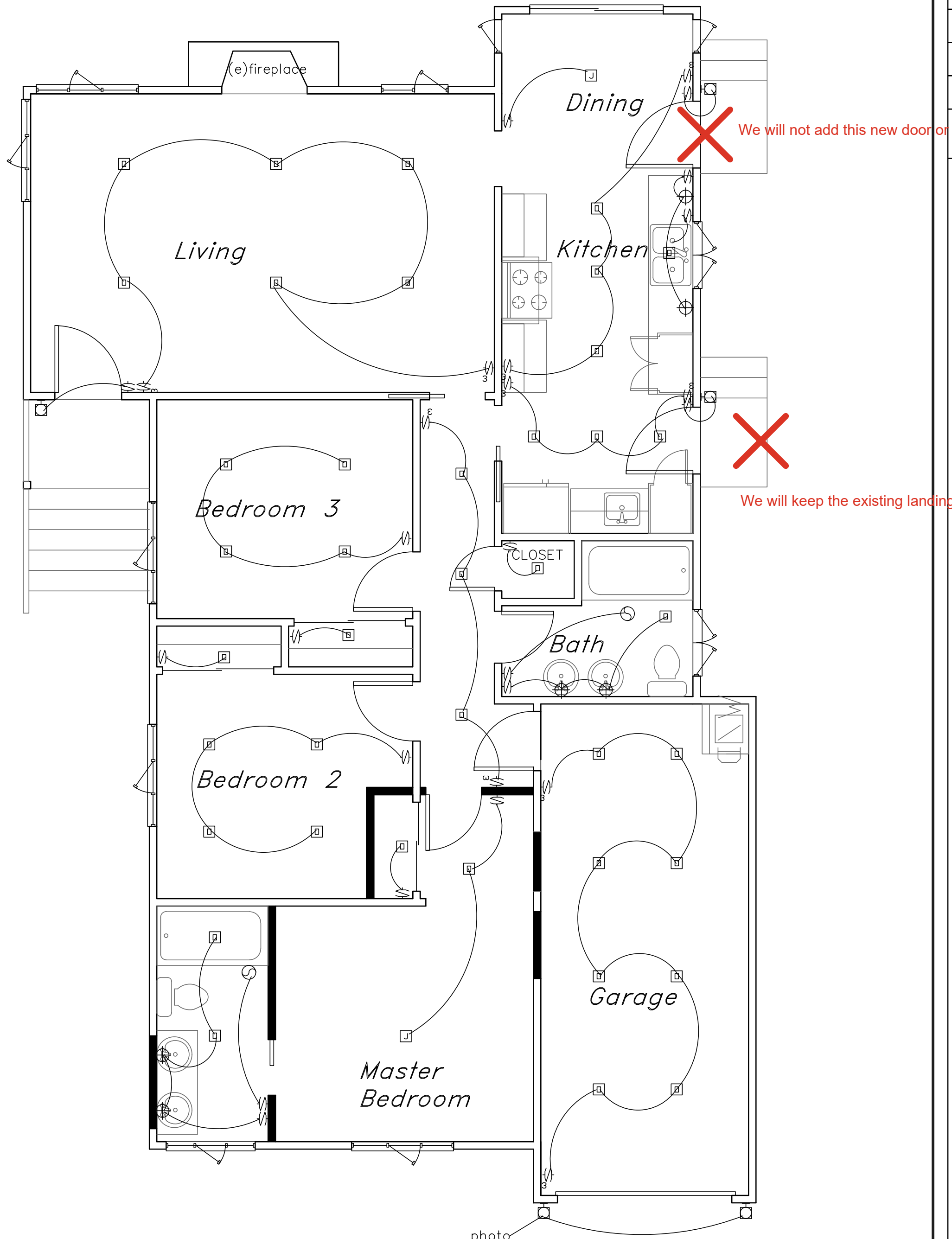
F 7 SHEETS



- LED pendant Light
- CEILING MOUNTED LIGHT FIXTURE
- TELEVISION
- 220 OUTLET
- "J" BOX
- SMOKE DETECTOR (TO BE HARD-WIRED WITH BATTERY BACKUP) ALL SMOKE DETECTORS SHALL BE INTERCONNECTED
- TELEPHONE OUTLET
- ELECTRICAL OUTLET
- FLUORESCENT LIGHT
- INCANDESCENT DOWN LIGHT
- SWITCH
- 3-WAY SWITCH
- INCAND. WALL LIGHT
- CEILING FAN WITH LIGHT
- FAN/LIGHT COMBO W/ HUMIDITY CONTROL SWITCH

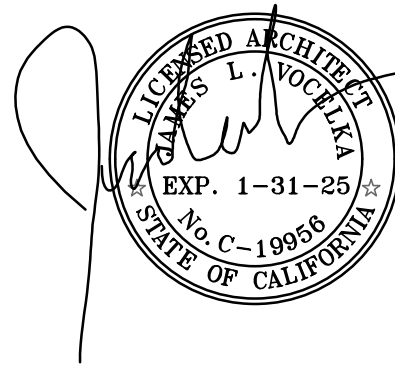
Electrical Plan

1/4"=1' 0"



Lighting Plan

1/4"=1' 0"



REVISION	DATE	KEY
		▲
		▲
		▲
		▲
DRAWING DATE: 6-17-24		
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JAMES "JIM" VOCELKA ARCHITECT 1020 KAREN DRIVE, SUITE 100, CARMEL, CA 93907 PHONE: 831-663-6644 FAX: 831-663-6640 LICENSE NUMBER: C-19956		
SHEET TITLE Electrical Plan Lighting Plan		
PROJECT New remodel for: Andrew Kadar 5 northwest of ocean on forest Carmel, CA A.P. # 010-041-005 PHONE: (413)-530-7587		
SCALE AS NOTED		
DRAWN CADD		
JOB -		
SHEET 6 OF 7 SHEETS		