



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 25042

Owner Name: BRAD & LINDSAY LIDGE

Case Planner: Evan Kort, Senior Planner

Date Posted: _____

Date Approved: June 27, 2025

Project Location: N/W CORNER OF FOREST & MOUNTAIN VIEW

APN #: 010042008000 **BLOCK/LOT:** 84/S. 1/2 Lot 26, All 27

Applicant: Charles A Mandurrago

Project Description: Approval of this Design Study (DS 25042, Lidge) authorizes the approval for amendments to previously approved design study (DS 22-344) for alterations at an existing single-family residence with active building permits (BP 21-458, 23-248, 23-271) located at the northwest corner of Forest and Mountain View in the Single Family Residential (R-1) District. Modifications approved under this Design Study amendment include: 1. Closing the entry at the south courtyard and relocating it to the east elevation; 2. Rebuilding the east elevation fireplace; 3. Adding windows and French doors with sidelights at the south courtyard, and installing a new balcony door at the master bathroom; 4. New exterior paint colors, revised window divisions, repositioned skylights, and new wall and path lighting. Alterations not expressly listed in this authorization are not permitted. The project shall be constructed consistent with the plans application materials dated approved by Community Planning & Building Department on June 27, 2025, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL

No.	
1.	<p>Authorization. Approval of this Design Study (DS 25042, Lidge) authorizes the approval for amendments to previously approved design study (DS 22-344) for alterations at an existing single-family residence with active building permits (BP 21-458, 23-248, 23-271) located at the northwest corner of Forest and Mountain View in the Single Family Residential (R-1) District. Modifications approved under this Design Study amendment include:</p> <ol style="list-style-type: none"> 1. Closing the entry at the south courtyard and relocating it to the east elevation; 2. Rebuilding the east elevation fireplace; 3. Adding windows and French doors with sidelights at the south courtyard, and installing a new balcony door at the master bathroom; 4. New exterior paint colors, revised window divisions, repositioned skylights, and new wall and path lighting. <p>Alterations not expressly listed in this authorization are not permitted.</p> <p>The project shall be constructed consistent with the plans application materials dated approved by Community Planning & Building Department on June 27, 2025, unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Department.</p>
3.	<p>Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>
4.	<p>Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>
5.	<p>Conditions of Approval. These Conditions of Approval shall be signed and returned to the Community Planning and Building Department prior to the issuance of a Building Permit/Building Permit Revision. These signed conditions shall also be printed on a full size plan sheet in the building plan set along with any prior conditions of approval of prior Design Study Applications.</p>
6.	<p>Building Permit Revision. A revision is required prior to commencement of work.</p>
7.	<p>Prior Conditions of Approval. All conditions of approval of the previous Design Study approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.</p>
8.	<p>Site Coverage. The existing site is not in compliance with site coverage limits shall not be authorized to increase site coverage (CMC 17.10.030.C.2). Site coverage that was lawfully established but not in compliance with current zoning regulations may be maintained in its current state, however, shall be considered non-conforming. If a non-conforming element is removed, or substantially altered, it shall not be permitted to be rebuilt or re-established in the same location or elsewhere on the site (CMC</p>

	<p>17.36.040.E). New or replaced coverage shall require the non-conforming be brought into compliance with the requirements for the R-1 zoning district.</p> <p>All site coverage shall be installed consisted with the location, materials, and orientation represented in the approved project plans. The project will be reviewed for its compliance with the approved plans prior to the final inspection. Site coverage shall not be modified without prior review and written authorization by the Community Planning and Building Department.</p>
9.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications, including illumination information, for all exterior new or replaced exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>
10.	<p>Skylights & Skylight Shades. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications for all skylights (new and/or replaced) and skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.</p>

*Acknowledgement and acceptance of conditions of approval.

_____	_____	_____
Property Owner Signature	Printed Name	Date
_____	_____	_____
Applicant Signature	Printed Name	Date

Once signed, please email to ekort@ci.carmel.ca.us.

LIDGE MAIN RESIDENCE ADDITION & GUEST HOUSE REMODEL

N/W CORNER OF FOREST RD & MOUNTAIN VIEW AVE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROJECT INFORMATION

PROJECT INFORMATION

ADDRESS: NW CORNER OF FOREST & MOUNTAIN VIEW

PROJECT DESCRIPTION: INTERIOR & WINDOW CHANGES TO 1,64.00 SF DINING ROOM/KITCHEN ADDITION WITH NEW ELECTRICAL (BP-23-248) REVISION (DS 25042); PLAN REVISION, CLOSE ENTRY @ SOUTH COURTYARD AND RELOCATE EAST ELEVATION SIDE, REBUILD (E) FIREPLACE ON THE EAST ELEV. AS WELL, ADDING WINDOWS @ SOUTH COURTYARD, NEW BALCONY DOOR LOCATED @ THE MASTER BATH, NEW FRENCH DOORS W/ SIDELITES @ SOUTH COURTYARD, NEW PROPOSED EXTERIOR PAINT COLORS, REPOSITION (E) SKYLIGHTS, NEW WINDOW DIVISION THROUGHOUT, NEW WALL AND PATH LIGHTING, INTERIOR CHANGES.

ZONING: R1

A.P.N.: 010-042-008

OCCUPANCY GROUP: R3

TYPE OF CONSTRUCTION: VB

LOT SIZE: 7,167.16 S.F.

FLOOR AREA

ALLOWED:	2,375.00 S.F.	ALLOWED:	22.00%	522.00 S.F.
EXISTING		REQUIRED REDUCTION:		328.00 S.F.
MAIN FLOOR	1,230.00 S.F.	EXISTING		
BASEMENT FLOOR	144.00 S.F.	FRONT WALKS & PATIOS	(REDUCED)	1,330.00 S.F.
MAIN FLOOR GUEST HOUSE	403.00 S.F.	GUEST HOUSE ENTRY WALK		33.00 S.F.
LOWER FLOOR GARAGE	212.00 S.F.	SIDE CONCRETE WALK	(REMOVED)	40.00 S.F.
		SIDE LANDING	(REMOVED)	11.00 S.F.
ADDITION	164.00 S.F.	DRIVEWAY PAD. & RET. WALL	(REDUCED)	45.00 S.F.
TOTAL:	2,153.00 S.F.	TOTAL:		1,459.00 S.F.

FIRESPRINKLERS:

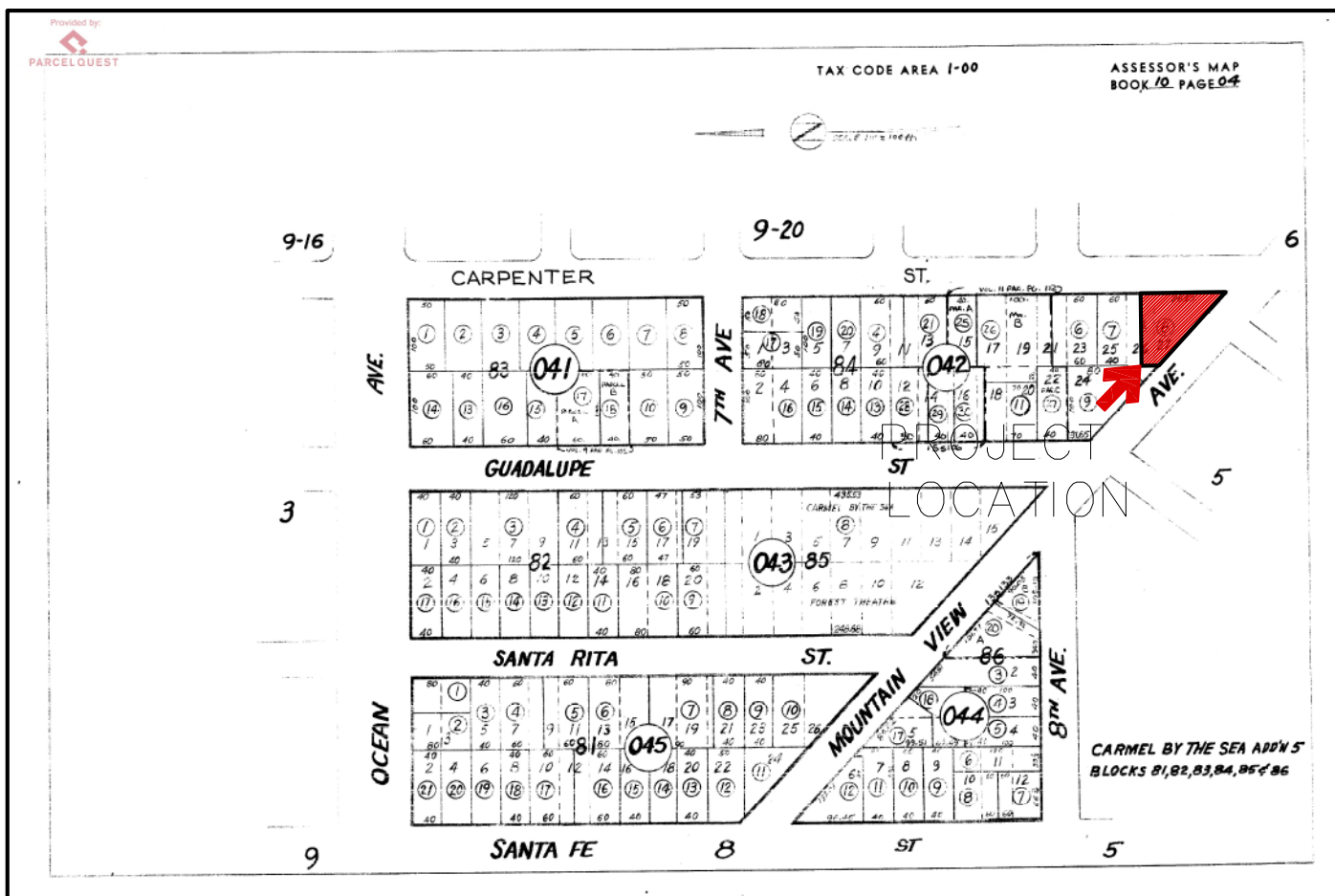
TOTAL EXISTING BUILDING WALL LENGTH (EWL) = 495.4 (INCLUDES THE TOTAL LENGTH OF ALL INTERIOR AND EXTERIOR WALLS)	NEW	
TOTAL LENGTH OF ALL WALLS BEING ADDED, REMOVED, OR REPLACED IN THE PROJECT (NWL) = 230.8 (TOTAL LENGTH OF ALL WALLS ADDED, REMOVED, OR REPLACED IN THE PREVIOUS 5 YEARS= NONE MWL / EWL = 46.4%	FRONT WALKS & PATIOS	1,063.00 S.F.
	GUEST HOUSE ENTRY WALK	33.00 S.F.
	DRIVEWAY RET. WALL	33.00 S.F.
	TOTAL:	1,129.00 S.F.

SPECIAL INSPECTIONS REQUIRED: EPOXY GROUTING OF HOLLOW ANCHOR BOLTS

OWNER: BRAD LIDGE
2205 WARWICK WAY #200
MARIOTTSVILLE MD 21104

DESIGNER: CHARLES MANDURRAGO
MANDURRAGO & ASSOCIATES
P.O. BOX 1504
CARMEL, CA 93921

PARCEL MAP



SHEET INDEX

BUILDING PLANS

A 0.0	TITLE SHEET
A 1.0	SITE PLAN
A 1.1	EXISTING SITE PLAN
A 1.2	DEMOLITION SITE PLAN
A 2.0	EXISTING MAIN & LOWER FLOOR PLANS
A 2.1	PROPOSED MAIN & LOWER FLOOR PLANS
A 2.2	ROOF PLANS
A 3.0	ELEVATIONS
A 3.1	ELEVATIONS
A 3.2	STREETSCAPES FOREST
A 3.3	STREETSCAPES MOUNTAIN VIEW
A 3.4	GUEST HOUSE PLANS
A 4.0	SECTIONS
A 4.1	MATERIALS
A 5.0	DETAILS
L1.0	LANDSCAPE SITE PLAN
SU1	SURVEY

GENERAL NOTES:

THE PROJECT WILL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED CITY OF SEASIDE AMENDMENTS:

BUILDING CODES

2022 CALIFORNIA RESIDENTIAL CODE	(CRC)
2022 CALIFORNIA FIRE CODE	(CFC)
2022 CALIFORNIA MECHANICAL CODE	(CMC)
2022 CALIFORNIA ELECTRICAL CODE	(CEC)
2022 CALIFORNIA PLUMBING CODE	(CPC)
2022 CALIFORNIA ENERGY CODE	(CEC)
2022 CALGREEN BUILDING STANDARDS CODE	(CGBSC)

- THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED TO BE IN FULL COMPLIANCE WITH THE LATEST EDITION OF THE CRC, CBC, CFC, CMC, CEC, CPC, CEC, CGBSC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR FOR A COMPLETE JOB, AND FOR ALL SAFETY MEASURES IN COMPLIANCE WITH APPLICABLE GOVERNING AGENCIES AND PROFESSIONAL PRACTICE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WORKMAN'S COMPENSATION AND GENERAL LIABILITY INSURANCE, NAMING THE OWNERS AS ADDITIONAL INSURED, AND PROVIDING PROOF OF INSURANCE TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ISSUANCE OF THE BUILDING PERMIT, POSTING THE PERMIT ON SITE, AND MAINTAINING THE APPROVAL DRAWINGS ONSITE WITH THE JOB CARD. HE IS REQUIRED TO HAVE A CURRENT CITY OF CARMEL-BY-THE-SEA BUSINESS LICENSE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULING AND COMPLETING ALL INSPECTIONS REQUIRED BY THE CITY, AND STRUCTURAL ENGINEER OF RECORD.
- THE GENERAL CONTRACTOR SHALL PROVIDE DESIGN FOR ALL TEMPORARY SHORING DEVICES FOR COMPLETION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES FOR COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER ON SITE FOR CONTINUAL CONSTRUCTION DEBRIS REMOVAL ON A DAILY BASIS, AND MAINTAIN A CLEAN AND ORDERLY JOBSITE. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE, BRING ALL INCONSISTENCIES TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS, WHICH ARE TO FACE OF CONCRETE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL VERIFY PRECISE LOCATION OF PLUMBING AND PIPING WITH PLUMBING SUBCONTRACTOR PRIOR TO FRAMING. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT TUB TO ENSURE A PROPER FIT. FIXTURES FOR TUB, SHOWER AND SINKS ARE INTENDED TO ALL BE WALL MOUNTED. CONFIRMATION OF A SPECIFIED MANUFACTURER AND DELIVERY ONSITE IS NEEDED AT ROUGH-IN UNLESS OTHERWISE DETERMINED BY THE OWNERS.
- THE GENERAL CONTRACTOR SHALL PROVIDE 2X SOLID BLOCKING FOR ALL BATHROOM ACCESSORIES, CASEWORK, CLOSET SHELVES AND POLES, AND SHOWER ENCLOSURES. A SHOWER NICHE SIZE AND LOCATION NEEDS TO BE CONFIRMED AT FRAMING WITH THE OWNERS.
- THE GENERAL CONTRACTOR SHALL ATTACH ALL PIPING TO STRUCTURE WITH VIBRATION ISOLATOR. PIPING SHALL NOT COME INTO DIRECT CONTACT WITH STRUCTURE AT ANY POINT.
- PROVIDE A ELECTRONIC COPY OF THE APPROVED PLANS AT TIME OF PERMIT ISSUANCE AND AN AS-BUILT PLANS SHALL BE PROVIDED AT TIME OF ISSUANCE OF CERTIFICATE OF OCCUPANCY.

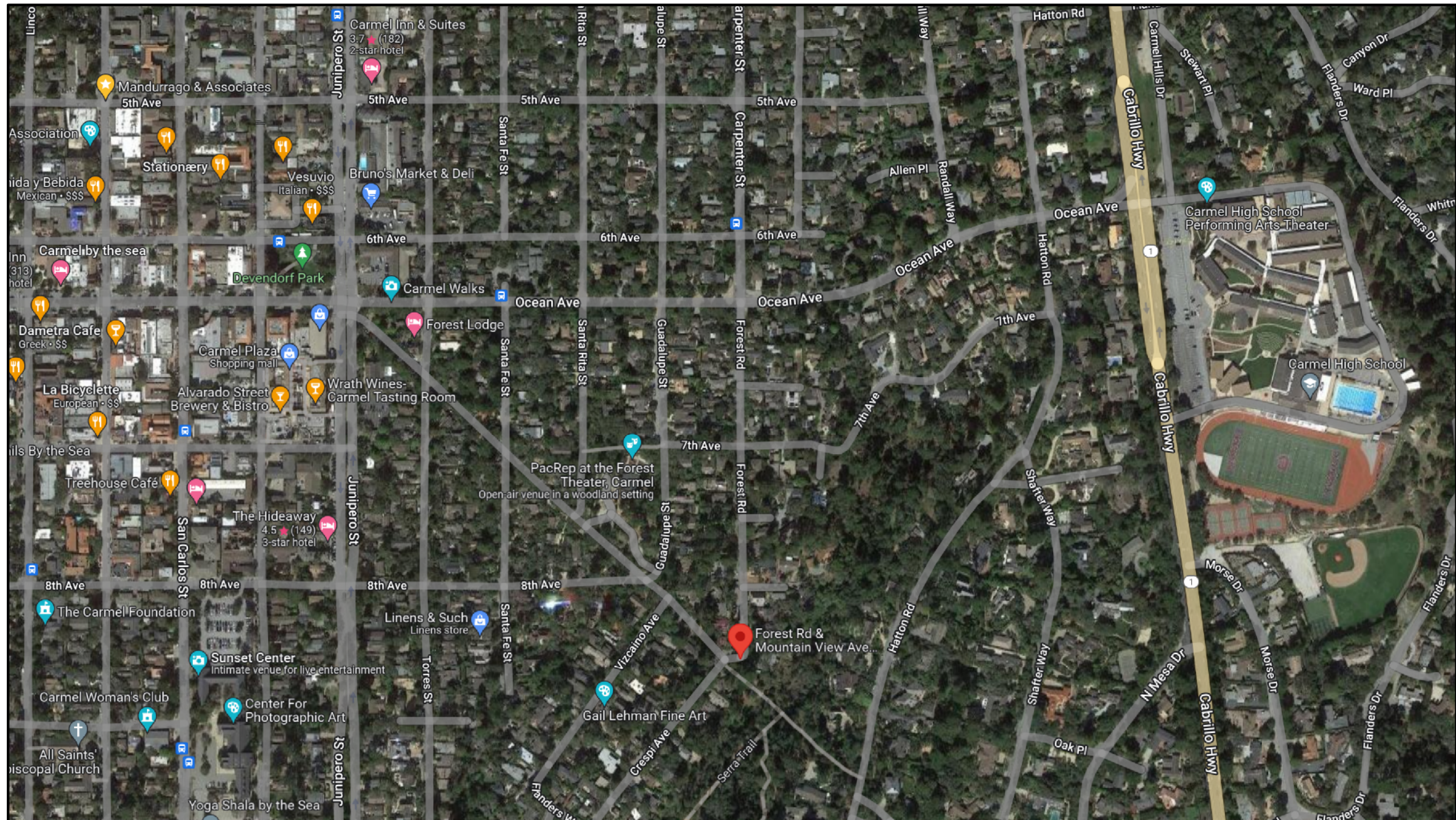
13. PER CGBSC 301.3.1, EXISTING PLUMBING FIXTURES IN ENTIRE RESIDENCE THAT DO NOT MEET WATER FLOW RATES MUST BE UPGRADED TO MEET WATER-CONSERVING PLUMBING FIXTURE REQUIREMENTS.

14. WATER EFFICIENCY STANDARDS OF THE CGBSC SECTION 4.303 REQUIRING THE FOLLOWING MAXIMUM FLOW RATES:

SHOWERHEADS	2.2 GALLON PER MINUTE (GPM) @ 80PSI.
LAVATORY FAUCET	1.2 GPM @ 60PSI
KITCHEN/UTILITY FAUCETS	1.8 GPM @ 60PSI
WATER CLOSET	1.25 GALLONS PER FLUSH

15. FINAL DOCUMENTATION FOR VALUATION OF CONSTRUCTION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION.

16. THE CURRENT VALUATION COMBINED WITH ALL PREVIOUS CONSTRUCTION ON THE PROPERTY IN THE PAST 5 YEARS EXCEEDS \$200,000 REQUIRING THE ELECTRICAL MAIN TO BE UNDERGROUND.



VICINITY MAP:

MANDURRAGO
&
ASSOCIATES



P.O. BOX 1504 CARMEL, CA 93921
PHONE: 831.935-0709
EMAIL: CHARLES@MANDURRAGO.NET

APPROVED

06/27/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kort, Senior Planner

DRAWN BY: MANDURRAGO

DRAWING DATE: 5-22-25

REVISIONS:



PROJECT:

LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL

NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:

BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARIOTTSVILLE MD 21104

SHEET NUMBER:

Charles Mandurrago

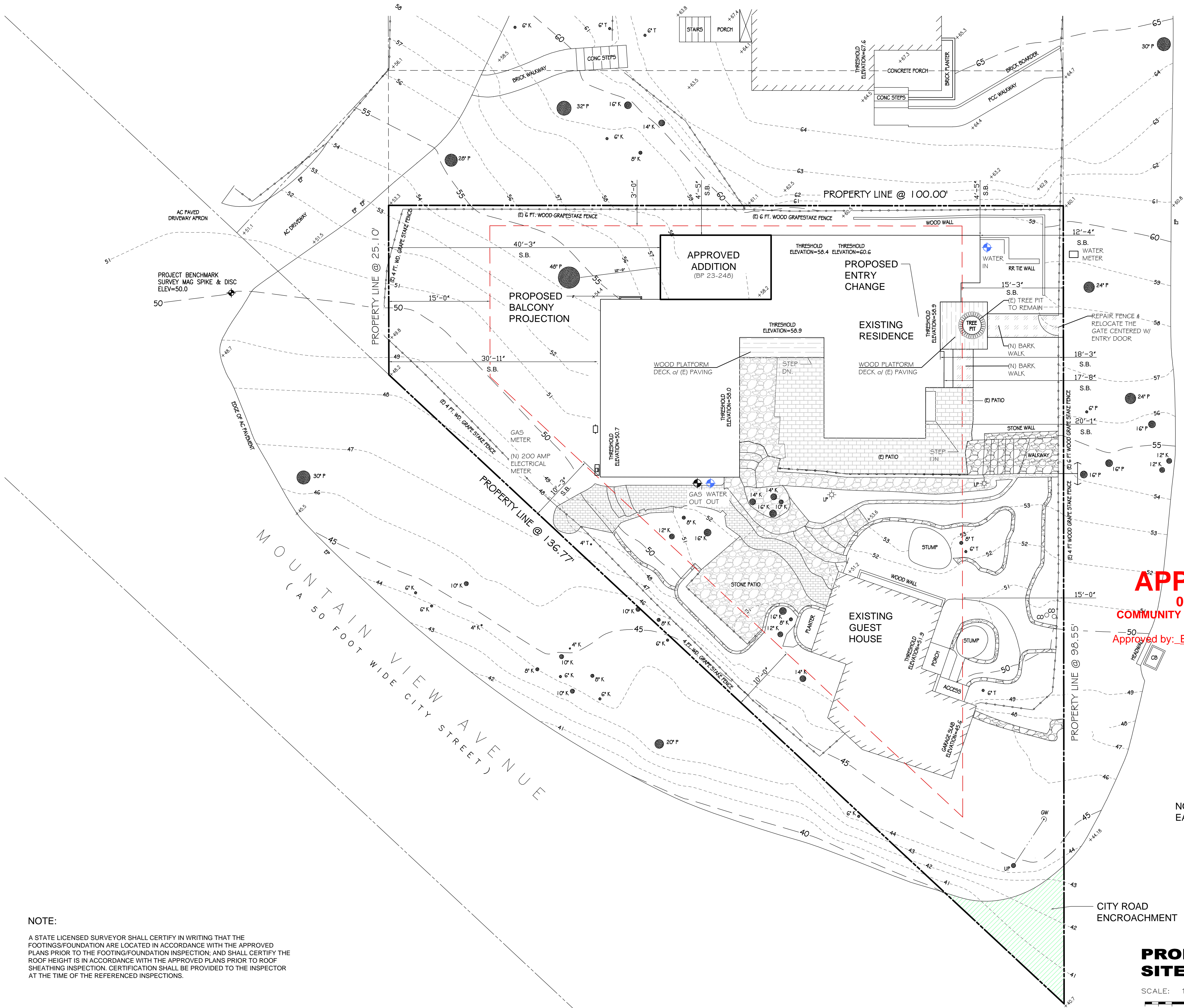
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LEGEND:

- RECORD BOUNDARY
RECORD RIGHT OF WAY
RECORD LOT LINE
RECORD CENTERLINE
RECORD EASEMENT LINE
RECORD SETBACK
OLD RECORD LINE
PROJECT BENCHMARK
CONTOUR (MAJOR)
CONTOUR (MINOR)
- EDGE OF PAVEMENT
BACK OF SIDEWALK
DRIVEWAY
EDGE OF DRIVEWAY
FLOWLINE
FLOWLINE
BUILDING
APPROXIMATE BUILDING OUTLINE
CHIMNEY
THRESHOLD ELEVATION
DECK
CONC PAD
CONCRETE PAD
STEP
STEP
PLANTER
PLANTER
- WV WATER VALVE
WM WATER METER
FH FIRE HYDRANT
MH SANITARY SEWER MANHOLE
CO SANITARY SEWER CLEAN-OUT
SD STORM DRAIN
MD STORM DRAIN MANHOLE
AD AREA DRAIN
CB STORM DRAIN CATCH BASIN
UP UTILITY POLE
GW GUY WIRE
EV ELECTRIC VAULT
UB UTILITY BOX
EM ELECTRIC METER
SL STREET LIGHT
LP LAMP POST
GM GAS METER
- WOOD FENCE
WIRE FENCE
CHAIN LINK FENCE
STREET SIGN
SIGN POST
MAIL BOX
BOLLARD
PORCH POST
- PCC RETAINING WALL
ROCK RETAINING WALL
STACKED BLOCK WALL
BRICK WALKWAY/PATIO
STONE PATIO/WALKWAY/WALL
PCC WALKWAY/PATIO
EDGE OF FOLIAGE
- TREE WITH SIZE AND TYPE
A ACACIA
C CYPRESS
K OAK
P PINE
R REDWOOD
T TREE
SPOT ELEVATION

NOTE:

A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.



NO KNOWN PROPERTY EASEMENTS

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

0 2' 4' 8' 12'



MANDURRAGO & ASSOCIATES



P.O. BOX 2504 CARMEL, CA 93921
PHONE: 831.935-0709
EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

DRAWING DATE: 5-22-25

REVISIONS:



PROJECT:

LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL

NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:

BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARIOTTVILLE MD 21104

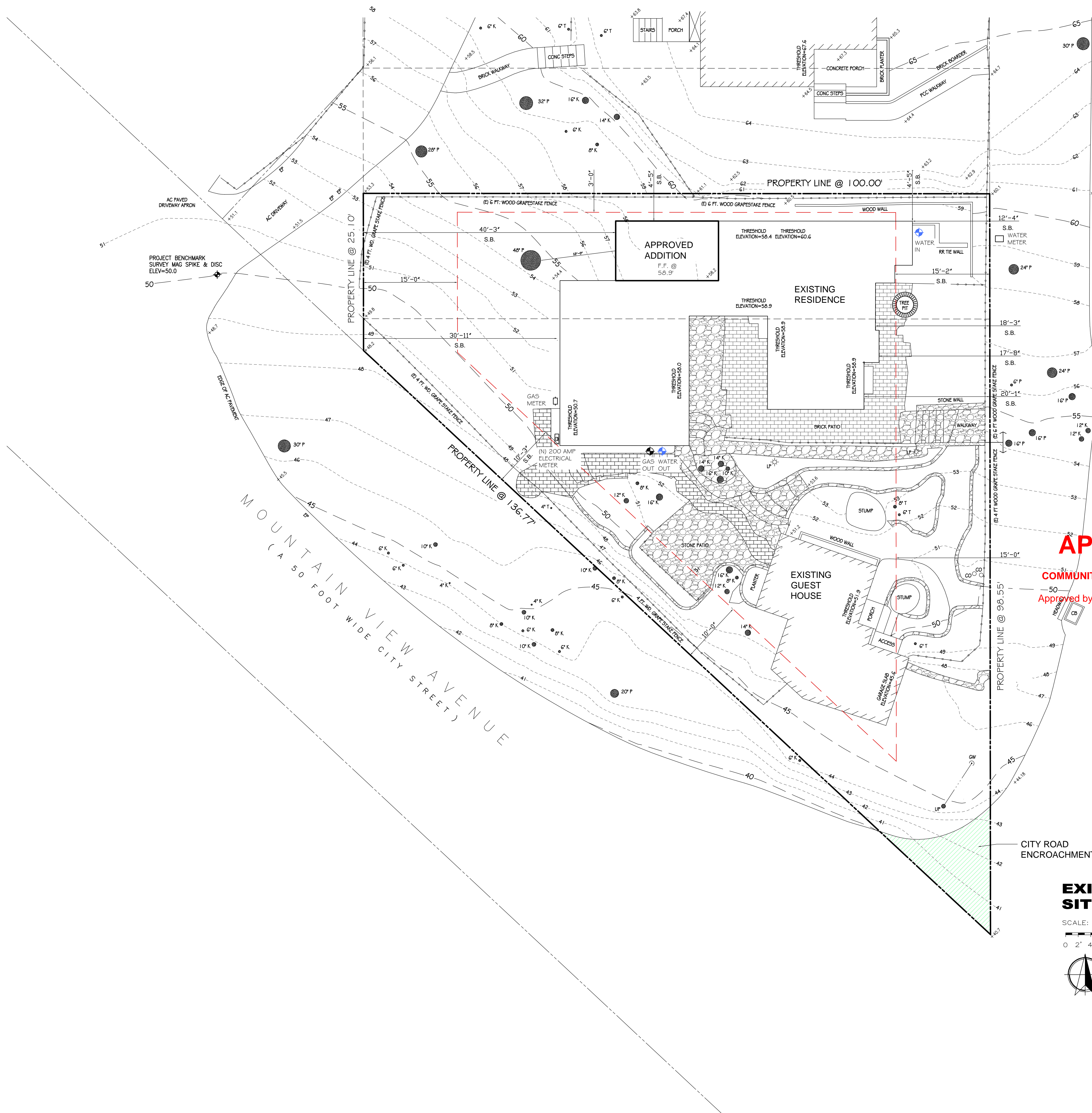
SHEET NUMBER:

Charles Mandurrago

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STONE PATIO/WALKWAY/WALL
PCC WALKWAY/PATIO
EDGE OF FOLIAGE
TREE WITH SIZE AND TYPE
ACACIA
CYPRESS
OAK
PINE
REDWOOD
TREE
SPOT ELEVATION



FOREST ROAD
(A 50 FOOT WIDE CITY STREET)

APPROVED
06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kort, Senior Planner

NO KNOWN PROPERTY
EASEMENTS

**EXISTING
SITE PLAN**

SCALE: 1/8" = 1'-0"
0 2' 4' 8' 12'



MANDURRAGO
&
ASSOCIATES



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DRAWING DATE: 5-22-25

- REVISIONS:
- △
 - △
 - △
 - △

PROJECT:
**LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL**

NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:
BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARRIOTTSTVILLE MD 21104

SHEET NUMBER:
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LEGEND:

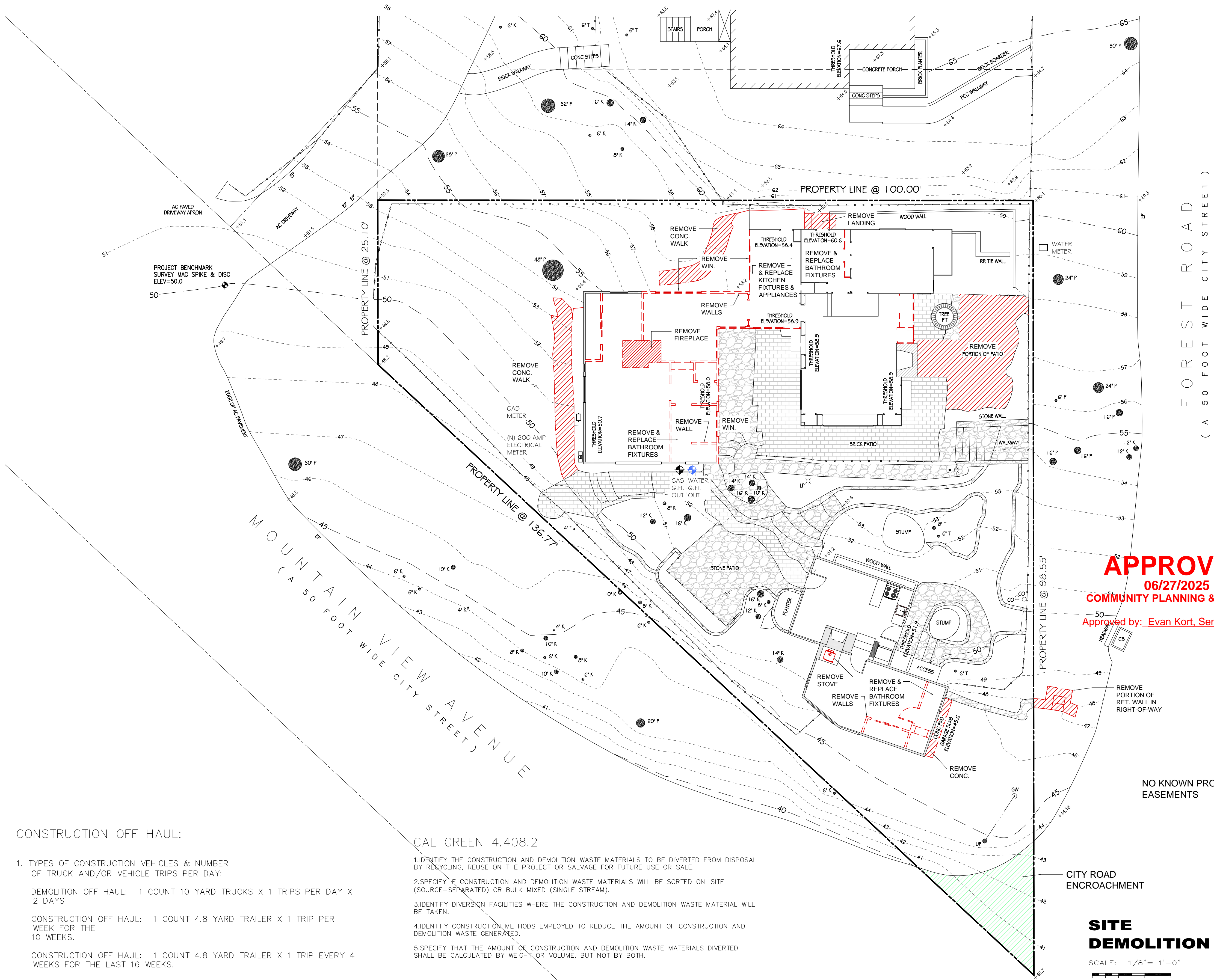
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	PROJECT BENCHMARK
	50 CONTOUR (MAJOR)
	49 CONTOUR (MINOR)
	EP EDGE OF PAVEMENT
	SIDEWALK BACK OF SIDEWALK
	DRIVEWAY EDGE OF DRIVEWAY
	FLOWLINE FLOWLINE
	BUILDING APPROXIMATE BUILDING OUTLINE
	CHIMNEY
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	CONC PAD CONCRETE PAD
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	FH FIRE HYDRANT
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	CO SANITARY SEWER CLEAN-OUT
	SD STORM DRAIN
	MHI STORM DRAIN MANHOLE
	AD AREA DRAIN
	CS STORM DRAIN CATCH BASIN
	UP UTILITY POLE
	GW GUY WIRE
	EV ELECTRIC VAULT
	UB UTILITY BOX
	EM ELECTRIC METER
	SL STREET LIGHT
	LP LAMP POST
	GM GAS METER
	WF WOOD FENCE
	WF WIRE FENCE
	CLF CHAIN LINK FENCE
	SS STREET SIGN
	SP SIGN POST
	MB MAIL BOX
	B BOLLARD
	PP PORCH POST
	PCC RETAINING WALL
	RW ROCK RETAINING WALL
	SBW STACKED BLOCK WALL
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	EDGE OF FOLIAGE
	TREE WITH SIZE AND TYPE
	A ACACIA
	C CYPRESS
	K OAK
	P PINE
	R REDWOOD
	T TREE
	SE SPOT ELEVATION

CONSTRUCTION OFF HAUL:

1. TYPES OF CONSTRUCTION VEHICLES & NUMBER OF TRUCK AND/OR VEHICLE TRIPS PER DAY:
DEMOLITION OFF HAUL: 1 COUNT 10 YARD TRUCKS X 1 TRIPS PER DAY X 2 DAYS
CONSTRUCTION OFF HAUL: 1 COUNT 4.8 YARD TRAILER X 1 TRIP PER WEEK FOR THE 10 WEEKS.
CONSTRUCTION OFF HAUL: 1 COUNT 4.8 YARD TRAILER X 1 TRIP EVERY 4 WEEKS FOR THE LAST 16 WEEKS.
2. CONSTRUCTION LABORS: 5 CONSTRUCTION LABORS (PEAK COUNT DURING DEMOLITION) 1 - PICKUP TRUCK PER 5 LABORS DAILY. 1-2 LABORS DURING CONSTRUCTION. 1 - PICKUP TRUCK PER 1-2 LABORS DAILY.
3. CONSTRUCTION CONTRACTORS: 1 - 2 CONTRACTORS (PEAK COUNT DURING CONSTRUCTION). 1 - PICKUP TRUCK PER CONTRACTOR DAILY.
4. CONSTRUCTION SUPERVISION: 1 SUPERVISOR (PEAK COUNT) 1 - PICKUP TRUCK PER SUPERVISOR DAILY (DURING DEMOLITION & CONSTRUCTION).
5. HOURS OF OPERATION: 8 AM - 4 PM DAILY, M-F.
6. PROJECT SCHEDULING: MID 2023

CAL GREEN 4.408.2

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

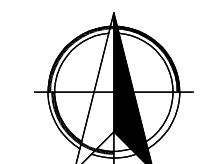


APPROVED
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COMMUNITY PLANNING & BUILDING
Approved by: Evan Kort, Senior Planner

SITE DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

0 2' 4' 8' 12'



North

Wall Legend

- EXISTING WALLS
- NEW 2x WALLS
- NEW 1/2 WALLS
- WALLS TO BE REMOVED

MANDURRAGO & ASSOCIATES



P.O. BOX 1504 CARMEL, CA 93921
PHONE: 831.935-0709
EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

DRAWING DATE: 5-22-25

REVISIONS:

- REV. 1-7-25
-
-
-

PROJECT:

LIDGE MAIN RESIDENCE ADDITION & GUEST HOUSE REMODEL

NW CORNER OF FOREST RD. & MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:

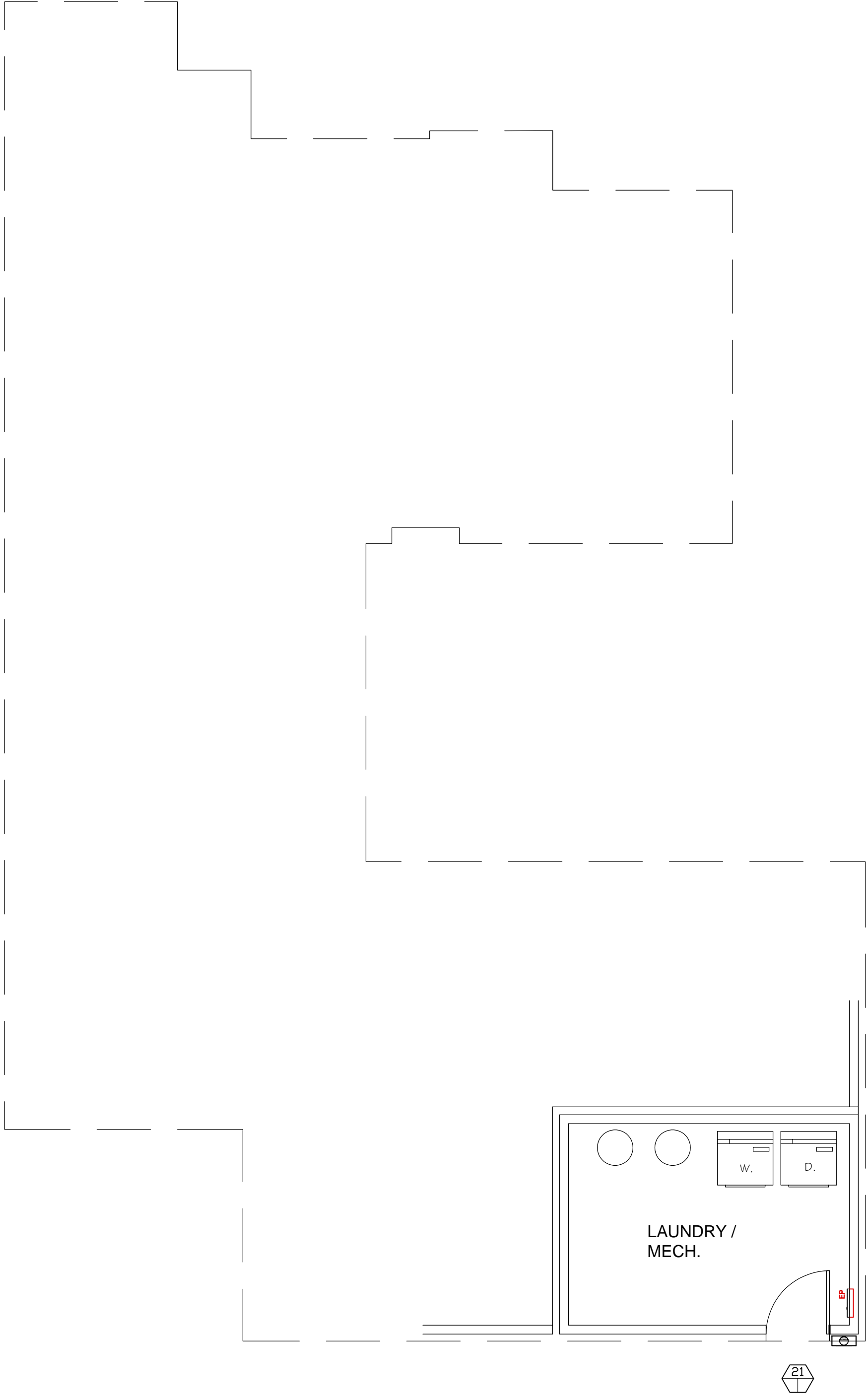
BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARRIOTTSTVILLE MD 21104

SHEET NUMBER:

Charles Mandurrago

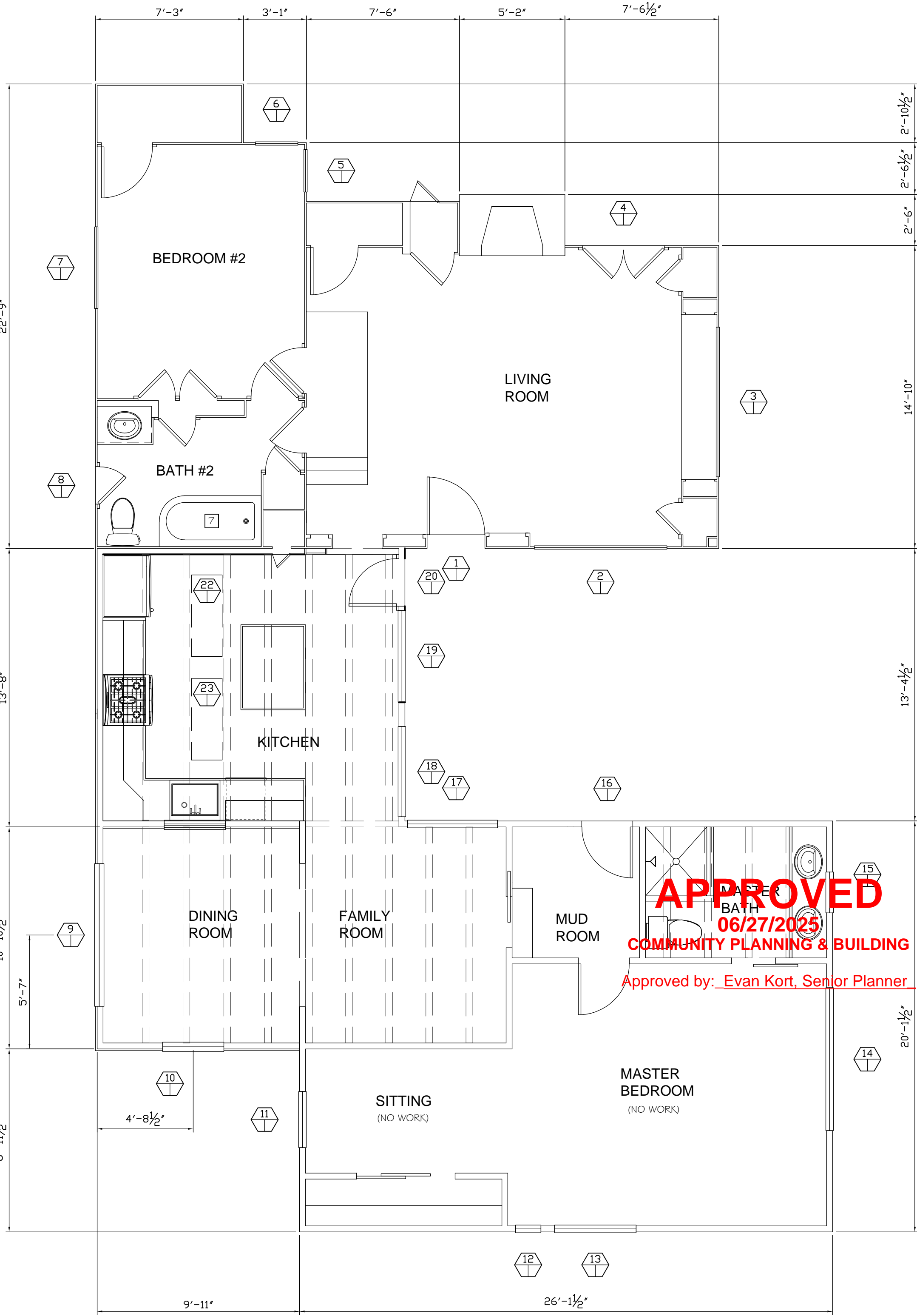
A1.2

DOOR - WINDOW SCHEDULE							
DOOR # WIN. #	DOOR # WIN. TYPE	MANUFACTURER	SIZE (FT/IN)		GLASS	FRAME MATERIAL	HARDWARE
			WIDTH	HEIGHT			
1	HINGED DOOR	EXISTING	2'-10"	6'-8"	N/A	WOOD / CLAD	ENTRANCE LOCK & LATCH
2	SLIDING WINDOW	EXISTING	6'-6"	4'-0"	N/A	WOOD / CLAD	LOCK & LATCH
3	SLIDING WINDOW	EXISTING	6'-6"	4'-0"	N/A	WOOD / CLAD	LOCK & LATCH
4	FRENCH DOORS	EXISTING	4'-0"	6'-8"	TEMP.	WOOD / CLAD	ENTRANCE LOCK & LATCH
5	FIXED WINDOW	EXISTING	2'-1"	4'-0"	N/A	WOOD / CLAD	N/A
6	CASEMENT WINDOW	EXISTING	2'-1"	4'-0"	N/A		LOCK & LATCH
7	SLIDING WINDOW	EXISTING	4'-0"	4'-5"	N/A	WOOD / CLAD	LOCK & LATCH
8	HINGED DOOR	EXISTING	1'-10"	6'-4"	TEMP.	WOOD / CLAD	ENTRANCE LOCK & LATCH
9	FIXED WINDOW	NEW	7'-0"	6'-0"	TEMP.	WOOD / CLAD	N/A
10	CASEMENT WINDOW	NEW	3'-0"	6'-0"	TEMP.	WOOD / CLAD	LOCK & LATCH
11	CASEMENT WINDOW	EXISTING	2'-9"	3'-1"	N/A	WOOD / CLAD	LOCK & LATCH
12	FIXED WINDOW	EXISTING	1'-3"	2'-0"	N/A	WOOD / CLAD	N/A
13	CASEMENT WINDOW	EXISTING	4'-0"	4'-0"	N/A	WOOD / CLAD	LOCK & LATCH
14	SLIDING WINDOW	EXISTING	7'-0"	4'-0"	N/A	WOOD / CLAD	LOCK & LATCH
15	CASEMENT WINDOW	EXISTING	2'-0"	3'-0"	N/A	WOOD / CLAD	LOCK & LATCH
16	HINGED DOOR	EXISTING	2'-6"	6'-8"	N/A	WOOD / CLAD	ENTRANCE LOCK & LATCH
17	CASEMENT WINDOW	EXISTING	4'-5"	4'-0"	N/A	WOOD / CLAD	LOCK & LATCH
18	SLIDING WINDOW	EXISTING	4'-5"	4'-0"	N/A	WOOD / CLAD	LOCK & LATCH
19	SLIDING WINDOW	NEW	4'-5"	4'-0"	N/A	WOOD / CLAD	LOCK & LATCH
20	HINGED DOOR	NEW	2'-4"	6'-8"	TEMP.	WOOD / CLAD	ENTRANCE LOCK & LATCH
21	HINGED DOOR	EXISTING	2'-8"	6'-8"	TEMP.	WOOD / CLAD	ENTRANCE LOCK & LATCH
22	SKYLIGHT	NEW	1'-8"	4'-0"	TEMP.	MTL.	SKYLIGHT SHADES
23	SKYLIGHT	NEW	1'-8"	4'-0"	TEMP.	MTL.	SKYLIGHT SHADES
							OWNER SELECT



EXISTING
BASEMENT
FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING
1st FLOOR PLAN

SCALE: 1/4" = 1'-0"



Wall Legend

- EXISTING WALLS
- NEW 2x WALLS
- NEW 1/2 WALLS
- WALLS TO BE REMOVED

MANDURRAGO
&
ASSOCIATES



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DRAWN BY: MANDURRAGO

DRAWING DATE: 5-22-25

REVISIONS:



PROJECT:

LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL

NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:

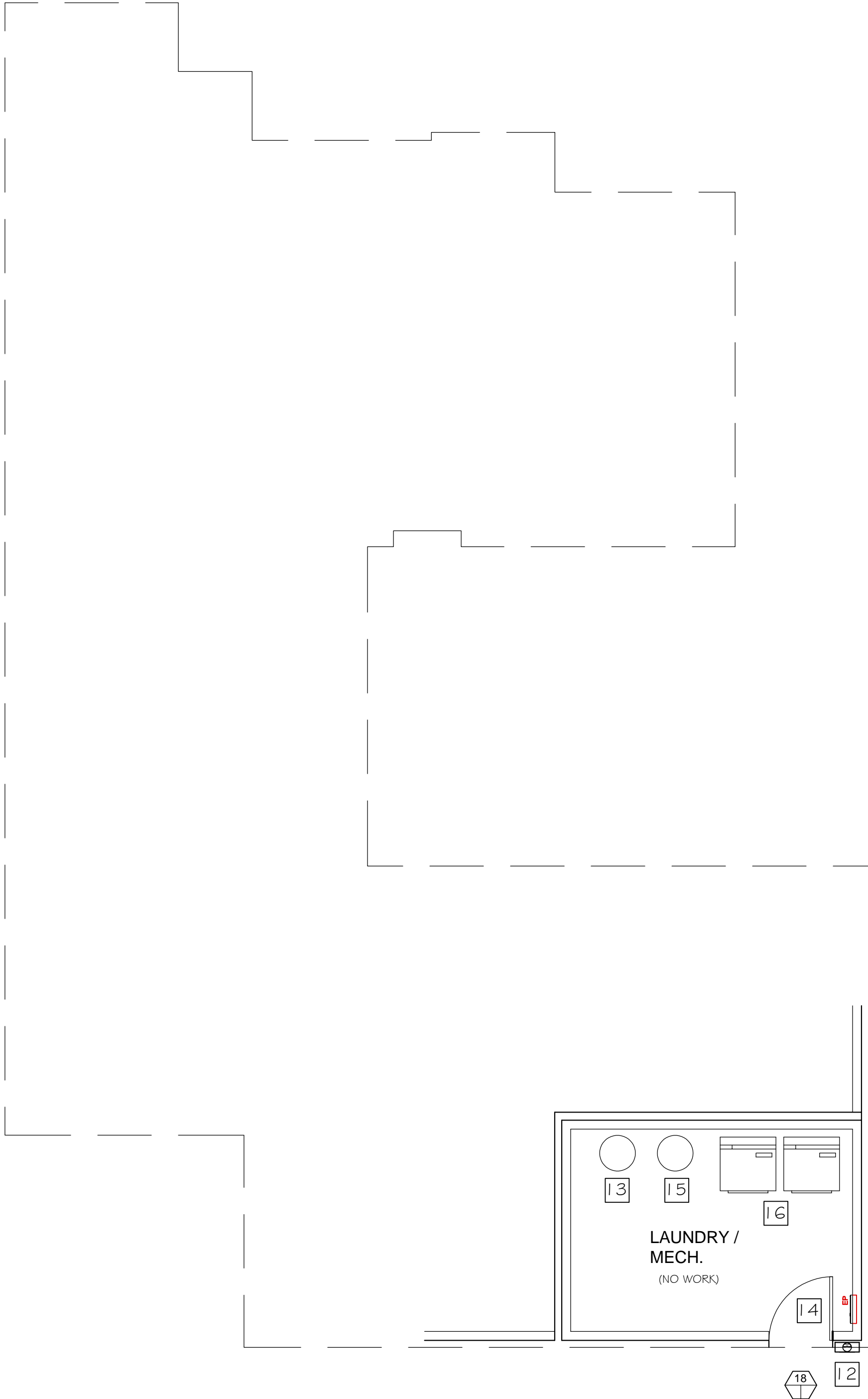
BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARRIOTTSTVILLE MD 21104

SHEET NUMBER:

Charles Mandurrago

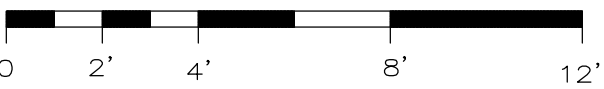
A2.0

DOOR - WINDOW SCHEDULE							
DOOR & WIN. #	DOOR & WIN. TYPE	MANUFACTURER	SIZE (FT/IN)		GLASS	FRAME MATERIAL	HARDWARE
			WIDTH	HEIGHT			
1	CASEMENT WINDOW	NEW	24"	48.75"	N/A	WOOD	MULTI-POINT LOCK
2	CASEMENT WINDOW	NEW	24"	48.75"	N/A	WOOD	MULTI-POINT LOCK
3	PAIR HINGED DOORS	NEW	125 7/16"	82" ±	TEMP.	WOOD	ENTRANCE LOCK & LATCH
4	CASEMENT WINDOW	NEW	36"	52.75"	TEMP.	WOOD	MULTI-POINT LOCK
5	FIXED WINDOW	NEW	72"	52"	TEMP.	WOOD	MULTI-POINT LOCK
6	SLIDING WINDOW	REPLACEMENT	77 1/8"	48.25"	N/A	WOOD	MULTI-POINT LOCK
7	SLIDING WINDOW	REPLACEMENT	87.5"	48.25"	N/A	WOOD	MULTI-POINT LOCK
8	HINGED DOOR	REPLACEMENT	47.5"	72.75"	TEMP.	WOOD	ENTRANCE LOCK & LATCH
9	CASEMENT WINDOW	REPLACEMENT	49.5"	50.25"	N/A	WOOD	MULTI-POINT LOCK
10	SLIDING WINDOW	REPLACEMENT	85.5"	50.25"	N/A	WOOD	MULTI-POINT LOCK
11	CASEMENT WINDOW	REPLACEMENT	24"	48.75"	N/A	WOOD	MULTI-POINT LOCK
12	SLIDING WINDOW	REPLACEMENT	47.5"	42.25"	N/A		MULTI-POINT LOCK
13	CASEMENT WINDOW	REPLACEMENT	25"	44.25"	N/A	WOOD	MULTI-POINT LOCK
14	CASEMENT WINDOW	REPLACEMENT	25"	44.25"	N/A	WOOD	MULTI-POINT LOCK
15	CASEMENT WINDOW	REPLACEMENT	2'-0"	3'-0"	N/A	WOOD	LOCK & LATCH
16	HINGED ENTRY DOOR	NEW	3'-0"	6'-8"	N/A	WOOD	ENTRANCE LOCK & LATCH
17	FIXED WINDOW	EXISTING	1'-4"	3'-0"	TEMP. & OPAQUE	WOOD	N/A
18	HINGED ENTRY DOOR	NEW	2'-6"	6'-8"	TEMP.	WOOD	ENTRANCE LOCK & LATCH
19	HINGED ENTRY DOOR	EXISTING	2'-8"	6'-8"	TEMP.	WOOD	ENTRANCE LOCK & LATCH
21	SKYLIGHT	NEW	2'-4 1/2"	4'-0"	TEMP.	MTL.	SKYLIGHT SHADES
22	SKYLIGHT	NEW	2'-4 1/2"	4'-0"	TEMP.	MTL.	SKYLIGHT SHADES



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



KEY

- 1

KITCHEN SINK @ 1.8 GPM-60 PSI
- 2

REFRIGERATOR
- 3

NEW 4 BURNER GAS RANGE WITH 120
- 4

DISHWASHER
- 5

SINK & FAUCET @ 1.2 GPM-60 PSI
- 6

1.25 GALLON TOILET
- 7

TUB OR SHOWER & HEAD @ 2.0 GPM-80 PSI
- 8

120 VOLT RANGE HOOD min. 50% CE or 110 CFM, max. 3.0 SONE. HOOD SHALL HAVE A CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30". A MINIMUM CLEARANCE OF 24" IS PERMITTED WHEN A VENTILATING HOOD CONSTRUCTED OF SHEET METAL NOT LESS THAN 0.0122" THICK IS INSTALLED ABOVE THE COOKING TOP WITH A CLEARANCE OF NOT LESS THAN 1/4" BETWEEN THE HOOD AND UNDERSIDE OF CABINET. [CMC 921.3.2]
- 9

ISLAND
- 10

UPPERS
- 12

(N) 200 AMP SHUT-OFF
- 13

WATER HEATER.
- 14

100 AMP SUB-PANEL
- 15

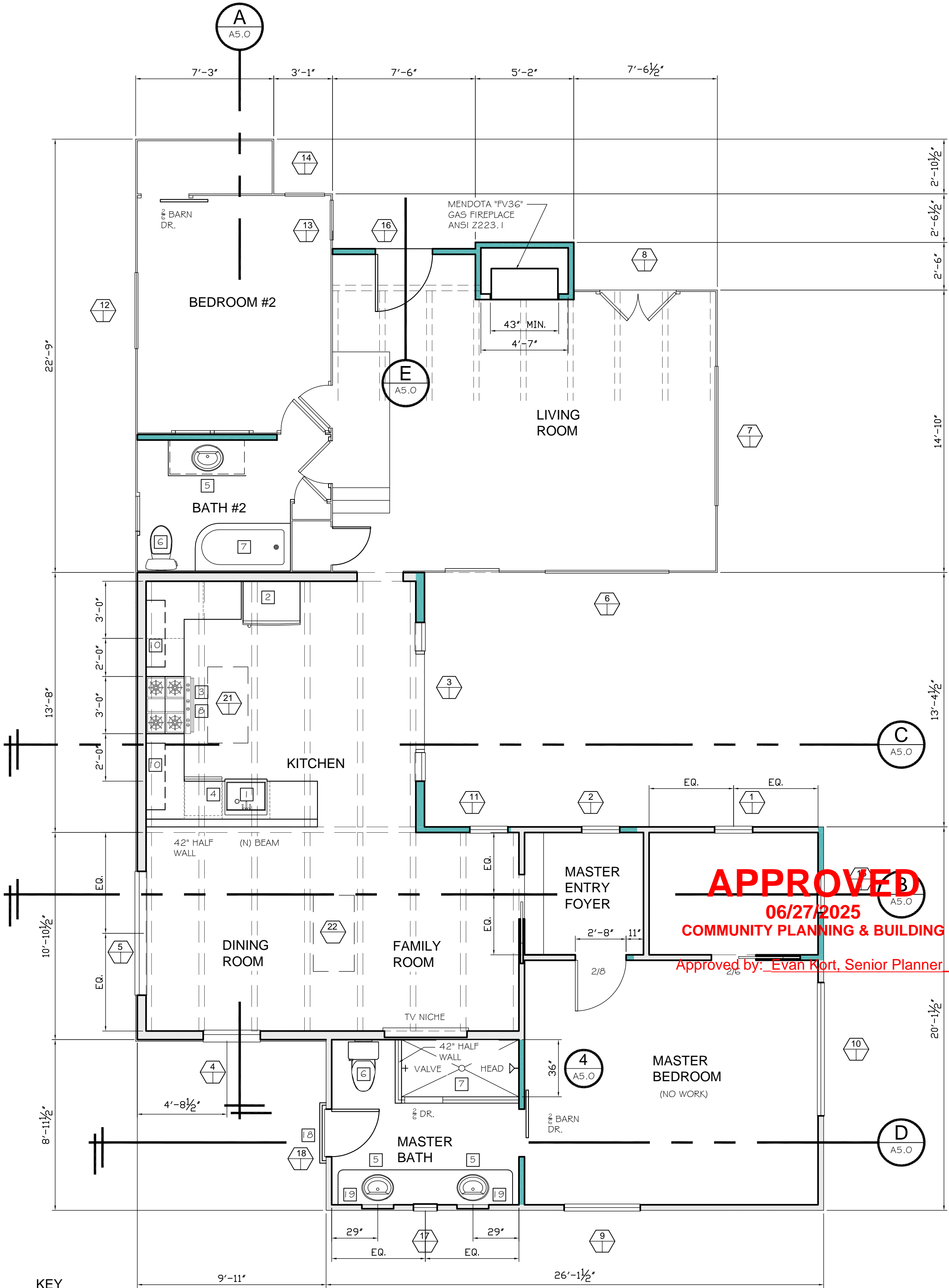
WASTE
- 16

(E) WASHER & DRYER
- 17

NEW LANDING: LANDINGS SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF AN EGRESS/EXTERIOR DOOR, EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2%. LANDINGS SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD (EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 734" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING)
- 18

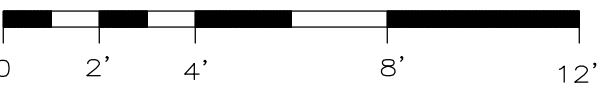
42" HIGH STEEL GUARD RAIL
- 19

20" x 30" MEDICINE CABINET



PROPOSED 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"



Wall Legend

- EXISTING WALLS
- NEW 2x WALLS
- NEW 1/2 WALLS
- WALLS TO BE REMOVED

MANDURRAGO & ASSOCIATES



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PHONE: 831.935-0709
EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

DRAWING DATE: 5-22-25

REVISIONS:

-
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-
-

PROJECT:

LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL

NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

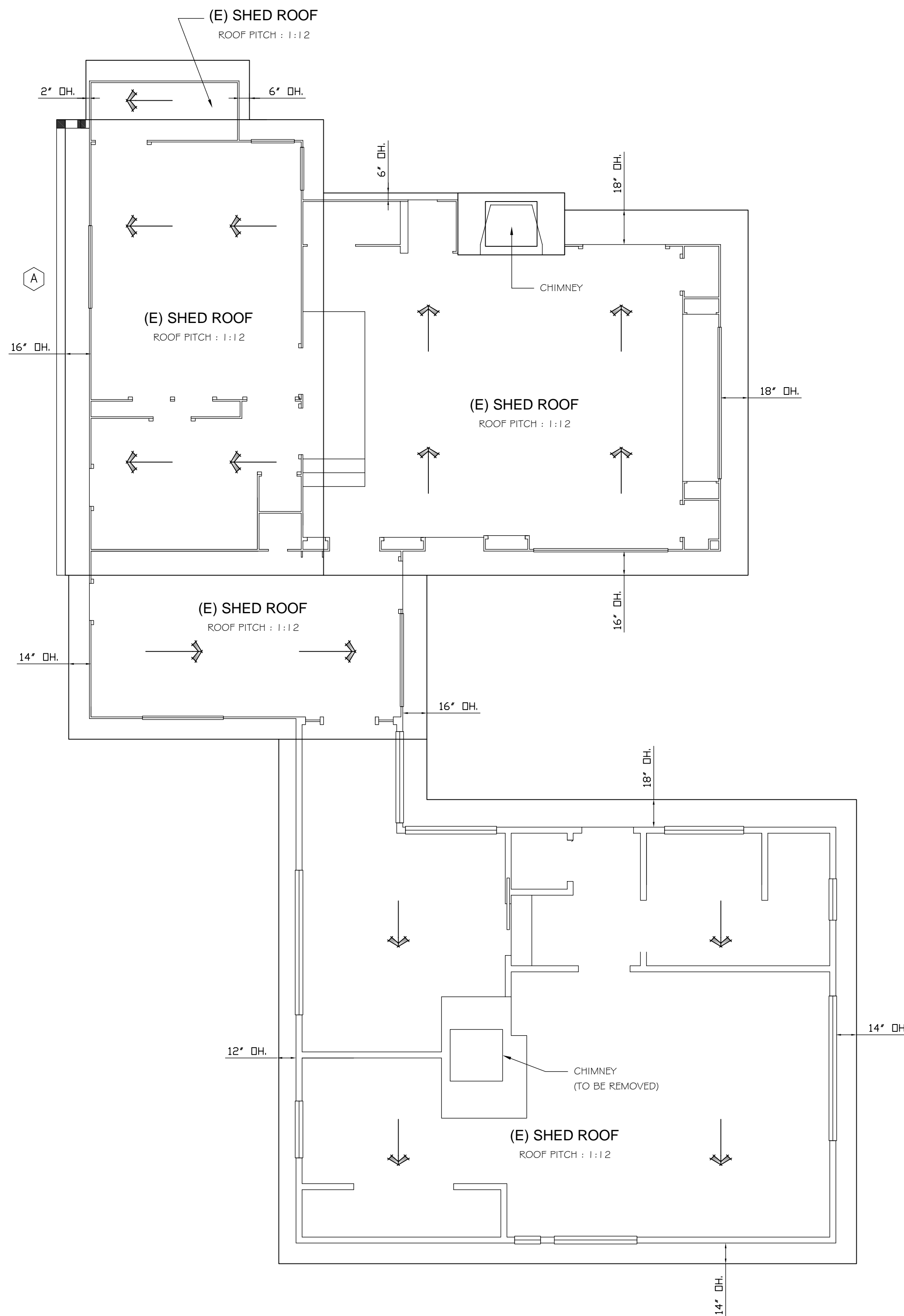
OWNER:

BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARIOTTVILLE MD 21104

SHEET NUMBER:

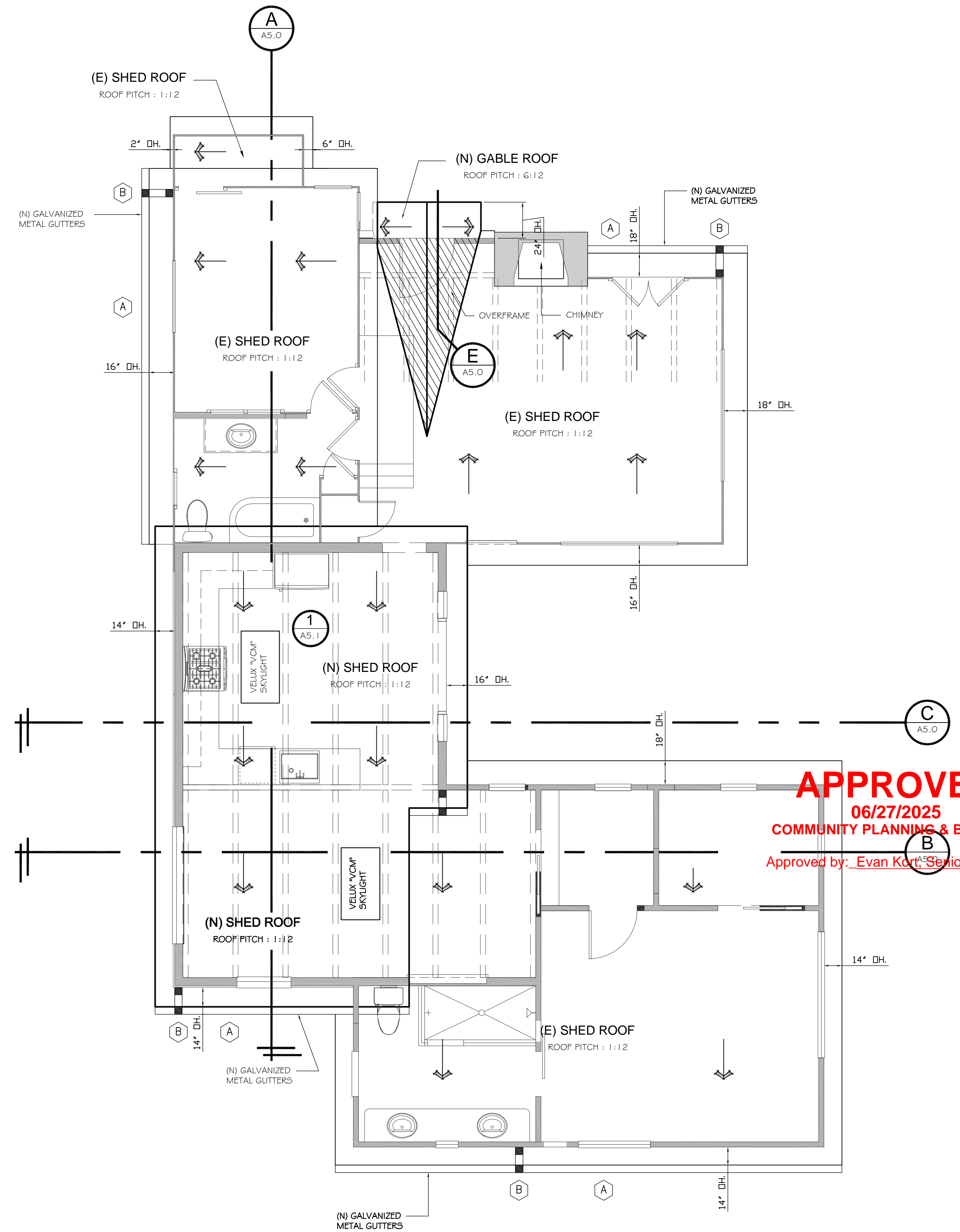
Charles Mandurrago

A2.1



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

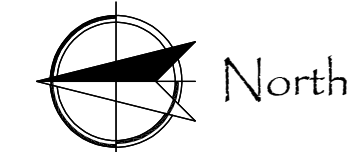


ROOF PLAN LEGEND

- (A) GALV. S.M. CONTINUOUS GUTTER
- (B) DOWNSPOUTS CONNECTED TO UNDERGROUND DRAIN PIPE. (TYP. AT ALL BUILDINGS)

PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



Wall Legend

- EXISTING WALLS
- NEW 2x WALLS
- NEW 1/2 WALLS
- WALLS TO BE REMOVED

APPROVED

06/27/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Korn, Senior Planner

**MANDURRAGO
&
ASSOCIATES**

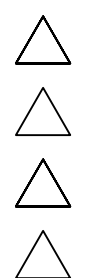


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DRAWING DATE: 5-22-25

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ADDITION & GUEST
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& MOUNTAIN VIEW AVE.
APN: 010-042-008

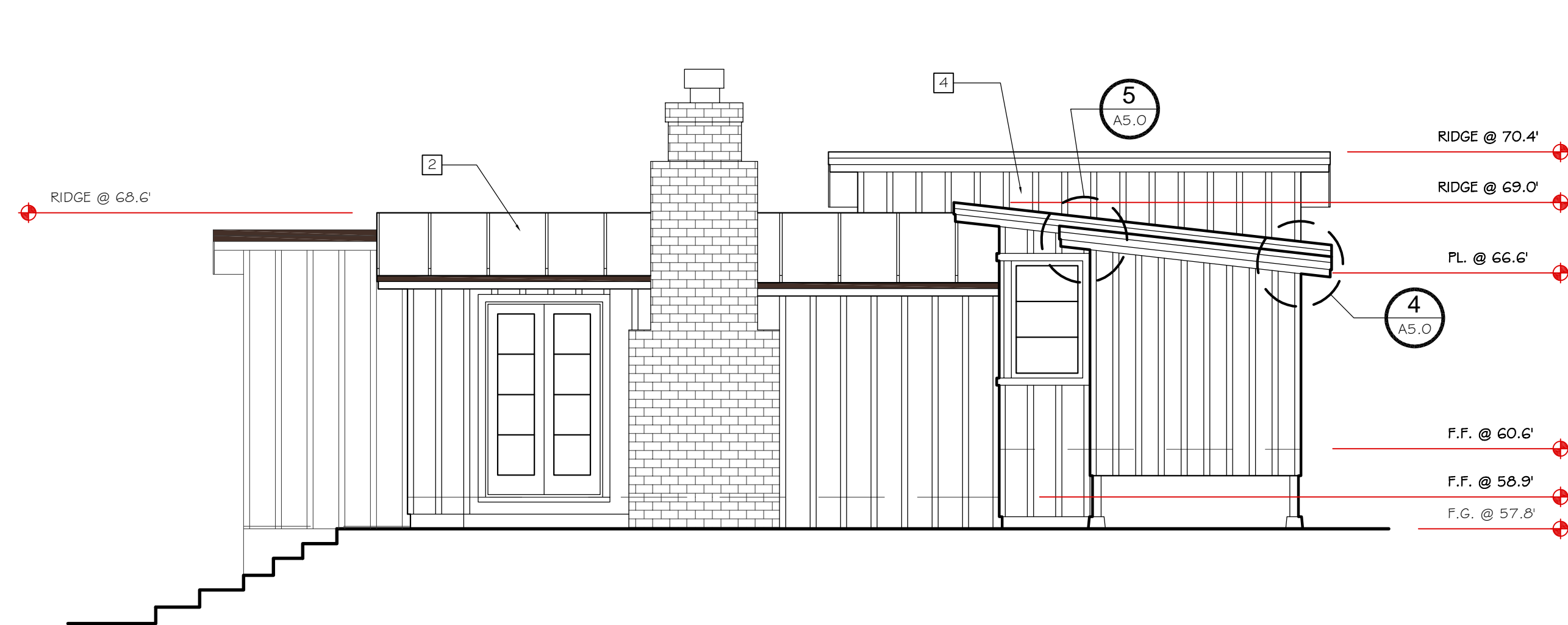
OWNER:

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2205 WARWICK WAY #200
MARRIOTTVILLE MD 21104

SHEET NUMBER:

Charles Mandurrago

A2.2



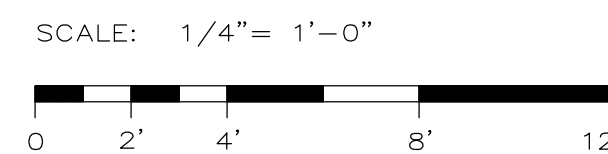
EX. EAST ELEV.



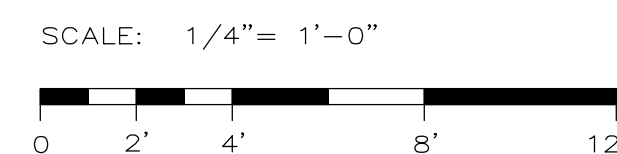
PRO. EAST ELEV.



EX. SOUTH ELEVATION



PRO. SOUTH ELEVATION



KEY

- 1 (E) EXISTING BOARD & BATTEN
- 2 (N) METAL ROOF
- 3 (E) WOOD FRENCH DOOR
- 4 (N) NEW BOARD & BATTEN
- 5 (N) ENTRY COVER
- 6 (N) SKYLIGHT
- 7 (N) DUTCH DOOR
- 8 (N)THIN-SET STONE VENEER "RIVER ROCK"
- 9 (N) NEW BOARD & BATTEN
- 11 (N) EXTERIOR LIGHT (SEE SHEET A4.0)

APPROVED
06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kortz Senior Planner

MANDURRAGO
&
ASSOCIATES



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- △
 - △
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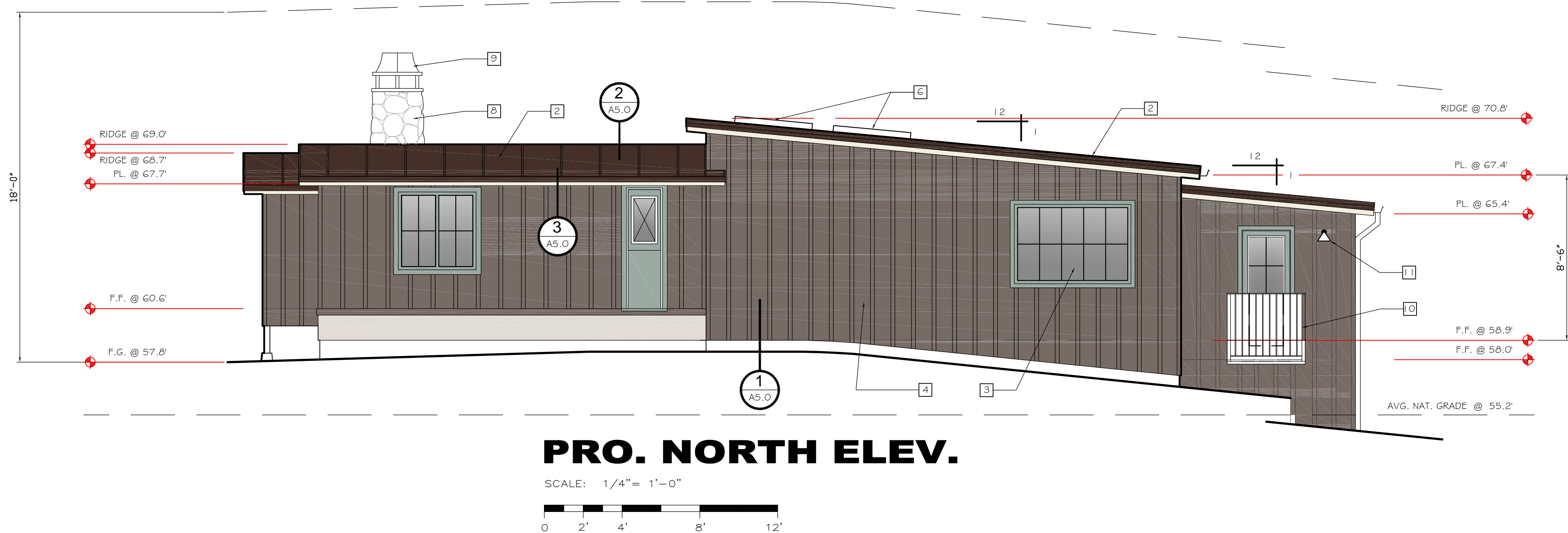
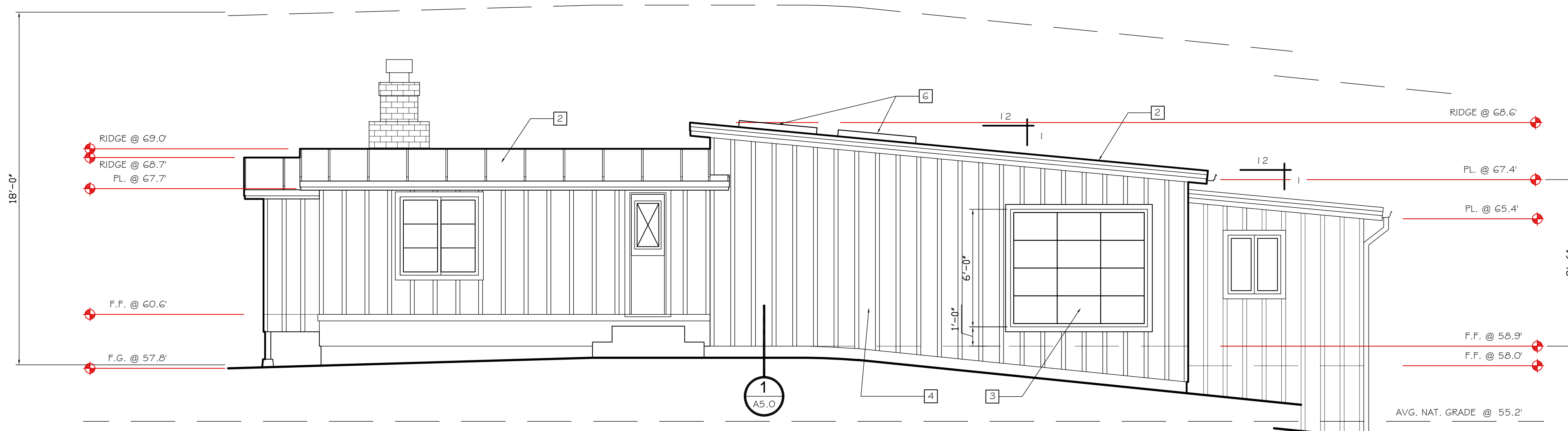
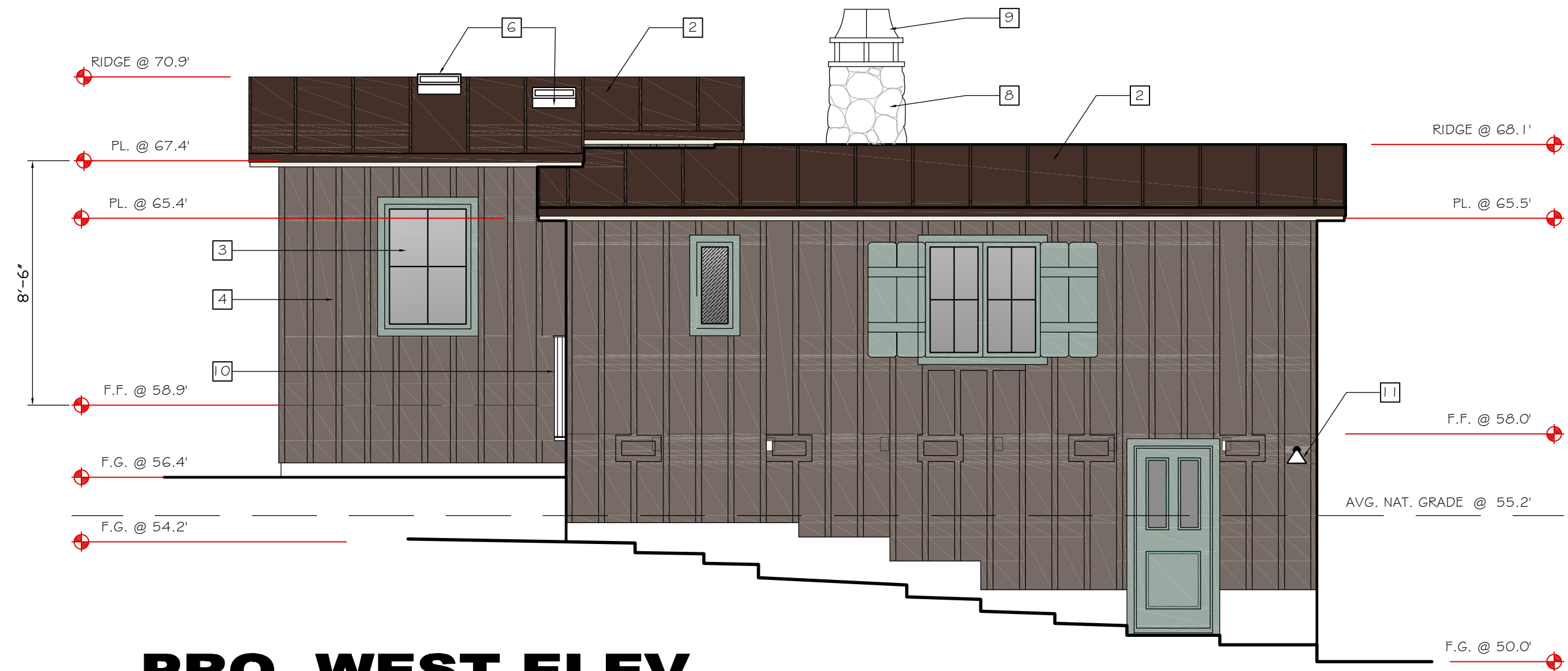
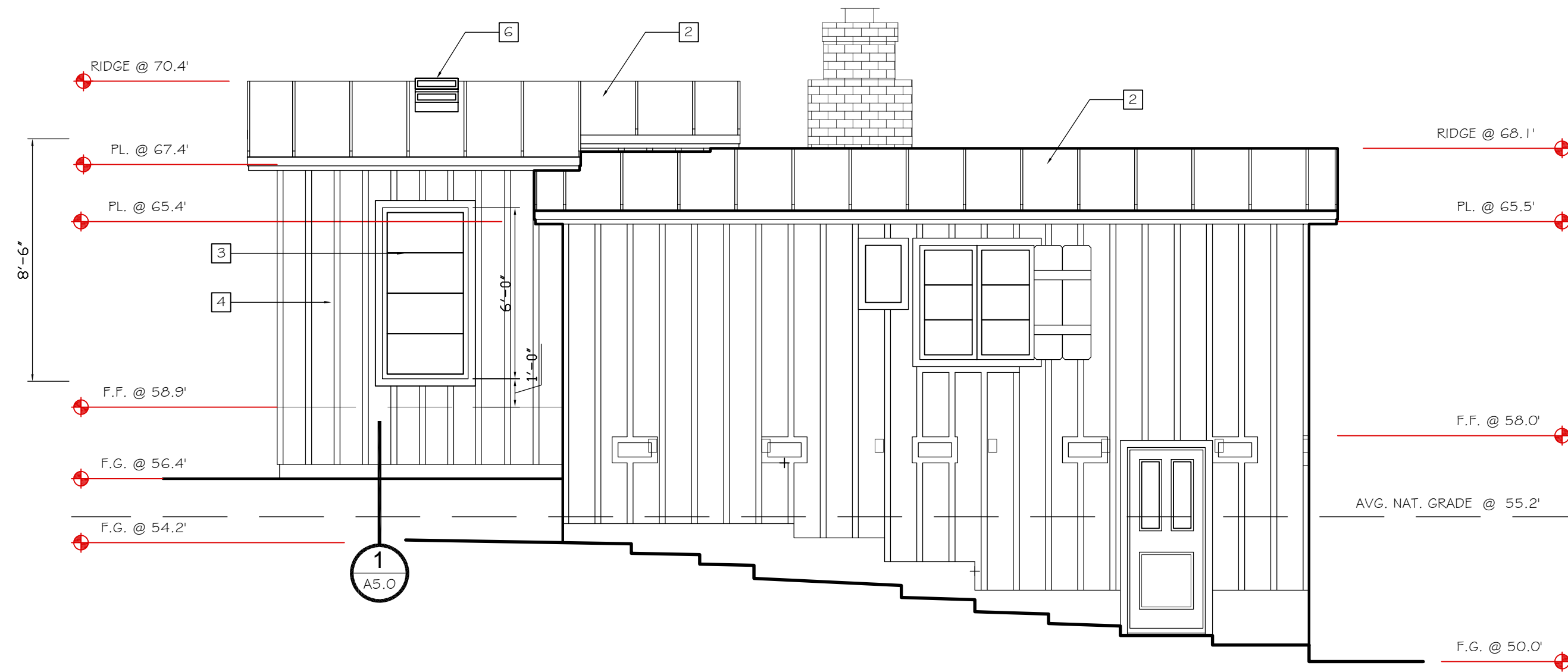
PROJECT:
LIDGE
MAIN RESIDENCE
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HOUSE REMODEL

NW CORNER OF FOREST RD.
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APN: 010-042-008

OWNER:
BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARIOTTVILLE MD 21104

SHEET NUMBER:

Charles Mandurrago
A3.0



KEY

- 1 (E) EXISTING BOARD & BATTEN
- 2 (N) METAL ROOF
- 3 (E) WOOD FRENCH DOOR
- 4 (N) NEW BOARD & BATTEN
- 5 (N) ENTRY COVER
- 6 (N) WOOD FRENCH DOOR
- 7 (N) WOOD FRENCH DOOR
- 8 (N) WOOD FRENCH DOOR
- 9 (N) MIN. 26 GAGE "POWDER COATED BLACK" GALVANIZED METAL CHIMNEY CAP
- 10 (N) WROUGHT IRON FRENCH BALCONY "POWDER COATED BLACK"
- 11 (N) EXTERIOR LIGHT (SEE SHEET A4.0)

APPROVED

06/27/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kott, Senior Planner

MANDURRAGO
&
ASSOCIATES

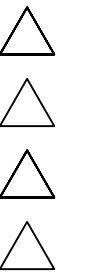


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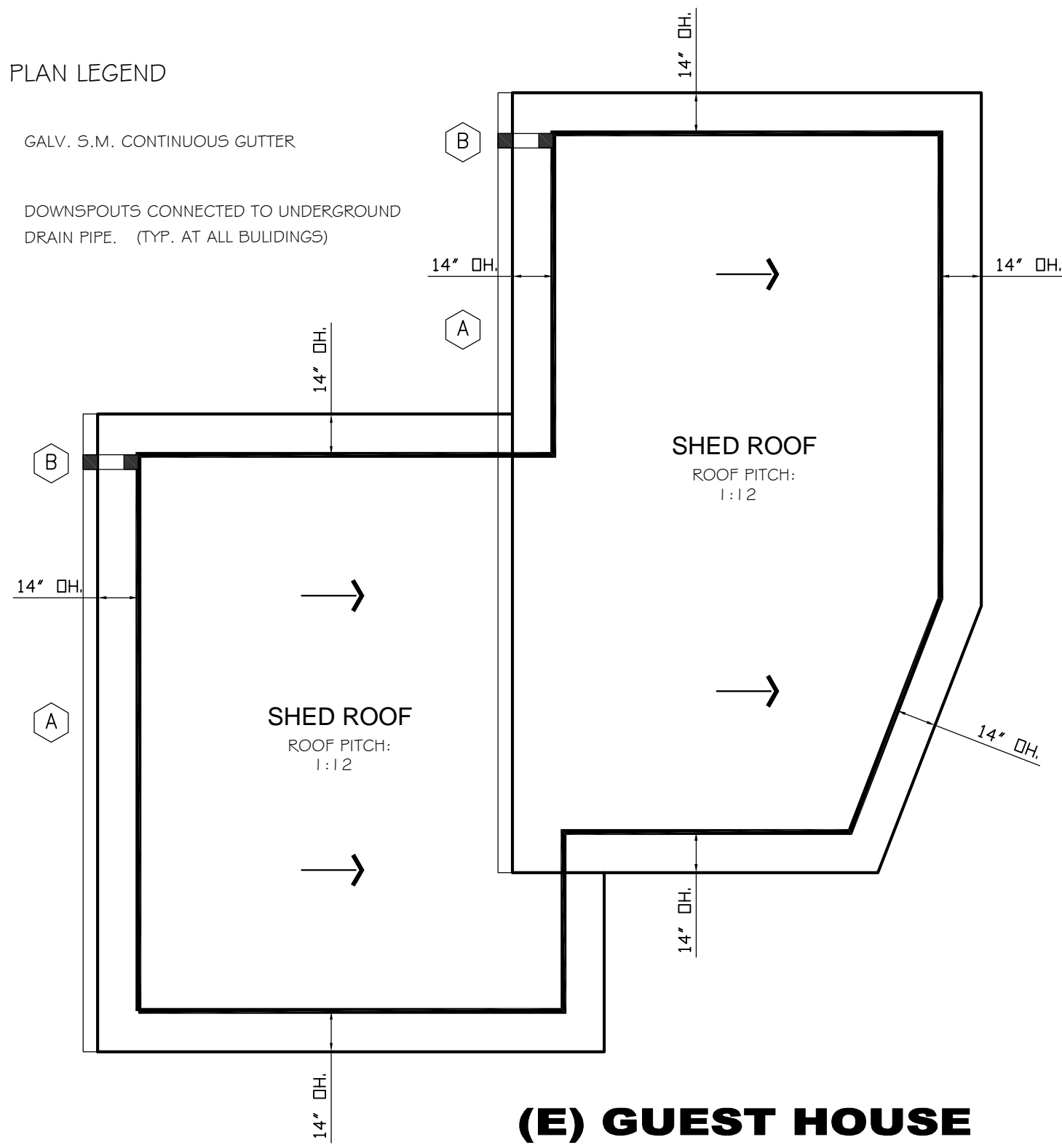
Charles Mandurrago

A3.1

DOOR - WINDOW SCHEDULE								
DOOR # WIN. #	DOOR # WIN. TYPE	MANUFACTURER	SIZE (FT/IN)		GLASS	FRAME MATERIAL	HARDWARE	FINISH
1	HINGED DOOR	EXISTING	2'-6"	6'-8"	N/A	WOOD	ENTRANCE LOCK & LATCH	PAINTED
2	FIXED WINDOW	EXISTING	6'-1"	4'-0"	N/A	WOOD	LOCK & LATCH	PAINTED
3	CASEMENT WINDOW	EXISTING	4'-0"	4'-0"	N/A	WOOD	LOCK & LATCH	PAINTED
3	SLIDING WINDOW	EXISTING	2'-2"	2'-0"	N/A	WOOD	LOCK & LATCH	PAINTED
5	CASEMENT WINDOW	EXISTING	5'-1"	4'-0"	N/A	WOOD	N/A	PAINTED
6	FIXED WINDOW	EXISTING	3'-0"	4'-0"	N/A	WOOD	LOCK & LATCH	PAINTED
6	CASEMENT WINDOW	EXISTING	3'-0"	4'-0"	N/A	WOOD	LOCK & LATCH	PAINTED
7	CASEMENT WINDOW	EXISTING	2'-2"	3'-0"	N/A	WOOD	LOCK & LATCH	PAINTED
8	HINGED DOOR	EXISTING	2'-6"	6'-8"	TEMP.	WOOD	ENTRANCE LOCK & LATCH	PAINTED
9	CASEMENT WINDOW	EXISTING	3' - 1 1/2"	3'-6"	TEMP.	WOOD	LOCK & LATCH	PAINTED
10	CASEMENT WINDOW	EXISTING	--	--	TEMP.	WOOD	LOCK & LATCH	PAINTED

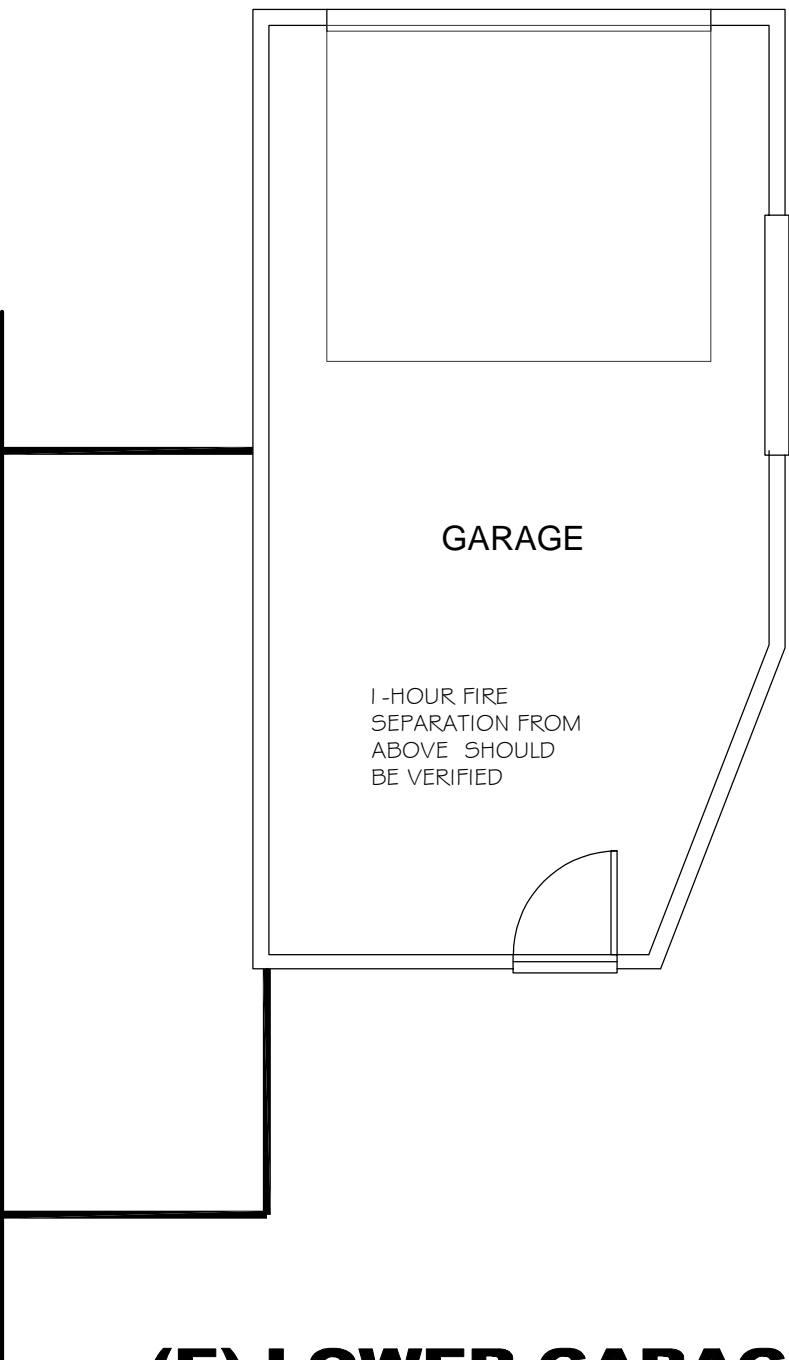
ROOF PLAN LEGEND

- A GALV. S.M. CONTINUOUS GUTTER
- B DOWNSPOUTS CONNECTED TO UNDERGROUND DRAIN PIPE. (TYP. AT ALL BUILDINGS)



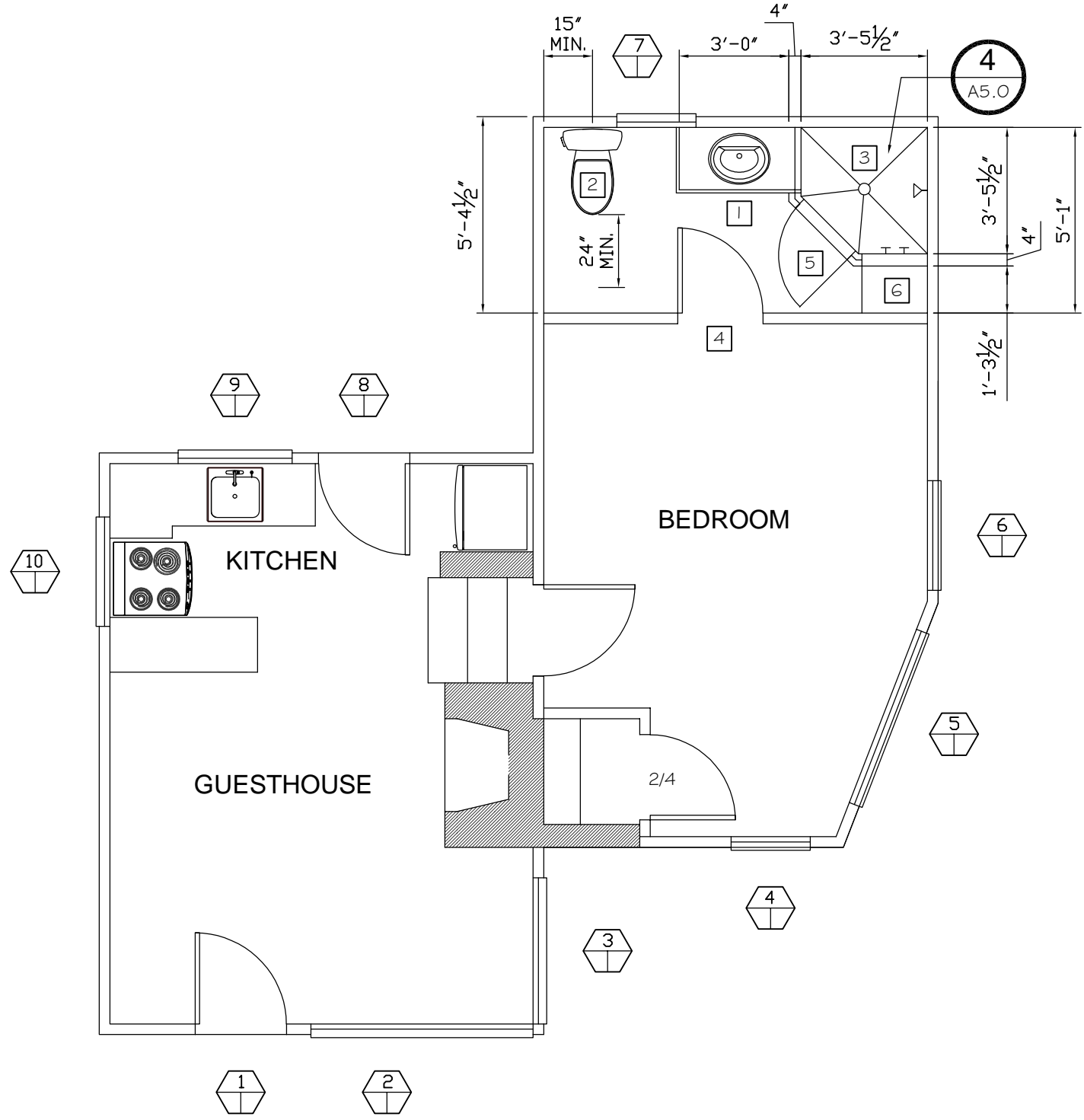
(E) GUEST HOUSE
ROOF PLAN

SCALE: 1/4" = 1'-0"



(E) LOWER GARAGE
FLOOR PLAN

SCALE: 1/4" = 1'-0"



KEY

- 1 SINK & FAUCET @ 1.2 GPM-60 PSI
- 2 1.28 GALLON TOILET
- 3 TUB OR SHOWER & HEAD @ 2.0 GPM-80 PSI
- 4 1/2 DOOR
- 5 1/2 SAFETY GL. DR.
- 6 SHELVES
- 7 NEW EXTERIOR LIGHT

EXISTING GUEST
HOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"

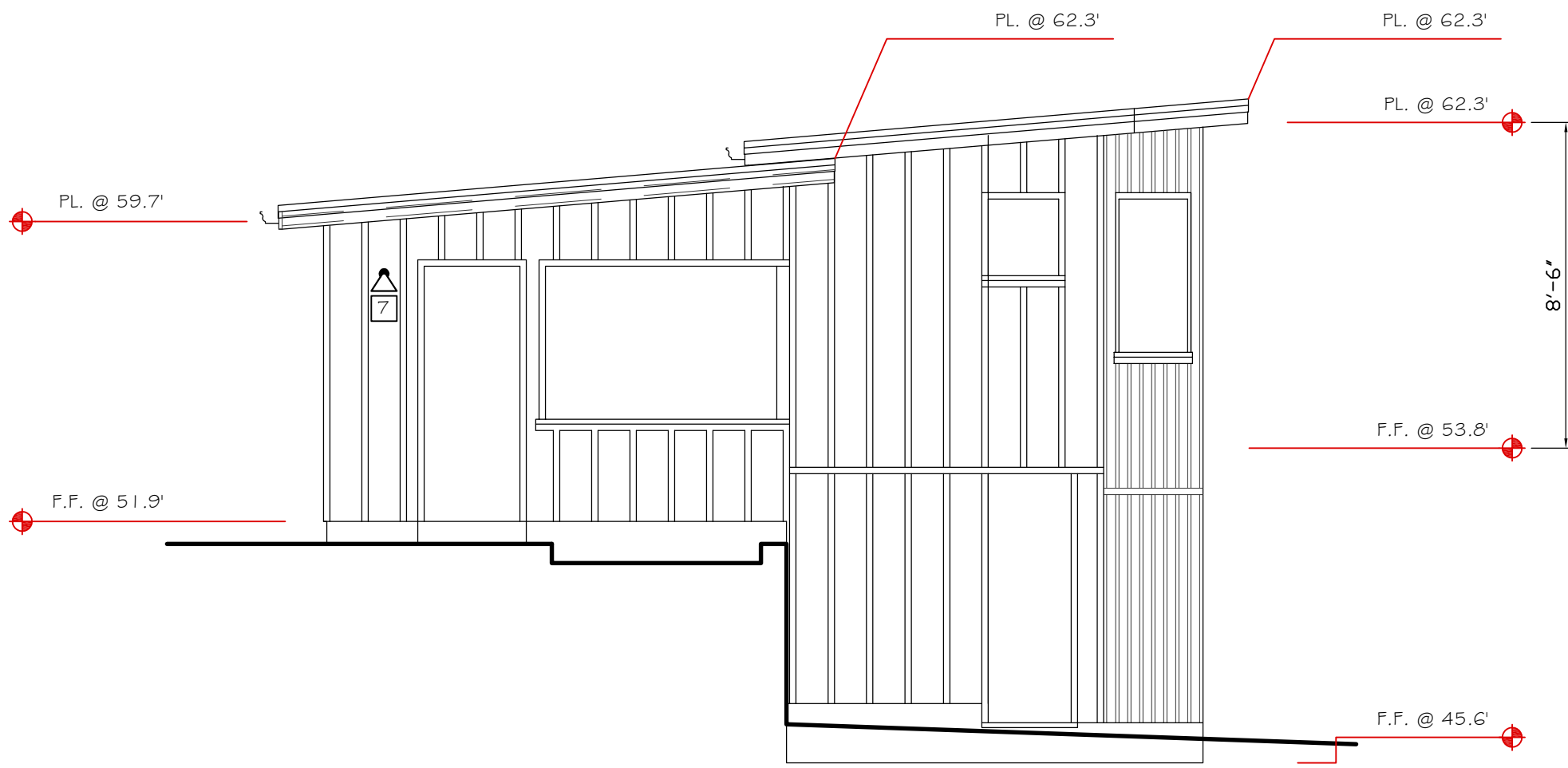


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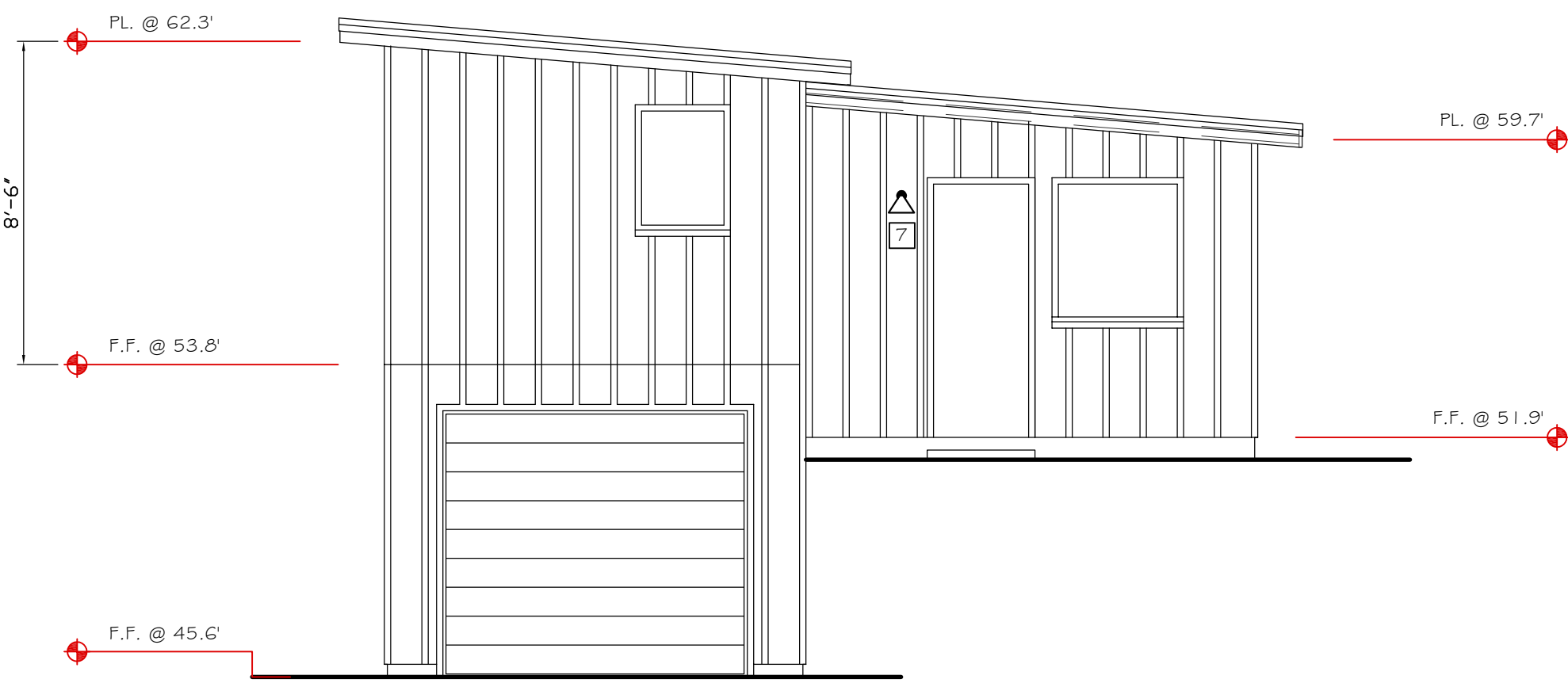
06/27/2025

COMMUNITY PLANNING & BUILDING

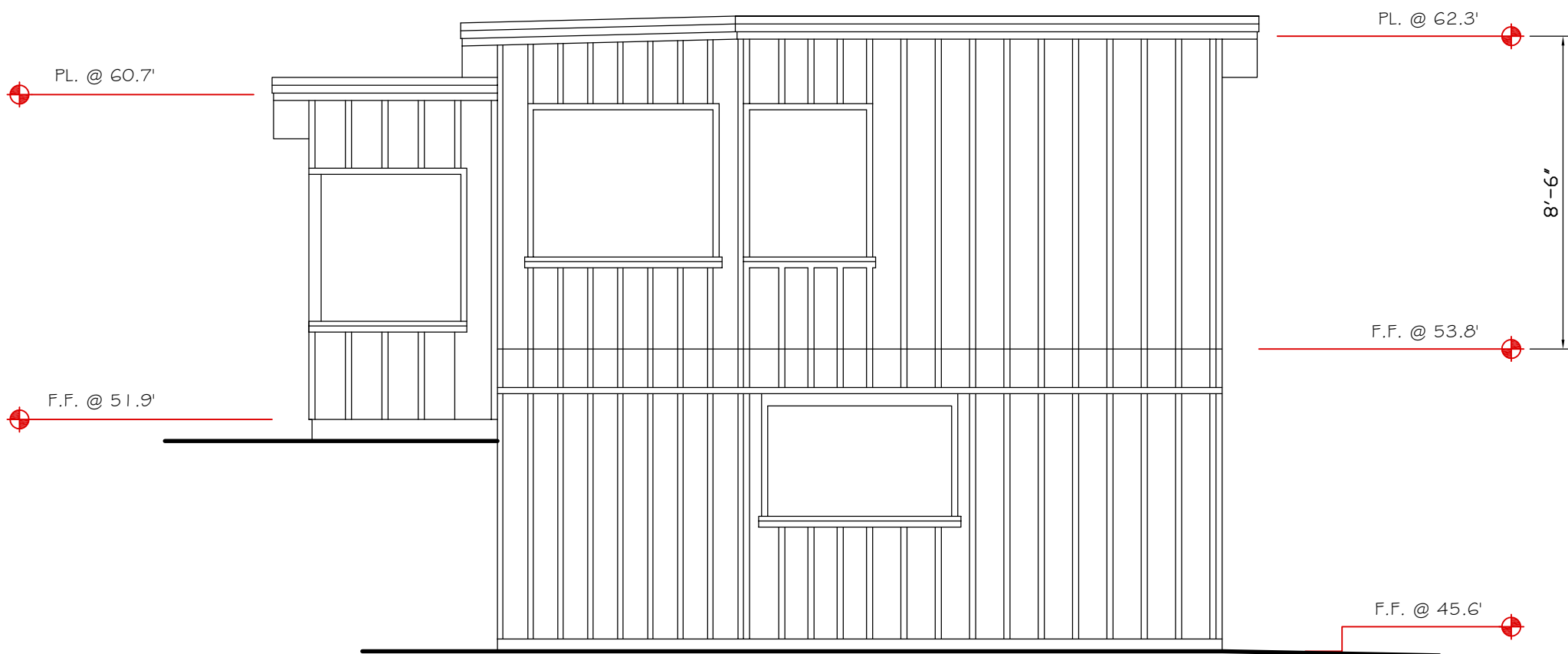
Approved by: Evan Kort, Senior Planner



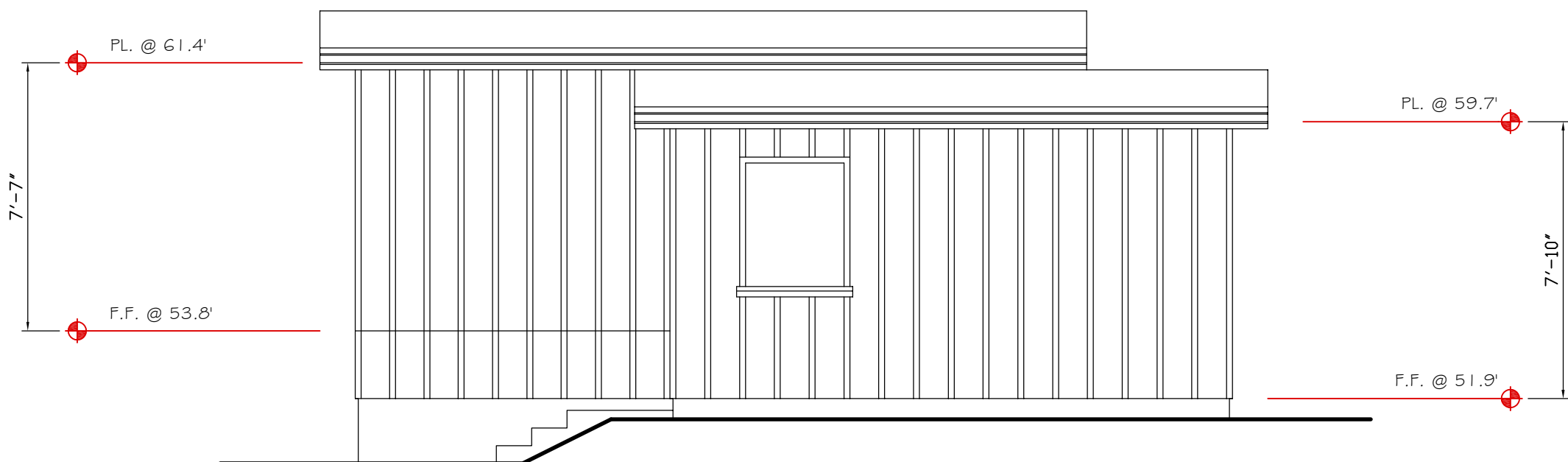
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

MANDURRAGO
&
ASSOCIATES



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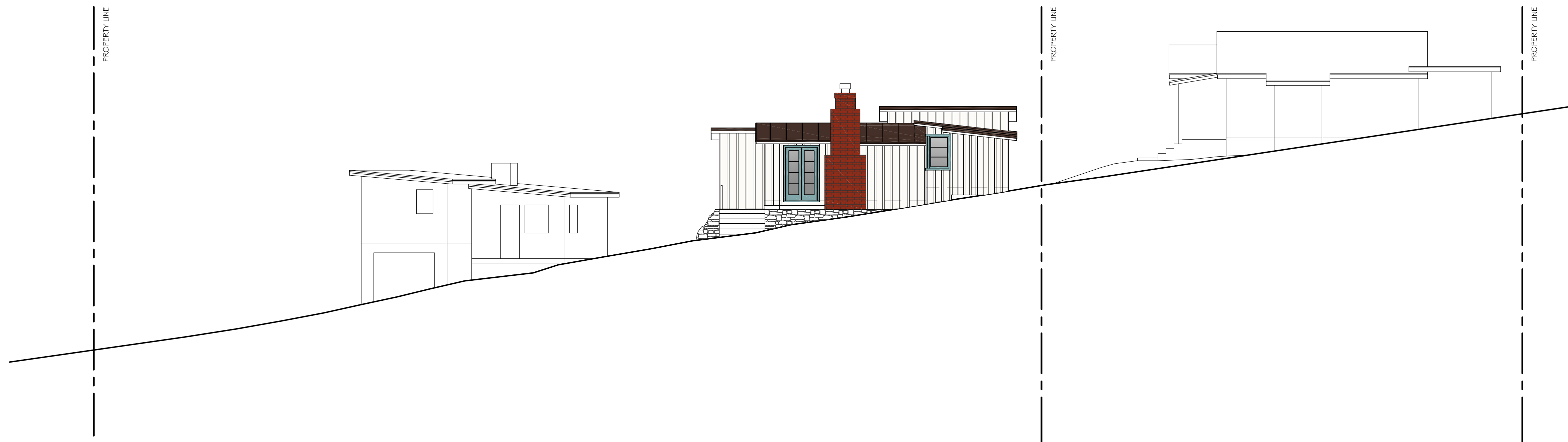
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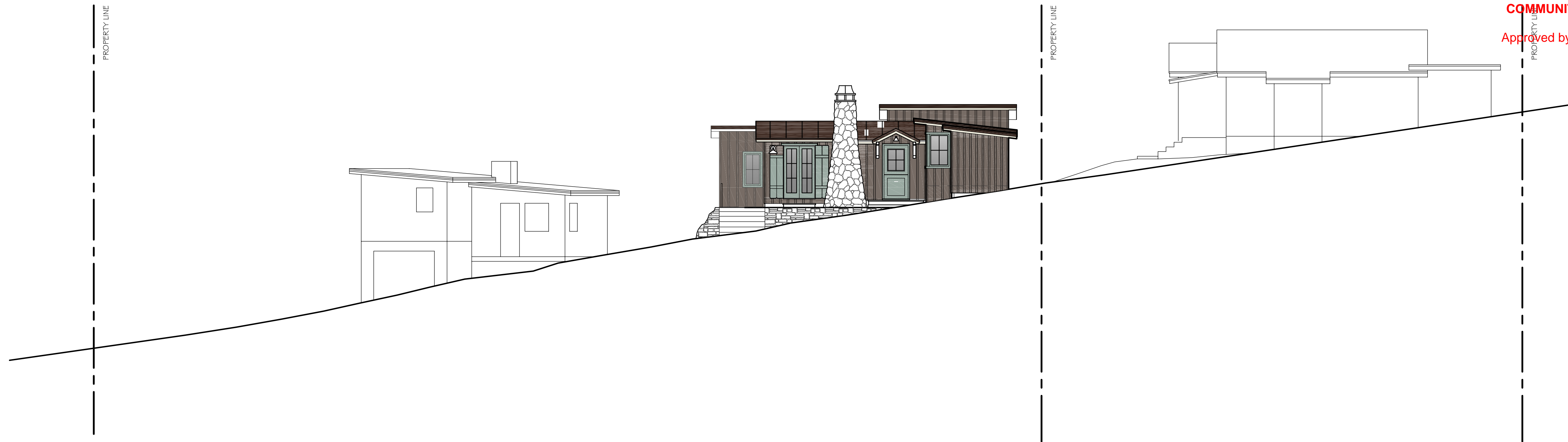
Charles Mandurrago

A3.2



EXISTING FOREST ROAD STREETScape

SCALE: 1/8" = 1'-0"
0 2' 4' 8' 12'



PROPOSED FOREST ROAD STREETScape

SCALE: 1/8" = 1'-0"
0 2' 4' 8' 12'

APPROVED
06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kort, Senior Planner

*MANDURRAGO
&
ASSOCIATES*



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DRAWN BY: MANDURRAGO
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REVISIONS:



PROJECT:
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HOUSE REMODEL**

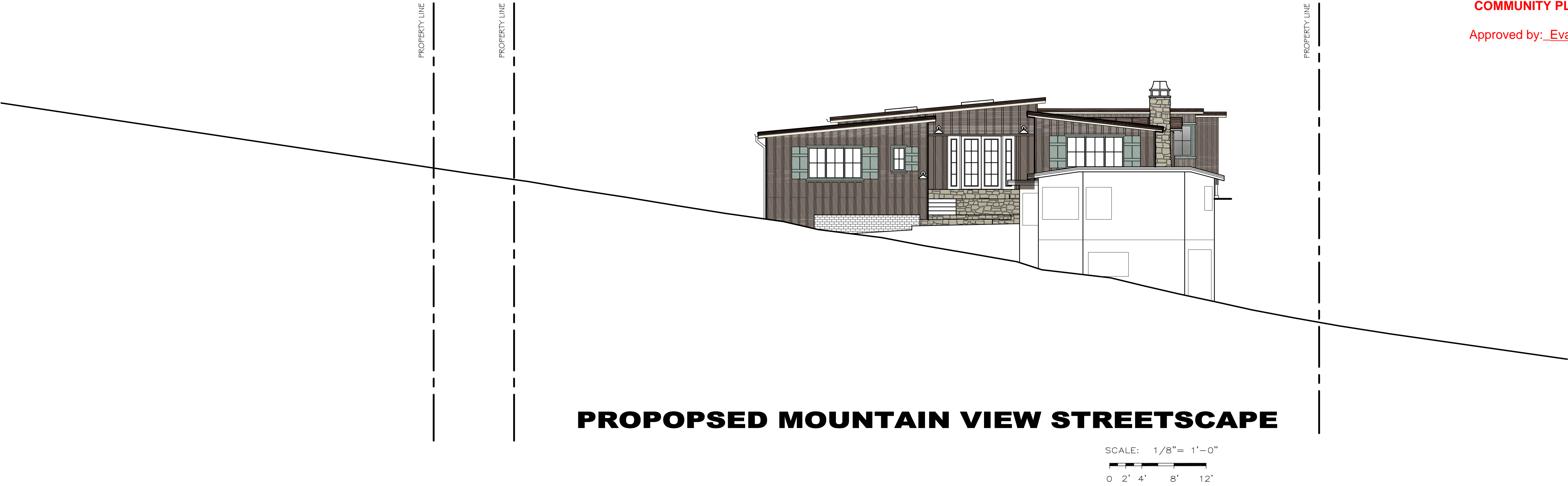
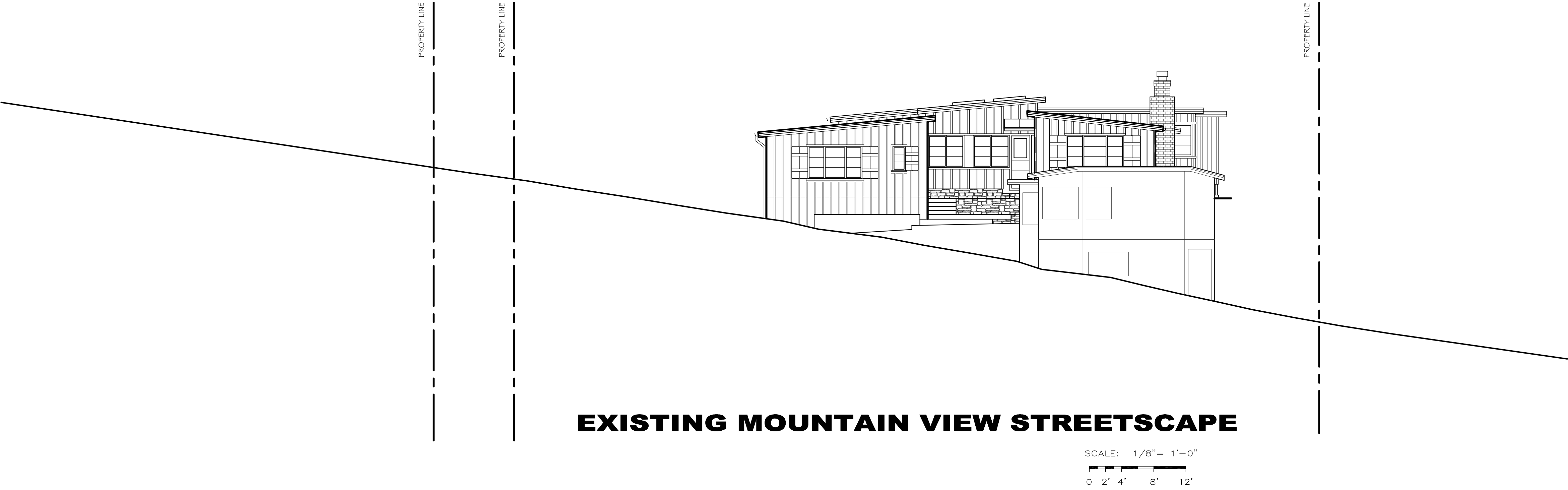
NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:
**BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARRIOTTVILLE MD 21104**

SHEET NUMBER:

Charles Mandurrago

A3.3



APPROVED

06/27/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kort, Senior Planner

MANDURRAGO
&
ASSOCIATES



P.O. BOX 1504 CARMEL, CA 93921
PHONE: 831 595-0709
EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

DRAWING DATE: 5-22-25

REVISIONS:



PROJECT:
LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL

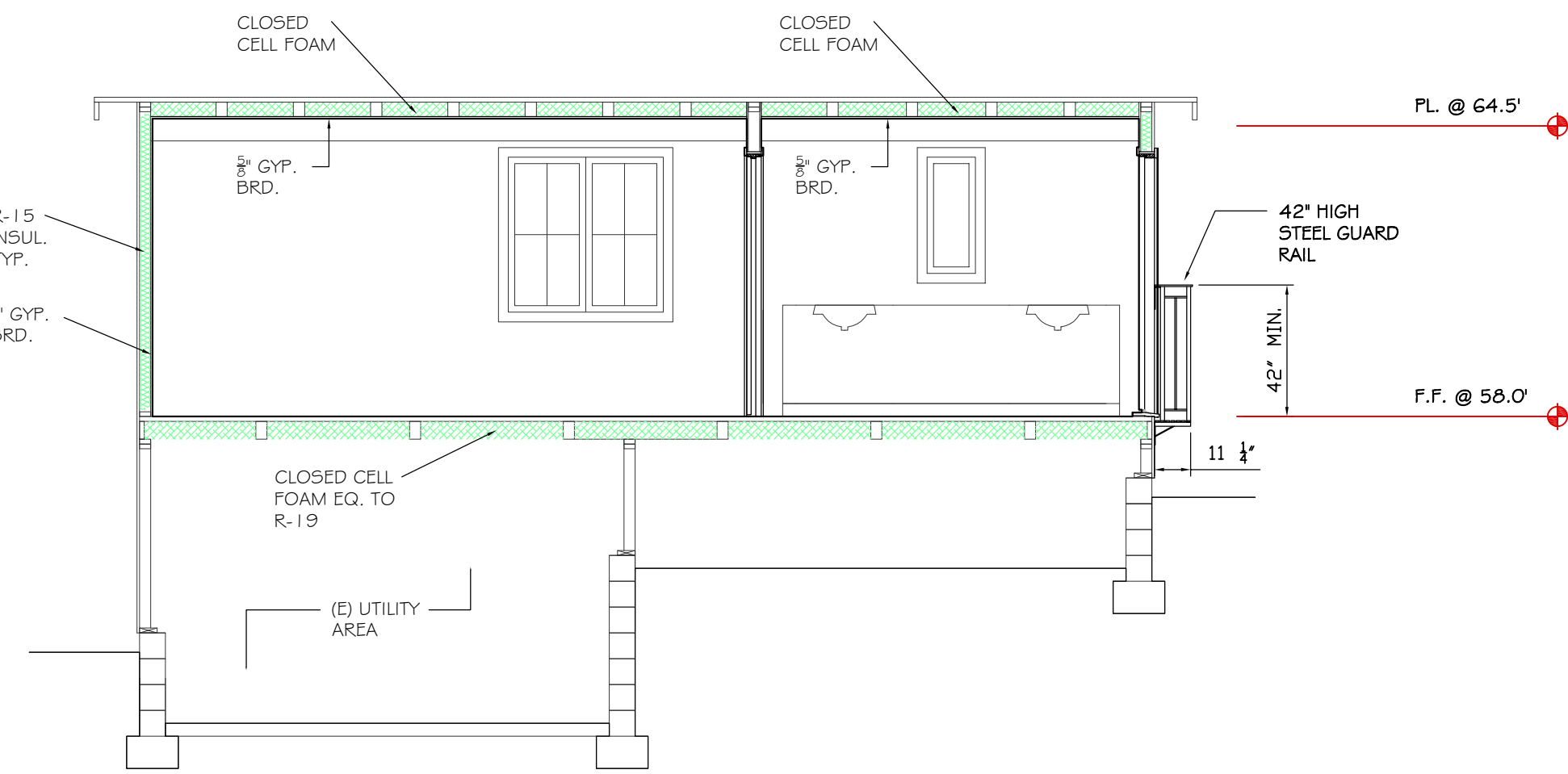
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2205 WARWICK WAY #200
MARRIOTTVILLE MD 21104

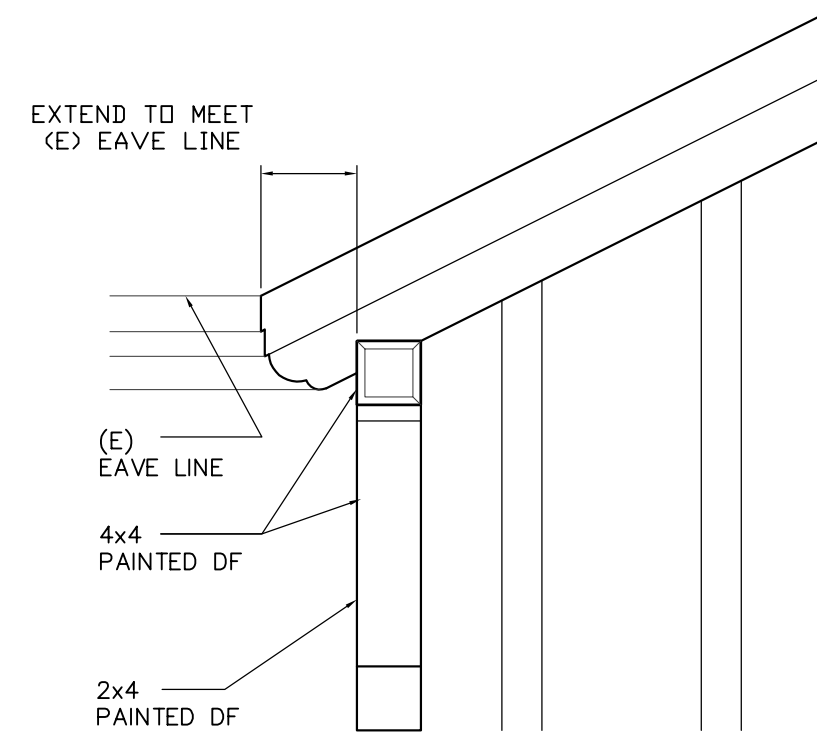
SHEET NUMBER:

Charles Mandurrago

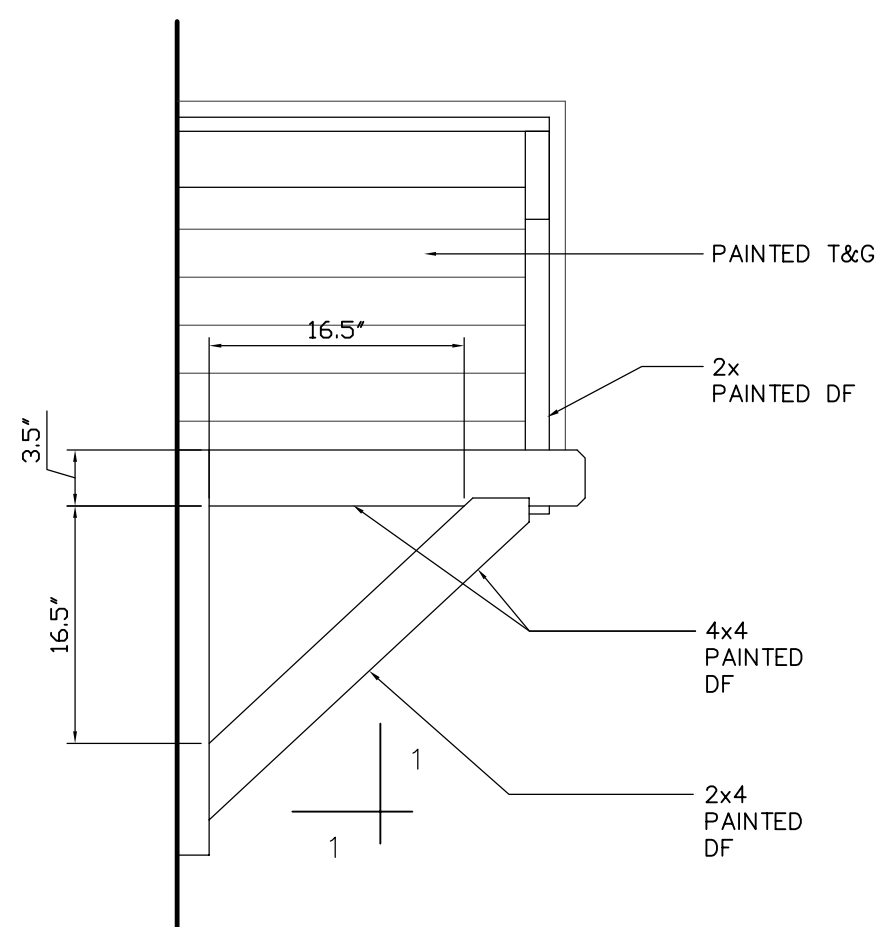
A3.4



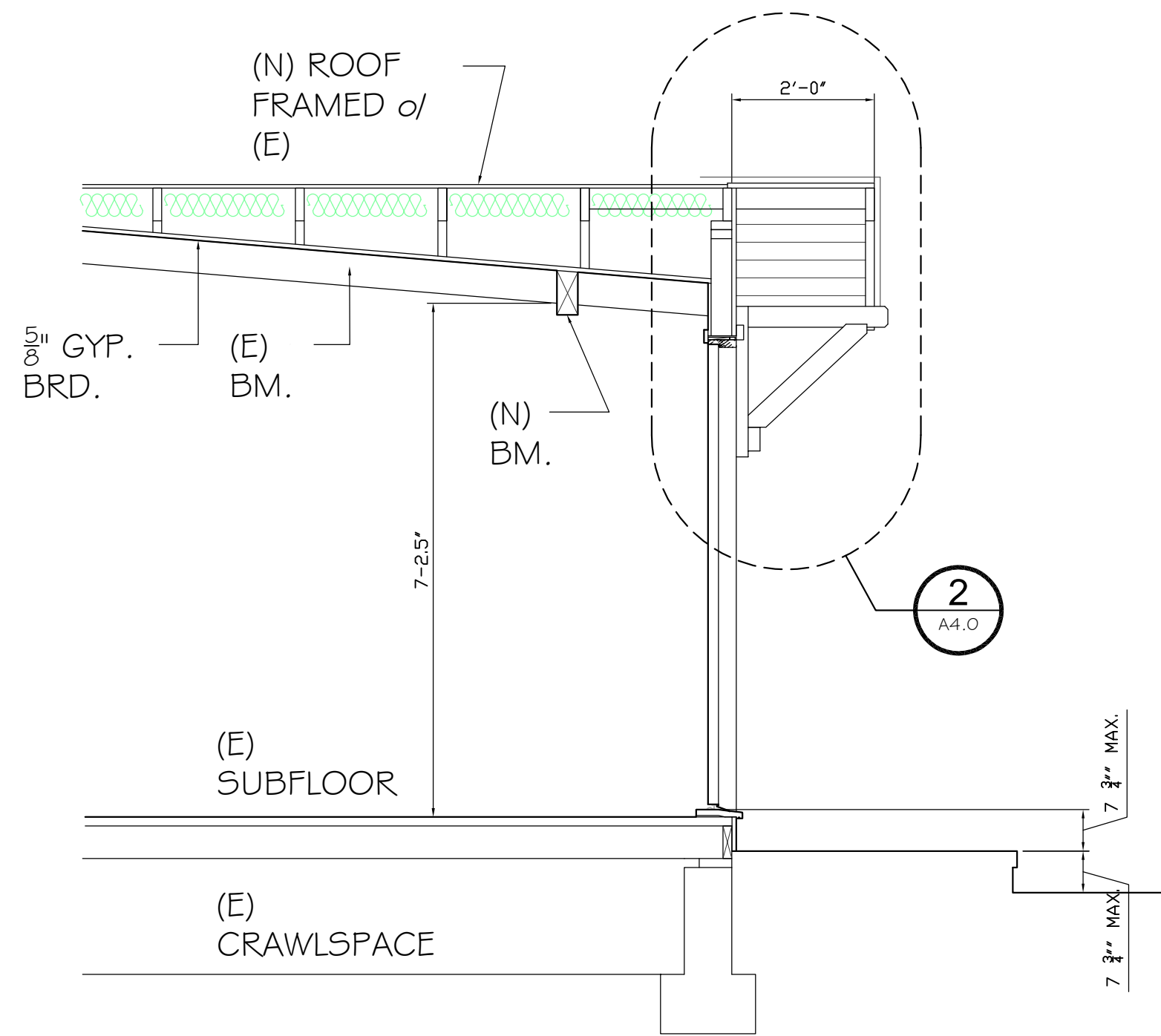
SECTION "D"
SCALE: 1/4" = 1'-0"



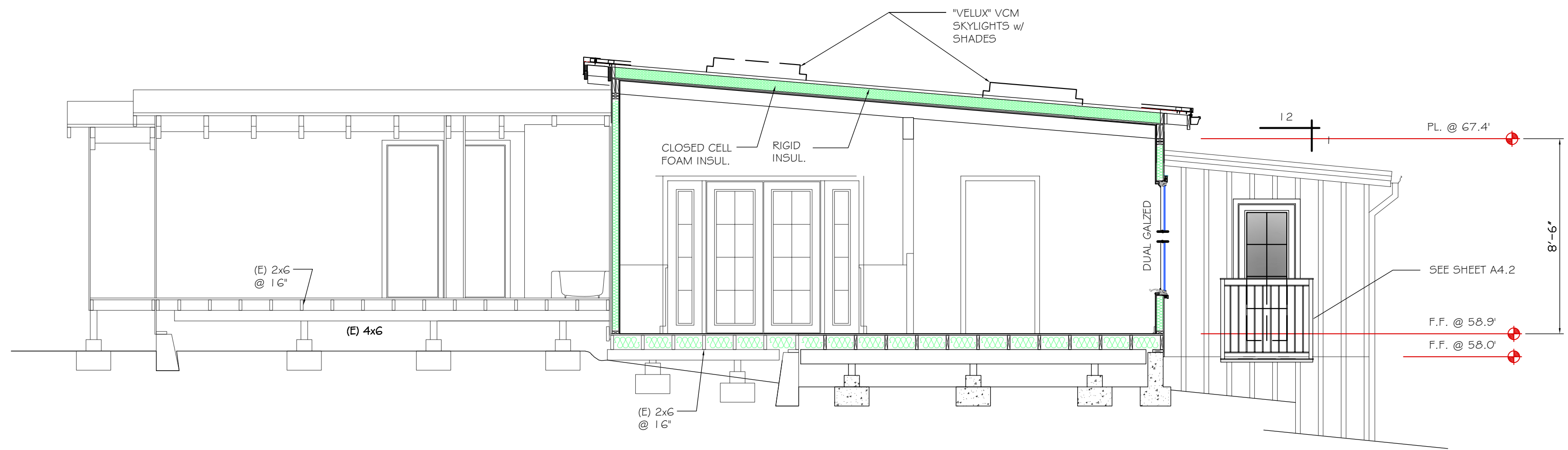
1
A4.0
EAVE DETAIL
SCALE: N.T.S.



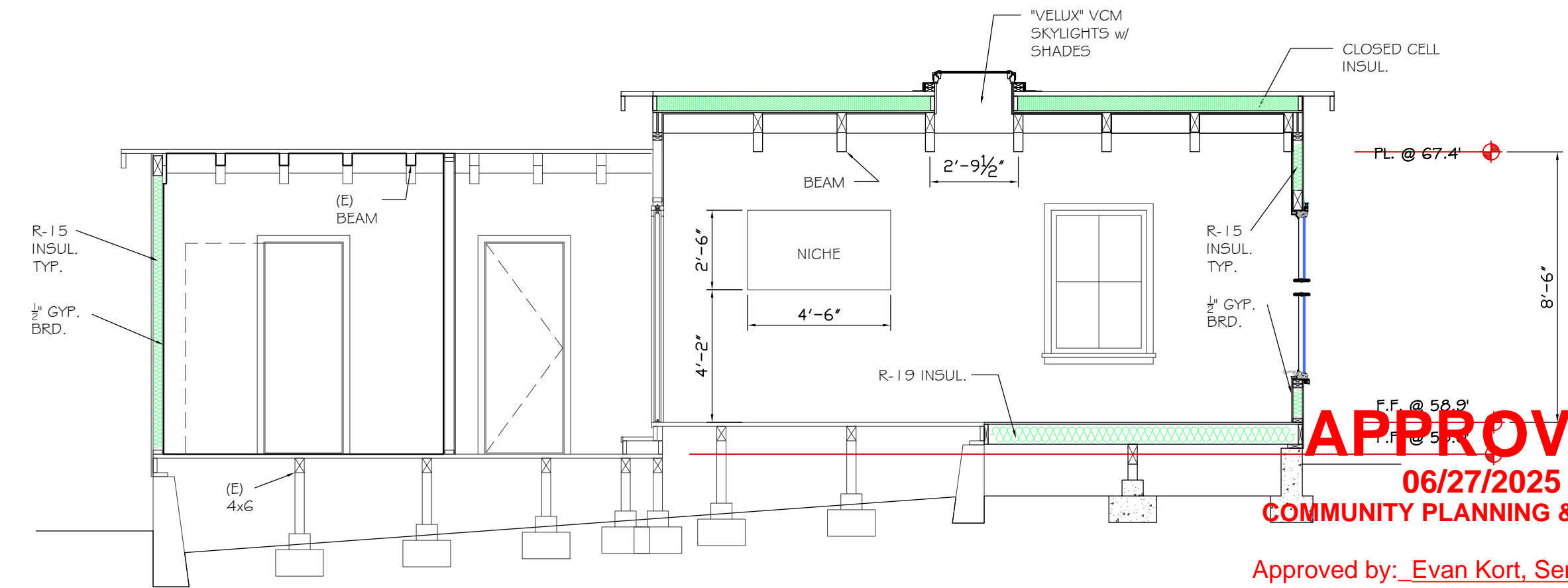
2
A4.0
BRACKET DETAIL
SCALE: N.T.S.



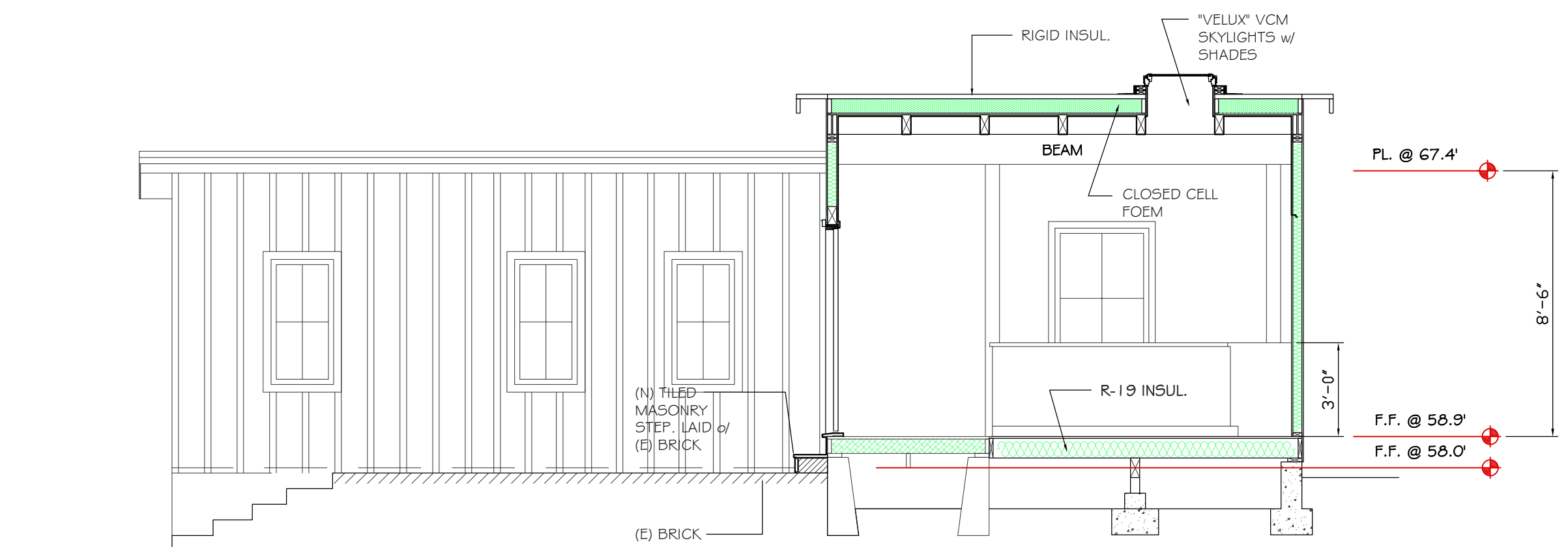
SECTION "E"
SCALE: 1/2" = 1'-0"



SECTION "A"
SCALE: 1/4" = 1'-0"



SECTION "B"
SCALE: 1/4" = 1'-0"



SECTION "C"
SCALE: 1/4" = 1'-0"

**MANDURRAGO
&
ASSOCIATES**



P.O. BOX 1504 CARMEL, CA 93921
PHONE: 831.935-0709
EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

DRAWING DATE: 5-22-25

REVISIONS:



PROJECT:
**LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL**

NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:
**BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARRIOTTSTVILLE MD 21104**

SHEET NUMBER:

Charles Mandurrago

A4.0



DETAILS YOU'LL APPRECIATE

- INSPIRED BY INDUSTRIAL WAREHOUSE LIGHTING FROM THE EARLY 20TH CENTURY.
- CLASSIC HOOK POST DESIGN.
- CRAFTED FROM DURABLE LIGHTWEIGHT ALUMINUM.
- MADE TO ORDER BY SKILLED CRAFTSPEOPLE AT OUR PORTLAND, OREGON FACTORY.

PRODUCT SPECIFICATIONS

- LIGHTWEIGHT ALUMINUM FIXTURE WITH YOUR CHOICE OF SPUN ALUMINUM OR SPUN COPPER SHADE.
- COPPER SHADES FEATURE A LIVING FINISH, THAT WITH EXPOSURE TO AIR AND WATER WILL DEVELOP A BEAUTIFUL PATINA OVER TIME—EVENTUALLY TRANSFORMING INTO A BEAUTIFUL GREENISH HUE.
- HARDWIRED; PROFESSIONAL INSTALLATION RECOMMENDED.
- CONFORMS TO UL STANDARDS—THIS PRODUCT IS RATED FOR USE IN WET ENVIRONMENTS.
- ASSEMBLED IN THE USA OF DOMESTIC AND IMPORTED PARTS.
- MOUNTING SCREWS NOT INCLUDED.

CARE INSTRUCTIONS

- WIPE CLEAN WITH A SOFT, DRY CLOTH OR STATIC DUSTER.
- ALWAYS AVOID THE USE OF HARSH CHEMICALS OR ABRASIVE CLEANERS AS THEY MAY CAUSE DAMAGE TO THE FIXTURE'S FINISH.

LIGHT "A"

25 WATT MAX.
375 LUMENS



DETAILS YOU'LL APPRECIATE

- INSPIRED BY SWEDISH LIGHTING DESIGNS.
- CONICAL SHADE PROVIDES DIRECTIONAL LIGHT.

PRODUCT SPECIFICATIONS

- STEEL FIXTURE.
- CONFORMS TO UL STANDARDS—THIS PRODUCT IS RATED FOR USE IN WET ENVIRONMENTS.
- HARDWIRED; PROFESSIONAL INSTALLATION RECOMMENDED.

CARE INSTRUCTIONS

- WIPE CLEAN WITH A SOFT, DRY CLOTH OR STATIC DUSTER.
- ALWAYS AVOID THE USE OF HARSH CHEMICALS OR ABRASIVE CLEANERS AS THEY MAY CAUSE DAMAGE TO THE FIXTURE'S FINISH.

LIGHT "B"

25 WATT MAX.
375 LUMENS

Landscape LED Path Light 12 V | 3000 K | 2 W | 160 Lumens | 80 Lumens/W > 0

15820AZT

Certifications/Qualifications

ADA CompliantNo

Prop65No

Dark Sky CompliantNo

Location RatingWet

kichler.com/warranty

Dimensions

Height22.5"

Weight1.5 LBS

Electrical

Input Voltage12 V

Light Source

Light SourceIntegrated LED

Lamp IncludedIntegrated

Of Bulbs/LED Modules3

Max Or Nominal Watt2 W

Max Wattage/Range2

DimmableNo

Photometrics

Color Rendering Index80

Color Temperature Range3000 K

Delivered Lumens160

Delivered Efficacy (Lumens/Watt)80

Mounting/Installation

Interior/ExteriorExterior Product

Mounting StyleGROUND STAKE

Mountable On Wall Or CeilingNo

Mounting Weight1.5 LBS

ModularNo

Lead Wire Length30

Wire ConnectorsWire Nuts

Fixture Attributes

Housing/GlassAluminum

Primary MaterialNo

Shade Dimensions6.3 DIA X 2.5H

Product/Ordering Information

Sku15820AZT

FinishTextured Architectural Bronze

UPC783927388610

Finishes

Black Textured

Black Textured

Centennial Brass

Centennial Brass

Copper

Textured Architectural Bronze

Textured Architectural Bronze

ALSO IN THIS FAMILY

15764BKT30R

15773AZT27R

15773AZT30R

15774AZT30R

15800BKT27R

15800BKT30R

Kichler.com

KICHLER.

1

LIGHT "C"

25 WATT MAX.
375 LUMENS

APPROVED
06/27/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kort, Senior Planner

"D" BALCONY EXAMPLE

WROUGHT IRON (POPWDER
COATED BLACK)

LIDGE MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL

A.P.N. 010-042-008
N/W CORNER OF FOREST & MOUNTAIN VIEW
CARMEL, CA.

SW 6213
Halcyon Green

SW 7014
Eider White

TRIM

BODY

MANDURRAGO
&
ASSOCIATES

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EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO
DRAWING DATE: 5-22-25

REVISIONS:

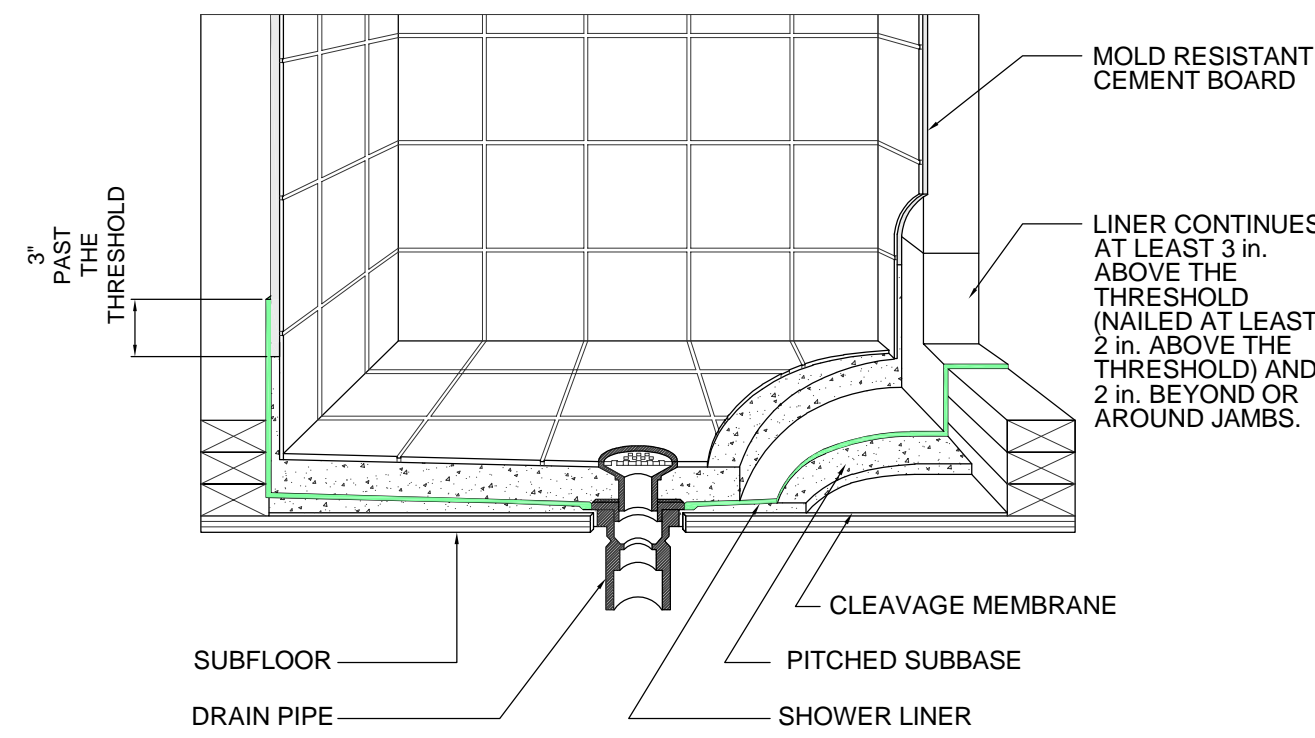
△
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PROJECT:
LIDGE
MAIN RESIDENCE
ADDITION & GUEST
HOUSE REMODEL

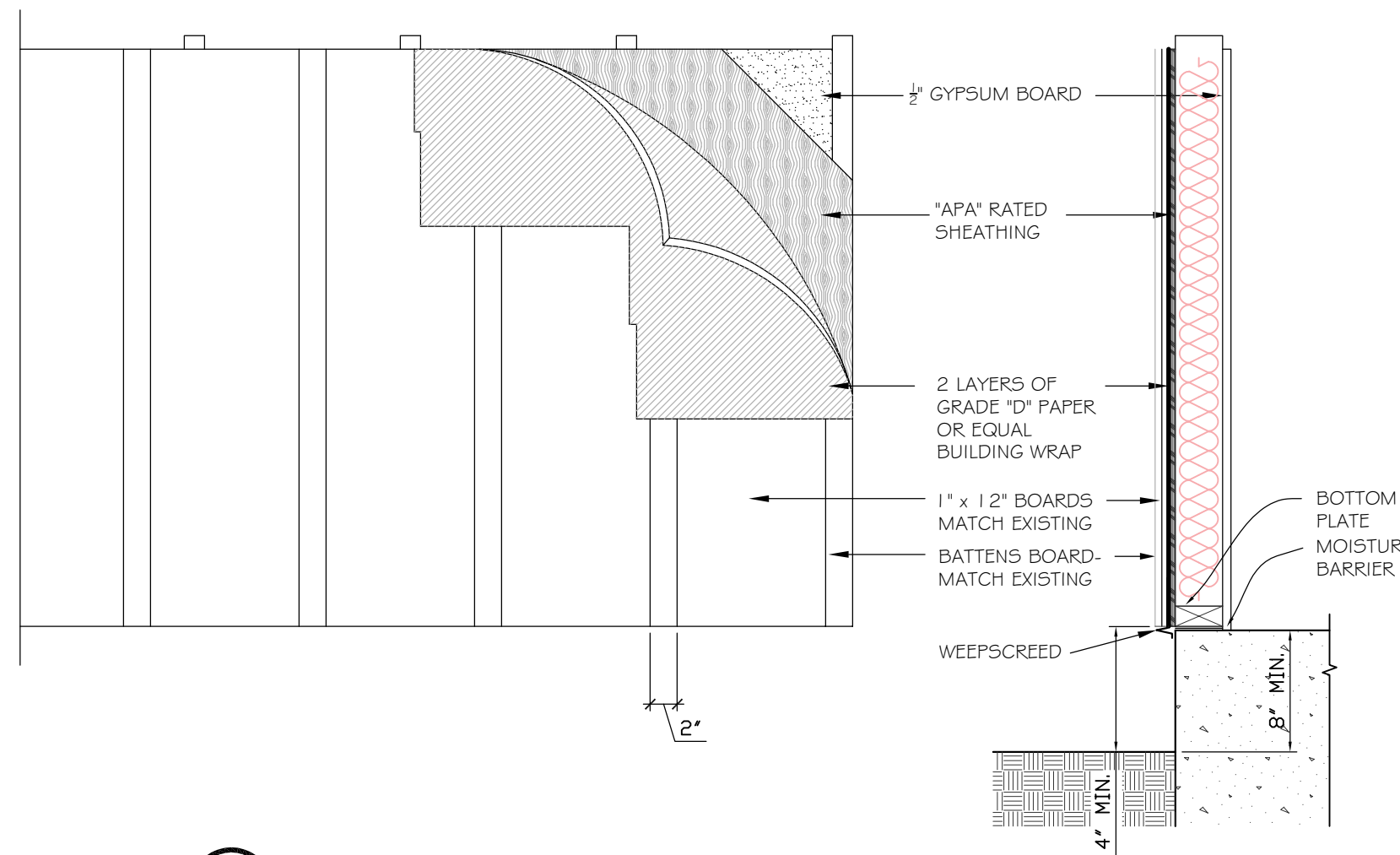
NW CORNER OF FOREST RD.
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APN: 010-042-008

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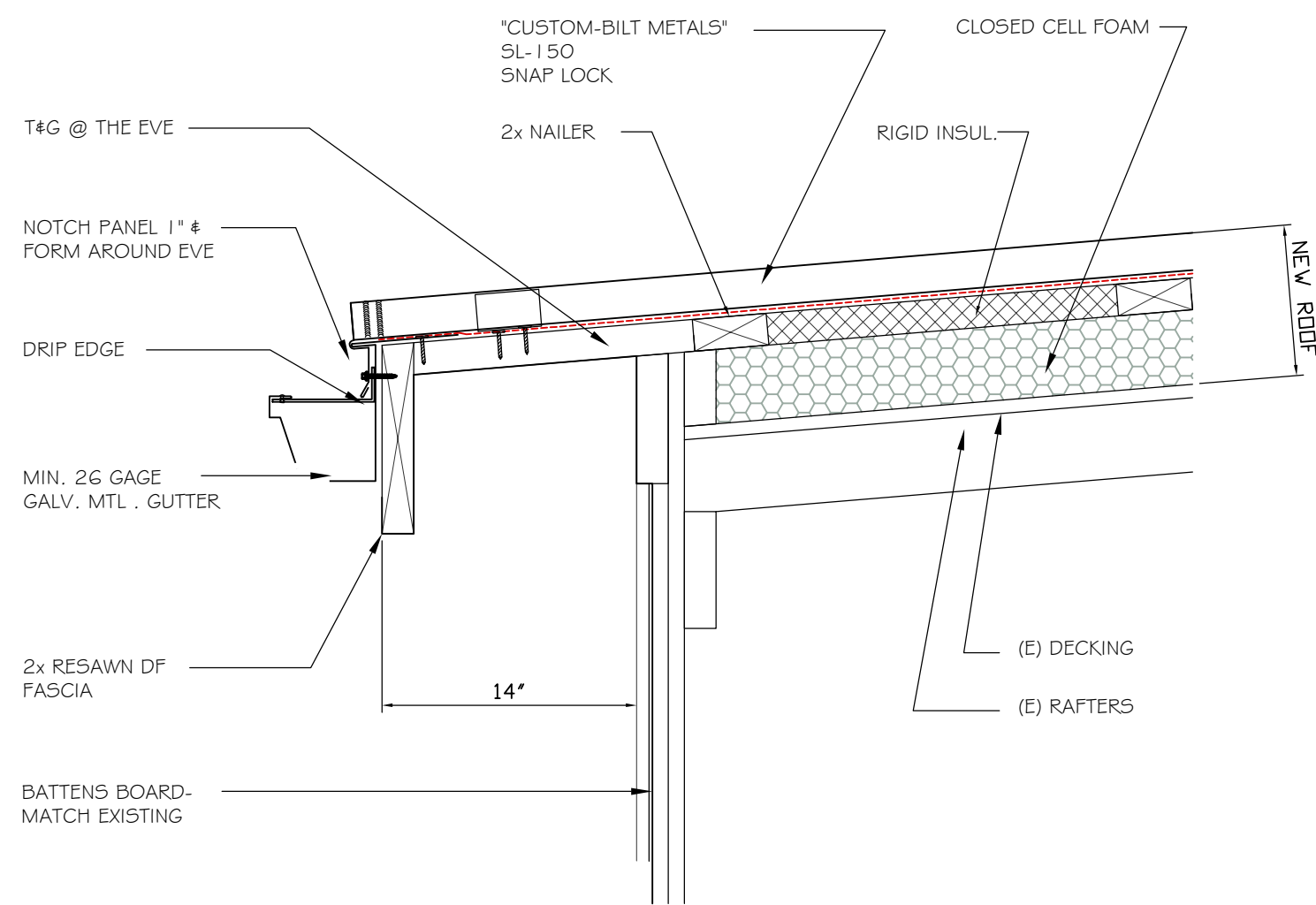
SHEET NUMBER:
Charles Mandurrago
A4.0



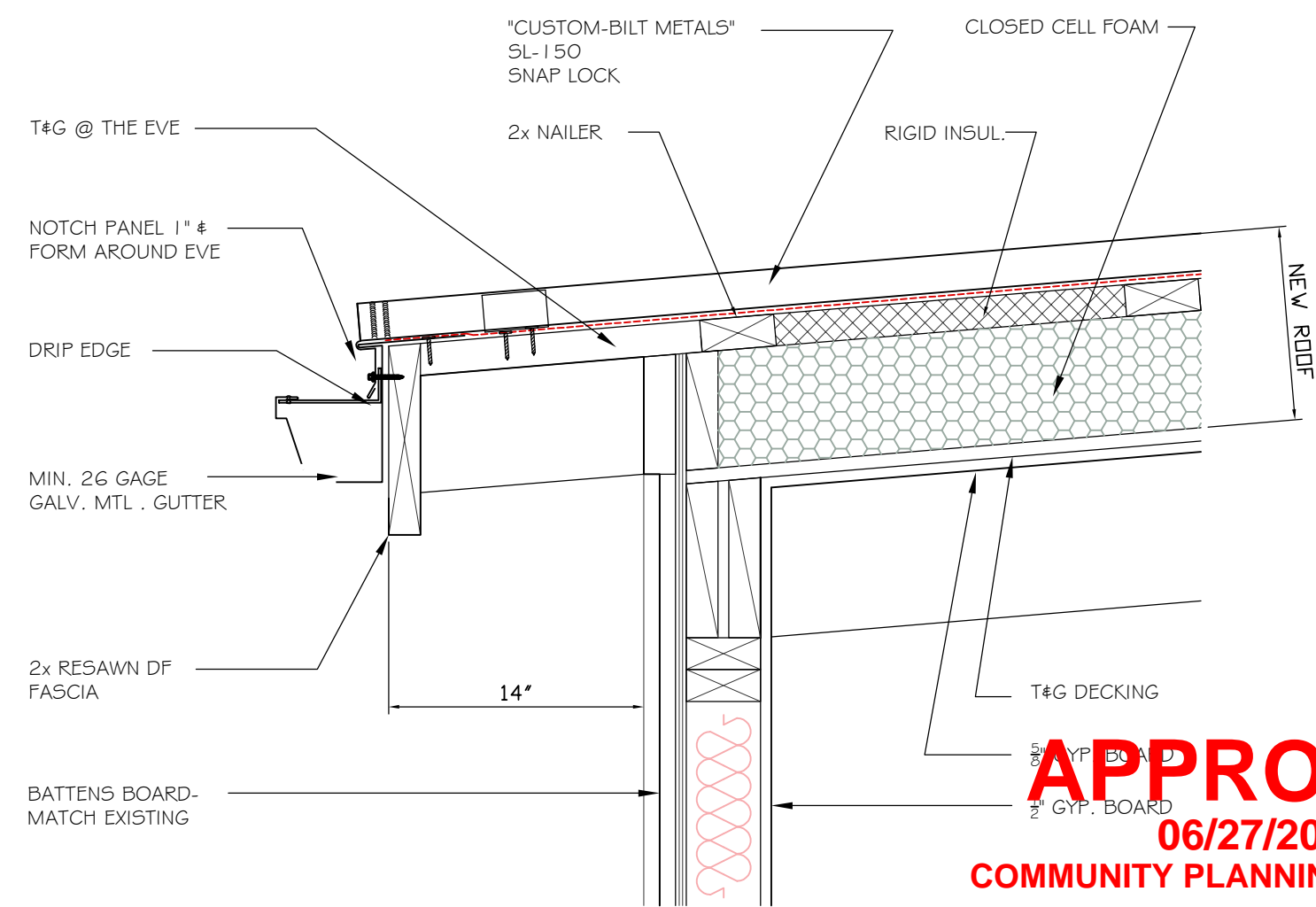
4 SHOWER PAN DETAIL
A5.0
SCALE: N.T.S.



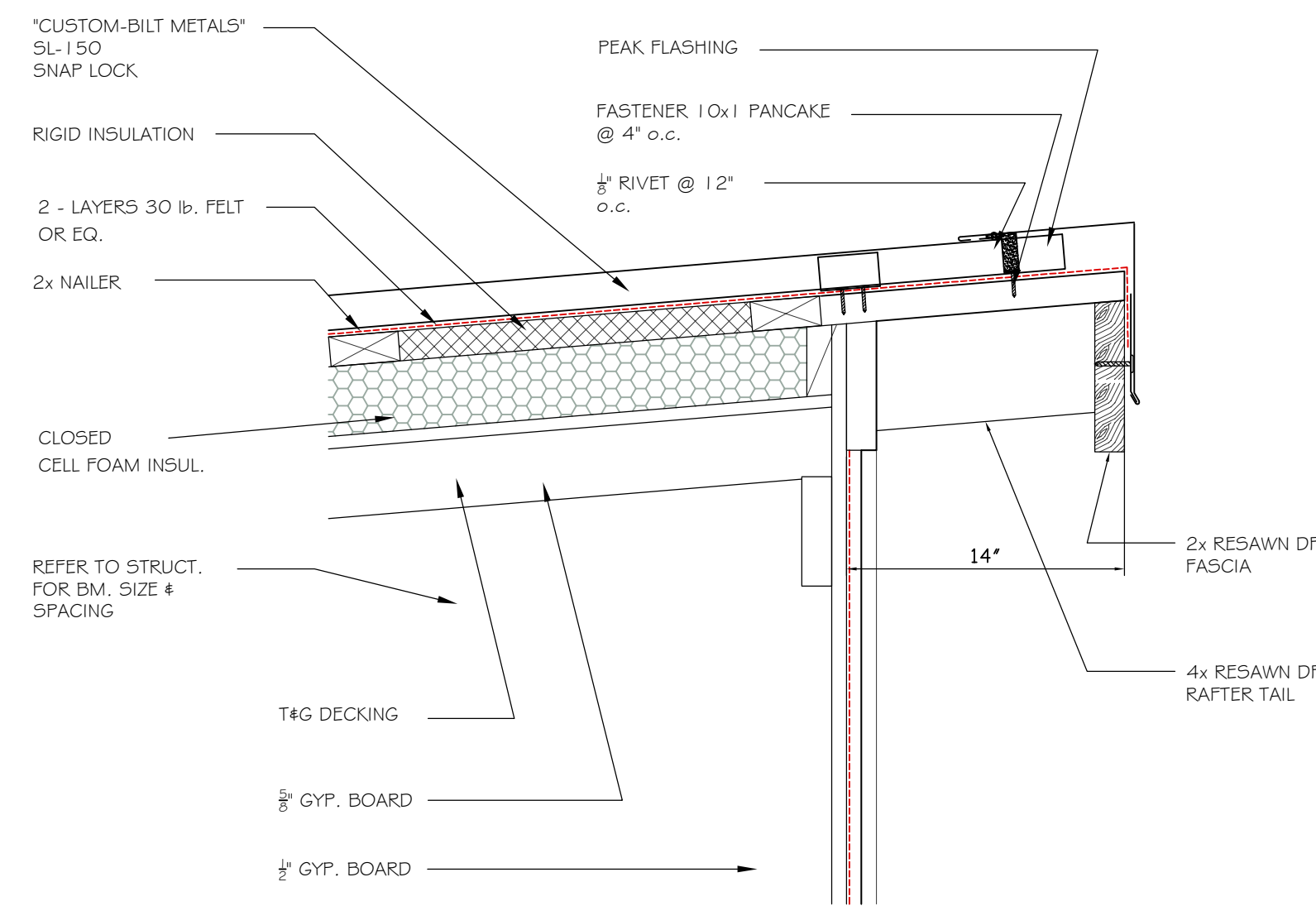
1 BATTEN BOARD DETAIL
A5.0
SCALE: N.T.S.



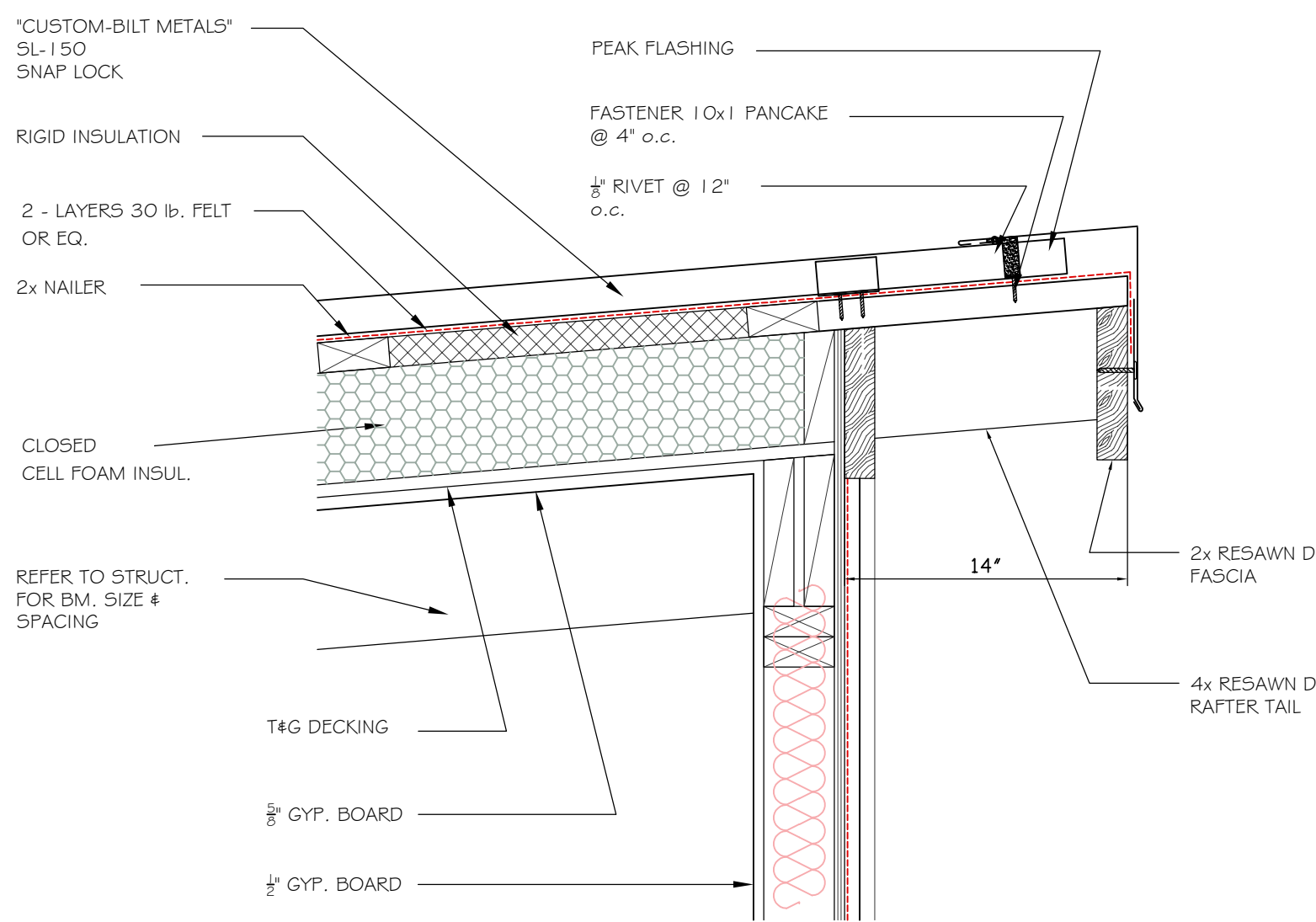
5 EAVE DETAIL
A5.0
SCALE: N.T.S.



2 EAVE DETAIL
A5.0
SCALE: N.T.S.



6 SHED PEAK DETAIL
A5.0
SCALE: N.T.S.



3 SHED PEAK DETAIL
A5.0
SCALE: N.T.S.

MANDURRAGO
&
ASSOCIATES

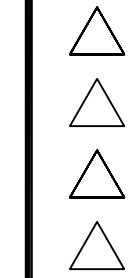


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REVISIONS:



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APN: 010-042-008

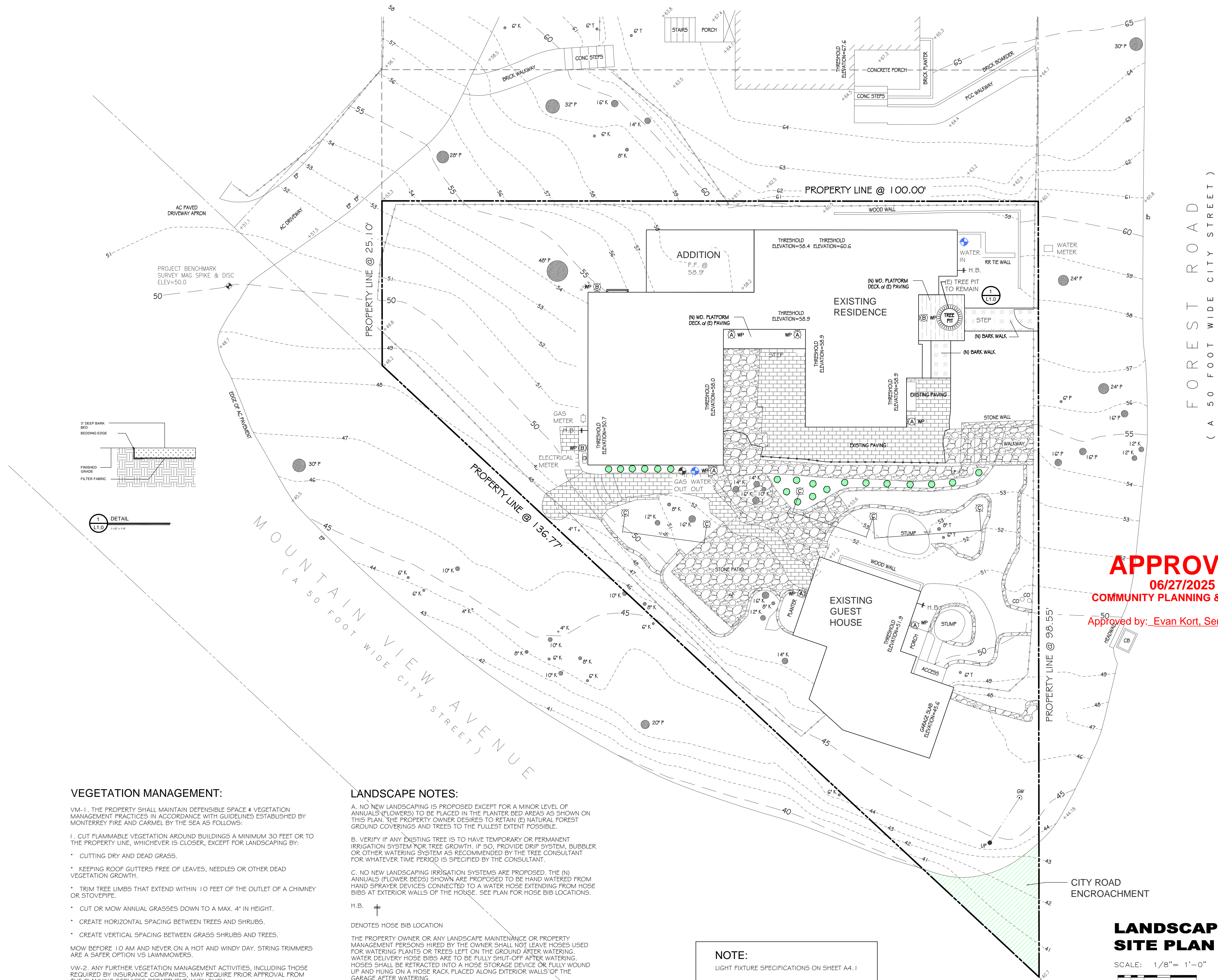
OWNER:

BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARIOTTVILLE MD 21104

SHEET NUMBER:

Charles Mandurrago

A5.0



VEGETATION MANAGEMENT:

VM-1. THE PROPERTY SHALL MAINTAIN DEFENSIBLE SPACE & VEGETATION MANAGEMENT PRACTICES IN ACCORDANCE WITH GUIDELINES ESTABLISHED BY MONTEREY FIRE AND CARMEL BY THE SEA AS FOLLOWS:

1. CUT FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM 30 FEET OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER, EXCEPT FOR LANDSCAPING BY:
 - * CUTTING DRY AND DEAD GRASS.
 - * KEEPING ROOF GUTTERS FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATION GROWTH.
 - * TRIM TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE.
 - * CUT OR MOW ANNUAL GRASSES DOWN TO A MAX. 4" IN HEIGHT.
 - * CREATE HORIZONTAL SPACING BETWEEN TREES AND SHRUBS.
 - * CREATE VERTICAL SPACING BETWEEN GRASS SHRUBS AND TREES.

MOW BEFORE 10 AM AND NEVER ON A HOT AND WINDY DAY. STRING TRIMMERS ARE A SAFER OPTION VS LAWMOWERS.

VM-2. ANY FURTHER VEGETATION MANAGEMENT ACTIVITIES, INCLUDING THOSE REQUIRED BY INSURANCE COMPANIES, MAY REQUIRE PRIOR APPROVAL FROM THE PLANNING SERVICES DEPARTMENT WHEN SUCH ACTIVITIES INVOLVE THE FOLLOWING:

- a) EXPOSING SOIL TO EROSION.
 - b) IMPACTS SENSITIVE HABITAT.
 - c) TREE REMOVAL.
 - d) ACCELERATING SEDIMENT RUNOFF INTO WATER COURSES.
- * DO NOT USE HERBICIDE OR OTHER CHEMICAL METHODS TO REMOVE VEGETATION

1. PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF A NONFLAMMABLE MATERIAL AND OPENINGS NOT MORE THAN ON-HALF INCH IN SIZE.

2. PROVIDE HOUSE ADDRESS NUMBERS POSTED PER FIRE DEPARTMENT REQUIREMENTS

LANDSCAPE NOTES:

A. NO NEW LANDSCAPING IS PROPOSED EXCEPT FOR A MINOR LEVEL OF ANNUALS (FLOWERS) TO BE PLACED IN THE PLANTER BED AREAS AS SHOWN ON THIS PLAN. THE PROPERTY OWNER DESIRES TO RETAIN (E) NATURAL FOREST GROUND COVERINGS AND TREES TO THE FULLEST EXTENT POSSIBLE.

B. VERIFY IF ANY EXISTING TREE IS TO HAVE TEMPORARY OR PERMANENT IRRIGATION SYSTEM FOR TREE GROWTH. IF SO, PROVIDE DRIP SYSTEM, BUBBLER OR OTHER WATERING SYSTEM AS RECOMMENDED BY THE TREE CONSULTANT FOR WHATEVER TIME PERIOD IS SPECIFIED BY THE CONSULTANT.

C. NO NEW LANDSCAPING IRRIGATION SYSTEMS ARE PROPOSED. THE (N) ANNUALS (FLOWER BEDS) SHOWN ARE PROPOSED TO BE HAND WATERED FROM HAND SPRAYER DEVICES CONNECTED TO A WATER HOSE EXTENDING FROM HOSE BIBS AT EXTERIOR WALLS OF THE HOUSE. SEE PLAN FOR HOSE BIB LOCATIONS.

H.B.

DENOTES HOSE BIB LOCATION

THE PROPERTY OWNER OR ANY LANDSCAPE MAINTENANCE OR PROPERTY MANAGEMENT PERSONS HIRED BY THE OWNER SHALL NOT LEAVE HOSES USED FOR WATERING PLANTS OR TREES LEFT ON THE GROUND AFTER WATERING. WATER DELIVERY HOSE BIBS ARE TO BE FULLY SHUT-OFF AFTER WATERING. HOSES SHALL BE RETRACTED INTO A HOSE STORAGE DEVICE OR FULLY WOUND UP AND HUNG ON A HOSE RACK PLACED ALONG EXTERIOR WALLS OF THE GARAGE AFTER WATERING.

ALL (E) TREES TO REMAIN AND REPLACEMENT TREES TO BE PLANTED SHALL BE PROTECTED DURING ALL CONSTRUCTION ACTIVITIES AND TREE REMOVAL AS REQUIRED TO PROTECT TREES & ROOT SYSTEMS FROM INADVERTENT DAMAGE FROM EQUIPMENT. TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF CARMEL TREE PROTECTION STANDARDS OR PER RECOMMENDATIONS BY THE CITY FORESTER.

NOTE:

LIGHT FIXTURE SPECIFICATIONS ON SHEET A4.1

APPROVED

06/27/2025

COMMUNITY PLANNING & BUILDING

Approved by: Evan Kort, Senior Planner

MANDURRAGO
&
ASSOCIATES



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LIDGE
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HOUSE REMODEL

NW CORNER OF FOREST RD.
& MOUNTAIN VIEW AVE.
APN: 010-042-008

OWNER:

BRAD & LINDSAY LIDGE
2205 WARWICK WAY #200
MARIOTTVILLE MD 21104

SHEET NUMBER:

Charles Mandurrago

L1.0

LEGEND:

	RECORD BOUNDARY
	RECORD RIGHT OF WAY
	RECORD LOT LINE
	RECORD CENTERLINE
	RECORD EASEMENT LINE
	RECORD SETBACK
	OLD RECORD LINE
	PROJECT BENCHMARK
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	EDGE OF PAVEMENT
	BACK OF SIDEWALK
	EDGE OF DRIVEWAY
	FLOWLINE
	APPROXIMATE BUILDING OUTLINE
	CHIMNEY
	APPROXIMATE FLOOR ELEVATION
	DECK
	CONCRETE PAD
	STEP
	PLANTER
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEAN-OUT
	STORM DRAIN
	STORM DRAIN MANHOLE
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	UTILITY POLE
	GUY WIRE
	ELECTRIC VAULT
	UTILITY BOX
	ELECTRIC METER
	STREET LIGHT
	LAMP POST
	GAS METER
	WOOD FENCE
	WIRE FENCE
	CHAIN LINK FENCE
	STREET SIGN
	SIGN POST
	MAIL BOX
	BOLLARD
	PORCH POST
	PCC RETAINING WALL
	ROCK RETAINING WALL
	STACKED BLOCK WALL
	BRICK WALKWAY/PATIO
	STONE PATIO/WALKWAY/WALL
	PCC WALKWAY/PATIO
	EDGE OF FOLIAGE
	TREE WITH SIZE AND TYPE
	ACACIA
	CYPRESS
	OAK
	PINE
	REDWOOD
	TREE
	SPOT ELEVATION

ABBREVIATIONS:

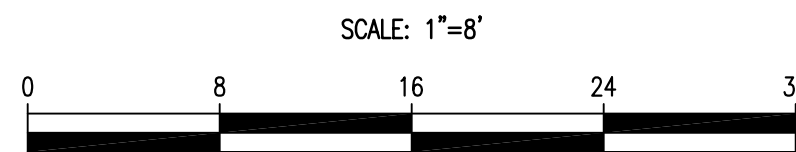
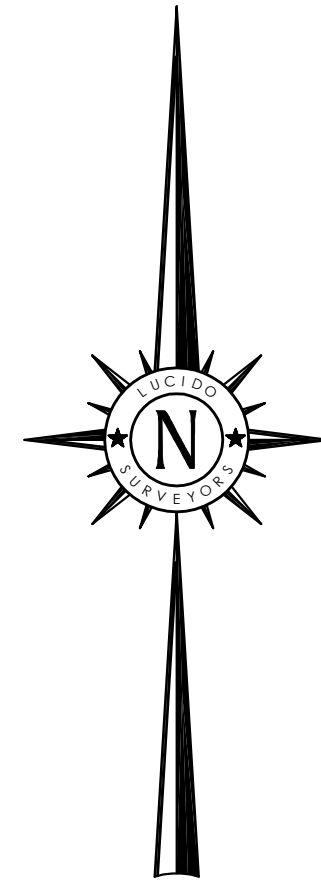
AC	ASPHALT CONCRETE
CS	CARMEL STONE
CMF	CORRUGATED METAL PIPE
CONC	CONCRETE
CP	CONCRETE PAD
EX AGG	EXPOSED AGGREGATE
HDPPE	HIGH DENSITY POLY ETHYLENE
PCC	PORTLAND CEMENT CONCRETE
PS	PAVER STONE
FP	FIRE PIT
WL	WOOD LID
TE	TRASH ENCLOSURE

BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A SURVEY MARK SPIKE & DISC. STAMPED "LUCIDO SURVEYORS CONTROL DISC" SET IN THE PAVEMENT NEAR THE WESTERLY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

FOREST ROAD
(A 50 FOOT WIDE CITY STREET)

MOUNTAIN VIEW AVENUE
(A 50 FOOT WIDE CITY STREET)



NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. A RECORD OF SURVEY IS CURRENTLY IN THE SUBMITTAL PROCESS WITH THE COUNTY SURVEYOR..
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED BY THE LETTERS IN CIRCLES. DIAMETERS OF TREES ARE SHOWN IN INCHES. APPROVED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECT GROWTH AND BRUISES ARE NOT NECESSARILY SHOWN.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ACCESS LIMITATIONS, STRUCTURES COVERED IN IVY AND/OR PLANT MATTER, ETC.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN AUGUST OF 2022.

TOPOGRAPHIC SITE SURVEY

OF
Forest Road at
Mountain View Avenue

per
DOCUMENT: 2019052290

Records of Monterey County
PREPARED FOR
Butch Fischer

BY
LUCIDO SURVEYORS

Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940



info@lucidosurveyors.com
(831) 420-5032

SCALE: 1"=8'

PROJECT No. 3023

AUGUST 2022

CARMEL-BY-THE-SEA

COUNTY OF MONTEREY

STATE OF CALIFORNIA

