



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 25045

**Owner Name:** George & Katharine Albino

**Case Planner:** Evan Kort, Senior Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 06/06/2025

**Project Location:** Monte Verde 8 SW of 12th

**APN #:** 010175023000      **BLOCK/LOT:** 134/ALL LOT 19

**Applicant:** Matt Hanner

**Project Description:** This approval of Design Study, DS 25045 (Albino), authorizes an interior and exterior remodel of an existing two-story single-family residence with an attached two-car garage. Exterior improvements include new stucco siding, a new clay tile roof, replacement of all windows and doors, new wrought iron guardrails, and repairs to the existing cedar deck. Interior work includes reconfiguring the kitchen, dining area, powder room, bedrooms, bathrooms, and closets, as well as converting a portion of the garage into a new laundry room. No new floor area, site coverage, or tree removal is proposed. The project is located at Monte Verde 8 SW of 12th, APN: 010-175-023. The project shall be constructed as depicted in the plans prepared by Carmel Building & Design as approved by Community Planning Building Department on June 6, 2025 unless modified by the conditions of approval contained herein.

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<p><b>Authorization.</b> This approval of Design Study, DS 25045 (Albino), authorizes an interior and exterior remodel of an existing two-story single-family residence with an attached two-car garage. Exterior improvements include new stucco siding, a new clay tile roof, replacement of all windows and doors, new wrought iron guardrails, and repairs to the existing cedar deck. Interior work includes reconfiguring the kitchen, dining area, powder room, bedrooms, bathrooms, and closets, as well as converting a portion of the garage into a new laundry room. No new floor area, site coverage, or tree removal is proposed. The project is located at Monte Verde 8 SW of 12th, APN: 010-175-023. The project shall be constructed as depicted in the plans prepared by Carmel Building &amp; Design as approved by Community Planning Building Department on June 6, 2025 unless modified by the conditions of approval contained herein.</p>
2.	<p><b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Community Planning and Building Department, or Planning Commission, as deemed appropriate by the Community Planning and Building Director.</p>
3.	<p><b>Permit Validity.</b> In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>
4.	<p><b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District (MPWMD) determine that adequate water is unavailable for this site, this approval will be void and the applicant shall revise the project to comply with the requirements specifics by MPWMD.</p>
5.	<p><b>Setback and Height Certifications.</b> If requested by the Community Planning and Building Department, a state licensed surveyor shall survey and certify the following in writing:</p> <ul style="list-style-type: none"> <li>• The footing locations are in conformance with the approved plans prior to footing/foundation inspection;</li> <li>• The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness.</li> </ul> <p>Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.</p>
6.	<p><b>Service Laterals.</b> Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).</p>

7.	<b>Utility Meter Locations.</b> The placement of all utility meters shall consistent with the locations identified in the approved plans. Changes to the location of any utility meter location shall require written approval of the Community Planning and Building Department prior to the change of the location.
8.	<b>Fire Sprinklers - Residential.</b> Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).
9.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
10.	<b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
11.	<p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning &amp; Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
12.	<p><b>Exterior Lighting.</b> Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p>

	Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.
13.	<b>Skylights &amp; Skylight Shades.</b> Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications for all skylights (new and/or replaced) and skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.
14.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
15.	<b>Hazardous Materials Waste Survey.</b> Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.
16.	<b>Cultural Resources.</b> Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
17.	<b>Truck Haul Route.</b> Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.
18.	<b>USA North 811.</b> Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

19.	<b>Conditions of Approval.</b> Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.
<b>Landscape Conditions</b>	
20.	<b>Tree Removal Prohibited.</b> Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
21.	<p><b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.</li> <li>• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> <li>• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.</li> </ul>
22.	<b>Foundation Work Near Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of

	mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.
<b>Environmental Compliance Conditions</b>	
23.	<b>Drainage Plan.</b> If required by the Building Division, prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.
24.	<b>BMP Tracking Form.</b> Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.
25.	<b>Erosion and Sediment Control Plan.</b> Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.
<b>Special Conditions</b>	
26.	<b>Conditions of Approval Acknowledgment.</b> Prior to the issuance of a building permit revision, a completed <b>Conditions of Approval Acknowledgment</b> form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
27.	<b>Construction Management Plan.</b> Prior to the issuance of a building permit, the Applicant shall submit a Construction Management Plan for review and approval by the Community Planning & Building Director.
28.	<b>Non-Conforming Site Coverage.</b> The existing site is in compliance with site coverage limits shall not be authorized to increase site coverage (CMC 17.10.030.C.2). Site coverage that was lawfully established but not in compliance with current zoning regulations may be maintained in its current state, however, shall be considered non-conforming. If a non-conforming element is removed, or substantially altered, it shall not be permitted to be rebuilt or re-established in the same location or elsewhere on the site (CMC 17.36.040.E). New or replaced coverage shall require the non-conforming be brought into compliance with the requirements for the R-1 zoning district.
29.	<b>Deck Repair.</b> Prior to building permit issuance, the applicant shall demonstrate how and/or provide evidence of how the existing cedar deck will be repaired without removal of said feature consistent with the requirements of Condition of Approval #28

Acknowledgment and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date



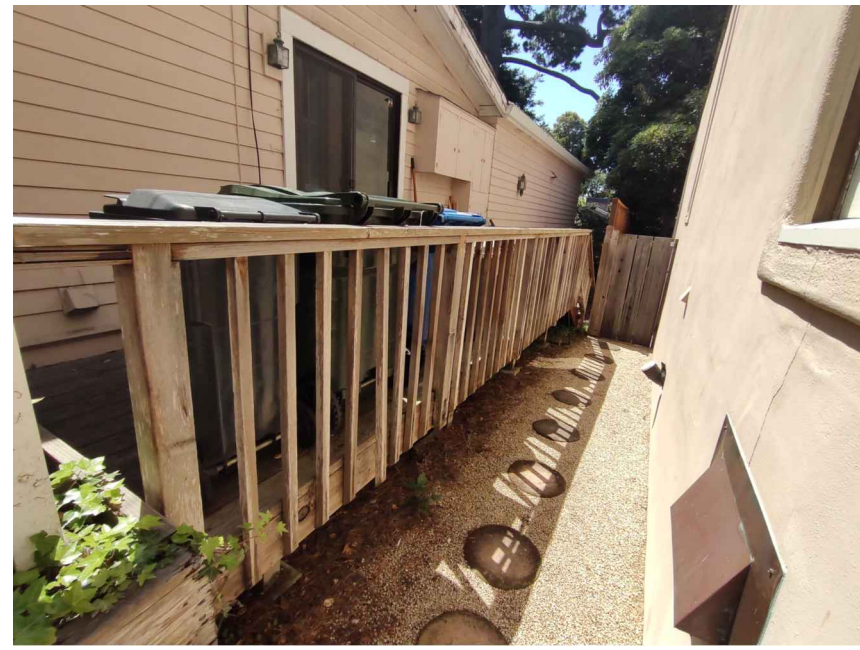
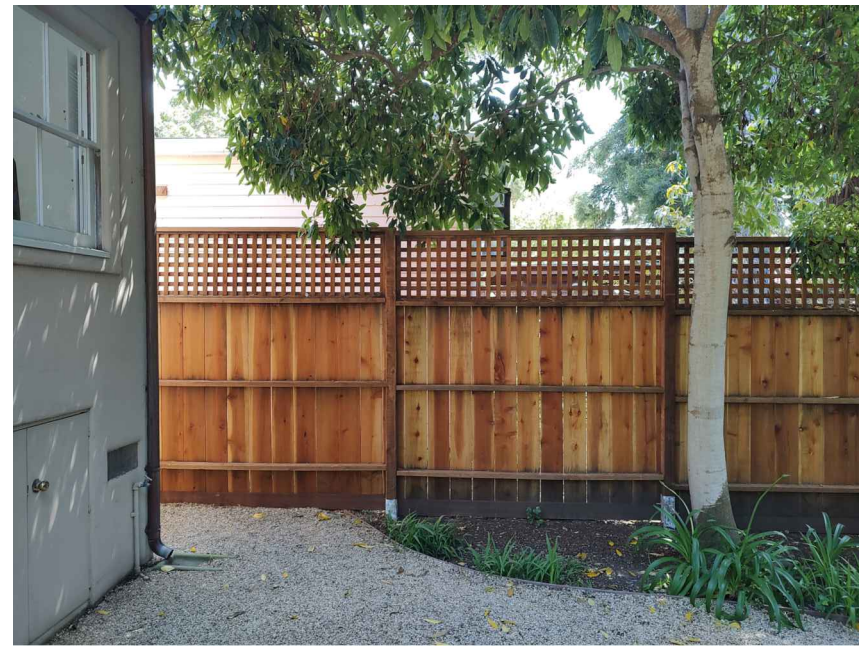
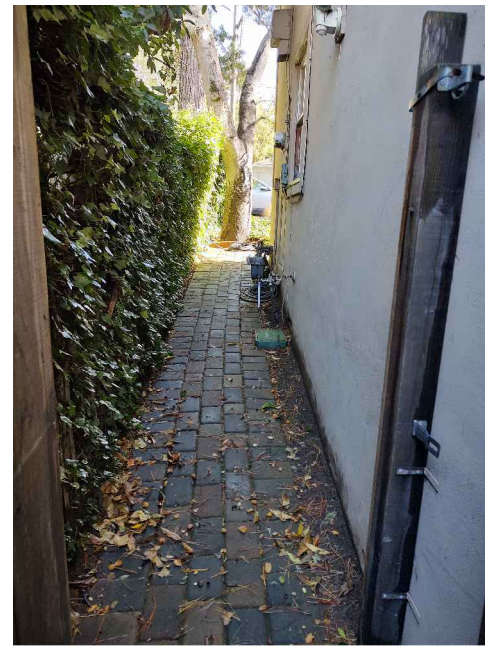
**APPROVED**

## COMMUNITY PLANNING & BUILDING

8 SW of 12th Ave. on Monte Verde St.

Matt Hanner





**APPROVED**

06/06/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kori, Senior Planner

1

**(E) NORTH FENCE**

Scale: NONE

2

**(E) NORTH FENCE**

Scale: NONE

3

**(E) NORTH FENCE**

Scale: NONE

4

**(E) WEST FENCE**

Scale: NONE

5

**(E) WEST FENCE**

Scale: NONE

6

**(E) SOUTH FENCE**

Scale: NONE

7

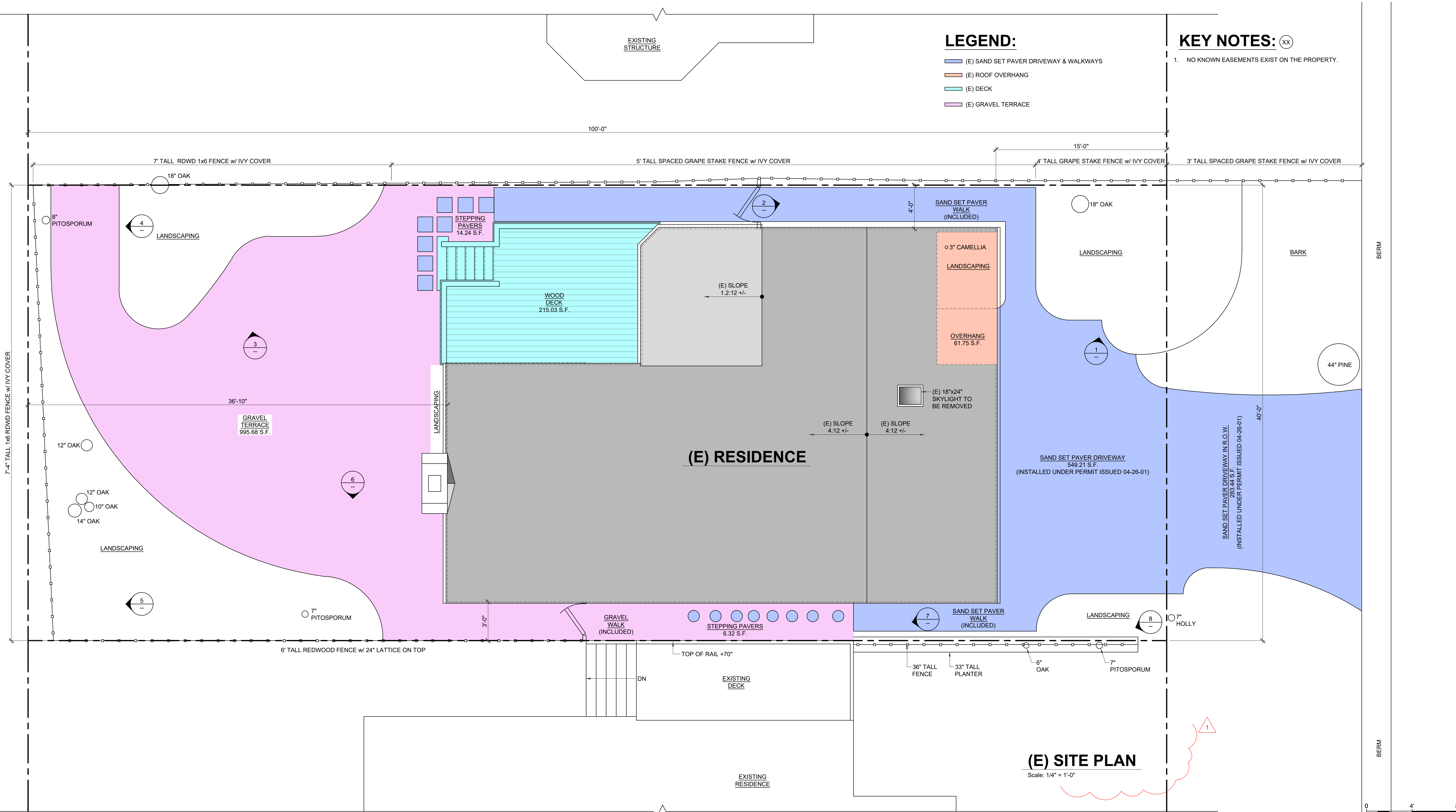
**(E) SOUTH FENCE**

Scale: NONE

8

**(E) SOUTH FENCE**

Scale: NONE



PO Box 2201  
Carmel, CA 93921  
p. 831.626.8606  
f. 831.626.8607  
info@carmelbuilding.com

**CARMEL BUILDING & DESIGN**

**bd**

*A better way to build.*

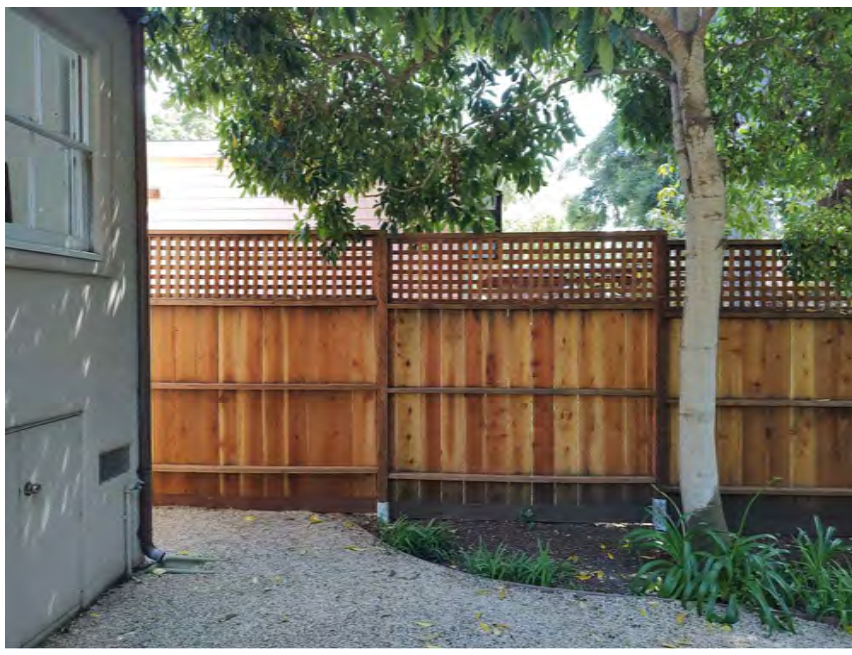
License #786482

DATE:	04-24-25
SCALE:	1/4" = 1'-0"
DRAWN BY:	STAFF
REVISION:	05-01-25
	1

**EXISTING SITE PLAN**

**ALBINO RESIDENCE**  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023





**APPROVED**

05/06/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kori, Senior Planner

1 (E) NORTH FENCE  
Scale: NONE

2 (E) NORTH FENCE  
Scale: NONE

3 (E) NORTH FENCE  
Scale: NONE

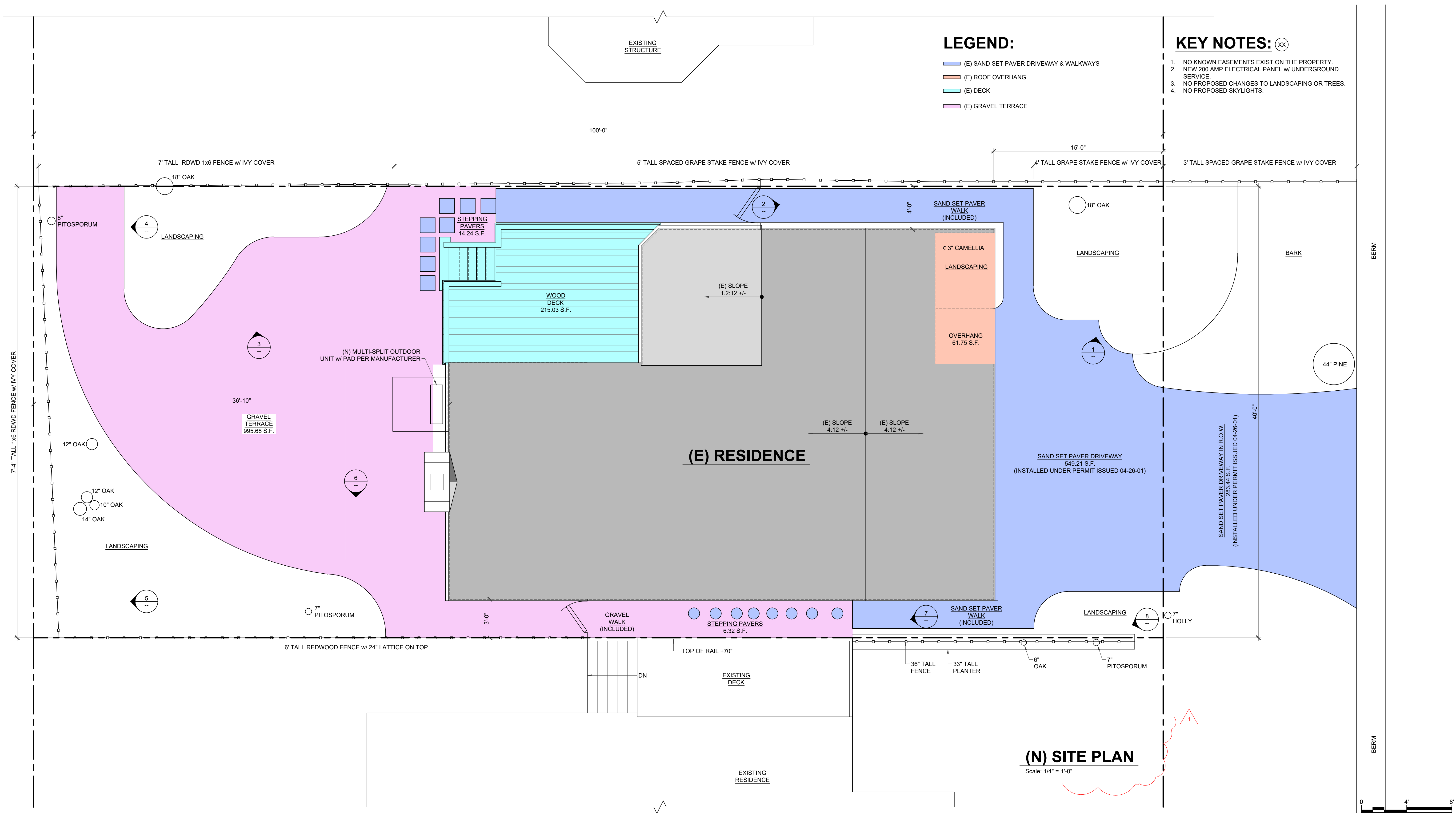
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Scale: NONE

5 (E) WEST FENCE  
Scale: NONE

6 (E) SOUTH FENCE  
Scale: NONE

7 (E) SOUTH FENCE  
Scale: NONE

8 (E) SOUTH FENCE  
Scale: NONE



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DATE:	04-24-25
SCALE:	1/4" = 1'-0"
DRAWN BY:	STAFF
REVISION:	05-01-25

**PROPOSED SITE PLAN**

**ALBINO RESIDENCE**  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023



LEGEND:

- (E) 2x4 FRAMING
- (E) 2x4 FRAMING TO BE ALTERED
- (E) 2x4 FRAMING TO BE REMOVED

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (xx)

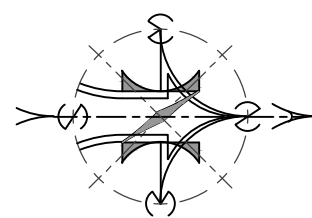
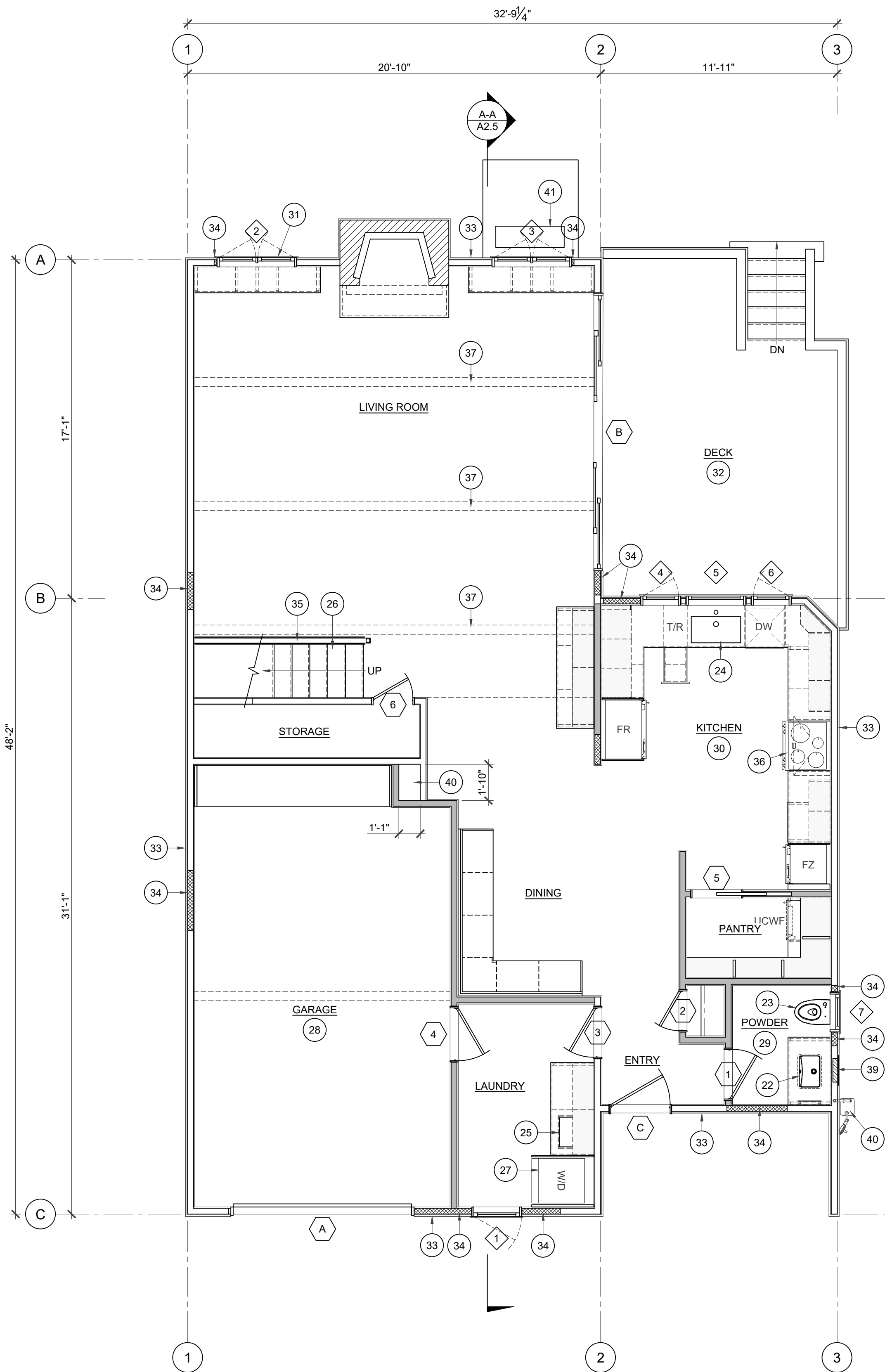
- REMOVE (E) STUCCO FINISH AND CELOTEX UNDERLAYMENT; REPLACE w/ NEW PLYWOOD SHEATHING AND CEMENT STUCCO FINISH AT ALL EXTERIOR WALLS.
- REMOVE (E) WINDOW; REPLACE w/ NEW PER PROPOSED.
- REMOVE (E) WINDOW; FRAME IN OPENING AND FINISH PER PROPOSED.
- REMOVE (E) DOOR; REPLACE w/ NEW PER PROPOSED.
- REMOVE (E) DOOR UNIT; REPLACE w/ NEW WINDOWS PER PROPOSED.
- REMOVE (E) DOOR UNIT; REPLACE w/ NEW PER PROPOSED.
- ALTER (E) WALL SECTION TO RECEIVE NEW WINDOW.
- ALTER (E) WALL SECTION TO RECEIVE NEW DOOR.
- REPAIR (E) CEDAR WOOD DECK; REPLACE ALL ROTTED AND SPLIT MATERIAL w/ NEW.
- REMOVE (E) WASHER & DRYER; REPLACE WITH NEW AND RELOCATE PER PROPOSED.
- REMOVE (E) FURNACE, WATER HEATER AND MECH CLOSET; RELOCATE FURNACE AND WATER HEATER TO NEW CRAWL SPACE LOCATION PER PROPOSED AND REMODEL AREA PER PROPOSED.
- REMOVE (E) CABINETS.
- REMODEL GARAGE SPACE PER PROPOSED.
- REMOVE (E) POWDER ROOM, DOOR, FIXTURES AND FINISHES; REMODEL SPACE PER PROPOSED.
- REMOVE (E) HALL, DOORS AND FINISHES; REMODEL AREA PER PROPOSED.
- REMOVED (E) KITCHEN, DOOR, FIXTURES, APPLIANCES, FIXTURES, CABINETS, SOFFITS AND FINISHES; REMODEL SPACE PER PROPOSED.
- REMODEL (E) DINING ROOM PER PROPOSED.
- REMOVE (E) FIREPLACE SURROUND & HEARTH; REPLACE w/ NEW PER PROPOSED.
- REMOVE (E) STAIRS GUARDRAIL WALL; REPLACE w/ NEW WROUGHT IRON RAILING PER PROPOSED.
- (E) CEILING BEAMS TO REMAIN.
- (E) SKYLIGHT TO BE REPLACED w/ NEW IN EXISTING OPENING.
- LAVATORY; SEE SECTION 1.4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
- TOILET; SEE SECTION 1.1 & SECTION 4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS & REQUIREMENTS.
- KITCHEN SINK; SEE SECTION 1.6 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
- LAUNDRY SINK; SEE SECTION 1.5 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
- STAIRS; EXISTING; NO CHANGE; FINISH UNDERSIDE OF STAIRS TO PROVIDE FOR 1-HOUR FIRE PROTECTION TO UNDERSIDE OF STAIRS.
- STACKED WASHER & DRYER; SEE SECTION 2 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- GARAGE; SEE SECTION 5 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- BATHROOM; SEE SECTION 10 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- KITCHEN; SEE SECTIONS 11 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- (E) 30"x36" CRAWL SPACE ACCESS. ACCESS PANEL SHALL BE SOLID WOOD DOOR OR SOLID HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 1/8" THICK OR 20 MIN. FIRE RATED PER CRC R302.5.1.
- DECK; REPAIR ROTTED AND SPLIT MATERIAL. FINISH NATURAL.
- NEW STUCCO FINISH OVER NEW PLYWOOD SHEATHING ON ALL EXTERIOR WALLS; SEE SECTION 12 IN "CODE COMPLIANCE" ON A2.0 FOR STUCCO REQUIREMENTS.
- FRAME IN REMAINING OPENING; FINISH PER PROPOSED.
- NEW WROUGHT IRON RAILING AT STAIRS; SEE DETAILS ON A2.0 FOR RAILING REQUIREMENTS.
- FREE STANDING INDUCTION RANGE w/ HOOD FAN ABOVE.
- EXISTING CEILING BEAMS.
- NEW 200 AMP PG&E MAIN PANEL/METER IN (E) LOCATION.
- (E) PG&E GAS MAIN/METER w/ UNDERGROUND SERVICE.
- PROVIDE DUCT SPACE PER MECHANICAL PLANS.
- MULTI SPLIT OUTDOOR HEAT PUMP LOCATION WITH PAD. INSTALL PAD AND SPLIT UNIT PER MECHANICAL PLANS AND SPECIFICATIONS. PROVIDE POWER PER MANUFACTURER'S SPECS.

APPROVED

06/06/2025

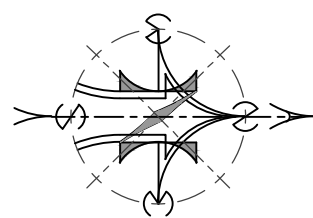
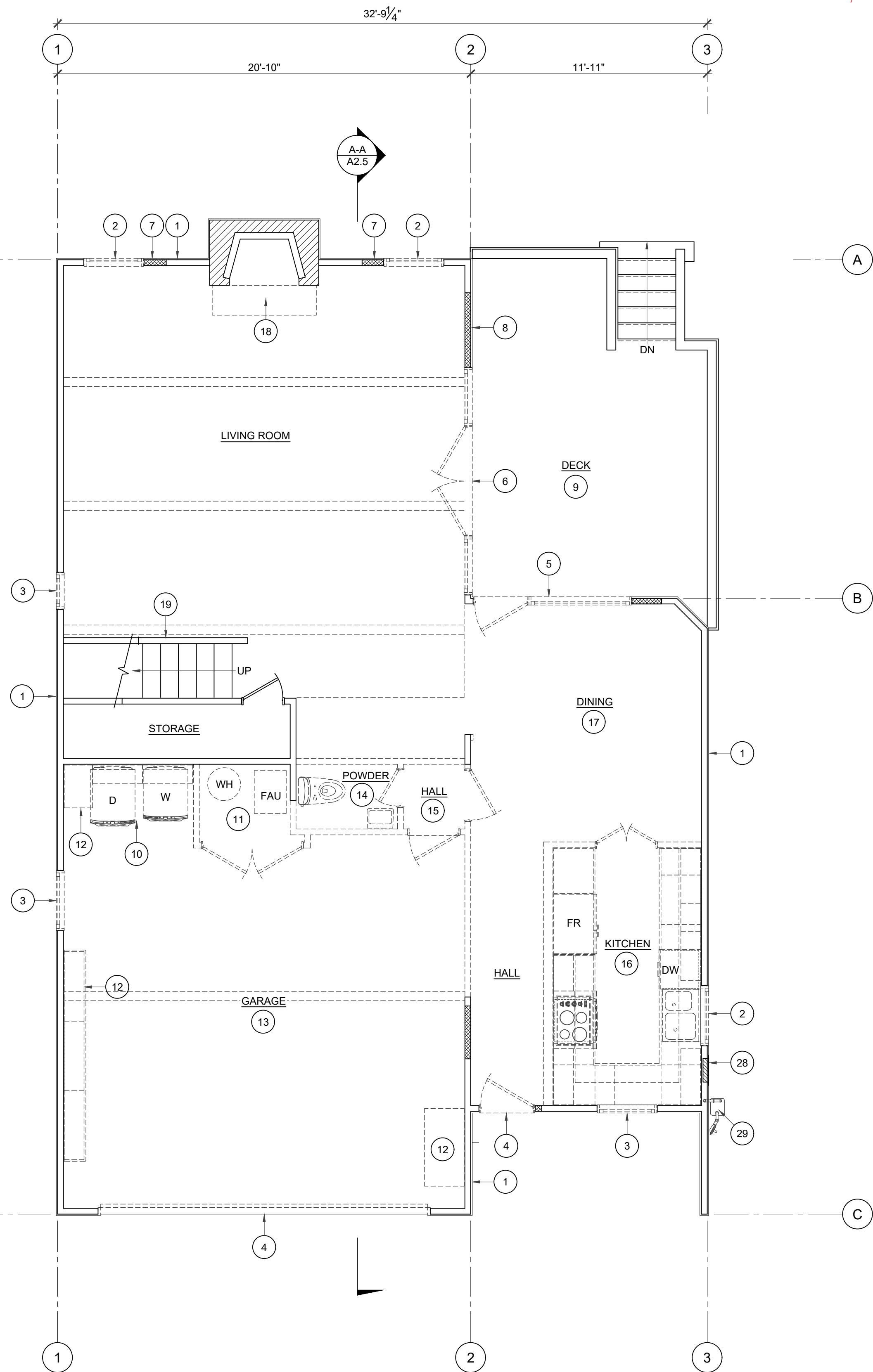
COMMUNITY PLANNING & BUILDING

Approved by: Evan Kori, Senior Planner



NEW MAIN FLOOR PLAN

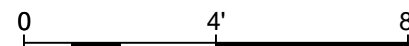
1/4" = 1'-0"



EXISTING MAIN FLOOR PLAN

1/4" = 1'-0"

1,311.27 SQ. FT.



MAIN FLOOR PLANS

ALBINO RESIDENCE  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023

PAGE:

A2.1

Matt Hanner

CARMEL  
BUILDING  
& DESIGN



A better way to build.

License #786482

DATE:	04-24-25
SCALE:	NOTED
DRAWN BY:	STAFF
REVISION:	05-01-25

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LEGEND:

- (N) 2x4 FRAMING  
(E) 2x4 FRAMING  
(E) 2x4 FRAMING TO BE REMOVED

NOTE:

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- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

- REMOVE (E) STUCCO FINISH AND CELOTEX UNDERLAYMENT; REPLACE w/ NEW PLYWOOD SHEATHING AND CEMENT STUCCO FINISH AT ALL EXTERIOR WALLS.
- REMOVE (E) WINDOW; REPLACE w/ NEW PER PROPOSED.
- REMOVE (E) WINDOW; FRAME IN OPENING AND FINISH PER PROPOSED.
- ALTER (E) WALL SECTION TO RECEIVE NEW WINDOW.
- REMODEL (E) SITTING ROOM PER PROPOSED.
- REMODEL (E) MASTER PER PROPOSED.
- REMOVE (E) HALL, DOORS, CLOSETS, SHELVES & CLOTHES RODS; REMODEL AREA PROPOSED.
- REMOVE (E) CLOSET, SHELVES, POLES, DOORS AND FINISHES; REMODEL AREA PER PROPOSED.
- REMOVE (E) BATHROOM, DOORS, CABINETS, FIXTURES AND FINISHES; REMODEL AREA PER PROPOSED.
- REMODEL (E) BEDROOM PER PROPOSED.
- (E) CEILING BEAMS TO REMAIN.
- (E) SKYLIGHT TO BE REMOVED; FRAME IN AND FINISH ROOF PER PROPOSED.
- REMOVE (E) STAIRS GUARDRAIL WALL; REPLACE w/ NEW WROUGHT IRON RAILING PER PROPOSED.
- LAVATORY; SEE SECTION 1.4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
- TOILET; SEE SECTION 1.1 & SECTION 4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS & REQUIREMENTS.
- SHOWER/TUB w/ TILE SURROUND. SEE SECTIONS 1.2, 1.3 & SECTION 3 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS AND REQUIREMENTS.
- STAIRS; EXISTING; NO CHANGE; FINISH UNDERSIDE OF STAIRS TO PROVIDE FOR 1-HOUR FIRE PROTECTION TO UNDERSIDE OF STAIRS.
- BATHROOM; SEE SECTION 10 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- NEW STUCCO FINISH OVER NEW PLYWOOD SHEATHING ON ALL EXTERIOR WALLS; SEE SECTION 12 IN "CODE COMPLIANCE" ON A2.0 FOR STUCCO REQUIREMENTS.
- FRAME IN REMAINING OPENING; FINISH PER PROPOSED.
- NEW WROUGHT IRON RAILING AT STAIRS; SEE DETAILS ON A2.0 FOR RAILING REQUIREMENTS.
- EXISTING CEILING BEAMS.
- MIN. 22"x30" ATTIC ACCESS.

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06/06/2025

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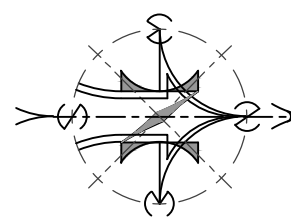
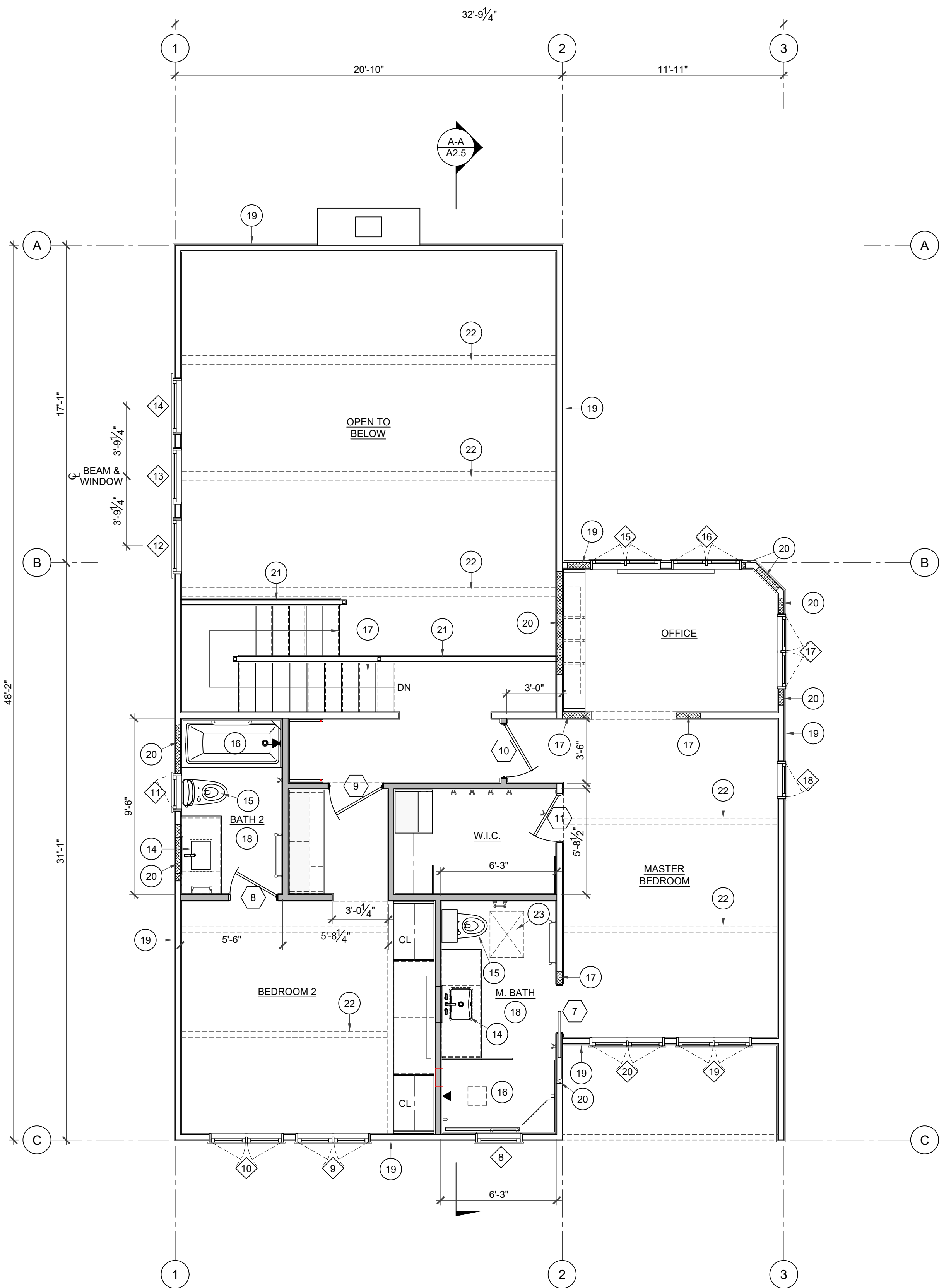
UPPER FLOOR PLANS

ALBINO RESIDENCE  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023

PAGE:

A2.2

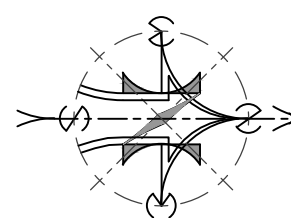
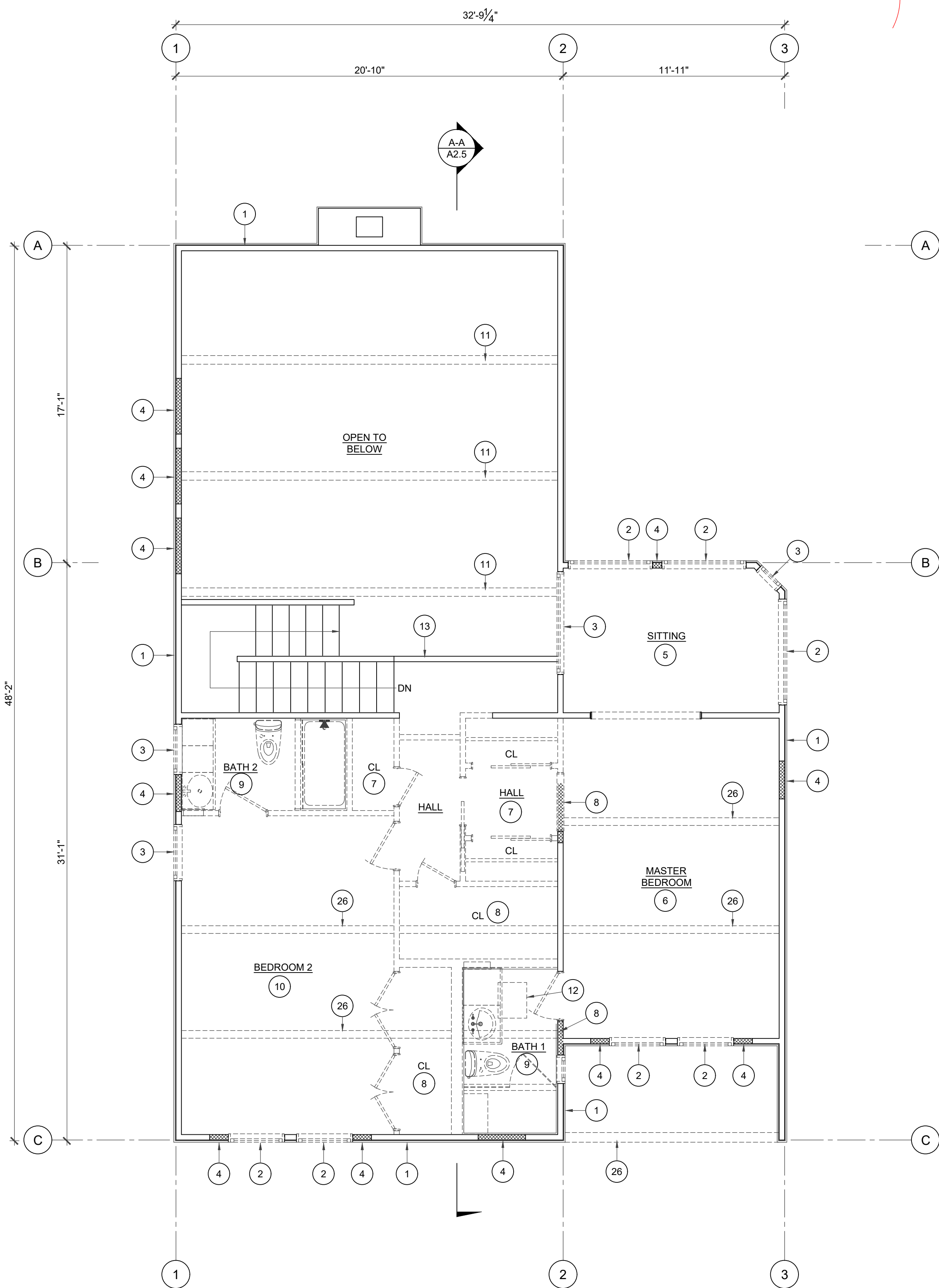
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NEW UPPER FLOOR PLAN

1/4" = 1'-0"

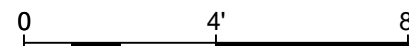
816.09 SQ. FT.



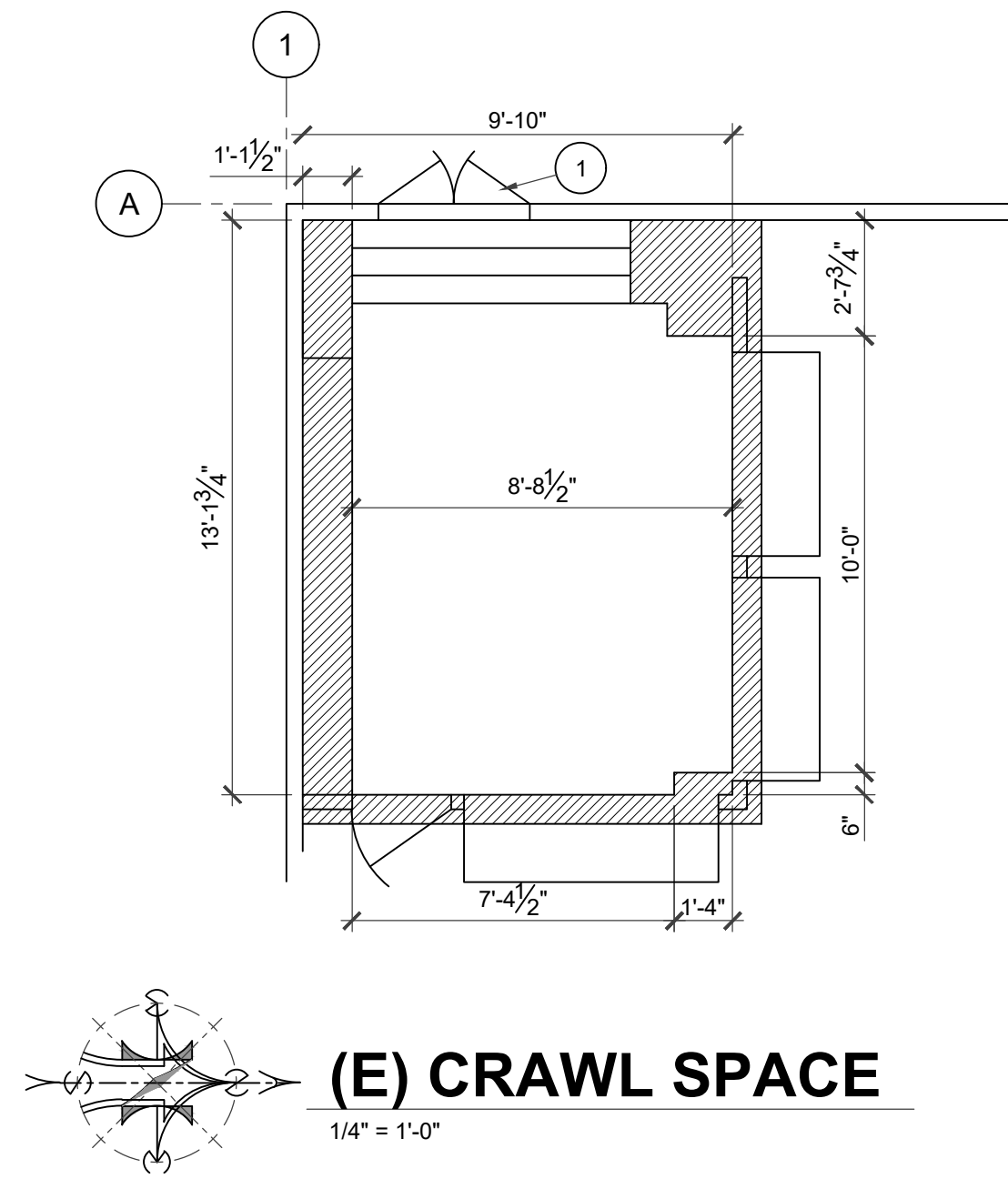
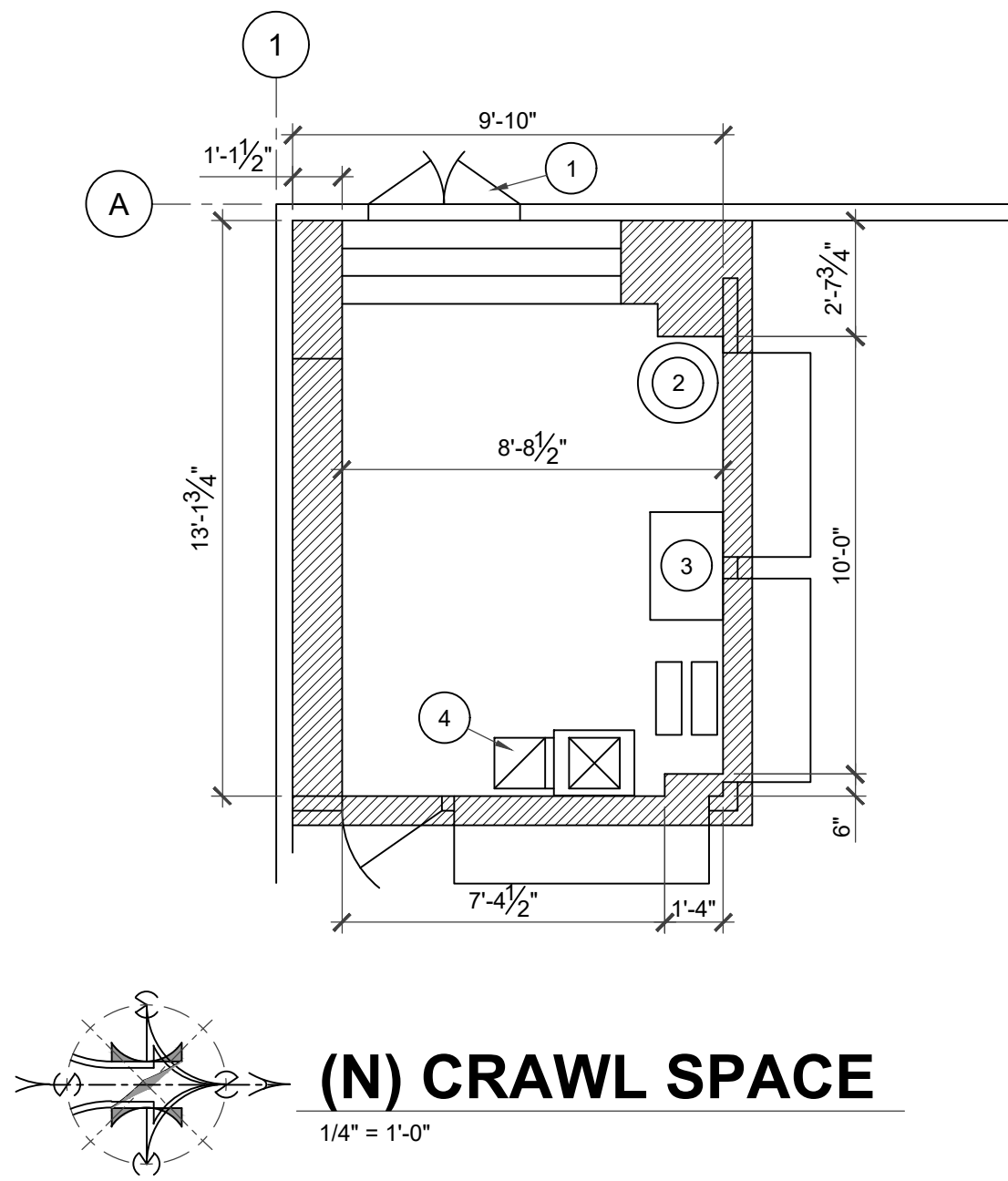
EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"

816.09 SQ. FT.







LEGEND:

- (E) 2x4 FRAMING
- (E) 2x4 FRAMING TO BE ALTERED
- (E) 2x4 FRAMING TO BE REMOVED

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (xx)

- (E) 30"x36" CRAWL SPACE ACCESS.
- HEAT PUMP WATER HEATER; SEE MECHANICAL PLANS FOR EXACT LOCATION. SEE PLUMBING PLANS FOR REQUIREMENTS. PROVIDE POWER PER MANUFACTURER'S SPECS.
- ENERGY RECOVERY VENTILATOR (ERV); SEE MECHANICAL PLANS FOR SPECIFICATIONS AND REQUIREMENTS. PROVIDE POWER PER MANUFACTURER'S SPECS.
- AIR HANDLER; SEE MECHANICAL PLANS FOR SPECIFICATIONS AND REQUIREMENTS. PROVIDE POWER PER MANUFACTURER'S SPECS.

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2	

CRAWL SPACE PLANS

ALBINO RESIDENCE  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023

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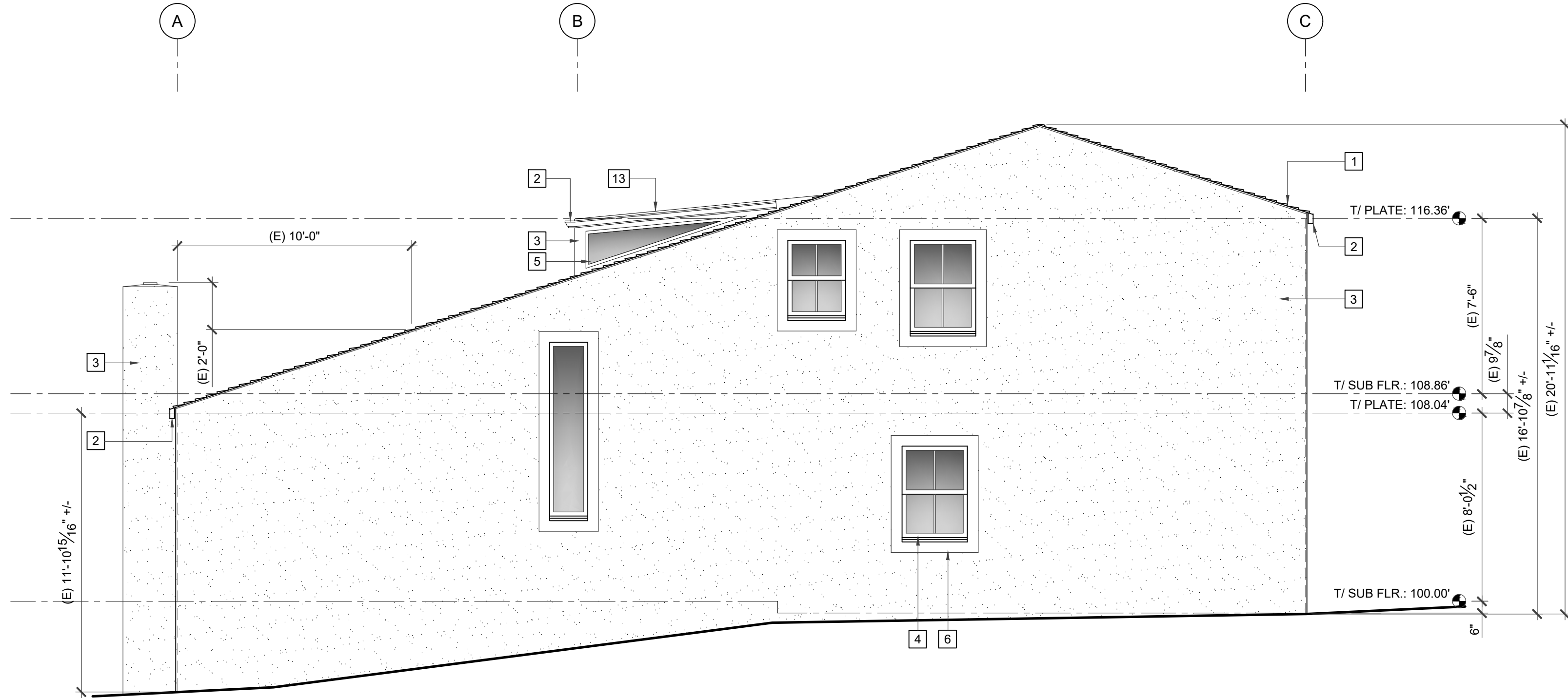
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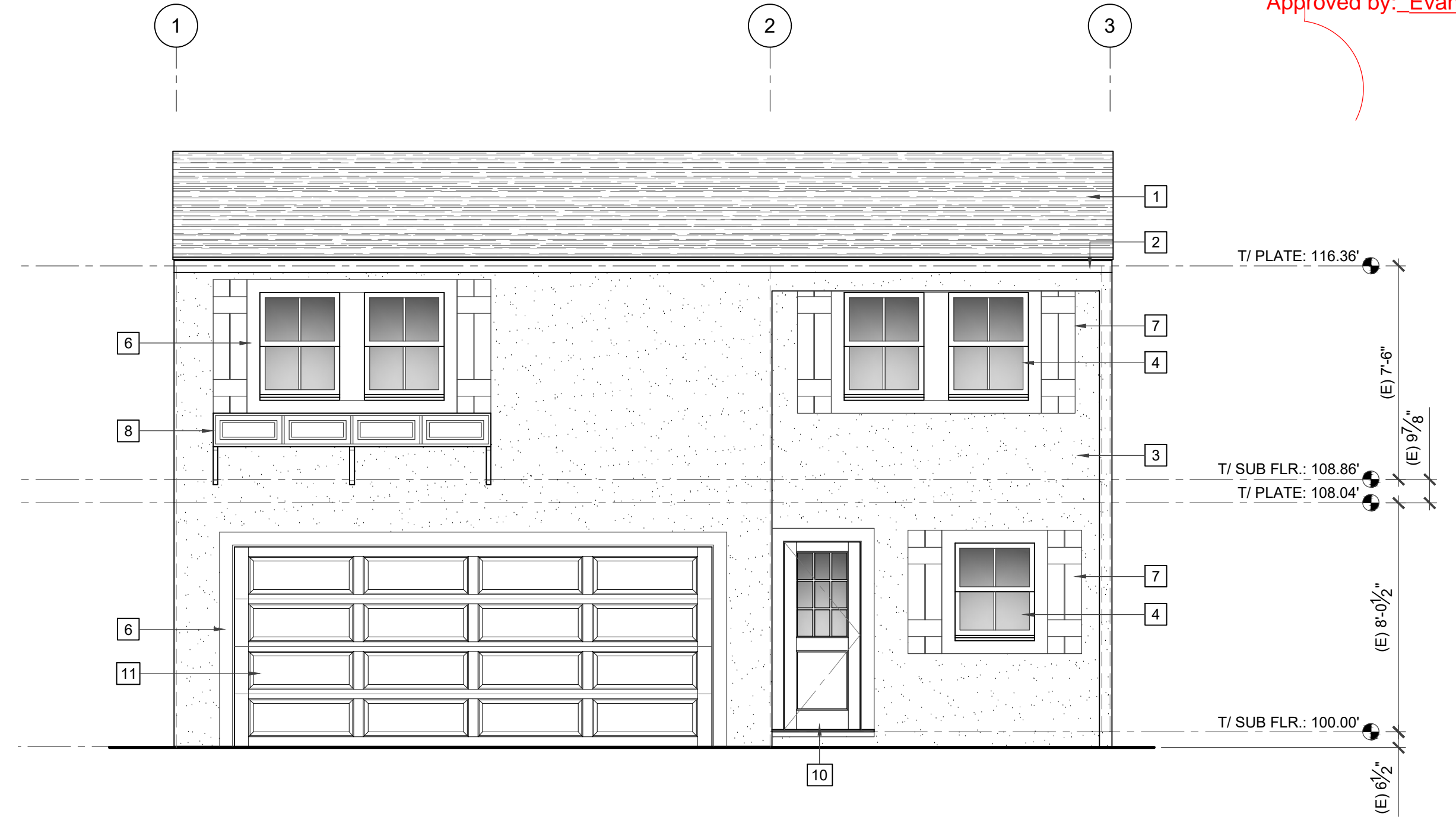


(E) SOUTH ELEVATION

1/4" = 1'-0"

PROPOSED MATERIALS

1. ROOF - CLAYLITE TILE ROOF; COLOR: JAVA BLEND
2. GUTTERS & DOWNSPOUTS- COPPER
3. SIDING - CEMENT STUCCO; COLOR: DUNN EDWARDS "PALE BEACH" DE6199
4. WINDOWS - SIERRA PACIFIC URBAN SERIES CLAD WOOD; COLOR: SLATE BLUE 008
5. LINTELS AND SILLS - CEMENT STUCCO; COLOR: DUNN EDWARDS "PALE BEACH" DE6199
6. ENTRY AND GARAGE DOOR: STAINED WHITE OAK (GARAGE) AND CLEAR ALDER (ENTRY); COLOR: DARK WALNUT
7. SLIDING DOOR - SIERRA PACIFIC URBAN SERIES CLAD WOOD; COLOR: SLATE BLUE 008
8. DECK- STK CEDAR; COLOR: NATURAL (UNFINISHED)
9. ROOF - CLAYLITE TILE OVER MEMBRANE; COLOR: JAVA BLEND

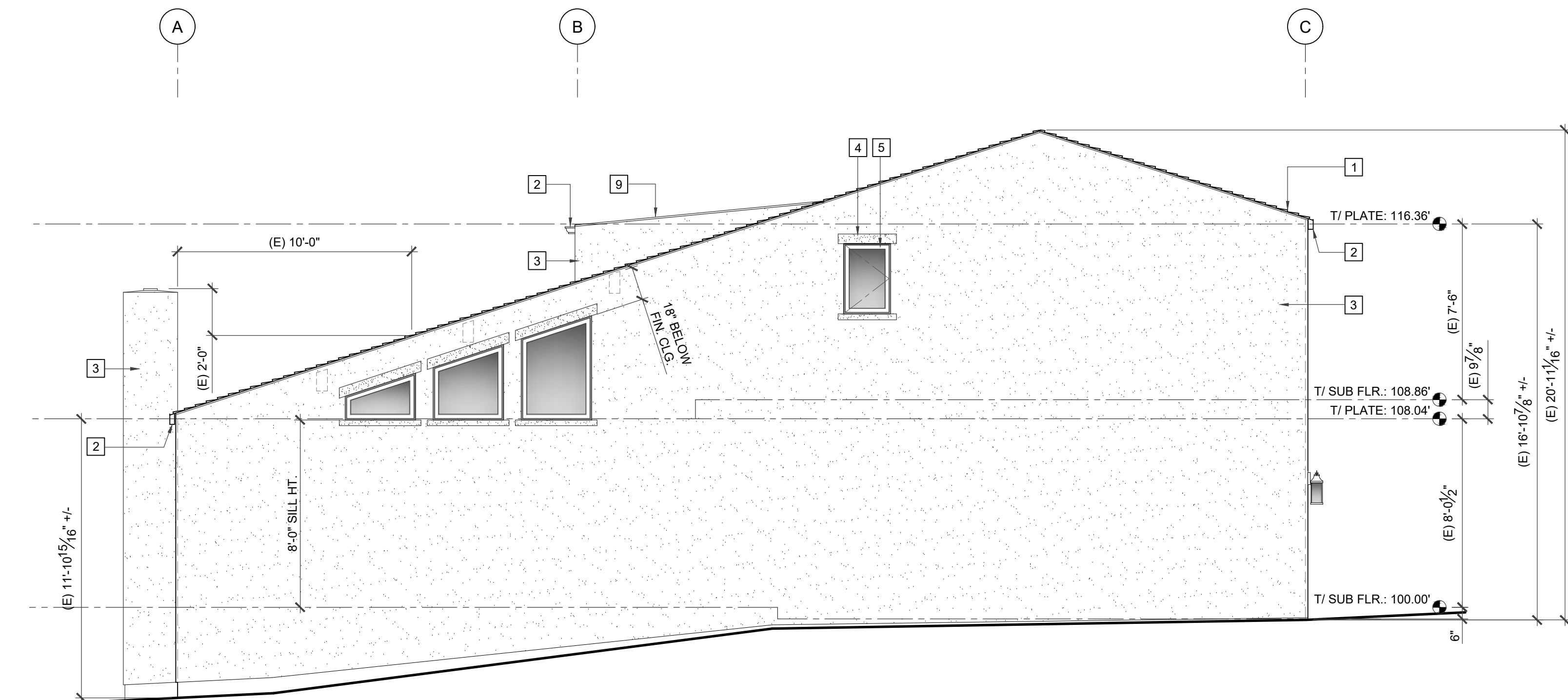


(E) EAST ELEVATION

1/4" = 1'-0"

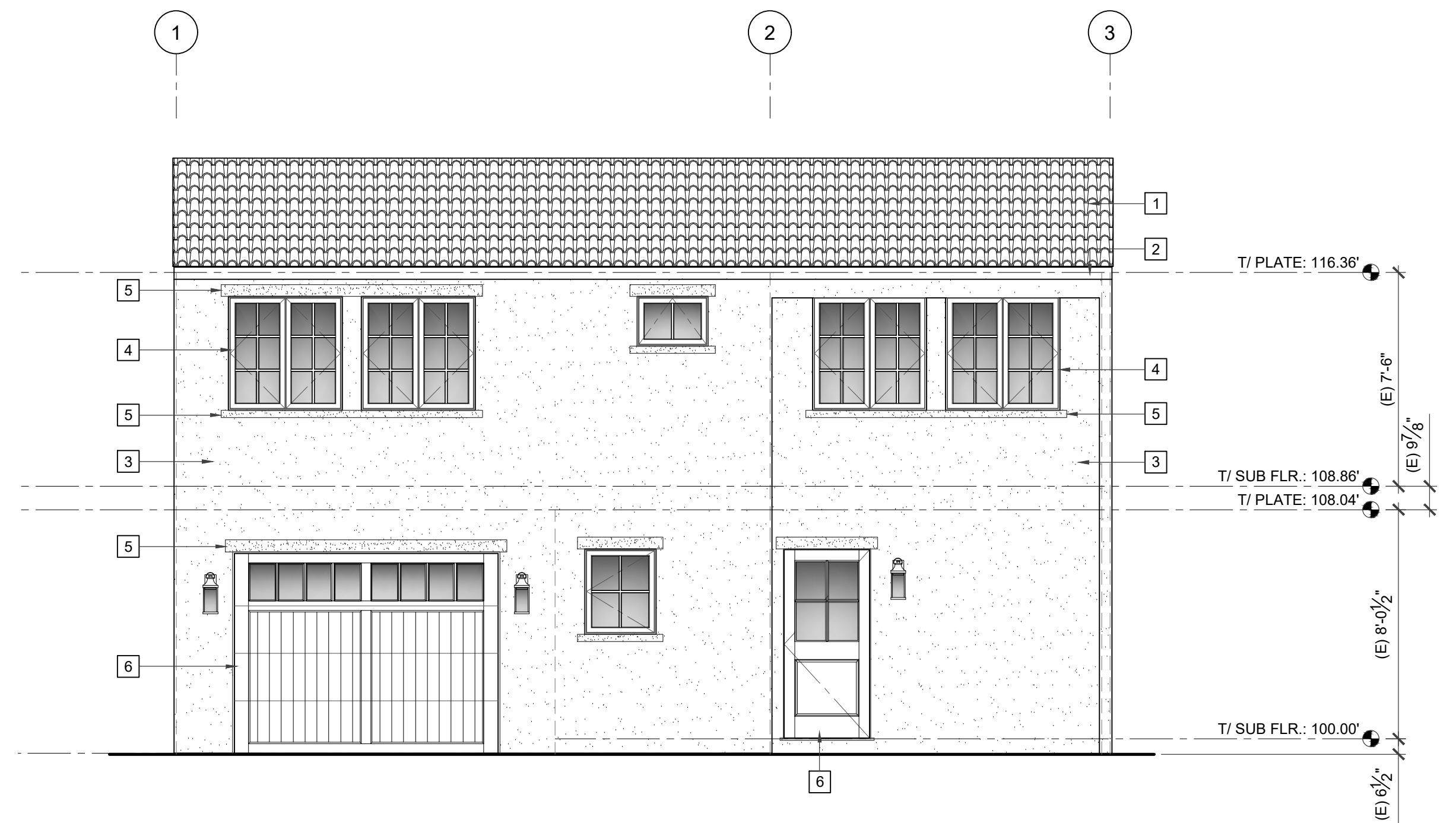
EXISTING MATERIALS

1. ROOF - WOOD SHAKE SHINGLE; COLOR: NATURAL
2. GUTTERS & DOWNSPOUTS- COPPER
3. WALL FINISH - CEMENT STUCCO SPANISH FINISH; COLOR: TAN
4. WINDOWS - WOOD SINGLE HUNG; COLOR: WHITE
5. WINDOWS - ALUMINUM; COLOR: DARK BRONZE
6. WINDOW/DOOR TRIM - CEMENT STUCCO; COLOR: TAN
7. WINDOW SHUTTERS - WOOD; COLOR: OLIVE
8. WINDOW PLANTER - WOOD; COLOR: OLIVE
9. DOORS - WOOD; COLOR: WHITE
10. ENTRY DOOR - WOOD; COLOR: OLIVE
11. GARAGE DOOR - ALUMINUM; COLOR: WHITE
12. DECK - WOOD, CEDAR; COLOR: NATURAL
13. ROOF - ROLLED MEMBRANE; COLOR: BROWN



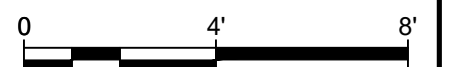
(N) SOUTH ELEVATION

1/4" = 1'-0"



(N) EAST ELEVATION

1/4" = 1'-0"



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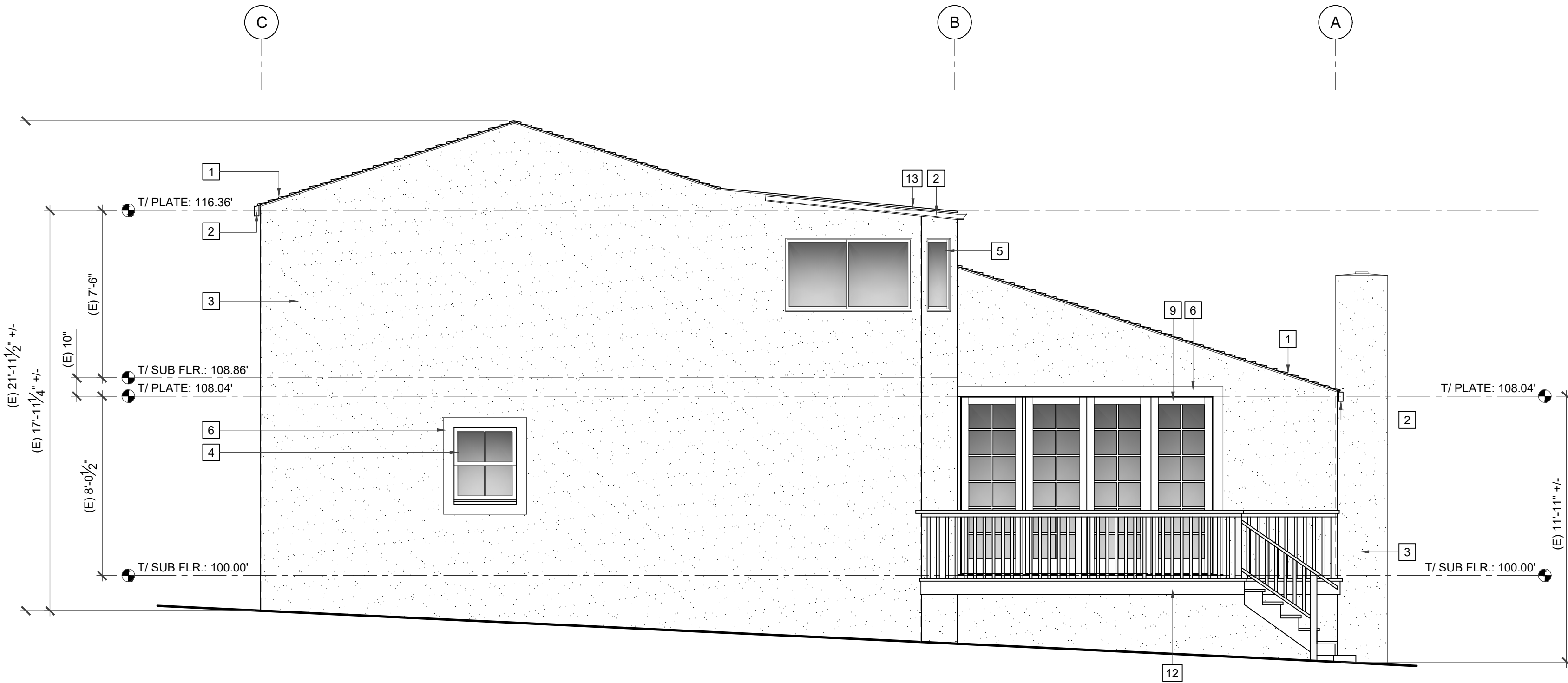
EXISTING ELEVATIONS  
ALBINO RESIDENCE  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023

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A3.1

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(E) NORTH ELEVATION  
1/4" = 1'-0"



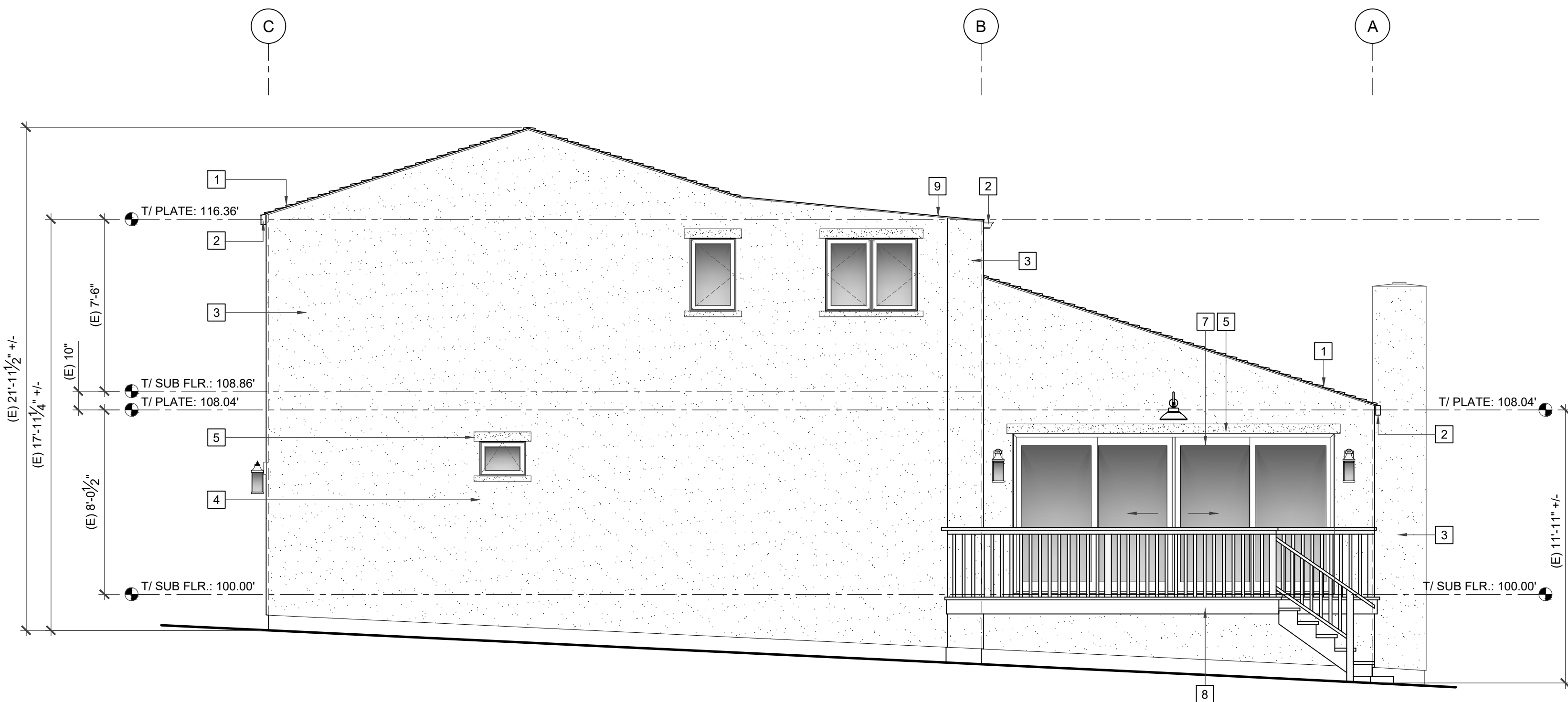
(E) WEST ELEVATION  
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**PROPOSED MATERIALS**

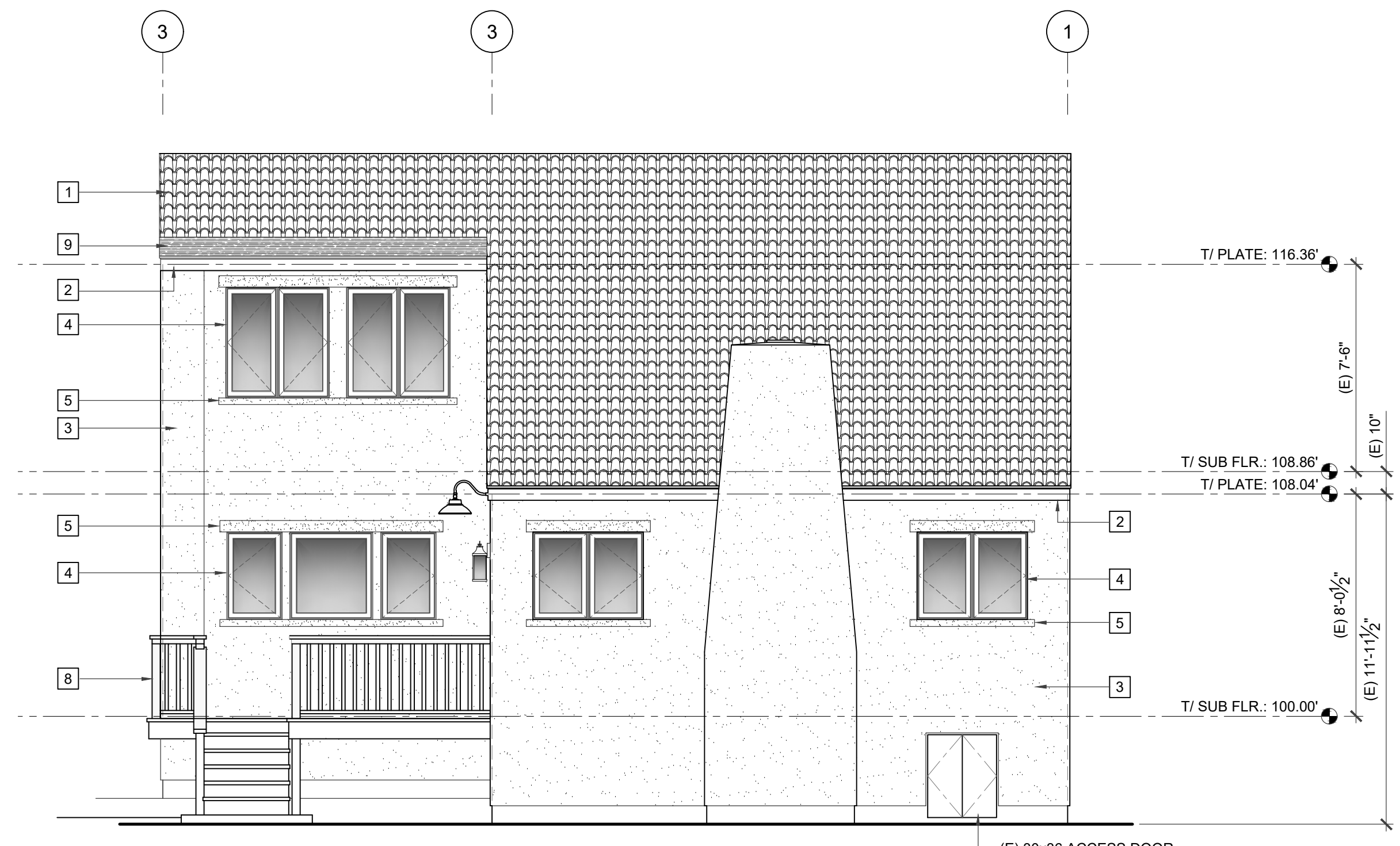
1. ROOF - CLAYLITE TILE ROOF; COLOR: JAVA BLEND
2. GUTTERS & DOWNSPOUTS: COPPER
3. SIDING - CEMENT STUCCO; COLOR: DUNN EDWARDS "PALE BEACH" DE6199
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7. SLIDING DOOR - SIERRA PACIFIC URBAN SERIES CLAD WOOD; COLOR: SLATE BLUE 008
8. DECK - STK CEDAR; COLOR: NATURAL (UNFINISHED)
9. ROOF - CLAYLITE TILE OVER MEMBRANE; COLOR: JAVA BLEND

**EXISTING MATERIALS**

1. ROOF - WOOD SHAKE SHINGLE; COLOR: NATURAL
2. GUTTERS & DOWNSPOUTS: COPPER
3. WALL FINISH - CEMENT STUCCO SPANISH FINISH; COLOR: TAN
4. WINDOWS - WOOD SINGLE HUNG; COLOR: WHITE
5. WINDOWS - ALUMINUM; COLOR: DARK BRONZE
6. WINDOW/DOOR TRIM - CEMENT STUCCO; COLOR: TAN
7. WINDOW SHUTTERS - WOOD; COLOR: OLIVE
8. WINDOW PLANTER - WOOD; COLOR: OLIVE
9. DOORS - WOOD; COLOR: WHITE
10. ENTRY DOOR - WOOD; COLOR: OLIVE
11. GARAGE DOOR - ALUMINUM; COLOR: WHITE
12. DECK - WOOD, CEDAR; COLOR: NATURAL
13. ROOF - ROLLED MEMBRANE; COLOR: BROWN



(N) NORTH ELEVATION  
1/4" = 1'-0"



(N) WEST ELEVATION  
1/4" = 1'-0"



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**PROPOSED ELEVATIONS**

ALBINO RESIDENCE

8 SW of 12th on MONTE VERDE ST.

CARMEL, CA 93921  
APN: 010-175-023

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**A3.2**

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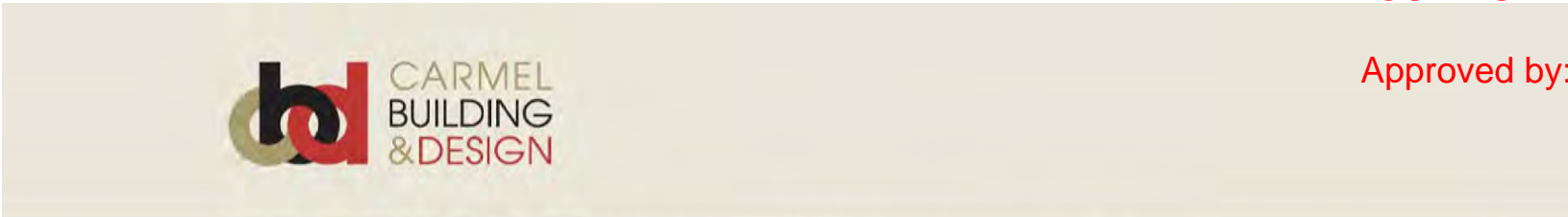




**(E) DRIVEWAY & PAVERS**  
EXISTING TO REMAIN



**(E) GRAVEL**  
EXISTING TO REMAIN



Materials for Albino Residence  
Mote Verde 8 SW of 12th



Roof: ClayLite Tile  
Color: Java Blend



Exterior Stucco  
Color Dunn Edwards Pale Beach



Exterior Windows and Doors  
Color: Marvin Cascade Blue



Front Door and Garage Door  
Hardwax Oil Stain  
Color: Smoked Oak

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06/06/2025

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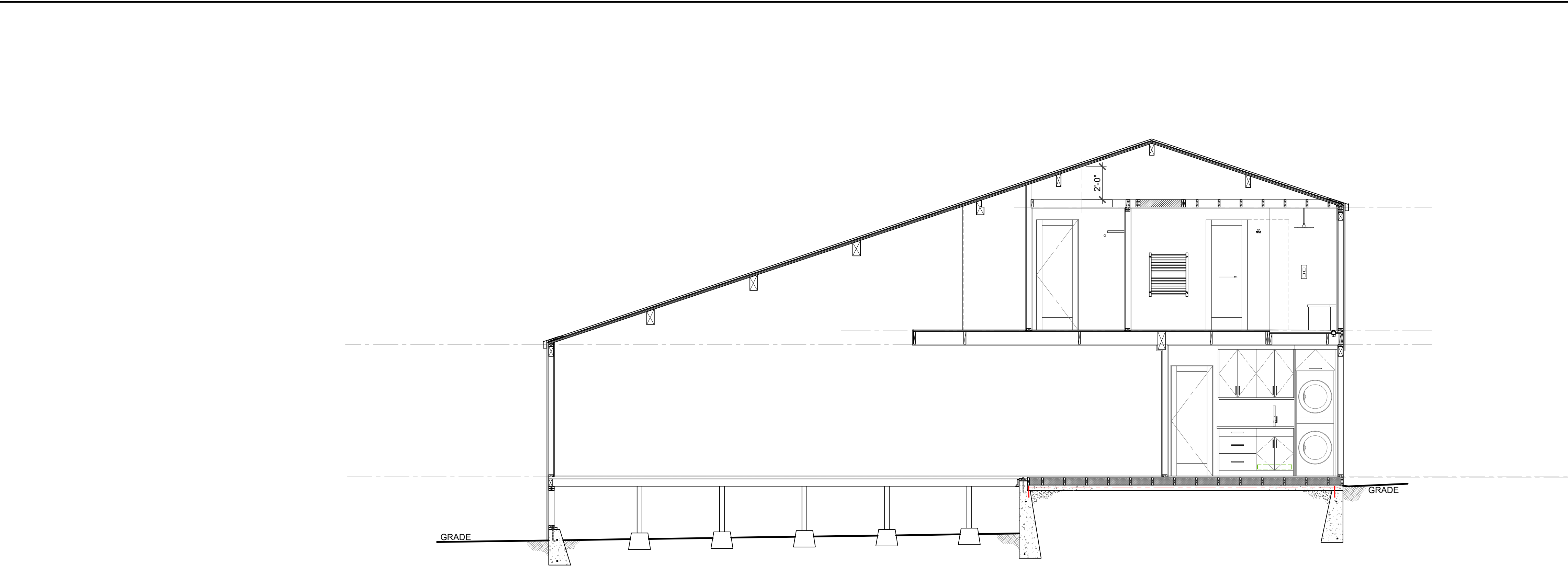
EXTERIOR FINISHES	ALBINO RESIDENCE 8 SW of 12th on MONTE VERDE ST. CARMEL, CA 93921 APN: 010-175-023
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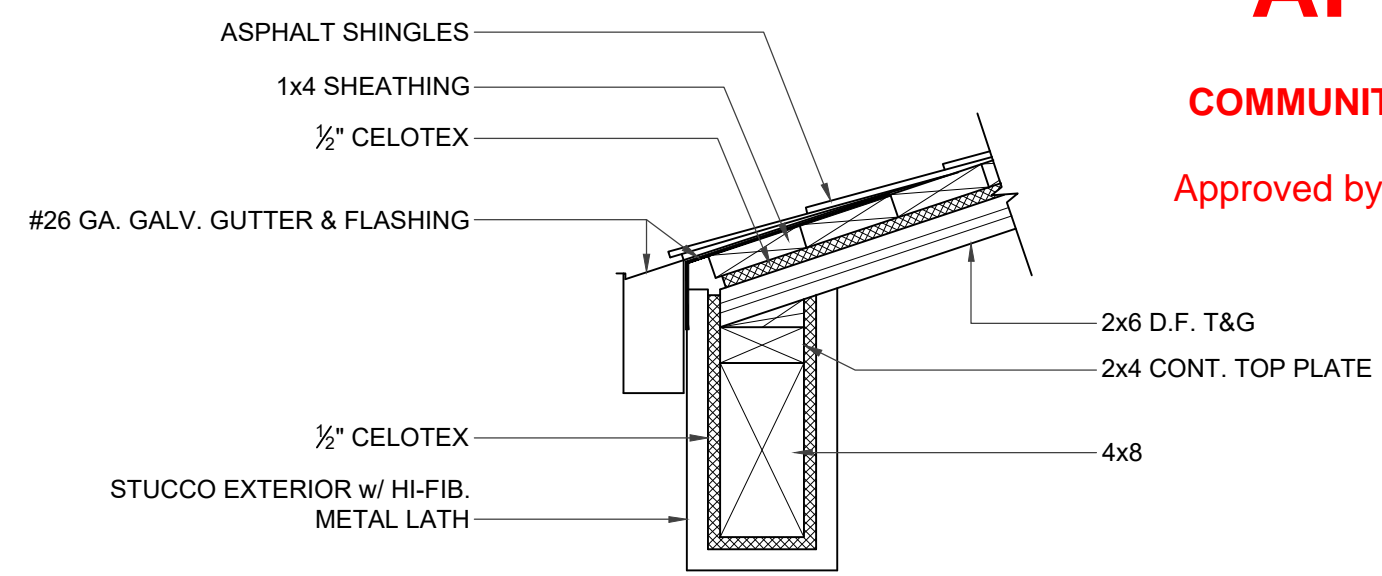
**A3.3**

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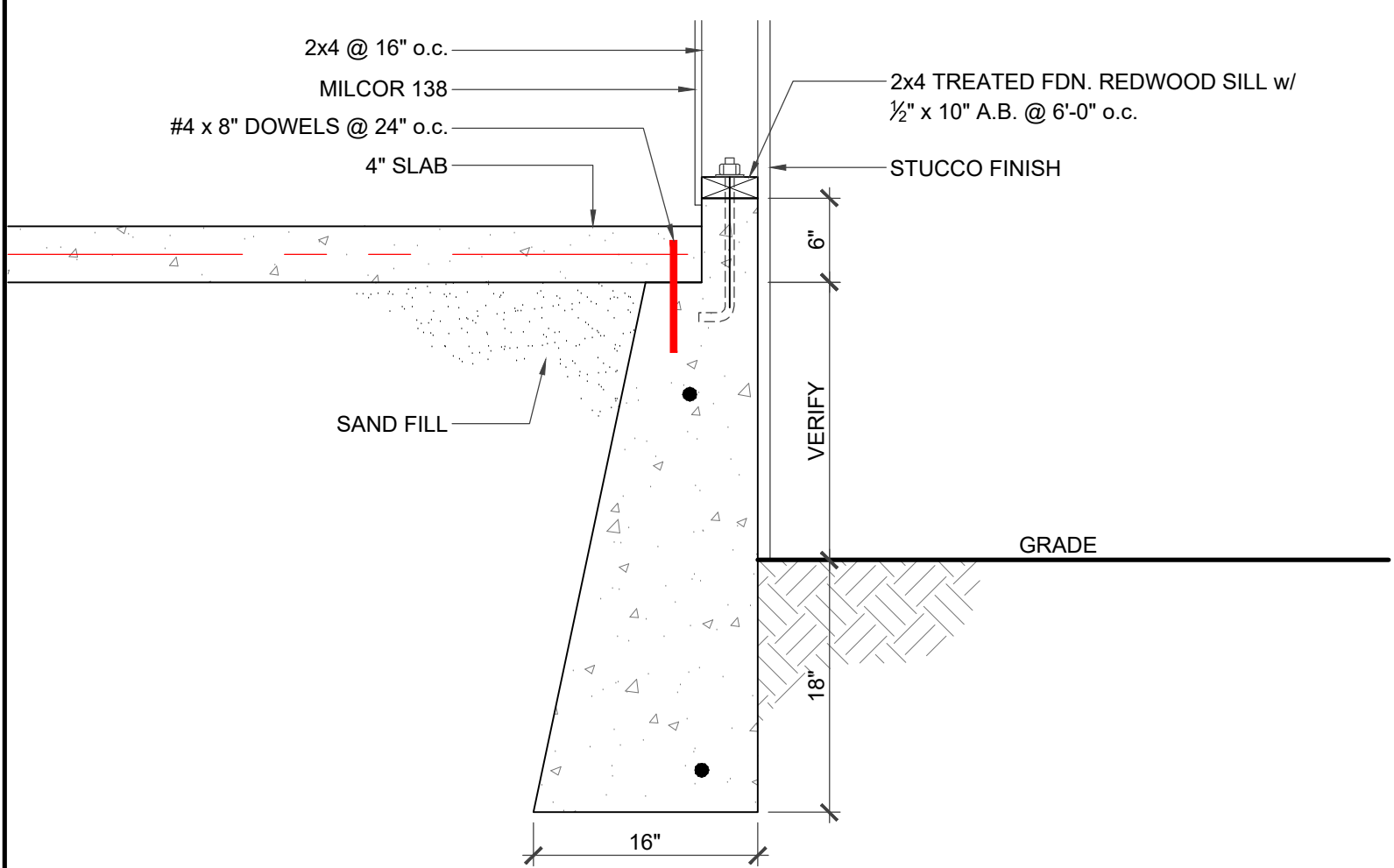


**A-A** SECTION A-A  
1/4" = 1'-0"

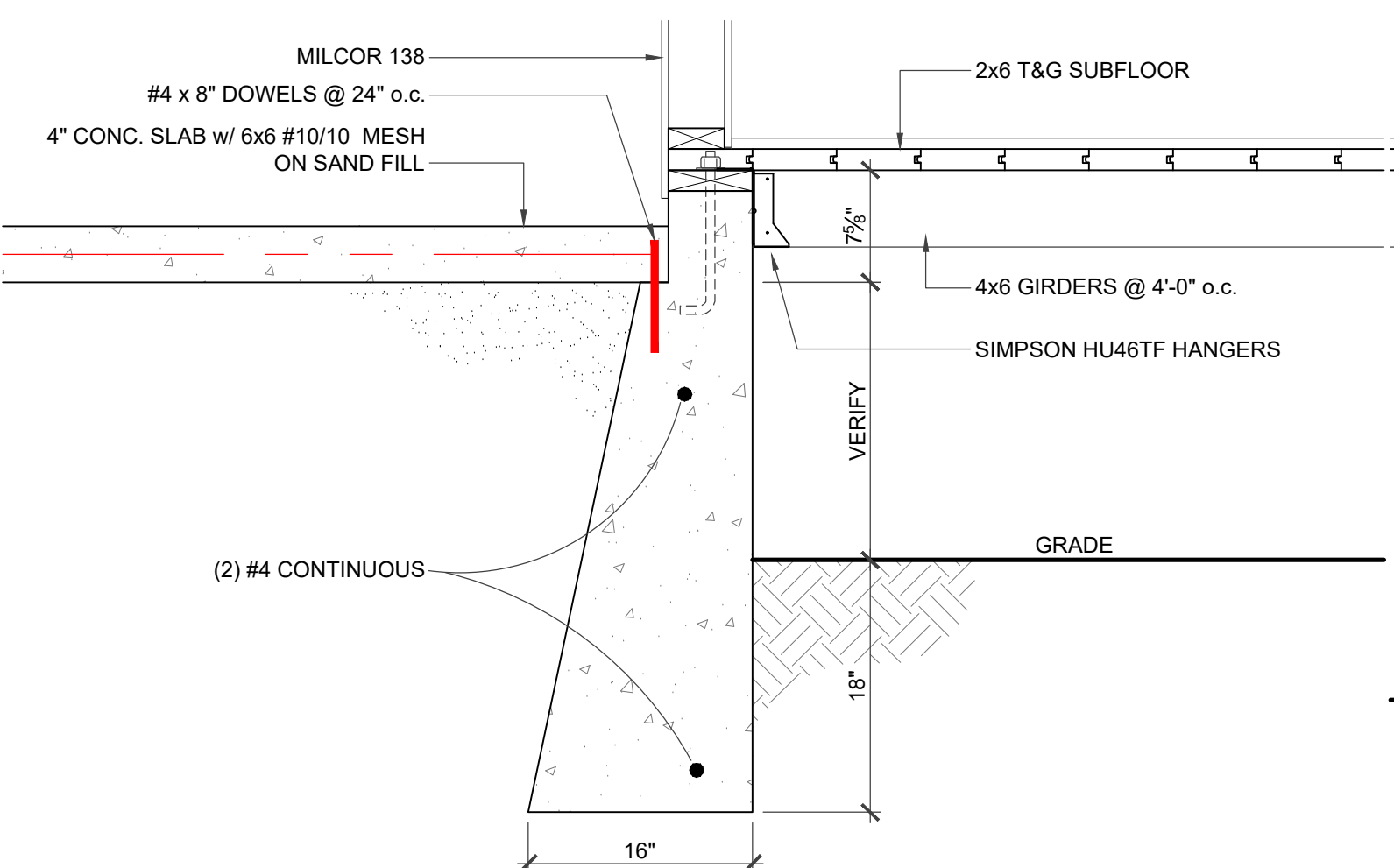


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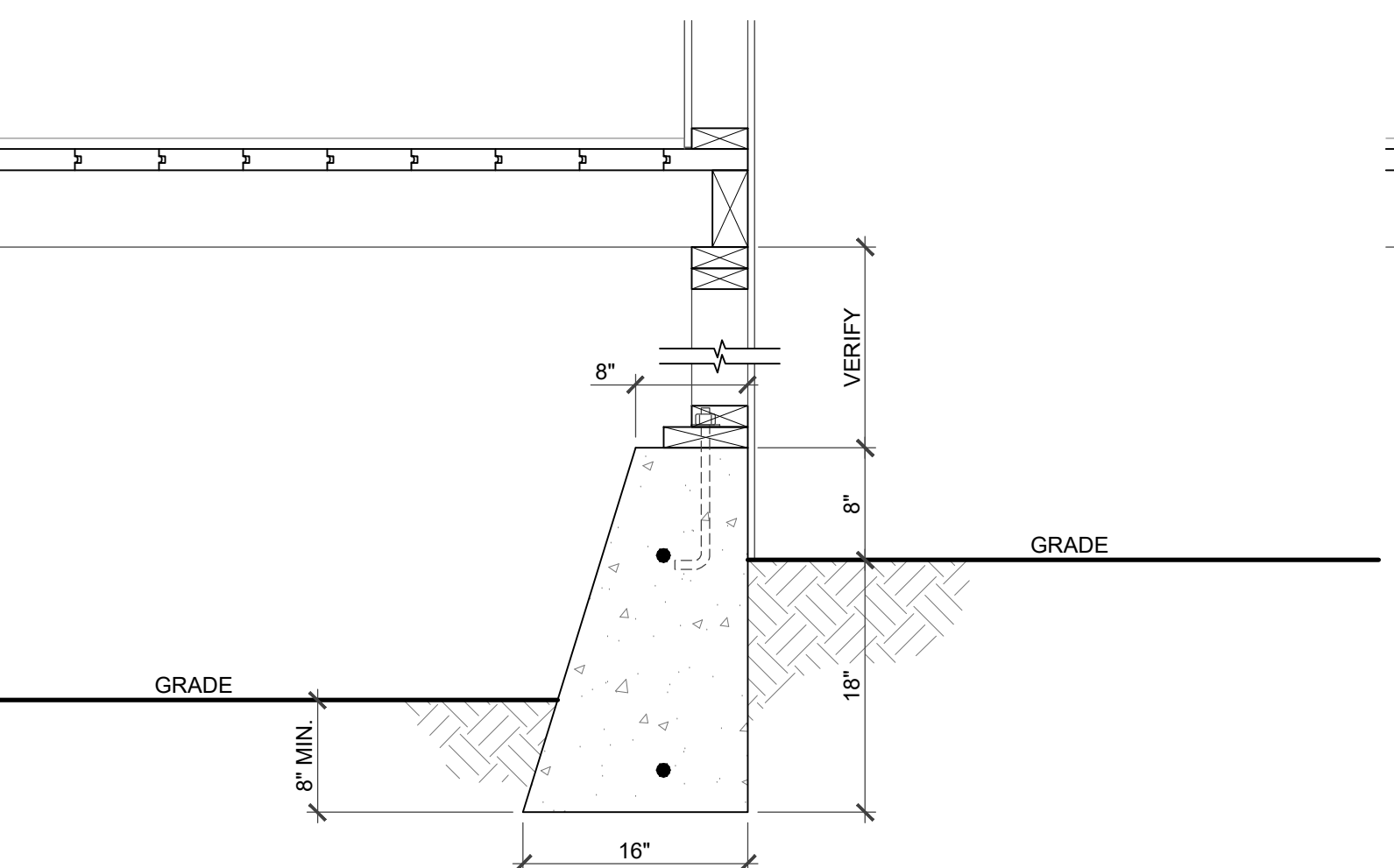
**5 (E) ROOF DETAIL**  
1 1/2" = 1'-0"



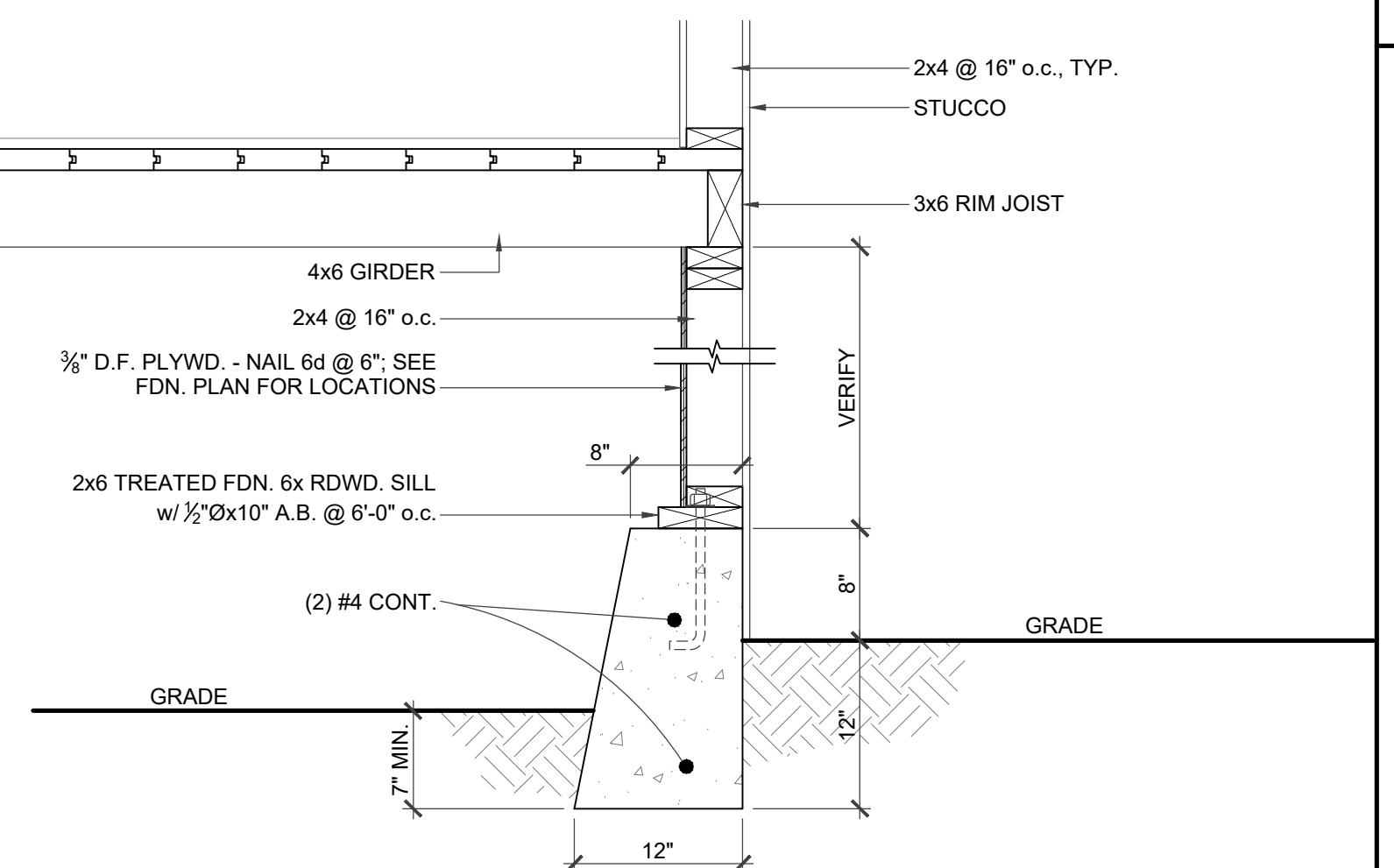
**1 (E) FOUNDATION DETAIL**  
1" = 1'-0"



**2 (E) FOUNDATION DETAIL**  
1" = 1'-0"



**3 (E) FOUNDATION DETAIL**  
1" = 1'-0"



**4 (E) FOUNDATION DETAIL**  
1" = 1'-0"



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**PROPOSED SECTIONS**

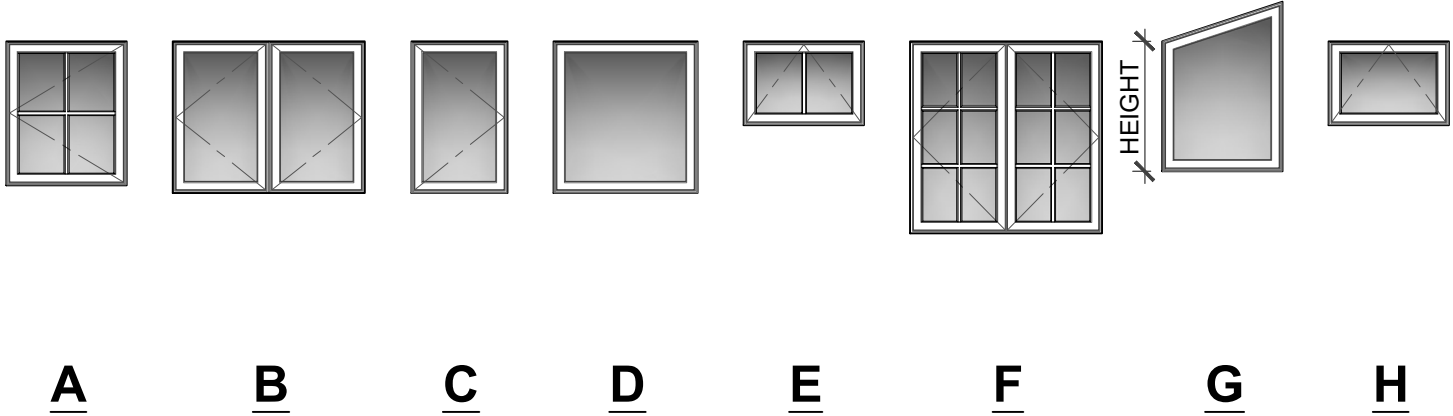
**ALBINO RESIDENCE**  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023

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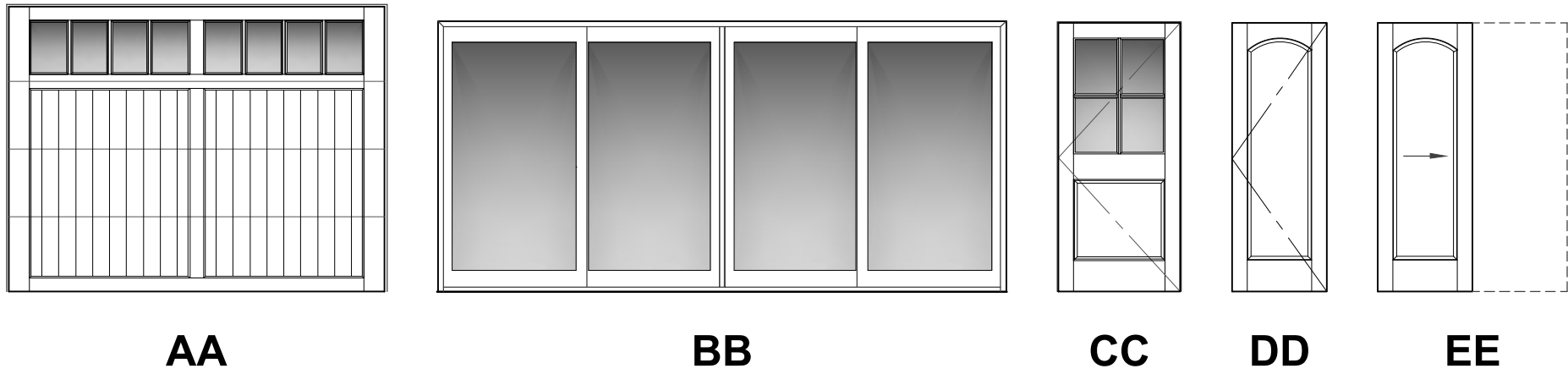
**A4.1**  
*Matt Hanner*



WINDOW TYPES



DOOR TYPES



WINDOW SCHEDULE

		SIZE										
MARK	TYPE	WIDTH	HEIGHT	LOCATION	HEAD HEIGHT	ROUGH OPENING (W X H)	FRAME	INT FINISH	GLASS TYPE	GRILLES	MFR. / MODEL #	REMARKS
MAIN FLOOR												
1	A	2'-6"	3'-0"	LAUNDRY	6'-8"	2'-6 1/2" x 3'-0 1/2"	CLAD WOOD; SLATE BLUE 008	PGM		4 LITES		
2	B	4'-0"	3'-2"	LIVING ROOM	6'-8"	4'-0 1/2" x 3'-2 1/2"	CLAD WOOD; SLATE BLUE 009	PGM			SIERRA PACIFIC; URBAN	FR. CASEMENT
3	B	4'-0"	3'-2"	LIVING ROOM	6'-8"	4'-0 1/2" x 3'-2 1/2"	CLAD WOOD; SLATE BLUE 010	PGM			SIERRA PACIFIC; URBAN	FR. CASEMENT
4	C	2'-0"	3'-2"	KITCHEN	6'-8"	2'-0 1/2" x 3'-2 1/2"	CLAD WOOD; SLATE BLUE 011	PGM	TEMP		SIERRA PACIFIC; URBAN	
5	D	3'-0"	3'-2"	KITCHEN	6'-8"	3'-0 1/2" x 3'-2 1/2"	CLAD WOOD; SLATE BLUE 012	PGM	TEMP		SIERRA PACIFIC; URBAN	
6	C	2'-0"	3'-2"	KITCHEN	6'-8"	2'-0 1/2" x 3'-2 1/2"	CLAD WOOD; SLATE BLUE 013	PGM	TEMP		SIERRA PACIFIC; URBAN	
7	H	2'-0"	1'-6"	POWDER	6'-8"	2'-0 1/2" x 3'-0 1/2"	CLAD WOOD; SLATE BLUE 014	PGM	TEMP		SIERRA PACIFIC; URBAN	
UPPER FLOOR												
8	E	2'-6"	1'-9"	M. BATH	6'-8"	2'-6 1/2" x 1'-9 1/2"	CLAD WOOD; SLATE BLUE 008	PGM	TEMP	2 LITES	SIERRA PACIFIC; URBAN	
9	F	4'-0"	4'-0"	BEDROOM 2	6'-8"	4'-0 1/2" x 4'-0 1/2"	CLAD WOOD; SLATE BLUE 009	PGM		12 LITES TOTAL	SIERRA PACIFIC; URBAN	FR. CASEMENT
10	F	4'-0"	4'-0"	BEDROOM 2	6'-8"	4'-0 1/2" x 4'-0 1/2"	CLAD WOOD; SLATE BLUE 010	PGM		12 LITES TOTAL	SIERRA PACIFIC; URBAN	FR. CASEMENT
11	C	2'-0"	3'-0"	BATH 2	6'-8"	2'-0 1/2" x 3'-0 1/2"	CLAD WOOD; SLATE BLUE 011	PGM	TEMP		SIERRA PACIFIC; URBAN	
12	G	3'-0"	1'-0 1/8"	LIVING ROOM	RAKE -18"	PER MANUFACTURER	CLAD WOOD; SLATE BLUE 012	PGM			SIERRA PACIFIC; URBAN	HEAD HT. AT 18" BELOW FIN. CLG.; SILL AT 8'-0"
13	G	3'-0"	2'-2 13/16"	LIVING ROOM	RAKE -18"	PER MANUFACTURER	CLAD WOOD; SLATE BLUE 013	PGM			SIERRA PACIFIC; URBAN	HEAD HT. AT 18" BELOW FIN. CLG.; SILL AT 8'-0"
14	G	3'-0"	3'-5 9/16"	LIVING ROOM	RAKE -18"	PER MANUFACTURER	CLAD WOOD; SLATE BLUE 014	PGM			SIERRA PACIFIC; URBAN	HEAD HT. AT 18" BELOW FIN. CLG.; SILL AT 8'-0"
15	B	3'-9"	4'-0"	OFFICE	6'-8"	3'-9 1/2" x 4'-0 1/2"	CLAD WOOD; SLATE BLUE 015	PGM			SIERRA PACIFIC; URBAN	FR. CASEMENT
16	B	3'-9"	4'-0"	OFFICE	6'-8"	3'-9 1/2" x 4'-0 1/2"	CLAD WOOD; SLATE BLUE 016	PGM			SIERRA PACIFIC; URBAN	FR. CASEMENT
17	B	4'-0"	3'-2"	OFFICE	6'-8"	4'-0 1/2" x 3'-3 1/2"	CLAD WOOD; SLATE BLUE 017	PGM			SIERRA PACIFIC; URBAN	FR. CASEMENT
18	C	2'-0"	3'-2"	MASTER BEDROOM	6'-8"	2'-0 1/2" x 3'-2 1/2"	CLAD WOOD; SLATE BLUE 018	PGM			SIERRA PACIFIC; URBAN	
19	F	4'-0"	4'-0"	MASTER BEDROOM	6'-8"	4'-0 1/2" x 4'-0 1/2"	CLAD WOOD; SLATE BLUE 019	PGM			SIERRA PACIFIC; URBAN	FR. CASEMENT
20	F	4'-0"	4'-0"	MASTER BEDROOM	6'-8"	4'-0 1/2" x 4'-0 1/2"	CLAD WOOD; SLATE BLUE 020	PGM			SIERRA PACIFIC; URBAN	FR. CASEMENT

EXTERIOR DOOR SCHEDULE

		PANEL SIZE										
MARK	TYPE	WIDTH	HEIGHT	THICKNESS	LOCATION	HEAD HEIGHT	ROUGH OPENING (W X H)	FRAME	INT FINISH	GLASS TYPE	MFR. / MODEL #	REMARKS
A	AA	9'-0"	7'-0"	PER MFGR	GARAGE	7'-1" V.I.F.	PER MANUFACTURER	STAINED WHITE OAK	TBD	TEMP	TBD	DARK WALNUT STAIN
B	BB	14'-0"	7'-0"	PER MFGR	LIVING ROOM	PER MFGR	14'-0 1/2" x 7'-0 1/2"	WOOD CLAD	PGM	TEMP	SIERRA PACIFIC	SLATE BLUE 008 EXTERIOR COLOR
C	CC	3'-0"	6'-8"	1 3/4"	ENTRY	PER MFGR	PER MANUFACTURER	STAINED CLEAR ALDER	STAIN	TEMP	ROGUE VALLEY 4482	DARK WALNUT STAIN

INTERIOR DOOR SCHEDULE

		PANEL SIZE										
MARK	TYPE	WIDTH	HEIGHT	THICKNESS	LOCATION	HEAD HEIGHT	ROUGH OPENING (W X H)	FRAME	INT FINISH	GLASS TYPE	MFR. / MODEL #	REMARKS
MAIN FLOOR												
1	DD	2'-6"	6'-8"	1 3/8"	POWDER	6'-9 1/4"	2'-9" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	
2	DD	2'-0"	6'-8"	1 3/8"	COAT CLOSET	6'-9 1/4"	2'-3" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	
3	DD	2'-8"	6'-8"	1 3/8"	LAUNDRY	6'-9 1/4"	2'-11" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	
4	DD	2'-8"	6'-8"	1 3/4"	GARAGE	6'-9 1/4"	2'-11" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	1-HOUR FIRE RATED; SELF CLOSING
5	EE	2'-6"	6'-8"	1 3/4"	PANTRY	PER MFGR	PER MANUFACTURER	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	POCKET DOOR
6	DD	2'-0"	6'-8"	1 3/8"	STORAGE	EXIST.	EXISTING	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	MATCH DOOR SIZE TO EXISTING OPENING
UPPER FLOOR												
7	EE	2'-6"	6'-8"	1 3/4"	M. BATH	PER MFGR	PER MANUFACTURER	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	POCKET DOOR
8	DD	2'-6"	6'-8"	1 3/8"	BATH 2	6'-9 1/4"	2'-9" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	
9	DD	2'-8"	6'-8"	1 3/8"	BEDROOM 2	6'-9 1/4"	2'-11" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	
10	DD	2'-8"	6'-8"	1 3/8"	MASTER BEDROOM	6'-9 1/4"	2'-11" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	
11	DD	2'-6"	6'-8"	1 3/8"	W.I.C.	6'-9 1/4"	2'-9" x 6'-9 3/4"	STAINED CLEAR ALDER	CLEAR FINISH		ROGUE VALLEY 5020	

WINDOW NOTES

- ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
- AT DOUBLE PANE WINDOWS WITH ONE TEMPERED WITH THE OTHER UN-TEMPERED OBSOLETE.
- SEE FLOOR PLANS FOR WINDOW LOCATIONS.
- SEE EXTERIOR ELEVATIONS FOR WINDOW MUNTINS, MULLIONS, OPERATION, ETC.
- ALL DIVIDERS TO BE TRU DIVIDERS.
- WINDOW SIZES INDICATED ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS.
- ALL BEDROOMS SHALL HAVE AT LEAST ONE WINDOW THAT MEETS EMERGENCY EGRESS REQUIREMENTS, I.E.: A MINIMUM CLEAR OPENING OF 5.7 S.F., A NEW OPENING WIDTH OF 1'-8", A HEIGHT OF 2'-0" AND A MAXIMUM SILL HEIGHT OF 3'-8" ABOVE FINISH FLOOR.
- SEE SPECIFICATIONS FOR TECHNICAL DATA, FINISHES, HARDWARE, WEATHERSTRIPPING, ETC.
- WALL WIDTHS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.

GLAZING NOTES

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE AND SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCE. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS:
  - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
  - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
  - GLAZING IN ALL UNFRAMED SWINGING DOORS.
  - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE DRAIN OUTLET.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING
- VERIFY SWING HAND OF OPERABLE WINDOWS, SEE BUILDING ELEVATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS AS SHOWN.

DOOR NOTES

HARDWARE NOTES:

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:

- ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE A MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE 4" X 4" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE FINISH PER OWNER.

DOOR NOTES:

- SEE EXTERIOR ELEVATIONS FOR DOOR OPERATION.
- ALL DOOR GLAZING TO BE TEMPERED.  
S.G. = STAIN GRADE  
P.G. = PAINT GRADE  
MFR. = MANUFACTURER
- TEMPERED GL - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING.
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESSES AS SHOWN.

EGRESS NOTES (CRC SEC. R311.2):

- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT.
- EGRESS DOORS SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD).
- THE MINIMUM CLEAR HEIGHT OF THE EGRESS DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- EXTERIOR LANDINGS SHALL BE A MAXIMUM 7-3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. IF THE DOOR SWINGS OUTWARD (OVER THE LANDING), THE CHANGE IN ELEVATION IS LIMITED TO 1-1/2" MAXIMUM. CRC R311.3.1 OR CBC 1010.1.5, EXCEPTION 3

DOOR & WINDOW SCHEDULE

ALBINO RESIDENCE  
8 SW of 12th on MONTE VERDE ST.  
CARMEL, CA 93921  
APN: 010-175-023

PAGE:

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Matt Hanner

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info@carmelbuilding.com

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License #786482

DATE: 04-24-25

SCALE: NOTED

DRAWN BY: STAFF

REVISION: 05-01-25

05-01-25



946411OZ-GL

BRADFORD 1 LIGHT OUTDOOR WALL LANTERN  
Oiled Bronze  
UPC: 841740166089

Available Finishes: BK (Black), OZ (Oiled Bronze)



**DIMENSIONS**  
Fixture Dimensions: 6"W x 17.25"H x 7.5"E  
Fixture Weight: 4.5 lbs.  
Backplate: 4.75"W x 6.25"H x 0.75"E  
Junction: Ctr/Top: 4.75"; Ctr/Btm: 12.5"

**LAMPING INFORMATION**  
Lamping: Custom Built  
360 Lumen Integral LED.  
Voltage: 120V  
UL Rating: UL listed. Rated for Wet locations.

**GLASS DESCRIPTION**  
Clear Glass  
Glass Dimensions: 10.25"H x 4.75"W Glass  
Part #: GL946411

**SHIPPING INFORMATION**  
Carton Dimensions:  
8.75"W x 20.75"H x 10.25"L  
Carton Weight: 6 lbs.  
Shipping Method: Standard Ground


Designed in Atlanta. Manufactured in China.

A WALL LIGHT A

SPJ LIGHTING Inc.  
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

RLM / Sign Light  
SPJ



MODEL: CUSTOM 8110-870  
MATERIAL: Solid Brass  
FINISH SHOWN: Powder Coat Black  
ELECTRICAL: 120V  
MOUNTING: Wall

**LED OPTION**

LIGHT SOURCE: INTEGRAL DRIVER

WATTAGE	LUMENS
<input checked="" type="checkbox"/> 6W	300

Custom lumen packages are available upon request.

**COLOR TEMPERATURE**

<input type="checkbox"/> 2200K	<input type="checkbox"/> 5000K
<input checked="" type="checkbox"/> 2700K	<input type="checkbox"/> 6500K
<input type="checkbox"/> 3000K	<input type="checkbox"/> RGBW-PLC
<input type="checkbox"/> 4000K	<input type="checkbox"/> WARM DIMMING

Custom options are available

**ELECTRICAL**

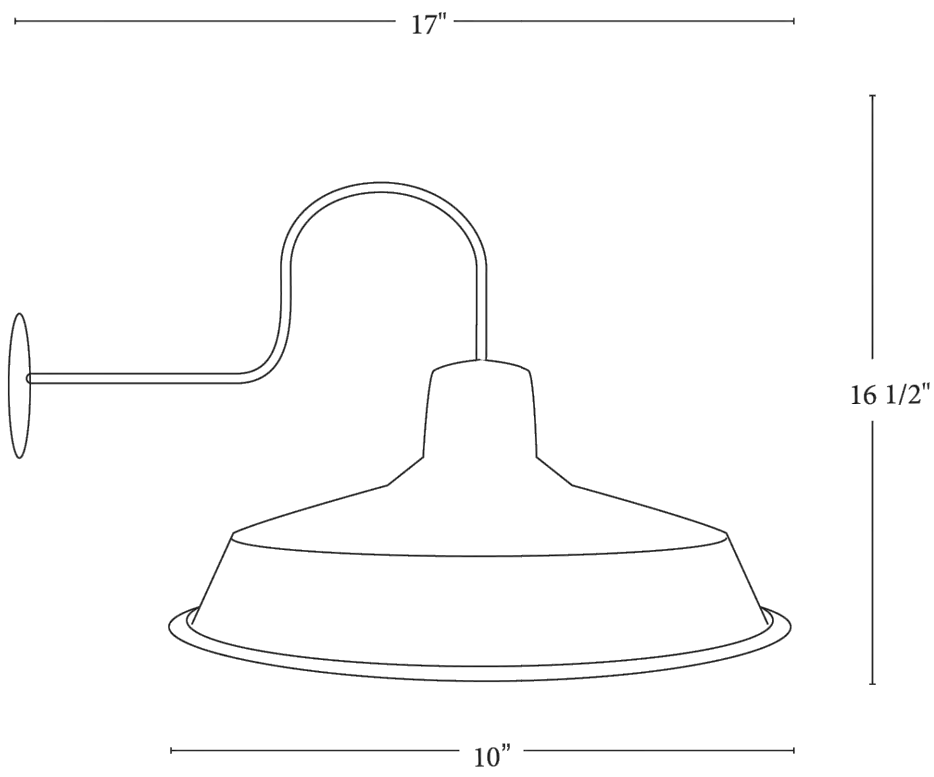
<input type="checkbox"/> 12V	<input checked="" type="checkbox"/> 120V	<input type="checkbox"/> 120V-277V
------------------------------	--	------------------------------------

**FINISHES**

<input checked="" type="checkbox"/> Matte Bronze (MBR)
<input type="checkbox"/> Verde (V)
<input type="checkbox"/> Moss (M)
<input type="checkbox"/> Black (B)
<input type="checkbox"/> Rusty (R)
<input type="checkbox"/> Satin Brass (SB)
<input type="checkbox"/> Aged Brass (AG)
<input type="checkbox"/> Raw Copper (RC)
<input type="checkbox"/> Natural Copper (NC)

**PVD PREMIUM**

<input type="checkbox"/> PVD Polished (PVDP)
<input type="checkbox"/> PVD Satin (PVDS)
<input type="checkbox"/> PVD Graphite (PVDG)
<input type="checkbox"/> PVD Bronze (PVD8Z)
<input type="checkbox"/> PVD Black (PVD8LJ)




8110 HAT WITH CUSTOM 870 ARM


Ordering Example

Customer Approval

Date



Wet Listed



B WALL LIGHT B

LIGHTING LEGEND

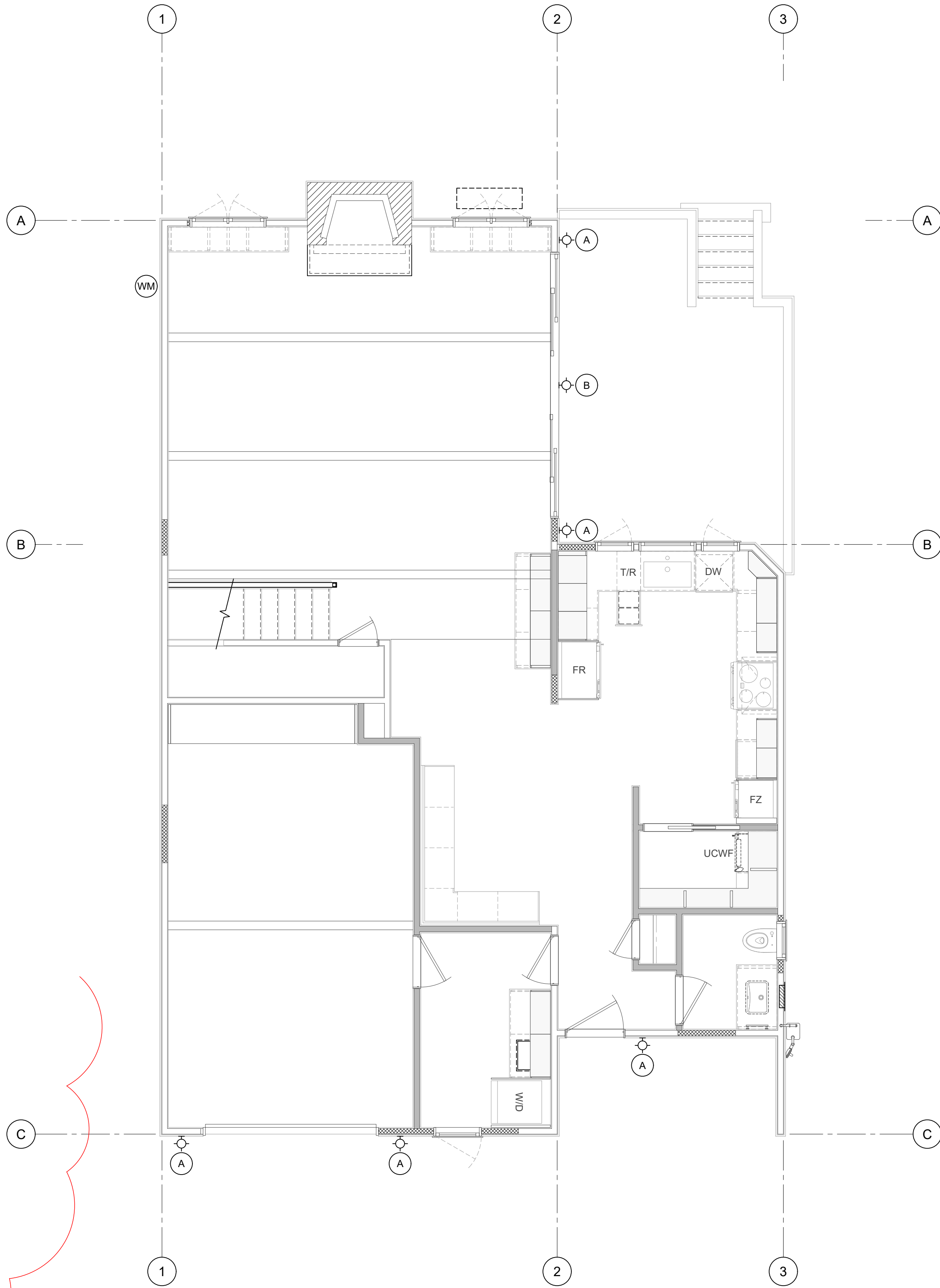
WALL MOUNTED LIGHT FIXTURE

APPROVED

06/06/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kori, Senior Planner



MAIN FLOOR LIGHTING PLAN

1/4" = 1'-0"

PO Box 2201  
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info@carmelbuilding.com

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DATE:	05-02-25
SCALE:	NOTED
DRAWN BY:	STAFF
REVISION:	05-02-25

EXTERIOR LIGHTING PLAN  
ALBINO RESIDENCE  
8 SW of 12th on MONTE VERDE ST.  
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