

NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24322
Owner Name: DELIMON KURT R & LAURENE S
Case Planner: Jacob Olander, Associate Planner
Date Posted:
Date Approved: 01/30/2025
Project Location: San Carlos 5 NW of 3rd
APN #: 010125018000 BLOCK/LOT: 29/ALL LOT 7

Applicant: Allen Robinson

Project Description: This approval of Design Study (DS 24322) authorizes the following; • Installation of new landscaping, landscape lighting, drip irrigation; • Demolition of the existing deck at the rear of the property; • Construction of a new 240 square foot deck and stairs at the rear of the property; • Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5'; • Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans; • Construction of aluminum clad windows and doors as depicted in the approved plans; • Removal of the rear door and regrading the area that formerly provided access to said door; • Other associated site improvements. All work will be on the site of a single-family residence located at the San Carlos 5 Northwest of 3rd Avenue. The project shall be constructed as depicted in the plans prepared by Hall Landscape Design and the Sienna Company dated approved by Community Planning & Building Department on January 30, 2025, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes \square No \checkmark

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 24322 (Delimon)

Location: San Carlos 5 Northwest of 3rd Avenue; 010-125-018-000

Date of Action: January 30, 2025

Project Description:

DS 24322 (Delimon) authorizes the approval of Design Study Applications (DS 24322, Delimon) located at San Carlos 5 Northwest of 3rd Avenue in the Single-Family (R-1) District. APN: 010-125-018-000.

The proposed changes include:

- Installation of new landscaping, landscape lighting, drip irrigation;
- Demolition of the existing deck at the rear of the property;
- Construction of a new 240 square foot deck and stairs at the rear of the property;
- Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5';
- Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans;
- Construction of aluminum clad windows and doors as depicted in the approved plans;
- Removal of the rear door and regrading the area that formerly provided access to said door;
- Other associated site improvements.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL

The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.

For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).

CMC 17.58.060.B Findings for Design Review Approval	YES	NO
Before approving an application for design review in any district, the Director shall find that the final		
design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	√	
3. Are consistent with applicable adopted design review guidelines.	✓	

Additional Staff Analysis/Discussion:

No additional staff analysis.

ENVIRONMENTAL REVIEW

The California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, et seq., the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.

Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15301 (Class 1) – Existing Facilities, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.

Additional Staff Analysis/Discussion: The proposed changes include:

• Installation of new landscaping, landscape lighting, drip irrigation;

DS 24069 (Smith) Findings and Conditions September 6, 2024 Page 2 of 2

- Demolition of the existing deck at the rear of the property;
- Construction of a new 240 square foot deck and stairs at the rear of the property;
- Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5';
- Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans;
- Construction of aluminum clad windows and doors as depicted in the approved plans;
- Removal of the rear door and regrading the area that formerly provided access to said door;
- Other associated site improvements.

	CONDITIONS OF APPROVAL	
No.	Standard Conditions	
1.	 Authorization. This approval of Design Study (DS 24322) authorizes the following; Installation of new landscaping, landscape lighting, drip irrigation; Demolition of the existing deck at the rear of the property; Construction of a new 240 square foot deck and stairs at the rear of the property; Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5'; Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans; Construction of aluminum clad windows and doors as depicted in the approved plans; Removal of the rear door and regrading the area that formerly provided access to said door; Other associated site improvements. 	√
	All work will be on the site of a single-family residence located at the San Carlos 5 Northwest of 3 rd Avenue. The project shall be constructed as depicted in the plans prepared by Hall Landscape Design and the Sienna Company dated approved by Community Planning & Building Department on January 30, 2025, unless modified by the conditions of approval contained herein.	
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional review and subsequent approval by the Community Planning & Building Director.	✓
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.	√
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration, and appropriate findings prepared for review and adoption by the Planning Commission.	√
5.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans,	✓

	for review. The project will be reviewed for its compliance to the approved plans prior to	
<u> </u>	final inspection.	
6.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
7.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list	√
	and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	
8.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
9.	Aluminum Clad Wood Frame Windows. The Applicant shall install aluminum clad wood windows. The manufacturer's specifications for the windows shall be included in the construction drawings submitted with the building permit application.	√
10.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓

11.	Driveway. The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.	√
12.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to the issuance of a demolition permit.	✓
13.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	√
14.	Truck Haul Route. Prior to Building Permit issuance, the Applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route, and any necessary temporary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	>
15.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	>
16.	Conditions of Approval. This signed copy of the conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	√
	Landscape Conditions	•
17.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓

18. Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester. 19. Significant Trees. All foundations within 15 feet of significant trees shall be excavated by ✓ hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit. 20. **Tree Protection Measures.** Requirements for tree preservation shall adhere to the **√** following tree protection measures on the construction site. Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree including the drip lines of trees on neighboring Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

ENVIRONMENTAL COMPLIANCE CONDITIONS

DS 24322 (Delimon) Conditions of Approval January 30, 2025 Page 5 of 5

21.	review and approval by the Departments a drainage plant to SOG 17-07. At a minimum, new around the site rather than formust be sized appropriately,	uance of a building permit, the Applicant shall submit for e Community Planning & Building and Public Works nat meets the requirements of the City's drainage guidance, and replaced impervious area drainage must be dispersed cused on one corner of the property, infiltration features and must be located at least 6 feet from neighboring shall include information on drainage from new impervious	
22.		suance of a building permit, the Applicant shall submit for e Community Planning & Building and Public Works P Tracking form.	-
23.	submit for review and approve Departments cross-section det	ior to issuance of a building permit, the Applicant shall Il by the Community Planning & Building and Public Works ails for semi-permeable surfaces.	
24.	shall submit for review and ap Works Departments an erosic	Plan. Prior to issuance of a building permit, the Applicant oproval by the Community Planning & Building and Publicant and sediment control plan that includes locations and and sediment control BMPs, material staging areas, and	
		SPECIAL CONDITIONS	_
25.	Landscape Installation. All new of final inspection.	w landscaping shall be installed on-site prior to scheduling	✓
26.	permit, a completed Conditi	Enowledgement. Prior to the issuance of a building ons of Approval Acknowledgment form shall be signed plicant, and Contractor and submitted to the Building	
27.		rior to commencing work on-site, the applicant shall ling permit from the Community Planning & Building	
28.	Planning Inspection Require as part of inspection for the	d. A planning rough and final inspection are required building permit.	✓
29.		a building permit, applicant shall submit new proposed dacing, shielded, and below 375 lumens.	√
Ackno	wledgement and acceptance of	conditions of approval:	
	rty Owner Signature	Printed Name Date	
oilaaA	ant Signature	Printed Name Date	

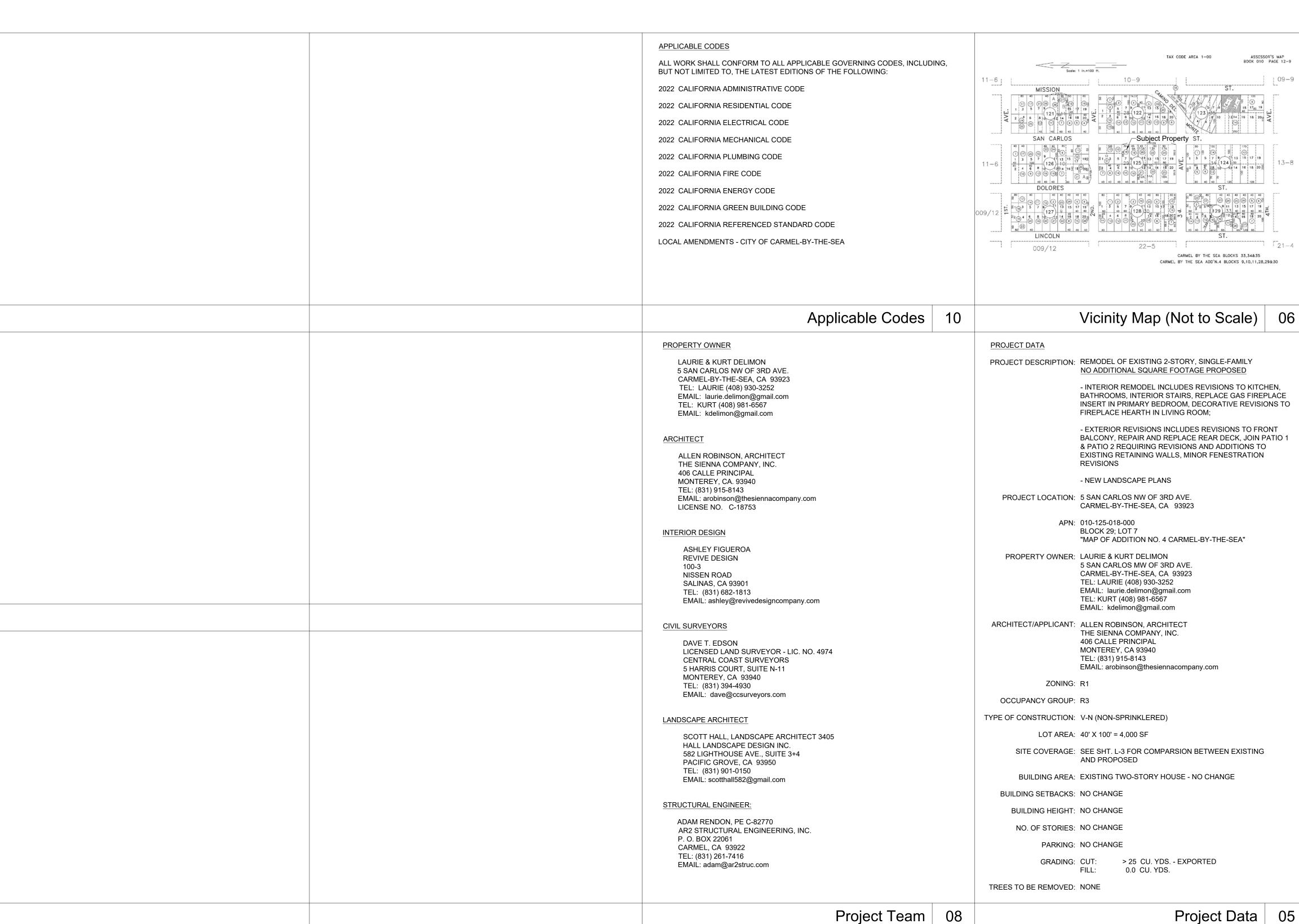
Approved 1/30/2025 DS 24322 (Delimon Carmel-by-the-Sea **Community Planning and Building** Jacob Olander, Associate Planner

DELIMON RESIDENCE REMODEL

5 San Carlos NW of 3rd Ave.

Carmel-by-the-Sea, CA 93923

APN 010-125-018-000





- G101 INDEX TO DRAWINGS, PROJECT DATA, VICINITY MAP, PROJECT TEAM
- G102 GENERAL CONSTRUCTION NOTES, INSTRUCTIONS TO BIDDERS, SYMBOLS & ABBREVIATIONS

- L-0 EXISTING SITE SURVEY WITH TOPOGRAPHIC MAP
- L-1 PROJECT INDEX (Landscaping)
- COMPARISON EXISTING & PROPOSED (Site Landscape Site Coverage)
- FRONT DRIVEWAY SECTION

- L-7 BEST MANAGEMENT PRACTICES, NOTES & DETAILS

- A102 NEW FLOOR PLANS, EXTENT OF WORK
- A103 EXISTING, DEMOLITION & NEW CONSTRUCTION FOR
- A104 EXISTING, DEMOLITION & NEW CONSTRUCTION FOR EXTERIOR ELEVATIONS,
- A106 EXISTING, DEMOLITION & NEW FRONT BALCONY PLANS & DETAILS
- A107 NEW REAR DECK PLANS & DETAILS
- PL101 ELECTRICAL POWER & LIGHTING GENERAL NOTES
- PL102 LIGHTING PLANS
- CAGrn1 CA GREEN BUILDING CODE RESIDENTIAL MANDATORY MEASURES

- 1 KITCHEN FLOOR PLAN
- KITCHEN ELEVATIONS
- GUEST BATHROOM 1 FLOOR PLAN
- GUEST BATHROOM TILE & STONE
- **GUEST BATHROOM 2 ELEVATIONS**
- PRIMARY BATHROOM ELEVATIONS
- 12 PRIMARY BATHROOM FIREPLACE

STRUCTURAL PLANS

- S0.1 STRUCTURAL GENERAL DETAILS & TYPICAL DETAILS
- S0.2 TYPICAL DETAILS
- S0.3 TYPICAL DETAILS
- S1.0 FOUNDATION/LOWER DECK FRAMING
- S2.0 UPPER FLOOR BALCONY & ROOF FRAMING

Index to Drawings, Project

Data, Vicinty Map, Project Team, Applicable Codes

THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning Construction Management

> 406 Calle Principal Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com

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Consultants:

Delimon

Project Address:

Project No:

Issue Date:

Revisions:

Sheet Title:

Residence

5 San Carlos NW of 3rd Ave.

APN 010-125-018-000

Carmel-by-the-Sea, CA 93923

2315.002

10/15/2024



- L-5 IRRIGATION & LIGHTING PLANS

- L-8 BEST MANAGEMENT PRACTICES DURING CONSTRUCTION

ARCHITECTURAL

- A101 EXISTING & DEMOLITION FLOOR PLANS
- KITCHEN INTERIOR REMODEI
- DOOR & WINDOW SCHEDULES
- A105 EXISTING, DEMOLITION & NEW INTERIOR STAIR PLANS & DETAILS

- PL103 ELECTRICAL POWER PLANS
- CAGrn2 CA GREEN BUILDING CODE RESIDENTIAL MANDATORY MEASURES

- GUEST BATHROOM 1 ELEVATIONS
- GUEST BATHROOM 2 FLOOR PLAN
- **GUEST BATHROOM TILE & STONE**
- PRIMARY BATHROOM FLOOR PLAN
- PRIMARY BATHROOM TILE & STONE
- 13 LIVING ROOM FIREPLACE HEARTH

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Approved 1/30/2025 DS 24322 (Delimo ABR Carmel by-the-Sea COMP COMPRESS(ED)(ION)(IBLE) Buile Me COMPLETE ABV Jacob Olander, Associate Planner COMPARTMENT AC ASPHALTIC CONCRETE CONC CONCRETE ACC ACCESS COND CONDITION ACFL ACCESS FLOOR CONF CONFERENCE ACID RES ACID-RESISTAN CONN CONNECTION ACOUS ACOUSTICAL CONSTR CONSTRUCTION ACOUS INSUL ACOUSTICAL INSULATION CONT CONTINUOUS ACOUS PLAS ACOUSTICAL PLASTER CONTR CONTRACT(OR) ACOUS PNL ACOUSTICAL PANEL CONV CONVECTOR ACOUSTILE ACOUSTICAL TILE COORD COORDINATE ACR PL ACRYLIC PLASTIC CORR CORRIDOR ACS ACCESSIBI F COV COVER AD AREA DRAIN COV PL COVER PLATE ADDL ADDITIONAL CP CONTROL PANEL ADDM ADDENDUM CPG COPING ADH ADHESIVE CPLG COUPLING ADJ ADJUSTABLI CPR COPPER ADJC ADJACENT CPVC CHI ORINATED PVC ADPTR ADAPTER CRCMF CIRCUMFERENCE AFF ABOVE FINISHED FLOOR CRN CROWN AFG ABOVE FINISHED GRADI CRS COLD ROLLED STEEL AFS ABOVE FINISHED SLAB CS CAST STONE AGGR AGGREGATE CSB CASING BEAD AHD AHEAD CSG CASING AHR ANCHOR(AGE CSMT CASEMENT AHU AIR HANDLING UNI CSWK CASEWORK ALM ALARM CTHK COATHOOK ALT ALTERNATE CTR CENTER ALT NO ALTERNATE NUMBER CTSK COUNTERSUNK (SCREW) ALTRN ALTERATION CTV CABLE TELEVISION ALUM ALUMINUM CUB CUBICLE AMB AMBIENT CUR CURRENT AMT AMOUNT CW CLOCKWISE ANLG ANALOG CY CUBIC YARD ANN ANNUNCIATOR CYL CYLINDER ANOD ANODIZED DEPTH ANT ANTENNA DRAIN AP ACCESS PANEL d PFNNY (NAIL) APPAR APPARATUS DAT DATUM APPROX APPROXIMATE DBI DOUBLE APT APARTMENT DBL ACT DOUBLE ACTING APVD APPROVED DBL GLZ DOUBLE GLAZING ARCH ARCHITECT(URAL DC DIRECT CURREN DEMO DEMOLITION ARF ABOVE RAISED FLOOR DEP DEPRESSED ASB ASBESTOS DEPT DEPARTMENT ASC ABOVE SUSPENDED CEILING ASL ABOVE SEA LEVEL DET DETAIL DRINKING FOUNTAIN ASPH ASPHALT DH DOUBLE HUNG ASSN ASSOCIATION DIA DIAMETER ASSY ASSEMBLY ASYM ASYMMETRICAL DIAG DIAGONAL DIFF DIFFERENCE ATCH ATTACHMENT ATM ATMOSPHERE DIM DIMENSION ATS AUTOMATIC TRANSFER SWITCH DISP DISPENSER DIST DISTANCE AUTO AUTOMATIC DISTR PNL DISTRIBUTION PANEL AUX AUXILIARY DIV DIVIDE(R)(ION) AV AUDIO VISUAL DL DEAD LOAD AVE AVENUE AWG AMERICAN WIRE GAGE DMPR DAMPER DMPRF DAMPPROOFING AZ AZIMUTH B&B BALLED AND BURLAPPED DMT DEMOUNTABLE B&F BELL AND FLANGE DN DOWN B&S BELL AND SPIGO DO DITTO DPDT DOUBLE POLE, DOUBLE THROW B/B BACK TO BACK BAF BAFFLE DPL DISPOSAI DPST DOUBLE POLE, SINGLE THROW BAL BALANCE DR DOOR, DRIVE BARO BAROMETER BAT BATTERY DS DOWNSPOUT DT DRAIN TILE BBD BULLETIN BOARD DUPL DUPLICATE BBR BASE BOARD RADIATOR DVTL DOVETAIL BBRG BALL BEARING DW DISHWASHER BCU BASE CABINET UNITS BD BOARD DWG DRAWING DWL DOWEL BEV BEVEL DWR DRAWER BI BLACK IRON DWTR DUMBWAITER BITUM BITUMINOUS DWV DRAIN WASTE & VENT BJT BED JOINT BL BASE LINE DX DIRECT EXPANSION BLDG BUILDING EAST EA EACH BLK BLOCK ECC ECCENTRIC BLKG BLOCKING EF EXHAUST FAN BLKHD BULKHEAD BIST BALLAST FFI FFFI UFNT EXPANSION JOINT BLVD BOULEVARD EL ELEVATION BLW BELOW BLW CLG BELOW CELLING ELAS ELASTOMERIC ELB ELBOW BLW FF BELOW FINISH FLOOR ELEC ELECTRIC(AL) BM BEAM ELEV ELEVATION, ELEVATION BMK BENCH MARK EMER EMERGENCY BOC BACK OF CURE BOT BOTTOM ENAM ENAMEL ENCL ENCLOSURE BR BEDROOM ENG ENGINE BRCG BRACING ENGY ENERGY BRDG BRIDGING ENTR ENTRANCE BRDG JST BRIDGING JOIST EPDM ETHYLENE PROPYLENE DIENE MONOMER BRG BEARING BRG PL BEARING PLATE EQ EQUAL EQL SP EQUALLY SPACED BRK BRICK BRKR BREAKER EQUIP EQUIPMENT **EQUIV EQUIVALENT** BRKT BRACKET **ERECT ERECTION** BRS BRASS ESCAL ESCALATOR BRZ BRONZE BS BOTH SIDES EST ESTIMATE EVAP EVAPORATE(OR) BSHG BUSHING BSMT BASEMENT EW EACH WAY EWC ELECTRIC WATER COOLER BTFL BUTTERFLY EXC EXCAVATE BTU BRITISH THERMAL UNIT EXCH EXCHANGE BTUH BRITISH THERMAL UNITS PER HOUR EXH EXHAUST BTWN BETWEEN EXP EXPANSION BUR BUILT UP ROOF EXP BT EXPANSION BOLT BVL BEVELED EXP JT EXPANSION JOINT BW BOTH WAYS EXPRF EXPLOSION PROOF CAB CABINET EXST EXISTING CAD CADMIUM **EXST GR EXISTING GRADE** CAL CALIBRATE CAP CAPACITY EXT EXTERIOR EXTN EXTENSION CARP CARPET CAT CATALOG EXTR EXTRUSION CAV CAVITY F/F FACE TO FACE FA FIRE ALARM CB CATCH BASIN CBORE COUNTERBORE FAC FACTORY FACP FIRE ALARM CONTROL PANEL CCTV CLOSED CIRCUIT TELEVISION FBD FIBERBOARD CCW COUNTER CLOCKWISE FBRK FIRE BRICK CEM CEMENT FC FOOTCANDLE CEM PLAS CEMENT PLASTER FCO FLOOR CLEANOUT CER CERAMIC FCU FAN COIL UNIT CER TILE CERAMIC TILE FD FLOOR DRAIN CF CUBIC FOOT CFCI CONTR FURNISHED/CONTR INSTALLED FDC FIRE DEPARTMENT CONNECTION FDMPR FIRE DAMPER CFL COUNTER FLASHING FDN FOUNDATION CFM CUBIC FEET PER MINUTE FDR FEEDER CG CORNER GUARD FEC FIRE EXTINGUISHER CABINET CHAM CHAMFER FEM FEMALE CHAN CHANNEL FEXT FIRE EXTINGUISHER CHBD CHALKBOARD FF FACTORY FINISH CHEM CHEMICAL FFE FINISHED FLOOR ELEVATION CI CAST IRON FFL FINISHED FLOOR LINE CIP CAST IN PLACE FG FIXED GLASS CIR CIRCLE FGL FIBERGLAS CIRC CIRCULAR FHC FIRE HOSE CABINET CJ CONSTRUCTION JOINT FHMS FLAT HEAD MACHINE SCREW CJT CONTROL JOINT FHR FIRE HOSE RACK CL CENTER LINE FHWS FLAT HEAD WOOD SCREW CLG CEILING FHY FIRE HYDRANT CLG HT CEILING HEIGH FIN FINISH(ED) CLK CAULK FIN FL FINISH FLOOR CLKG CAULKING FIN GR FINISH GRADE CLL CONTRACT LIMIT LINE FIXT FIXTURE CLOS CLOSET FL FLASHING CLP CLAMP FL GL FLOAT GLASS CLR CLEAR FLDG FOLDING CLRM CLASSROOM FLG FLANGE CLS CLOSURE FLL FLOW LINE CM CENTIMETER FLR FLOOR CMU CONCRETE MASONRY UNIT

FOM FACE OF MASONRY FOP FACE OF PARTITION FOS FACE OF STUDS FP FREEZING POIN FPM FEET PER MINUTI FPRF FIREPROOFING FPS FEET PER SECOND FPT FEMALE PIPE THREAD FR FRAME(D)(ING) FRC FIRE RESISTANT COATING FREQ FREQUENCY FRGD FORGED FRPL FIREPLACE FRT FIRE RETARDANT TREATED FS FULL SIZE FSTNR FASTENER FT FFFT FOOT FTG FOOTING FTR FLUE THRU ROOF FURN FURNITURE FURR FURR(ED)(ING) FUT FUTURE FWC FABRIC WALL COVERING GA GAGE GAL GALLON GALV GALVANIZED GB GRAB BAR GC GENERAL CONTRACTOR GCO GRADE CLEANOUT GDR GUARD RAII GEN GENERATOR GENL GENERAL GFI GROUND FAULT INTERRUPTER GL GLASS GL BLK GLASS BLOCK GLU LAM GLUE LAMINATED GLZ GLAZING GLZ CMU GLAZED CONCRETE MASONRY UNIT GND GROUND GOVT GOVERNMENT GP GALVANIZED PIPE GPM GALLONS PER MINUTE GR GRAD(E)(ING) GR BM GRADE BEAM GRL GRILLE GRN GRANITE GRPG GLASS REINF. POLYMERIZED GYPSUM GRTG GRATING GSKT GASKET GSNK GOOSENECK GSS GALVANIZED SHEET STEEL GT GROUT GUT GUTTER GVL GRAVEL GYP GYPSUM GYP BD GYPSUM BOARD GYP PLAS GYPSUM PLASTER H HIGH H/C HANDICAP(PED HB HOSE BIBB HC HOLLOW CORE HD HEAD HD JT HEAD JOINT HDRD HARDROARD HDNR HARDENER HDR HEADER HDWD HARDWOOL HDWE HARDWARE HDWL HEADWALL HEX HEXAGONAL HGR HANGER HGT HEIGHT HH HANDHOLE HID HIGH INTENSITY DISCHARGE HK HOOK HM HOLLOW META HNDRL HAND RAIL HNDWL HANDWHEE HORIZ HORIZONTAL HP HORSEPOWER HPT HIGH POINT HR HOUR HSB HIGH STRENGTH BOLT HSTAT HUMIDSTAT HTG HEATING HTR HEATER 1VAC HEATING HVY HEAVY HW HOT WATER HWY HIGHWAY HYD HYDRANT HYDR HYDRAULIC HZ HERTZ ID INSIDE DIAMETER IGN IGNITION ILLUM ILLUMINATION INCAND INCANDESCENT INCIN INCINERATOR INCL INCLUDE(D) IND INDICATOR INDL INDUSTRIAL INFO INFORMATION INL INLET INSTL INSTALLATION INSTR INSTRUMEN INSUL INSULATION INSUL PNL INSULATED PANE INT INTERIOR INTLK INTERLOCK INTM INTERMEDIATE INV INVERT INV EL INVERT ELEVATION IPS INSIDE PIPE SIZE ISO ISOMETRIC JAN JANITOR JB JUNCTION BOX JCT JUNCTION JR JUNIOR JST JOIST JT JOINT K KIP (1000 LB) KB KNEE BRACE KCP KEENE'S CEMENT PLASTER KD KII N DRIFD KIT KITCHEN KO KNOCKOU KPL KICK PLATE KV KII OVOLT KVA KILOVOLT AMPERE KW KII OWATT KWH KILOWATT HOUR LAB LABORATORY LAD LADDER IAM IAMINATE(D) LATI LATERAL LAU LAUNDRY LAV LAVATORY LB POUND LBL LABEL LBR LUMBER LD BRG LOAD BEARING LDG LANDING LDR LEADER LF LINEAR FOOT IG IENGTH LGB LAG BOLT IH I FFT HAND LHR LEFT HAND REVERSE LIB LIBRARY LIN LINEAR LIQ LIQUID IKR LOCKER LKR RM LOCKER ROOM LL LIVE LOAD LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL

LNTL LINTEL

LOC LOCATION

LONG LONGITUDINAL

LVL LEVEL(ER LVR LOUVER M METER(S) MACH MACHINE MACH RM MACHINE ROOM MAINT MAINTENANCE MAN MANUAI MARB MARBLE MAS MASONRY MATI MATERIAI MATY MASTER ANTENNA TELEVISION MAX MAXIMUM MB MACHINE BOLT MBF THOUSAND BOARD FFF MBH MOP/BROOM HOLDER MBR MASTER BEDROOM MBR MEMBER MC MEDICINE CABINET MC MOMENT CONNECTION MCC MOTOR CONTROL CENTER MCF THOUSAND CUBIC FEET MCM THOUSAND CIRCULAR MILS MDO MEDIUM DENSITY OVERLAY MECH MECHANICAL MED MEDIUM MEMB MEMBRANE MET METAL MEZZ MEZZANINE MFG MANUFACTURING MER MANUFACTURER MG MOTOR GENERATOR MGD MILLION GALLONS PER DAY MH MAN HOLE MHT MEAN HIGH TIDE MI MALLEABLE IRON MILE MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MK MARK MKR MARKER MLDG MOLDING MLT MEAN LOW TIDE MLWK MILLWORK MM MILLIMETER(S MO MASONRY OPENING MOD MODULE(AR) MON MONUMENT MOT MOTOR MPH MILES PER HOUR MPT MALE PIPE THREAD MR MOISTURE RESISTANT MS MACHINE SCREW MT MOUNT MTD MOUNTED MTG MOUNTING MTR MORTAR MULL MULLION MULT MULTIPLE MVBL MOVABLE N NORTH NA NOT APPLICABLE NAT NATURAL NEG NEGATIVE NEUT NEUTRAI NIC NOT IN CONTRACT NKL NICKEL NO NUMBER NOM NOMINAL NOZ NOZZLE NR NOISE REDUCTION NRC NOISE REDUCTION COEFFICIENT NRP NON-RISING PIN NTS NOT TO SCALE O/ OVER O/A OVERALL O/O OUT TO OUT OA OUTSIDE AIR OBS OBSCURE OC ON CENTER OD OUTSIDE DIAMETER OFCI OWNER FURNISHED-CONTRACTOR INSTALLED OFF OFFICE OFOL OWNER FURNISHED-OWNER INSTALLED OHMS OVALHEAD MACHINE SCREW OHWS OVALHEAD WOOD SCREW OPNG OPENING OPP OPPOSITE OPP.HD OPPOSITE HAND OPT OPTIONAL ORD OVERFLOW ROOF DRAIN ORIG ORIGINAL OVFL OVERFLOW OVHD OVERHEAD OZ OUNCE POLE PA PUBLIC ADDRESS PAF POWDER ACTUATED FASTENER PAR PARALLEI PARG PARGING PAT PATENT PB PUSHBUTTON PBD PARTICLE BOARD PC POINT OF CURVE PCC POINT OF COMPOUND CURVE PCD PAPER CUP DISPENSE PCEM PORTLAND CEMENT PCF POUNDS PER CUBIC FOOT PE PORCELAIN ENAMEL PED PEDESTAL PERF PERFORATE(D PERI PERIMETER PERM PERMANENT PERP PERPENDICULAR PGBD PEGBOARD PH PHASE PHOTO PHOTOGRAPH PHS PHILLIP'S HEAD SCREW PI POINT OF INTERSECTION PIV POST INDICATOR VALVE PKG PACKAGE PKWY PARKWAY PL PLATE PLAM PLASTIC LAMINATE PLAS PLASTER PLAT PLATFORM PLBG PLUMBING PLF POUNDS PER LINEAR FOOT PLYWD PLYWOOD PNEU PNEUMATIC PNL PANEL PNT PAINT PNTD PAINTED POL POLISHED POLY POLYETHYLEN PORT PORTABLE POS POSITIVE PPM PARTS PER MILLION PR PAIR PRC POINT OF REVERSE CURVE PRCST PRECAST PREFAB PREFABRICATED PREFIN PREFINISHED PRELIM PRELIMINARY PREP PREPARATION PRI PRIMARY PRKG PARKING PROJ PROJECT PROP PROPERTY PRV PRESSURE REDUCING VALVE PS CONC PRESTRESSED CONCRETE PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT POINT OF TANGENCY PTD PAPER TOWEL DISPENSER PTD/R PAPER TOWEL DISPENSER & RECEPTACLE PTDF PRESSURE TREATED DOUGLAS FIR

PTN PARTITION

PTR PAPER TOWEL RECEPTACLE

QUAL QUALITY R RISFR R THERMAL RESISTANCE R/S RESAWN RA RETURN AIR RAD RADIUS RADN RADIATION RBL RUBBLE STONE RBR RUBBER RBT RABBET RC REMOTE CONTROL RCP REINFORCED CONCRETE PIPE RCVR RECEIVER RD ROOF DRAIN RE REFER TO REBAR REINFORCING BAR REC RECESSED RECD RECEIVED RECOM RECOMMEND(ATION RECPT RECEPTACLE RECT RECTANGULAR REF REFERENCE REFL REFLECTOR REFR REFRIGERATION REG REGULATION REINF REINFORCE(D)(ING)(MENT) REM REMOVE(ABLE REPRO REPRODUCE REQ REQUIRE REOD REQUIRED REQS REQUIREMENTS RESIL RESILIENT RET RETURN RETG RETAINING REV REVISION RFG ROOFING RGH ROUGH RGTR REGISTER RH RIGHT HAND RHMS ROUND HEAD MACHINE SCREW RHR RIGHT HAND REVERSE RHWS ROUND HEAD WOOD SCREW RLG RAILING RM ROOM RND ROUND RO ROUGH OPENING ROW RIGHT OF WAY RPM REVOLUTIONS PER MINUTE RR RAILROAD RTG RATING RV ROOF VENT RVS REVERSE RVT RIVET(ED) RWC RAIN WATER CONDUCTOR RWD REDWOOD RWL RAIN WATER LEADER S SOUTH S&R SHELF & CLOTHES ROD S4S SURFACED 4 SIDES SA SUPPLY AIR SALV SALVAGE SAN SANITARY SB SPLASH BLOCK SC SOLID CORE SCD SEAT COVER DISPENSER SCHED SCHEDULE SCRN SCREEN SCT STRUCTURAL CLAY TILE SCU STORAGE CABINET UNITS SD SOAP DISPENSER SD STORM DRAIN SDMH STORM DRAIN MANHOLE SEC SECOND SECT SECTION SEG SEGMENT SF SQUARE FOO SGL SINGLE SHLDR SHOULDER SHR SHOWER SHT SHEET(ING) SHTHG SHEATHING SHV SHELVES(ING) SIG SIGNAL SIM SIMILAR SJT SCORED JOINT SK SINK SL SLIDE(ING SLNT SEALANT SLP SLOPE SLV SLEEVE SMLS SEAMLESS SMS SHEET METAL SCREW SND SANITARY NAPKIN DISPENSER SNR SANITARY NAPKIN RECEPTACLE SP SINGLE POLE SPCL SPECIAL SPDT SINGLE POLE, DOUBLE THROW SPEC SPECIFICATION SPECS SPECIFICATIONS SPKLR SPRINKLER SPKR SPEAKER SPLY SUPPLY SPRT SUPPORT SPST SINGLE POLE, SINGLE THROW SQ SQUARE SQ IN SQUARE INCH SO KM SOLIARE KILOMETER SQ MM SQUARE MILLIMETER SQ YD SQUARE YARD SS SANITARY SEWER SSK SERVICE SINK SST STAINLESS STEEL ST STREET STA STATION STAG STAGGERED STC SOUND TRANSMISSION CLASS STD STANDARD STG SEATING STIR STIRRUP STK STAKE STL STEEL STL JST STEEL JOIST STL PL STEEL PLATE

STOR STORAGE

STRUCT STIRISTRURAL STEEL

SUPPL SUPPLEMENT(AL)(ARY

SUSPICLG SUSPENDED CEILING

STR STRAIGHT

SURF SURFACE

SVCE SERVICE

SW SIDEWALK

SWR SEWER

SYM SYMBOL

SYS SYSTEM

TAN TANGENT

TB TOWEL BAR

TC TERRA COTTA

TD TRENCH DRAIN

TECH TECHNICAL

TEL TELEPHONE

TEMP TEMPERATURE

TEMP TEMPORARY

TG TOP OF GRATE

THD THREAD(ED)

THK THICK(NESS)

THRES THRESHOLD

TM TOP OF MASONRY

THERM THERMAL

THRU THROUGH

TK BD TACKBOARD

TMPD TEMPERED

TER TERRAZZO

T TREAD

SYMM SYMMETRICAL

T&B TOP AND BOTTOM

T&G TONGUE AND GROOVE

TOP OF CURB (ELEVATION)

SYNTH SYNTHETIC

SUSP SUSPENDED

UV ULTRAVIOLET

VA VOLT AMPERE

VCT VINYL COMPOSITION TILE

VWC VINYL WALL COVERING

VOI T

VAC VACUUM

VAP VAPOR

VAR VARNISH

VEH VEHICLE

VEL VELOCITY

VERT VERTICAL

VEST VESTIBULE

VIB VIBRATION

VIT VITREOUS

VNR VENEER

VOL VOLUME

VT VINYL TILE

WEST

W/O WITHOUT

WC WATER CLOSET

WCO WALL CLEANOUT

₩/ ₩I₽∏H

WD WOOD

WDW WINDOW

WFR WAFER

WF WIDE FLANGE

WGL WIRE GLASS

WH WATER HEATER

WHB WHEEL BUMPER

WHSE WAREHOUSE

WL WIND LOAD

WLD WELDED

WI WROUGHT IRON

WP WORKING POINT

WSCT WAINSCOT

WT WEIGHT

WTR WATER

XFR TRANSFER

YD YARD

(F) FUTURE

(N) NEW

(F) FXISTING

WR WASTE RECEPTACLE

WRP WATER REPELLANT

WTRPRF WATERPROOF(ING)

WWF WELDED WIRE FABRIC

WSP WET STAND PIPE

XEMR TRANSFORMER

WHA WATER HAMMER ARRESTER

WH WALL HUNG

VERM VERMICULITE

VG VERTICAL GRAIN

1. INTERESTED BUILDING CONTRACTORS SHALL COMPLY WITH ALL INSTRUCTIONS TO BIDDERS ISSUED BY THE ARCHITECT. 2. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FAMILIARIZE TOT TOTAL THEMSELVES WITH ALL EXISTING FIELD CONDITIONS AND PROJECT DOCUMENTS PRIOR TOW TOP OF WALL TO SUBMITTING A BID. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TP TOP OF PAVEMENT TPD TOILET PAPER DISPENSER BETWEEN THE FIELD CONDITIONS AND THE PROJECT DOCUMENTS. FAILURE TO DO SO TPI TOP OF PLATE MAY RESULT IN NECESSARY MODIFICATIONS TO THE WORK TO BE MADE AT TPTN TOILET PARTITION CONTRACTORS EXPENSE. TR TRANSOM TRANS TRANSPAREN TRNBKI TURNBUCKI F 3. AT TIME OF BIDDING, THE CONTRACTOR SHALL HAVE A CURRENT CALIFORNIA TSTAT THERMOSTAT CONTRACTOR'S LICENCE ACCEPTABLE BY THE COUNTY OF MONTEREY AND TV TELEVISION WORKMEN'S COMPENSATION INSURANCE FOR THEMSELVES AND ALL INDIVIDUALS TYP TYPICAL U HEAT TRANSFER COEFFICIENT UNDER HIS DIRECT SUPERVISION AND SHALL NOT ENGAGE WITH INDIVIDUALS NOT UNDERCUT COVERED BY WORKMEN'S COMPENSATION TO PERFORM SERVICES FOR THE WORK OR LIGND LINDERGROUND OTHERS THAT COULD EXPOSE THE OWNERS TO LIABILITIES DUE TO WORKMEN'S UH UNIT HEATER COMPENSATION DEFICIENCIES. UL UNDERWRITER'S LABORATORY ULT ULTIMATE UNEX UNEXCAVATED 4. CONTRACTOR SHALL CARRY GENERAL LIABILITY INSURANCE AND SHALL HAVE THE UNFIN UNFINISHED OWNERS AS ADDITIONALLY INSURED ON THIS POLICY. CONTRACTOR SHALL SUBMIT UNIF UNIFORM CERTIFICATES OF INSURANCE TO THE OWNER PRIOR TO COMMENCEMENT OF WORK. UNIV UNIVERSAL UON UNI ESS OTHERWISE NOTED UPS UNINTERRUPTIBLE POWER SUPPLY UR URINAI UTIL UTILITY

5. CONTRACTOR TO HAVE A VALID BUSINESS LICENSE AND ANY OTHER SPECIAL LICENSES REQUIRED BY THE CITY OR COUNTY IN WHICH THE PROJECT IS LOCATED. 6. CONTRACTOR SHALL SUBMIT SCHEDULE AND SEQUENCE OF WORK DIAGRAM TO THE OWNER PRIOR TO COMMENCEMENT OF WORK.

Instructions to Bidders PLAN NORTH NORTH NORTH ARROW **COLUMN LINES** (letters in one direction. numbers in the other direction) DOOR NUMBER 6 OR DOOR NUMBER DOOR NUMBER HARDWARE GROUP G WINDOW MARK **KEY NOTE** WALL/PARTITION TYPE **CONTROL POINT** ELEV. NUMBER **ELEVATION VIEW** SHEET NUMBER DETAIL NUMBER -**BUILDING SECTION** SHEET NUMBER ► \ A300 NUMBER/SHEET NUMBER ► 14/A100 **DETAIL SECTION** SIDE SHOWN MATCH LINE SHEET NUMBER ── \ A/100 \ BEDROOM NO. **ROOM NAME &** 100 **ROOM NUMBER** CEILING FINISH 1 2 WALL FINISH ROOM FINISH KEY BASE FINISH SHEET NUMBER -INTERIOR ELEVATION **ELEVATION NUMBER** REVISION DESIGNATION (cloud indicates extent) EXISTING CONTOUR LINE **NEW CONTOUR LINE EXISTING ELEVATION** EL 56.08 **NEW ELEVATION**

1. CONTRACTOR SHALL MAINTAIN A CURRENT SET OF APPROVED CONSTRUCTION DOCUMENTS AND COPIES OF THE CONSTRUCTION CONTRACT AGREEMENT AND / 0R PROPOSED AND / OR APPROVED ITEMS OF CHANGE COMMUNICATIONS WITH OWNERS AND ARCHITECT ON SITE

2. CONTRACTOR TO INDICATE ON A COPY SET OF APPROVED DOCUMENTS ALL APPROVED CHANGES TO THE PROJECT AS A RECORD SET THAT WILL BE DELIVERED TO THE OWNER AT THE END OF THE JOB.

3. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE PROJECT DOCUMENTS AND EXISTING CONDITIONS TO THE ARCHITECT FOR CLARIFICATION AND REVISION PRIOR TO BEGINNING WORK.

4. ANY DISCREPANCY BETWEEN THE PROJECT DOCUMENTS SUPPLIED BY ARCHITECT AND CONSULTANT DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

5. IF FIELD CONDITIONS DICTATE AN UNDISCOVERED FIELD CONDITION DURING CONSTRUCTION, THE CONTRACTOR IS TO INFORM THE ARCHITECT AND / OR THE OWNER AND CEASE WORK IN THAT SPECIFIC AREA OF WORK UNTIL THE CONDITION IS RESOLVED AND A CLEAR DIRECTION IS DETERMINED AND AGREED UPON BEFORE PROCEEDING.

6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

7. THESES DRAWING SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE, YET IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE TO MEET THE INTENT THE PROPER, ESTABLISHED CONSTRUCTION PRACTICES WITHIN THE REGION OF THE PROJECT SITE

8. WHERE THERE IS NO SPECIFIC DETAIL SHOWN, THE CONSTRUCTION SHALL SIMILAR TO SIMILAR CONSTRUCTION EXISTING AT THE SITE IN THE CASE OF REMODELING OR ADDITIONS, AND FOR AT A SPECIFIED COMPARATIVE PROJECT AGREED AS AN EXAMPLE BEFORE THE COMMENCEMENT OF WORK.

9. WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION, ALL SUCH MATERIALS AND / OR METHODS ARE TO BE PERFORMED AT THE LOCALLY ACCEPTED STANDARD FOR THE INDUSTRY TO BE ARBITRATED BY THE ARCHITECT.

10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES AND GOVERNING AGENCIES. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN OR INFERRED ON THESE DOCUMENTS TO RENDER THE WORK COMPLETE.

11. CONTRACTOR SHALL PROTECT THE BUILDINGS FROM DAMAGE, INCLUDING, BUT NOT LIMITED TO, DUST AND WATER. CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL WORK AREAS. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT THE SOLE DISCRETION OF THE OWNER. THE CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND THE CORRECTIVE WORK.

12. CONTRACTOR SHALL PROVIDE BARRIERS, FENCING, BARRICADES, SIGNALS, ETC. AS REQUIRED TO PROTECT THE OWNER, OWNER'S PROPERTY AND THE GENERAL PUBLIC FROM ANY AND ALL HARM AND DAMAGE AS A RESULT OF THE EXECUTION OF THIS WORK.

13. DO NOT CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT WOULD CHANGE THEIR LOAD-CARRYING CAPACITY OR LOAD-DEFLECTION RATIO. CUT EXISTING CONSTRUCTION USING METHODS LEAST LIKELY TO DAMAGE ELEMENTS RETAINED OR ADJOINING CONSTRUCTION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO RETAINED ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE VISUAL EVIDENCE OF PATCHING AND REFINISHING. REMOVE AND REPLACE CONSTRUCTION CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.

14. THE CONTRACTOR SHALL COORDINATE THE WORK WILL ALL EQUIPMENT FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.

5. MATERIALS, EQUIPMENT NOT INDICATED ON PROJECT DOCUMENTS BUT ESSENTIAL TO THE SUCCESSFUL AND EFFICIENT COMPLETION OF THE INSTALLATION AND / OR CONSTRUCTION SHALL BE FURNISHED AND INSTALLED WITH NO INCREASE IN COST TO

16. CONTRACTOR TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS WHEN THOSE INSTRUCTIONS AND RECOMMENDATIONS EXCEED THE REQUIREMENTS OF THE PROJECT DOCUMENTS.

17. CONTRACTOR SHALL MAINTAIN AN ON-SITE COPY OF MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FABRICATED PRODUCTS, INCLUDING, BUT NOT LIMITED TO, FIREPLACE, APPLIANCES, FURNACE, FIRE SEALANTS, MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, ETC. THE COPY SHALL BE MADE AVAILABLE TO THE BUILDING INSPECTOR UPON REQUEST.

18. WHERE NOT SPECIFICALLY INDICATED ON DRAWINGS, FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT, PANEL BOARDS, FIXTURES, METERS. FLUES, VENTS, ETC. SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

FOR COMPLIANCE FOR PROPER APPLICATION OF FINISHED MATERIAL. DO NOT BEGIN APPLICATION UNTIL SATISFACTORY CONDITIONS HAVE BEEN MET.

19. EXAMINE ALL SUBSTRATES AND OTHER CONDITIONS UNDER FINISH MATERIALS

20. ALL FIXTURES ARE TO BE INSTALLED IN ALL ASPECTS WITH TRIM, SEALS, SEALANT AS REQUIRED TO MAKE WORK READY FOR PROPER SERVICE AND USE.

21. VISUAL EFFECTS: PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK, REFER QUESTIONABLE JOINT ALIGNMENTS TO ARCHITECT FOR FINAL DECISION.

22. THE ORGANIZATION OF THESE DOCUMENTS IS NOT INTENDED TO CONTROL THE

DIVISION OF WORK AMONG SUBCONTRACTORS. IT SHALL BE THE GENERAL

CONTRACTORS RESPONSIBILITY TO DIVIDE AND COORDINATE THE WORK.

23. IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR SUPERVISION OF THE WORK AND OMISSIONS OF THE WORK SHOWN OR INFERRED IN THESE DOCUMENTS.

24. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION, PROPER EXECUTION OF THE WORK AND / OR POSSIBLE ERRORS OR OMISSIONS OF THE WORK SHOWN OR INFERRED IN THESE DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS.

25. THE CONTRACTOR SHALL PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS. UNLESS OTHERWISE AGREED UPON BY THE OWNER.

26. ANY REQUEST TO PERFORM WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT AND / OR THE OWNER.

27. ANY PROPOSED SHUTDOWN OF UTILITIES SHALL BE REQUESTED IN WRITING AS LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT AND / OR THE OWNER

28. PROJECT DOCUMENTS AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, AND ORDINANCE REQUIREMENTS.

29. COPIES OF THE PROJECT DOCUMENTS ARE SUPPLIED TO THE OWNER AND THE CONTRACTOR FOR USE IN THE CONSTRUCTION OF THIS PROJECT ONLY. THE PROJECT DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS, ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORMAT NOR ASSIGNED TO A THIRD

THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning Construction Management

> 406 Calle Principal Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com



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Consultants:

Denmon Residence

Project Address:

5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

Project No: 2315.002 10/15/2024 Issue Date:

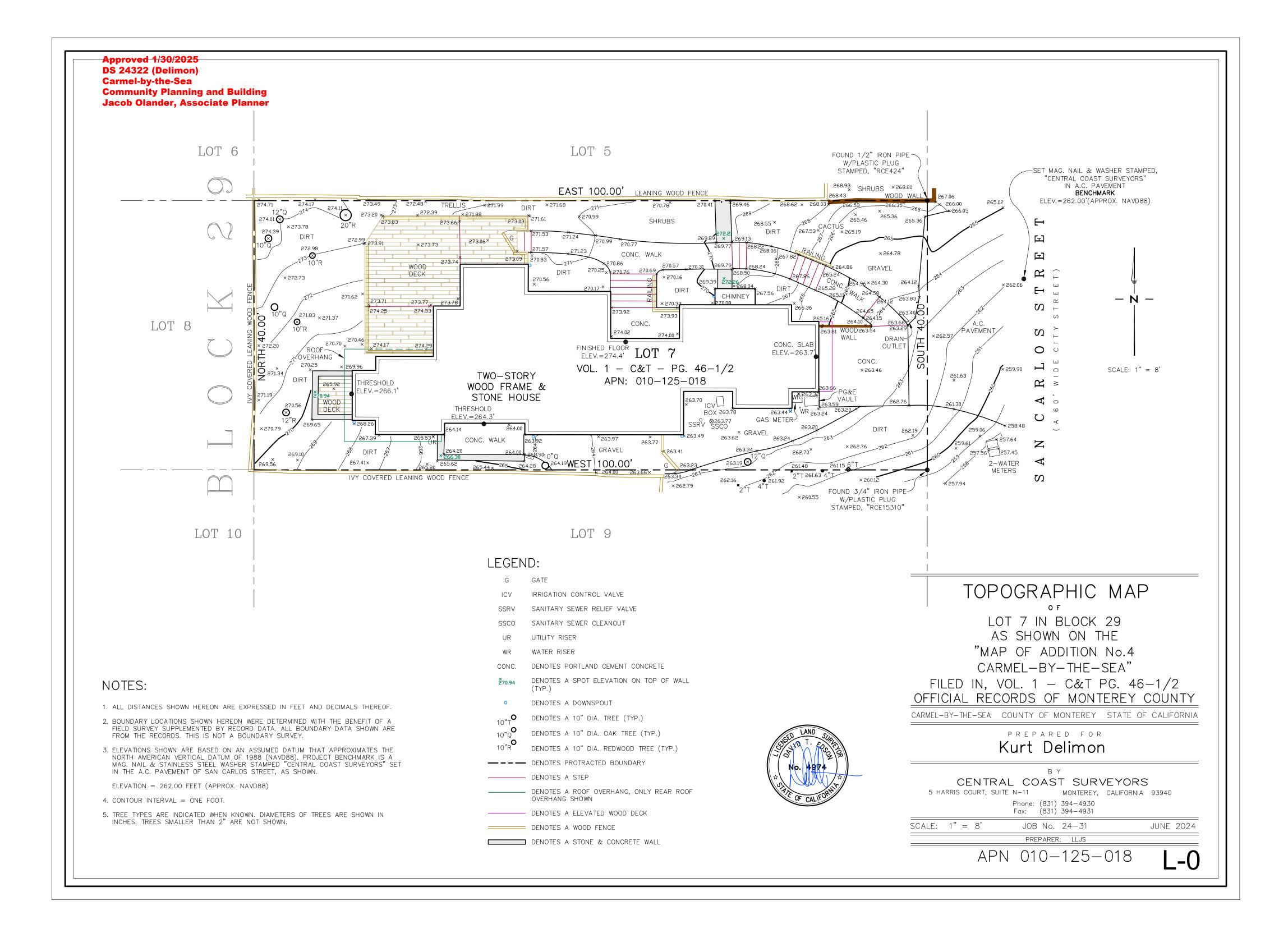
Revisions:

Sheet Title:

General Construction Notes, Instructions to Bidders Symbols & Abbreviations

RECORD.

PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION BY THE ARCHITECT OF



SCOPE OF LANDSCAPE WORK:

SCOPE OF TASKS INCLUDE:

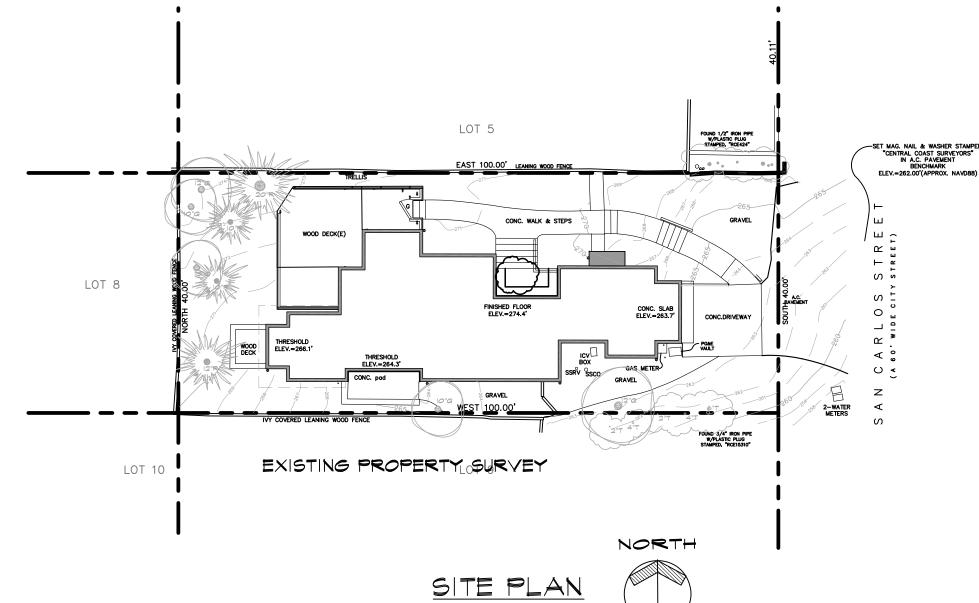
- 1. NEW ENTRY AS DEFINED BY MORE PLANT SPACE & A SAFE WALK TO THE FRONT DOOR Steps which are consistent with an even rhythm to walk
 - Safe non slip surface
 - Low Garden Retaining Walls new & existing organize the planting and offer protection to the staircase
- 2. REBUILD AND RECONFIGURED BACK DECK AT THE BACK OF THE HOUSE
 - Layout on Landscape Site Coverage sheet . Size has been reduced to fit with overall Site Coverage calculations while providing a functional, comfortable & compliant useable outdoor space on this hillside home
 - Refer to Building Architects Plan for layout and building construction details
- 3. UPDATE AND EXPAND CURRENT IRRIGATION IRRIGATION SYSTEM with a sensible irrigation delivery system which follows current state water resources and Monterey County water management efficient garden water use requirements by State & Local water agencies. Plans follow City of Carmel-by-the-Sea design intent.
- 4. LIGHTING: ADD SAFETY EGRESS IN THE BACKYARD BY THE ADDITION SOME SENSIBLE LIGHT FIXTURES WHICH MEET THE CITY REQUIREMENTS AND ARE LOW VOLTAGE AND LED.

EGRESS AROUND THE SIDE OF THE HOUSE AND DOORWAY LANDINGS (required by the California Building code),

- ALL FOR SAFE NAVIGATION AROUND THE SITE. OUTDOOR LIVING SPACE;
- THE DECK IS MADE SAFE AND SMALLER THAN EXISTING. REFER TO BUILDING ARCHITECT'S DRAWINGS
- MAINTAINING THE EXISTING WALKWAYS AND LOCATIONS FOR ENTRY IS A SAFE AND PRACTICAL SOLUTION AND WILL NOT BE DETRIMENTAL TO PROPERTY OR INJURIOUS TO PUBLIC HEALTH, SAFETY OR WELFARE.

LANDSCAPE CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE PREFORMED IN CONFORMANCE WITH LOCAL CITY OF CARMEL-BY-THE-SEA, COUNTY & STATE CODES, LAWS, ORDINANCES AND REGULATIONS. BUILDING CODES AND ALL OTHER ASSOCIATED CODE ITEMS WHICH SHALL INCLUDE BUT NOT BE LIMITED TO CURRENT UNIFORM BUILDING STANDARDS CODE 2022 REGULATIONS (TITLE24) FOR MASONRY, ELECTRICAL & PLUMBING SCOPES OF WORK.
- INSTALLATION OF THE NEW NATURAL GAS FIREPLACE SHALL ALSO FOLLOW THE CARMEL BY THE SEA MUNICIPAL TITLE 15.24 /2022 BUILDING CODES / PLUMBING CODE (CPC) FOR NATURAL GAS INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT USA (800) 642-244) OR ON LINE. ISSUANCE OF THE PERMIT RESTS WITH THE CONTRACTOR RECEIVING AN 811 TICKET PROVING ALL UTILITIES HAVE BEEN SURVEYED AND MARKET AT THE STREET BY THE APPROPRIATE AGENCIES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD CURRENT CITY BUSINESS LICENSE.
- THE CALIFORNIA LICENSED LANDSCAPE CONTRACTOR SHALL CARRY AM MINIMUM 2 MILLION DOLLARS LIABILITY INSURANCE POLICY AND SHALL PROVIDE PROOF AND NAME THE OWNER IN THE ASSURANCE AT TIME OF THE CONTRACT SIGNING.
- THE CONTRACTOR SHALL PROVIDE A PORTABLE TOILET WHICH SHALL BE SCREENED FROM PUBLIC VIEW DURING THE PROJECT CONSTRUCTION SHOULD THE MAIN BUILDING CONTRACTOR FINISHED WORKING ON THE SITE.
- NO TREES ARE TO BE REMOVED FOR THE PROJECT
- TREE PROTECTION MEASURES MAY BE FOUND ON SHEET 6







SHEET INDEX:

- L-1 PROJECT TITLE SHEET
- L-2 EXISTING SITE
- L-3 EXISTING & PROPOSED SITE COMPARISONS
- L-4 LANDSCAPE LAYOUT / SECTION & ELEVATION / DETAILS
- L-5 IRRIGATION & LIGHTING PLANS
- L-6 PLANTING PLAN / SPECIFICATIONS & TREE PROTECTION

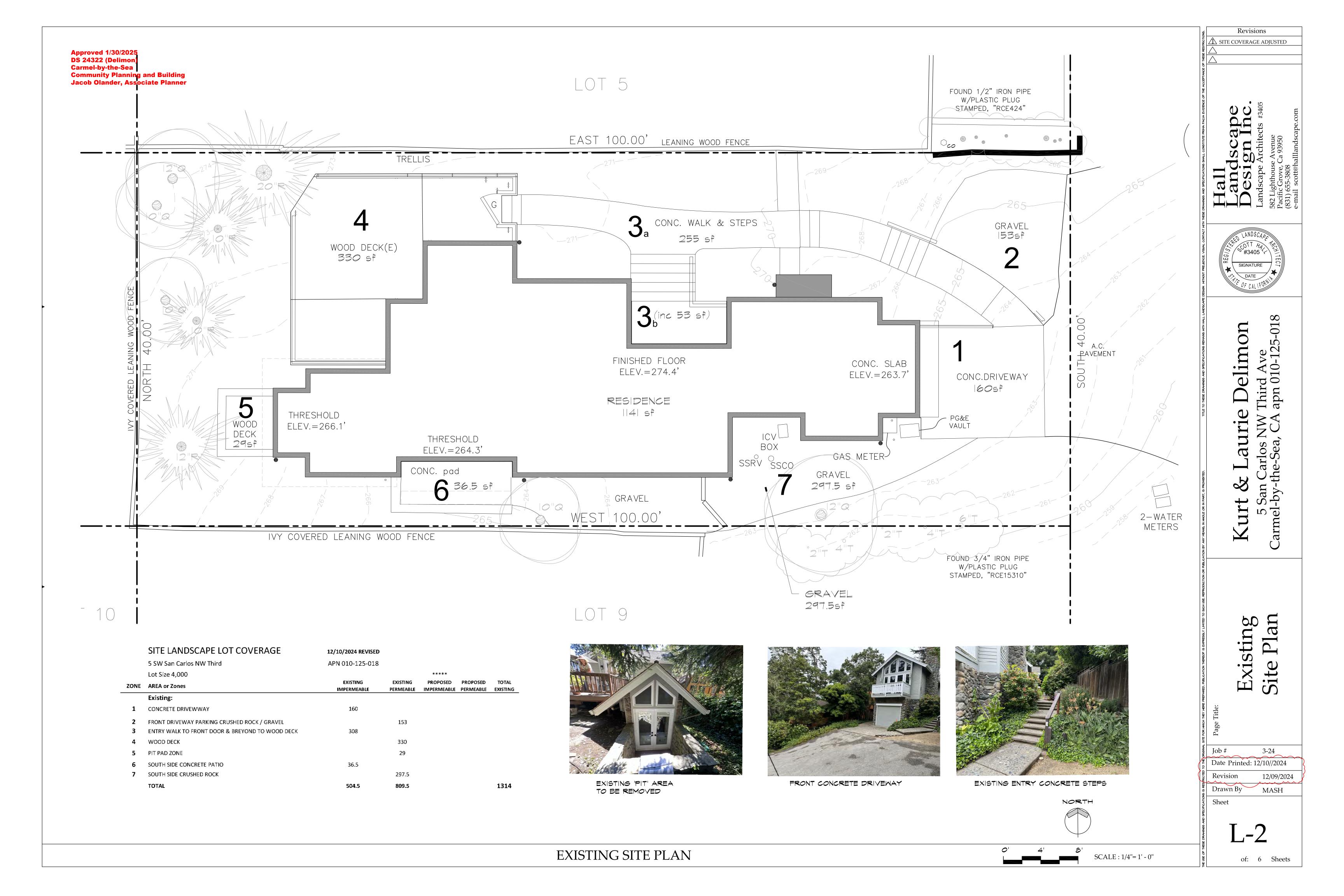
Kurt & Laurie Delimon LANDSCAPE RENOVATION PLANS

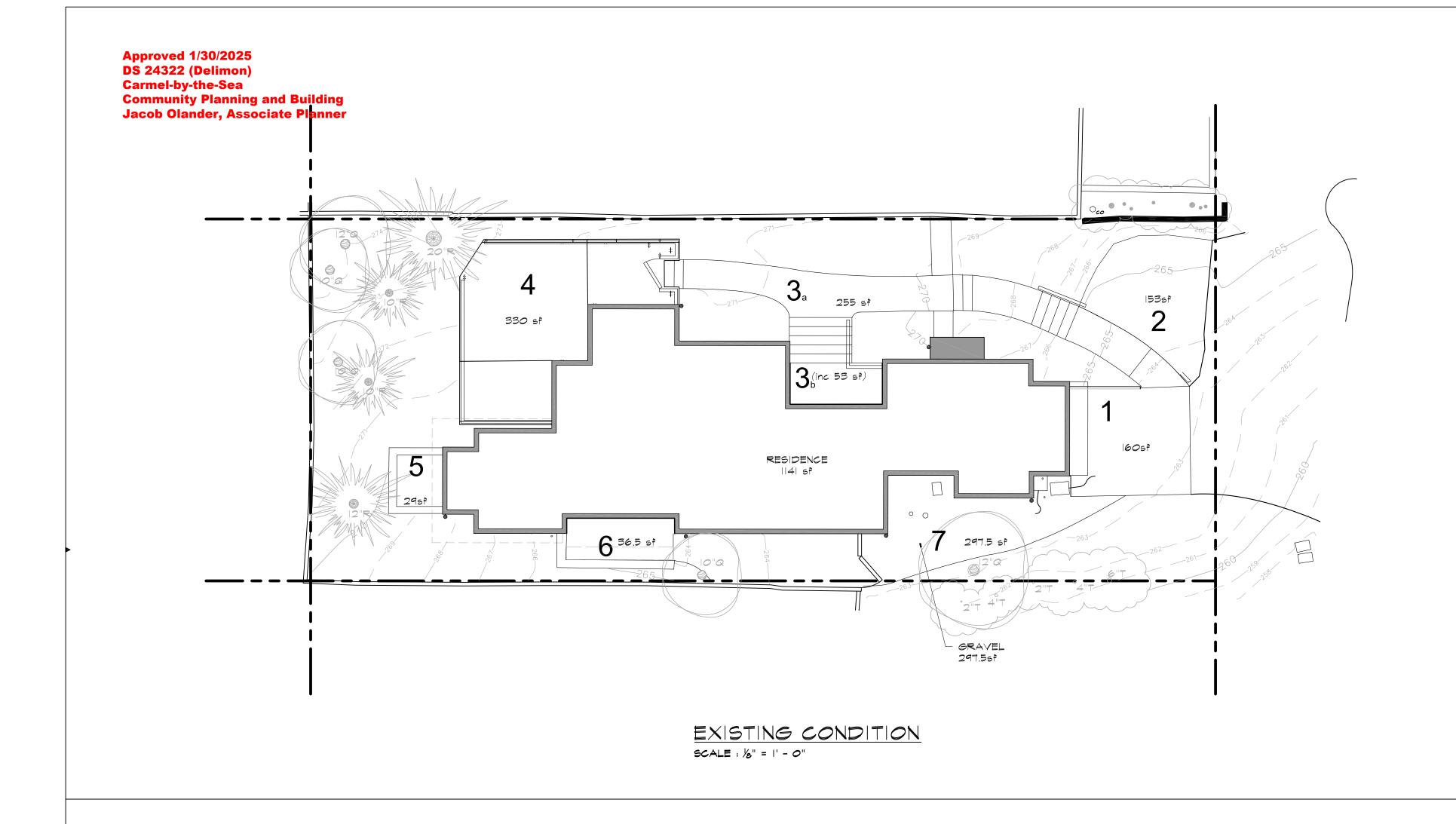
SCALE : 1/6"= 1' - 0"

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1 SITE COVERAGE ADJUSTED

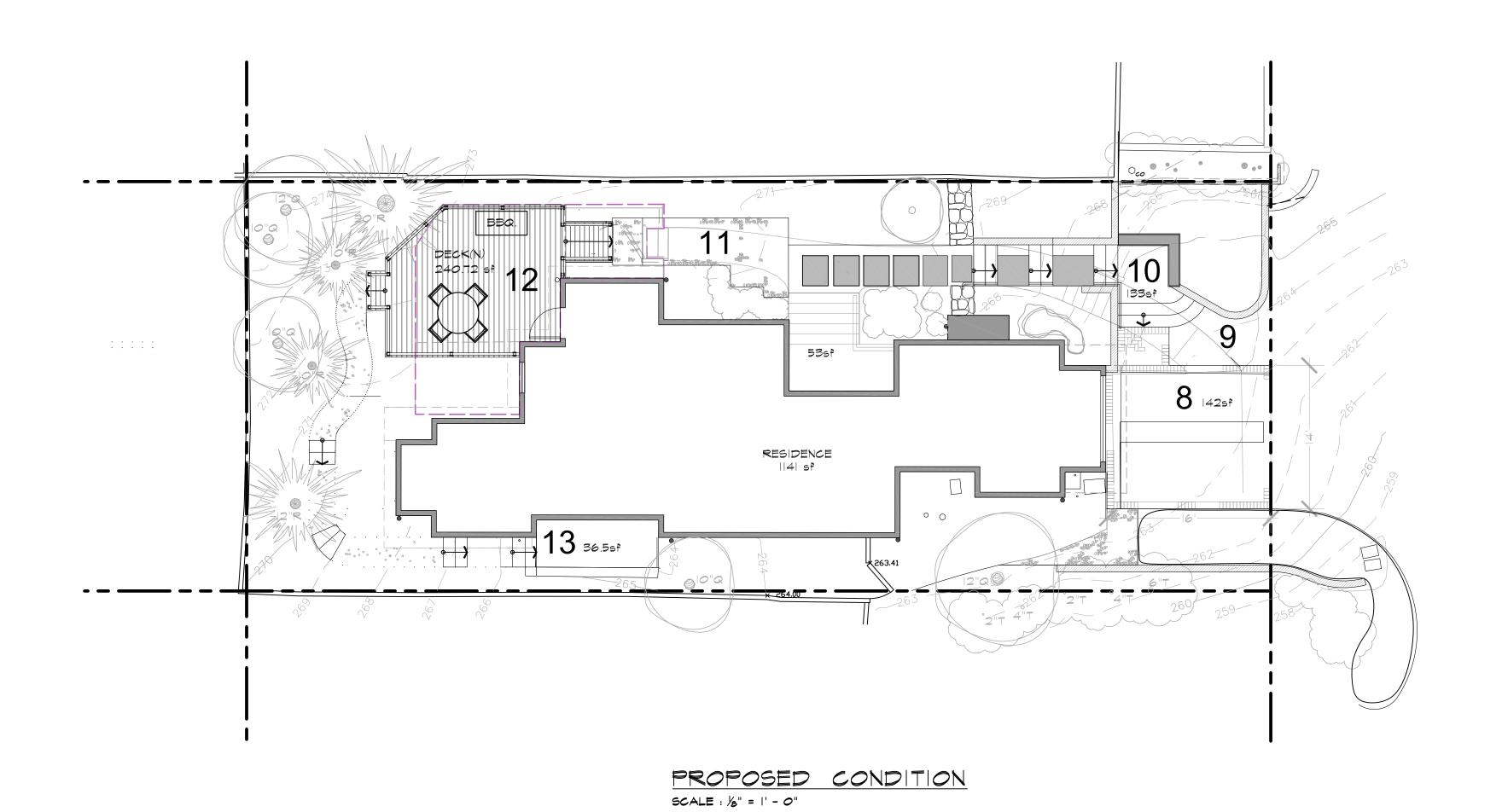
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EXISTING WALK TO FRONT DOOR



	SITE LANDSCAPE LOT COVERAGE	12/09/2024 Revised				
	5 SW San Carlos NW Third	APN 010-125-018				
	Lot Size 4,000			****		
ZONE	AREA or Zones	EXISTING IMPERMEABLE	EXISTING PERMEABLE	PROPOSED IMPERMEABLE	PROPOSED PERMEABLE	TOTAL EXISTING
	Existing:					
1	CONCRETE DRIVEWWAY	160				
2	FRONT DRIVEWAY PARKING CRUSHED ROCK / GRAVEL		153			
3	ENTRY WALK TO FRONT DOOR & BEYOND TO WOOD DECK	308				
4	WOOD DECK		330			
5	LOWER DECK IN WALLED PIT PAD ZONE		29			
6	SOUTH SIDE CONCRETE PATIO	36.5				
7	SOUTH SIDE CRUSHED ROCK		297.5			
	TOTAL	504.5	809.5			1314
	Proposed					
8	NEW DRIVEWAY PAVER AREA				142	
9	WALK START JUST OFF DRIVEWAY Proposed with Bark chips			0		
10	ENTRY WALK with LANDINGS & STEP PADS INCLUDING FRONT DOOR ENTRY & STAIRWAY			133		
11	PATH FROM ENTRY SIDE OF HOUSE TO DECK NOW BARK CHIPS			0		
12	NEW WOOD DECK REBUILT & STAIRS				240.72	
13	EXISTING SOUTH SIDE CONCRETE INC COVERAGE EGRESS PAD			36.5		
	TOTAL			169.5	382.72	552.22
	NOTES:					
	1) LOT SIZE 4,000 sf396 sq. ft					
	2) 50% Permeable Bonus included 556 sq. ft.					
	3) SUMATION: Allowable Coverage 556 square feet.					
	New Coverage 42% of the Existing in All Zones. PROPOSED SITE COVERAGE 552.22 or 3.78 sq. ft under the Treshold allotted	4				

NORTH

COMPARISON: EXISTING & PROPOSED SITE COVERAGE CONDITIONS REVISED / SOLVED



SCALE: 1/8" = 1'-0"

Paralle to these pravilles and specifications remains with half landscape design without preladice, visual contact with these pravilles and the pravilles an

Revisions

SITE COVERAGE ADJUSTED

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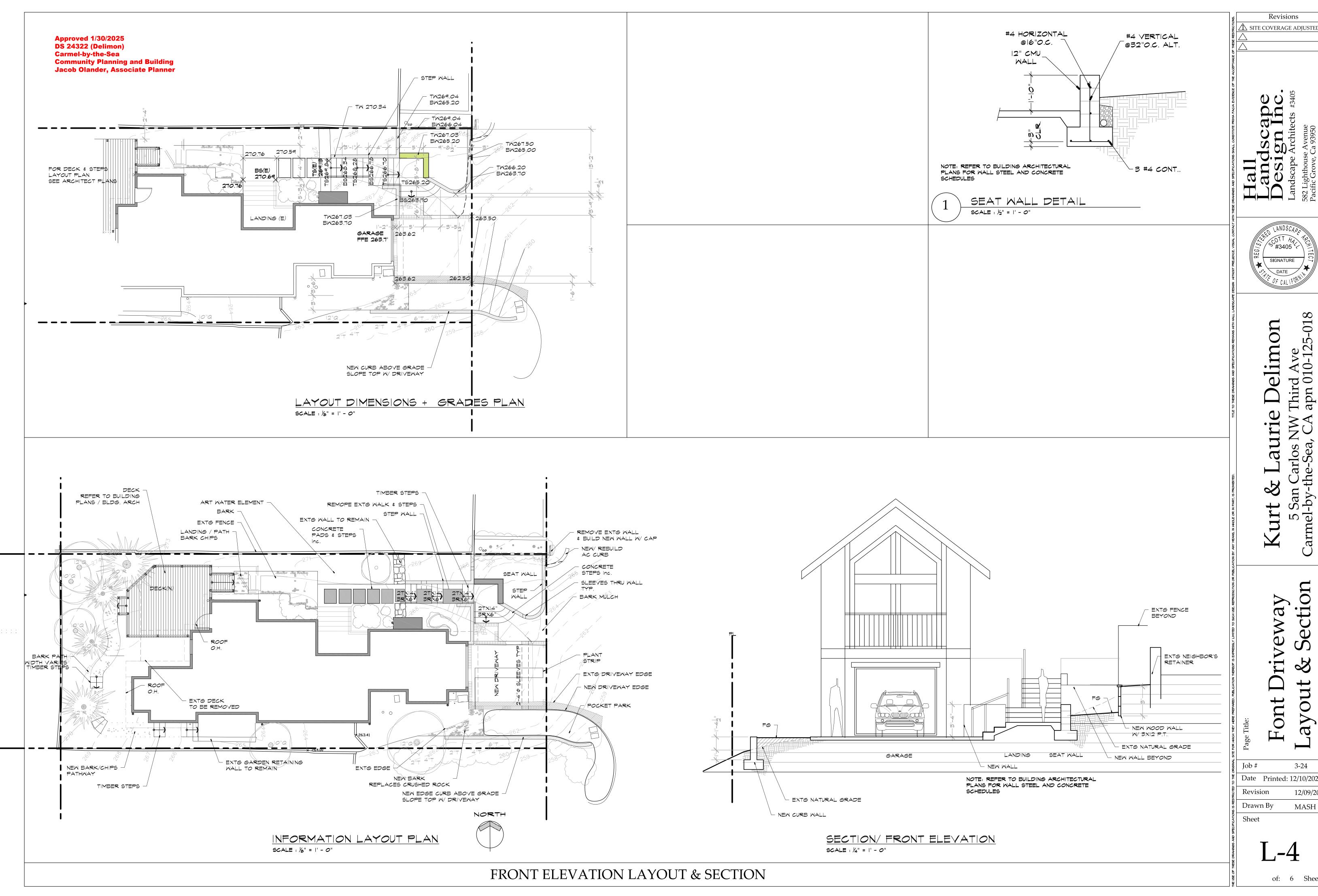
Site Coverage

Popt # Printed: 12/10/2024

Sheet L-3 of: 6 Sheets

Revision 12/09/2024

Drawn By

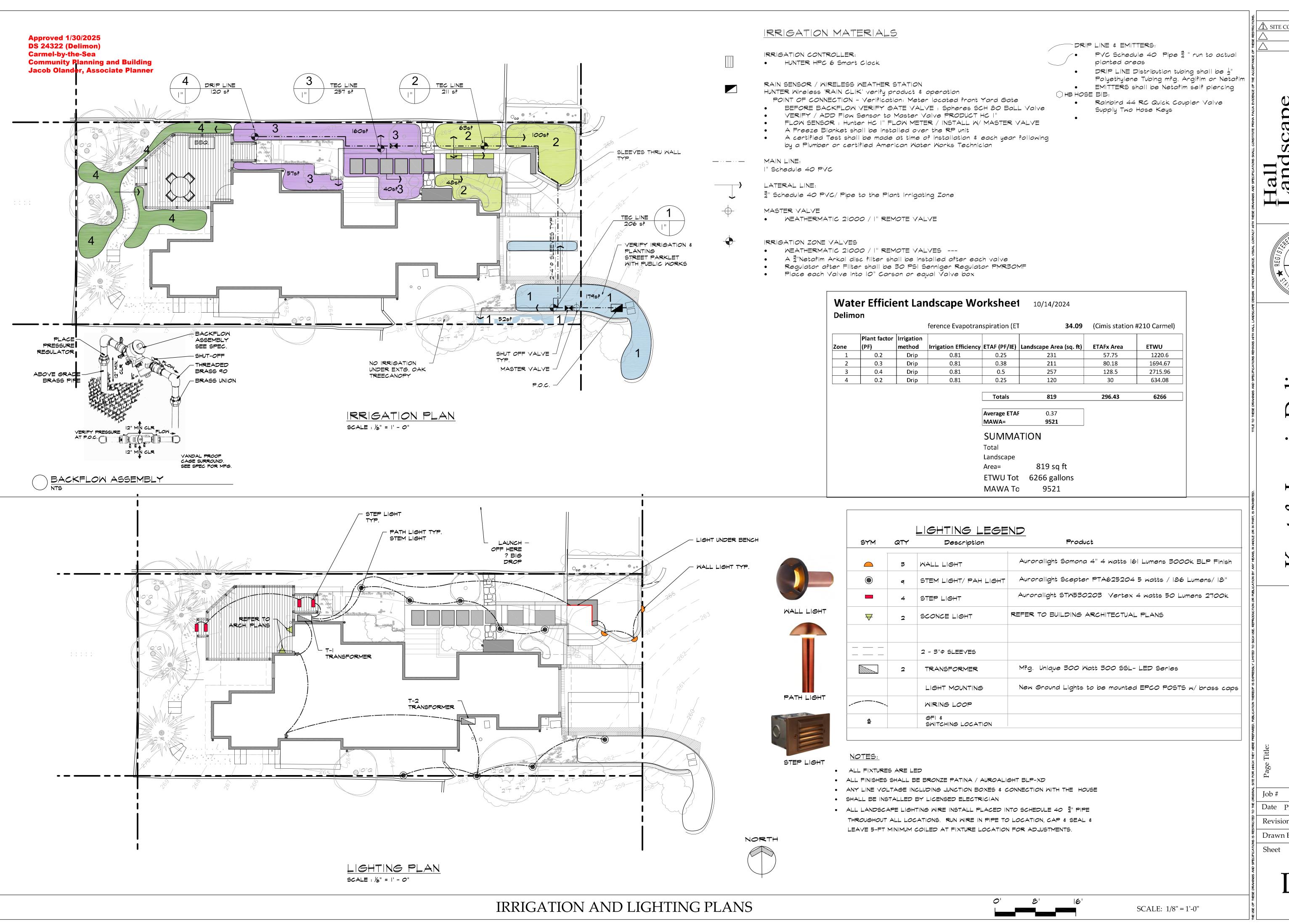


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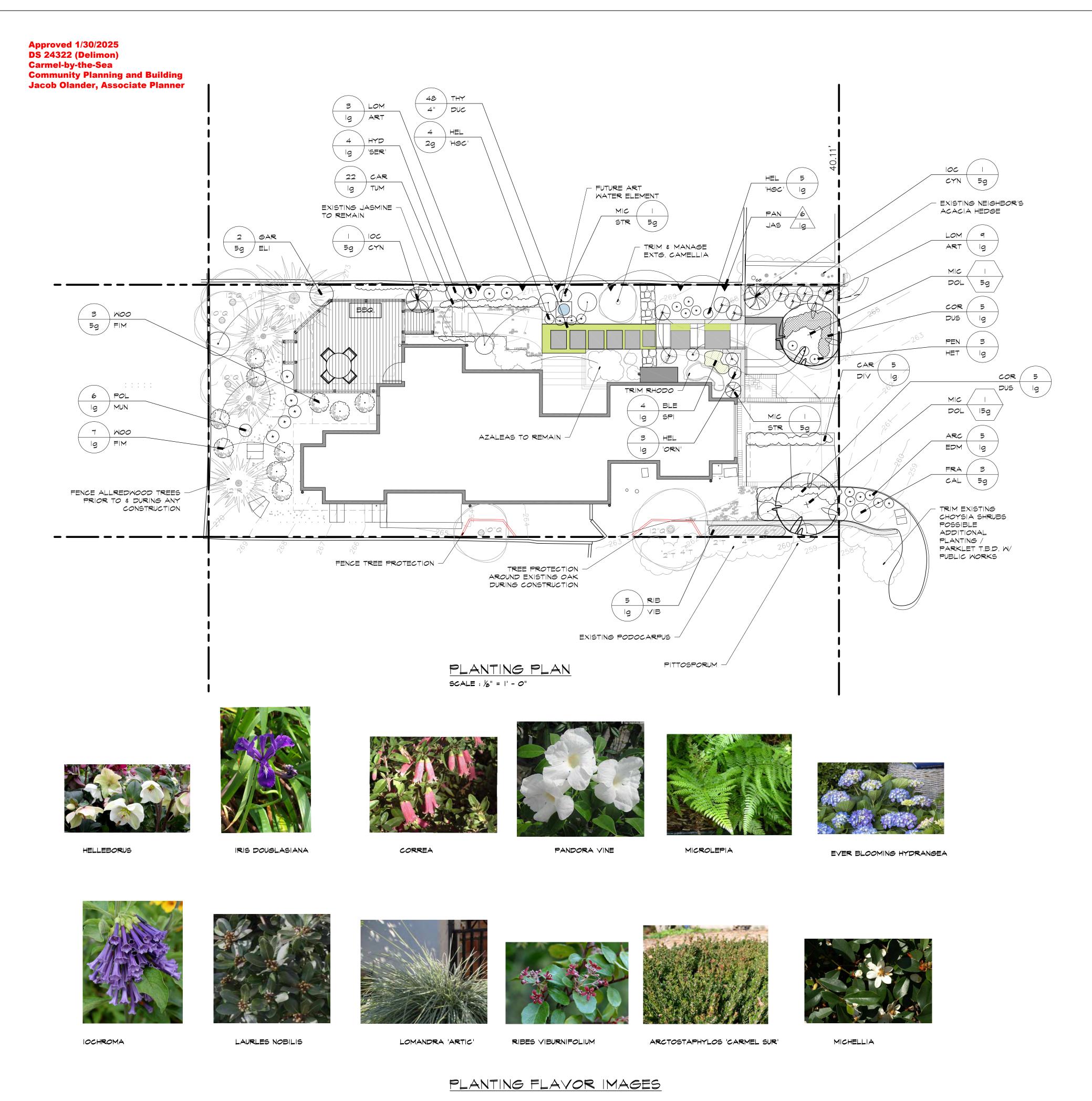
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3-24 Date Printed:12/10/2024 Revision 12/09/2024

Drawn By MASH

of: 6 Sheets



SOIL MANAGEMENT REPORT

Four (4) Cubic yards or organic mulch / bark per 1,000 ft 2 shall be incorporated into all planted areas as a minimum plus a topsoil import comprising of the specifications for all PLANTING PLANS. The Optimum is to perform a soil test as soon as construction begins.

A Soil Test shall be ordered and paid for by the landscape contractor for better onsite soil amendments prior to commencing landscape work. The contractor shall take a minimum of three sample spots of equal native soil amounts, pulverize the soil and place into two (2) / 24 oz sterile containers and send to a registered Horticulture Soil lab

Basic Fertility Test N P K Ca, Salinity & Alkalinity
 Soil Texture: Organic Mater appraisal with recommendations
 The Soil Amendments shall be reviewed with the Landscape Architect prior to adding to the site soil profile.

TOPSOIL SOIL MIX SPECIFICATIONS:

Note:

- Full Planter mix around Building
- Modified mix & native soil in outlying areas --
- to be fully determined with soil test analysis for Working Drawings

Chemical Properties:

- Soil reaction (ph) shall be slightly acid to alkaline in reaction as a saturated paste.
- The concentrations of soluble salt as measured on the extract from a saturated paste shall be less than 4.0 dS/m.
- Cation exchange capacity shall be a minimum of 30.0 milliequivalents per 100 grams
 Nitrogen shall be sufficient to provide for decomposition of the organic matter of the mix

Physical Properties:

- Moisture holding capacity shall be a minimum of 40% after drainage / volume basis
- Air filled porosity shall be a minimum of 15% on a volume basis.
- Water infiltration rate shall be a minimum of 2 inches per hour at saturation

SITE SOIL IMPORT / NOT COMPOST

40% loamy sandy soil (70% Sand, 10-15% clay, 0-30% silt) 30% neutralized redwood shavings and shredded bark 30% organic humus such as aged chicken manure

The topsoil salinity level is not to exceed 3.5 - 4mm mole (elec. conductivity).

A soil Sample with soil report shall be provided to the Landscape Architect prior to soil delivery.

TREE PROTECTION & FOREST ENHANCEMENT NO TREES TO BE REMOVED

Existing planted Redwood Trees (Sequoia simpervirens) and one Oaks (Quercus agrifolia) on the west side and out from any construction shall be fenced for duration of the Deck remodel

The overall practical goal in contributing to the forest stewardship is conservation of water and maintain storm run-off following the City tree protection goals in City Tree Protection Plan 17.48

CONSTRUCTION SAFE GUARDS:

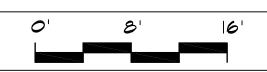
1. Concerns during construction the City Forester shall be called to assist in the determination of distance.

2. Per the Municipal Code Chapter 17.48.110 no materials may be stored within the drip line of the protected tree and extending to the drip lines of trees on adjacent parcels.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WUCOLS
ARC EDM	Arctostaphylos 'Edmundsii Carmel Sur'	Manzanita ground cover	4	1 gallon	L
BLE SPI	Bleechnum spicant	Deer Fern	4	1 gallon	М
CAR DIV	Carex divulsa (C. Tumiculoa) alternative: Carex Panza	Foothill / Meadow Sedge	22	1 gallon	М
COR DUS	Correa 'Dusky Bells' (Carmine Bells)	Australian fuschsia	6	1 gallon	L
FRA CAL	Frangula Californica Little Sur'	Coffeeberry	3	5 gallon	L
GAR ELI	Garrya Elipitica 'Evie'	Coast Silk Tassel	2	5 gallon	L
HEL 'HG	Helleborus 'HGC Series' Ice 'N' Roses	While Lanterns	12	2 gallon	L
HYD 'SER'	Hydrangea 'Seaside Serenade' Blue	Hydrangea	4	5 gallon	М
IOC CYA	lochroma cyaneum	Iochroma 'Blue'	2	5 gallon	М
IRI PAC	Iris Pacific Coast 'Canyon Snow' alternative: Iris douglasiana Santa Lucia	Douglas Iris white alternatrive SL Brett's	16	Qts.	VL
LOM LON	Lomandra longifolia 'Artic or Platinum Beauty'	Lomandra	9	1 gallon	М
MIC DOL	Michellia dolsopa	Michellia	2	5 gallon	M
	alternative: Laurles nobilis 'Saratoga' tree form				
MIC STR	Microlepia strigosa	Lace Fern	2	5 gallon	М
PAN JAS	Pandora jasminoides	Wonga Wona NZ vine	6	1 gallon	L
PEN HET	Penstemon heterophyllus'Catherine duMuir'	Beards tongue	3	1 gallon	L
POL MUN	Polystichmum munitum	Western Sword Fern	4	1 gallon	М
RIB VIB	Ribes viburnifolium	Catalina Perfume	5	1 gallon	VL
THY DRU	Thymus druci 'Elfin'	Elfin / flat Thyme	48	4"	VL
WOO FIM	Woodwardia fimbriata	Western Chain Fern	7	1 gallon	М

NORTH



Revisions

A SITE COVERAGE ADJUSTED

A

lall andscape Architects #3405

Landscape As 582 Lighthouse A Pacific Grove, Ca

SIGNATURE

DATE

D

Kurt & Laurie Delimon 5 San Carlos NW Third Ave Carmel-by-the-Sea, CA apn 010-125-01

Planting Plan

Job # 3-24

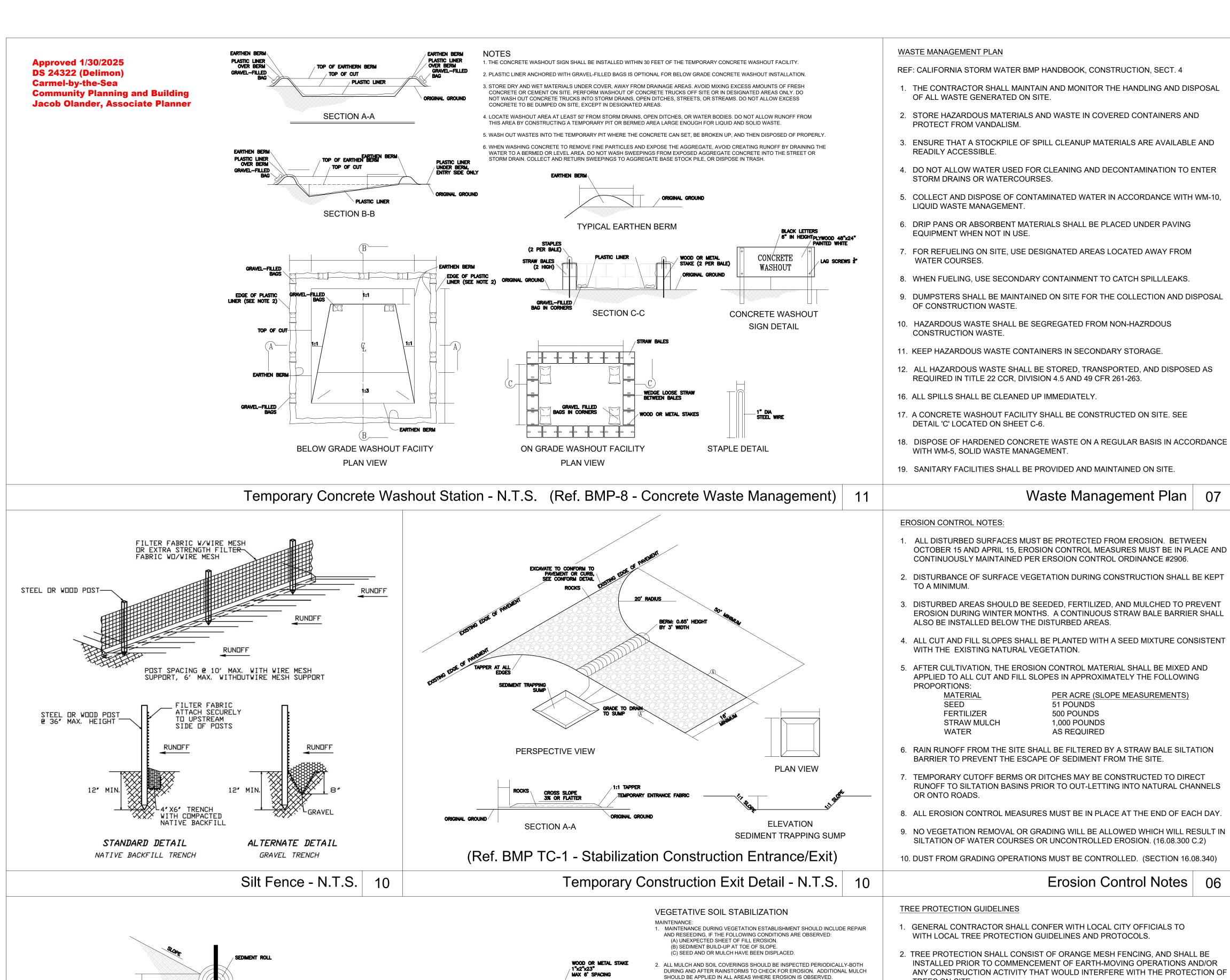
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of: 6 Sheets



TREE PROTECTION GUIDELINES

MATERIAL

FERTILIZER

WATER

STRAW MULCH

- 1. GENERAL CONTRACTOR SHALL CONFER WITH LOCAL CITY OFFICIALS TO WITH LOCAL TREE PROTECTION GUIDELINES AND PROTOCOLS.
- 2. TREE PROTECTION SHALL CONSIST OF ORANGE MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS AND/OR ANY CONSTRUCTION ACTIVITY THAT WOULD INTERFERE WITH THE PROTECTION OF TREES ON-SITE.
- 3. INSTALL FENCING ALONG THE DRIP LINE OF PROTECTED TREES WHEN PRACTICAL
- 4. INSTRUCT EMPLOYEES, SUB-CONTRACTORS AND VISITORS TO THE SITE TO HONOR PROTECTIVE DEVICES.
- CERTIFIED ARBORIST.

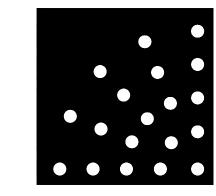
BEST MANAGEMENT PRACTICES NOTES

- 1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. THE GRADING AND DRAINAGE PLANS SHALL BE USED FOR FINAL ELEVATIONS AND PERMANENT IMPROVEMENTS AS SHOWN ON SHEET C1.
- 2. THE EROSION CONTROL AND STORM WATER POLLUTION CONTROL MEASURES SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR THROUGHOUT THE WINTER MONTHS. WHENEVER RAIN IS FORECAST, AT THE END OF THE LAST DAY OF A WORK WEEK OR BEFORE ANY EXTENDED SUSPENSION OF WORK. THE GENERAL CONTRACTOR SHALL ENSURE THAT THE MEASURES SHOWN ON THESE PLANS SHALL BE IN PLACE AND SATISFACTORILY INSTALLED TO PROVIDE THE INTENDED PROTECTION. AFTER EACH RAIN, THE GENERAL CONTRACTOR SHALL INSPECT THE EROSION CONTROL AND STORM WATER POLLUTION CONTROL MEASURES TO DETERMINE THAT THEY OPERATED SATISFACTORILY. REPAIRS SHALL BE MADE AS REQUIRED. IF IT IS DETERMINED THAT A PARTICULAR MEASURE IS NOT PROVIDING THE INTENDED PROTECTION. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND DESIGN ENGINEER TO DETERMINE ALTERNATIVE MEASURES. ALTERNATIVE DESIGNS WILL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO IMPLEMENTATION.
- THE GENERAL CONTRACTOR SHALL KEEP ADEQUATE SUPPLIES ON SITE TO PROVIDE EMERGENCY REPAIRS AS REQUIRED. THESE SUPPLIES MAY BE ADDITIONAL SILT FENCING, FILTER FABRIC, STRAW BALES, JUTE NETTING, BAGS AND TARPS.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY
- 6. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- 7. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- 8. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIANT.
- 9. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- 10. WITH THE APPROVAL OF THE CIVIL ENGINEER, THE EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
- 11. MINIMIZE WIND EROSION BY APPLYING WATER OR OTHER DUST PALLIATIVES IN ACCORDANCE WITH BMP WE-1.
- 12. TEMPORARY STOCKPILES SHALL BE MANAGED IN ACCORDANCE WITH BMP WM-3, AND LOCATED IN THE AREA NOTED ON THE PLAN VIEW.
- 13. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED (OR RENTED) IN ACCORDANCE WITH BMP WM-8.
- 17. MATERIAL DELIVERY AND STORAGE SHALL BE IN ACCORDANCE WITH BMP WM-1.
- 18. STORAGE, CLEANING AND MAINTENANCE OF EQUIPMENTS AND VEHICLES SHALL BE IN ACCORDANCE WITH BMP'S NS-8, NS-9 & NS-10.
- 19. CONSTRUCTION EQUIPMENT EXIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH BMP TC-1 AND LOCATED AS SHOWN ON THE PLANS.
- 20. PUBLIC AND PRIVATE STREETS AND DRIVEWAYS SHALL BE INSPECTED DAILY FOR SEDIMENT TRACKING AND CLEANED IN ACCORDANCE WITH BMP SE-7.

Best Management Practices Notes

SWPP - BEST MANAGEMENT PRACTICES

- EXISTING VEGETATION PROTECT EXISTING VEGETATION AND AVOID REMOVAL AS REQUIRED AND WHENEVER POSSIBLE; INSTALL APPROPRIATE. PROTECTIVE FENCING/PERIMETER CONTROLS PRIOR TO WORK.
- SWEEPING ALL IMPERVIOUS SURFACES SHALL BE SWEPT (NOT WASHED OR HOSED DOWN) AND MAINTAINED FREE OF DEBRIS AND ACCUMMULATION OF DIRT.
- 3. WASTE MANAGEMENT ALL CONSTRUCTION WASTE SHALL BE CONTAINED ON SITE AND COVERED, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED, AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO STREET.
- CATCH BASIN / INLET PROTECTION CATCH BASINS AND / OR DROP INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD DIRT, OR ANY DEBRIS, INCLUDING PRIOR GUTTER FILTRATION AS APPROPRIATE AND IN A MANNER NOT IMPEDING TRAFFIC SAFETY
- 5. PERIMETER CONTROLS / EROSION AND SEDIMENT CONTROL PROPERLY INSTALLED SLIT FENCE OR EQUIVALENT CONTROL SHALL BE SHOWN ALONG THE SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF SITE. NO SEDIMENT MAY LEAVE OR RUNOFF THE SITE.
- 6. STOCKPILE MANAGEMENT ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF THE DAY. STOCKPILES SHALL BE COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. NO MATERIALS SHALL LEAVE THE SITE OR MOVE INTO STREET.
- VEHICLES AND EQUIPMENT RESPONSIBLE PARTIES MUST ENSURE ALL CONSTRUCTION VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, AND WILL NOT CAUSE DIRT, MUD, OIL, GREASE OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO STREET.



THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning

Construction Management 406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence Remodel

Project Address:

5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

Project No:

2015.002 10/15/2024 Issue Date:

Revisions:

Sheet Title:

Best Management Practices Notes & Details

Waste Management Plan | 07

PER ACRE (SLOPE MEASUREMENTS)

Erosion Control Notes

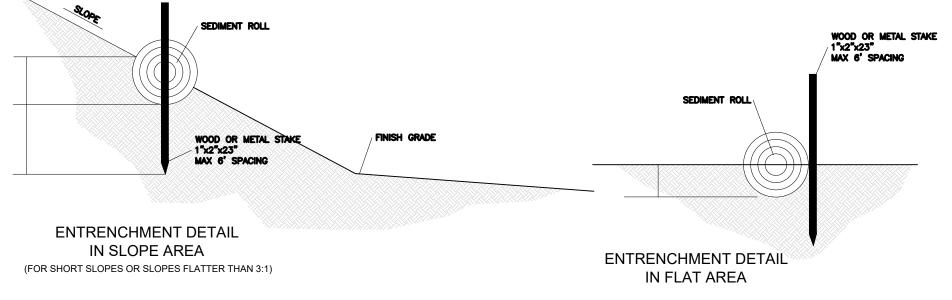
51 POUNDS

500 POUNDS

1,000 POUNDS

AS REQUIRED

- 5. INJURIES TO PROTECTED TREES SHALL BE ATTENDED TO BY A LICENSED AND



REPAIRED AND THE COVERING REINSTALLED.

. PRIOR TO INSTALLATION, CONTOUR A CONCAVE

3. PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN SIX FEET OF EACH END AND THEN EVERY SIX FEET WITH 1"x2"x23" WOOD OR METAL

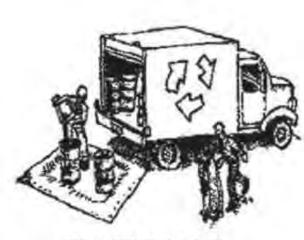
4. STAKES ARE TYPICALLY DRIVEN IN ON ALTERNATING SIDES OF THE ROLL. WHEN MORE THAN ONE SEDIMENT ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED TWELVE INCHES MIN. TO PROVIDE

A TIGHT JOINT, NOT ABUTTED TO ONE ANOTHER.

3. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISCOLORATION OR FAILURE. IF EITHER OCCURS, DAMAGE TO THE SLOPE OR DITCH SHOULD BE

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and
 - ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site. ☐ If refueling or vehicle
 - maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous
 - ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled, Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of **Emergency Services Warning** Center, (800) 852-7550 (24 hours).

EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- · Abandoned underground tanks
- Abandoned wells
- · Buried barrels, debris, or trash.

PAVING/ASPHALT WORK

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



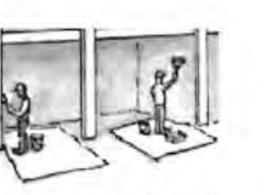
CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

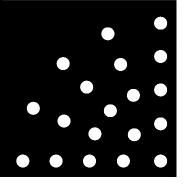
Paint Removal

- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste. ☐ Paint chips and dust from
- non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



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Project Development Consulting Architecture Planning

Construction Management 406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence Remodel

Project Address:

5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

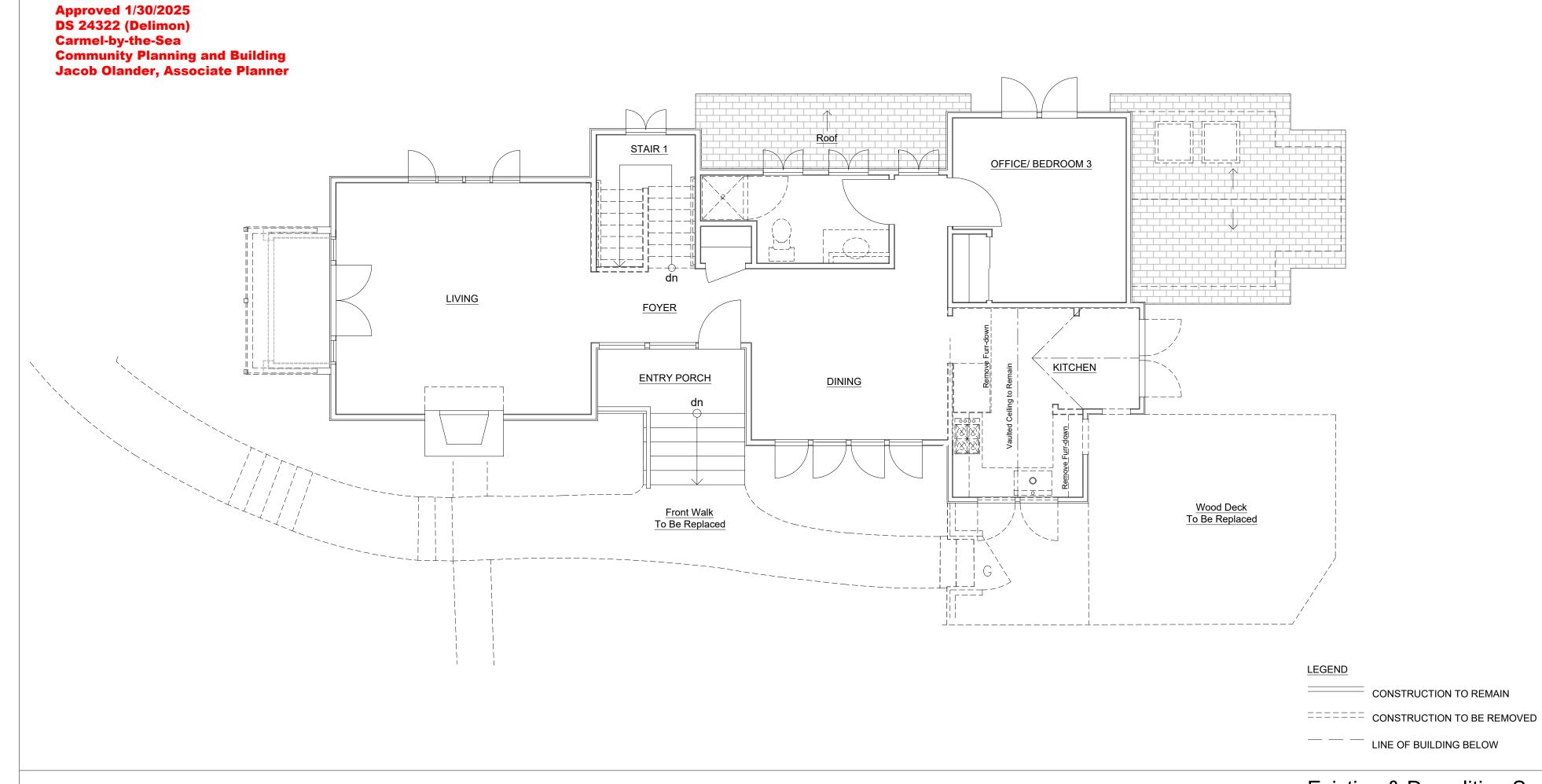
2015.002

Project No:

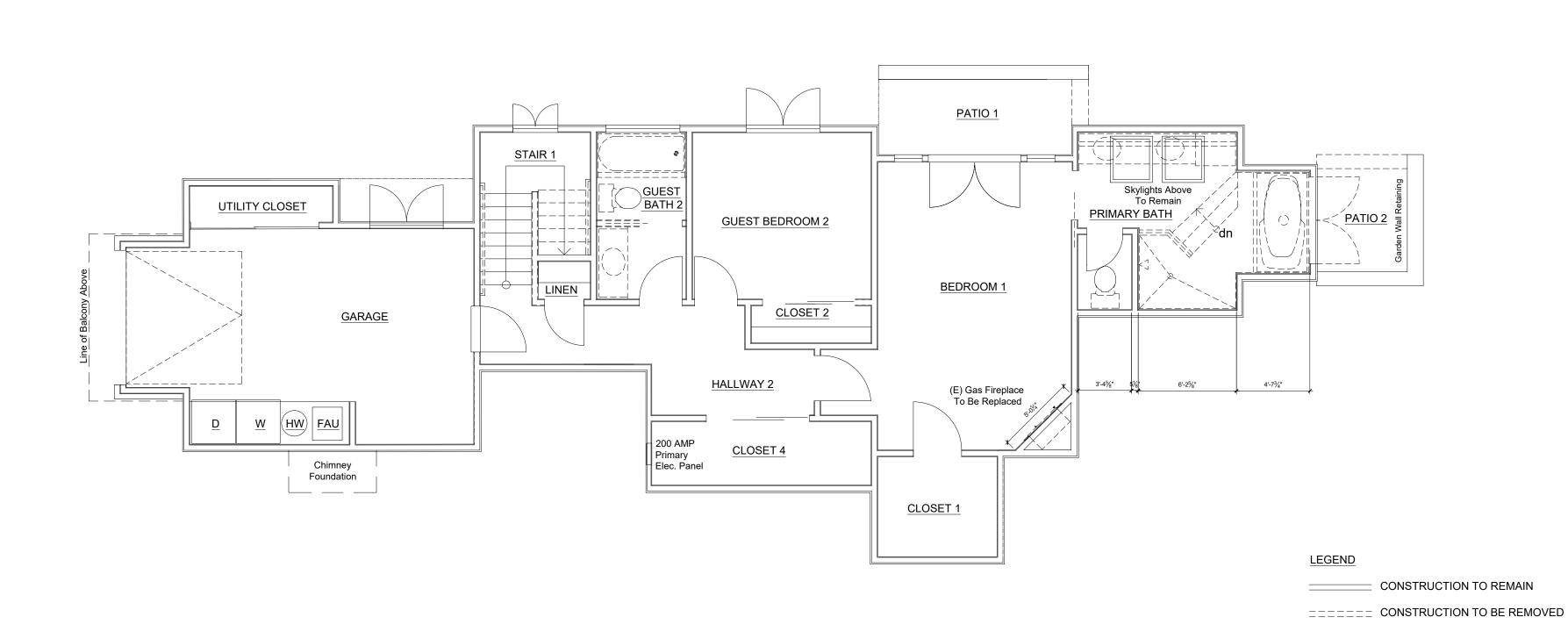
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Sheet Title:

Best Management Practices During Construction



Existing & Demolition Second Floor Plan 3/16"=1'-0"



DEMOLITION NOTES

1. OTHER THAN NON-DESTRUCTIVE FIELD OBSERVATIONS, NO FORENSIC INVESTIGATION OF EXISTING CONSTRUCTION HAS TAKEN PLACE PRIOR TO THE DESIGN OR PREPARATION OF THE PROJECT CONSTRUCTION. FIELD CONDITIONS MAY REQUIRE ALTERATIONS TO THE INTENT OF THE CONSTRUCTION DOCUMENTS.

2. CONTRACTOR SHALL SUBMIT A SCHEDULE FOR HOURS OF CONSTRUCTION ACTIVITIES TO OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND PROVIDE PERIODIC UPDATES TO CONSTRUCTION SCHEDULES.

3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE REGARDING THE REMOVAL OF ANY MATERIAL(S), CLARIFY WITH ARCHITECT PRIOR TO REMOVAL.

5. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL INDICATED ITEMS.

6. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.

7. CONTRACTOR SHALL PROTECT ALL EXISTING FLOOR COVERINGS TO REMAIN FROM

8. CONTRACTOR SHALL ALLOW IN BUDGET FOR ALL PATCHING AND / OR MODIFICATIONS TO EXISTING WALLS AS REQUIRED BY NEW AND/ OR REMOVAL OF SWITCHES, OUTLETS AND ANY OTHER WALL MOUNTED DEVICES.

9. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. CONTRACTOR SHALL ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.

10. CONTRACTOR TO CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

11. CONTRACTOR TO PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE REGULATORY ADVISORY AND/OR COMMON SENSE TO PROTECT OCCUPANTS OF BUILDING, WORKERS AND VISITORS.

12. CONTRACTOR TO ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES AS REQUIRED FOR DEMOLITION. DISCONNECT AND STUB OFF UTILITIES NOT REQUIRED IN NEW CONSTRUCTION. NOTIFY THE UTILITY COMPANY AND OWNERS IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING.

13. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.

14. EXCEPT WHERE NOTED OTHERWISE, MAINTAINING POSSESSION OF MATERIALS BEING DEMOLISHED AND VERIFY WITH OWNER REGARDING THE DISPOSITION OF DEMOLISHED MATERIALS NOTED FOR REMOVAL. DISPOSE OF ALL DEMOLISHED MATERIALS IN A LEGAL MANNER.

15. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO OWNER.

16. CONTRACTOR SHALL CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH, DEBRIS DURING THE COURSE OF THE WORK.

17. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL

MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.

REMOVED FROM SITE BY CONTRACTOR.

18. CONTRACTOR TO MAINTAIN CONSTRUCTION ACTIVITY AREAS AND THOSE AREAS EFFECTED BY CONSTRUCTION ACTIVITIES IN A "BROOM CLEAN" CONDITION DURING CONSTRUCTION PERIOD. ALL DEBRIS AND MISCELLANEOUS MATERIALS SHALL BE

19. PERFORM DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

20. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO

ADDITIONAL COST TO OWNER.

21. BURNING OF DEMOLISHED MATERIALS IS NOT PERMITTED.

23. LOCATE ALL (E) SITE UTILITIES, INCLUDING ELECTRIC, GAS, SANITARY SEWER, WATER, CATV, STORM DRAIN, IRRIGATION LINES AND OTHER UTILITIES. REMOVE (E) UTILITY LINES WITHIN LIMIT OF NEW (N) CONSTRUCTION, OR CAP BOTH ENDS AND, ABANDON WHERE OUTSIDE LIMIT OF NEW CONSTRUCTION, AS APPROPRIATE

24. ALL EXISTING SERVICE WHICH ARE ABANDONED AND NOT REQUIRED SHALL BE DISCONNECTED AND REMOVED BACK TO THE SERVICE PANEL. BEFORE ANY ITEMS OF EQUIPMENT, PIPING, CONDUITS, ETC., ARE REMOVED, EACH SERVICE SHALL BE TRACED AND TAGGED FOR OBTAINING APPROVAL FROM OWNER OR ARCHITECT.

25. EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ITEMS NOT UTILIZED IN NEW WORK TO BE CAPPED OFF PER CODE. REVISE EXISTING CIRCUITS AS REQUIRED BY CODE. ABANDONED PENETRATIONS THROUGH ROOF OR TO ROOF TO RECEIVE NEW AIR AND WATER TIGHT GALVANIZED SHEET METAL ROOF CAPS OR EQUIVALENT PERFORMING CAPS.

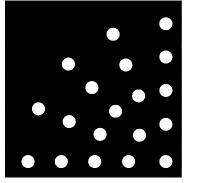
26. BEFORE INTERRUPTING ANY EXISTING UTILITY SERVICE(S), PROPER ARRANGEMENT SHALL BE MADE WITH THE OCCUPANTS. ALL DISRUPTIONS SHALL BE WITH PRIOR ARRANGEMENT AND SCHEDULED TO MINIMIZE DISRUPTION TO OCCUPANTS.

27. DISPOSE OF ALL DEMOLISHED MATERIALS OFF-SITE IN A LEGAL MANNER.

28. ALL DIMENSIONS ARE SHOWN FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED. ALIGN ALL NEW WALLS WITH EXISTING WALLS AS INDICATED ON FLOOR PLANS.

29. ALL MATERIALS TO BE REMOVED SHOULD BE REMOVED JUDICIOUSLY TO ALLOW NEW CONSTRUCTION TO FIT NEATLY WITH EXISTING CONSTRUCTION THAT REMAINS.

30. REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO OWNERS.



THE SIENNA COMPANY, INC.

Project Development Consulting Planning

Construction Management

406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com



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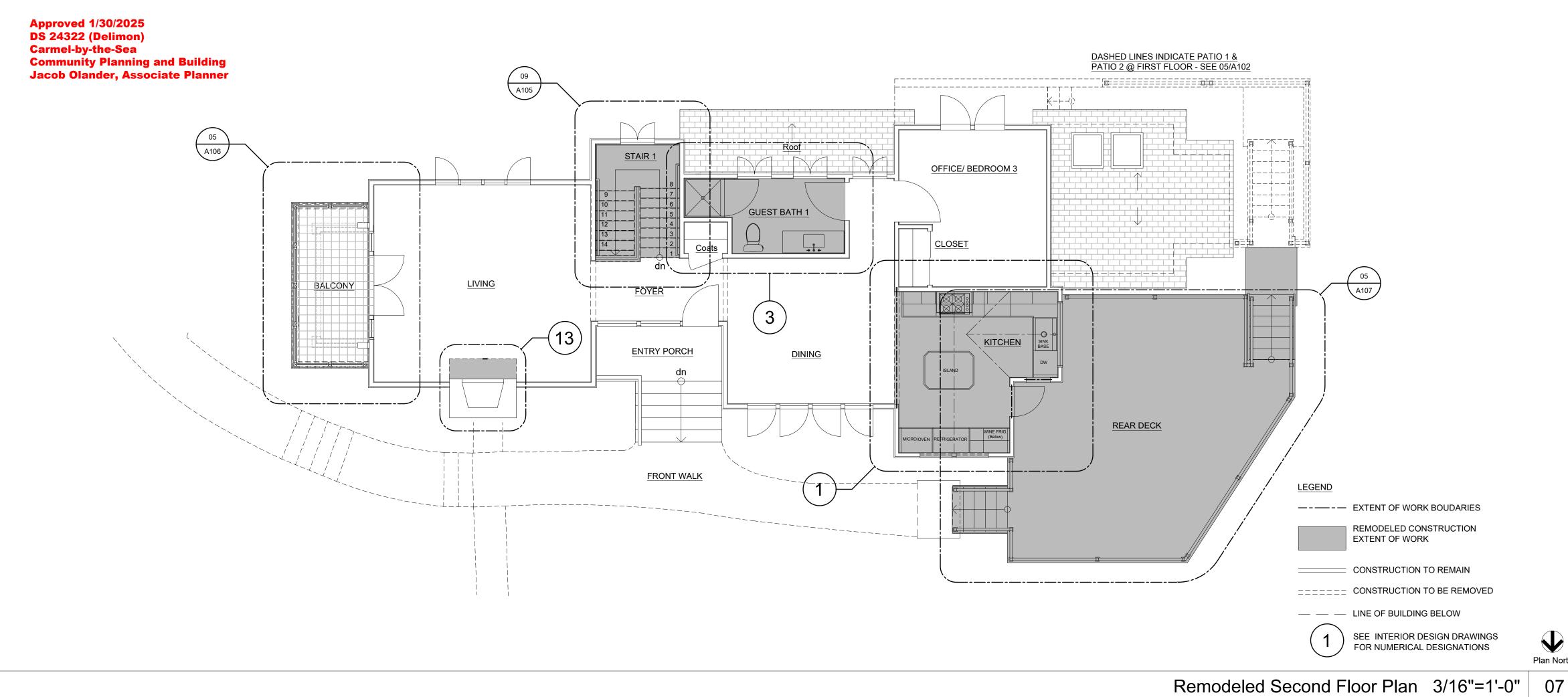
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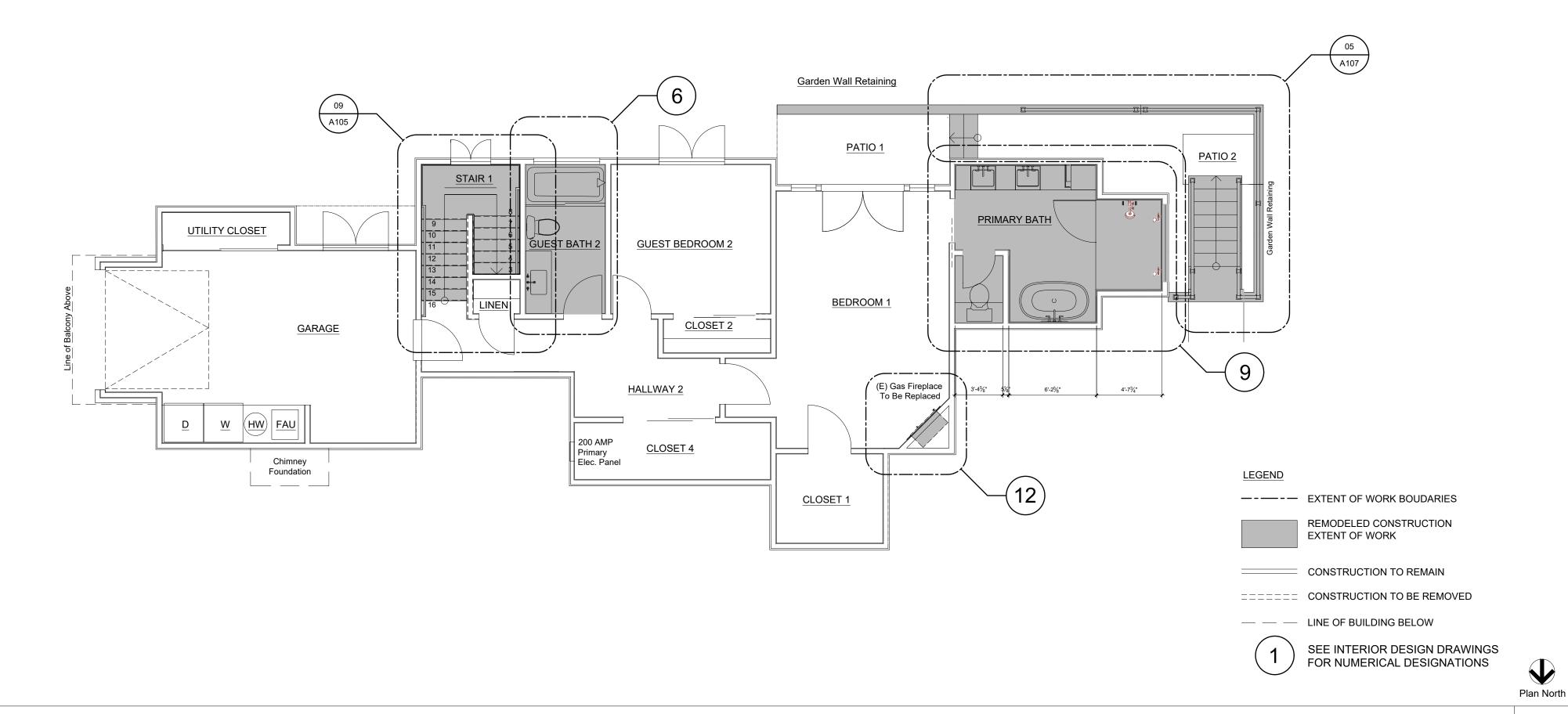
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Existing & Demolition Floor Plans, General **Demolition Notes**





1. CONTRACTOR SHALL MAINTAIN A CURRENT SET OF APPROVED CONSTRUCTION DOCUMENTS AND COPIES OF THE CONSTRUCTION CONTRACT AGREEMENT AND / 0R PROPOSED AND / OR APPROVED ITEMS OF CHANGE COMMUNICATIONS WITH OWNERS AND ARCHITECT ON SITE.

2. CONTRACTOR TO INDICATE ON A COPY SET OF APPROVED DOCUMENTS ALL APPROVED CHANGES TO THE PROJECT AS A RECORD SET THAT WILL BE DELIVERED TO THE OWNER AT THE END OF THE JOB.

3. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE PROJECT DOCUMENTS AND EXISTING CONDITIONS TO THE ARCHITECT FOR CLARIFICATION AND REVISION PRIOR TO BEGINNING WORK.

4. ANY DISCREPANCY BETWEEN THE PROJECT DOCUMENTS SUPPLIED BY ARCHITECT AND CONSULTANT DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

5. IF FIELD CONDITIONS DICTATE AN UNDISCOVERED FIELD CONDITION DURING CONSTRUCTION, THE CONTRACTOR IS TO INFORM THE ARCHITECT AND / OR THE OWNER AND CEASE WORK IN THAT SPECIFIC AREA OF WORK UNTIL THE CONDITION IS RESOLVED AND A CLEAR DIRECTION IS DETERMINED AND AGREED UPON BEFORE PROCEEDING

6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

7. THESES DRAWING SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE, YET IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE TO MEET THE INTENT THE PROPER, ESTABLISHED CONSTRUCTION PRACTICES WITHIN THE REGION OF THE PROJECT SITE.

8. WHERE THERE IS NO SPECIFIC DETAIL SHOWN, THE CONSTRUCTION SHALL SIMILAR TO SIMILAR CONSTRUCTION EXISTING AT THE SITE IN THE CASE OF REMODELING OR ADDITIONS, AND FOR AT A SPECIFIED COMPARATIVE PROJECT AGREED AS AN EXAMPLE BEFORE THE COMMENCEMENT OF WORK.

9. WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION, ALL SUCH MATERIALS AND / OR METHODS ARE TO BE PERFORMED AT THE LOCALLY ACCEPTED STANDARD FOR THE INDUSTRY TO BE ARBITRATED BY THE ARCHITECT.

10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES AND GOVERNING AGENCIES. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN OR INFERRED ON THESE DOCUMENTS TO RENDER THE WORK COMPLETE.

11. CONTRACTOR SHALL PROTECT THE BUILDINGS FROM DAMAGE, INCLUDING, BUT NOT LIMITED TO, DUST AND WATER. CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL WORK AREAS. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT THE SOLE DISCRETION OF THE OWNER. THE CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND THE CORRECTIVE WORK.

12. CONTRACTOR SHALL PROVIDE BARRIERS, FENCING, BARRICADES, SIGNALS, ETC. AS REQUIRED TO PROTECT THE OWNER, OWNER'S PROPERTY AND THE GENERAL PUBLIC FROM ANY AND ALL HARM AND DAMAGE AS A RESULT OF THE EXECUTION OF THIS WORK

13. DO NOT CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT WOULD CHANGE THEIR LOAD-CARRYING CAPACITY OR LOAD-DEFLECTION RATIO. CUT EXISTING CONSTRUCTION USING METHODS LEAST LIKELY TO DAMAGE ELEMENTS RETAINED OR ADJOINING CONSTRUCTION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO RETAINED ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE VISUAL EVIDENCE OF PATCHING AND REFINISHING. REMOVE AND REPLACE CONSTRUCTION CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.

14. THE CONTRACTOR SHALL COORDINATE THE WORK WILL ALL EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.

15. MATERIALS, EQUIPMENT NOT INDICATED ON PROJECT DOCUMENTS BUT ESSENTIAL TO THE SUCCESSFUL AND EFFICIENT COMPLETION OF THE INSTALLATION AND / OR CONSTRUCTION SHALL BE FURNISHED AND INSTALLED WITH NO INCREASE IN COST TO THE OWNER

16. CONTRACTOR TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS WHEN THOSE INSTRUCTIONS AND RECOMMENDATIONS EXCEED THE REQUIREMENTS OF THE PROJECT DOCUMENTS.

17. CONTRACTOR SHALL MAINTAIN AN ON-SITE COPY OF MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FABRICATED PRODUCTS, INCLUDING, BUT NOT LIMITED TO, FIREPLACE, APPLIANCES, FURNACE, FIRE SEALANTS, MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, ETC. THE COPY SHALL BE MADE AVAILABLE TO THE BUILDING INSPECTOR UPON REQUEST.

18. WHERE NOT SPECIFICALLY INDICATED ON DRAWINGS, FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT, PANEL BOARDS, FIXTURES, METERS, FLUES, VENTS, ETC. SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

19. EXAMINE ALL SUBSTRATES AND OTHER CONDITIONS UNDER FINISH MATERIALS FOR COMPLIANCE FOR PROPER APPLICATION OF FINISHED MATERIAL. DO NOT BEGIN APPLICATION UNTIL SATISFACTORY CONDITIONS HAVE BEEN MET.

20. ALL FIXTURES ARE TO BE INSTALLED IN ALL ASPECTS WITH TRIM, SEALS, SEALANT AS REQUIRED TO MAKE WORK READY FOR PROPER SERVICE AND USE.

21. VISUAL EFFECTS: PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK, REFER

QUESTIONABLE JOINT ALIGNMENTS TO ARCHITECT FOR FINAL DECISION.

22. THE ORGANIZATION OF THESE DOCUMENTS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG SUBCONTRACTORS. IT SHALL BE THE GENERAL

23. IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR SUPERVISION OF THE WORK AND OMISSIONS OF THE WORK SHOWN OR INFERRED IN THESE DOCUMENTS.

CONTRACTORS RESPONSIBILITY TO DIVIDE AND COORDINATE THE WORK.

24. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION, PROPER EXECUTION OF THE WORK AND / OR POSSIBLE ERRORS OR OMISSIONS OF THE WORK SHOWN OR INFERRED IN THESE DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS.

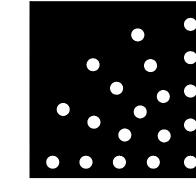
25. THE CONTRACTOR SHALL PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS. UNLESS OTHERWISE AGREED UPON BY THE OWNER.

26. ANY REQUEST TO PERFORM WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT AND / OR THE OWNER.

27. ANY PROPOSED SHUTDOWN OF UTILITIES SHALL BE REQUESTED IN WRITING AS LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT AND / OR THE OWNER.

28. PROJECT DOCUMENTS AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, AND ORDINANCE REQUIREMENTS.

29. COPIES OF THE PROJECT DOCUMENTS ARE SUPPLIED TO THE OWNER AND THE CONTRACTOR FOR USE IN THE CONSTRUCTION OF THIS PROJECT ONLY. THE PROJECT DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS, ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORMAT NOR ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION BY THE ARCHITECT OF RECORD.



THE SIENNA COMPANY, INC.

Project Development Consulting
Architecture
Planning

Construction Management

406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143
Email: arobinson@thesiennacompany.com



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Issue Date:

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New Floor Plans & Extent of the Work

A102



DEMOLITION NOTES

— — — — CONSTRUCTION TO BE REMOVED

- REMOVE DOUBLE DOORS WINDOWS TO THE ROUGH FRAME OPENING, ALSO SEE A104 FOR ADDITIONAL COMMENTS..
- 2. EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY.
- REMOVE RECESSED LIGHTS IN CEILING.
- 4. REMOVE EXISTING FLOORING AND BASE.

NEW CONSTRUCTION NOTES

DEMOLITION NOTES

— — — — CONSTRUCTION TO BE REMOVED

ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR

INSTALL NEW LIGHTING IN CEILING PER 09/PL102 @ "KITCHEN - UPPER LEVEL".

EXISTING TEXTURE IN PREPARATION FOR INSTALLATION OF NEW CABINETRY.

REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR - SELECTION BY

REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH

REMOVE MOVEABLE ISLAND.

NEW CONSTRUCTION NOTES

ASSOCIATED NOTES FOR THIS ELEVATION.

OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

- REMOVE FURRED-OUTS ABOVE CABINETS BACK TO BASE WALL.
- REMOVE RECESSED LIGHTS IN CEILING.
- REMOVE EXISTING FLOORING AND BASE.
- REMOVE REFRIGERATOR AND ALL OTHER APPLIANCES.

DEMOLITION NOTES

— — — — CONSTRUCTION TO BE REMOVED

- SKYLIGHT TO REMAIN.
- 2. REMOVE FURRED-OUTS ABOVE CABINETS BACK TO BASE WALL.
- 3. REMOVE EXISTING RECESSED CEILING LIGHTS.
- 4. REMOVE CABINETRY.
- 5. REMOVE TILE COUNTERTOP & BACKSPLASH.
- REMOVE ALL APPLIANCES AND PLUMBING FIXTURES. ALSO SEE 01/A101 FOR ADDITIONAL GENERAL DEMOLITION NOTES.
- REMOVE EXISTING FLOORING.

NEW CONSTRUCTION NOTES

DEMOLITION NOTES

— — — — CONSTRUCTION TO BE REMOVED

- 1. REMOVE FURRED-OUTS ABOVE CABINETS BACK TO BASE WALL.
- 2. REMOVE EXISTING RECESSED CEILING LIGHTS.
- REMOVE CABINETRY.
- 4. REMOVE TILE COUNTERTOP & BACKSPLASH.
- 5. REMOVE ALL APPLIANCES AND PLUMBING FIXTURES. ALSO SEE 01/A101 FOR ADDITIONAL GENERAL DEMOLITION NOTES.
- 6. REMOVE EXISTING FLOORING.

GENERAL DEMOLITION NOTES

- . OTHER THAN NON-DESTRUCTIVE FIELD OBSERVATIONS, NO FORENSIC INVESTIGATION OF EXISTING CONSTRUCTION HAS TAKEN PLACE PRIOR TO THE DESIGN OR PREPARATION OF THE PROJECT CONSTRUCTION. FIELD CONDITIONS MAY REQUIRE ALTERATIONS TO THE INTENT OF THE CONSTRUCTION DOCUMENTS.
- 2. ALSO REFER TO 01/A101 GENERAL DEMOLITION NOTES FOR ADDITIONAL

THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning

Construction Management 406 Calle Principal

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com

Monterey, CA 93940



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Consultants:

Delimon Residence

Project Address:

5 San Carlos NW of 3rd Ave.

Project No:

2315.002

10/15/2024

Existing, Demolition & New Construction Notes for Kitchen Interior Remodel

Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

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2. INSTALL NEW 60"x40" AWNING STYLE WINDOW - SEE INTERIOR DESIGN DRAWING INSTALL ELECTRICAL OUTLETS IN EXISTING WALL PER 09/PL103 2. INSTALL ELECTRICAL OUTLETS IN EXISTING WALL PER 09/PL103 @ "KITCHEN- UPPER LEVEL".

@ "KITCHEN- UPPER LEVEL".

ASSOCIATED NOTES FOR THIS ELEVATION.

3. INSTALL NEW LIGHTING IN CEILING PER 09/PL102 @ "KITCHEN - UPPER LEVEL".

1. ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR

- 4. INSTALL NEW IN-FILL WALL (NON-STRUCTURAL) AT FORMER CASEMENT WINDOWS. REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH EXISTING TEXTURE IN PREPARATION FOR INSTALLATION OF NEW CABINETRY.
- REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR SELECTION BY OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

NEW CONSTRUCTION NOTES

- 1. ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR ASSOCIATED NOTES FOR THIS ELEVATION.
- 2. INSTALL ELECTRICAL OUTLETS IN EXISTING WALL PER 09/PL103 @ "KITCHEN- UPPER LEVEL".
- INSTALL NEW LIGHTING IN CEILING PER 09/PL102 @ "KITCHEN UPPER LEVEL".
- 4. INSTALL NEW IN-FILL WALL (NON-STRUCTURAL) AT FORMER CASEMENT WINDOWS. REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH EXISTING TEXTURE IN PREPARATION FOR INSTALLATION OF NEW CABINETRY.
- REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR SELECTION BY OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

1. ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR

3. ADD ELECTRICAL OUTLETS IN AREA PREVIOUSLY DOORWAY PER 09/PL103 @

4. INSTALL NEW LIGHTING IN CEILING PER 09/PL102 @ "KITCHEN - UPPER LEVEL".

6. REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR - SELECTION BY

5. REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH

OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

ASSOCIATED NOTES FOR THIS ELEVATION.

NUMBER K2/2 FOR MORE INFORMATION.

"KITCHEN- UPPER LEVEL".

EXISTING TEXTURE.



DEMOLITION NOTES

NEW CONSRUCTION NOTES

WATER DAMAGE.

6. PAINT TO MATCH EXISTING SIDING.

- — — CONSTRUCTION TO BE REMOVED
- REMOVE DOUBLE CASEMENT WINDOWS TO THE ROUGH FRAME OPENING. 2. EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY
- 3. REMOVE PLANTER BOX AND REMOVE EXTRANEOUS TRIM.

DEMOLITION NOTES

NEW CONSRUCTION NOTES

CREATE ROUGH OPENING IN EXISTING WOOD STUD WALL FOR A 2'-6"x6'-8" EXTERIOR DOOR AND 2'-0"x3'-0" SINGLE- HUNG WINDOW - OPENINGS NOT IN SHEAR WALLS.

INSTALL NEW DOOR AND WINDOW PER MANUFACTURER INSTRUCTIONS

2. PROVIDE GALVANIZED FLASHING AT DOOR TO LEDGER - SEE DETAILS @ 04/A106

GALV. MTL. THRESHOLD

INSTALL DOOR AND WINDOW EXTERIOR TRIM TO MATCH EXISTING ELSEWHERE.

3. INSTALL DOOR AND WINDOW INTERIOR TRIM TO MATCH EXISTING ELSEWHERE.

4. INSTALL INTERIOR DRYWALL AND TRIM TO MATCH EXISTING

@ LEDGER FLASHING

INCLUDING SELF-ADHESIVE FLASHING - STANDARD CONSTRUCTION

CUT EXISTING SIDING TO ACCEPT NEW 3-1/2" WOOD TRIM TO MATCH EXISTING TRIM.

DEMOLITION NOTES

NEW CONSRUCTION NOTES

- — — CONSTRUCTION TO BE REMOVED
- 1. REMOVE DOUBLE DOORS TO THE ROUGH FRAME OPENING.

INSTALL WINDOW PER MANUFACTURER INSTRUCTIONS,

INSTALL INTERIOR DRYWALL AND TRIM TO MATCH EXISTING.

SEE INTERIOR DESIGN FOR NEW WALL FINISHES.

INCLUDING SELF-ADHESIVE FLASHING - STANDARD CONSTRUCTION

INSTALL WINDOW EXTERIOR TRIM TO MATCH EXISTING ELSEWHERE.

2. EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY.

DEMOLITION NOTES

- — — CONSTRUCTION TO BE REMOVED
 - REMOVE DOUBLE DOORS TO THE ROUGH FRAME OPENING.
- 2. EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY.

NEW CONSRUCTION NOTES

INSTALL WINDOW PER MANUFACTURER INSTRUCTIONS,

WALL BELOW NEW WINDOW - STANDARD CONSTRUCTION.

INSTALL INTERIOR DRYWALL AND TRIM TO MATCH EXISTING.

SEE INTERIOR DESIGN FOR NEW WALL FINISHES.

INCLUDING SELF-ADHESIVE FLASHING - STANDARD CONSTRUCTION

INSTALL WINDOW EXTERIOR TRIM TO MATCH EXISTING ELSEWHERE.

INSTALL LAPSTRAKE HORIZONTAL SIDING TO MATCH EXISTING AT EXTERIOR

TO FRAMING WINDOW OPENINGS. WINDOW & DOOR HEADER HEIGHT: @ 6'-10" @ 8'-1" PLT. HT. TYP.

SOLAR HEAT GAIN COEFFICIENT OF .35 OR LOWER.

SELECTED BY OWNER.

- VERIFY WALL THICKNESS, PROVIDE JAMB EXTENSIONS AS REQUIRED. 8. PROVIDE WINDOWS WITH NAILING FINS AS STANDARD WITH MFR., UNLESS
- OTHERWISE NOTED. 9. PROVIDE SCREENS WITH FINISH SURROUNDS TO MATCH WINDOW FRAMES. 10. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH

FIXED

INSTALL OBSCURE FILM TO MATCH FILM

IN CLERESTORY WINDOWS ABOVE

OPENING

SINGLE HUNG | 2'-0" | 3'-4" | 4 1/2" | DBL.

NOMINAL | WALL | GLAZ'G. | MATERIAL | HARDWARE | REMARKS

NOM. INSUL. CLAD

NOM.

NOM.

5'-0" 2'-0" 4 1/2" DBL.

WITH MFR. STANDARD HARDWARE, COLOR - WHITE, UNLESS OTHERWISE

ALL WINDOWS SHALL HAVE A MAXIMUM "U" FACTOR OF 4.7 AND A MINIMUM

4. ALL WINDOWS TO BE DOUBLE INSULATED, CLEAR, "LOW-E II, ARGON FILLED. VERIFY ROUGH FRAME OPENING DIMENSIONS WITH WINDOW MFR. PRIOR

INSUL. CLAD

TEMP. WOOD

INSUL. CLAD

TEMP. WOOD

MFR. KITCHEN

VERIFY (E)

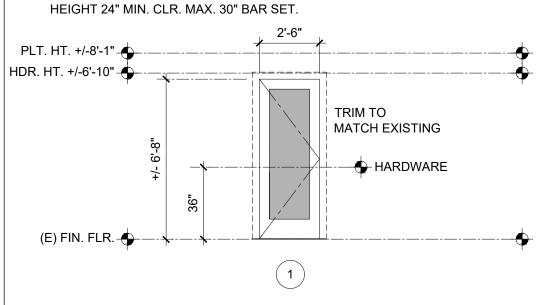
PRIMARY

R. O.

MFR.

MFR.

- NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AND AREA NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS,
- DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS WITH A MINIMUM OPEN AREA BEING 4% OF THE FLOOR AREA BEING VENTILATED. 12. MINIMUM EGRESS WINDOW IS 5.7 SF W/ WIDTH MIN. 20" CLR. &



DOOR SCHEDULE

DOOR NUMBER	QTY.	DESCRIPT	TION						
NOMBER		TYPE	W.	H.	THK.	CONSTRUCTION	MATERIALS	FINISH	GLAZ'G.
1	1	EXTERIOR OUTSWING	2'-6"	6'-8"	MFR.	STILE & RAIL W/ SINGLE VISION PANEL	ALUMIN. CLAD WOOD	PRIMED FOR PAINT	DBL. INSUL. TMP.

- 1. EXTERIOR DOORS BY "MARVIN" OR EQUIVALENT
- 2. PROVIDE MIN. 3 PR. HINGES @ ALL SWINGING DOORS . VERIFY DOOR SWINGS ON FLOOR PLAN PRIOR TO ORDERING DOORS
- 4. COORDINATE HARDWARE SELECTIONS WITH MANUFACTURER'S
- STANDARD HARDWARE OPTIONS, UNLESS OTHERWISE SPECIFIED 5. ALL EXTERIOR DOORS SHALL BE FURNISHED WITH DOUBLE PANE INSULATING GAS FILLED GLASS UNITS.
- 6. INSTALL JAMB EXTENSIONS AS PROVIDED BY MANUFACTURER
- TO MATCH WALL THICKNESS PER FLOOR PLANS 7. ALL DOORS TO BE PRE-HUNG, TRIM TO MATCH EXISTING ELSEWHERE.

HARDWARE GROUP 1

FUNCTION: LEVER/LATCH SET: MODEL:

SECURED ENTRY - ELECTRONIC LOCK WITH EXTERIOR KEY/INTERIOR DEAD BOLT "SCHLAGE" KEY PAD W/ PLYMOUTH TRIM AND FLAIR FLEX LOCK SATIN NICKEL

SELECTED BY OWNER 4 PAIR - EACH, 4-1/2", FINISH MATCH DOOR HARDWARE

Sheet Title:

Construction Notes for **Exterior Elevations** Door & Window Schedules

Replace Double Doors with single Fixed Window Replace Double Doors with single Fixed Window

5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning

Construction Management

406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143

Email: arobinson@thesiennacompany.com

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Consultants:

Project No:	2315.002
Issue Date:	10/15/202

Delimon

Remodel

Residence

Revisions:

Project Address:

Existing, Demolition & New

Remove Double Casement Windows and fill in with Horizontal Siding to match (E)

1. PROVIDE ADDITIONAL WOOD STUDS TO MATCH EXISTING IN ROUGH OPENING.

PROVIDE SHEAR NAILING IF NECESSARY (6" O.C. @ EDGES, 12" O.C. FIELD).

4. INSTALL SELF-ADHESIVE MOISTURE BARRIER OF PLYWOOD, OVERLAP EXISTING

2. EVALUATE REMAINING CONSTRUCTION FOR STRUCTURAL INTEGRITY OR

INSTALL PLYWOOD OVER NEW STUDS TO MATCH (E) PLYWOOD.

5. INSTALL LAPSTRAKE, HORIZONTAL WOOD SIDING TO MATCH EXISTING.

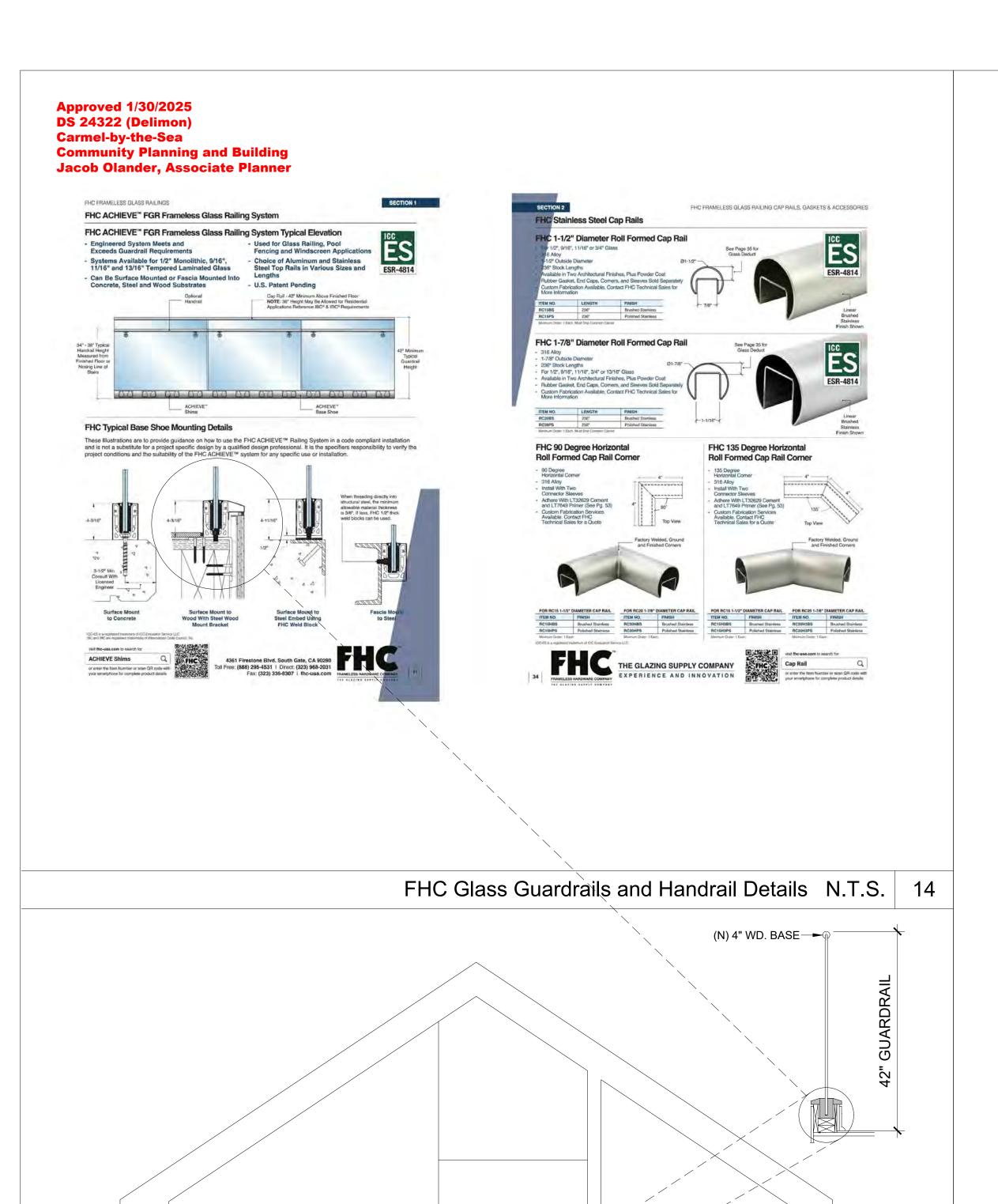
7. IN-FILL INTERIOR VOID AS REQUIRED, MATCH (E) DRYWALL FINISH.

MOISTURE MEMBRANE BY 6" ON ALL SIDE, IF POSSIBLE.

Create New Wall Openings for new Hinged Door and Double-hung Window

at new Shower in Primary Bathroom

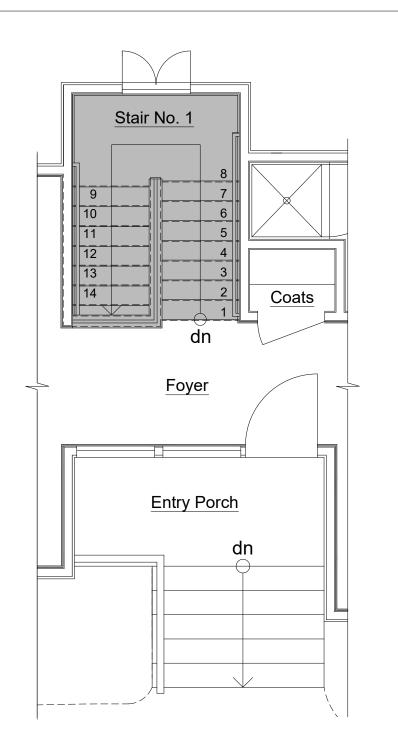
at new Shower in Primary Bathroom



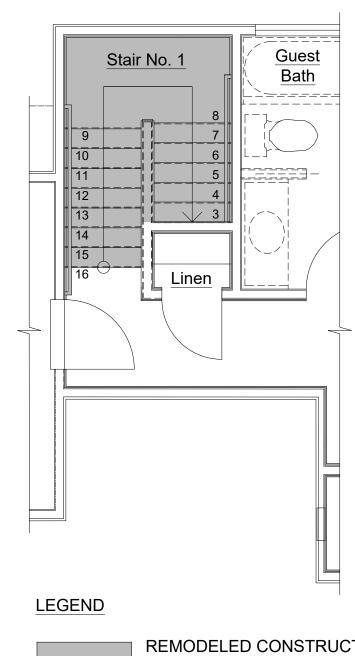
2'-0"

SEE ENLARGED

STAIR SECTION



(E) Partial Second Floor Plan



REMODELED CONSTRUCTION EXTENT OF WORK

CONSTRUCTION TO REMAIN

(E) Partial First Floor Plan

NEW CONSTRUCTION NOTES:

 $\frac{3}{8}$ " (N) ENGINEERED

TREAD W/ ½" NOSING

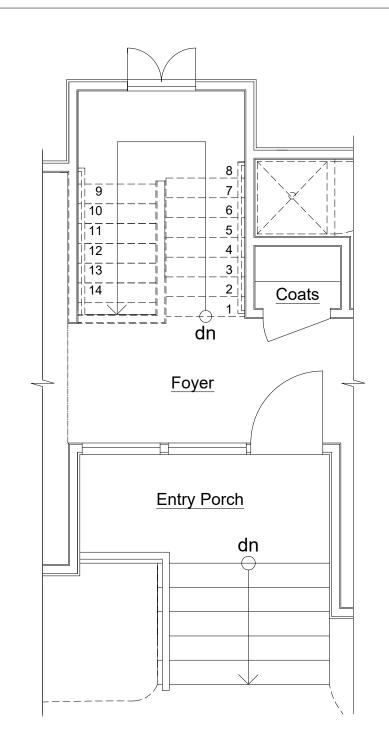
→ (E) WD. STRINGERS &

ENLARGED STAIR SECTION

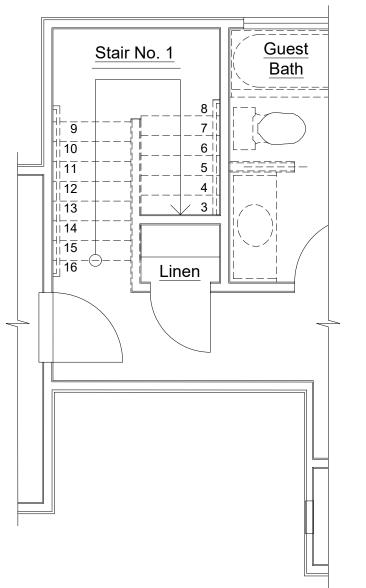
TREAD SUBSTRATE

WOOD FLOOR, RISER &

- INSTALL NEW HANDRAILS IN ACCORDANCE WITH NOTES REGARDING HANDRAILS @ 01/A105 GENERAL STAIR NOTES AND IN ACCORDANCE WITH TO MFR. INSTALLATION INSTRUCTIONS
- INSTALL "FHC ACHIEVE FRAMELESS GLASS RAILING SYSTEM" IN CONJUNCTION WITH MODIFIED, EXISTING WOOD FRAME GUARDRAILS. INSTALL PER MFR. INSTALLATION INSTRUCTIONS.
- GLASS GUARDRAILS SHALL BE $\frac{1}{2}$ " LAMINATED, TEMPERED FRAMELESS
- PROVIDE 1-1/2" O.D. STAINLESS STEEL CAP RAIL TO GLASS GUARDRAILS. MAKE HANDRAILS AFFIXED TO OUTBOARD WALLS SIMILAR TO CAP RAIL ON GUARDRAILS.
- COLOR PREFERENCE FOR GUARDRAIL CAP, HANDRAIL & SUPPORTS AND BASE SHOE IS SIMILAR TO DARK, BRONZE ANODIZED ALUMINUM RAILING.
- 6. INSTALL 3/8" ENGINEERED WOOD TREAD WITH NOSING AND RISER TO MATCH NEW FLOORING THROUGHOUT. WOOD FLOORING SELECTION BY OWNER.
- INSTALL WOODEN TOPSET BASEBOARD (ON TREADS AND RISERS) TO ALIGN AND MATCH WITH NEW 4" DECORATIVE BASEBOARD AT LANDINGS AND HALLWAYS. PAINT COLOR BY OWNER ASSISTED BY INTERIOR DESIGNER.



(E) Partial Second Floor Plan



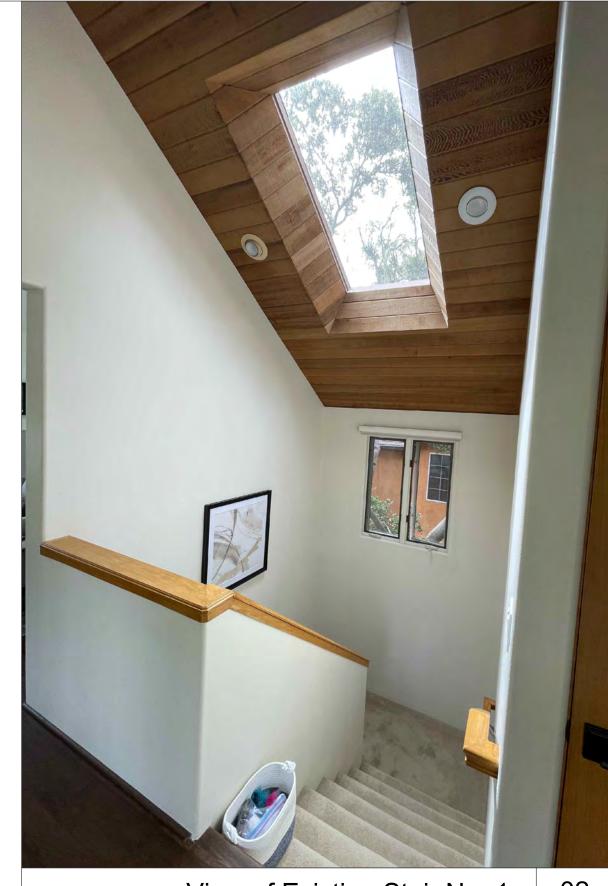
LEGEND

CONSTRUCTION TO REMAIN CONSTRUCTION TO BE REMOVED

(E) Partial First Floor Plan

DEMOLITION NOTES:

- A DESTRUCTIVE, FORENSIC INVESTIGATION HAS NOT BEEN PERFORMED. ASSUMPTIONS ARE THAT CONSTRUCTION IS IN GENERAL CONFORMANCE WITH CONVENTIONAL CONSTRUCTION. IF, UPON THE COURSE OF CONSTRUCTION, CONSTRUCTIONAL ANOMALIES ARE DISCOVERED, THE BUILDING CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER AND ARCHITECT FOR THE NEXT COURSE OF ACTION. ALSO SEE 01/A101 FOR ADDITIONAL GENERAL DEMOLITION
- DESCRIPTION OF DEMOLITION WORK: A. REMOVE CARPET AND PAD FOR STAIRWAY AND LANDINGS, DISPOSE OF REFUSE MATERIALS IN A LEGAL MANNER IN ACCORDANCE WITH RECYCLING
- CONFIRM THE INTEGRITY OF THE RISER AND TREAD SUBSTRATE, REPAIR OR REPLACE AS REQUIRED.
- REMOVE THE EXISTING WOODEN HANDRAILS, PATCH AND REPAIR HOLES IN THE WALL DUE TO GUARDRAIL SUPPORT BRACKETS TO MATCH REMAINING, EXISTING WALL SURFACES
- D. CUT EXISTING DRYWALL AND WOOD FRAMING FOR EXISTING GUARDRAILS TO ACCOMMODATE THE NEW METAL & GLASS RAILINGS, SEE DETAILS @ 13/A105 FOR NEW GUARDRAIL INSTALLATION. FOLLOW MFR.



View of Existing Stair No. 1

GENERAL STAIR NOTES

- VERIFY ALL FLOOR TO FLOOR DIMENSIONS WITH AS-BUILT CONDITIONS, TYPICAL
- PRIOR TO ALL WORK ON STAIRS CAREFULLY INSPECT THE INSTALLED WORK OF OTHER TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE TO THE POINT WHERE FABRICATION AND INSTALLATION OF THE WORK OF THIS SECTION MAY PROPERLY COMMENCE.
- 3. HANDRAILS AND STAIR RAILS ARE TO BE CONSTRUCTED SO THAT THE GRIP IS CONTINUOUS AND HAS NO ABRUPT CHANGES IN LEVEL
- 4. ALL HANDRAILS TO BE 1 1/2" DIA. O.D.
- 5. GRIND ALL WELDS SMOOTH & FREE OF BURS
- 6. ALL TREADS ARE TO BE SLIP-RESISTANT WITH SMOOTH, ROUNDED OR CHAMFERED EDGES. (NO ABRUPT EDGES)
- 7. STAIR TREADS AND RISER SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8" IN ANY FLIGHT OF STAIRS.
- 3. HANDRAILS AND GUARDS TO RESIST A LOAD OF OF 50 POUNDS PER LINEAR FOOT APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORT TO THE STRUCTURE,
- 9. HANDRAILS AND GUARDRAILS TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.
- 10. INTERMEDIATE RAILS SHALL WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS.
- 11. ALL REQUIRED GUARDRAILS MUST HAVE INTERMEDIATE RAILS OR A DECORATIVE PATTERN SUCH THAT A 4-INCH DIA. SPHERE WILL NOT PASS EXCEPT THAT A TRIANGULAR SPACE FORMED AT THE BOTTOM OR A GUARD, A STAIR RISER AND STAIR TREAD MAY BE SUCH THAT A 6-INCH DIA. SPHERE WILL NOT PASS THROUGH.

THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning

Construction Management 406 Calle Principal

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com

Monterey, CA 93940



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Consultants:

Delimon Residence Remodel

Project Address:

5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

Project No:

Issue Date:

2315.002 10/15/2024

Revisions:

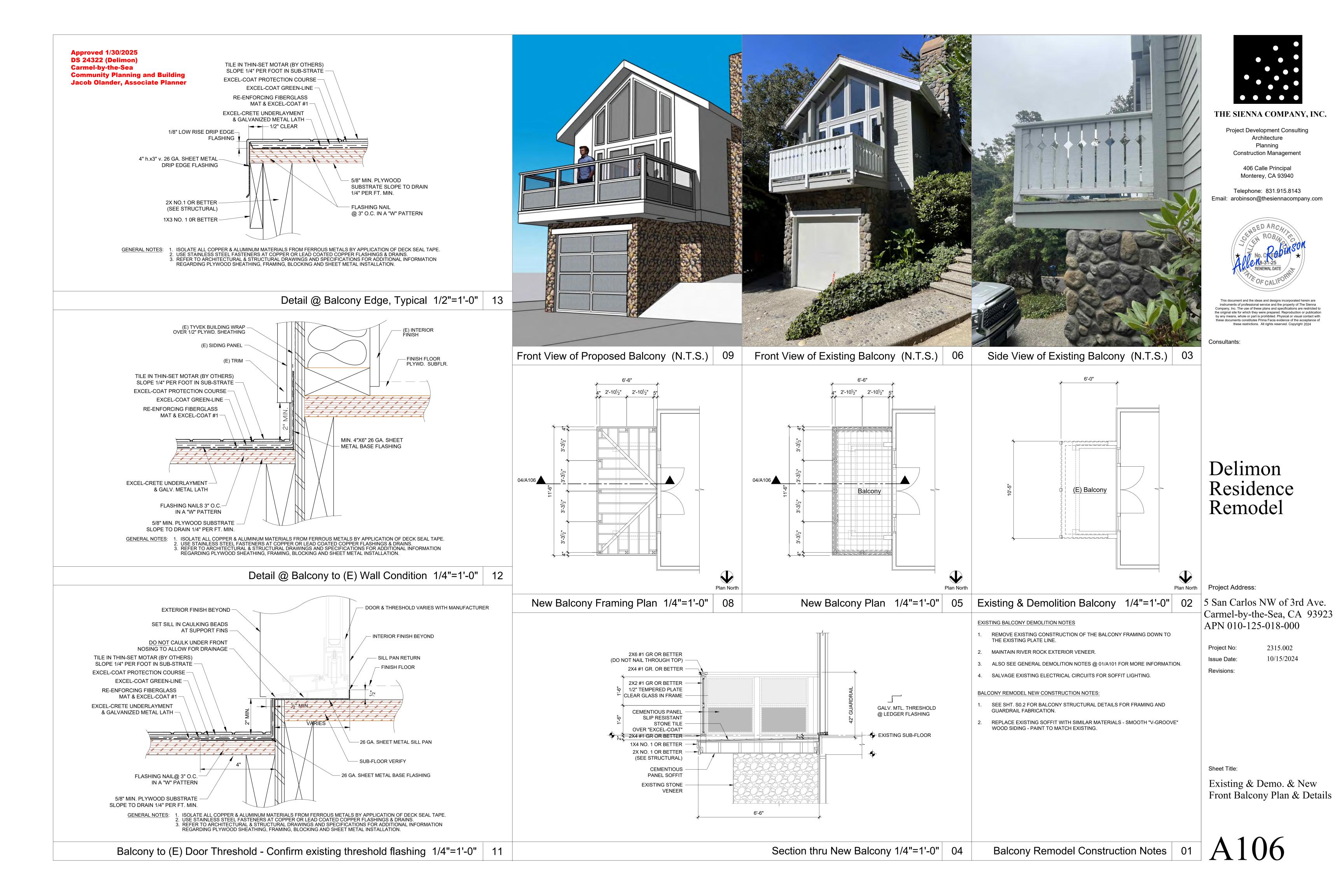
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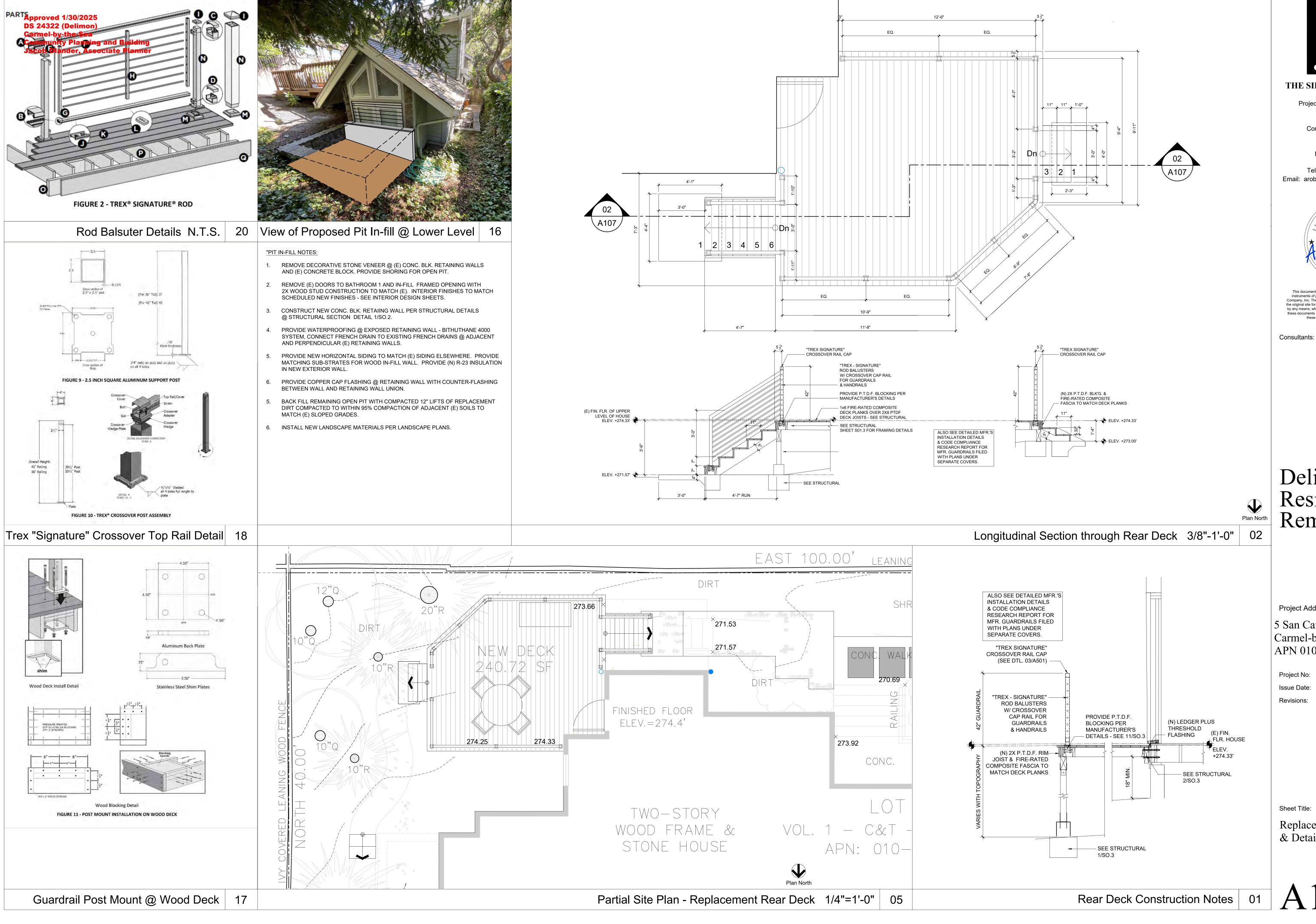
Existing, Demo. & New Interior Stair Plans & Details

General Stair Notes 01 A 105

Plan North

(N) 4" WD. BASE →





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Project Development Consulting Architecture Planning Construction Management

406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com



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Delimon Residence Remodel

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5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

Project No:

2315.002 01/06/2025

Revisions:

Replacement Rear Deck Plan & Details

Approved 1/30/2025
DS 24322 (Delimon)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Associate Planner

BATHROOM CONSTRUCTION NOTES:

- 1. ALL DEVICES SHALL BE "DECORA" STYLE, WHITE. DIMMERS SHALL MATCH "DECORA" DEVICES, AND SHALL INCLUDE INTEGRAL PRESET SLIDE AND ILLUMINATED SWITCH. DE-RATE INCANDESCENT DIMMER POWER CAPACITY WHEN INSTALLED ADJACENT IN SAME BOX.
- 2. INDICATE ON PLANS DETAILING PROPOSED ELECTRICAL INSTALLATIONS THAT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY AND SEALED WITH GASKET OR CAULKED BETWEEN HOUSING AND CEILING.
- 3. PERMANENTLY INSTALLED LUMINAIRIES IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRIES OR ARE CONTROLLED BY AN OCCUPANT SENSOR(S) CERTIFIED TO COMPLY WITH SECTION 119(d) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ON ALWAYS OPTION.
- 4. LUMINAIRIES PROVIDING OUTDOOR LIGHTING AND PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCELL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY EMERGENCY MANAGEMENT CONTROL SYSTEM
- 5. PROVIDE MINIMUM OF ONE (1) 20 AMP CIRCUIT SERVING ONLY THE BATHROOM OUTLETS IS REQUIRED.
- 6. SHOWER STALLS ARE REQUIRED TO HAVE A MINIMUM CLEAR THRESHOLD OPENING OF 22" AND THE FLOOR AREA MUST BE A MINIMUM OF 1024 SQ. INCHES AND ENCOMPASS A 30" CIRCLE.
- 7. GLASS SHOWER ENCLOSURES MUST BE TEMPERED.
- 8. TOILET AREA IS REQUIRED TO HAVE A MINIMUM WIDTH OF 30" CLEAR SPACE AND 24" CLEAR SPACE IN FRONT.
- 9. SHOWERHEAD MUST HAVE A PRESSURE/TEMPERATURE BALANCE VALVE W/ LESS THAN 1.8 GPH.
- 10. RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WATERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
- 11. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS, SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- 12. TWO (2) SMALL APPLIANCE OUTLET CIRCUITS, 20-AMP EACH, ARE REQUIRED IN KITCHEN, CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS.
- 13. AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.
- 14. TAMPER RESISTANT RECEPTACLES ARE REQUIRED FOR ALL LOCATIONS.
- 15. THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL, INTERIOR DUCT, VENTED TO OUTDOORS, AND HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK DRAFT DAMPER.
- 16. A "BATHROOM" WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION, SHALL BE MECHANICALY VENTILATED WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDED THE FOLLOWING:
- A. HAVE A MINIMUM VENTILATION RATE OF 50 CFM
 B. BE ENERGY STAR COMPLIANT
- BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%

 17. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS OR, IF THE FAN IS INTEGRAL WITH THE LIGHTING, IT SHALL BE POSSIBLE FOR THE

C. MUST BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT

LIGHTING TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO

THAT IS 12 INCHES OR WIDER SHALL REQUIRE A RECEPTACLE. (CEC 210.52 (C) (1))

- CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.

 18. KITCHEN COUNTERTOP OUTLETS SHALL BE INSTALLED SO THAT AT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. EACH COUNTERTOP SPACE
- 19. IN DWELLING UNITS, HALLWAYS 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACKE OUTLET. (CEC 210.52 (H).
- 20. RECEPTACLE OUTLETS IN THE HALLWAYS, DINING ROOM AND LIVING ROOM SHALL BE AFCI. ALL 12--VOLT, SINGLE PHASE. 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATIONAL ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (CEC 210.12 (A)).
- 21. LAUNDRY ROOM RECEPTACLES, INCLUDING THE WASHING MACHINE (BUT NOT THE DRYER) TO AFCI. LAUNDRY AREAS ARE NOW INCLUDED IN AFCI REQUIRED LOCATIONS. (CEC 210.12 (A)).

MISCELLANEOUS ELECTRICAL & LIGHTING NOTES:

- 1. ALL ELECTRICAL EQUIPMENT THAT IS ENTERED INTO FOR NEW CIRCUITS OR RECONFIGURATION OF CIRCUITRY SHALL BE UPGRADED TO MEET CURRENT CODE REQUIREMENTS. "EXISTING" (E) SHALL BE INTERPRETED AS NOT BEING AFFECTED BY WORK WITHIN THE SCOPE OF THIS PERMIT, AN ELECTRICAL PLAN APPROVAL DOES NOT WAIVE ANY REQUIREMENTS OF THE 2019 CEC OR CEnC.
- CONTRACTOR IS RESPONSIBLE TO ARRANGE FOR INSPECTION OF ELECTRICAL EQUIPMENT, INCLUDING CONDUCTOR TERMINATIONS IN PANELS IN A DE-ENERGIZED CONDITION.
- FIRE BARRIERS REQUIRED ELECTRICAL BOXES TO MAINTAIN A HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES IN NON-COMMUNICATING STUD CAVITIES. ELECTRICAL BOXES SHALL NOT EXCEED 100 SQ. INCHES. CBC714.42.
- 4. WHERE FLOOR/CEILING ASSEMBLIES ARE REQUIRED TO HAVE A FIRE-RESISTIVE RATING, RECESSED FIXTURE SHALL BE INSTALLED SUCH THAT THE REQUIRED, FIRE RESISTANCE WILL NOT BE REDUCED. CBC74.5.2.
- 5. FOR EXISTING PROJECTS, SUBMIT SMOKE DETECTOR AFFIDAVIT THAT SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS WILL BE/OR ARE INSTALLED IN COMPLIANCE WITH (R314-COMBINATION; R315.2-LISTING; R315.2.1-EXISTING; R315.33-LOCATIONS; R315.7-INTERCONNECTION.)
- 6. ALL GROUNDING ELECTRODES THAT ARE PRESENT AT EACH BUILDING TO BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. (cec 250.50) AND THAT A 'UFER" GROUND BE INSTALLED (CEC 210.23)
- 7. KITCHEN RECEPTACLES SHALL MEET THE FOLLOWING REQUIREMENTS: CEC 210.8, 210.12, 210.23, 210.52, 406.12. ELECTRIC STOVES AND OVENS SHALL BE SUPPLIED WITH A 40 OR 50-AMP BRANCH CIRCUIT. (CEC 210.23).

DEMOLITION & EXISTING ELECTRICAL CONSTRUCTION TO REMAIN:

- 1. ALL EXISTING FIXTURES AND ELECTRIC DEVICES TO BE REMOVED TO BE STRIPPED BACK TO DISTRIBUTION PANEL.
- 2. VERIFY ALL EXISTING CONSTRUCTION TO REMAIN COMPLIES WITH NEW CONSTRUCTION REQUIREMENTS. CORRECT ALL EXISTING DEFICIENCIES.

SMOKE AND CARBON MONOXIDE ALARMS

- 1. SHOW ALL LOCATIONS OF INTER-CONNECTED, HARDWIRED "SMOKE ALARMS" WITH BATTERY BACKUP IN THE FOLLOWING LOCATIONS (CMC 916.1.2):
 - A. IN EACH SLEEPING ROOM.
 - B. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - C. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 - D. "SMOKE ALARM SHALL BE INTER-CONNECTED, HARD-WIRED WITH BATTERY BACKUP".
 - E. BATTERY OPERATED ACCEPTABLE ONLY WHERE NO ACCESS FOR WIRING IN ATTIC OR IN CRAWLSPACE
 - FOR BUILDINGS WITH FUEL-BURNING APPLIANCES AND/OR ATTACHED GARAGES; PROVIDE AN APPROVED CARBON, INCLUDING BASEMENTS, MONOXIDE ALARM AT THE FOLLOWING LOCATIONS (R315.1.3):
 - A. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - B. ON EVERY LEVEL OF THE DWELLING, INCLUDING BASEMENTS.
 - C. "CARBON MONOXIDE ALARM WITH BATTERY BACKUP SHALL BE INTER-CONNECTED, HARD-WIRED WITH BATTERY BACKUP." (R315.1.3)

KITCHEN AND BATH ELECTRICAL NOTES:

- 1. ALL RECEPTACALE OUTLETS SERVING COUNTERTOPS IN KITCHENS OF DWELLING UNITS TO BE AFCI AND GFCI PROTECFED (CEC 210.8(A)(6).
- 2. BRANCH WIRING CIRCUITS SHALL HAVE ARC-FAULT CIRCUIT PROTECTION FOR 120-VOLT, SINGLE PHASE, 15 AND 20-AMPERE BRANCH CIRCUITS. (CEC 210.12(A)) EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS, AND BASEMENTS.
- WALL COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL AT LEAST BE INSTALLED AT WALL COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT AT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES, MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE. (CEC 210.52(C)(1))
- 4. ISLAND COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL AT LEAST BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. (CEC 210.52(C) (2))
- 5. PENINSULAR COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL AT EACH PENINSULA COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. A PENINSULAR COUNTER TOP IS MEASURED FROM THE CONNECTING EDGE. (CEC 210.52(C) (3))
- 6. SEPARATE SPACES: COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES IN APPLYING THE REQUIREMENTS OF CEC 210.52 (C) (1) (2) (3) (4).
- 7. COUNTER TOP RECEPTACLE OUTLET LOCATION: RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN THE WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS SHALL RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE, i.e. APPLIANCE GARAGES, SINKS, OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS. (CEC 210.52 (8)(5)).
- 8. TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. (CEC 210.52 (8) (1) (2).
- 9. INDIVIDUAL, DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. (CEC) 210.11 (C)(1) & 422.1.0 (A).
- 10. GARBAGE DISPOSAL CORD AND PLUG CONNECTED WITH A FLEXIBLE CORD 18" TO 36" LONG. (CEC 422.16 (8)(2)).
- 11. DISHWASHER CORD 36" TO 48" LONG. (CEC 422.16 (8)(2)).
- 12. MINIMUM 15 AMP CIRCUIT FOR DISHWASHER AND A 15 AMP CIRCUIT FOR DISPOSAL (CEC 210.23 (A)).
- 13. PROVIDE DEDICATED CIRCUIT FOR KITCHEN HOOD, (CEC 210.52 (T)(A)).
- 14. IF USING SPLIT OUTLET (TWO CIRCUITS ON SAME YOKE) FOR DISHWASHER / DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT PANEL. (CEC 210.7).
- 15. RANGE HOODS SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECT WHEN THE CORD IS TERMINATED WITH GROUNDING TYPE, NOT LESS THAN 18 INCHES AND NOT OVER 36 INCHES. THE RECEPTACLE IS ACCESSIBLE AND SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT. (CEC) 422.16 (B)(4).
- 16. PROVIDE MINIMUM OF ONE (1) 20 AMP (GFCI) CIRCUIT SERVING ONLY THE BATHROOM OUTLET IS REQUIRED.
- 17. RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WATERPROOF AND SHALL BE LISTED WEATHER RESISTANT
- 18. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS, SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- 19. A "BATHROOM" WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION, SHALL BE MECHANICALLY VENTILATED WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDED THE FOLLOWING:

 A. HAVE A MINIMUM VENTILATION RATE OF 50 CFM
- C. MUST BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%

BE ENERGY STAR COMPLIANT

20. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS OR, IF THE FAN IS INTEGRAL WITH THE LIGHTING, IT SHALL BE POSSIBLE FOR THE LIGHTING TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.

ELECTRICAL & LIGHTING NOTES:

- 1. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOAD CALCULATIONS AND MAINTAINING STANDARDS OF ELECTRICAL INSTALLATION IN CONFORMANCE WITH THE LATEST ADDITION OF THE NATIONAL ELECTRICAL CODE AND ANY LOCAL REGULATIONS THAT MAY APPLY AND IN A GOOD PROFESSIONAL, WORKMANLIKE
- 2. PROVIDE NEW 200 AMP ELECTRICAL MAIN SERVICE 'A', AND UTILIZE EXISTING SUB-PANEL 'B' FOR GARAGE AND FIRST FLOOR.
- 3. INSTALL ALL NEW WIRING, SWITCHES, LIGHT FIXTURES AND OUTLETS AS INDICATED ON ELECTRICAL & LIGHTING FLOOR PLANS FOR NEW CONSTRUCTION, ONLY REVIEW CONDITION OF EXISTING WIRING, REPLACE AS NECESSARY.
- ALL EXTERIOR LIGHTING SHOULD BE UNOBTRUSIVE, DOWN-LIT, HARMONIOUS WITH THE LOCAL NEIGHBORHOOD AND CONSTRUCTED OR LOCATED SO THAT ONLY THE INTENDED AREA IS ILLUMINATED AND OFF-SITE GLARE IS FULLY CONTROLLED. EXTERIOR LIGHTING SHALL BE LIMITED TO 25 WATTS OR LESS (INCANDESCENT EQUIVALENT. i.e. 375 LUMENS PER FIXTURE AND SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND. LANDSCAPE LIGHTING SHALL NOT EXCEED 18" ABOVE THE GROUND OR MORE THAN 15 WATTS INCANDESCENT EQUIVALENT, i.e. 225 LUMENS PER FIXTURE AND SHALL BE SPACED NO CLOSR THAN 10 FEET APART. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY. ALL EXTERIOR FIXTURES SHALL BE SHIELDED AND DOWN FACING. MANUFACTURER'S SPECIFICATIONS, INCLUDING ILLUMINATION INFORMATION FOR EACH EXTERIOR LIGHT. LIGHTING SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE OF REGULATIONS TITLE 24, PART 6. ALL LIGHTING ATTACHED TO RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICACY, AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING AUTOMATIC CONTROL TYPES:
 - A. PHOTO CONTROL AND MOTION SENSOR

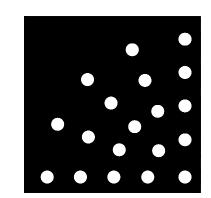
 B. PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL
 - B. PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROLC. ASTRONOMICAL TIME CLOCK THAT AUTOMATICALLY TURNS THE
 - OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.

 D. ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) THAT PROVIDES FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK THAT DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRES TO BE ALWAYS ON, AND IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING THE DAYLIGHT HOURS. MANUAL ON / OFF SWITCH MUST NOT OVERRIDE THE AUTOMATIC CONTROL FUNCTION LISTED ABOVE, AND ANY OTHER CONTROL THAT OVERRIDES THE AUTOMATIC CONTROLS TO "ON"
- 5. LIGHTING FIXTURES, LAMP HOLDERS, LAMPS, AND RECEPTACLES INSTALLED IN WET LOCATIONS SHALL BE SO INSTALLED THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS, LAMP HOLDERS, OR OTHER ELECTRICAL PARTS, ALL FIXTURES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS". INSTALLATIONS UNDERGROUND OR IN CONCRETE SLABS OR MASONRY IN DIRECT CONTACT WITH THE EARTH, AND OTHER LOCATIONS SUBJECT TO SATURATION WITH WATER OF OTHER LIQUIDS, SUCH AS LOCATIONS SUBJECT TO WEATHER, SHALL BE CONSIDERED WET LOCATIONS. BATH AND TOILET ROOM WINDOWS SHALL NOT BE LESS THAN THREE SQUARE FEET, ONE HALF OF WHICH MUST BE OPERABLE. (CRC R303.3)

MUST BE AUTOMATICALLY REACTIVE CONTROLS WITHIN SIX HOURS.

- 6. A BATH EXHAUST FAN WITH BACK DRAFT DAMPER AND HUMIDITY CONTROL IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. A ROOM CONTAINING A BATHTUB, SHOWER, OR SPA OR OTHER SIMILAR SOURCE OF MOISTURE,
- 7. EXHAUST FAN MUST VENT TO THE OUTDOORS IN APPROVED DUCT AND TERMINATE THE OUTLET A MINIMUM OF THREE FEET FROM ANY OPENING OR PROPERTY LINE.
- 8. BATH AND TOILET ROOMS SHALL HAVE AN EXHAUST RATE OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS, (CMC TABLE 403.7) EACH BATHROOM CONTAINING A SHOWER SHALL BE MECHANICALLY VENTILATED, UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO A MAXIMUM OF EIGHTY PERCENT. THE CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. (CMC 402.5, CALGREEN 4.506)
- 9. ELECTRICAL FIXTURES INSTALLED IN CLOSET CEILINGS SHALL PROVIDE MINIMUM CLEARANCE OF 12" BETWEEN FIXTURES AND NEAREST POINT OF STORAGE,
- 10. ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CEnC 150(k)2B)
- 11. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR THE BATHROOM RECEPTACLE OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION: WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE ALLOWED. (CEC 210.11 (C)(3)
- 12. BATHROOMS, GARAGES.LAUNDRY ROOMS AND UTILTY ROOMS SHALL HAVE AT LEAST ONE LUMINARIE IN EACH OF THESE SPACES CONTROLLED BY A VACANCY SENSOR PER (CENC 150(k)2J)
- 13. ALL RECESSED LIGHTS MUST BE ON DIMMER OR VACANCY SENSOR AND COMPLY WITH JA8-20 16-E ((CEnC TABLE 150.0A #7) SCREW BASES ARE NOT ALLOWED FOR LUMINARIES RECESSED IN CEILING. (CEnC 150.0(k)1GJ)
- 14. ALL JA8 LUMINARIES REQUIRE DIMMERS OR VACANCY SENSORS. (CENC 150.0(k)2K)
- 15 ALL INSTALLED LUMINARIES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 AND LABELED.
- 16. SCREW-BASED LUMINARIES SHALL MEET ALL OF THE FOLLOWING:
 A. THE LUMINARIES SHALL NOT BE RECESSED DOWNLIGHT LUMINARIES
- IN CEILINGS; AND

 B. THE LUMINARIES SHALL CONTAIN LAMPS THAT COMPLY WITH
- REFERENCE JOINT APPENDIX JA8; AND
 C. THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2016 OR A8-2016-E
- 17. RECESSED LIGHT FIXTURES INSULATED IN CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR-TIGHT (ASTM E283) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. (CENC 150.0(k)1C)
- 18. ALL 125-VOLT, 15- AMPERE AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. (CEC 406.12)
- 19. RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
- 20. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- 21. AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT THOSE LOCATED OUTDOORS, IN BATHROOMS, LAUNDRY ROOMS, UNFINISHED BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR, COUNTER TOP SURFACES AND GARAGES.
- 22. GFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, CRAWL SPACES, KITCHEN AND WET BAR COUNTER TOP SURFACES AND GARAGES.



THE SIENNA COMPANY, INC.

Project Development Consulting
Architecture
Planning
Construction Management

406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143
Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence Remodel

Proiect Address:

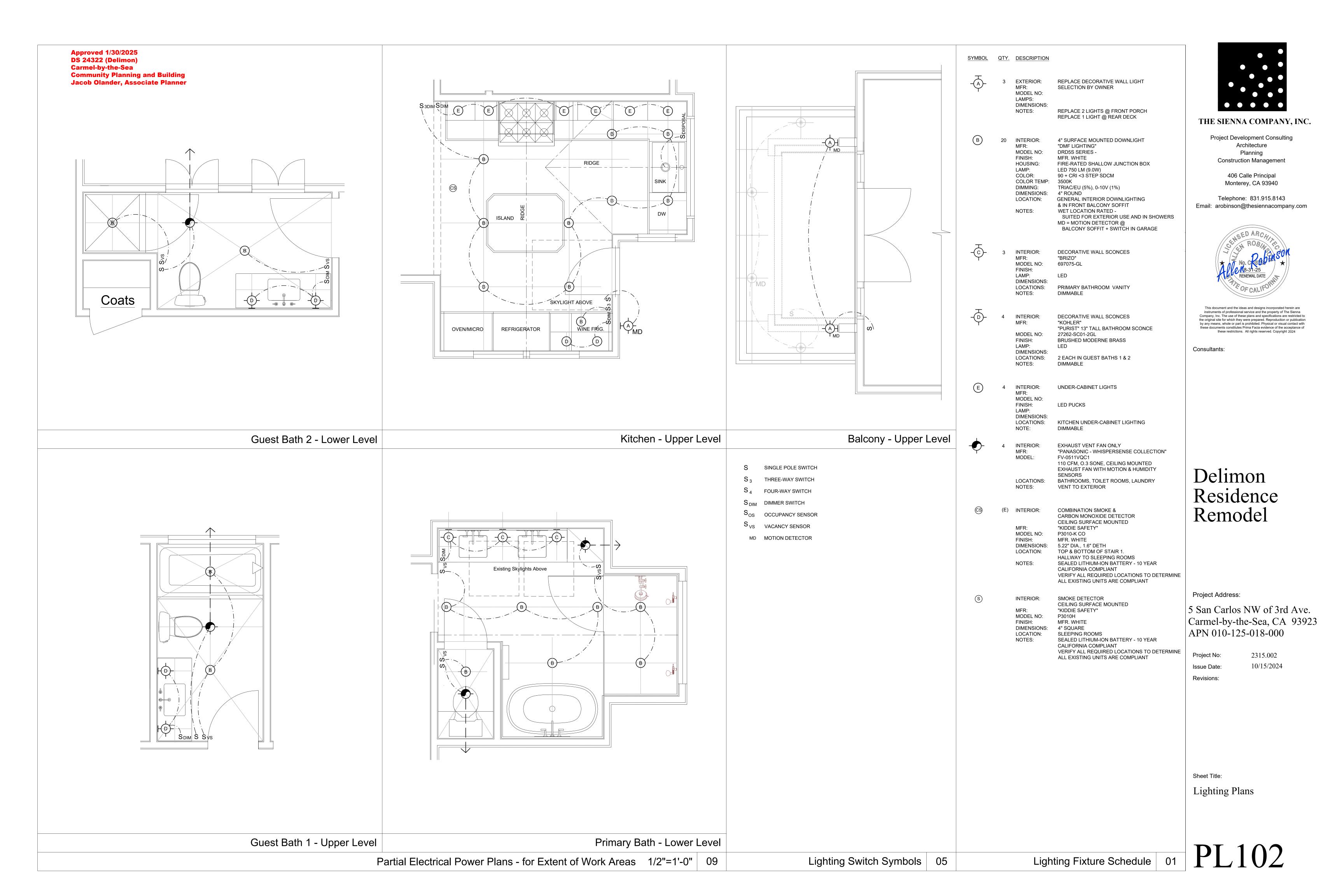
5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

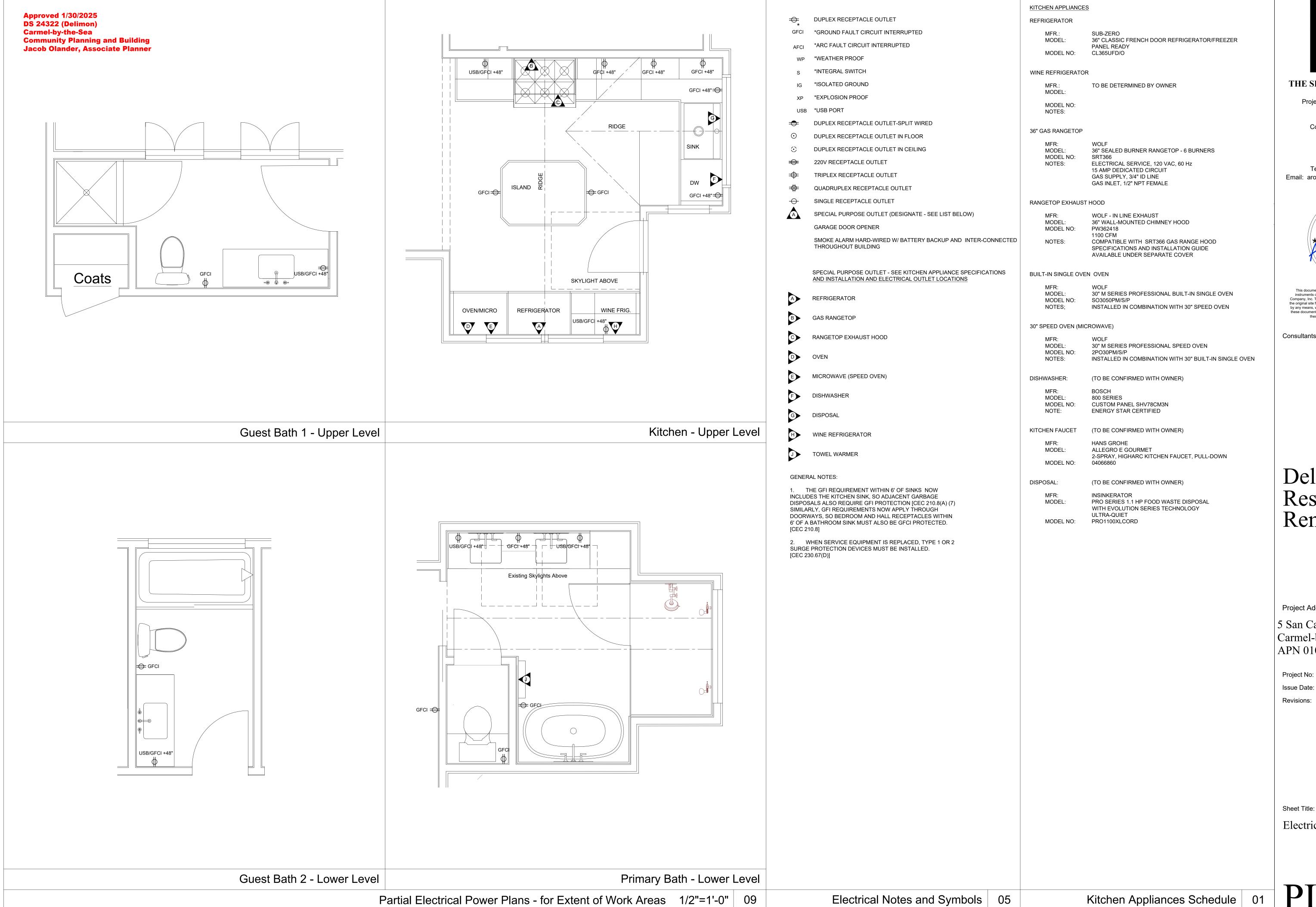
Project No: 2315.002
Issue Date: 10/15/2024

Sheet Title:

Revisions:

Electrical Power and Lighting General Notes





THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning Construction Management

> 406 Calle Principal Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com



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Delimon Residence Remodel

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2315.002 10/15/2024 Issue Date:

Electrical Power Plans

	A RESPON. PARTY	CHAPTER 3 GREEN'BUILTO NG5 SECTION 301, GENERAL	Y N/A RESPON. PARTY	= = =	YES NOT APPLICABLE RESPONSIBLE PARTY: (ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)
		30 Proopety Blanging 6	and Building de the	green b rv areer	uilding measures specified as mandatory in building measures are also included in the
		application checklists and may l but are not required unless ado	be included in the design a pted by a city, county, or c	and con city and	struction of structures covered by this code, county as specified in Section 101.7.
		additions or alterations of	f existing residential buildi ea, volume, or size. The re	ngs whe	y provisions of Chapter 4 shall be applied to ere the addition or alteration increases the ents shall apply only to and/or within the
		improvements shall repla Plumbing fixture replacen of occupancy or final peri	ce noncompliant plumbing ment is required prior to iso mit approval by the local b of a noncompliant plumbir	fixtures suance o uilding o	indergoing permitted alterations, additions, or s with water-conserving plumbing fixtures. of a certificate of final completion, certificate department. See Civil Code Section 1101.1, e, types of residential buildings affected and
		individual sections of CALGreer buildings, or both. Individual se	n may apply to either low-rections will be designated l or high-rise only (HR). V	ise resid by bann	UILDINGS. [HCD] The provisions of dential buildings high-rise residential ers to indicate where the section applies e section applies to both low-rise and
		SECTION 302 MIXED OCCU 302.1 MIXED OCCUPANCY shall comply with the specific gr	BUILDINGS. In mix	ed occu	upancy buildings, each portion of a building
		ABBREVIATION DEFINITION	ONS:		to outil openine eccupanty.
		BSC California Building Stand DSA-SS Division of the State Arc OSHPD Office of Statewide Heal LR Low Rise HR High Rise AA Additions and Alteration	hitect, Structural Safety Ith Planning and Developr		
		N New CHAPTER 4			
		RESIDENTIAL MA			SURES
		DIVISION 4.1 PLANI SECTION 4.102 DEFINITIO 4.102.1 DEFINITIONS	NING AND DES ONS	IGN	
		The following terms are defined in Cha FRENCH DRAIN. A trench, hole or oth	her depressed area loosely	/ filled w	eference) vith rock, gravel, fragments of brick or similar
			e sediment in runoff. Wattle	es are o	ften constructed of natural plant materials aced on a downflow slope. Wattles are also
		used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT	Г	•	s shall be accomplished through evaluation
) X)	and careful planning to minimize management of storm water dra	e negative effects on the si inage and erosion controls	te and a shall co	djacent areas. Preservation of slopes, omply with this section.
		than one acre of soil and are not or more, shall manage storm wa	t part of a larger common ր iter drainage during constr e of the following measures	olan of d uction.	STRUCTION. Projects which disturb less development which in total disturbs one acre In order to manage storm water drainage e implemented to prevent flooding of adjacent
		Where storm water is disposal method, water by the enforcing agen	conveyed to a public drainer shall be filtered by use o	age sys f a barri	ain storm water on the site. stem, collection point, gutter or similar ier system, wattle or other method approved ement ordinance.
		Note: Refer to the State Water F are part of a larger common plar (Website: https://www.waterboar	n of development which in	total dis	
	5		to keep water from entering		the site grading or drainage system will lgs. Examples of methods to manage surface
		Water collection and c French drains Water retention garde	ens	r away f	rom buildings and aid in groundwater
		Exception: Additions and	d alterations not altering th		
		4.106.4 Electric vehicle (EV) chargin 4.106.4.1, 4.106.4.2, or 4.106.4. equipment (EVSE) shall be insta	3 to facilitate future installa	ation and	d use of EV chargers. Electric vehicle supply
		infrastructure and 1.1 Where the 1.2 Where the 1.2 Where the utility information the utility dwelling 2. Accessory Dwel	e not feasible based upon nere is no commercial pow nere is evidence substantia frastructure design require y side cost to the homeow unit. Iling Units (ADU) and Junio	one or reer suppositing that ments of ner or the	g agency has determined EV charging and more of the following conditions: ly. at meeting the requirements will alter the local in the utility side of the meter so as to increase the developer by more than \$400.00 per assory Dwelling Units (JADU) without additional
	5 🗆	parking facilities 4.106.4.1 New one- and two-fa	amily dwellings and towr	houses	s with attached private garages. For each
		dwelling unit, install a listed race shall not be less than trade size service or subpanel and shall tel proposed location of an EV char concealed areas and spaces. Th	eway to accommodate a de 1 (nominal 1-inch inside d rminate into a listed cabine ger. Raceways are require ne service panel and/or sul	edicated iameter) et, box o ed to be opanel s	208/240-volt branch circuit. The raceway). The raceway shall originate at the main or other enclosure in close proximity to the continuous at enclosed, inaccessible or shall provide capacity to install a 40-ampere installation of a branch circuit overcurrent
		protective device space(s)		arging a	ircuit directory shall identify the overcurrent as "EV CAPABLE". The raceway termination PABLE".
X	5 🗆	parking spaces on a building site,	provided for all types of pa pporting future EVSE. Cal	rking fa	able, ten (10) percent of the total number of cilities, shall be electric vehicle charging s for the required number of EV spaces shall
		facilitating future EV cl	harging.		e project's capability and capacity for
		for use.	TILLION EV SPACES to be con	Struotoc	of available until Ev chargers are installed

CHAPTER 3	Y	=	YES	Y	N/A	RESPON.
REPRING 1/39/8035 DS 24322 (Delimon) Calmerby-the-Sea	N/A RESPON. PARTY	=	NOT APPLICABLE RESPONSIBLE PARTY: (ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)			PARTI
PSOOPĖ! yB <mark>Rilangsina</mark> b			uilding measures specified as mandatory in		X	
application checklists and may	be included in the design a	and cons	building measures are also included in the struction of structures covered by this code, county as specified in Section 101.7.			
additions or alterations of	f existing residential buildir ea, volume, or size. The re	ngs whe	r provisions of Chapter 4 shall be applied to re the addition or alteration increases the nts shall apply only to and/or within the			
improvements shall repla Plumbing fixture replacen of occupancy or final peri	nce noncompliant plumbing ment is required prior to iss mit approval by the local b of a noncompliant plumbin	g fixtures suance c uilding d	ndergoing permitted alterations, additions, or s with water-conserving plumbing fixtures. of a certificate of final completion, certificate department. See Civil Code Section 1101.1, e, types of residential buildings affected and			
individual sections of CALGreer buildings, or both. Individual se	n may apply to either low-r ections will be designated b) or high-rise only (HR). W	rise resid by banne	UILDINGS. [HCD] The provisions of dential buildings high-rise residential ers to indicate where the section applies section applies to both low-rise and			
ECTION 302 MIXED OCC	UPANCY BUILDING	GS				
			pancy buildings, each portion of a building			
shall comply with the specific gr	reen building measures ap	plicable	to each specific occupancy.		X	
ABBREVIATION DEFINITION DEPARTMENT OF HOUSING	ONS: and Community Developm	nent				
SC California Building Stand SA-SS Division of the State Arc	dards Commission chitect, Structural Safety					
SHPD Office of Statewide Heal R Low Rise	lth Planning and Developn	nent			X	
R High Rise A Additions and Alteration	s					
New						
HAPTER 4						
RESIDENTIAL MA			SURES			
IVISION 4.1 PLANI	NING AND DES	IGN			X	
ECTION 4.102 DEFINITIO 102.1 DEFINITIONS	ONS					
e following terms are defined in Cha	apter 2 (and are included he	ere for re	eference)		X	
ENCH DRAIN. A trench, hole or oth vious material used to collect or cha			ith rock, gravel, fragments of brick or similar			
			ten constructed of natural plant materials ced on a downflow slope. Wattles are also			
	d use of available natural re e negative effects on the sit	te and a	s shall be accomplished through evaluation djacent areas. Preservation of slopes, mply with this section.			
than one acre of soil and are not or more, shall manage storm wa	t part of a larger common pater drainage during constructions of the following measures	olan of de uction. I	STRUCTION. Projects which disturb less evelopment which in total disturbs one acre n order to manage storm water drainage implemented to prevent flooding of adjacent			
Where storm water is disposal method, water by the enforcing agen	er shall be filtered by use o icy.	age syst of a barrie	tem, collection point, gutter or similar er system, wattle or other method approved			
2 Compliance with a less	viuny enacieu Stoffii Water	шападе				
Compliance with a law Note: Refer to the State Water F	Resources Control Board fo	or projec	its which disturb one acre or more of soil or		1	
 Compliance with a law Note: Refer to the State Water F are part of a larger common plan 						
Note: Refer to the State Water F are part of a larger common plar (Website: https://www.waterboar	n of development which in rds.ca.gov/water_issues/pr	total dist	curbs one acre or more of soil.			
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Note: Refer to the State Water Fare part of a larger common plan (Website: https://www.waterboar. 106.3 GRADING AND PAVING. Comanage all surface water flows twater include, but are not limited. 1. Swales 2. Water collection and common december of the service	n of development which in rds.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties/p	total dist rograms/ rograms/ rate how g building r away fr e drainag New cor ation and e Californ er suppl ating that ments or ner or the	surbs one acre or more of soil. (stormwater/construction.html) the site grading or drainage system will gs. Examples of methods to manage surface om buildings and aid in groundwater ge path. Instruction shall comply with Sections If use of EV chargers. Electric vehicle supply Inia Electrical Code, Article 625. If agency has determined EV charging and Inore of the following conditions: y. It meeting the requirements will alter the local In the utility side of the meter so as to increase			
Note: Refer to the State Water Fare part of a larger common plan (Website: https://www.waterboard 106.3 GRADING AND PAVING. Commanage all surface water flows twater include, but are not limited 1. Swales 2. Water collection and 3. French drains 4. Water retention garde 5. Other water measures recharge. Exception: Additions and 106.4 Electric vehicle (EV) chargin 4.106.4.1, 4.106.4.2, or 4.106.4. equipment (EVSE) shall be instanced infrastructure are 1.1 Where the 1.2 Where the utility inform the utility dwelling 2. Accessory Dwel parking facilities	n of development which in reds.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.ca.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties.co.gov/water_issues/properties/prope	total dist total dist rograms/ rograms/ eate how g building r away fr e drainag New cor ation and e Califord enforcing one or n ver suppl ating that ments or ner or the or Access	surbs one acre or more of soil. (stormwater/construction.html) the site grading or drainage system will gs. Examples of methods to manage surface om buildings and aid in groundwater ge path. Instruction shall comply with Sections If use of EV chargers. Electric vehicle supply Inia Electrical Code, Article 625. In agency has determined EV charging and In ore of the following conditions: If y. It meeting the requirements will alter the local In the utility side of the meter so as to increase It is developer by more than \$400.00 per			

201 and over 6 percent of total .106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to emply with the following: 1. The minimum length of each EV space shall be 18 feet (5486mm). 2. The minimum width of each EV space shall be 9 feet (2743mm) .106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed accordance with Section 4.106.4.2.3. 106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be esigned in accordance with Section 4.106.4.2.4. .106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 1.106.4.2.5. .106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for otels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging tations in the California Building Code, Chapter 11B. **DIVISION 4.2 ENERGY EFFICIENCY** 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

NUMBER OF REQUIRED EV

SPACES

4

10

required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

requirements of the California Building Code, Chapter 11A, to allow use of the EV charger

1. The EV space shall be located adjacent to an accessible parking space meeting the

1. The minimum length of each EV space shall be 18 feet (5486 mm).

2. The minimum width of each EV space shall be 9 feet (2743 mm).

horizontal (2.083 percent slope) in any direction.

minimum width of the EV space is 12 feet (3658 mm).

installation of a branch circuit overcurrent protective device.

from the accessible parking space.

Code, Chapter 2, to the building.

designed to comply with the following:

Building Code, Chapter 11B

time of original construction.

of the EV spaces.

with the California Electrical Code.

nearest whole number.

SPACES

10-25

26-50

51-75

76-100

101-150

151-200

TABLE 4.106.4.3.1

TOTAL NUMBER OF PARKING

Y N/A RESPON. DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION **4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS)** When EV chargers are installed, EV spaces 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, 2. The EV space shall be located on an accessible route, as defined in the California Building Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final **Exception:** Electric vehicle charging stations designed and constructed in compliance with the completion, certificate of occupancy, or final permit approval by the local building department. See Civil California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. Note: Electric Vehicle charging stations serving public housing are required to comply with the California 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. **4.106.4.2.2 Electric vehicle charging space (EV space) dimensions.** The EV space shall be Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. **4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the 4.303.1.3 Showerheads. a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction allow one shower outlet to be in operation at a time. documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall electrical load calculations to verify that the electrical panel service capacity and electrical system, not be less than 0.8 gallons per minute at 20 psi. including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 4.303.1.4.2 Layatory Faucets in Common and Public Use Areas. The maximum flow rate of layatory 40-ampere minimum branch circuit. Required raceways and related components that are planned to be faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the buildings shall not exceed 0.5 gallons per minute at 60 psi. **4.106.4.2.5 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance **4.106.4.3 New hotels and motels.** All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location 1. Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging.

2. There is no requirement for EV spaces to be constructed or available until EV chargers 4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND

TABLE - MAXIMUM FIXTURE WATER USE		
FIXTURE TYPE	FLOW RATE	
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI	
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI	
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI	
KITCHEN FAUCETS	1.8 GPM @ 60 PSI	
METERING FAUCETS	0.2 GAL/CYCLE	
WATER CLOSET	1.28 GAL/FLUSH	
URINALS	0.125 GAL/FLUSH	

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations. Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

management ordinance.

Y N/A RESPON.

 Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or

recycle facilities capable of compliance with this item do not exist or are not located reasonably

in conformance with Items 1 through 5. The construction waste management plan shall be updated as

3. The enforcing agency may make exceptions to the requirements of this section when isolated

jobsites are located in areas beyond the haul boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.

necessary and shall be available during construction for examination by the enforcing agency.

2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream)

3. Identify diversion facilities where the construction and demolition waste material collected will be

4. Identify construction methods employed to reduce the amount of construction and demolition waste

5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.

2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION **4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the

ne cycle of the structure 2. Operation and maintenance instructions for the following:

a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.

b. Roof and yard drainage, including gutters and downspouts.

c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems.

e. Water reuse systems.

3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

4. Public transportation and/or carpool options available in the area.

5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.

6. Information about water-conserving landscape and irrigation design and controllers which conserve 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5

feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking,

painting, grading around the building, etc.

9. Information about state solar energy and incentive programs available.

10. A copy of all special inspections verifications required by the enforcing agency or this code.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

4.503.1 Any installed gas fireplace shall be a direct-vented, sealed-combustion type.

THE SIENNA COMPANY, INC.

Project Development Consulting Architecture Planning Construction Management

406 Calle Principal

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com

Monterey, CA 93940



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Consultants:

Delimon Residence

Project Address:

5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

2015.002

Project No: Issue Date:

10/15/2024 Revisions:

CA Green Building Code Residential Mandatory Measures

Υ	N/A	RESPON. PARTY	
			Approved 1/3 DS 24322 (De
X			Carmel-by-th
			MAXIMUM INCREMENT compound to the "Base R hundres Copa Grange
			Note: MIR values for indivand 94701.
			MOISTURE CONTENT. 7
			PRODUCT-WEIGHTED IN article. The PWMIR is the product (excluding contain
			Note: PWMIR is calculate REACTIVE ORGANIC CO ozone formation in the tro
			VOC. A volatile organic or with vapor pressures great hydrogen and may contain
			4.503 FIREPLACE
	X		4.503.1 GENERAL. Any woodstove or pellet stove applicable, and shall have pellet stoves and fireplace
			4.504 POLLUTAN
		X 1	4.504.1 COVERING OF I CONSTRUCTION. At the startup of the heating, coo openings shall be covered reduce the amount of wat
X			4.504.2 FINISH MATERIA
		X	4.504.2.1 Adhesive requirements of the management district
			1. Adhesive shall con applicabl Such pro compour tricloroet
			2. Aerosol a units of p than 16 f prohibitio commen
		X	4.504.2.2 Paints at the ARB Architectu apply. The VOC co listed in Table 4.50 coating, based on i Board, Suggested of Table 4.504.3 shall
		X	4.504.2.3 Aerosol
			Limits for ROC in S compounds and oz <i>Regulations</i> , Title 1 Quality Manageme 8, Rule 49.
		X	4.504.2.4 Verificat enforcing agency.
			1. Manufac 2. Field ver
			TABLE
			(Less Wa
			INDOOR CARPET
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Approved 1/30/2025 DS 24322 (Delimon)	N/A RESPON. PARTY	=	NOT APPLICABLE RESPONSIBLE PARTY: (ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)
Carmel-by-the-Sea (MUMINGREMENTAL REACTIVITY (I pound to the "Base Reactive Organic G Lancoba Glanglerg (Associat	e Planner		•
e: MIR values for individual compounds a 94701.	and hydrocarbon solvents	are sp	pecified in CCR, Title 17, Sections 94700
STURE CONTENT. The weight of the w	ater in wood expressed in	n perce	entage of the weight of the oven-dry wood.

MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this ne total product reactivity expressed to hundredths of a gram of ozone formed per gram of ainer and packaging).

ed according to equations found in CCR, Title 17, Section 94521 (a). **COMPOUND (ROC).** Any compound that has the potential, once emitted, to contribute to

compound (VOC) broadly defined as a chemical compound based on carbon chains or rings eater than 0.1 millimeters of mercury at room temperature. These compounds typically contain ain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

y installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed e shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as

ve a permanent label indicating they are certified to meet the emission limits. Woodstoves, ces shall also comply with applicable local ordinances. IT CONTROL

DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING he time of rough installation, during storage on the construction site and until final ooling and ventilating equipment, all duct and other related air distribution component ed with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to ater, dust or debris which may enter the system.

RIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

ives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the ne following standards unless more stringent local or regional air pollution or air quality

- ves, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks omply with local or regional air pollution control or air quality management district rules where ble or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. roducts also shall comply with the Rule 1168 prohibition on the use of certain toxic unds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and ethylene), except for aerosol products, as specified in Subsection 2 below.
- l adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in f product, less packaging, which do not weigh more than 1 pound and do not consist of more 6 fluid ounces) shall comply with statewide VOC standards and other requirements, including tions on use of certain toxic compounds, of California Code of Regulations, Title 17, ncing with section 94507.

and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of tural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits content limit for coatings that do not meet the definitions for the specialty coatings categories 604.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss n its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

I Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air ent District additionally comply with the percent VOC by weight of product limits of Regulation

ation. Verification of compliance with this section shall be provided at the request of the Documentation may include, but is not limited to, the following:

- cturer's product specification. erification of on-site product containers.
- E 4.504.1 ADHESIVE VOC LIMIT_{1.} Vater and Less Exempt Compounds in Grams per Liter) **TECTURAL APPLICATIONS** VOC LIMIT R CARPET ADHESIVES T PAD ADHESIVES 150 OOR CARPET ADHESIVES 100 FLOORING ADHESIVES R FLOOR ADHESIVES OOR ADHESIVES **CERAMIC TILE ADHESIVES** VOT 8 ACDUALT THE ADDICON/EC

VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in Gr	rams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
IARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

ARCHITECTURAL COATINGS2,

FLAT COATINGS NON-FLAT COATINGS NONFLAT-HIGH GLOSS COATINGS SPECIALTY COATINGS	50
NONFLAT-HIGH GLOSS COATINGS	
	100
SPECIALTY COATINGS	150
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340
1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS	NCLUDING WATER &
2. THE SPECIFIED LIMITS REMAIN IN EFFECT ARE LISTED IN SUBSEQUENT COLUMNS IN TH	

MAXIMUM FORMALDEHYDE EMISSIONS IN PAI	RTS PER MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13
1. VALUES IN THIS TABLE ARE DERIVED FROM BY THE CALIF. AIR RESOURCES BOARD, AIR T MEASURE FOR COMPOSITE WOOD AS TESTEI WITH ASTM E 1333. FOR ADDITIONAL INFORM CODE OF REGULATIONS, TITLE 17, SECTIONS 93120.12.	OXICS CONTROL D IN ACCORDANCE IATION, SEE CALIF. 93120 THROUGH
2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF 5/16" (8 MM).	A MAXIMUM

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

- Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1,
- February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantageтм Gold.

Y N/A RESPON.

X 🗆 **X**

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

- 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
- 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),

by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- 1. Product certifications and specifications. 2. Chain of custody certifications.
- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see
- CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered
- Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121. CSA 0151, CSA 0153 and CSA 0325 standards.
- 5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end
- of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
- Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code. 4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),
- 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S 2014 (Residential Equipment Selection), or other equivalent design software or methods.

ASHRAE handbooks or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7

Y N/A RESPON.

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. State certified apprenticeship programs.
- 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the

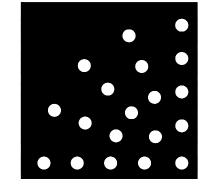
project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist



THE SIENNA COMPANY, INC.

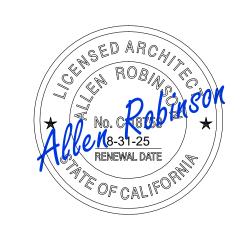
Project Development Consulting Architecture Planning

Construction Management

406 Calle Principal

Monterey, CA 93940

Telephone: 831.915.8143 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence

Project Address:

5 San Carlos NW of 3rd Ave. Carmel-by-the-Sea, CA 93923 APN 010-125-018-000

2015.002

Project No:

10/15/2024 Issue Date: Revisions:

CA Green Building Code Residential Mandatory Measures



Revive Design LLC Salinas, CA 43401

DRAWN BY:

A. Figueroa

cLIENT: Kurt & Laurie Delimon

5 San Carlos Ave. Carmel, CA 93923

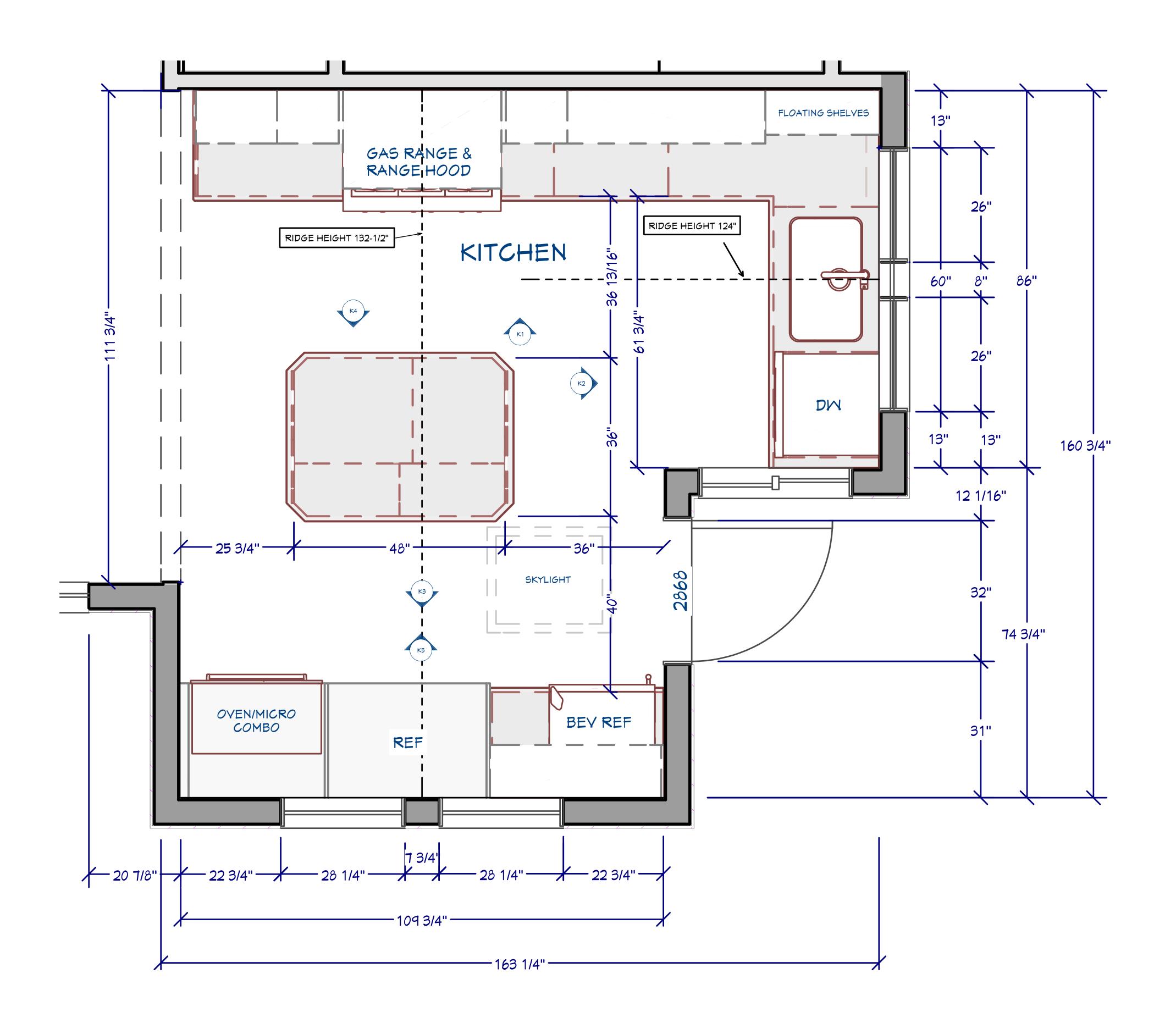
EETOPS REMODEL

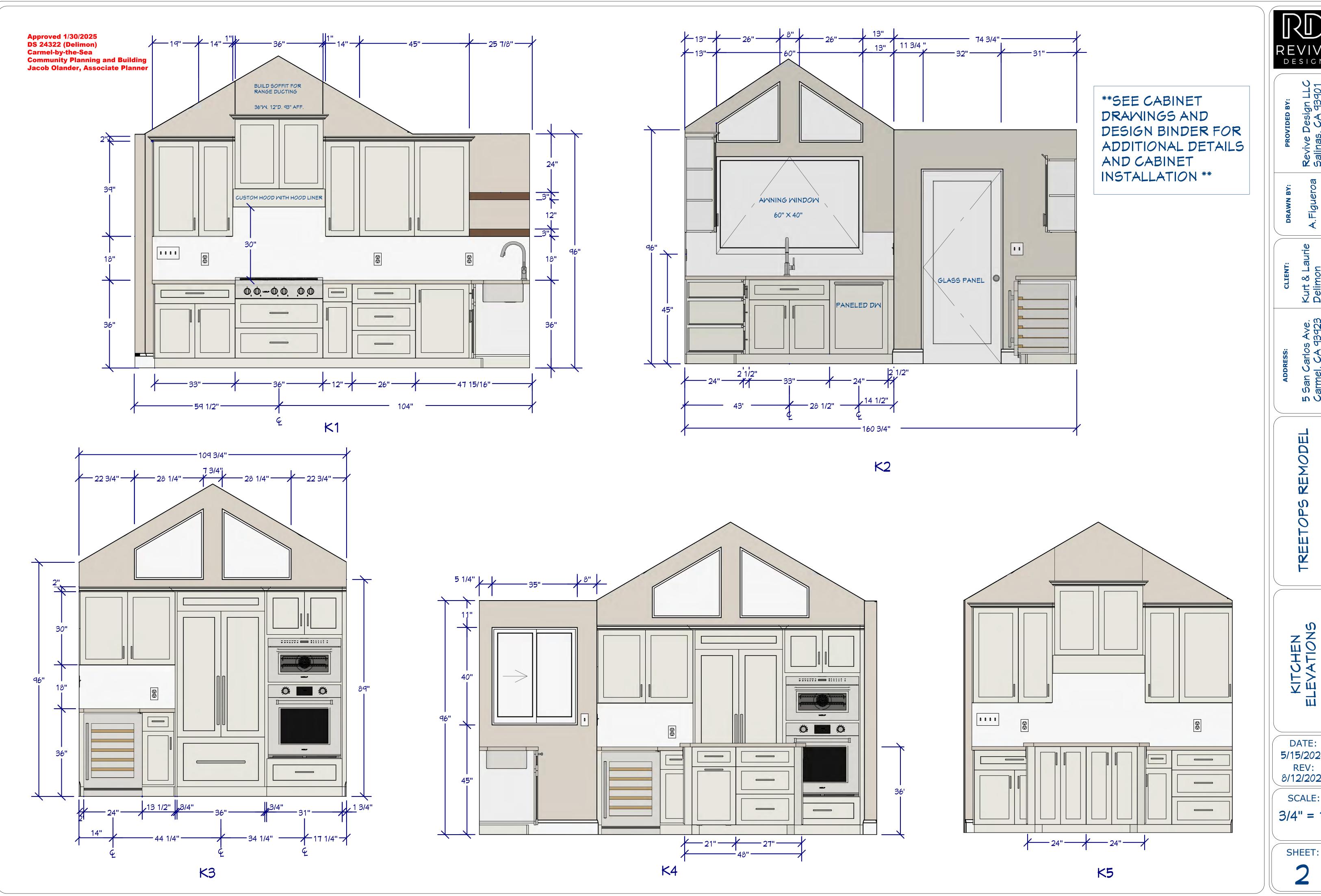
KITCHEN FLOOR PLAN

DATE: 5/15/2024 REV: 8/12/2024

SCALE: 1" = 1'

SHEET:





REVIVE

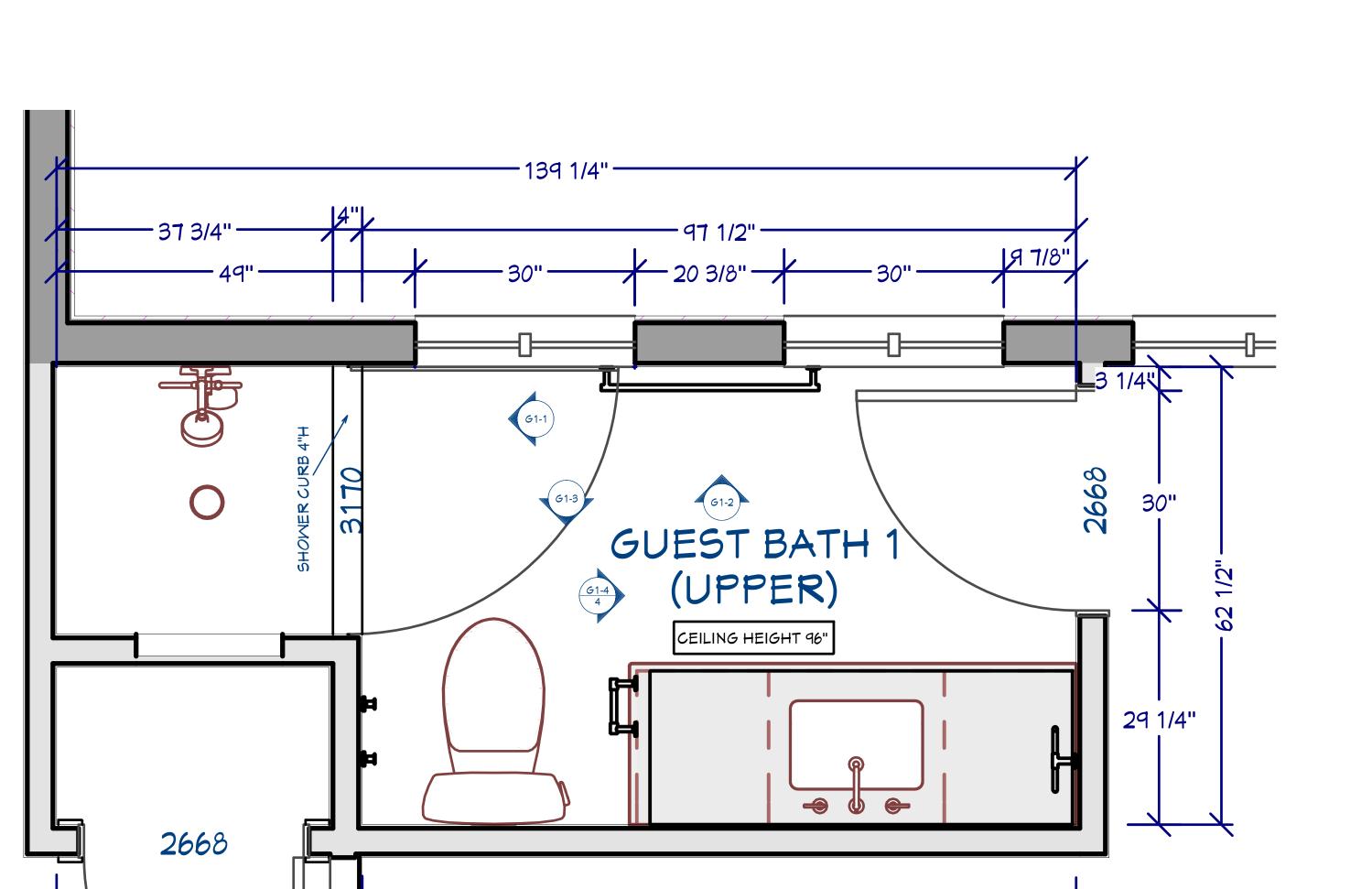
Revive Design LLC Salinas, CA 93901

Kurt & Lai Delimon

5 San Carlos Ave. Carmel, CA 43423

DATE: 5/15/2024 8/12/2024

SCALE: 3/4" = 1'



REVIVE DESIGN

Revive Design LLC Salinas, CA 43401

A. Figueroa

t & Laurie

. Kurt & Lau 3 Delimon

5 San Carlos Ave. Carmel, CA 43423

TREETOPS REMODEL

UEST BATHROOM 1 (UPPER) FLOOR PLAN

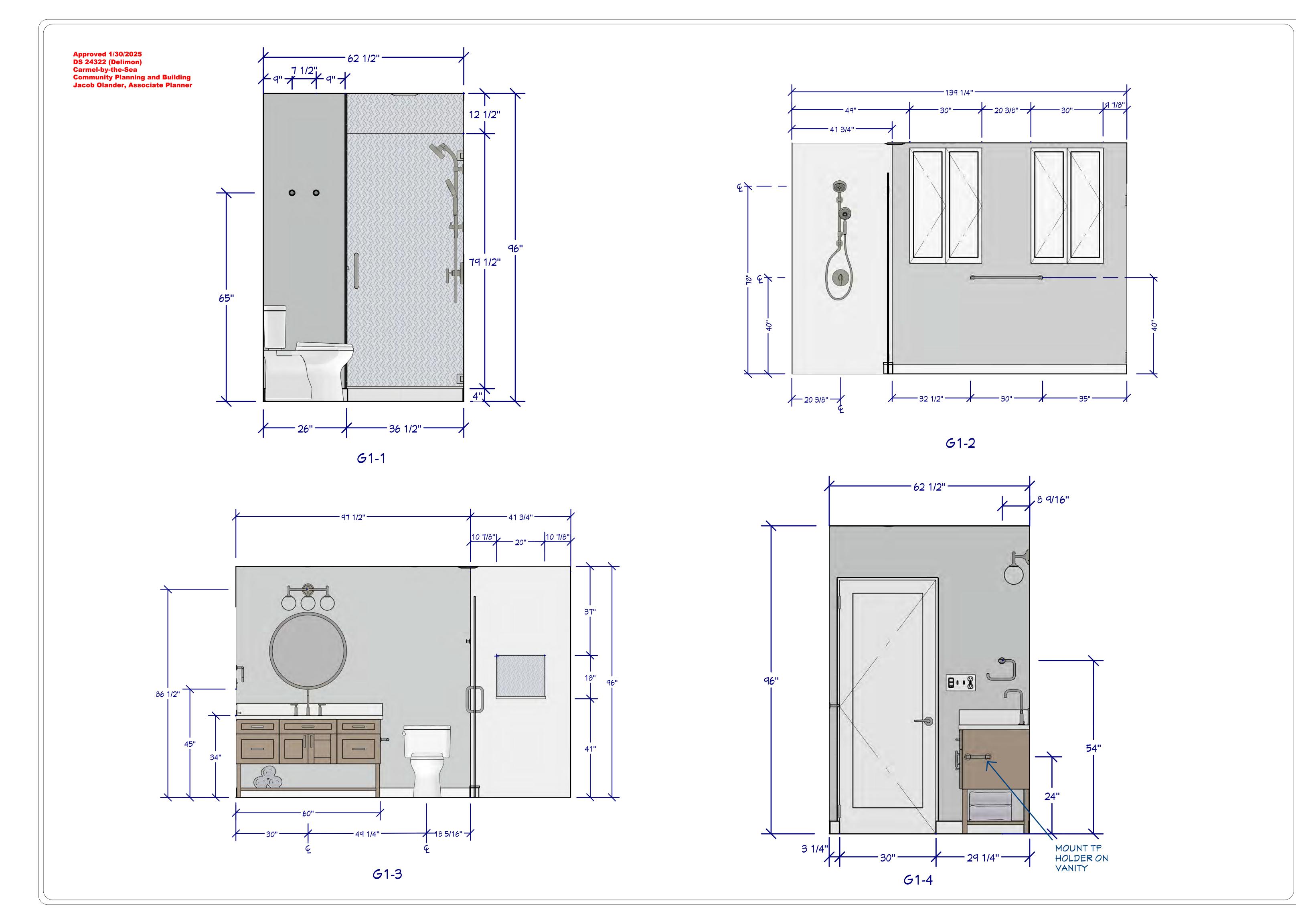
DATE: 5/15/2024 REV: 8/12/2024

SCALE:

1"= 1'

SHEET:

3



REVIVE DESIGN

> Revive Design LLC Salinas, CA 93901

> > A. Figueroa

Kurt & Laurie Delimon

5 San Carlos Ave. Carmel, CA 93923

REETOPS REMODEL

SUEST BATHROOM 1 (UPPER) ELEVATIONS

DATE: 5/15/2024 REV: 8/12/2024

SCALE:

1" = 1'

SHEET:

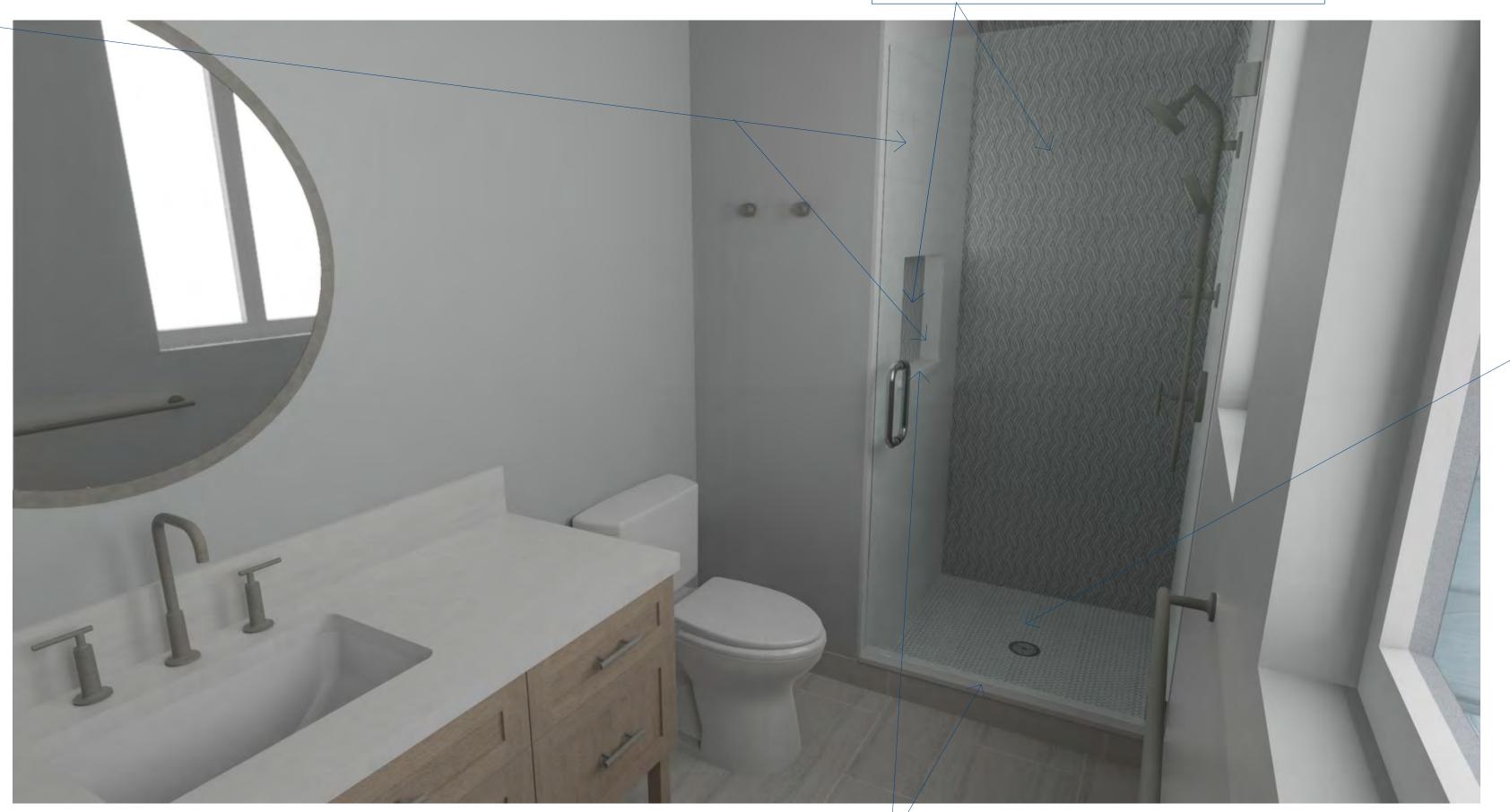
DS 24322 (Delimon)
Scameling Special Purple Matte White 8"×20"
Community Planning and Building
Cetal Maidel, Associate Planner

Pattern: Horizontal 50% Offset

Edging: Matching Trim Tile (Universal Trim) Grout: 1/16"

ACCENT MALL & NICHE

MIR Mosaic- Artemis Pattern: Mosaic



SHOWER FLOORS

Happy Floors- Thassos Penny Round Pattern: Mosaic

NICHE LEDGE AND SHOWER CURB

Thassos Marble



VANITY TOP & BACKSPLASH

Thassos Marble

REVIVE

Revive Design LLC Salinas, CA 93901

DATE: 5/15/2024 8/12/2024

SCALE: No Scale

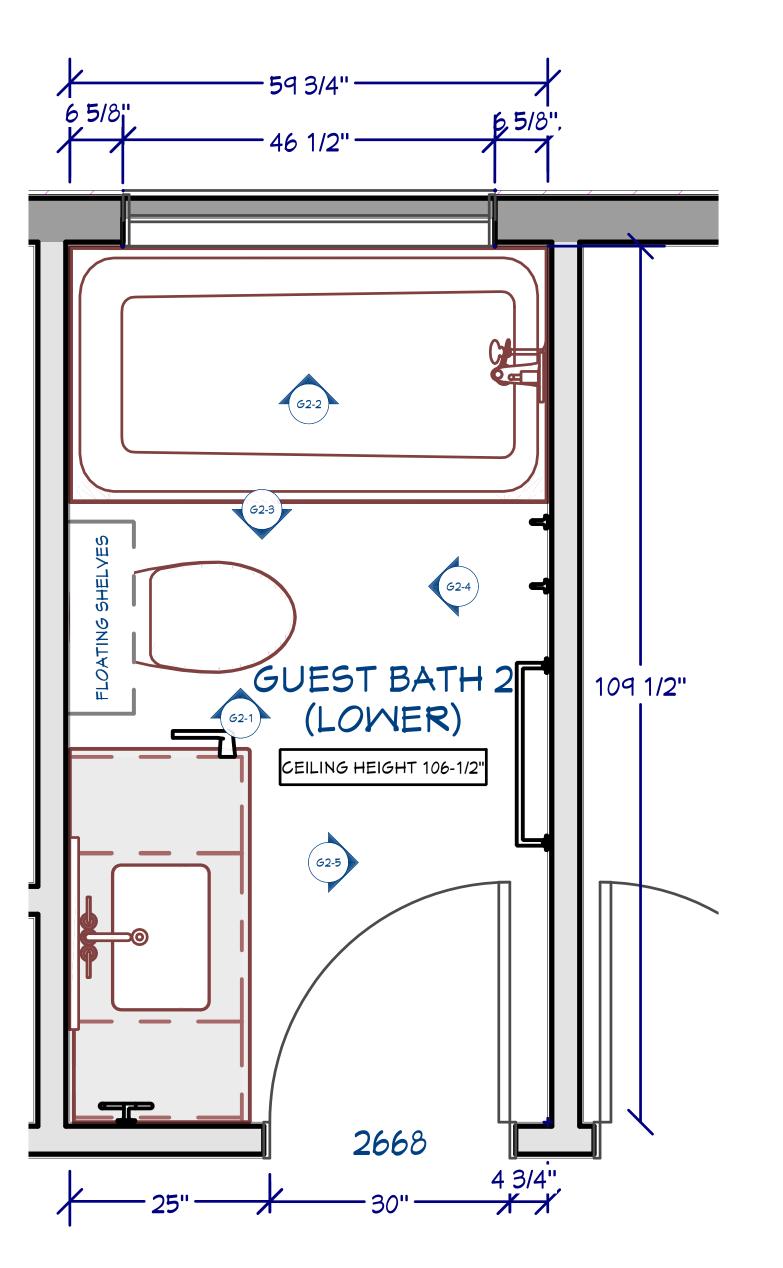
SHEET:

FLOORING & BASEBOARD

Ergon- Aurelia White 12"x24" Porcelain Tile

Edging: Schluter Grout: 1/8"

Pattern: Vertical 50% Offset





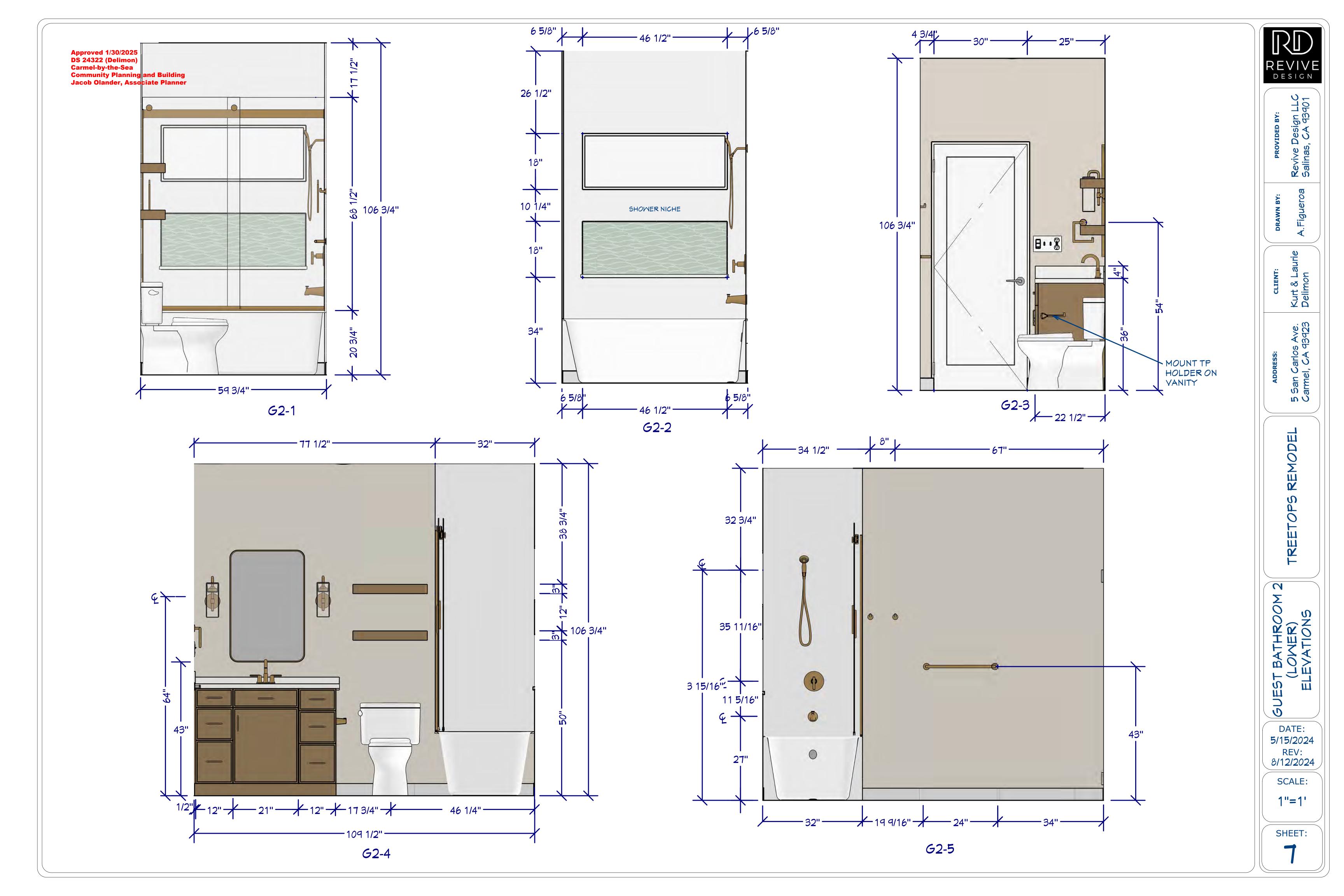
Revive Design LLC Salinas, CA 93901

5 San Carlos Ave. Carmel, CA 93923

REMODEL TREETOPS

DATE: 5/15/2024 REV: 8/12/2024

SCALE: 1" = 1'



SHOWER WALLS. NICHE & WINDOW WRAP

Sonoma Tile- PURE Matte White 8"x20"

Ceramic Tile

Pattern: Horizontal 50% Offset

Edging: Matching Trim Tile (Universal Trim) Grout: 1/16"

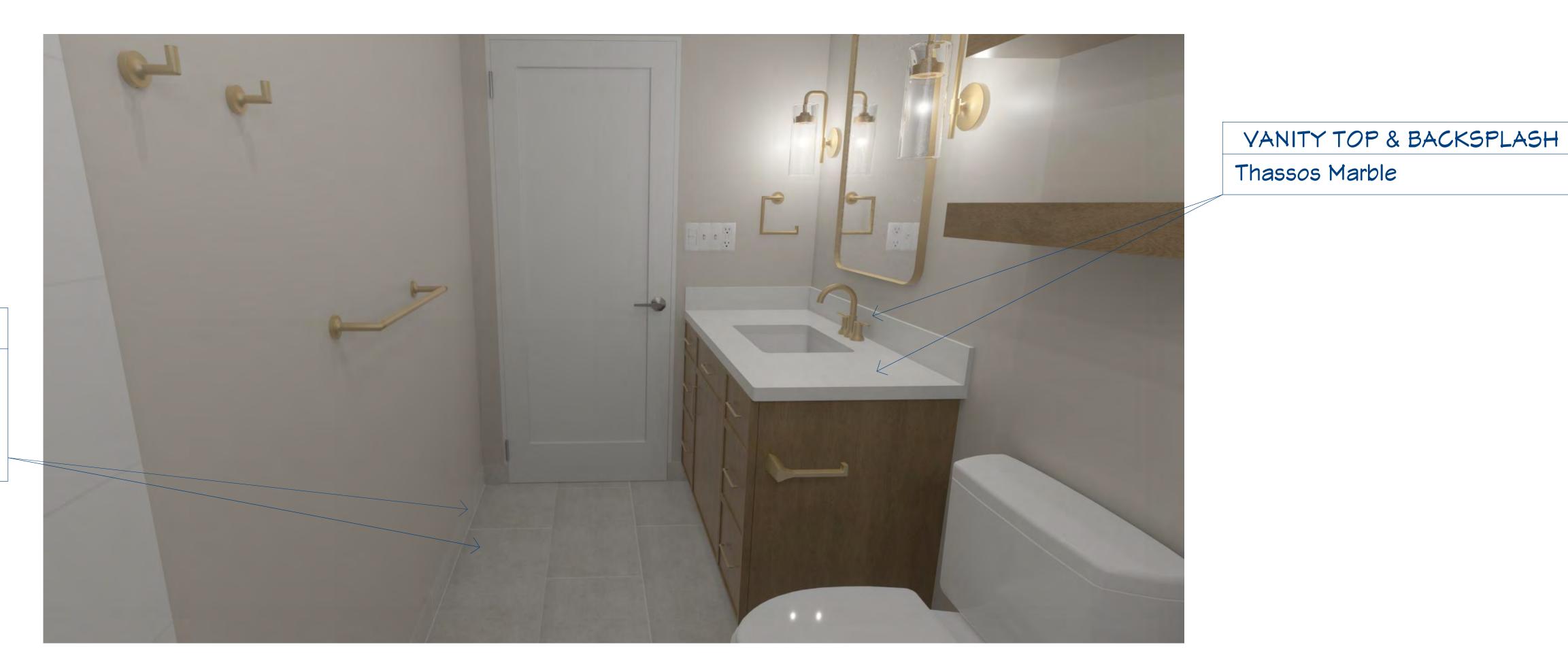


NICHE BACK

Sonoma Tile- Vihara Swish Patten: Mosaic

NICHE LEDGE

Thassos Marble



Thassos Marble

FLOORING & BASEBOARD

Ergon- Aurelia White 12"x24"

Porcelain Tile

Pattern: Vertical 50% Offset

Edging: Schluter Grout: 1/8"

DATE: 5/15/2024 8/12/2024

SCALE:

No Scale



Revive Design LLC Salinas, CA 43401

DRAWN BY:
A. Figueroa

Kurt & Laurie Delimon

5 San Carlos Ave. Carmel, CA 93923

EETOPS REMODEL

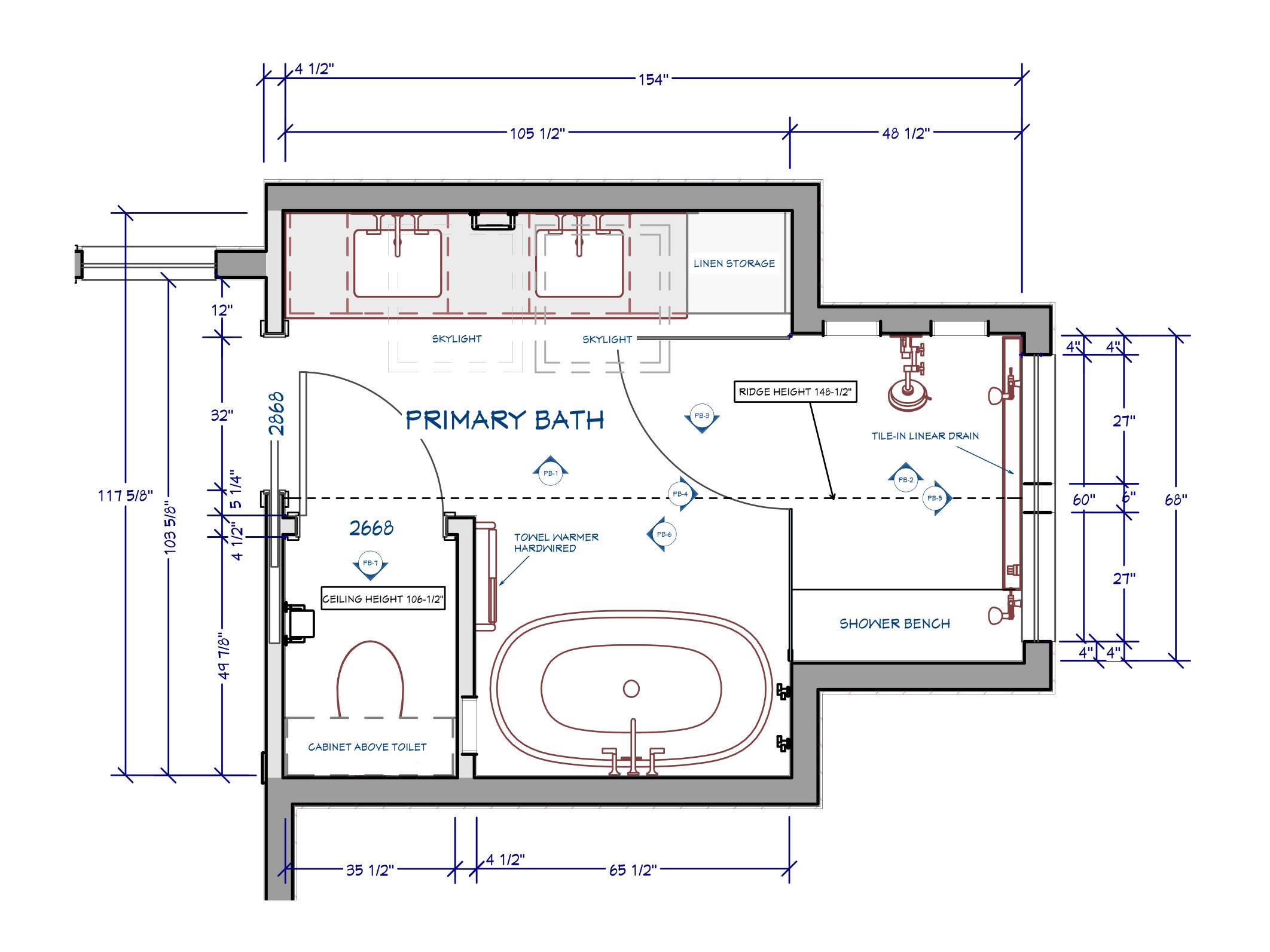
PRIMARY SATHROOM LOOR PLAN

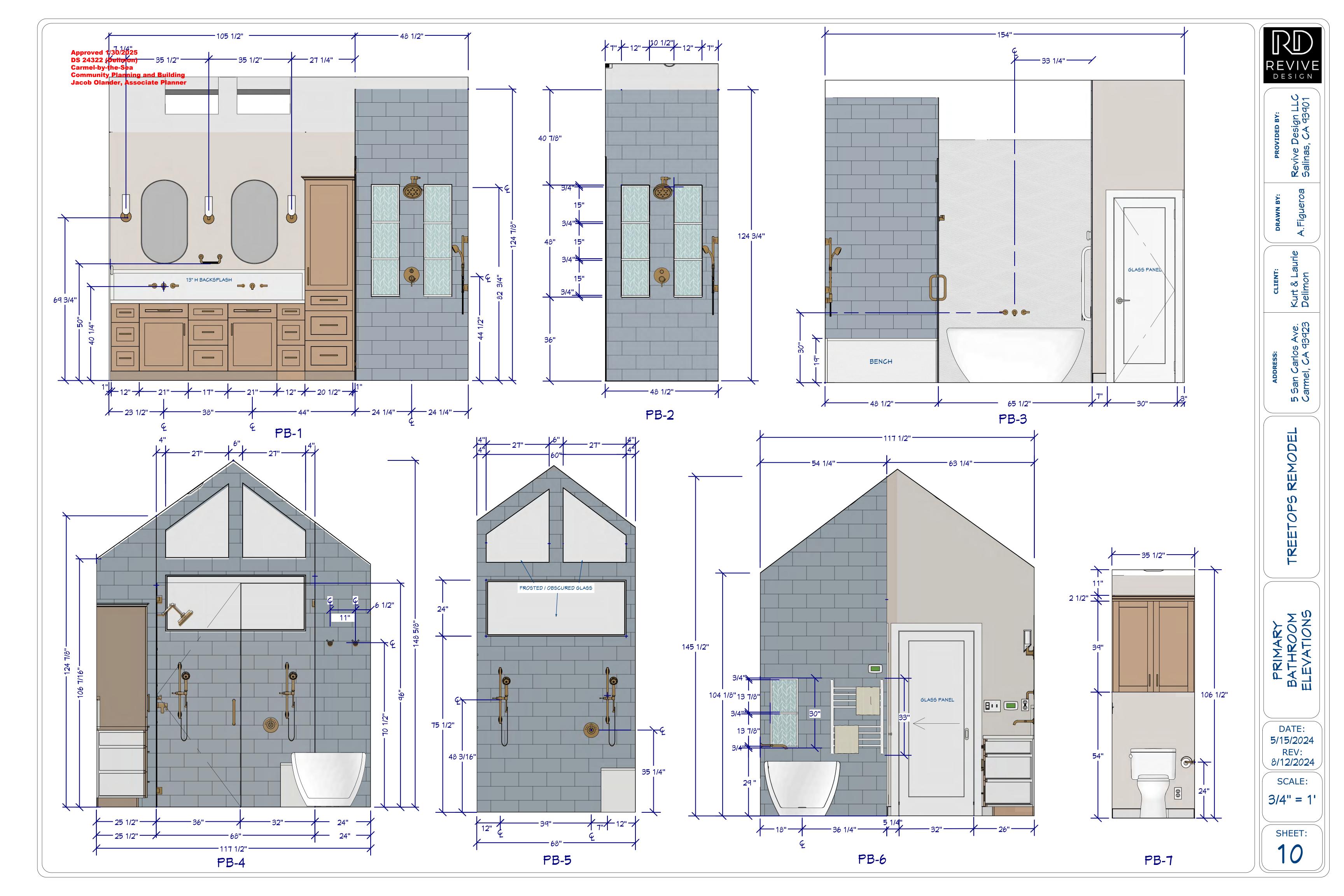
DATE: 5/15/2024 REV: 8/12/2024

SCALE: 1" = 1'

SHEET:

9





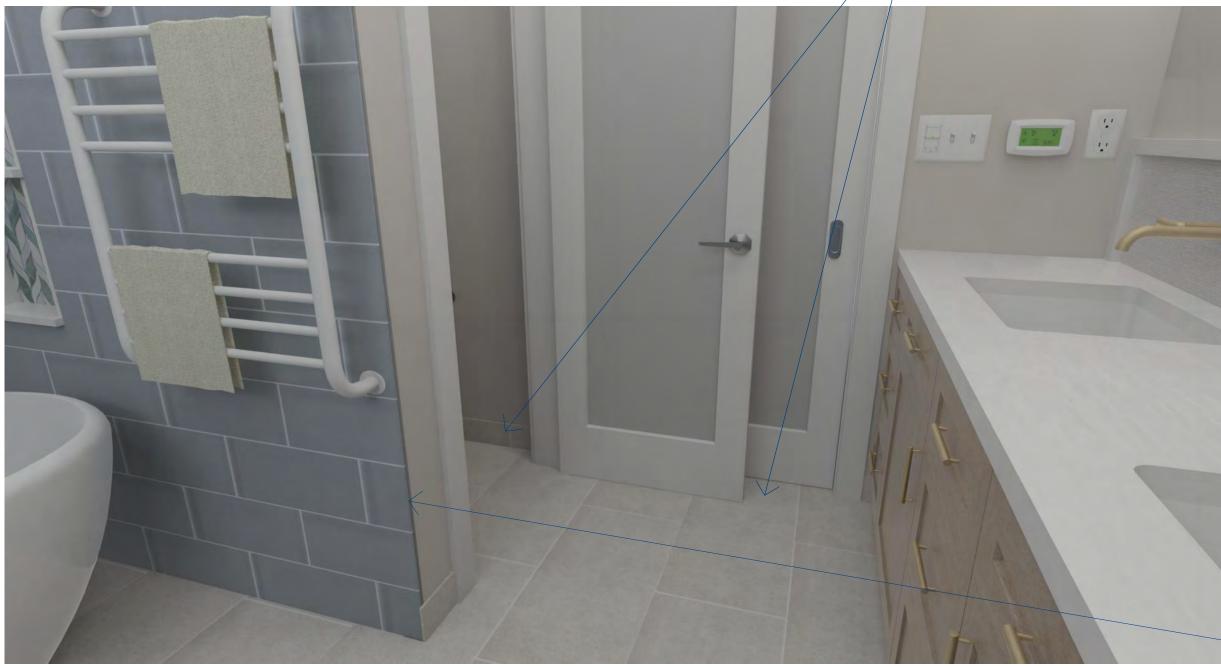
Approved 1/30/2025
DS 24322 (Delimon)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Associate Planner

FLOORING & BASEBOARD

Emser Tile- Potenza Ivory 12" × 24" Porcelain Tile

Patten: Vertical 50% Offset

Edging: Schluter Grout: 1/8"



NICHE LEDGE, SHELVES & FRAMING



NICHE BACK

MIR Mosaic- Galway

Patten: Mosaic

SHOWER & BATHTUB MALLS

BACKSPLASH

Artistic Tile- Thassos

Stack

Grout: 1/16"

RackedMarble 12" x 24"

Pattern: Horizontal Straight

Sonoma Tile- Stellar, Stone Blue 6"x12" Ceramic Tile

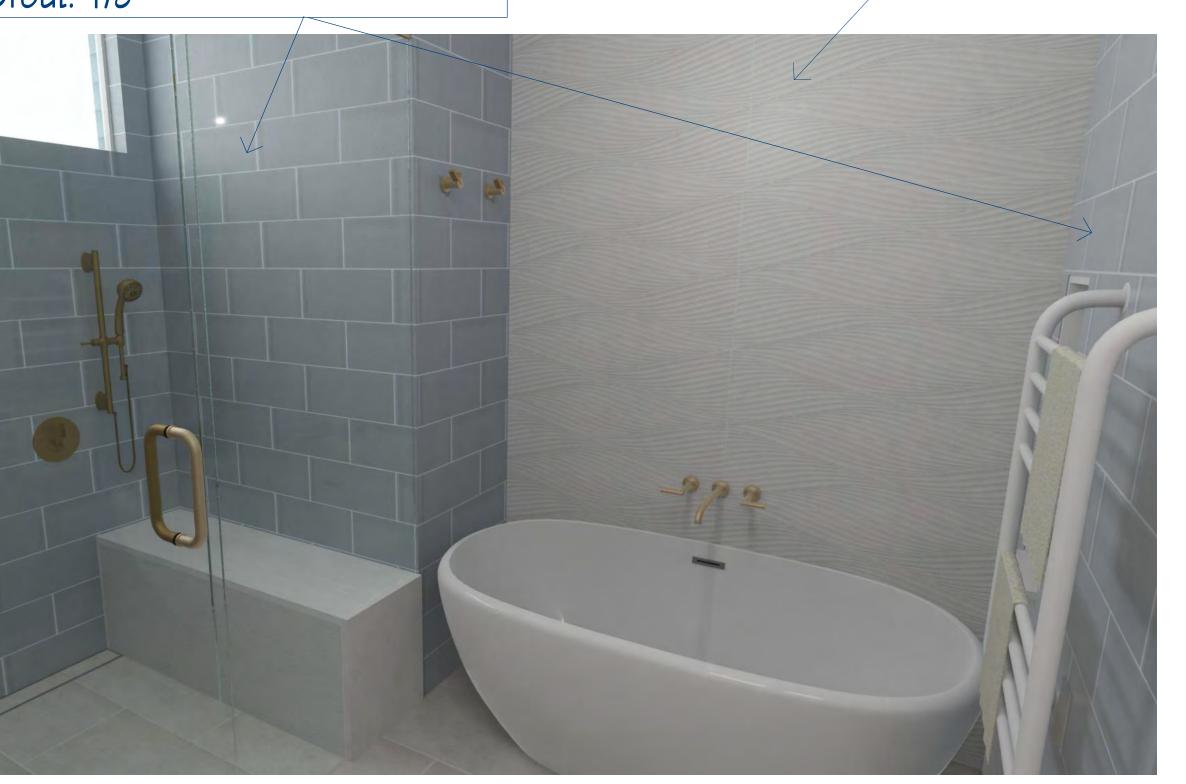
Pattern: Horizontal 50% Offset Edging: Matching Edge Trim

Grout: 1/8"

ACCENT WALL BEHIND TUB

EPC Tile- Salines Mave, Mhite Natural 13.11" x 39.3"

Pattern: Horizontal Straight Stack Grout: 1/16"



VANITY TOP & BACKSPLASH FRAMING

Thassos Marble



Revive Design LLC Salinas, CA 93901

5 San Carlos Ave. Carmel, CA 93923

DATE: 5/15/2024 8/12/2024

SCALE:

No Scale

SHEET:

Thassos Marble

F2-Fireplace 2

72 15/16"

FIREPLACE SURROUND & HEARTH FRONT

Artistic Tile- Thassos Racked Marble 12" x

24"

Pattern: Horizontal Straight Stack

Grout: 1/16"



HEARTH & FRAMING
Thassos Marble

REVIVE DESIGN

> Revive Design LLC Salinas, CA 93901

> > DRAWN BY: A. Figueroa

> > > surt & Lauri Delimon

5 San Carlos Av Carmel, CA 939

TREETOPS REMODE

PRIMARY BEDROOM FIREPLACE

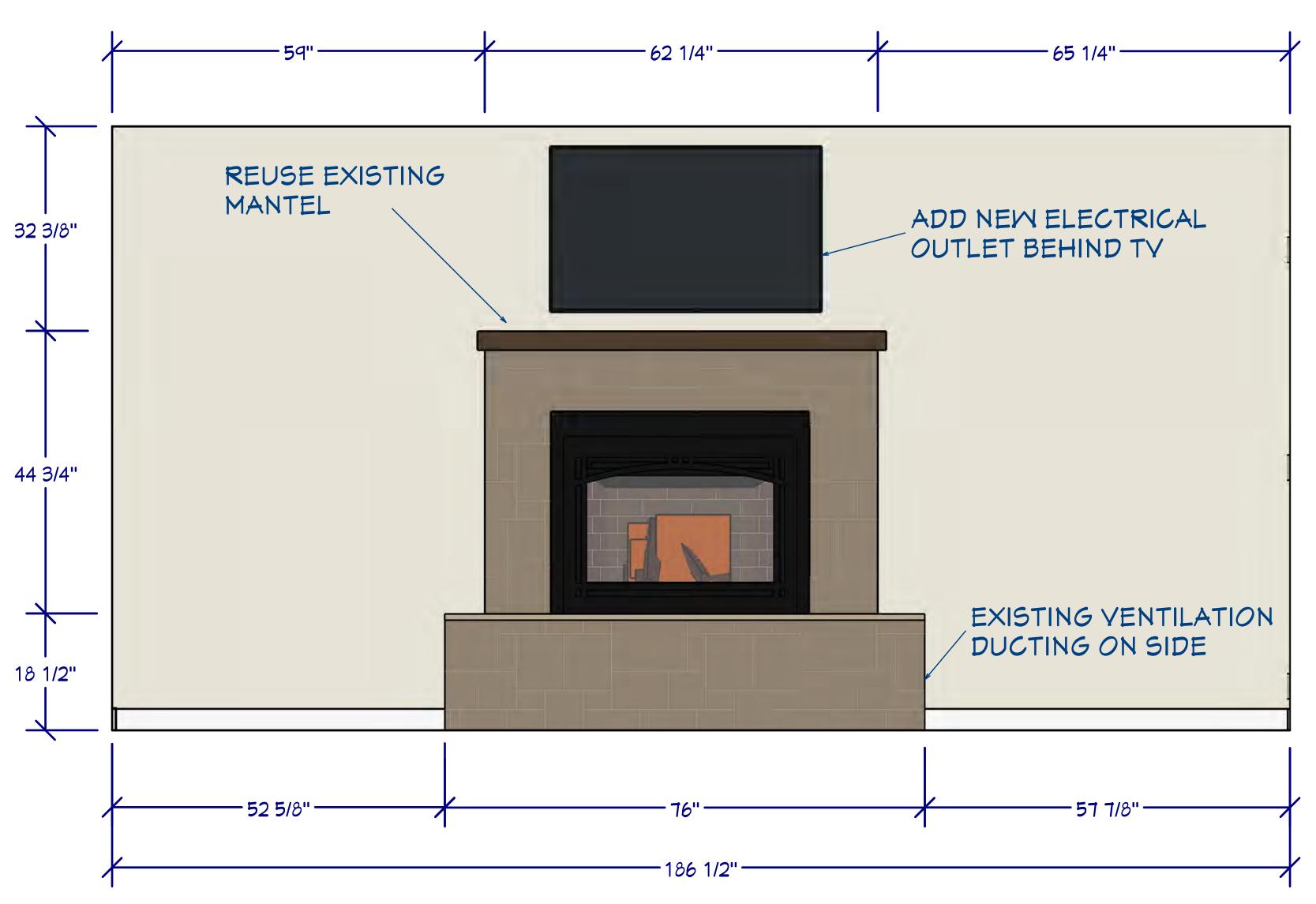
DATE: 5/15/2024 REV: 8/12/2024

SCALE: 1" = 1'

FIREPLACE SURROUND & HEARTH FRONT

Buechel Stone- Fond-Du-Lac Stone

Pattern: Random Grout: 3/8"



F1- Fireplace 1



HEARTH

Buechel Stone- Matching Fond-Du-Lac Stone Panel

DATE: 5/15/2024 8/12/2024

SCALE: 1" = 1'

GENERAL STRUCTURAL NOTES

1.0 G CYLERINING BUILDING CODE

2.0 DESIGN LOADS

A. LIVE LOADS:

- a. ROOF: 20 PSF
- b. FLOOR: 40 PSF

c. DECK: 60 PSF B. WIND:

- a. ULTIMATE WIND SPEED: 91 MPH EXPOSURE 'C' (3 SECOND GUST)
- b. RISK CATEGORY: II
- c. INTERNAL PRESSURE: +0.18, -0.18 (ENCLOSED BUILDING)

SEISMIC:

- a. RISK CATEGORY: II
- b. SEISMIC IMPORTANCE FACTOR: 1.0
- c. S1: 0.477g
- d. SS: 1.265g e. SITE CLASS: D
- f. SDS: 1.012g
- g. SEISMIC DESIGN CATEGORY: D
- h. SFRS: LIGHT FRAME (WOOD) WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
- i. R = 6.5
- j. NO CHANGE IS PROPOSED TO THE MAIN LATERAL FORCE RESISTING SYSTEM

3.0 GENERAL

- A. THESE STRUCTURAL DOCUMENTS ILLUSTRATE THE COMPLETED STRUCTURE WITH ELEMENTS IN THEIR FINAL POSITIONS, PROPERLY BRACED AND SUPPORTED. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION TO WITHSTAND ALL LOADS, STOCKPILES OF MATERIALS AND EQUIPMENT. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE CONSTRUCTION OF THE STRUCTURE IS COMPLETED.
- B. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF PEOPLE AND PROPERTY EITHER ON OR ADJACENT TO THE PROJECT AND SHALL PROTECT SAME AGAINST INJURY, DAMAGE OR LOSS DURING CONSTRUCTION.
- C. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH WORK. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- D. WHERE PERIODIC OR CONTINUOUS SPECIAL INSPECTIONS AND/OR TESTING ARE REQUIRED BY THESE DOCUMENTS, THE GOVERNING BUILDING CODE OR BUILDING OFFICIAL, THE E.O.R. OR AN INDEPENDENT INSPECTION AGENCY SHALL BE RETAINED BY THE OWNER TO PERFORM REQUIRED SPECIAL INSPECTIONS AND/OR TESTING.
- . THE CONTRACTOR SHALL INFORM THE ENGINEER CLEARLY IN WRITING AND PROVIDE SUPPLEMENTAL DOCUMENTATION FOR THE REVIEW OF ANY SUBSTITUTIONS, CHANGES, OR DEVIATIONS OF THE CONTRACT
- DOCUMENTS. F. THESE PLANS HAVE BEEN ENGINEERED FOR CONSTRUCTION AT ONE SPECIFIC BUILDING SITE.
- NOTED OTHERWISE. WHILE DRAWING SCALE IS BELIEVED TO BE RELIABLE, THE ACCURACY AND COMPLETENESS IS NOT GUARANTEED. CONSULT THE ARCHITECT OR ENGINEER FOR DIMENSION VERIFICATION. NOTIFY ARCHITECT OR ENGINEER OF ANY DISCREPANCIES IN DIMENSIONS BETWEEN THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- H. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR PENETRATED UNLESS ALLOWED BY MANUFACTURER, SPECIFICALLY SHOWN ON THESE DOCUMENTS OR APPROVED BY THE E.O.R.
- . SECTIONS OR DETAILS SHOWN OR NOTED APPLY TO SIMILAR CONDITIONS ELSEWHERE NOT SPECIFICALLY SHOWN OR NOTED.
- J. THESE CONSTRUCTION DOCUMENTS ARE BASED ON THE WORK BEING COMPLETED BY A CONTRACTOR EXPERIENCED WITH SIMILAR CONSTRUCTION.

4.0 FOUNDATIONS

- A. SOIL DESIGN VALUES SHOWN BELOW HAVE BEEN ASSUMED IN THE FOUNDATION DESIGN. ANY CHANGES IN THE STATED SOIL DESIGN VALUES MAY REQUIRE REVISIONS TO THE FOUNDATION DESIGN.
- B. ALL FOUNDATION WORK SHALL COMPLY WITH THE REQUIREMENTS OF CBC 2022 CHAPTER 18.
- C. FOOTINGS SHALL REST ON UNDISTURBED NATIVE SOIL OR PREPARED SUBGRADE, APPROVED BY A SOILS ENGINEER.
- a. MAXIMUM DESIGN SOIL BEARING PRESSURE: 1,500 PSF (BASED ON CBC TABLE 1806,2 FOR TYPE 5 CLASS SOIL, IF ACTUAL SITE CONDITIONS DEFER, THE SITE SHALL BE PREPARED ACCORDING TO THE RECOMMENDATIONS OF A
- b. DESIGN LATERAL SOIL PRESSURE (EQUIVALENT FLUID PRESSURE, AT REST CONDITION, USING ON-SITE GRANULAR SOILS AS BACKFILL): 35 PSF/FT.
- D. PRIOR TO BACKFILLING, THE CONTRACTOR SHALL ADEQUATELY BRACE FOUNDATION WALLS TO RETAIN EARTH
- AGAINST BACKFILLING PRESSURES UNTIL SUPPORTING ELEMENTS (INCLUDING FLOOR SLABS) ARE IN PLACE. E. FOUNDATION WALLS AND GRADE BEAMS HAVING EARTH PLACED ON BOTH SIDES SHALL HAVE BOTH SIDES FILLED SIMULTANEOUSLY.
- F. DO NOT BACKFILL WITH EXPANSIVE SOILS. VERIFY FILL TYPE WITH SOILS ENGINEER PRIOR TO BACKFILLING.
- G. PROVIDE 8" CLEAR MINIMUM FROM GRADE TO TOP OF FOUNDATION WALL. ADJUST FOOTING BEARING ELEVATIONS IN FIELD TO ACCOMMODATE FINAL ANTICIPATED FINISHED GRADES. NOTIFY ENGINEER OF CHANGES IN ELEVATION FROM THAT SHOWN ON FOUNDATION PLAN.
- H. ALL FOOTINGS SHALL BE CENTERED UNDER WALLS, COLUMNS OR GRIDLINES UNLESS NOTED OTHERWISE.
- I. SLOPE THE EXTERIOR GRADE AWAY FROM THE STRUCTURE A MINIMUM OF 5% (2% AT IMPERVIOUS SURFACES).

5.0 CONCRETE AND REINFORCEMENT

- A. CONCRETE DESIGN IS BASED ON THE LATEST EDITION OF THE ACI 318
- B. CONCRETE SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE ACI 301 C. CONCRETE SHALL BE NORMAL WEIGHT (145 PCF) WITH STONE AGGREGATE AND DEVELOP A MINIMUM 28-DAY COMPRESSIVE STRENGTH AS FOLLOWS:
- a. FOOTINGS/PIERS AND FOUNDATION WALLS 2500 PSI. 2500 PSI.
- b. SLABS-ON-GRADE
- D. CEMENT SHALL BE TYPE I / II (OR TYPE V) CONFORMING TO ASTM C150.
- E. FLY ASH SHALL CONFORM TO ASTM C618, CLASS C OR F. FLY ASH SHALL NOT EXCEED 20% OF THE TOTAL WEIGHT OF CEMENTICIOUS MATERIAL. F. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED IN ANY CONCRETE.
- G. CONCRETE MUST BE CONTINUOUSLY PLACED WITHOUT HORIZONTAL COLD JOINTS. IF COLD JOINTS ARE NECESSARY,
- ADEQUATE REINFORCING AND HORIZONTAL KEYS OR A ROUGHENED SURFACE MUST BE PROVIDED; COORDINATE REQUIREMENTS WITH ENGINEER.
- H. DEFORMED REINFORCEMENT: ASTM A615, GRADE 60 EXCEPT TIES OR STIRRUPS: ASTM A615, GRADE 40. REINFORCEMENT SHALL BE FABRICATED AND PLACED AS PER THE LATEST EDITION OF THE ACI-315.
- J. SPLICE LENGTH, DOWEL PROJECTION OR EMBEDMENT SHALL BE A MINIMUM OF 58 BAR DIAMETERS.
- K. MINIMUM CONCRETE COVERAGE FOR REINFORCING STEEL
- a. UNFORMED SURFACE CAST AGAINST EARTH
- ALL BARS: b. FORMED SURFACE EXPOSED TO EARTH OR WEATHER
 - 1. #6 #18 BARS:
- 1 1/2" 2. #5 AND SMALLER: c. FORMED SURFACE NOT EXPOSED TO EARTH OR WEATHER
- 1. SLABS, WALLS AND JOISTS 1 1/2" (a) #14 - #18 BARS:
 - (b) #11 AND SMALLER: 3/4"
- BEAMS AND COLUMNS:
- .. PROVIDE (2)-#4 EACH SIDE OF ALL WALL OPENINGS OR NOTCHES, U.N.O. VERTICAL BARS SHALL BE FULL-HEIGHT; HORIZONTAL BARS SHALL EXTEND A MINIMUM OF 3'-0" BEYOND THE EDGE OF OPENINGS.

- M. MAINTAIN CONTINUITY OF ALL HORIZONTAL REINFORCEMENT AT CORNERS, INTERSECTIONS AND AT STEPS IN THE TOP AND BOTTOM OF WALLS OR FOOTINGS
- N. ALL STEEL EXPOSED TO EARTH OR GRANULAR FILL SHALL BE COVERED WITH A 3" MIN. OF CONCRETE.
- O. PROVIDE SLIP JOINT MATERIAL SEPARATING THE FLOOR SLAB FROM THE PIPE COLUMNS AND PLUMBING PENETRATIONS.
- P. FOR LOCATION, SIZE AND DETAILS OF OPENINGS, SLEEVES, INSERTS, CONDUITS, PIPES SLOTS AND RELATED ITEMS REQUIRED TO BE LOCATED PRIOR TO PLACING CONCRETE. REFER TO OTHER DRAWINGS FOR THIS PROJECT

6.0 STRUCTURAL STEEL

- A. STRUCTURAL STEEL SHALL BE OF THE GRADES NOTED BELOW:
- a. ROLLED SHAPES (CHANNELS, ANGLES, PLATES AND BARS): ASTM A36 (FY=36 KSI).
- b. STEEL RODS: ASTM A36 (FY=36KSI) B. BOLTS:
- a. ASTM A307 FOR ANCHOR BOLTS FOR TIMBER CONNECTIONS AND MISC.
- C. DRILL, EPOXY AND INSTALL THREADED RODS, BOLTS AND STEEL BARS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. CLEAN OUT HOLE AFTER DRILLING AND PRIOR TO INJECTING EPOXY. TIGHTEN NUTS AFTER EPOXY HAS CURED.

7.0 WOOD FRAMING

- A. DIMENSIONAL LUMBER AND TIMBERS USED FOR STRUCTURAL FRAMING SHALL BE 19% OR LESS MOISTURE CONTENT
- B. ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH, U.N.O.:
- a. JOISTS AND RAFTERS: NO.2 (Fb=1200 psi, Fc= 1000 psi, E=1,600,000psi)
- b. STUDS, PLATES, BLOCKS AND MISC.: NO. 2 (Fb=900 psi, Fc= 1350 psi, E=1,600,000psi) c. POSTS, BEAMS AND HEADERS: NO. 1
- C. 3/2" AND WIDER VERSA-LAM LVL: 2.1E, Fb=3100 psi BY BOISE CASCADE OR APPROVED EQUAL
- D. 1½" OR 1¾" VERSA-LAM LVL: 2.1E, Fb=2800 psi BY BOISE CASCADE OR APPROVED EQUAL
- E. HOLES FOR BOLTS IN WOOD SHALL BE DRILLED 1/16" LARGER THAN BOLT DIAMETER. METAL WASHERS SHALL BE PROVIDED FOR ALL HEADS & NUTS OF BOLTS AND LAG SCREWS THAT BEAR ON WOOD.
- F. PROVIDE PRESERVATIVE-TREATED LUMBER OR ICC APPROVED BARRIER AT LOCATIONS WHERE MEMBER IS TO BE IN CONTACT WITH CONCRETE, MASONRY OR SOIL
- G. PRESSURE TREATED LUMBER: ALL FASTENERS AND HANGERS FOR USE WITH ACQ TREATED LUMBER SHALL BE GALVANIZED WITH A G185 COATING OR SHALL BE STAINLESS STEEL.
- H. STRUCTURAL SHEATHING: WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PS 1. DOC PS 2 OR ANSI/APA PRP 210
- DIAPHRAGM SHEATHING SHALL BE OF THICKNESS AND INDEX NUMBER SHOWN ON THE PLANS, PLACED WITH FACE
- GRAIN PERPENDICULAR TO SUPPORTS AND END JOISTS SHALL BE STAGGERED.
- J. ALL TRUSSES, RAFTERS AND FLOOR JOISTS IN FLUSH FRAMED CONDITIONS WITH SPANS EXCEEDING 6'-0 SHALL BEAR IN JOIST HANGERS.
- K. ALL WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FROM FLOOR TO ROOF
- L. PROVIDE CRIPPLE STUDS OR SQUASH BLOCKS BELOW SOLID OR BUILT-UP POSTS OR COLUMNS WITHIN FLOOR
- SPACES BELOW TO FOUNDATION. PROVIDE CRIPPLE STUDS OR SQUASH BLOCKS WITH EQUIVALENT NUMBER OF STUDS OR AREA OF POST.
- M. PROVIDE WOOD OR METAL CROSS-BRIDGING AT MID-SPAN OF ALL FLOORS WITH A SPAN EXCEEDING 10'-0" AND/OR IN
- ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S RECOMMENDATIONS. N. BOTTOM FLANGE OF CONTINUOUS JOISTS AT CRAWLSPACE AND UNFINISHED BASEMENT CONDITIONS SHALL BE
- BRACED BY BLOCKING, BRIDGING OR STRAPPING FOR 1/3 OF THE SPAN EITHER SIDE OF INTERIOR SUPPORT. O. METAL HANGERS AND CONNECTORS SHALL BE "SIMPSON STRONG-TIE" OR AN APPROVED EQUAL. UNLESS NOTED G. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. PLANS AND DETAILS ARE TO SCALE UNLESS OTHERWISE PROVIDE ALL MANUFACTURER RECOMMENDED FASTENERS FOR THE MAXIMUM CAPACITY OF THE
 - NAILS: COMMON WIRE GAGE U.N.O. NAILING SHALL CONFORM TO CBC TABLE 2304.10.1, U.N.O.
 - Q. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS UNLESS NOTED OTHERWISE, WHERE POWER NAILS ARE USED THEY SHALL BE EQUIVALENT IN DIAMETER TO THE COMMON NAIL INDICATED. PREDRILL NAIL HOLES AS REQUIRED TO PREVENT SPLITTING OF THE WOOD MEMBERS.

8.0 M A S O N R Y

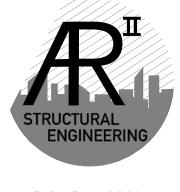
- A. CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C90-N-I
- B. CLAY BRICK MASONRY UNITS SHALL CONFORM TO ASTM C216-MW-FBS.
- MORTAR: ASTM C270, TYPE M.
- D. SPLICE LENGTH, DOWEL PROJECTION OR EMBEDMENT SHALL BE A MINIMUM OF 42 BAR DIAMETERS, (24" MIN. FOR #5
- BARS AND SMALLER)
- F. GROUT: ASTM C476. MINIMUM 28-DAY COMPRESSIVE STRENGTH: 2500 psi. G. MASONRY REINFORCEMENT: ASTM A615, GRADE 60. TIES MAY BE GRADE 40.
- H. ALL MASONRY WALLS SHALL BE HORIZONTALLY REINFORCED WITH STANDARD DUR-O-WALL A 16" O.C. SEE PLANS AND DETAILS FOR SPECIFIC INFORMATION. PROVIDE BRICK TIES TO BACK UP FRAMING @ 16" O.C. EACH WAY FOR ALL 4" BRICK VENEER.
- J. BOND BEAMS SHALL BE LOCATED AT THE TOP OF ALL WALLS AND AT STRUCTURAL BEARING CONDITIONS (MINIMUM). TYPICAL BOND BEAM REINFORCEMENT SHALL BE 2-#5 CONTINUOUS. SEE PLANS AND DETAILS FOR ADDITIONAL
- K. TYPICAL VERTICAL REINFORCEMENT UNLESS OTHERWISE NOTED: #5 @ 32" O.C. SEE PLANS AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- L. PROVIDE TWO #5 VERTICAL REINFORCING BARS AT EACH SIDE OF ALL WALL OPENINGS, AT ALL CORNERS AND WALL INTERSECTIONS, AT EACH SIDE OF CONTROL JOINTS AND AT THE ENDS OF WALLS (MINIMUM, SEE PLANS FOR EXCEPTIONS AND/OR ADDITIONAL REQUIREMENTS).
- M. PROVIDE CONTROL JOINTS WHERE INDICATED ON THE DRAWINGS OR AT 30'-0" O.C. MAX.
- N. GALL CELLS SHALL BE GROUTED SOLID. REINFORCING STEEL SHALL BE SECURED IN PLACE BEFORE GROUTING STARTS.
- O. USE LOW LIFT CONSTRUCTION WITH MAXIMUM GROUT POUR HEIGHT OF 4'-0"
- P. TO MINIMIZE LEACHING, PROTECT ALL MASONRY WORK FROM MOISTURE INTRUSION DURING CONSTRUCTION.

9.0 STATEMENT OF SPECIAL INSPECTION

- A. THE OWNER SHALL EMPLOY SPECIAL INSPECTORS FOR THE FOLLOWING TYPES OF CONSTRUCTION PER CALIFORNIA BUILDING CODE CHAPTER 17. THE SPECIAL INSPECTORS SHALL SUBMIT A SIGNED FINAL REPORT TO THE BUILDING DEPARTMENT
 - TABLE 1705.3: 1. INSPECT ANCHORS INSTALLED IN HARDENED CONCRETE (PERIODIC)

10.0 STATEMENT OF STRUCTURAL OBSERVATION

- A. STRUCTURAL OBSERVATION BY THE ENGINEER OF RECORD SHALL BE PROVIDED FOR THE FOLLOWING ITEMS AS REQUIRED BY CHAPTER 17 OF THE CALIFORNIA BUILDING CODE:
- a. CONCRETE CONSTRUCTION
- b. WOOD CONSTRUCTION c. THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS PRIOR TO THE TIME OF THE REQUIRED OBSERVATION.
- B. STRUCTURAL OBSERVATION SITE VISITS BY AR2 STRUCTURAL ENGINEERING ARE NOT A SUBSTITUTE FOR SPECIAL INSPECTIONS. ALL SPECIAL INSPECTIONS ARE TO BE PERFORMED BY THE PROJECT SPECIAL INSPECTOR.



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ANCHOR BOLT HDR. HEADER ALT. ALTERNATIVE H.S. HIGH STRENGTH INT. ARCHITECTURAL INTERIOR BLDG. BUILDING LOC. LOCATION MACHINE BOLT M.B. BFAM BOUNDARY NAILING (DIAPH.) MAX. MAXIMUM B.N. BOTTOM OF FOOTING MOMENT FRAME B.O.F. BOTTOM OF WALL MINIMUM B.O.W. MISC. CENTERLINE MISCELLANEOUS NOT TO SCALE N.T.S. CANTILEVER END ON CENTER OPPOSITE HAND CI FAR OUTSIDE FACE COND. CONDITION PRESSURE TREATED PLATE DOUBLE REF. DEG. REFERENCE DEGREES DET. REINFORCEMENT DETAIL DIAMETER REQ'D REQUIRED DIAGONAL S.A.D. SEE ARCH. DRAWINGS SEC. DIMENSION SECTION SIM. SIMII AR FACH S.O.G. EACH FACE SLAB ON GRADE EMBED. EMBEDMENT SPECS. **SPECIFICATIONS** EDGE NAILING (SHEARWALL) SQUARE E.N. STANDARD EACH SIDE STR. STRENGTH E.W. FACH WAY SYM. SYMMETRICAL FXT FXTFRIOR T&B TOP AND BOTTOM FDN. FOUNDATION T.O.W. TOP OF WALL FOOTING T.O.S. TOP OF STEEL FINISH FLOOR TYP. F.G. FINISH GRADE UNLESS NOTED OTHERWISE U.N.O. FLR. VERT. VERTICAL FOOTING VERIFY IN FIELD V.I.F. GLAV. GALVANIZED



TYP. SHEATHING SCH.			
AREA	SHEATHING	NAILING	
FLOOR ^{1,2,3,4,5}	23/32" APA STURD-I-FLOOR 24 o.c., EXP. 1, T&G, GLUE TO SUPPORT	10d @ 6" o.c. EDGES 10d @ 12" o.c. FIELD	
ROOF ^{1,3,4,5,6,7}	15/32" APA 24/0 EXP. 1 (4 PLY MIN.)	8d @ 6" o.c. EDGES 8d @ 12" o.c. FIELD	
WALL ^{1,2,3,5,8,9}	15/32" APA EXP. 1 (4 PLY MIN.). STRUCTURAL 1	10d @ 6" o.c. EDGES 10d @ 12" o.c. FIELD	

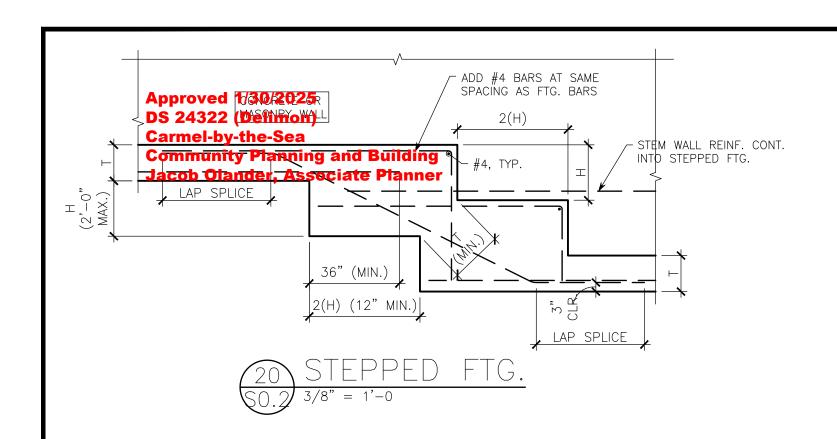
NOTES:

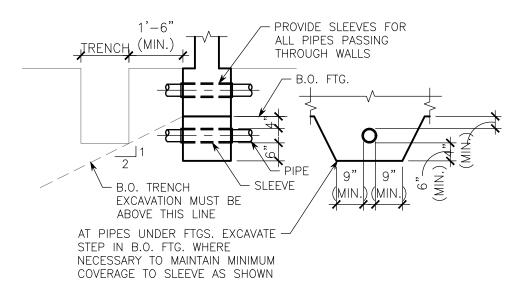
- 1. STRUCTURAL SHEATHING SHALL BE PLYWOOD OR OSB AT CONTRACTORS OPTION AND MUST CONFORM TO THEIR TYPE IN DOC PS1 OR PS2
- 2. DO NOT USE OSB AT EXTERIOR DECKS OR CATWALKS 3. ALL PANELS PERMANENTLY EXPOSED TO WEATHER SHALL BE EXTERIOR VS.
- 4. ALL UNBLOCKED ROOF AND FLR. SHEATHING EDGES SHALL BE T&G. AS AN ALT., UNBLOCKED ROOF SHEATHING MAY BE SUPPORTED WITH PLYWOOD CLEATS OR EDGE
- 5. HEADS OF NAILS SHALL NOT PENETRATE THE FACE SKIN OR ADDT'L NAILING WILL BE REQ'D. NAILS MUST BE LOCATED AT LEAST 3/8" FROM EDGE OF PANEL
- 6. USE PLYWOOD @ LOW SLOPE ROOFS AND OSB @ PITCHED ROOFS
- 7. S.A.D. WHEN RADIANT BARRIER ROOF SHEATHING IS REQ'D
- 8. USE PLYWOOD AT WALLS THAT WILL RECEIVE WATERPROOFING/BUILDING ENVELOPE MEMBRANE, OR EXT. WALLS COVERED IN PAPER AND STUCCO



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PROJECT #

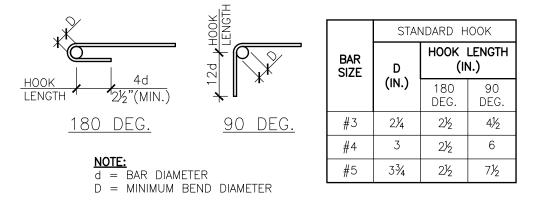




PIPES & TRENCHES AT FTGS.

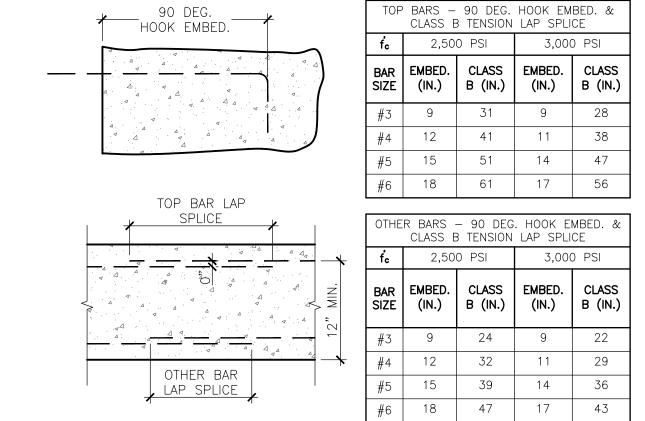
O	造				
	, THOS		STIRRUP & TIE HOOKS		
DB & SIN. I		BAR SIZE	D	HOOK LENGTH (IN.)	
My ×	*		(IN.)	90 DEG.	135 DEG.
<u>135 DEG.</u>	<u>90 DEG.</u>	#3	1½	3	3
NOTE:		#4	2	3	3
d = BAR DIAMETER D = MINIMUM BENI		#5	21/2	3¾	3¾

STIRRUPS & TIES



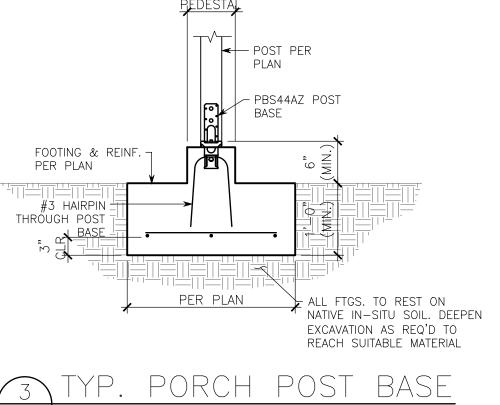
STANDARD REBAR

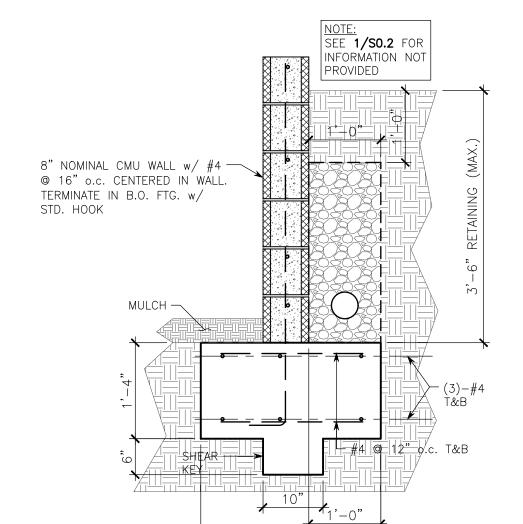




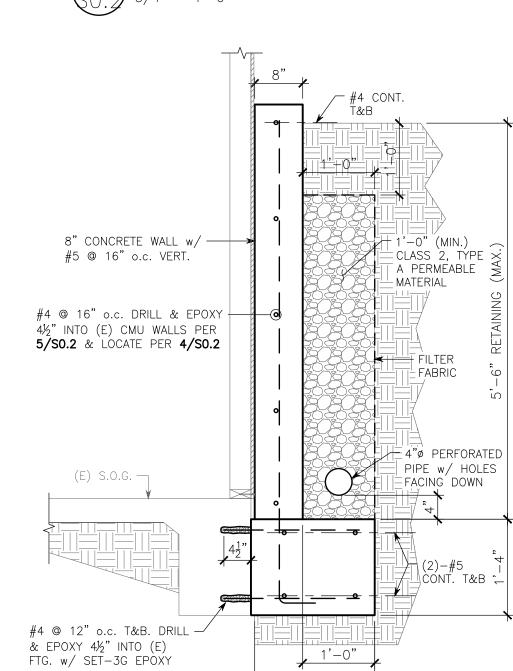
NOTE:
1. TOP BARS ARE HORIZ. BARS PLACED WITH MORE THAN 12" OF FRESH CONCRETE BELOW THEM
2. USE CLASS B LAP SPLICE FOR ALL BAR SPLICES, TYP. 3. TABLES ASSUME GRADE 60 REINF. 4. TABLES ARE BASED UPON MIN. CLEAR COVER GREATER THAN 1.0db AND MIN. CLEAR SPACING GREATER THAN 2db. WHERE EITHER OF THESE REQUIREMENTS IS NOT MET, INCREASE EMBED. OR LAP LENGTH BY 50% 5. d_b INDICATES REINF. Ø







3-FOOT RETAINING WALL



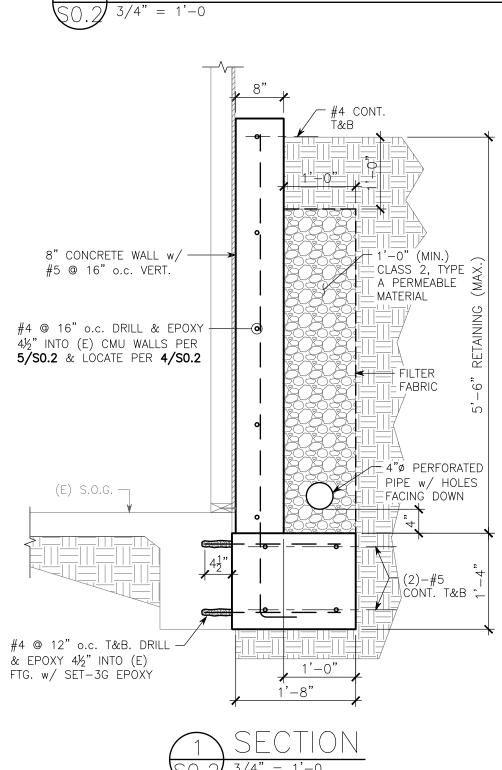
(E) STEM/FTG. | (N) STEM/FTG.

TYP. STEM BARS

- #4 \times 4'-0" DOWELS. MATCH NUMBER OF "STEM WALL/FTG. REINF. DRILL & EPOXY INTO (E) CONC. w/ SET-3G EPOXY (ESR-4057)

FACE OF CMU

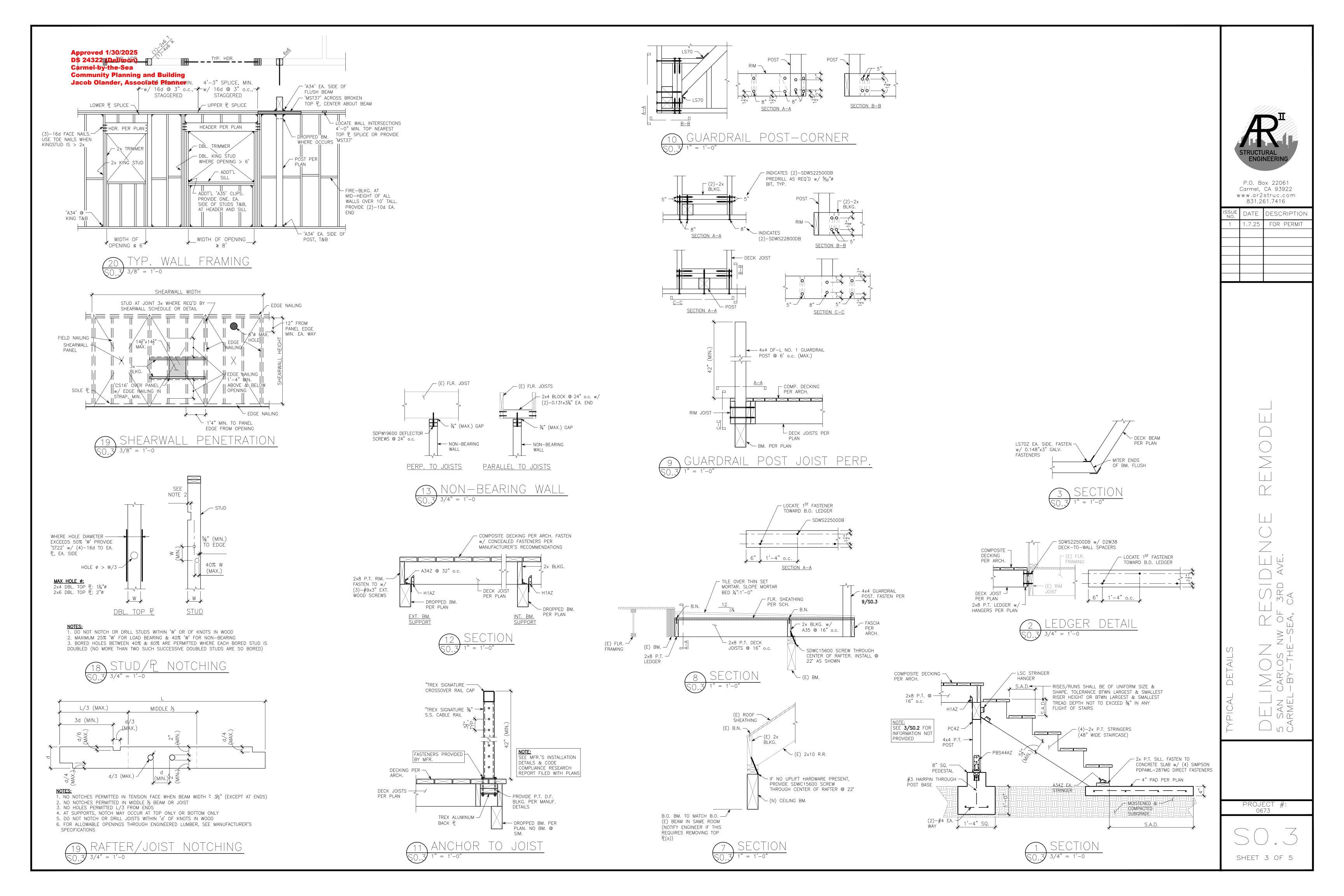
NO INSTALLATION OF ANCHORS PERMITTED IN HATCHED AREAS



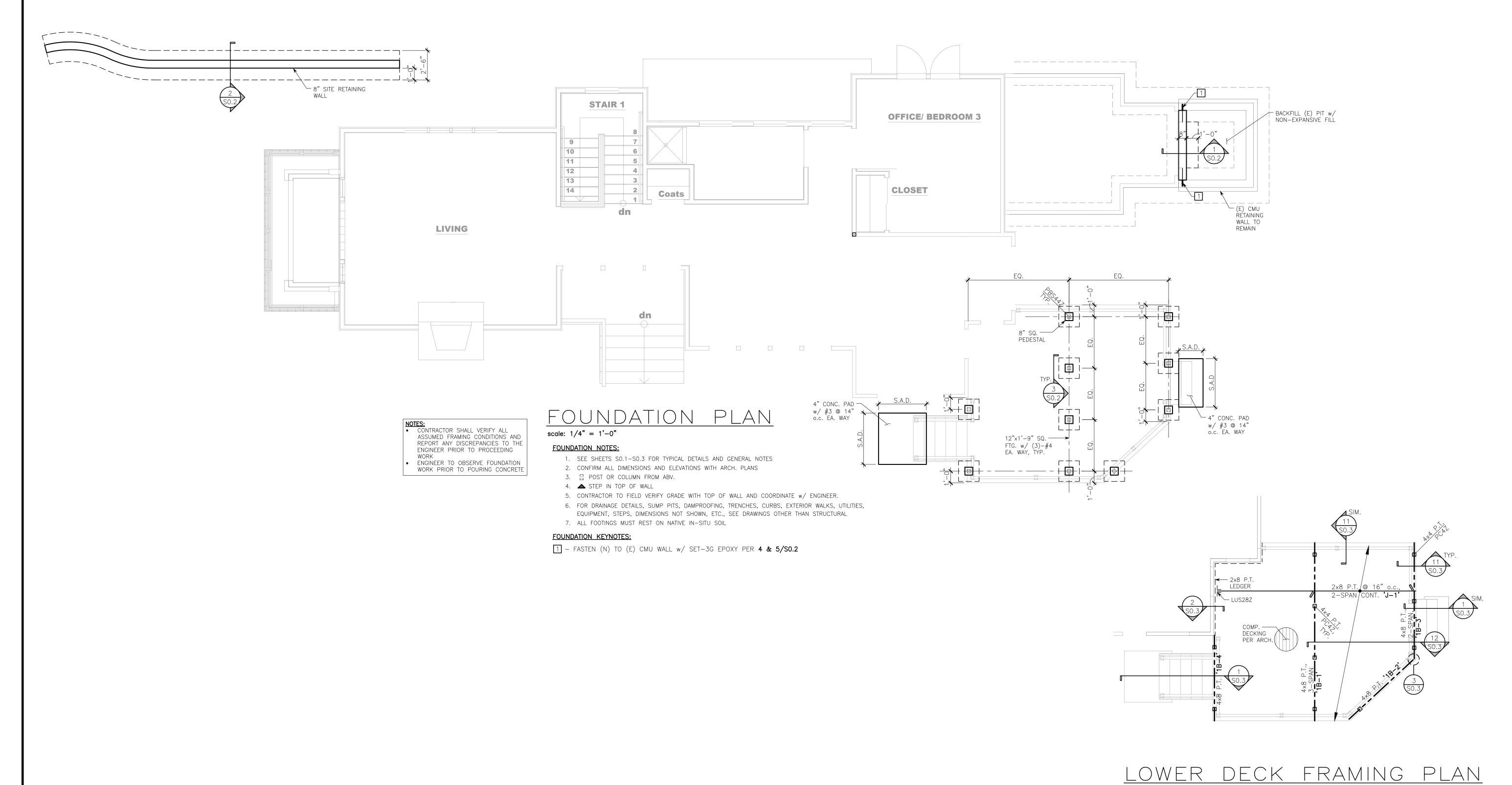
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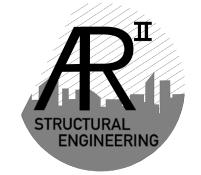
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SHEET 2 OF 5



Approved 1/30/2025 DS 24322 (Delimon) Carmel-by-the-Sea Community Planning and Building Jacob Olander, Associate Planner





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FRAMING KEYNOTES:

scale: 1/4" = 1'-0"**FOUNDATION NOTES:**

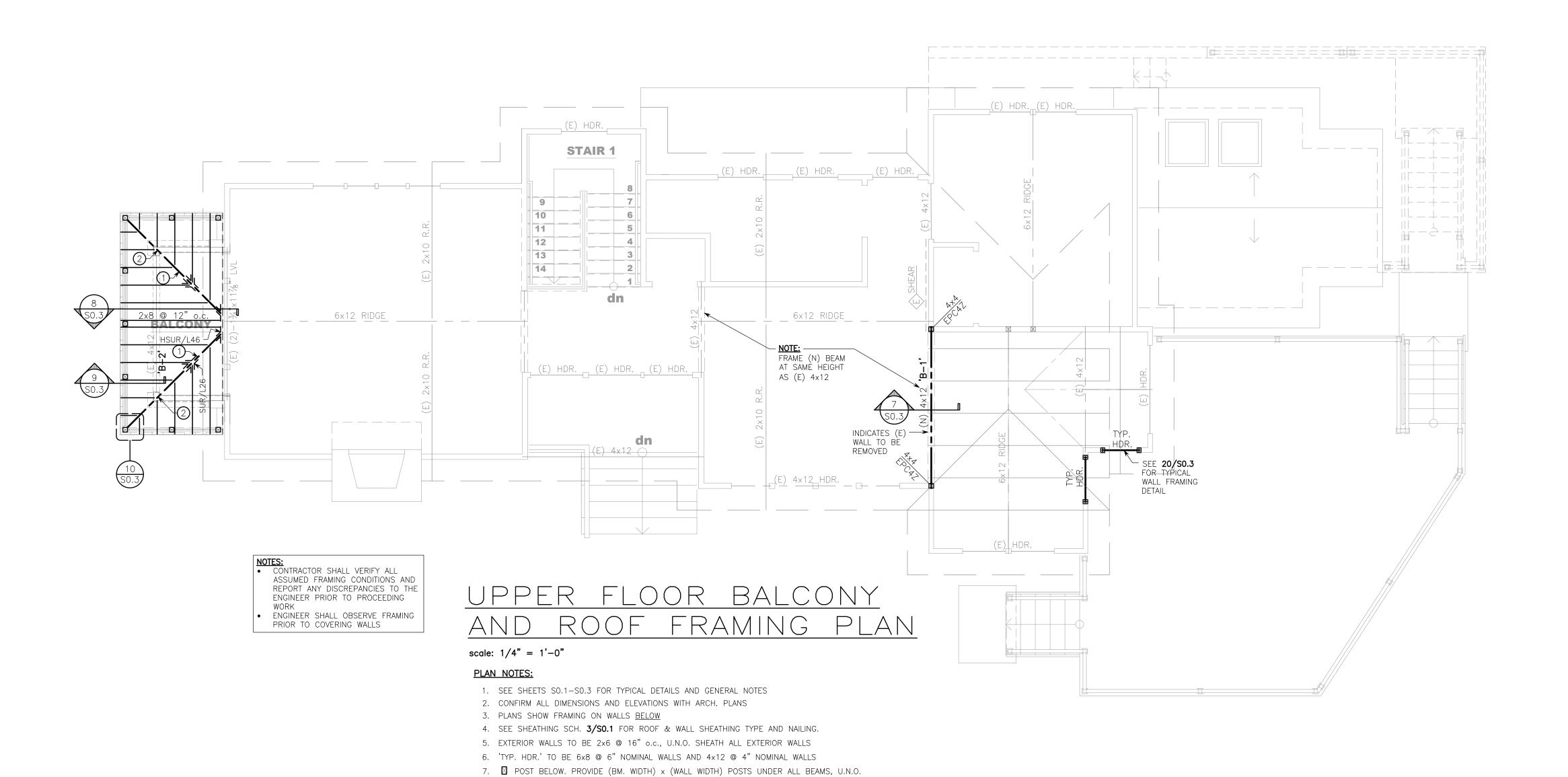
> 3. 🖾 POST OR COLUMN FROM ABV. 4. 📤 STEP IN TOP OF WALL

1. SEE SHEETS SO.1-SO.3 FOR TYPICAL DETAILS AND GENERAL NOTES 2. CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PLANS

5. CONTRACTOR TO FIELD VERIFY GRADE WITH TOP OF WALL AND COORDINATE w/ ENGINEER.

6. FOR DRAINAGE DETAILS, SUMP PITS, DAMPROOFING, TRENCHES, CURBS, EXTERIOR WALKS, UTILITIES, EQUIPMENT, STEPS, DIMENSIONS NOT SHOWN, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL

7. ALL FOOTINGS MUST REST ON UNDISTURBED NATIVE SOIL OR COMPACTED FILL PER SOILS REPORT



8. POSTS TO BE CONT. TO FDN. PROVIDE SQUASH BLOCK OR ADDT'L RIM SECTION BELOW POSTS TO

10. CEILING AND ITS SHEETROCK SHALL NOT BE INSTALLED BEFORE FULL DEAD LOAD IS INSTALLED

12. FOR DRAINAGE DETAILS, WATERPROOFING, UTILITIES, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL

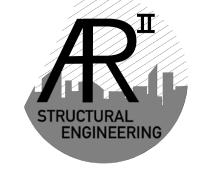
11. MECHANICAL, ELECTRICAL AND SHAFT OPENINGS PER DRAWINGS OTHER THAN STRUCTURAL

TRANSFER LOADS THROUGH THE FLOOR SYSTEM

9. ZZZ INTERIOR BEARING WALL

FOUNDATION KEYNOTES:

2 - HCP4Z



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OOR BALCONY AND ROOF FRAM

5 SAN CARLOS NW OF 3RD

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