



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24348

Owner Name: BURCHILL PHILLIP & GILLIAN

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 03/21/2025

Project Location: 26106 Ladera Dr., Carmel, CA 93921

APN #: 009331021000

BLOCK/LOT: MA/ALL LOT 7

Applicant: Tom Warner, Contractor

Project Description: This approval of Design Study application DS 24348 (Burchill) authorizes the painting of the existing stucco residence white (Benjamin Moore Chantilly Lace OC-65 or similar), painting the trim gray (Benjamin Moore Stonington Gray HC-170 or similar), replacing windows and doors on the guest house located at 26106 Ladera Drive in the Single-Family Residential (R-1) District as depicted in the plans prepared by Lee Jagoe Architecture Incorporated stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study application DS 24348 (Burchill) authorizes the painting of the existing stucco residence white (Benjamin Moore Chantilly Lace OC-65 or similar), painting the trim gray (Benjamin Moore Stonington Gray HC-170 or similar), replacing windows and doors on the guest house located at 26106 Ladera Drive in the Single-Family Residential (R-1) District as depicted in the plans prepared by Lee Jagoe Architecture Incorporated stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to when preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for 12 months from the date of action. The project must be implemented during this time, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
5.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
6.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies exist between the Planning approval and the

	<p>construction plans, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
7.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>
8.	<p>Hazardous Materials Waste Survey. Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.</p>
9.	<p>Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.</p>
Landscape Conditions	
10.	<p>Tree Removal Prohibited. Throughout the construction process, the Applicant shall protect all trees identified for preservation using methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon approval by the City Forester or the Forest and Beach Commission.</p>
Special Conditions	
11.	<p>Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.</p>
12.	<p>Construction Management Plan. Prior to the issuance of a building permit, the Applicant shall submit a Construction Management Plan for review and approval by the Community Planning & Building Director.</p>

13.	Building Permit Required. Prior to commencing work on-site, the applicant shall apply for and obtain a building permit from the Community Planning & Building Department.
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Acknowledgment and acceptance of conditions of approval:

_____ Applicant Signature	_____ Printed Name	_____ Date
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_____ Property Owner Signature	_____ Printed Name	_____ Date
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_____ Property Owner Signature	_____ Printed Name	_____ Date
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Q grey owl oc-52 paint color



JC Licht



TRIM OPTION

Gray Owl OC-52

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 24348 (Burchill)
Date Approved: 3/21/2025
Planner: M. Waffle



Gray Owl OC-52
Búho Gris
Chouette Grise



OC-52 Gray Owl

[Visit >](#)

Chantilly Lace

OC-65

BODY COLOR

CARMEL-BY-THE-SEA
PLANNING DIVISION
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Benjamin Moore

TRIM OPTION

10/10/2025

**CARMEL-BY-THE-SEA
PLANNING DIVISION
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Permit #: DS 24348 (Burchill)

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Stonington Gray HC 170
Gris de Stonington
Gris Clair

HC-170 Stonington Gray

SITE INFO:

SITE ADDRESS: 26106 LADERA DRIVE
CARMEL, CA 93923

APN: 009-331-021

PLANNING AREA: CARMEL-BY-THE-SEA

OWNER: PHIL & GILLIAN BURCHILL
26106 LADERA DRIVE
CARMEL, CA 93923
(949)292-9550

ARCHITECT: LEE-JAGOE ARCHITECTURE
211 WEST FRANKLIN STREET
MONTEREY, CA 93940
(831)718-8172

LOT SIZE: 15,980 SQ. FT.
ZONING: R-1-C-20
CONSTRUCTION TYPE: 5B
MAX. BUILDING SITE COVERAGE: 4163 SQ. FT. (25%)

BUILDING SETBACKS:
FRONT SETBACK: 15'
REAR SETBACK: 3' (Building under 15')
MIN. SIDE SETBACK: 3'

EXISTING LIVABLE (MAIN HOUSE): 1,975 SQ. FT.
EXISTING LIVABLE (GUEST HOUSE): 531 SQ. FT.
EXISTING UNCONDITIONED: 326 SQ. FT.
EXISTING TOTAL: 2,832 SQ. FT.

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 24348 (Burchill)
Date Approved: March 21, 2025
Planner: M. Waffle

SCOPE OF WORK:

GUEST HOUSE REHAB: ADDING NEW WINDOWS IN BEDROOM, REPLACING FRONT DOOR & BACK DOOR, AND A COMPLETE BATHROOM REMODEL.

MAIN HOUSE: REPLACING HIGH WINDOWS ABOVE GARAGE AND TOP FLOOR. Paint existing stucco above white with gray trim.

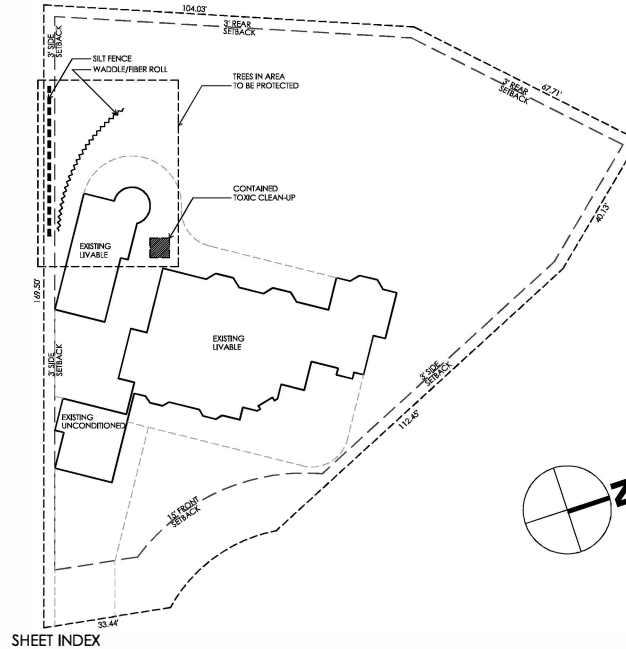
SUPPLEMENTAL DATA:

CONSTRUCTION & RECYCLING PLAN
CALGREEN CHECKLIST
STRUCTURAL CALCS
CERTIFICATE OF COMPLIANCE

HARD SCAPE TOTALS

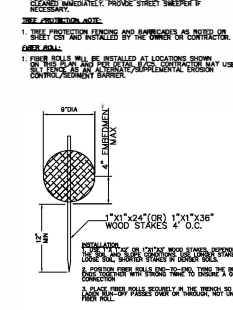
PAVING - DRIVEWAY: 802 SQ. FT.
PAVING - PATIO: 2,310 SQ. FT.
SOIL DISTURBANCE - PROPOSED: 0 SQ. FT.

Per Carmel Municipal Code: Fire Sprinklers are not required. (See Fire Sprinkler Calculation Form)



BETTER MANAGEMENT PRACTICES

- EROSION CONTROL NOTES:**
1. EROSION CONTROL MEASURES SHALL BE INSTALLED OR ELIMINATED BY THE CONTRACTOR AT ALL TIMES TO PREVENT EROSION AND TO PROTECT EXISTING VEGETATION AND TO PREVENT POLLUTION OF ADJACENT WATERS.
 2. EROSION CONTROL MEASURES SHALL BE IN PLACE AT ALL TIMES DURING CONSTRUCTION.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND TO ALL UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT EXISTING UTILITIES AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND TO ALL UTILITIES AT ALL TIMES.
- CONSTRUCTION ENTRANCE:**
1. THE EXISTING DRIVEWAY SHALL BE USED DURING CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND TO ALL UTILITIES AT ALL TIMES.

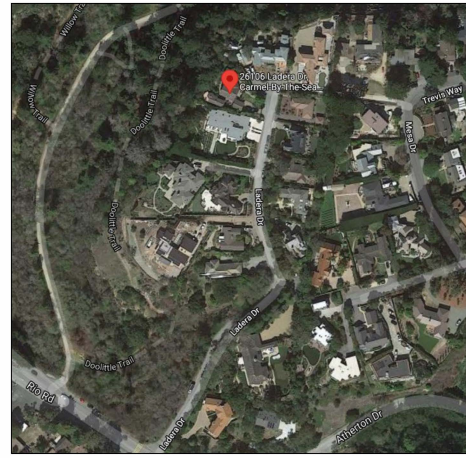


3 FIBER ROLL SCALE: INTS. MED. 02.21/20

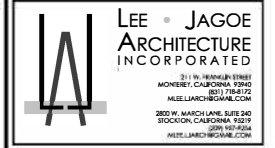
SIGNED CONDITIONS OF APPROVAL

- CS1 - COVER SHEET
- A1 - FOUNDATION
- A2 - FLOOR PLAN
- A3 - DEMO PLAN
- A4 - EXISTING ELEVATIONS
- A4.1 - PROPOSED ELEVATIONS
- A5 - SECTIONS
- A6 - ROOF PLAN
- A7 - EXISTING PHOTOS
- M1 - MAIN HOUSE FLOOR PLAN
- M2 - MAIN HOUSE FRONT ELEVATIONS
- M2.1 - MAIN HOUSE SIDE ELEVATIONS
- MAIN HOUSE COLORED ELEVATIONS
- SN1 - STRUCTURAL NOTES
- SN2 - STRUCTURAL NOTES
- SN3 - STRUCTURAL NOTES
- SD1 - STRUCTURAL DETAILS

T24-1 - TITLE 24 ENERGY DOCS
CALIFORNIA MANDATORY MEASURES 1
CALIFORNIA MANDATORY MEASURES 2
FIRE SPRINKLER CALCULATION FORM
STATEMENT OF SPECIAL INSPECTION



**Site Plan
Existing Main House & Guest House**



**The Burchill
Remodel**
26106 Ladera Dr.
Carmel, California

- GENERAL NOTES:**
1. THE PROJECT SHALL COMPLY WITH:
 - 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS
 2. THE ARCHITECT SHALL OBSERVE THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE QUALITY OF THE WORK OR THE RESPONSIBILITY OF THE BUILDER TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS.
 3. THE ARCHITECT SHALL NOT BE OBSERVING THE CONSTRUCTION OF THE PROJECT. THE BUILDER SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK AND CONSTRUCTION STANDARDS FOR THE PROJECT. ALL QUESTIONS SHOULD BE REFERRED TO THE BUILDER.
 4. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINE, EASEMENTS, SERVICES UTILITIES AND CONSIDERABLE BEFORE ANY CONSTRUCTION BEGINS.
 5. FINISH GRADES SHALL PROVIDE DRAINAGE AWAY FROM BUILDING AND ADJOINING NEIGHBORING SIDE PROPERTIES.
 6. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
 7. WHERE DISCREPANCIES BETWEEN RECORD AND ARCHITECT'S DRAWINGS OCCUR, CONTACT ARCHITECT.
 8. PROVIDE PERIMETER DRAINAGE SYSTEM WHEN NOT OTHERWISE SPECIFIED.
 9. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND THE PROPERTY OF LEE-JAGOE ARCHITECTURE WHICH RESERVES ITS COMMON LAW, CONTRACT AND STATUTE RIGHTS IN DESIGN, INVENTION, INVENTIONS OR MATERIALS. ALSO, THEY ARE NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT WRITING PERMISSION FROM LEE-JAGOE ARCHITECTURE.
 10. CHECK ANGLE AND OCCUPANCY: R-1/C-20
 11. THIRD PARTY HEREIN RATER REQUIRED: SEE TITLE 24 CALCS FOR DETAILS TO BE PROVIDED & APPROVED.
 12. APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING THE PROPERTY. LETTERS OR NUMBERS SHALL BE 1/2" HIGH AND PLACED IN A LOCATION OF APPROX. 1/2" INCH OF A CONTRASTING COLOR TO THE BACKGROUND.
 13. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE (1) INCH PER 12 (12) INCHES. USE FOR AN OPEN GRADE OF 1%.
 14. SEE STRUCTURAL DRAWINGS FOR SPECIAL INSPECTION REQUIREMENTS.
 15. IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH CALIFORNIA TITLE 24, CHAPTER 10.1 AND APPROVED PRIOR TO FINISHING.
 16. THIS PROJECT IS WITHIN A WILDLAND-URBAN INTERFACE FIRE AREA. ALL APPLICABLE CONSTRUCTION METHODS APPLIED FOR EXTERIOR WILDLAND EXPOSURE PER CHAPTER 92.5 OF THE 2019 CBC.
- DEFERRED SUBMITTALS:**
1. TITLE 24 ENERGY CALCULATIONS
 2. TITLE 24 ENERGY REQUIREMENTS
 3. THE MAIN CONTRACTOR'S SUBMITTALS SHALL BE REVIEWED BY THE NUMBER OF RECORDS FOR EACH COMPARTMENT.
 4. SUBMITTALS NOT BE SUBMITTED WITH AN APPROVED SOA COPY OF THE SUBMITTALS SHALL BE BY THE ARCHITECT'S COURT REPORTER'S OPINION.
 5. CONSTRUCTION & DEMOLITION DEBRIS RECYCLING PLAN
 6. SWP AND DEMOLITION TRACKING FORM
 7. A SPECIAL INSPECTIONS REQUIRED FOR EPOT.
- CONTRACTOR NOTE:**
CONTRACTOR SHALL ADVISE ON A 1-10 Day Alert Level prior to permit issuance and shall maintain the Alert Level status throughout the project. Alert Level shall be used as a contractor reference.

SITE PLAN

SCALE: 1/16" = 1'-0"

NO.	REVISION	DATE

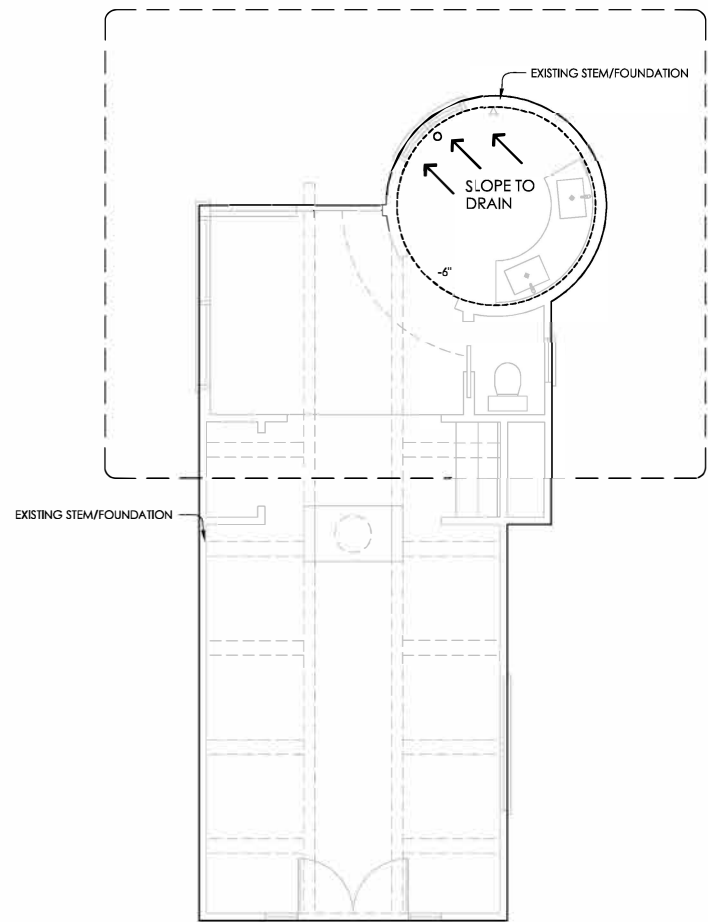


CS1


**The Burchill
 Remodel**
 26106 Ladera Dr.
 Carmel, California

- FOUNDATION NOTES**
1. SEE STRUCTURAL SHEET SH-1 FOR APPLICABLE SOIL REPORT
 2. SEE GRADING, PLACEMENT OF FILL & FOOTING EXCAVATIONS SHALL BE OBSERVED BY SOIL ENGINEER REQUIRED FOR SOIL REPORT
 3. WHERE DISCREPANCIES BETWEEN THE SOIL REPORT & ARCHITECT'S DRAWINGS OCCUR, CONTACT ARCHITECT
 4. FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG
 5. FOUNDATION ELEVATION & DRAINAGE TO COMPLY W/ CBC SECTION 1807.3.1 & CIRCULATION 1809.3 & 1809.4
 6. VERIFY ALL DIMENSIONS & LOAD CONDITIONS W/ ARCHITECTURAL & STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION
 7. SEE STRUCTURAL 2' SHEETS FOR STRUCTURAL DESIGN & 20' SHEETS FOR ALL STRUCTURAL DETAILS
 8. ALL ANGLES OTHER THAN 90 SHALL BE 45 (U/D)
 9. PROVIDE OR RECESSES FROM MUDSILL @ ALL EXTERIOR DOORS
 10. ALL WOOD IN CONTACT W/ CONCRETE SHALL BE PROF.
 11. PROVIDE HIGH GLOSS WEARER PROTECTION
 12. PROVIDE MAX. 7/8" RISE STEP FROM SLAB TO EXT. LANDINGS @ EXIT DOORS


 INDICATES FILL IN AREA



FOUNDATION PLAN

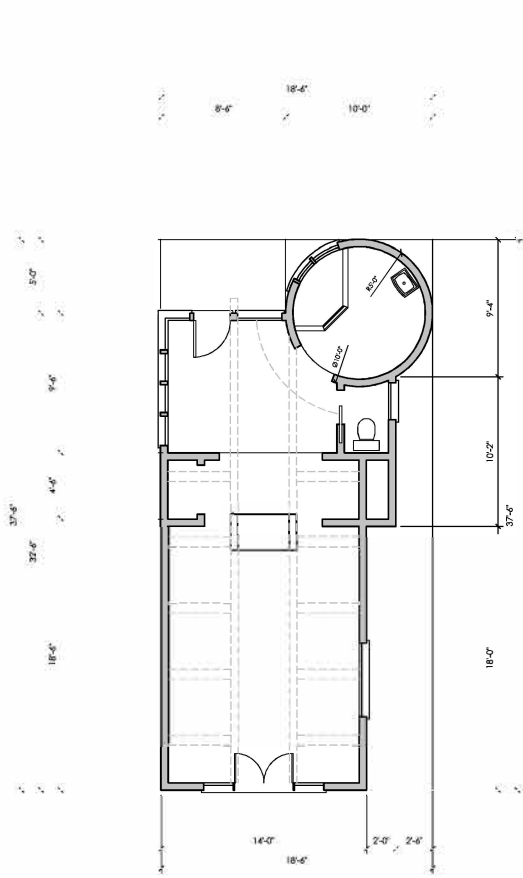
SCALE: 3/8" = 1'-0" 

Δ	C	1'-0"	

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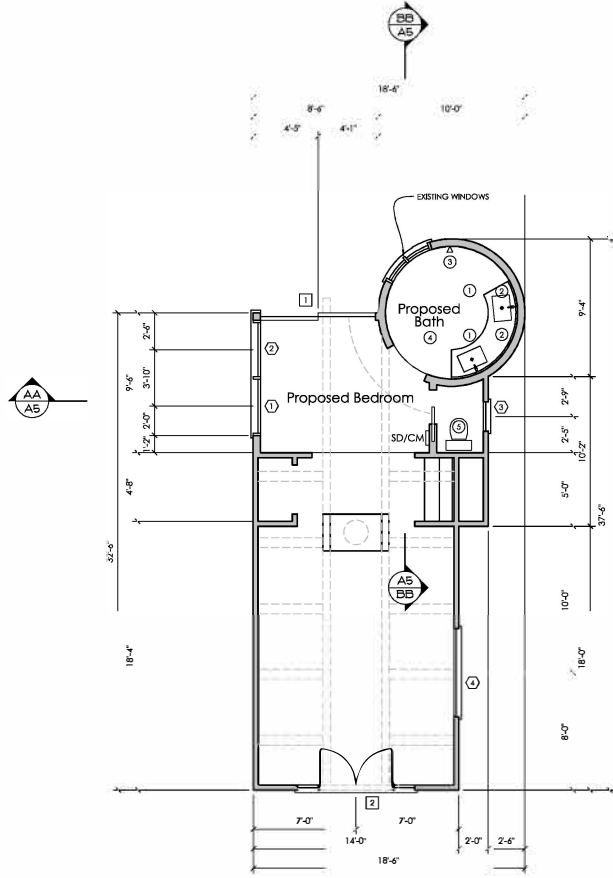
The Burchill
Remodel
 26106 Ladera Dr.
 Carmel, California

- FLOOR PLAN LEGEND**
1. LAVATORY - 1.2 GPM MAX. @ 40 PSI
 2. AIRBOR
 3. CUSTOM WALK-IN SHOWER
 - 3.02 FIBER-GLASS 2.0 GPM MAX. @ 80 PSI
 - 1.75" GFT. 80.0 CMAL WALL ST. CEILING-TYP
 - 3.02 FIBER-GLASS 2.0 GPM MAX. @ 80 PSI
- FLOOR PLAN NOTES (NEW CONSTRUCTION ONLY)**
1. ALL ANGLES OTHER THAN 90 DEGS. SHALL BE AS SHOWN (R.O.C.)
 2. PROVIDE FIRE STOPPING OF ENCLOSED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FIRESTOP SPACES, AT THE CEILING AND FLOOR LEVELS AND @ 10'-0" INTERVALS ALONG THE LENGTH OF THE WALL.
 3. MANTLE WELLS OF GRESS DOOR SHALL BE REFINED & OPENABLE FROM THE INTERIOR WITH THE USE OF A KEY OR SPECIFIC KNOWLEDGE OR SKILL.
 4. SEE DOOR FRAMING, SELECTED CEILING & ELECTRICAL PLANS FOR ATTIC ACCESS & ATTICUAL LOCATIONS.
 5. GLASS AT GRESS PANEL, INCLUDING GRESS PANEL, NON-ASBESTOS FIBER-GLASS BACKER BOARD, NON-ASBESTOS FIBER-GLASS REINFORCED GRESS PANELS SHALL BE INSTALLED IN ACCORDANCE WITH AHI. RECOMMENDATIONS SHALL BE USED AS A BASIS FOR GRESS WALL TILES & WALL PANELS IN TUB AND SHOWER AREAS.
- EGRESS WINDOWS (NEW CONSTRUCTION ONLY)**
1. ALL EGRESS WINDOWS REQUIRED TO BE 44" MAX ABOVE FINISHED FLOOR TO THE SILL OF THE WINDOW PER IRC SECTION 1010.1.
 2. ESCAPE OPENINGS HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (SMALLER OPENINGS MAY BE MINIMUM 20" H.).
 3. ESCAPE OPENINGS HAVE MINIMUM NET CLEAR OPENING HIGH/POF 24" AND MINIMUM CLEAR OPENING WIDTH/POF 20".
 4. ESCAPE OPENINGS OPEN DIRECTLY TO A STREET, PUBLIC ALLEY, YARD, OR COURT THAT OPENS TO A PUBLIC WAY.
- EGRESS DOORS (NEW CONSTRUCTION ONLY)**
1. ALL THRESHOLDS AT EGRESS REQUIRED DOOR SHALL NOT EXCEED 1/2".
- SAFETY GLAZING (NEW CONSTRUCTION ONLY)**
- SAFETY GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 IRC SECTION R602.4
1. EGRESS IN THE SHOWER/EGRESS DOORS.
 2. GLAZING IN THE SHOWER DOORS INCLUDING THE FIXED PANELS.
 3. GLAZING WITHIN 4'-0" AND ANCHOR BEYOND THE VERTICAL EDGE OF THE DOOR & LESS THAN 60" ABOVE THE WALKING SURFACE. ESCAPE OR RESCUE WINDOWS SHALL BE REINFORCED TO THE PLANE OF THE DOOR IN A CLOSED POSITION OTHER THAN THE WALL TO WHICH IT IS ATTACHED TO THE DOOR WHEN OPENED.
 4. GLAZING IN A WALL ENCLOSED TUB AND/OR SHOWER LESS THAN 60" ABOVE THE STANDING SURFACE AND DRAIN INLET PER IRC SECTION R602.4.
 5. GLAZING IN EXCESS OF 9 SQ. FT. WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND THE TOP OF THE SURFACE LESS THAN 36" ABOVE THE FLOOR AND 1" WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 6. GLAZING ADJACENT TO STAIRWAYS & LANDINGS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 40" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 7. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM RAIL OF A STAIRWAY IN ANY DIRECTION WITH THE EXPOSED SURFACE OF THE GLASS 6" LESS THAN 60" ABOVE THE TOP OF THE RAIL.



Existing Plan

EXISTING TOTAL: 530 SQ. FT.



Proposed Plan

PROPOSED TOTAL: 530 SQ. FT.

CARMEL-BY-THE-SEA
 PLANNING DIVISION
 APPROVED

Permit #: DS 24348 (Burchill)
 Date Approved: March 21, 2025
 Planner: M. Waffle

DOOR SCHEDULE

DOOR #	SIZE	THK.	FIRE RATING	CORE	REMARKS/NOTES
1	8'-0" x 7'-0"	1 3/8"	N.R.	MIL/GLASS	2 PANELS REPAIR LOCATIONS NOTED.
2	8'-0" x 6'-10"	1 3/8"	N.R.	MIL/GLASS	2 PANELS REPAIR LOCATIONS NOTED.

WINDOW SCHEDULE

WIND. #	SIZE	WIND. STYLE	TEMP.	EGRESS REQ'D	THICK	REMARKS/NOTES
1	4'-0" x 6'-0"	FIXED	YES	YES	SNGL	
2	4'-0" x 6'-0"	FIXED	YES	YES	SNGL	
3	2'-0" x 2'-0"	CASEMENT	YES	NO	SNGL	
4	6'-0" x 2'-6"	CASEMENT	YES	NO	SNGL	DOUBLE CASEMENT (XX), SEE SPECS

WINDOW NOTES

ALL WINDOWS REPLACED WITH:
 JELD-WEN SIFLINE/WOOD CLAD/METAL EXTERIOR/WOOD INTERIOR

EGRESS REQUIREMENTS

1. WINDOW SUPPLIER TO VERIFY WINDOW SPECIFICATIONS MEET CODE REQUIRED EGRESS DIMENSIONS.
2. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. WHEN WINDOWS AREA PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.




FLOOR PLAN
GUEST HOUSE

SCALE: 1/4"=1'-0"




A2


The Burchill
Remodel
 26106 Ladera Dr.
 Carmel, California

-  INDICATES DEMO WALL
-  INDICATES NEW WALL
-  INDICATES DEMO

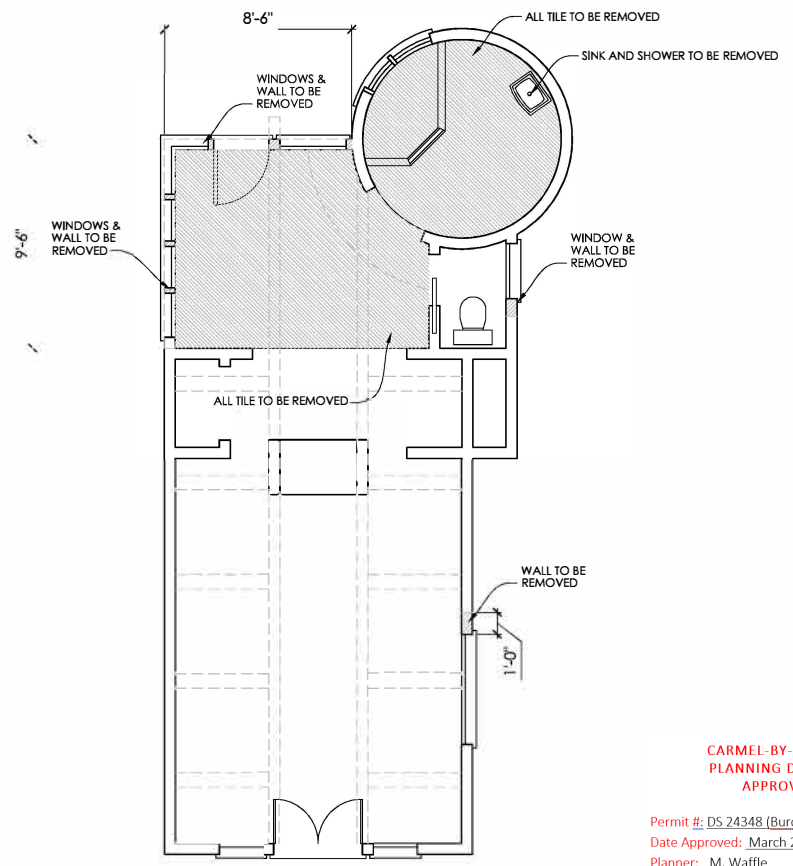
DEMOLITION PLAN

SCALE: 3/8"=1'-0" 

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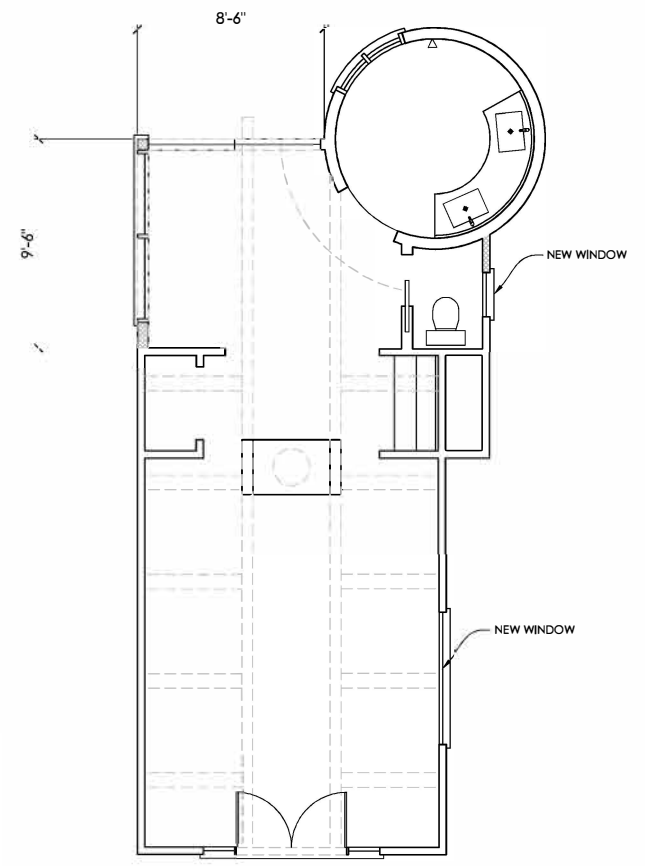


A3



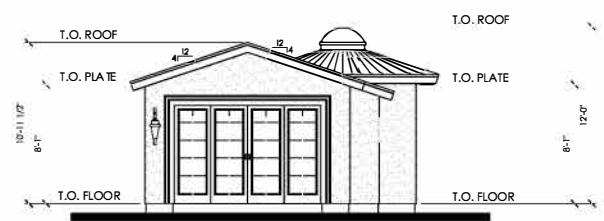
Existing Plan(Demo Walls)

CARMEL-BY-THE-SEA
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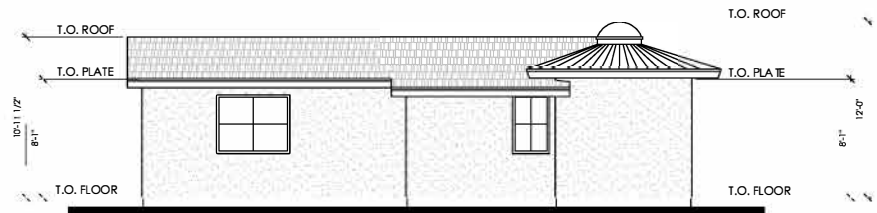


Proposed Plan

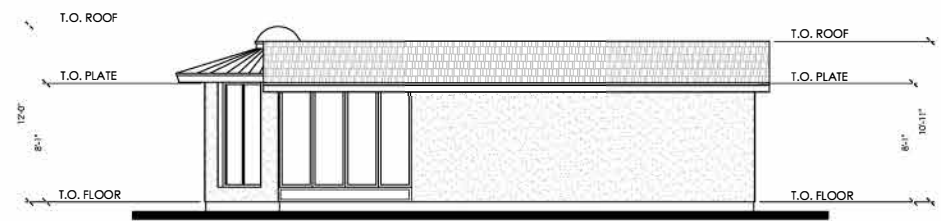
The Burchill
Remodel
 26106 Ladera Dr.
 Carmel, California



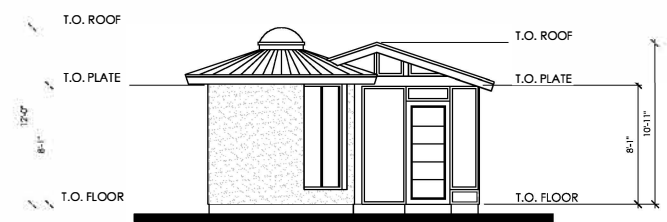
Existing Front Elevation



Existing Right Elevation



Existing Left Elevation



Existing Rear Elevation

EXTERIOR
ELEVATIONS
EXISTING

SCALE: 1/4"=1'-0"

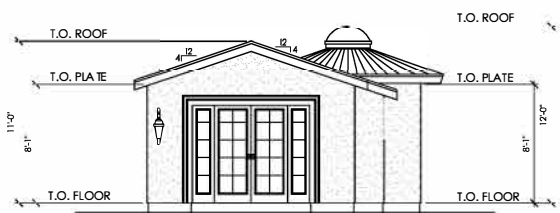
△	+	-



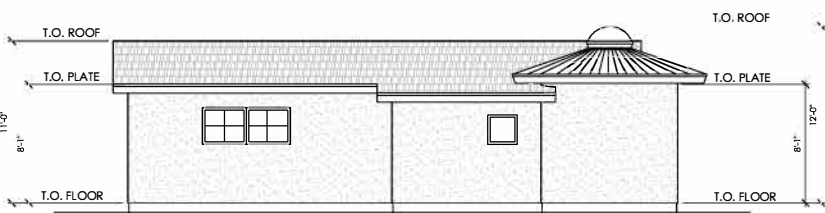
A4

The Burchill Remodel
 26106 Ladera Dr.
 Carmel, California

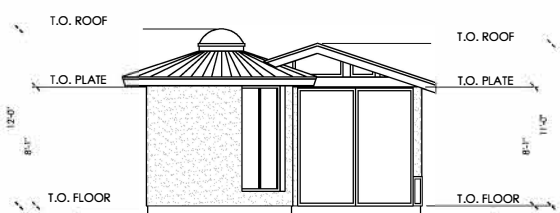
- ELEVATION NOTES**
- ALL WINDOWS SHALL BE MOUNTED 8" ABOVE ADJACENT TOP OF SLAB & 8" FROM FLOORING (C.N.).
 - ALL WINDOWS MUST FOLLOW GLASS DOORS OR EXTERIOR DOORS TO BE FRAMED AS TO ALIGN WITH THE TOP EDGE.
 - ROOFING MATERIAL SHALL BE CLASSIFIED AS APPROVED CONCRETE SLIPPER ELEVATION OR 5/8" SLIP OF SHEATHING PER STRUCTURAL PLANS.
 - ALL WALLS WITH STUCCO SHALL BE 1 COAT STUCCO SYSTEM OF 1/2" MIN. THICK 1/2" THICK POLYMER PORTLAND CEMENT OVER 1/2" GYPSUM BOARD OR 1/2" GYPSUM BOARD OVER 1/2" GYPSUM BOARD. STUCCO SHALL BE APPLIED TO ONE LAYER OF ASPHALT FELT OR 2 LAYERS OF 1/2" GYPSUM BOARD. STUCCO SHALL BE APPLIED TO ONE LAYER OF ASPHALT FELT OR 2 LAYERS OF 1/2" GYPSUM BOARD. STUCCO SHALL BE APPLIED TO ONE LAYER OF ASPHALT FELT OR 2 LAYERS OF 1/2" GYPSUM BOARD.
 - ALL WINDOWS SHALL BE INSTALLED AND FLASHED PER CHAPTER 19.5 AND 19.6 AND PER INTERNATIONAL RETEN-CRASH TEST 1302.6 AND 1302.6.2. REFER TO CHAPTER 19.5 AND 19.6 FOR INSTALLATION. SEE: 19.5 AND 19.6 FOR ANCHORING APPLICATION.
 - PROVIDE WATERPROOFING AS PER ALL SHEAR MATERIAL VERTICAL AND HORIZONTAL JOINTS.
 - MIN. 1/2" SUPPLY TO VERIFY WINDOW SPECIFICATION SHEET CODE REQUIREMENTS DIMENSIONS.
 - WHERE FLYWOOD IS HEATING OCCURS WITHIN 12" OF WINDOW OPENING, FLYWOOD SHALL BE CARRIED ABOVE WINDOW TO BE FLURRED IN PLACE.
 - PROVIDE STUCCO ANCHOR JOINTS PER CHAPTER 19.5 AND 19.6.
 - ALL WOOD JOINTED MATERIALS TO BE: JAMES HARDIE OR EQUAL.
 - ALL SHUTTERS TO BE HIGH DENSITY FOAM.
 - ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD ADJACENT TO THE PROPERTY. CHARACTERS SHALL CONTAIN NO WATERPROOFING. CHARACTERS SHALL BE AN ALUMINUM 1/4" IN HEIGHT WITH STROKE WIDTH MINIMUM 1/8".
 - WEATHER RESISTANT BARRIERS SHALL BE INSTALLED AS REQUIRED BY CHAPTER 19.5 AND 19.6 AND PER INTERNATIONAL RETEN-CRASH TEST 1302.6 AND 1302.6.2. REFER TO CHAPTER 19.5 AND 19.6 FOR ANCHORING APPLICATION.
 - FLAT ROOFING CEMENT PLASTER SHALL NOT BE USED. TRANSOMAS WHEN APPLIED OVER METAL FLASHING OR WEATHER RESISTANT BARRIERS SHALL INCLUDE A WATERPROOFING ANCHORING APPLICATION. A PERFORMANCE AT LEAST EQUAL TO THAT OF A 1/2" THICK GYPSUM BOARD PER CHAPTER 19.5 AND 19.6.
 - A MINIMUM 24 GA. GALV. METAL OR ROOFING PAPER SHALL BE USED.
 - A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3" IN HEIGHT PROVIDED TO BE BENEATH THE ROOF FLASHING SHALL BE PROVIDED TO ALL.
 - THIS REED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVEMENT. (CHAPTER 19.5)



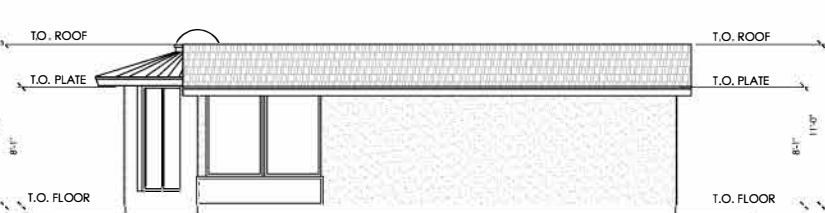
Front Elevation



Right Elevation



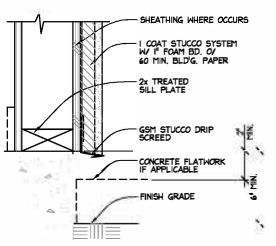
Rear Elevation



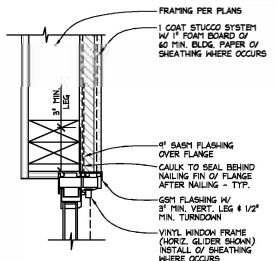
Left Elevation

CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED

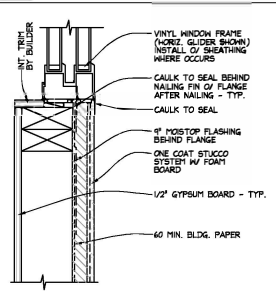
Permit #: DS 24348 (Burchill)
 Date Approved: March 21, 2025
 Planner: M. Waffle



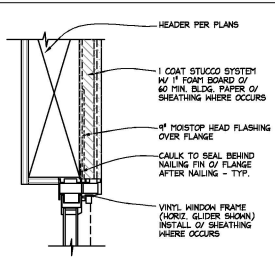
8 STUCCO SCREED - TYP. SCALE: NTS



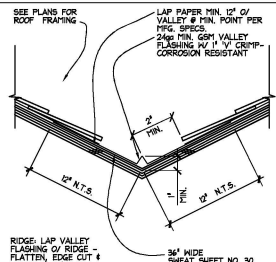
7 WIND. JAMB TYP. SCALE: NTS



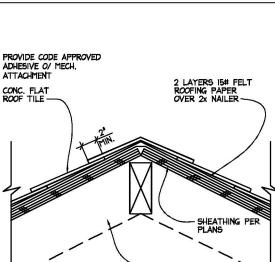
6 WIND. SILL - TYP. SCALE: NTS



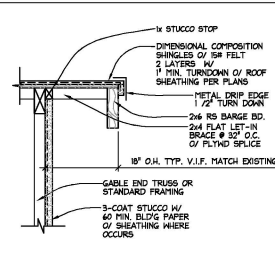
5 WIND. HEAD - TYP. SCALE: NTS



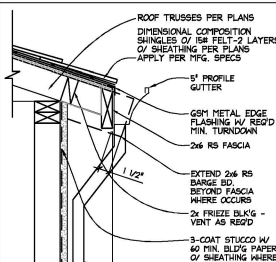
4 VALLEY - TYP. SCALE: NTS



3 RIDGE/HIP - TYP. SCALE: NTS



2 RAKE - TYP. SCALE: NTS



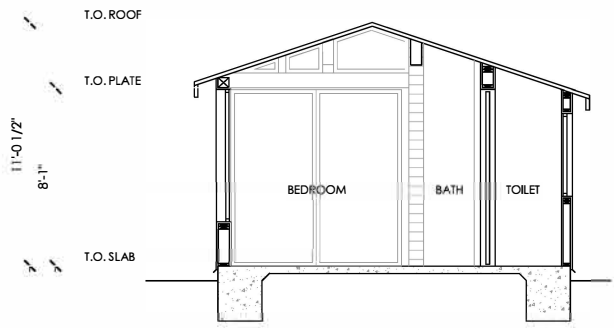
1 EAVE W/ GUTTER - TYP. SCALE: NTS

EXTERIOR ELEVATIONS - PROPOSED

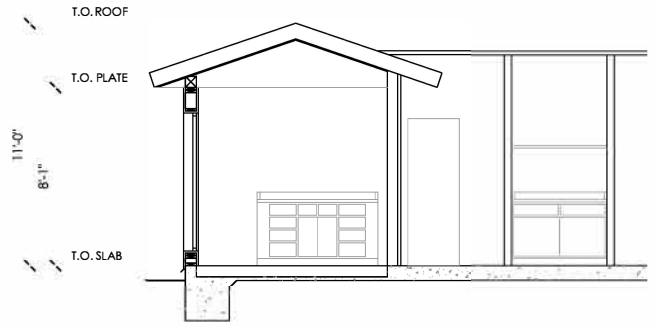
SCALE: 1/4"=1'-0"

NO.	DATE	REVISION

**The Burchill
 Remodel**
 26106 Ladera Dr.
 Carmel, California



SECTION AA




SECTION BB

- SECTION NOTES**
- SEE ALL DIMENSIONS FOR WALLS, FLOORS OR BRILLIANT TILE & RAVALE (REQUIRED) CALCATIONS AND ALL RAVALE NOTES. SEE ARCHITECTURE FOR TECHNICAL SPECIFICATIONS TO TILE.
 - SEE ROOF PLAN FOR EXTERIOR ELEVATION AND ARCHITECTURAL DETAILS FOR EXTERIOR WALLS.
 - SEE EXTERIOR ELEVATION AND ARCHITECTURAL DETAIL FOR ALL DETAILS OF EXTERIOR WALLS.
 - INTERIOR WALL FINISHES: 1/2" PLASTER BOARD; 1/2" GYP. BOARD OVER WALL; CEILING FINISHES: 1/2" PLASTER BOARD; 1/2" GYP. BOARD OVER CEILING AND SUPPORT WALLS ON 1" REINFORCABLE SECTION OF THE HOUSE.
 - FLOOR FINISHES: 1/2" PLASTER BOARD; 1/2" GYP. BOARD OVER FLOOR TO TOP ABOVE MAIN FLOOR & ALL TUB & SHOWER WALLS.
 - FLOOR FINISHES: 1/2" PLASTER BOARD; 1/2" GYP. BOARD OVER FLOOR TO TOP ABOVE MAIN FLOOR & ALL TUB & SHOWER WALLS.
 - WEATHER RESISTANT BARRIER: ALL EXTERIOR ALUMINUM CLADDING ON CHIC FIELDS AND WHERE APPLIED OVER WOOD BASED BEARING, SHALL INCLUDE A WATER RESISTANT VAPOR RETARDER BARRIER (MEMBRANE) AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (CRIC 1031M).
 - FLASHING: WEATHER RESISTANT FLASHING SHALL BE USED IN ALL JOINTS AND PENETRATIONS IN THE EXTERIOR WALLS AND SHALL BE APPLIED OVER METAL FLASHING FABRIC (CRIC 9033A.2).
 - MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT SHEET PILING SHALL BE USED IN ALL ATACHMENTS AND SHALL BE APPLIED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
 - EXTERIOR WALLS SHALL BE PLACED A MINIMUM OF 2 INCHES ABOVE GROUND OR 2 INCHES ABOVE PAVED AREA (CRIC 1032.2.1).
- THERMAL INSULATION NOTES (NEW CONSTRUCTION ONLY)**
- SEE CDS DOCUMENTATION

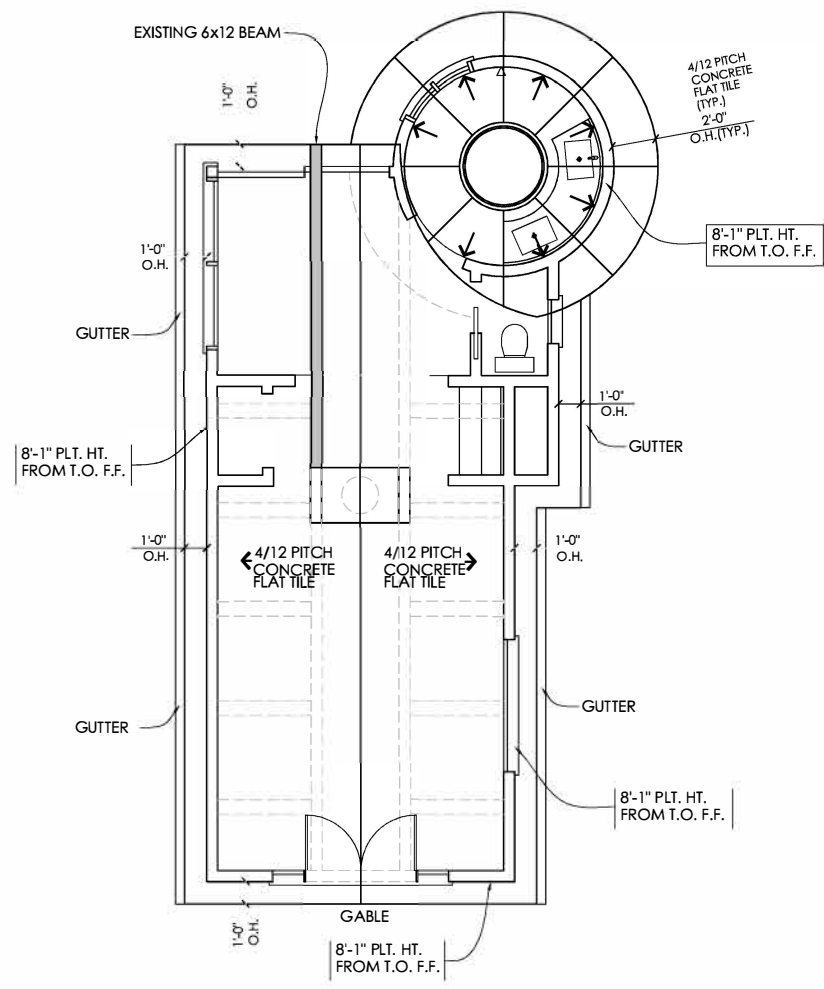
SECTIONS

SCALE: 3/8"=1'-0"

Δ	1/2"	


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- ROOF FRAMING NOTES**
- ROOF BEARING PER STRUCTURAL PLAN.
 - PROVIDE CHIMNEYS & ALL ROOF OVERHANGS.
 - INDICATE C.C.'S, EXTERIOR FINISH & EXTERIOR GUTTER LOCATIONS EXPOSED TO EXTERIOR ELEMENTS.
- ROOF NOTES**
- ROOFING MATERIAL TO BE CONCRETE SLAB PER THE ELEVATION OF DORMER TO BE PROVIDED FOR STRUCTURAL PLAN.
 - TYPICAL EAVE OVERHANGS SEE ROOF PLAN & SEE DETAIL 407.
 - TYPICAL EAVE OVERHANGS SEE ROOF PLAN & SEE DETAIL 407.
 - ATTIC INSULATION SHALL BE PROVIDED AS PER DETAIL 408.2. SEE DETAIL 408 FOR TYPICAL EAVE OVERHANG AND ATTIC VENT CALCULATIONS ON ROOF PLAN WITH IT.
 - ROOF FINISHES ARE POSSIBLE TO BE ON REAR OVERHANGS.
 - PROVIDE 2'-0" ACCESS THROUGH ALL CALIFORNIA-NAMED DOWNSPOUTS, ESPECIALLY AT THE EAVES.
 - PROVIDE BALUNY RAILING IN THE ATTIC AS NOTED IN THE ENERGY CALCULATIONS. MAINTAIN 7" MINIMUM CLEARANCE BETWEEN INSULATION & ROOF SHEETING.

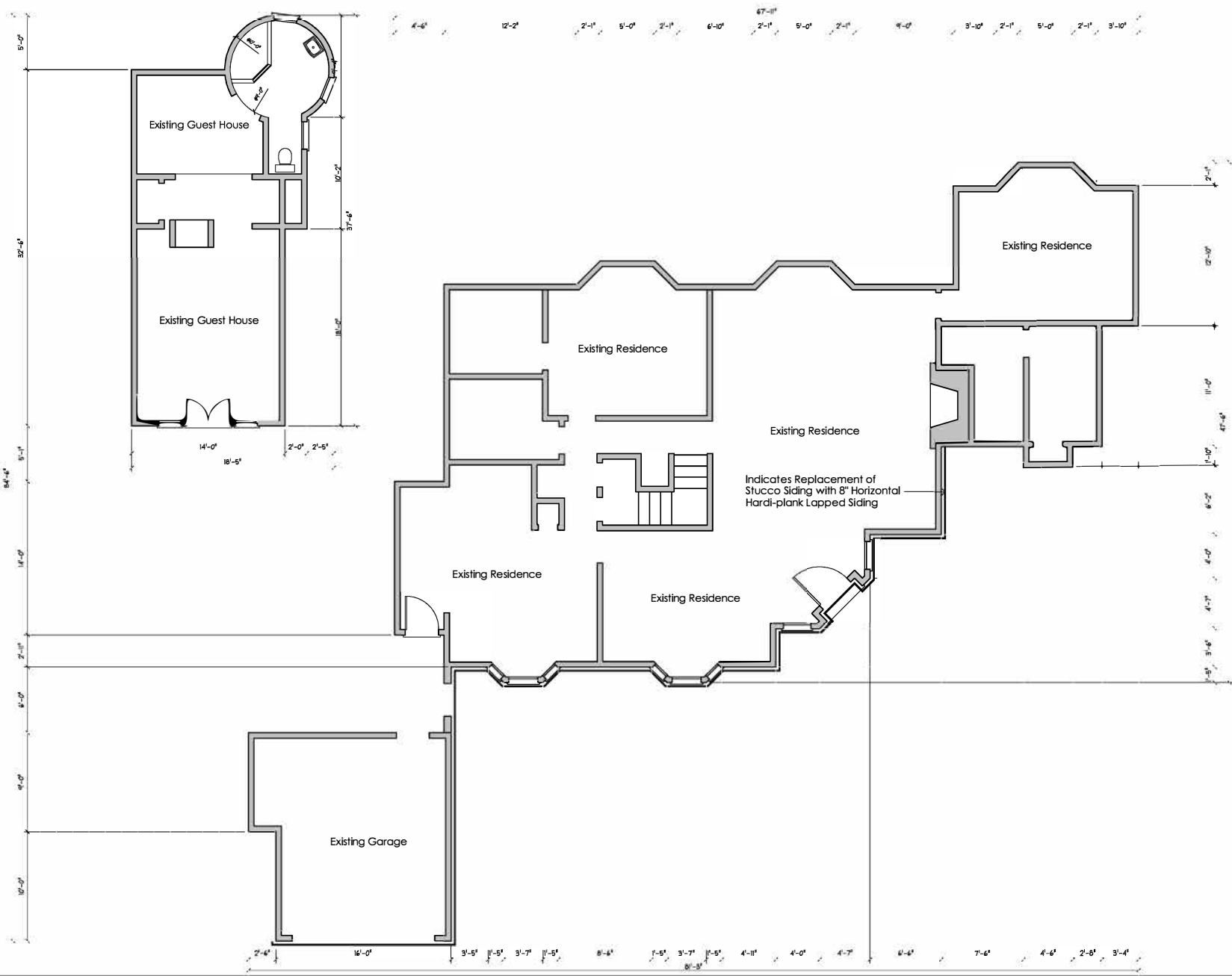
ROOF PLAN
ADU
 SCALE: 3/8"=1'-0"

△	-	1/2"	


A6

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 Indicates Replacement of Stucco Siding with 8" Horizontal Hardi-plank Lapped Siding



FLOOR PLAN
EXISTING
ALL STRUCTURES

SCALE: 1/4"=1'-0"

△	1/2"	



M1



Existing Front Elevation


LEE • JAGOE
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211 W. HARPER ST. #100
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 (209) 422-2554
 MLEE@ARCHITECTURE.COM

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 Carmel, California

ELEVATIONS
EXISTING

SCALE: 1/4"=1'-0"

Δ	C	++	




M2.0



Existing Side Elevation

ELEVATIONS
EXISTING

SCALE: 1/4"=1'-0"		
Δ	-	++
	M2.1	