



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 25057

Owner Name: Joan Wynar

Case Planner: Katherine Wallace, Associate Planner

Date Posted: _____

Date Approved: 04/11/2025

Project Location: Southwest corner of 8th Ave and Mountain View

APN #: 010055009000 **BLOCK/LOT:** 101/NE PT. OF LOT 1

Applicant: Joan Wynar

Project Description: This approval of Design Study 25057 (Wynar) authorizes a revised project at the southwest corner of Mountain View and 8th APN 010055009000, in the Single-Family Residential (R-1) District, previously approved under Design Study approval 23237 (Wynar) (with associated Building Permit 23478), now revised to feature a redwood deck railing with vertical redwood balusters (formerly a metal wire railing), a deck access door with undivided lite glazing (formerly divided lite), compliant exterior light fixtures, and a 1' privacy lattice panel atop an existing 6' fence along the west property line. The revised project, approved on April 11, 2025, on file with the Carmel-by-the-Sea Community Planning and Building Department, is subject to the standard and special conditions of approval herein.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of Design Study 25057 (Wynar) authorizes a revised project at the southwest corner of Mountain View and 8 th APN 010055009000, in the Single-Family Residential (R-1) District, previously approved under Design Study approval 23237 (Wynar) (with associated Building Permit 23478), now revised to feature a redwood deck railing with vertical redwood balusters (formerly a metal wire railing), a deck access door with undivided lite glazing (formerly divided lite), compliant exterior light fixtures, and a 1' privacy lattice panel atop an existing 6' fence along the west property line. The revised project, approved on April 11, 2025, on file with the Carmel-by-the-Sea Community Planning and Building Department, is subject to the standard and special conditions of approval herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Appeal Period. Approval of this Design Study is subject to the 10-day notice and appeal period.	✓
4.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction. CMC 17.52.170.B (General Limits)	✓
5.	Permit Extension. The Director may grant one 12-month extension of this Design Study approval. If, since the date of the original approval, the conditions surrounding the original approval have changed, or the General Plan, municipal code or Local Coastal Plan Program has been amended in any manner which causes the approval to be inconsistent with these plans or codes, no time extension or renewal shall be granted for any approval. CMC Section 17.52.170.C (Time Extensions)	✓
6.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓

7.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
8.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	✓
9.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
10.	Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing. Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.	

	Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.	
11.	Conditions of Approval. All conditions of approval for the original Planning permit, 23237, Wynar, also apply to the revised project as approved under DS 25057, Wynar.	✓
	Landscape Conditions	
12.	Tree Removal. Trees onsite shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
13.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
14.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> a) Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. b) Excavation within 6 feet of a tree trunk is not permitted. c) No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. d) Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. e) Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet 	✓

	<p>above the soil line outside of the fencing.</p> <p>f) The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</p> <p>g) If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</p> <p>h) If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	
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Acknowledgement and acceptance of conditions of approval:

_____ Property Owner Signature	_____ Printed Name	_____ Date
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_____ Applicant Signature	_____ Printed Name	_____ Date
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City of Carmel-by-the-Sea
Community Planning & Building Department
Revisions to Planning Approval

Project Information

Project Location: SWC 8^m + mountain View
Block: 101 AS Lot(s): pt 1 APN(s): 010 055 009
Building Permit Number: 23-478 Associated Planning Permit(s): 23-237
(orig. design study)

Acknowledgement

In accordance with the associated project's Conditions of Approval, the following changes are proposed:

- ☐ Item 1: Remove concrete + brick walkway
Description of Modification
o Plan sheet(s) modification located: PG 1 - revised 2/21/25
- ☐ Item 2: Replace existing carmel stone stoop w/ 18" pavers
Description of Modification
o Plan sheet(s) modification located: PG 1
- ☐ Item 3: Add 2 D.G. areas in backyard 58 + 191
Description of Modification
o Plan sheet(s) modification located: PG 1
- ☐ Item 4: Add 2 steps (total 5) to south side of deck
Description of Modification
o Plan sheet(s) modification located: PG 1 + pg 2 of plans 9-25-23
- ☐ Item 5: change divided lite french doors to non-div.
Description of Modification
o Plan sheet(s) modification located: DK pg 1 door #6
- ☐ Item 6: Add 12" lattice fence extension - 38' total
Description of Modification
o Plan sheet(s) modification located: w. fence top extension 12/6/24
- ☐ Item 7: Replace exist. deck railing w/ redwood
Description of Modification
o Plan sheet(s) modification located: DK pgs 1 + 2
- ☐ Item 8: Replace exterior front lights (2 eq.) w/ 8 1/2"
Description of Modification
o Plan sheet(s) modification located: Minka Kirkham cut sheet PG 4
- ☐ Item 9: All Exterior light bulbs to conform to Carmel
Description of Modification
o Plan sheet(s) modification located: PG 2 cut sheet restrictions

Applicant:

Printed Name

JOAN WYNAR

Signature

Joan Wynar

Date

3/7/25

Page 1 of 1

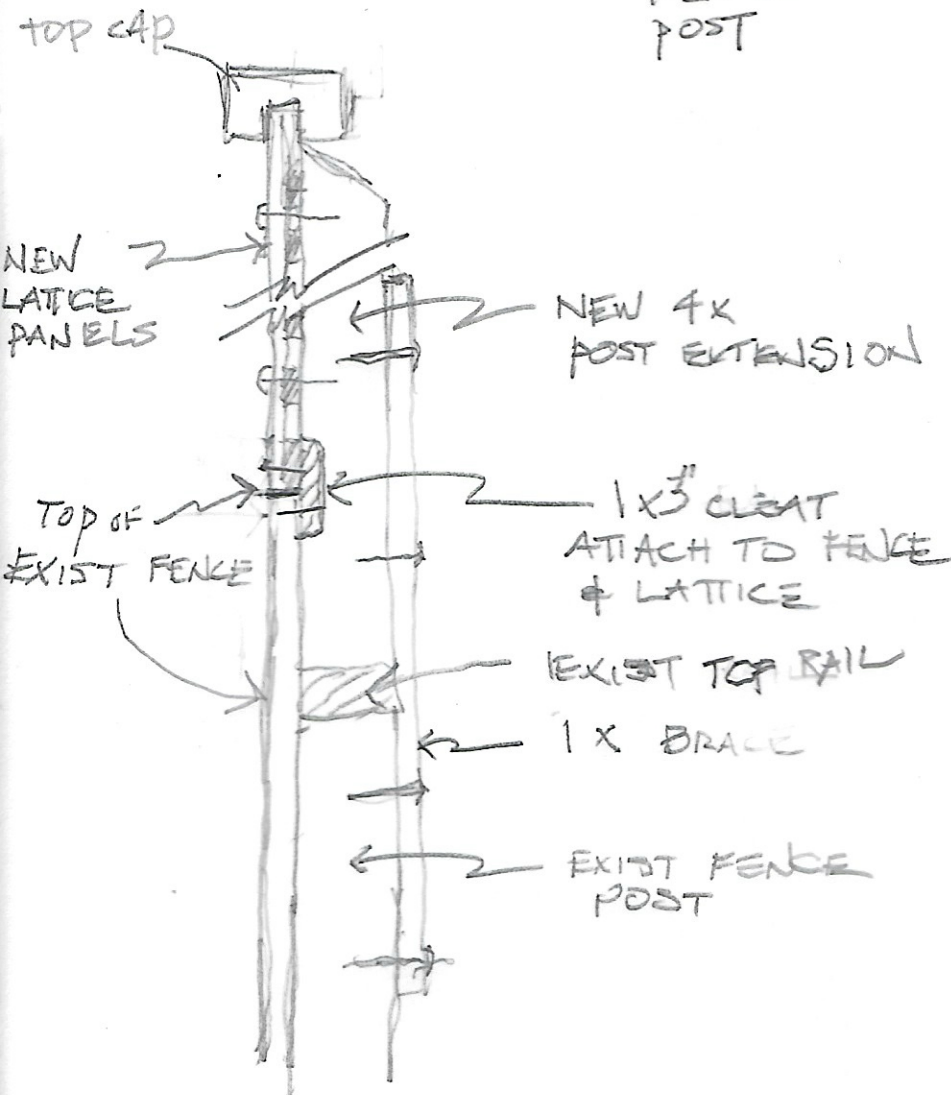
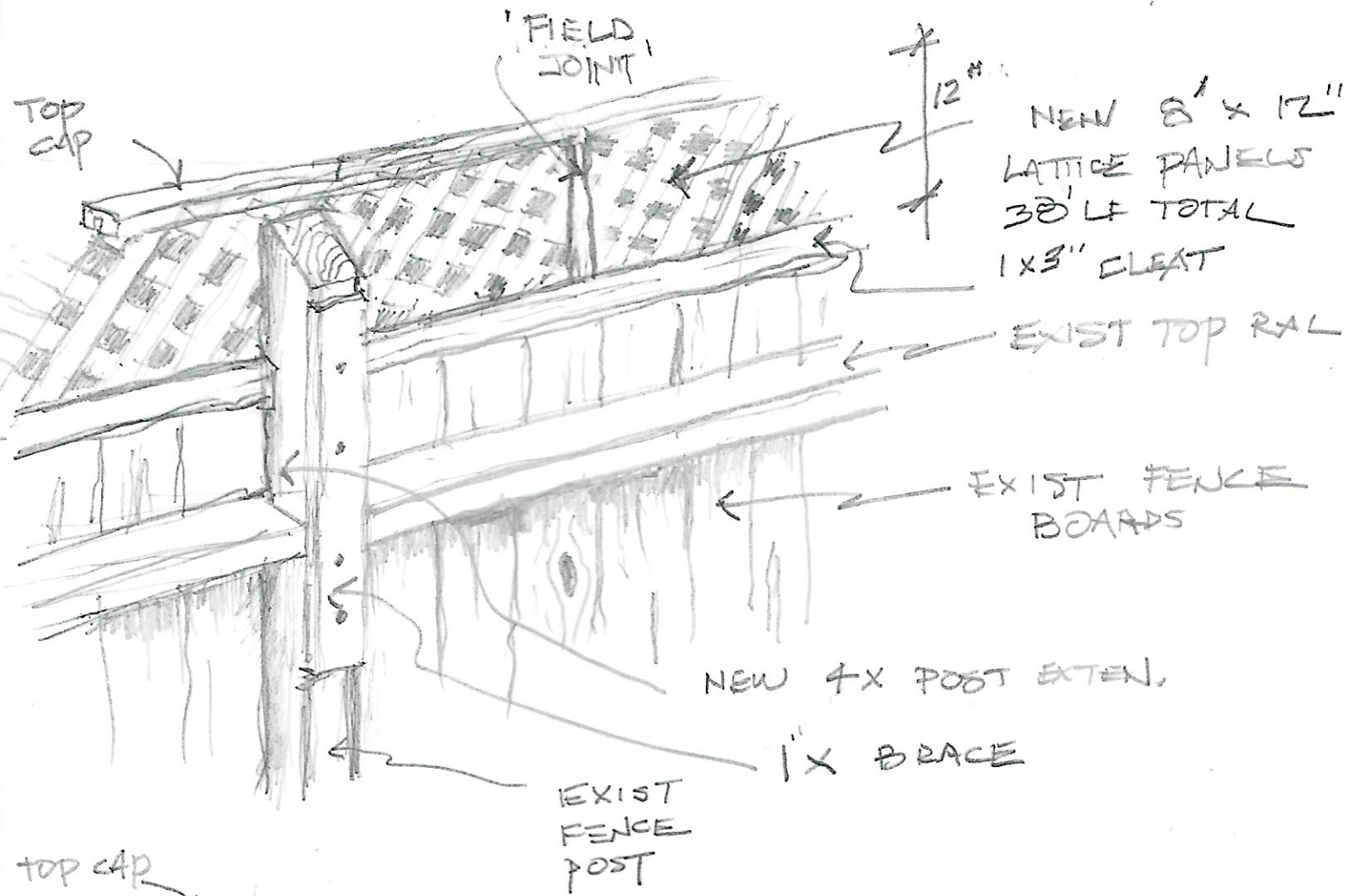
**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 25057 (Wynar)

Date Approved: 4/11/2025

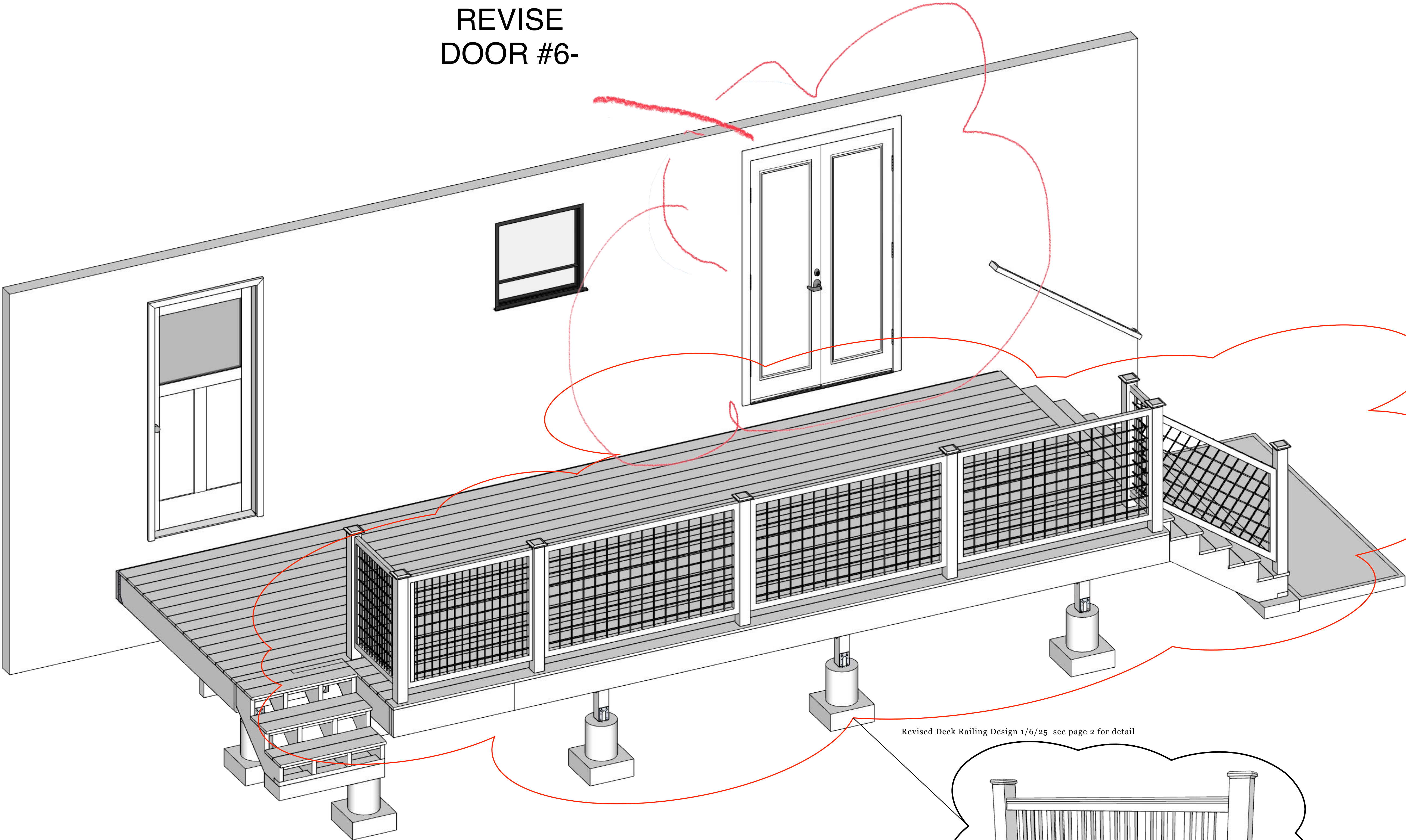
Planner: K. Wallace

SAC 8th + Math View

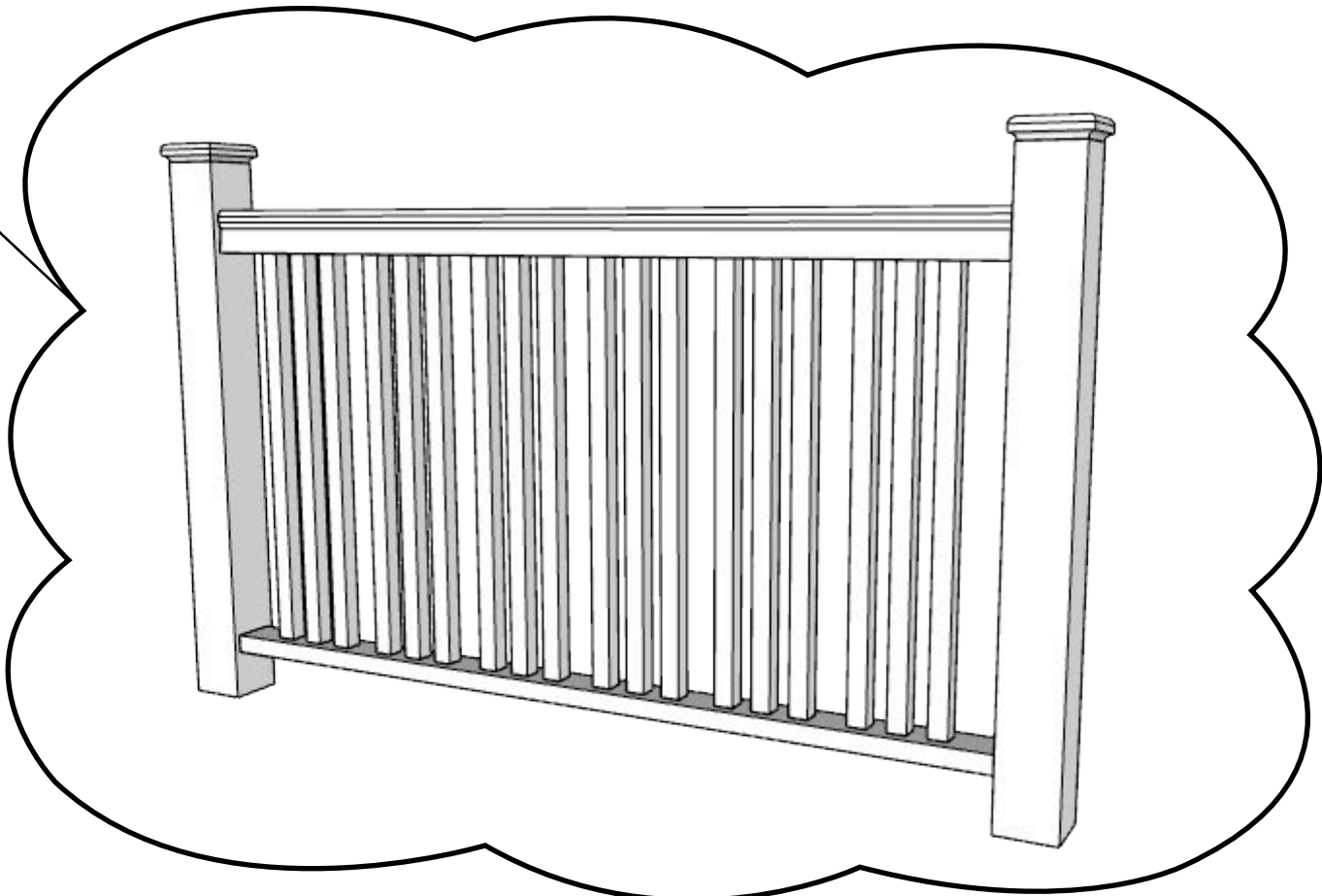


WYNAR RESIDENCE
SWC 8th & MT VIEW
WEST FENCE TOP
EXTENSION
12/6/24 R. ZAPANTA

REVISE
DOOR #6-



Revised Deck Railing Design 1/6/25 see page 2 for detail



DAVE WINANS CONSTRUCTION
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CLIENT
Wynar, Roahn & Joan
SW Corner 8th & Mountain View
Carmel By The Sea, 93921
APN 010-055-009-000

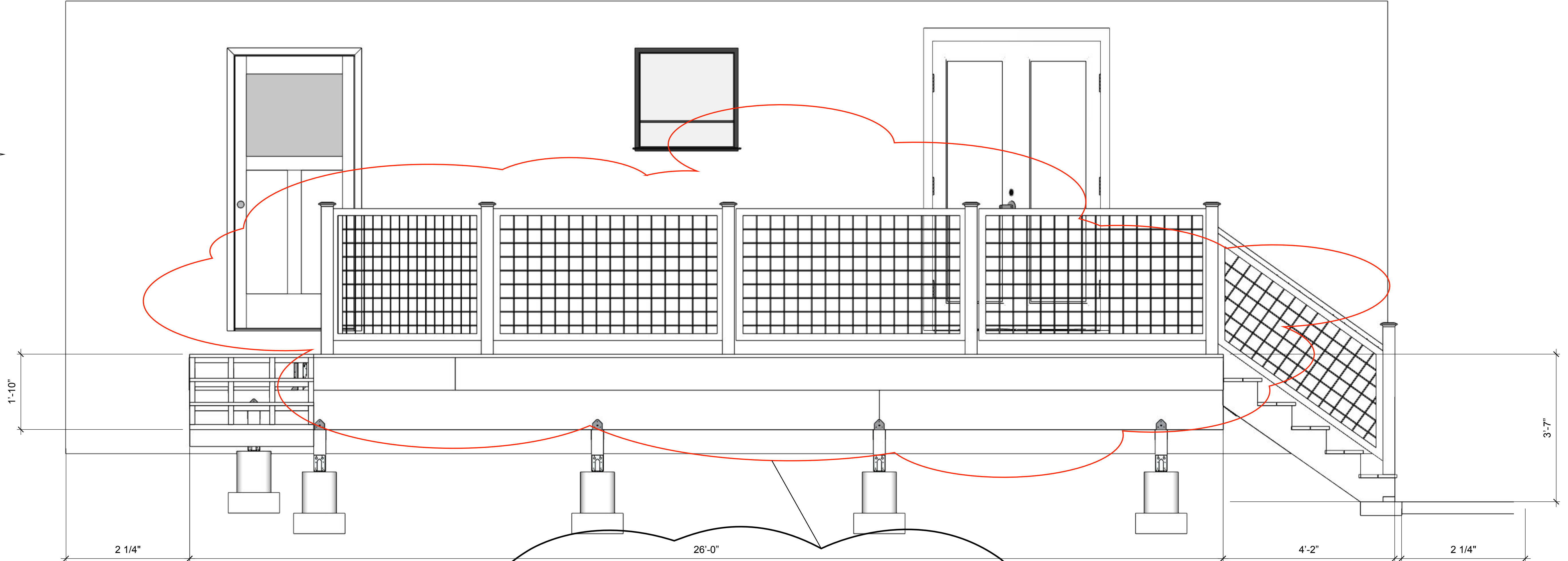
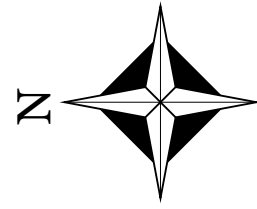
ISSUE
11.27.23
RE-ISSUE
01.14.24

PROJECT NO.
245.170
PROJECT
Deck

DRAWN BY
Dave Winans
DESCRIPTION
Sheet Description

Front Elevation
scale: 3/4" = 1'

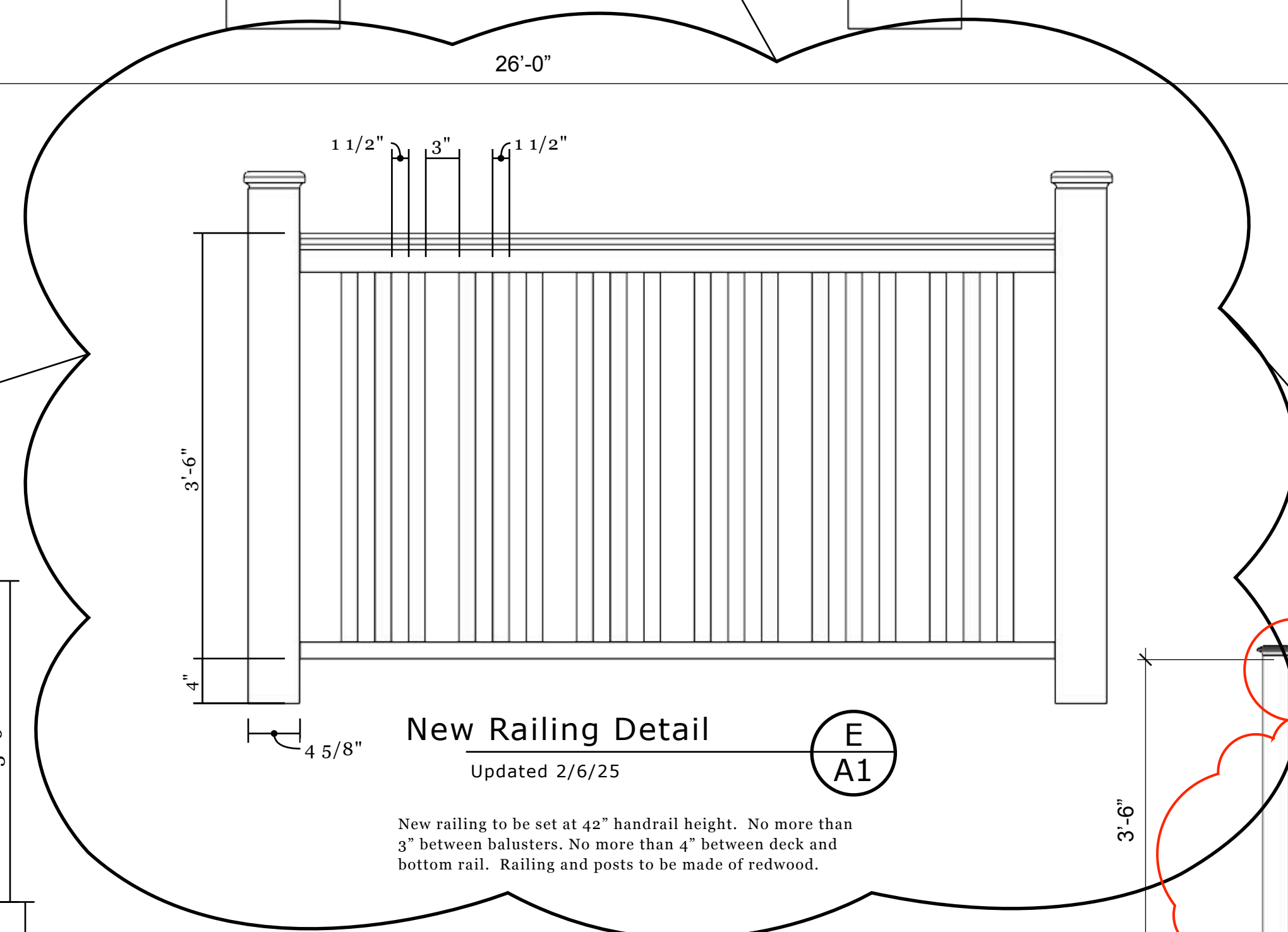
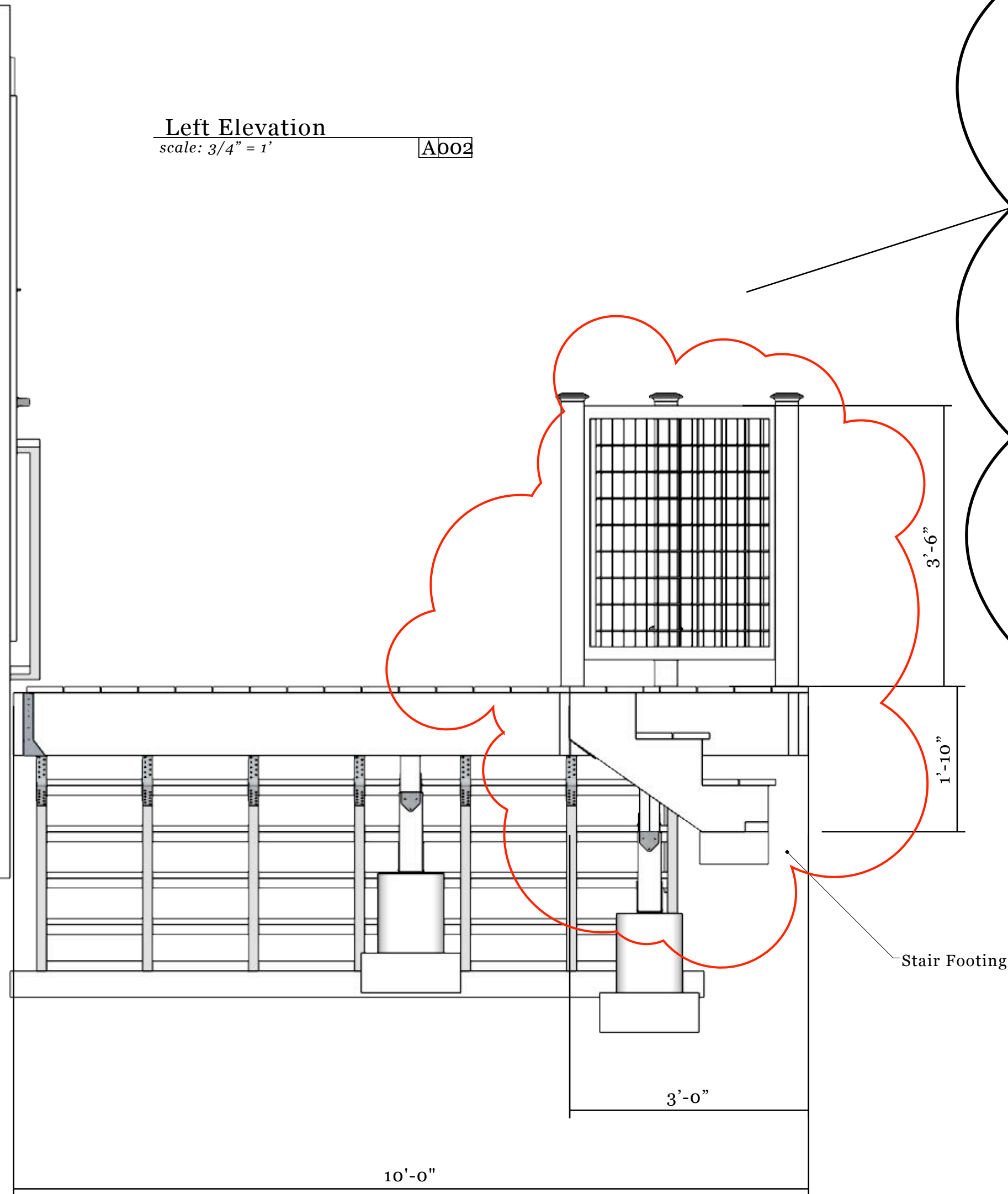
A001



Left Elevation
scale: 3/4" = 1'

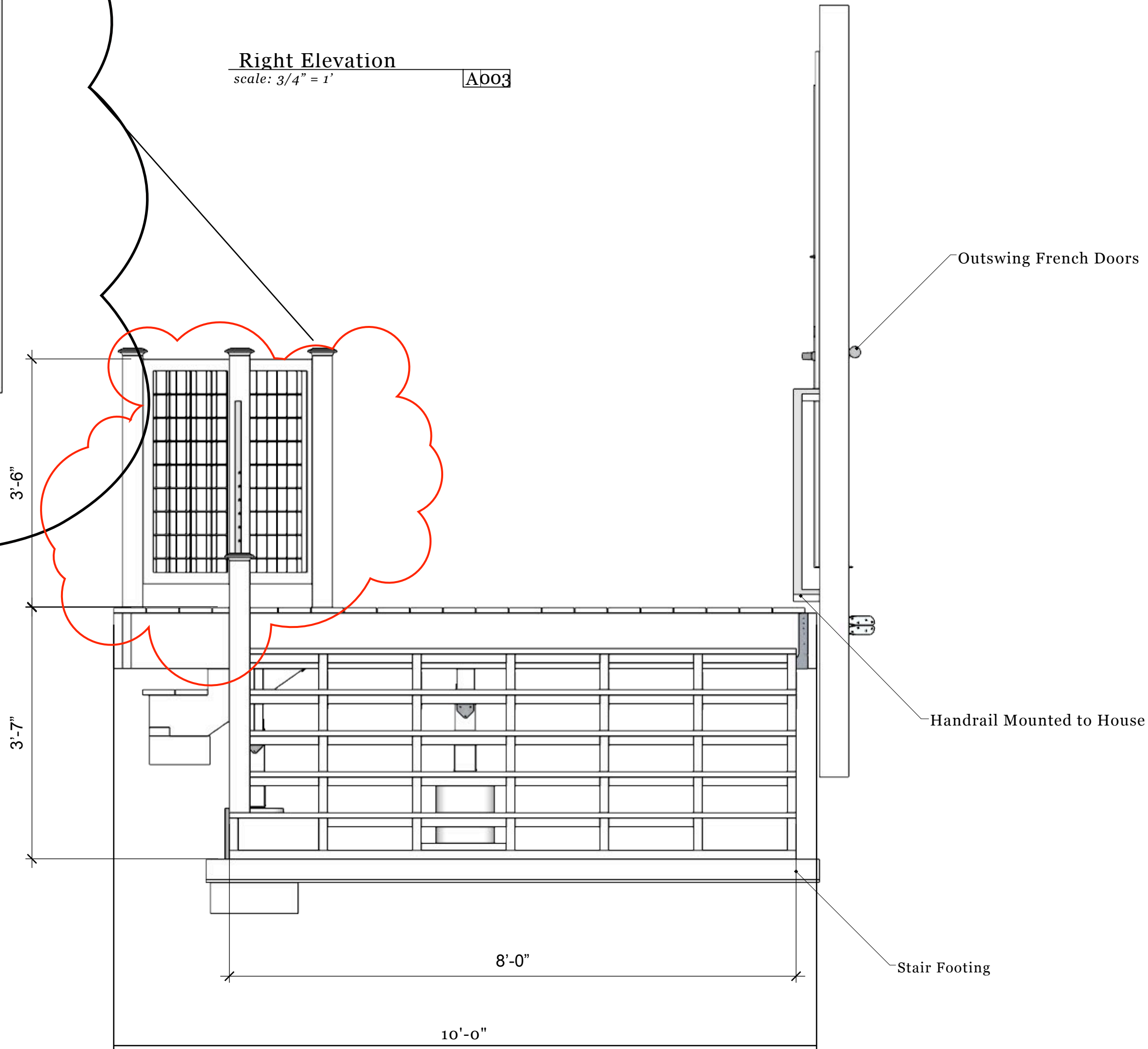
A002

Inswing Kitchen Door



Right Elevation
scale: 3/4" = 1'

A003



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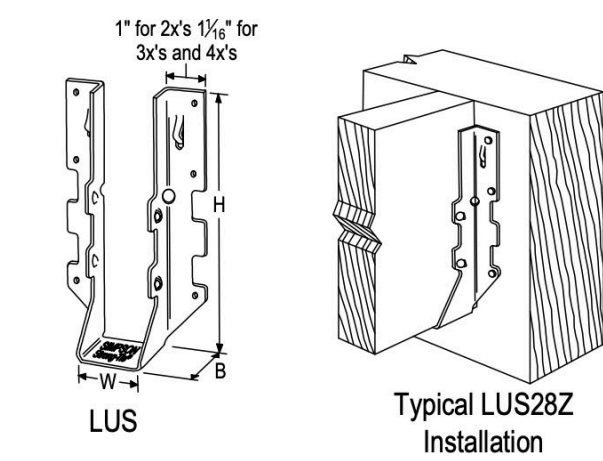
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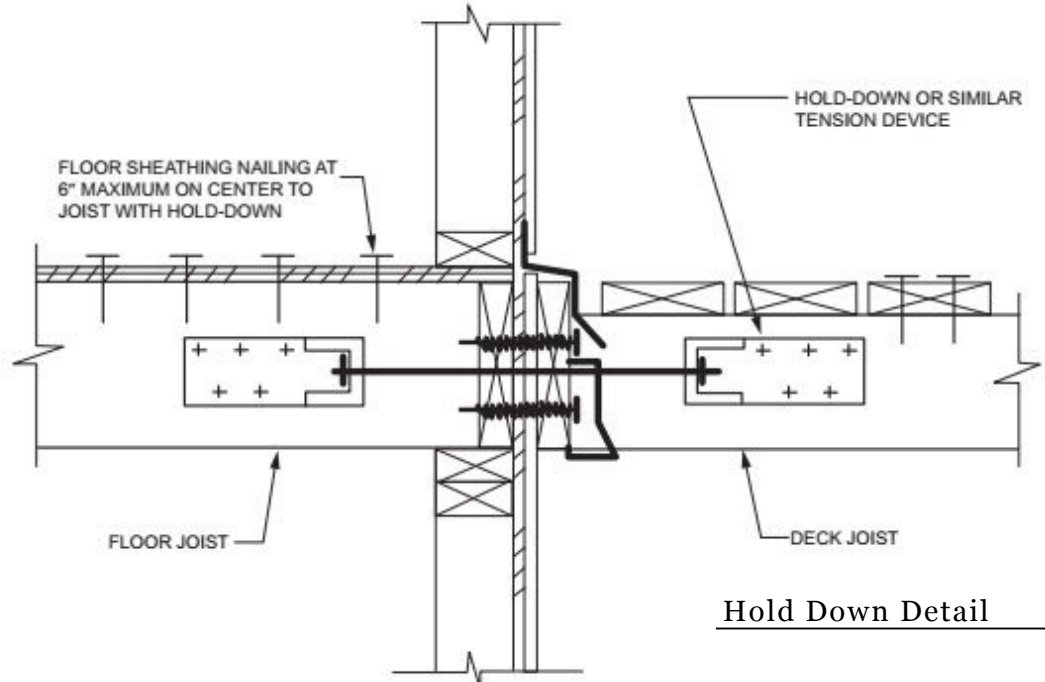
dk

General Notes

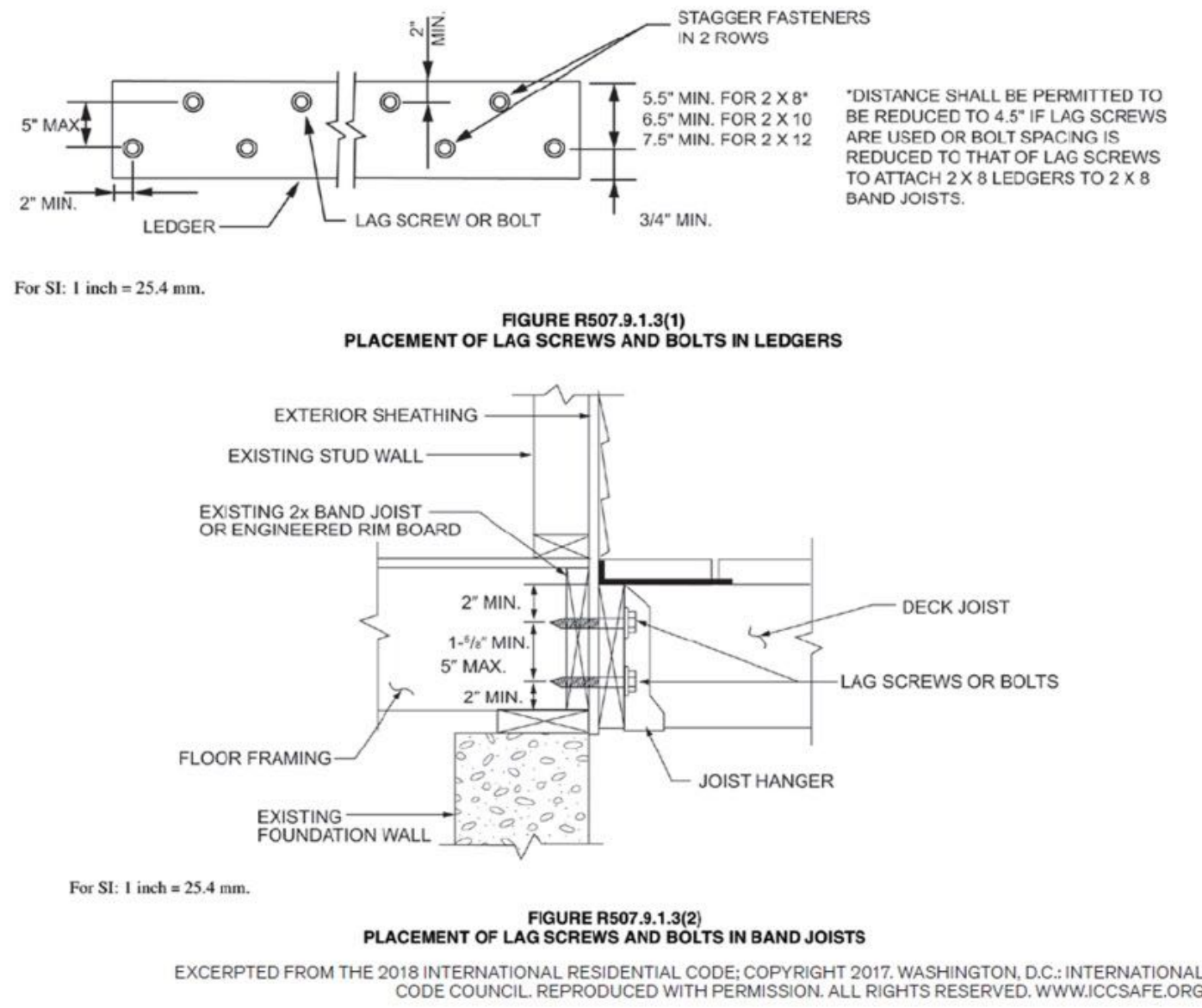
Deck framing to be constructed with No. 2 or better Doug-Fir Pressure Treated lumber.
All Fasteners to be rated for ACQ contact.
Deck Joist are 2x10 No. 2 or better Pressure Treated Lumber.
Deck Joist spacing is 16" O.C.
Deck Joist Span is 8', Cantilever is 2'.
Deck Beam are 2 2x12 No. 2 or better Pressure Treated Lumber.
Posts are 4x4 No. 2 or better Pressure Treated Lumber.
Footing is 12" below grade, 15" sq. x 6" thick.
Decking is composite Fiberon Espresso.
~~Railing is Trex Signature Mesh Railing. (See post attachment details in supporting documentation)~~



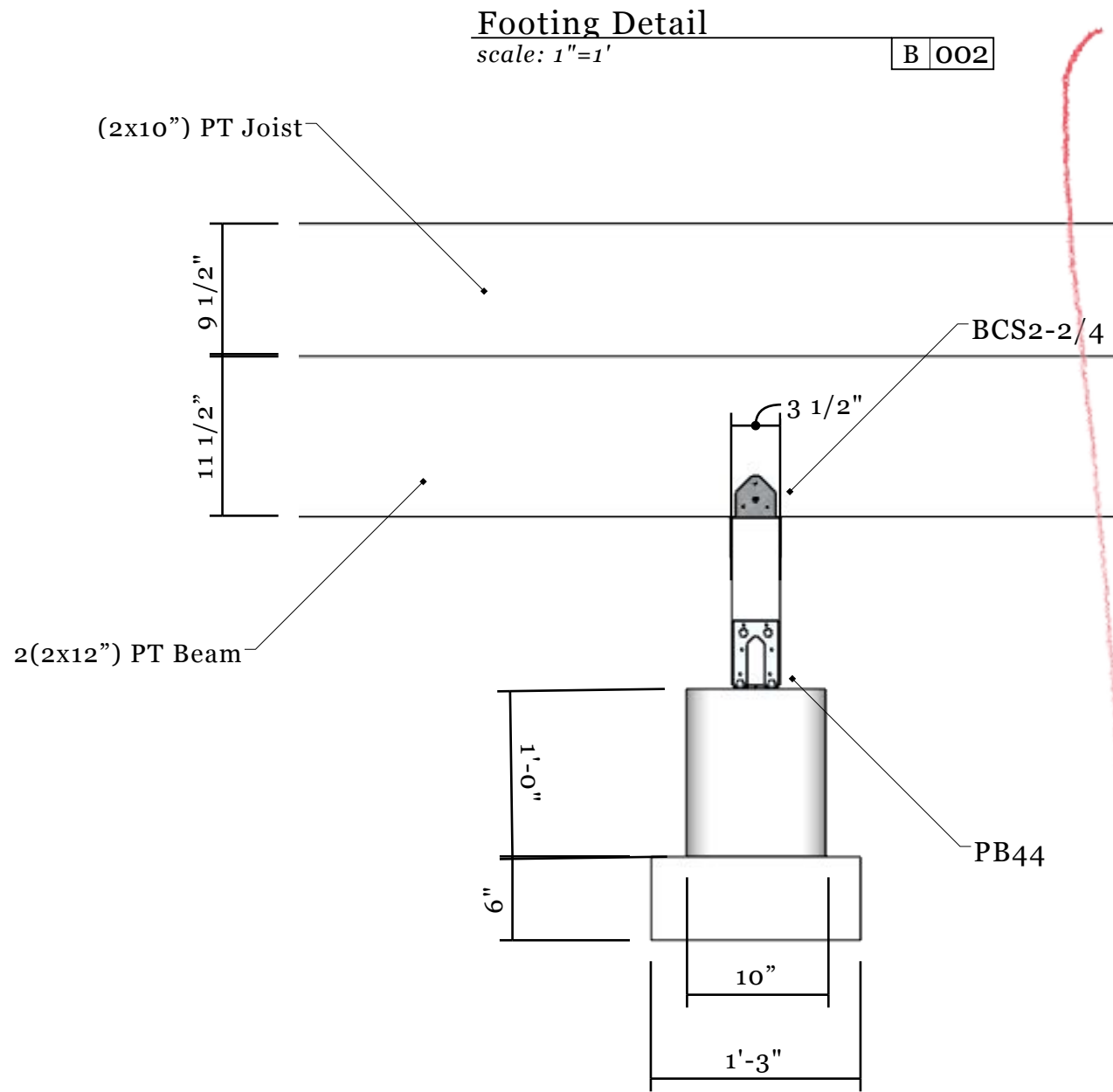
Joist Hanger Connection
C 001



Hold Down Detail
C 002

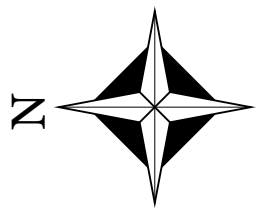
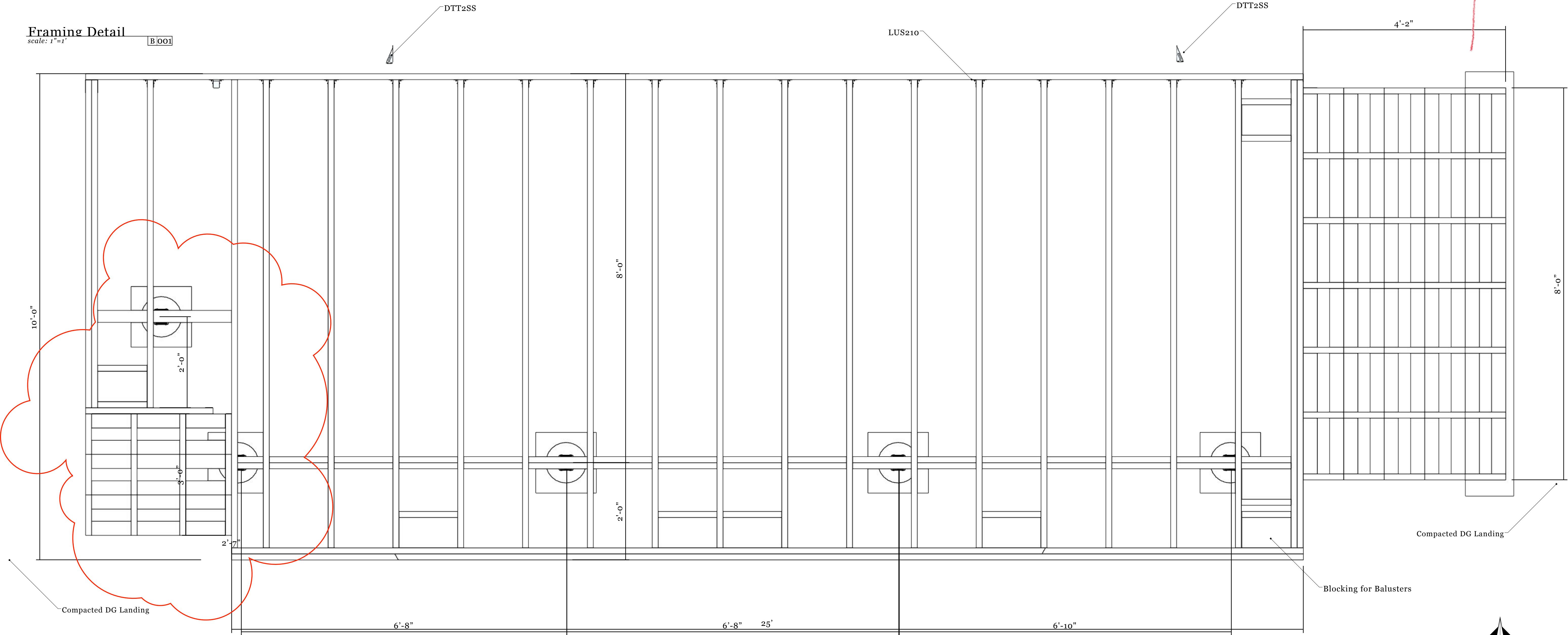


Ledger Attachment Detail
C 003



Footing Detail
B 002

Framing Detail
B 001



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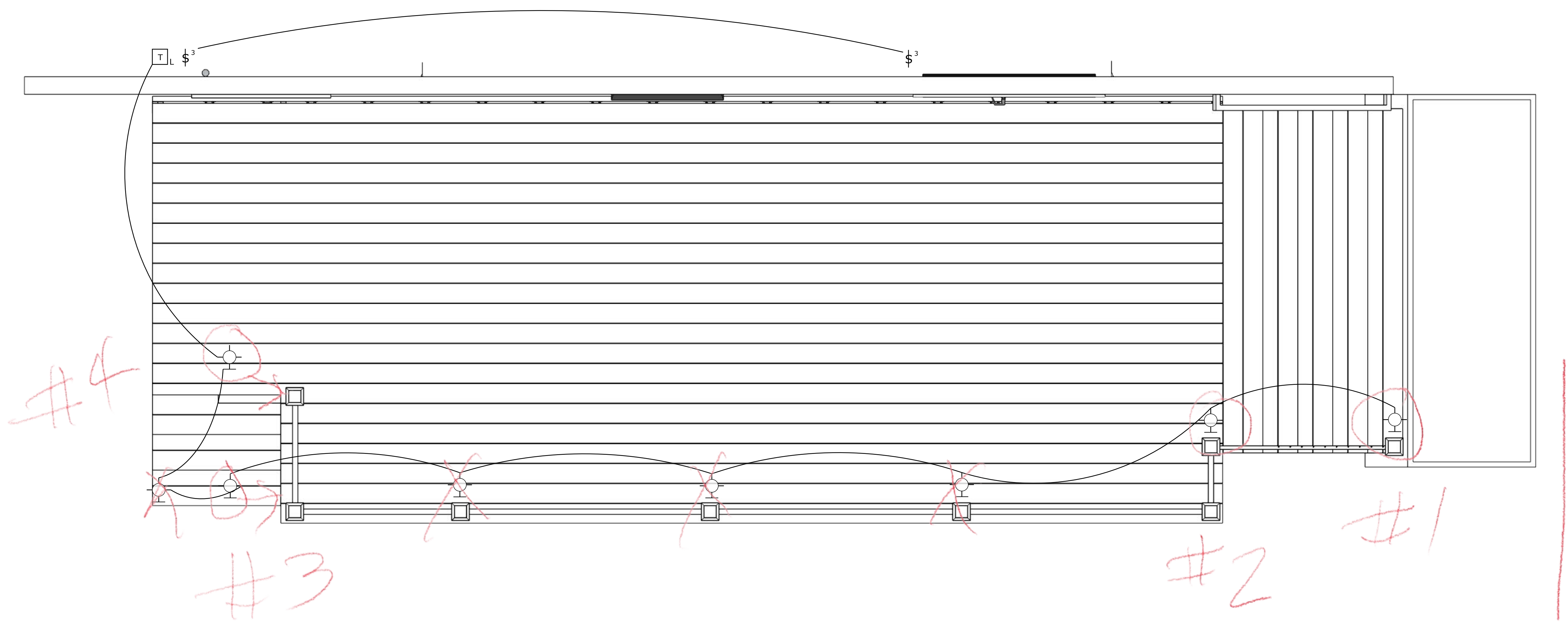
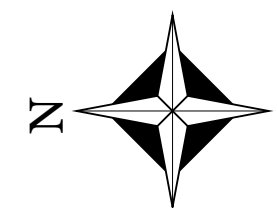
DRAWN BY
Dave Winans

dk

03

42a.

Notes:
LED Low Voltage Lighting system on switched outlet
Transformer 30W 2.5A
Light Fixtures: 1.2W 2.5A 12v
Estimated power consumption 7.2 watts



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PROJECT NO.
245.170
PROJECT
Deck

DRAWN BY
Dave Winans

Installation Details for Simpson Strong-Tie® Connectors and Fasteners Used in the Construction of Wood Decks

Installation Details for Simpson Strong-Tie® Connectors and Fasteners Used in the Construction of Wood Decks

Installation Details for Simpson Strong-Tie® Connectors and Fasteners Used in the Construction of Wood Decks

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

General Notes:

- Outdoor environments are generally more corrosive to steel. If you choose to use ZMAX® or HDG finish or stainless steel material on an outdoor project, you should periodically inspect your connectors and fasteners or have a professional inspection performed. Regular maintenance, including water-proofing of the wood used in your outdoor project is also a good practice.
- Coatings Available:
 - ZMAX: Galvanized (G185) 1.85 oz. of zinc per square foot of surface area. (hot-dip galvanized per ASTM A653 total both sides). These products require hot-dip galvanized fasteners (fasteners which meet the specifications of ASTM A153).
 - HDG - Hot Dip Galvanized: Products are hot-dip galvanized after fabrication (14 ga. and thicker). The coating weight increases with material thickness. The minimum specified coating weight is 2.0 oz. per square foot. (per ASTM A123 total both sides). These products require hot-dip galvanized fasteners (fasteners which meet the specifications of ASTM A153).
 - SS - Stainless Steel: Connectors are manufactured from Type 316L stainless steel, and provide greater durability against corrosion. Stainless-steel nails are required with stainless-steel products, and are available from Simpson Strong-Tie.
- When using stainless steel connectors, use stainless steel fasteners. When applications allow the use of ZMAX/HDG galvanized connectors, use HDG fasteners that meet the specifications of ASTM A153 or equivalent coating offered on Simpson Strong-Tie fasteners.
- Due to many variables involved with outdoor construction, Simpson Strong-Tie cannot provide estimates on service life of connectors, anchors or fasteners.
- To obtain optimal performance from Simpson Strong-Tie products, the products must be installed properly and used in accordance with the installation instructions and design limits provided by Simpson Strong-Tie.
- All installation notes and guidelines within the current *Wood Construction Connectors* catalog shall apply for the connectors, anchors, and fasteners shown.
- Simpson Strong-Tie reserves the right to change the specifications, design and models shown without notice or liability for such changes.
- Simpson Strong-Tie does not guarantee the performance or safety of products that are modified, improperly installed or not used in accordance with the design.
- All references to bolts or machine bolts (MB) are structural quality through bolts (not lag screws or carriage bolts) equal to or better than ASTM A307, grade A. Bolt holes shall be at least a minimum 1/32" and no more than a maximum of 1/16" larger than the bolt diameter per 2005 NDS Section 11.1.2.
- Unless noted otherwise, all references to standard cut washers refer to Type A plain washers (W) conforming to the dimensions shown in ASME B18.22.1 for the appropriate rod sizes.
- Unless stated otherwise, Simpson Strong-Tie cannot and does not make any representation regarding the suitability of use or load-carrying capacities of connectors installed with improper fasteners.

D01 General Notes

Fastener Notes:

- The specified quantity, type and size of fastener must be installed in the correct holes on the connector to achieve published loads. Incorrect fastener selection or installation can compromise connector performance and could lead to failure.
- Nail diameter assumes no coating. See technical bulletin T-NAILGUIDE for more information.
- The Simpson Strong-Drive® SD structural-connector screw is the only screw approved for use with our connectors.
- NAIL reference in tables:** 16d = 16d common, 10d = 10d common

Fastening Identification

Round Holes
Purpose: to fasten a connector.
Fill requirements: always fill, unless noted otherwise.

Obround Holes
Purpose: to make fastening a connector in a tight location easier.
Fill requirements: always fill.

Hexagonal Holes
Purpose: to fasten a connector to concrete or masonry.
Fill requirements: always fill when fastening a connector to concrete or masonry.

Triangular Holes
Purpose: to increase a connector's strength or to achieve Max strength.
Fill requirements: when the designer specifies Max nailing.

Diamond Holes
Purpose: to temporarily fasten a connector to achieve Max strength.
Fill requirements: none.

Speed Prongs
Used to temporarily position and secure the connector for easier and faster installation.

Dome Nailing
This feature guides the nail into the joist and header at a 45° angle.

Double Shear Nailing
The nail is installed in the joist and header, distributing the load through two points on each joist nail for greater strength.

Pilot Holes
Tooling holes for manufacturing purposes. No fasteners required.

D02 Fasteners

Installation:

- Follow 3-step installation sequence for skewed or sloped/skewed applications.
- Do not substitute 10dx1 1/2 nails for face nails.
- To see an installation video on this product, visit www.strongtie.com

STEP 1
Nail hanger to slope-cut carried member, installing seat nail first. No navel necessary for skewed installation. Install joist nails at 45° angle.

STEP 2
Skew flange from 0-45°. Bend outer flange back along centerline of slots until it meets the header. Bend one time only.

STEP 3
Attach hanger to the carrying member, acute angle side first (see footnote 1). Install nails at an angle.

Model No.	Dimensions (in.)			Fasteners	
	W	H	A	Header	Joist
LSU26Z	1 9/16	4 7/8	1 1/2	6-10d	5-10dx1 1/2
LSSU210Z	1 9/16	8 1/2	1 5/8	10-10d	7-10dx1 1/2

1. For skewed LSSU, the inner most face fasteners on the acute angle side are not installed.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D07 LSU, LSSU Adjustable Joist Hangers

Installation:

- ABA, ABU - for pre-pour installed anchors. For Simpson Strong-Tie epoxy or mechanical anchors, select and install in accordance with www.strongtie.com.
- Products require washers between the nut and the base. Washers are supplied with the ABU but not the ABA, which requires a standard cut washer.

Installation:

- Embed into wet concrete up to the bottom of the 1" standoff base plate. A 2" minimum side cover is required to obtain the full load. Holes in the bottom of the straps allow for free concrete flow.
- Allow concrete to cure before installation of the post.

Typical PBS

Model No.	Dimensions (in.)				Post Fasteners		
	W	L	H	HB	Nails	SD Screws	Machine Bolts Qty. Dia.
PBS44AHDG	3 9/16	3 1/2	6 1/4	3 7/16	14-16d	14-SD #10x1 1/2	2 1/2
PBS66HDG	5 1/2	5 3/8	6 1/2	3 11/16	14-16d	-	2 1/2

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D08 ABA, ABU Post Bases

D09 PBS Post Bases

Installation Details for Simpson Strong-Tie® Connectors and Fasteners Used in the Construction of Wood Decks

SIMPSON Strong-Tie

Installation Details for Simpson Strong-Tie® Connectors and Fasteners Used in the Construction of Wood Decks

Installation:

- Install Simpson Strong-Tie SDS 3/2" x 2" wood screws, which are provided with the column base, with a 3/4" hex head driver. (Lag screws will not achieve the same load.)
- Allow concrete to cure before installation of the post.
- For full loads, a minimum of 3" side cover shall be provided.

Model No.	Post Size	Dimensions (in.)				Number of SDS Screws
		W1	W2	D	H	
CBSQ44-SDS2HDG	4x4	3 9/16	3 1/2	7 1/8	8 3/8	14-SDS 3/2"x2"
CBSQ46-SDS2HDG	4x6	3 9/16	5 5/16	7 13/16	8 11/16	14-SDS 3/2"x2"
CBSQ66-SDS2HDG	6x6	5 1/2	5 1/2	6 7/8	8 3/4	14-SDS 3/2"x2"
CBSQ86-SDS2HDG	6x8	7 1/2	5 3/8	6 1/8	8 11/16	12-SDS 3/2"x2"
CBSQ88-SDS2HDG	8x8	7 1/2	7 3/8	6 1/8	8 11/16	12-SDS 3/2"x2"

1. Indicates connector is available in stainless steel. Replace -SDS2HDG in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D10 CBSQ Post Bases

Installation:

- Install in pairs.
- For LCE4Z installations on mitered corner conditions, refer to www.strongtie.com for more information.

Model No.	Dimensions (in.)		Fasteners			
Model No.	W	L	Nails		SD Screws	
			Beam	Post	Beam	Post
AC4Z	3 9/16	6 1/2	14-16d	14-16d	14-SD #10x1 1/2	14-SD #10x1 1/2
AC6Z	5 1/2	8 1/2	14-16d	14-16d	14-SD #10x1 1/2	14-SD #10x1 1/2
LPC4Z	3 9/16	3 1/2	8-10d	8-10d	8-SD #9x1 1/2	8-SD #9x1 1/2
LPC6Z	5 9/16	5 1/2	8-10d	8-10d	-	-
LCE4Z	-	5 3/8	14-16d	10-16d	14-SD #10x1 1/2	10-SD #10x1 1/2

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D12 AC, LPC, LCE Post Caps

Installation:

- BCS: Install dome nails on beam; drive nails at an angle through the beam into the post below.
- BC: Do not install bolts into pilot holes.

Model No.	Dimensions (in.)						Fasteners			
Model No.	W1	W2	L1	L2	H1	H2	Nails		SD Screws	
							Beam Flange	Post Flange	Beam Flange	Post Flange
BC4Z	3 9/16	3 9/16	2 7/8	2 7/8	3	3	6-16d	6-16d	6-SD #10x1 1/2	6-SD #10x1 1/2
BC6Z	5 1/2	5 1/2	4 3/8	4 3/8	3 3/8	3 3/8	12-16d	12-16d	-	-
BCS2-24Z	3 1/8	3 9/16	2 7/8	2 7/8	2 15/16	2 15/16	8-10d	6-10d	8-SD #9x2 1/2	6-SD #9x2 1/2
BCS2-36Z	4 5/8	5 9/16	4 3/8	2 7/8	3 5/16	2 15/16	12-16d	6-16d	-	-

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D11 BC, BCS Post Caps

Installation:

- For end c specify E
- Use all S fasteners
- Do not install into pilot

Model No.	W (in.)	Fasteners ^{3,3}		Post Size
		Beam	Post	
PC4Z	3 9/16	(10) 10d	(8) 10d	(2) 2x4
PC6Z	5 1/2	(10) 10d	(8) 10d	4x4
PC8Z	7 1/2	(10) 10d	(8) 10d	4x6
				4x8
				4x6
				6x6
				6x8
				8x8

1. Post and beam may consist of multiple members provided they are connected independently of the post cap fasteners.
2. 10d x 2 1/2" (0.148" dia. x 2 1/2" long) nails may be used with no load reduction for uplift and 0.65 of the table loads for lateral.
3. Strong-Drive® SD9 x 1 1/2" Connector screws may be substituted for table fasteners with no load reduction.
4. Models available for rough size lumber, specify RZ suffix. Ex. PC4RZ.

D13 PC, EPC Post Caps

Installation Details for Simpson Strong-Tie® Connectors and Fasteners Used in the Construction of Wood Decks

SIMPSON Strong-Tie

Installation Details for Simpson Strong-Tie® Connectors and Fasteners Used in the Construction of Wood Decks

Installation:

- LUS hangers install with double shear nailing.
- For installations into single 2x headers or ledgers, use the specified full length fasteners into the joist and the following fasteners into the header for reduced loads in accordance with www.strongtie.com:
- 10dx1 1/2 nails for installations with Nails
- SD #9x1 1/2 for LUS28Z and LUS210Z installations with SD Screws
- SD #10x1 1/2 for LUS26-2Z and LUS210-2Z installations with SD Screws

Model No.	Dimensions (in.)			Fasteners			
Model No.	W	H	B	Nails		SD Screws	
				Header	Joist	Header	Joist
LUS26Z	1 9/16	4 3/4	1 3/4	4-10d	4-10d	-	-
LUS28Z	1 9/16	6 5/8	1 3/4	6-10d	4-10d	6-SD #9x2 1/2	4-SD #9x2 1/2
LUS210Z	1 9/16	7 13/16	1 3/4	8-10d	4-10d	8-SD #9x2 1/2	4-SD #9x2 1/2
LUS26-2Z	3 1/8	4 7/8	2	4-16d	4-16d	4-SD #10x2 1/2	4-SD #10x2 1/2
LUS210-2Z	3 1/8	9	2	8-16d	8-SD #10x2 1/2	6-SD #10x2 1/2	6-SD #10x2 1/2

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D03 LUS Joist Hangers

Installation:

- The joist may be square cut or bevel cut.
- These hangers will normally accommodate a 40° to 50° skew.

Model No.	Joist Size	Dimensions (in.)					Fasteners	
		W	H	B	A1	A2	Header	Joist
SUR/L26Z	2x6, 8	1 9/16	5	2	1 1/8	1 5/16	6-16d	6-10dx1 1/2
SUR/L210Z	2x10, 12	1 9/16	8 1/8	2	1 1/8	1 5/16	10-16d	10-10dx1 1/2
SUR/L210-2Z	(2) 2x10, 12	3 1/8	8 11/16	2 5/8	1 7/16	2 3/8	14-16d	6-16dx2 1/2

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D05 SUR/SUL 45° Skewed Joist Hangers

Installation:

- For HUC installations, models have triangle holes. To achieve maximum loads, fill both triangle holes (fastener quantities listed fill).
- For installations into single 2x headers or 1x the specified full length fasteners into the following fasteners into the header for red, in accordance with www.strongtie.com:
- 10dx1 1/2 nails for installations with Nails
- SD #9x1 1/2 for LUC26Z and LUC210Z installations with SD Screws

Model No.	Dimensions (in.)			Fasteners			
Model No.	W	H	B	Nails		SD Screws	
				Header	Joist	Header	Joist
LUC26Z	1 9/16	4 3/4	1 3/4	6-10d	4-10dx1 1/2	6-SD #9x2 1/2	4-SD #9x1 1/2
LUC210Z	1 9/16	7 3/4	1 3/4	10-10d	6-10dx1 1/2	10-SD #9x2 1/2	6-SD #9x1 1/2
HUC26-2Z	3 1/8	5 3/8	2 1/2	12-16d	6-10d	-	-
HUC28-2Z	3 1/8	7	2 1/2	14-16d	6-10d	-	-
HUC210-2Z	3 1/8	8 13/16	2 1/2	18-16d	10-10d	-	-

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D04 LUC, HUC Joist Hangers

Installation:

- Field skewable; bend one time only.
- Joist must be constrained against rotation (for example, with solid blocking) when using a single LS per connection.

Model No.	L (in)	Fasteners
LS30Z	3 3/8	6-10d
LS50Z	4 7/8	8-10d
LS70Z	6 3/8	10-10d

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.
2. Refer to current *Wood Construction Connectors* catalog for additional information.

D06 LS Framing Angles

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245.170

PROJECT
Deck

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06

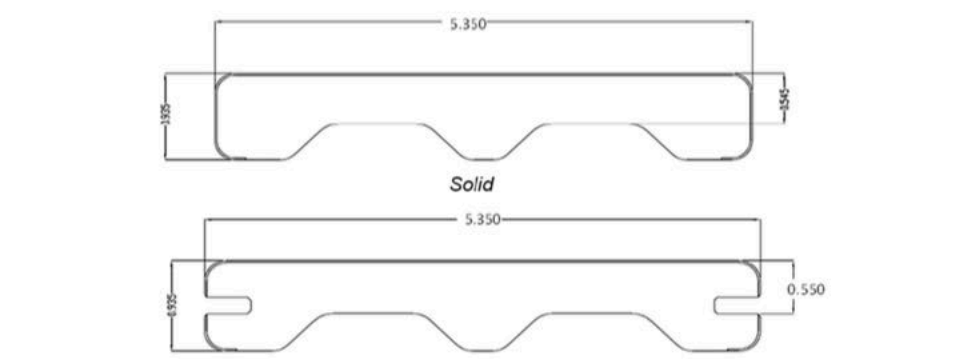


FIGURE 1—FIBERON® GOOD LIFE WEEKENDER, GOOD LIFE™ ESCAPES, VERANDA® BUILDER'S SELECT COLLECTION and ARMORGUARD® DESIGNER'S CHOICE COLLECTION CROSS-SECTIONS



FIGURE 3—FIBERON® CONCORDIA™ ASTIR, CONCORDIA™ HORIZON® AND CONCORDIA™ SYMMETRY® CROSS-SECTIONS

TABLE 2—FIBERON® PVC DECKING		
PRODUCT NAME	DESCRIPTION	EVALUATED COLORS
Paramount®	Solid rectangular board coextruded with capstock on sides and top (See Figure 5)	Brownstone, Clay, Mineral, Sandstone
Promenade®	Solid rectangular board coextruded with capstock on all four sides (See Figure 6)	Moonlit Cove, Natural Reef, Russet Dune, Sandy Pier, Shaded Cay, Weathered Cliff

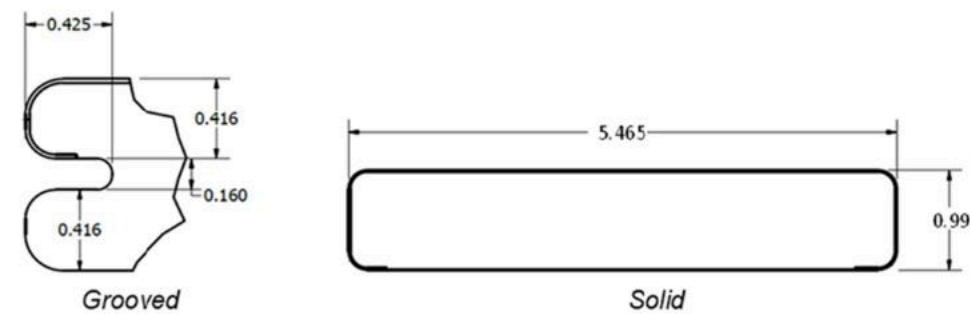


FIGURE 5—FIBERON® PARAMOUNT® CROSS-SECTION

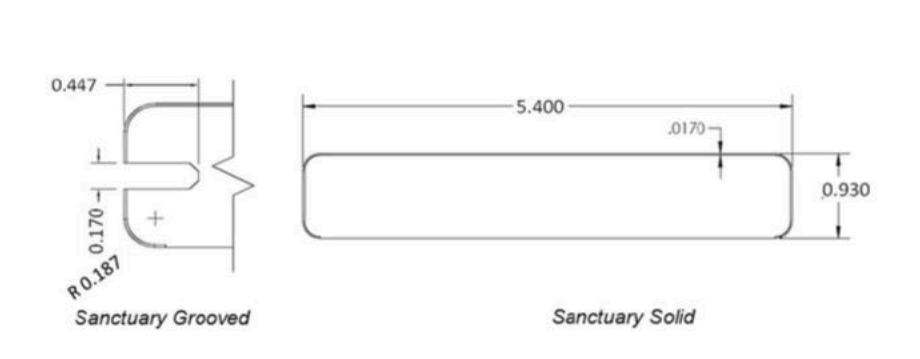


FIGURE 2—FIBERON® SANCTUARY® CROSS-SECTIONS

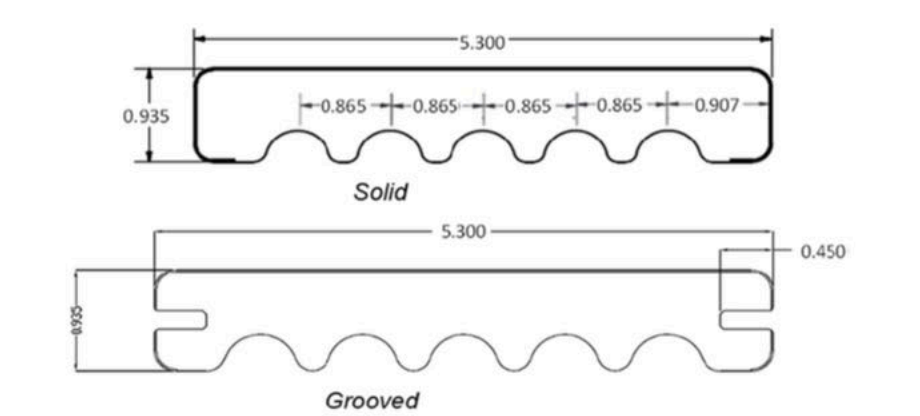


FIGURE 4—FIBERON® ARMORGUARD® AND VERANDA® CROSS-SECTIONS

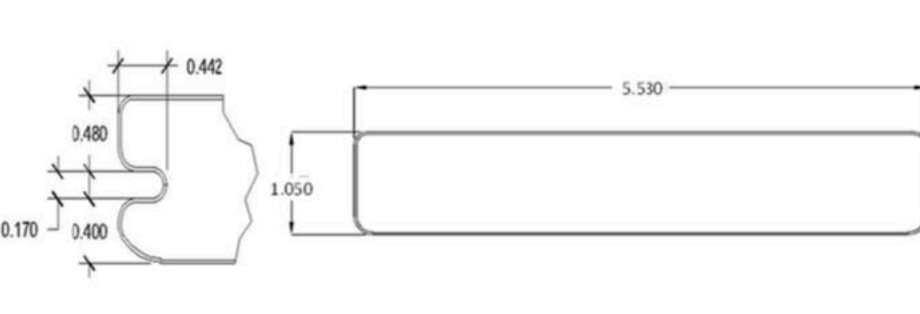


FIGURE 6—FIBERON® PROMENADE CROSS-SECTION



TABLE 1 – PROPERTIES EVALUATED		
PROPERTY	2015/2012 IBC Section	2015/2012 IRC SECTION
Structural Performance	1607.8	R301.5

TABLE 2 – CODE OCCUPANCY CLASSIFICATION					
Guardrail System	Maximum Dimensions	Bracket Type	Infill Type	Support Post	Code Occupancy Classification ⁽¹⁾
Trex® Signature® Railing System	96 inches by 42 inches	Standard or Crossover	3/4 in Square Vertical Or, 3/4 in Round Vertical	2.5 inch aluminum post and anchorage to wood deck ⁽²⁾	IRC One- and Two-Family Dwellings
Trex® Signature® Rod Railing System	96 inches by 42 inches	Standard	Round Horizontal	2.5 inch aluminum post and anchorage to rigid supporting structure	
Trex Signature® Glass Railing System	72 inches by 42 inches	Standard or Crossover	1/4 inch thick Tempered Glass		
Trex Signature® Mesh Railing System	71 inches by 42 inches	Standard or Crossover	Stainless Steel Mesh ⁽⁴⁾		
Trex® Signature® Railing System	96 inches by 42 inches	Standard	3/4 in Square Vertical Or, 3/4 in Round Vertical	Aluminum post with min. wall thickness 0.125" designed to support 400 lb. design load from top rail.	IBC All Use Groups
Trex® Signature® Rod Railing System	96 inches by 42 inches	Standard	Round Horizontal	(See Note 3)	
Trex Signature® Mesh Railing System	71 inches by 42 inches	Standard or Crossover	Stainless Steel Mesh ⁽⁴⁾		

⁽¹⁾ Guardrails are qualified up to and including the listed maximum guardrail system dimensions for use in the referenced Code Occupancy Classification. Guardrail lengths are actual railing lengths (clear space between supports). Guardrail height is from the walking surface to top of top rail.

⁽²⁾ The 2.5 inch aluminum post attachment to surface of wood deck must be in accordance with the wood deck support blocking as depicted in Figure 13. Decking shall be Trex® Transcend® or Trex® Select deck boards (solid or grooved) as described in ICC-ES ESR-3168, Trex® Enhance® (solid or grooved) as described in Intertek CCRR-0301, or decking equivalent in compressive strength.

⁽³⁾ For installations in any use group under the IBC, Guards shall be attached to and supported by structural aluminum designed in accordance with IBC Chapter 16 and the Aluminum Design Manual, ADM-2015. Design, fabrication and installation of the railing system supports are outside the scope of this evaluation.

⁽⁴⁾ Stainless steel mesh consists of 0.188 in. diameter 316 stainless steel mesh infill, 4 in. square center-to-center spacing throughout and 4 in. wide by 3 in. tall center-to-center spacing on top and bottom

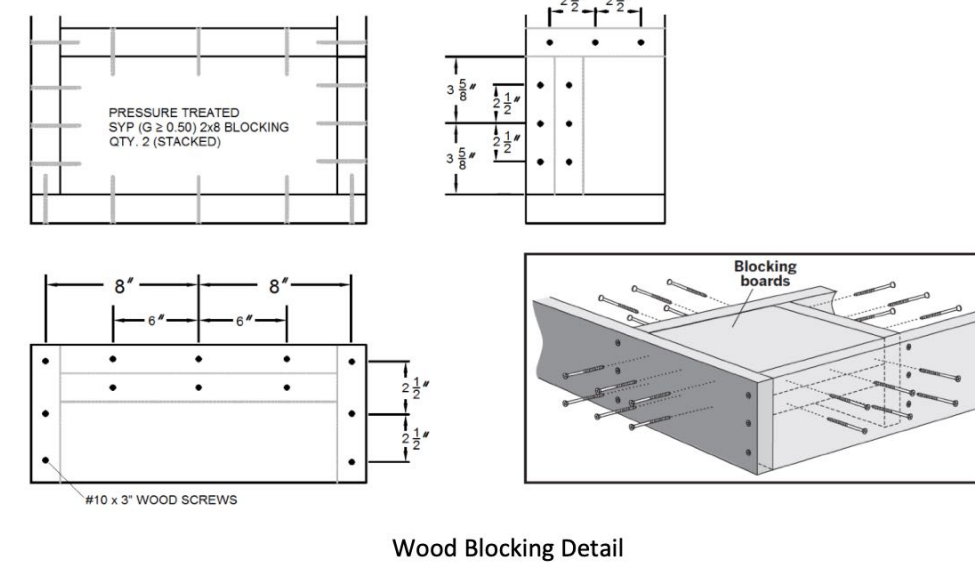
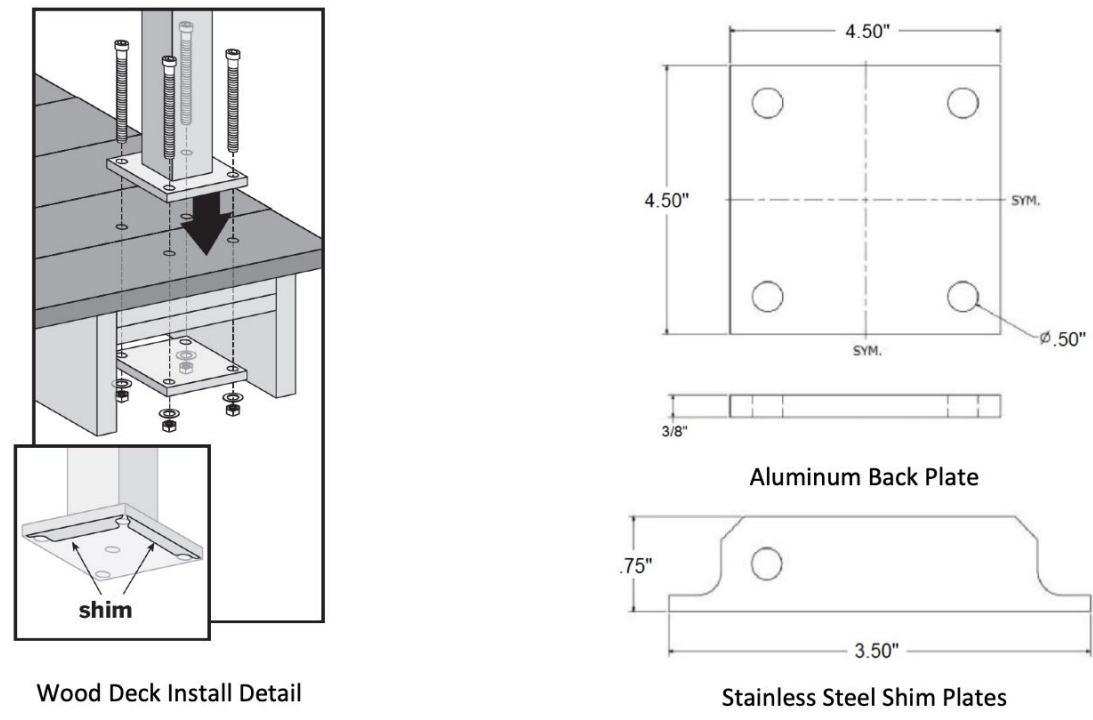


FIGURE 11 – POST MOUNT INSTALLATION ON WOOD DECK

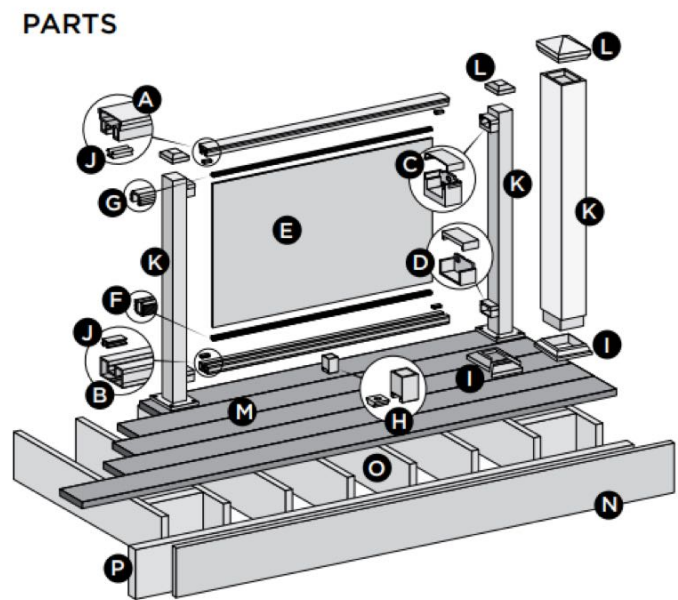


FIGURE 3 – TREX® SIGNATURE® GLASS

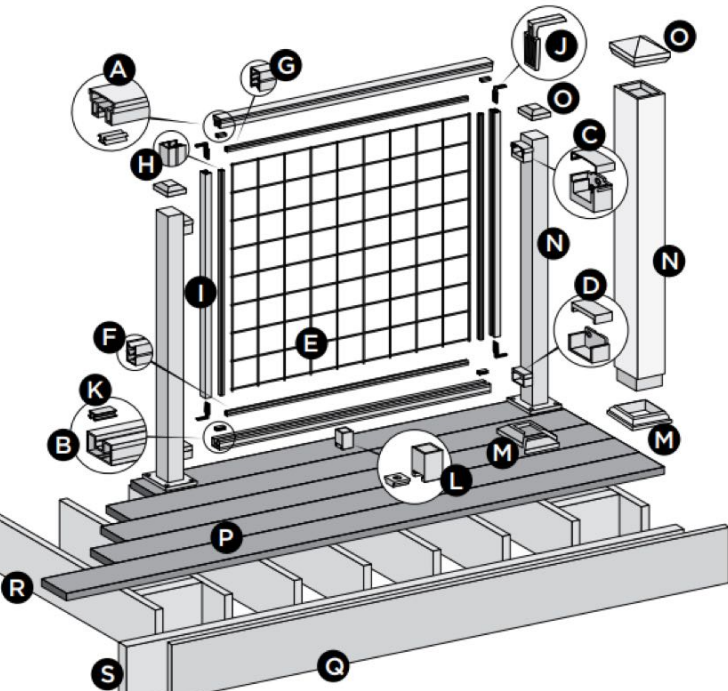


FIGURE 4 – TREX® SIGNATURE® MESH



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Trex® Wedge Deck Rail Light - Charcoal Black

SKU: BKALPOSTLAMPLED

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COLOR: Charcoal Black



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Width(Inches)	4.75
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Depth(Inches)	9.38
Length(Inches)	9.38
Part Number	XXALPOSTLAMPLED
Color	Charcoal Black
Finish	Coated
Material	Aluminum
Power Source	DC
Voltage	12 volts
Wattage	1.2 watts
Type of Bulb	LED
Kelvin Rating	3000
Warranty Description	7 years

Downloads

- Trex® OutdoorLighting™ Brochure
- Trex® Deck Lighting Installation Guide
- Trex® DeckLighting Troubleshooting Guide

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Warmly styled outdoor wall light is Dark Sky regulation approved for full cut-off.

Product Details



- 8 1/2" wide x 6" high. Extends 10 1/2" from the wall.
- Uses one maximum 60 watt standard-medium base A15 bulb (not included).
- From Minka Lavery's Kirkham lighting collection.
- Hammered aspen bronze finish. Aluminum construction.
- Wet location outdoor rated. Can also be used indoors. Dark Sky friendly. Dark Sky regulations vary by region, so please check with your local municipality for requirements

Light the night, but not the night sky, with this Dark Sky regulation approved wall light. A bent arm extends the light housing away from the wall and directs light downward. Rated for full cut-off, the design features a warm hammered aspen bronze finish. Dark Sky friendly. Dark Sky regulations vary by region, so please check with your local municipality for requirements.

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Product Attributes

Finish	Bronze
Style	Farmhouse
Brand	Minka Lavery

Technical Specifications

Height	6.00 inches
Width	8.50 inches
Weight	.90 pounds
Max Wattage	60 watts

Product Documents

- [Installation Instructions for Minka Kirkham 8 1/2" Wide Dark Sky Outdoor Wall Light](#)

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Questions & Answers

Ask a question

Q

17 Questions

Sort by: Most Helpful ▾

Q: What is the width of the back plate? Want to mount on 6" pole A Shopper May 18, 2020

A: The wall lights back plate measures exactly 5.13" wide.

Alfred M. STAFF May 18, 2020

▼ [See 1 Answer](#) [Answer](#)





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Bulbs, Nightstand Light Bulb,
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Color: Warm White 3w Pack-4



PG 2

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