



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24322

Owner Name: DELIMON KURT R & LAURENE S

Case Planner: Jacob Olander, Associate Planner

Date Posted: _____

Date Approved: 01/30/2025

Project Location: San Carlos 5 NW of 3rd

APN #: 010125018000 **BLOCK/LOT:** 29/ALL LOT 7

Applicant: Allen Robinson

Project Description: This approval of Design Study (DS 24322) authorizes the following; • Installation of new landscaping, landscape lighting, drip irrigation; • Demolition of the existing deck at the rear of the property; • Construction of a new 240 square foot deck and stairs at the rear of the property; • Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5'; • Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans; • Construction of aluminum clad windows and doors as depicted in the approved plans; • Removal of the rear door and regrading the area that formerly provided access to said door; • Other associated site improvements. All work will be on the site of a single-family residence located at the San Carlos 5 Northwest of 3rd Avenue. The project shall be constructed as depicted in the plans prepared by Hall Landscape Design and the Sienna Company dated approved by Community Planning & Building Department on January 30, 2025, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 24322 (Delimon)

Location: San Carlos 5 Northwest of 3rd Avenue; 010-125-018-000

Date of Action: January 30, 2025

Project Description:

DS 24322 (Delimon) authorizes the approval of Design Study Applications (DS 24322, Delimon) located at San Carlos 5 Northwest of 3rd Avenue in the Single-Family (R-1) District. APN: 010-125-018-000.

The proposed changes include:

- Installation of new landscaping, landscape lighting, drip irrigation;
- Demolition of the existing deck at the rear of the property;
- Construction of a new 240 square foot deck and stairs at the rear of the property;
- Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5';
- Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans;
- Construction of aluminum clad windows and doors as depicted in the approved plans;
- Removal of the rear door and regrading the area that formerly provided access to said door;
- Other associated site improvements.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
<p>The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.</p> <p>For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).</p>		
<p><u>CMC 17.58.060.B Findings for Design Review Approval</u></p> <p>Before approving an application for design review in any district, the Director shall find that the final design plans:</p>	YES	NO
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
<p>Additional Staff Analysis/Discussion: No additional staff analysis.</p>		

ENVIRONMENTAL REVIEW		
<p>The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i>, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i>, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.</p>		
<p>Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15301 (Class 1) – Existing Facilities, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.</p>		
<p>Additional Staff Analysis/Discussion: The proposed changes include:</p> <ul style="list-style-type: none"> • Installation of new landscaping, landscape lighting, drip irrigation; 		

- Demolition of the existing deck at the rear of the property;
- Construction of a new 240 square foot deck and stairs at the rear of the property;
- Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5';
- Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans;
- Construction of aluminum clad windows and doors as depicted in the approved plans;
- Removal of the rear door and regrading the area that formerly provided access to said door;
- Other associated site improvements.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<p>Authorization. This approval of Design Study (DS 24322) authorizes the following;</p> <ul style="list-style-type: none"> • Installation of new landscaping, landscape lighting, drip irrigation; • Demolition of the existing deck at the rear of the property; • Construction of a new 240 square foot deck and stairs at the rear of the property; • Expansion of the existing front deck from 10.5'x6' to 11.5'x6.5'; • Replacement of windows and doors with new aluminum clad windows as depicted in the approved plans; • Construction of aluminum clad windows and doors as depicted in the approved plans; • Removal of the rear door and regrading the area that formerly provided access to said door; • Other associated site improvements. <p>All work will be on the site of a single-family residence located at the San Carlos 5 Northwest of 3rd Avenue. The project shall be constructed as depicted in the plans prepared by Hall Landscape Design and the Sienna Company dated approved by Community Planning & Building Department on January 30, 2025, unless modified by the conditions of approval contained herein.</p>	✓
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional review and subsequent approval by the Community Planning & Building Director.</p>	✓
3.	<p>Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>	✓
4.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration, and appropriate findings prepared for review and adoption by the Planning Commission.</p>	✓
5.	<p>Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans,</p>	✓

	for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
6.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
7.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	✓
8.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
9.	Aluminum Clad Wood Frame Windows. The Applicant shall install aluminum clad wood windows. The manufacturer’s specifications for the windows shall be included in the construction drawings submitted with the building permit application.	✓
10.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓

11.	Driveway. The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.	✓
12.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to the issuance of a demolition permit.	✓
13.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
14.	Truck Haul Route. Prior to Building Permit issuance, the Applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route, and any necessary temporary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
15.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
16.	Conditions of Approval. This signed copy of the conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Landscape Conditions		
17.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓

18.	<p>Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.</p>	✓
19.	<p>Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2”) are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12”) of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	✓
20.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree including the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5’ above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	✓
ENVIRONMENTAL COMPLIANCE CONDITIONS		

21.	Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property, infiltration features must be sized appropriately, and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	✓
22.	BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.	✓
23.	Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for semi-permeable surfaces.	✓
24.	Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.	✓
SPECIAL CONDITIONS		
25.	Landscape Installation. All new landscaping shall be installed on-site prior to scheduling of final inspection.	✓
26.	<u>Conditions of Approval Acknowledgement</u> . Prior to the issuance of a building permit, a completed Conditions of Approval Acknowledgment form shall be signed by the Property Owner, Applicant, and Contractor and submitted to the Building Safety Division.	✓
27.	Building Permit Required. Prior to commencing work on-site, the applicant shall apply for and obtain a building permit from the Community Planning & Building Department.	✓
28.	Planning Inspection Required. A planning rough and final inspection are required as part of inspection for the building permit.	✓
29.	Lighting. Prior to issuance of a building permit, applicant shall submit new proposed wall lighting that is downward facing, shielded, and below 375 lumens.	✓

Acknowledgement and acceptance of conditions of approval:

 Property Owner Signature

 Printed Name

 Date

 Applicant Signature

 Printed Name

 Date

Once signed, please return to Jolander@ci.carmel.ca.us.

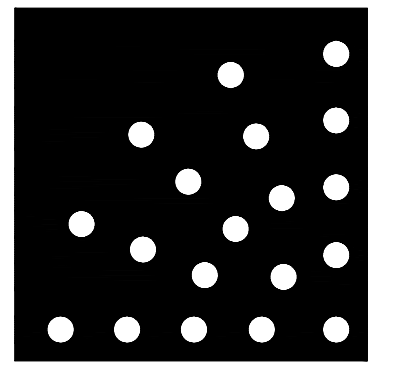
Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner

DELIMON RESIDENCE REMODEL

5 San Carlos NW of 3rd Ave.
 Carmel-by-the-Sea, CA 93923
 APN 010-125-018-000



Existing Street View



THE SIENNA COMPANY, INC.
 Project Development Consulting
 Architecture
 Planning
 Construction Management
 406 Calle Principal
 Monterey, CA 93940
 Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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Consultants:

		<p>APPLICABLE CODES ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF THE FOLLOWING:</p> <p>2022 CALIFORNIA ADMINISTRATIVE CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA REFERENCED STANDARD CODE LOCAL AMENDMENTS - CITY OF CARMEL-BY-THE-SEA</p>		<p>INDEX TO DRAWINGS</p> <p>GENERAL</p> <p>G101 INDEX TO DRAWINGS, PROJECT DATA, VICINITY MAP, PROJECT TEAM, APPLICATION CODES G102 GENERAL CONSTRUCTION NOTES, INSTRUCTIONS TO BIDDERS, SYMBOLS & ABBREVIATIONS</p> <p>SITE PLANS & LANDSCAPING</p> <p>L-0 EXISTING SITE SURVEY WITH TOPOGRAPHIC MAP L-1 PROJECT INDEX (Landscaping) L-2 EXISTING SITE PLAN L-3 COMPARISON EXISTING & PROPOSED (Site Landscape Site Coverage) L-4 FRONT DRIVEWAY SECTION L-5 IRRIGATION & LIGHTING PLANS L-6 PLANTING PLAN L-7 BEST MANAGEMENT PRACTICES, NOTES & DETAILS L-8 BEST MANAGEMENT PRACTICES DURING CONSTRUCTION</p> <p>ARCHITECTURAL</p> <p>A101 EXISTING & DEMOLITION FLOOR PLANS A102 NEW FLOOR PLANS, EXTENT OF WORK A103 EXISTING, DEMOLITION & NEW CONSTRUCTION FOR KITCHEN INTERIOR REMODEL A104 EXISTING, DEMOLITION & NEW CONSTRUCTION FOR EXTERIOR ELEVATIONS, DOOR & WINDOW SCHEDULES A105 EXISTING, DEMOLITION & NEW INTERIOR STAIR PLANS & DETAILS A106 EXISTING, DEMOLITION & NEW FRONT BALCONY PLANS & DETAILS A107 NEW REAR DECK PLANS & DETAILS PL101 ELECTRICAL AND LIGHTING GENERAL NOTES PL102 LIGHTING PLANS PL103 ELECTRICAL POWER PLANS CAGm1 CA GREEN BUILDING CODE RESIDENTIAL MANDATORY MEASURES CAGm2 CA GREEN BUILDING CODE RESIDENTIAL MANDATORY MEASURES</p> <p>INTERIOR DESIGN</p> <p>1 KITCHEN FLOOR PLAN 2 KITCHEN ELEVATIONS 3 GUEST BATHROOM 1 FLOOR PLAN 4 GUEST BATHROOM 1 ELEVATIONS 5 GUEST BATHROOM TILE & STONE 6 GUEST BATHROOM 2 FLOOR PLAN 7 GUEST BATHROOM 2 ELEVATIONS 8 GUEST BATHROOM TILE & STONE 9 PRIMARY BATHROOM FLOOR PLAN 10 PRIMARY BATHROOM ELEVATIONS 11 PRIMARY BATHROOM TILE & STONE 12 PRIMARY BATHROOM FIREPLACE 13 LIVING ROOM FIREPLACE HEARTH</p> <p>STRUCTURAL PLANS</p> <p>S0.1 STRUCTURAL GENERAL DETAILS & TYPICAL DETAILS S0.2 TYPICAL DETAILS S0.3 TYPICAL DETAILS S1.0 FOUNDATION/LOWER DECK FRAMING S2.0 UPPER FLOOR BALCONY & ROOF FRAMING</p>
		<p style="text-align: right;">Applicable Codes</p>	<p style="text-align: right;">Vicinity Map (Not to Scale)</p>	
		<p>PROPERTY OWNER LAURIE & KURT DELIMON 5 SAN CARLOS NW OF 3RD AVE. CARMEL-BY-THE-SEA, CA 93923 TEL: LAURIE (408) 930-3252 EMAIL: laurie.delimon@gmail.com TEL: KURT (408) 981-6567 EMAIL: kdelimon@gmail.com</p> <p>ARCHITECT ALLEN ROBINSON, ARCHITECT THE SIENNA COMPANY, INC. 406 CALLE PRINCIPAL MONTEREY, CA 93940 TEL: (831) 915-8143 EMAIL: arobinson@thesiennacompany.com LICENSE NO. C-18753</p> <p>INTERIOR DESIGN ASHLEY FIGUEROA REVIVE DESIGN 100-3 NISSEN ROAD SALINAS, CA 93901 TEL: (831) 682-1813 EMAIL: ashley@revivedesigncompany.com</p> <p>CIVIL SURVEYORS DAVE T. EDSON LICENSED LAND SURVEYOR - LIC. NO. 4974 CENTRAL COAST SURVEYORS 5 HARRIS COURT, SUITE N-11 MONTEREY, CA 93940 TEL: (831) 394-4930 EMAIL: dave@ccsurveyors.com</p> <p>LANDSCAPE ARCHITECT SCOTT HALL, LANDSCAPE ARCHITECT 3405 HALL LANDSCAPE DESIGN INC. 582 LIGHTHOUSE AVE., SUITE 3+4 PACIFIC GROVE, CA 93950 TEL: (831) 901-0150 EMAIL: scotthall582@gmail.com</p> <p>STRUCTURAL ENGINEER: ADAM RENDON, PE C-82770 AR2 STRUCTURAL ENGINEERING, INC. P. O. BOX 22061 CARMEL, CA 93922 TEL: (831) 261-7416 EMAIL: adam@ar2struc.com</p>	<p>PROJECT DATA PROJECT DESCRIPTION: REMODEL OF EXISTING 2-STORY, SINGLE-FAMILY NO ADDITIONAL SQUARE FOOTAGE PROPOSED</p> <p>- INTERIOR REMODEL INCLUDES REVISIONS TO KITCHEN, BATHROOMS, INTERIOR STAIRS, REPLACE GAS FIREPLACE INSERT IN PRIMARY BEDROOM, DECORATIVE REVISIONS TO FIREPLACE HEARTH IN LIVING ROOM, - EXTERIOR REVISIONS INCLUDES REVISIONS TO FRONT BALCONY, REPAIR AND REPLACE REAR DECK, JOIN PATIO 1 & PATIO 2 REQUIRING REVISIONS AND ADDITIONS TO EXISTING RETAINING WALLS, MINOR FENESTRATION REVISIONS - NEW LANDSCAPE PLANS</p> <p>PROJECT LOCATION: 5 SAN CARLOS NW OF 3RD AVE. CARMEL-BY-THE-SEA, CA 93923</p> <p>APN: 010-125-018-000 BLOCK 29; LOT 7 "MAP OF ADDITION NO. 4 CARMEL-BY-THE-SEA"</p> <p>PROPERTY OWNER: LAURIE & KURT DELIMON 5 SAN CARLOS MW OF 3RD AVE. CARMEL-BY-THE-SEA, CA 93923 TEL: LAURIE (408) 930-3252 EMAIL: laurie.delimon@gmail.com TEL: KURT (408) 981-6567 EMAIL: kdelimon@gmail.com</p> <p>ARCHITECT/APPLICANT: ALLEN ROBINSON, ARCHITECT THE SIENNA COMPANY, INC. 406 CALLE PRINCIPAL MONTEREY, CA 93940 TEL: (831) 915-8143 EMAIL: arobinson@thesiennacompany.com</p> <p>ZONING: R1 OCCUPANCY GROUP: R3 TYPE OF CONSTRUCTION: V-N (NON-SPRINKLERED) LOT AREA: 40' X 100' = 4,000 SF SITE COVERAGE: SEE SHT. L-3 FOR COMPARSION BETWEEN EXISTING AND PROPOSED BUILDING AREA: EXISTING TWO-STORY HOUSE - NO CHANGE BUILDING SETBACKS: NO CHANGE BUILDING HEIGHT: NO CHANGE NO. OF STORIES: NO CHANGE PARKING: NO CHANGE GRADING: CUT: > 25 CU. YDS. - EXPORTED FILL: 0.0 CU. YDS. TREES TO BE REMOVED: NONE</p>	<p style="text-align: right;">Project Team</p>
		<p style="text-align: right;">Project Team</p>	<p style="text-align: right;">Project Data</p>	<p style="text-align: right;">Index to Drawings</p>
		<p style="text-align: right;">08</p>	<p style="text-align: right;">05</p>	<p style="text-align: right;">01</p>

Delimon Residence Remodel

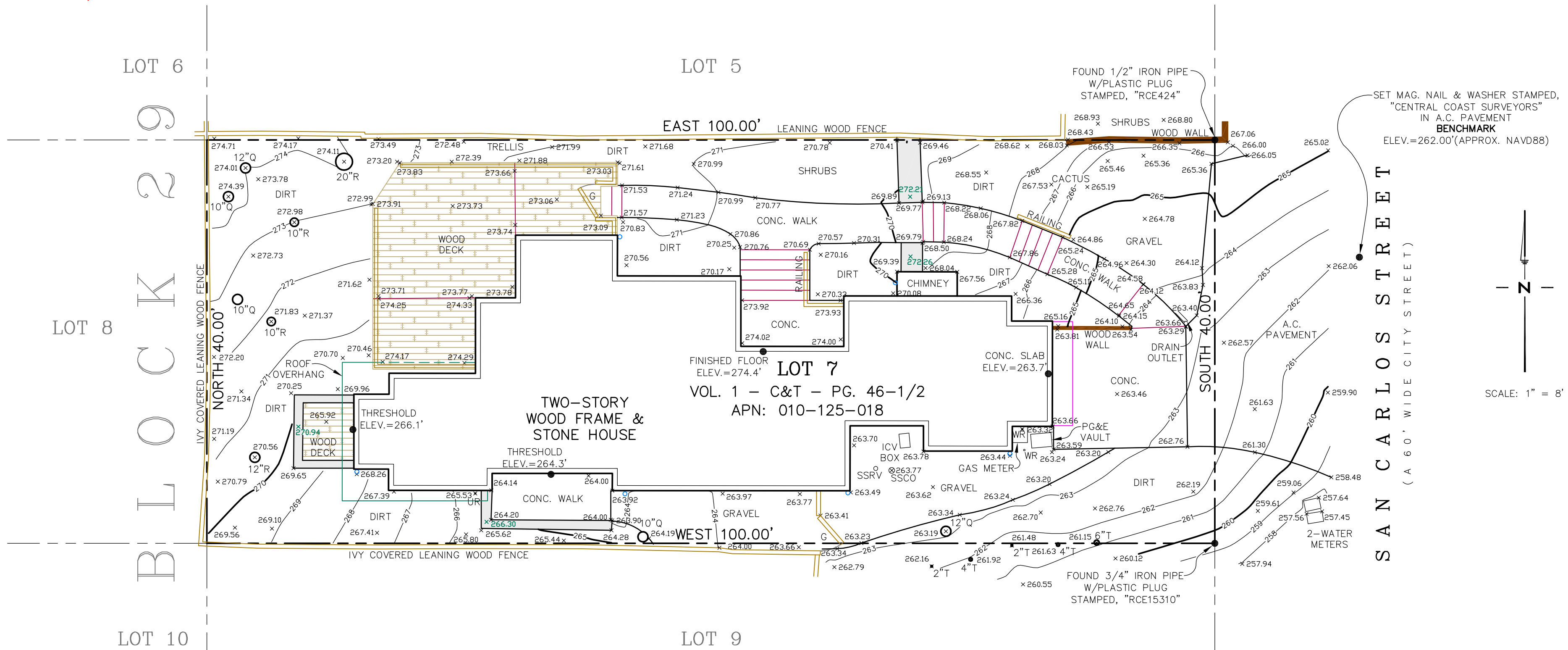
Project Address:
 5 San Carlos NW of 3rd Ave.
 Carmel-by-the-Sea, CA 93923
 APN 010-125-018-000

Project No: 2315.002
 Issue Date: 10/15/2024
 Revisions:

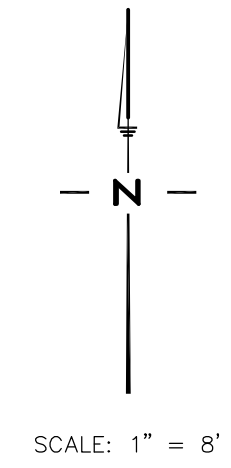
Sheet Title:
 Index to Drawings, Project Data, Vicinity Map, Project Team, Applicable Codes

G101

Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner

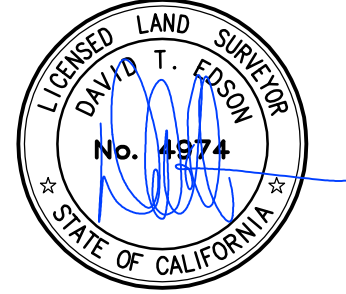


SET MAG. NAIL & WASHER STAMPED,
 "CENTRAL COAST SURVEYORS"
 IN A.C. PAVEMENT
 BENCHMARK
 ELEV.=262.00'(APPROX. NAVD88)



- LEGEND:**
- G GATE
 - ICV IRRIGATION CONTROL VALVE
 - SSRV SANITARY SEWER RELIEF VALVE
 - SSCO SANITARY SEWER CLEANOUT
 - UR UTILITY RISER
 - WR WATER RISER
 - CONC. DENOTES PORTLAND CEMENT CONCRETE
 - 270.94 DENOTES A SPOT ELEVATION ON TOP OF WALL (TYP.)
 - DENOTES A DOWNSPOUT
 - 10"○ DENOTES A 10" DIA. TREE (TYP.)
 - 10"○ DENOTES A 10" DIA. OAK TREE (TYP.)
 - 10"R DENOTES A 10" DIA. REDWOOD TREE (TYP.)
 - DENOTES PROTRACTED BOUNDARY
 - DENOTES A STEP
 - DENOTES A ROOF OVERHANG, ONLY REAR ROOF OVERHANG SHOWN
 - DENOTES A ELEVATED WOOD DECK
 - DENOTES A WOOD FENCE
 - DENOTES A STONE & CONCRETE WALL

- NOTES:**
- ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
 - ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF SAN CARLOS STREET, AS SHOWN.
 ELEVATION = 262.00 FEET (APPROX. NAVD88)
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" ARE NOT SHOWN.



TOPOGRAPHIC MAP
 OF
 LOT 7 IN BLOCK 29
 AS SHOWN ON THE
 "MAP OF ADDITION No.4
 CARMEL-BY-THE-SEA"
 FILED IN, VOL. 1 - C&T PG. 46-1/2
 OFFICIAL RECORDS OF MONTEREY COUNTY
 CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Kurt Delimon
 BY
CENTRAL COAST SURVEYORS
 5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
 Phone: (831) 394-4930
 Fax: (831) 394-4931

SCALE: 1" = 8' JOB No. 24-31 JUNE 2024
 PREPARER: LLJS
 APN 010-125-018 **L-0**

Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner

SCOPE OF LANDSCAPE WORK:

SCOPE OF TASKS INCLUDE:

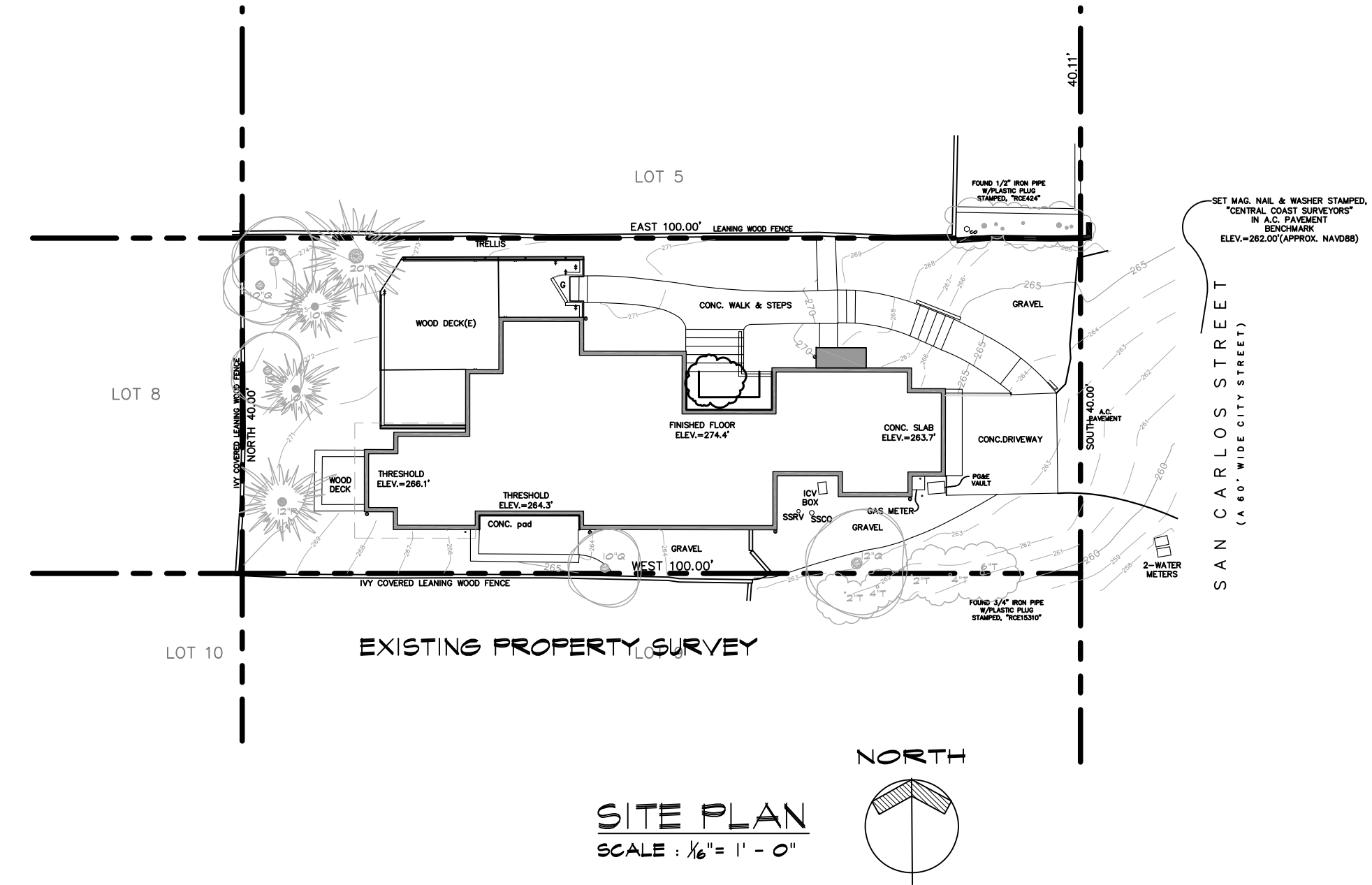
- NEW ENTRY AS DEFINED BY MORE PLANT SPACE & A SAFE WALK TO THE FRONT DOOR
 Steps which are consistent with an even rhythm to walk
 - Safe non slip surface
 - Low Garden Retaining Walls new & existing organize the planting and offer protection to the staircase
- REBUILD AND RECONFIGURED BACK DECK AT THE BACK OF THE HOUSE
 - Layout on Landscape Site Coverage sheet . Size has been reduced to fit with overall Site Coverage calculations while providing a functional, comfortable & compliant useable outdoor space on this hillside home
 - Refer to Building Architects Plan for layout and building construction details
- UPDATE AND EXPAND CURRENT IRRIGATION IRRIGATION SYSTEM with a sensible irrigation delivery system which follows current state water resources and Monterey County water management efficient garden water use requirements by State & Local water agencies. Plans follow City of Carmel-by-the-Sea design intent.
- LIGHTING: ADD SAFETY EGRESS IN THE BACKYARD BY THE ADDITION SOME SENSIBLE LIGHT FIXTURES WHICH MEET THE CITY REQUIREMENTS AND ARE LOW VOLTAGE AND LED.

EGRESS AROUND THE SIDE OF THE HOUSE AND DOORWAY LANDINGS (required by the California Building code),

- ALL FOR SAFE NAVIGATION AROUND THE SITE. OUTDOOR LIVING SPACE ;
- THE DECK IS MADE SAFE AND SMALLER THAN EXISTING. REFER TO BUILDING ARCHITECT'S DRAWINGS
- MAINTAINING THE EXISTING WALKWAYS AND LOCATIONS FOR ENTRY IS A SAFE AND PRACTICAL SOLUTION AND WILL NOT BE DETRIMENTAL TO PROPERTY OR INJURIOUS TO PUBLIC HEALTH, SAFETY OR WELFARE.

LANDSCAPE CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH LOCAL CITY OF CARMEL-BY-THE-SEA, COUNTY & STATE CODES, LAWS, ORDINANCES AND REGULATIONS. BUILDING CODES AND ALL OTHER ASSOCIATED CODE ITEMS WHICH SHALL INCLUDE BUT NOT BE LIMITED TO CURRENT UNIFORM BUILDING STANDARDS CODE 2022 REGULATIONS (TITLE24) FOR MASONRY, ELECTRICAL & PLUMBING SCOPES OF WORK.
- INSTALLATION OF THE NEW NATURAL GAS FIREPLACE SHALL ALSO FOLLOW THE CARMEL BY THE SEA MUNICIPAL TITLE 15.24 /2022 BUILDING CODES / PLUMBING CODE (CPC) FOR NATURAL GAS INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT **USA (800) 642-2444 OR ON LINE**. ISSUANCE OF THE PERMIT RESTS WITH THE CONTRACTOR RECEIVING AN 811 TICKET PROVING ALL UTILITIES HAVE BEEN SURVEYED AND MARKET AT THE STREET BY THE APPROPRIATE AGENCIES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD CURRENT CITY BUSINESS LICENSE.
- THE CALIFORNIA LICENSED LANDSCAPE CONTRACTOR SHALL CARRY AM MINIMUM 2 MILLION DOLLARS LIABILITY INSURANCE POLICY AND SHALL PROVIDE PROOF AND NAME THE OWNER IN THE ASSURANCE AT TIME OF THE CONTRACT SIGNING.
- THE CONTRACTOR SHALL PROVIDE A PORTABLE TOILET WHICH SHALL BE SCREENED FROM PUBLIC VIEW DURING THE PROJECT CONSTRUCTION SHOULD THE MAIN BUILDING CONTRACTOR FINISHED WORKING ON THE SITE.
- NO TREES ARE TO BE REMOVED FOR THE PROJECT
- TREE PROTECTION MEASURES** MAY BE FOUND ON **SHEET 6**



SHEET INDEX:

- L-1 PROJECT TITLE SHEET
- L-2 EXISTING SITE
- L-3 EXISTING & PROPOSED SITE COMPARISONS
- L-4 LANDSCAPE LAYOUT / SECTION & ELEVATION / DETAILS
- L-5 IRRIGATION & LIGHTING PLANS
- L-6 PLANTING PLAN / SPECIFICATIONS & TREE PROTECTION

Kurt & Laurie Delimon

LANDSCAPE RENOVATION PLANS

INDEX SHEET

SCALE : AS SHOWN

Revisions

△	SITE COVERAGE ADJUSTED
△	
△	

Hall Landscape Design Inc.
 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Grove, Ca 93950
 (831) 655-3808
 e-mail: scott@halllandscape.com

REGISTERED LANDSCAPE ARCHITECT
 SCOTT HALL #3405
 SIGNATURE
 DATE
 STATE OF CALIFORNIA

Kurt & Laurie Delimon
 5 San Carlos NW Third Ave
 Carmel-by-the-Sea, CA apn 010-125-018

Project Index

Page Title:

Job #	3-24
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Revision	12/09/2024
Drawn By	MASH

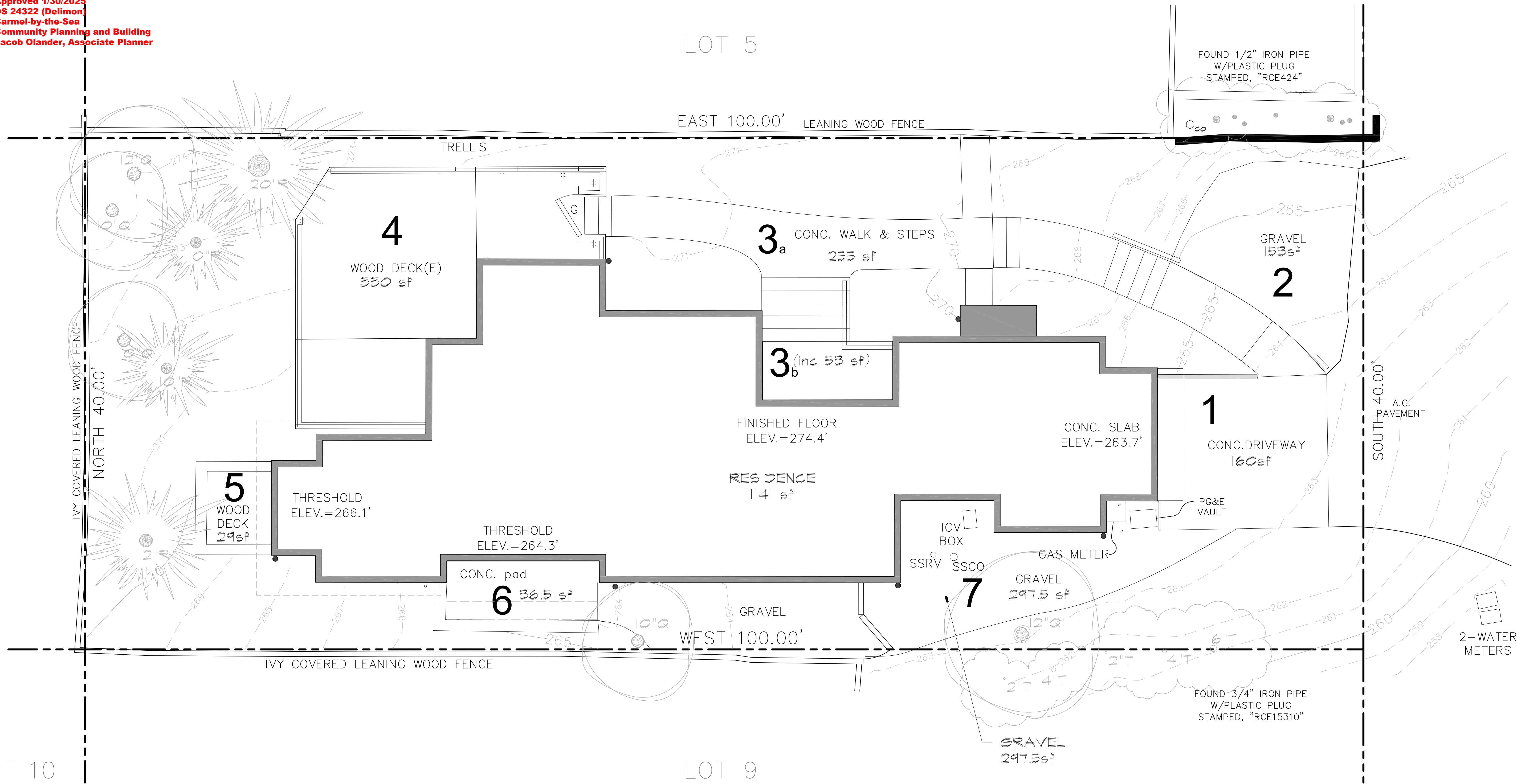
Sheet

L-1

of: 6 Sheets

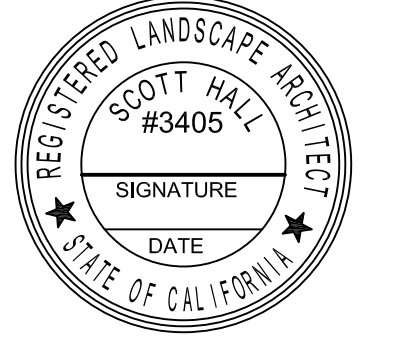
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Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



Revisions
 △ SITE COVERAGE ADJUSTED
 △
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Hall Landscape Design Inc.
 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Grove, CA 93950
 (831) 655-3808
 e-mail: scott@halllandscape.com



Kurt & Laurie Delimon
 5 San Carlos NW Third Ave
 Carmel-by-the-Sea, CA apn 010-125-018

Existing Site Plan

Page Title:
 Job # 3-24
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 Revision 12/09/2024
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Sheet

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of: 6 Sheets

SITE LANDSCAPE LOT COVERAGE 12/10/2024 REVISED
 5 SW San Carlos NW Third
 Lot Size 4,000 APN 010-125-018

ZONE	AREA or Zones	EXISTING		***** PROPOSED		TOTAL EXISTING
		IMPERMEABLE	PERMEABLE	IMPERMEABLE	PERMEABLE	
Existing:						
1	CONCRETE DRIVEWAY	160				
2	FRONT DRIVEWAY PARKING CRUSHED ROCK / GRAVEL		153			
3	ENTRY WALK TO FRONT DOOR & BEYOND TO WOOD DECK	308				
4	WOOD DECK		330			
5	PIT PAD ZONE		29			
6	SOUTH SIDE CONCRETE PATIO	36.5				
7	SOUTH SIDE CRUSHED ROCK		297.5			
TOTAL		504.5	809.5			1314



EXISTING 'PIT' AREA TO BE REMOVED

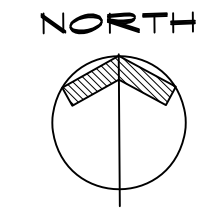


FRONT CONCRETE DRIVEWAY



EXISTING ENTRY CONCRETE STEPS

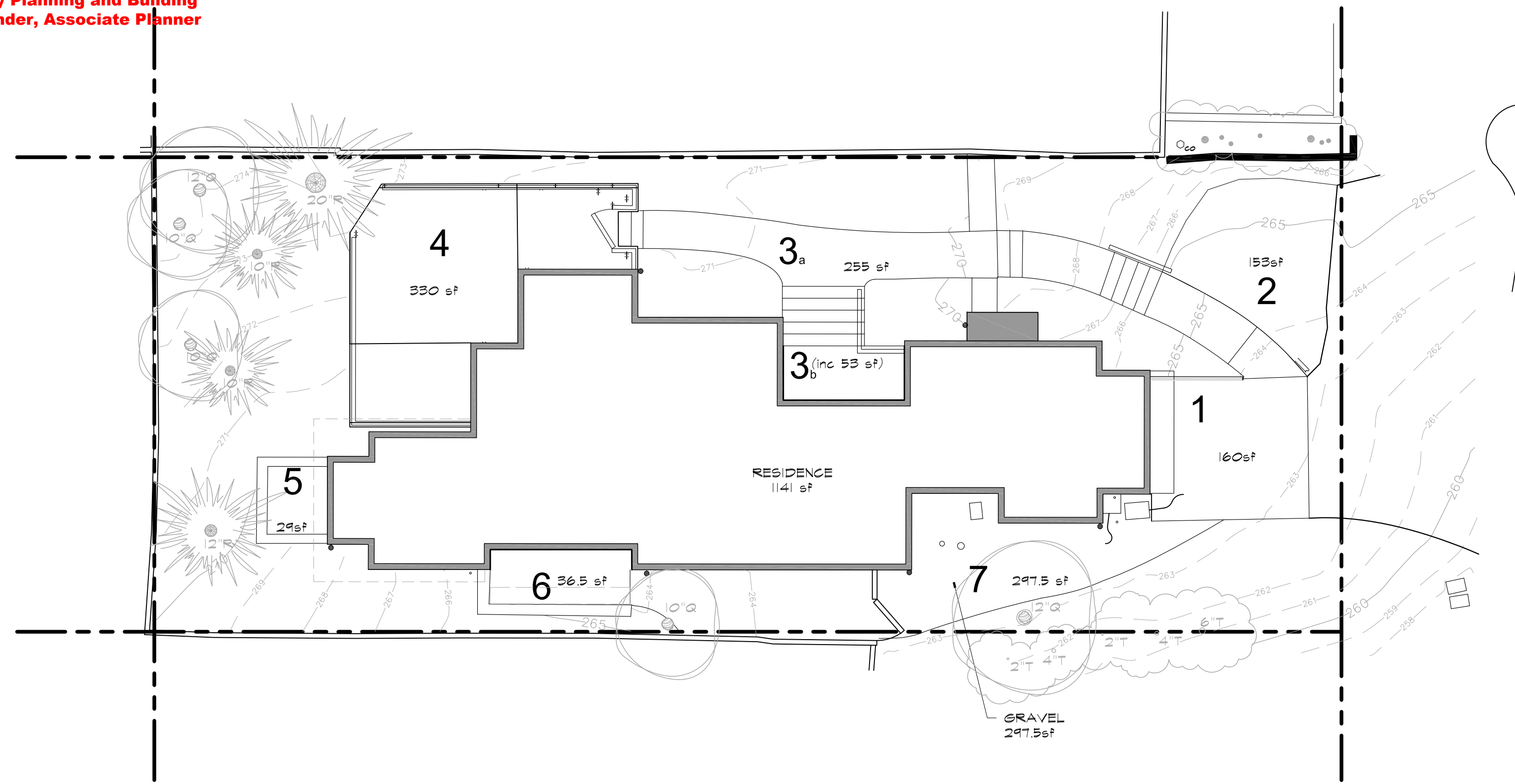
EXISTING SITE PLAN



0' 4' 8' SCALE: 1/4" = 1' - 0"

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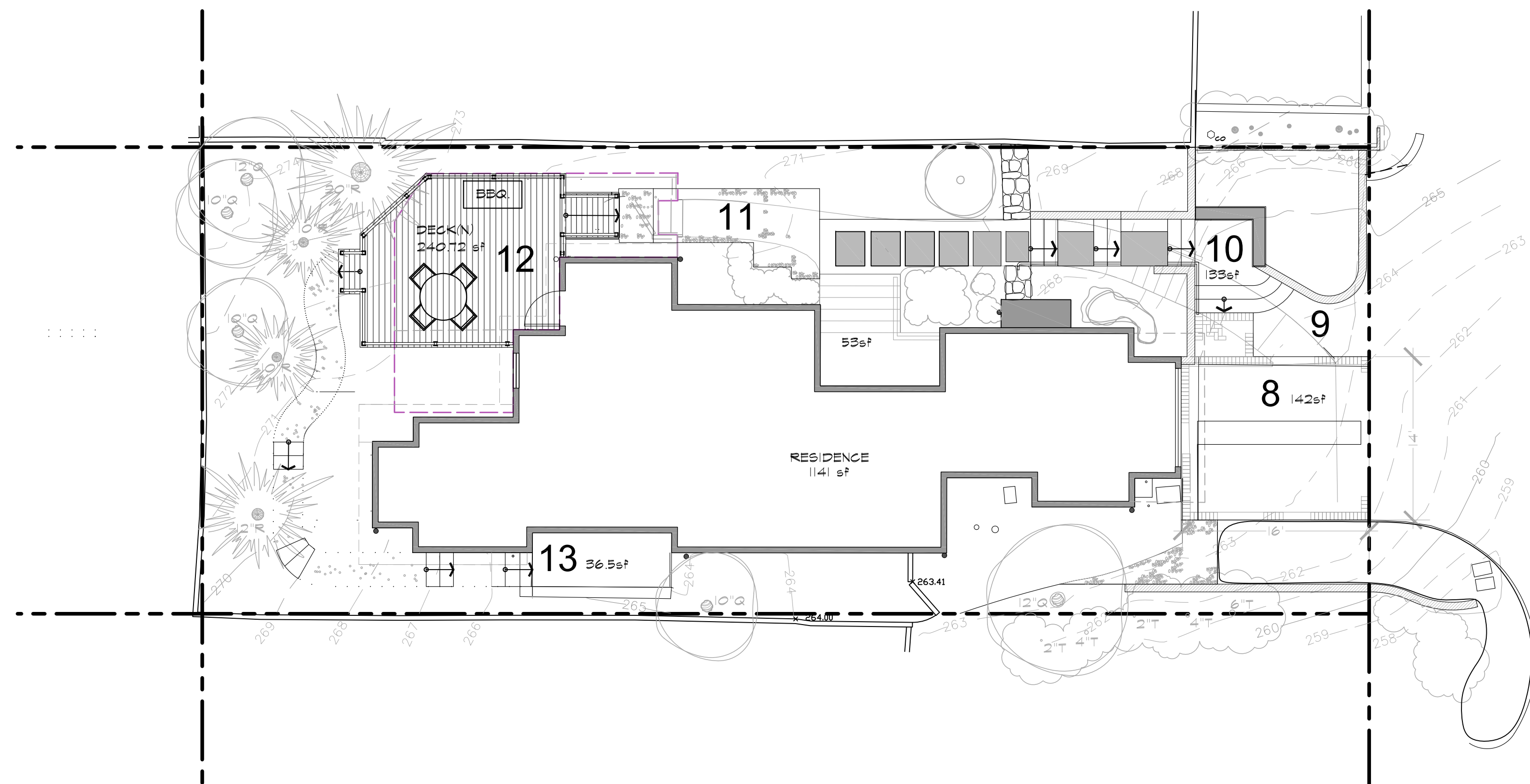
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 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



EXISTING CONDITION
 SCALE : 1/8" = 1' - 0"



EXISTING WALK TO FRONT DOOR

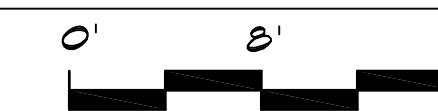
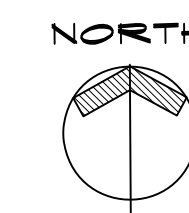


PROPOSED CONDITION
 SCALE : 1/8" = 1' - 0"

COMPARISON: EXISTING & PROPOSED SITE COVERAGE CONDITIONS REVISED / SOLVED

SITE LANDSCAPE LOT COVERAGE		12/09/2024 Revised				
5 SW San Carlos NW Third		APN 010-125-018				
Lot Size 4,000						
ZONE	AREA or Zones	EXISTING IMPERMEABLE	EXISTING PERMEABLE	***** PROPOSED IMPERMEABLE	***** PROPOSED PERMEABLE	TOTAL EXISTING
Existing:						
1	CONCRETE DRIVEWAY	160				
2	FRONT DRIVEWAY PARKING CRUSHED ROCK / GRAVEL		153			
3	ENTRY WALK TO FRONT DOOR & BEYOND TO WOOD DECK	308				
4	WOOD DECK		330			
5	LOWER DECK IN WALLED PIT PAD ZONE		29			
6	SOUTH SIDE CONCRETE PATIO	36.5				
7	SOUTH SIDE CRUSHED ROCK		297.5			
	TOTAL	504.5	809.5			1314
Proposed						
8	NEW DRIVEWAY PAVER AREA				142	
9	WALK START JUST OFF DRIVEWAY Proposed with Bark chips			0		
10	ENTRY WALK with LANDINGS & STEP PADS INCLUDING FRONT DOOR ENTRY & STAIRWAY			133		
11	PATH FROM ENTRY SIDE OF HOUSE TO DECK NOW BARK CHIPS			0		
12	NEW WOOD DECK REBUILT & STAIRS				240.72	
13	EXISTING SOUTH SIDE CONCRETE INC COVERAGE EGRESS PAD		36.5			
	TOTAL		169.5	382.72		552.22

NOTES:
 1) LOT SIZE 4,000 sf396 sq. ft.
 2) 50% Permeable Bonus included 556 sq. ft.
 3) **SUMATION: Allowable Coverage 556 square feet.**
New Coverage 42% of the Existing in All Zones. PROPOSED SITE COVERAGE 552.22 or 3.78 sq. ft under the Threshold allotted



SCALE : 1/8" = 1'-0"

Revisions
△ SITE COVERAGE ADJUSTED
△
△

Hall Landscape Design Inc.
 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Grove, Ca 93950
 (831) 655-3808
 e-mail: scott@halllandscape.com



Kurt & Laurie Delimon
 5 San Carlos NW Third Ave
 Carmel-by-the-Sea, CA apn 010-125-018

Site Coverage
Extg. & Proposed

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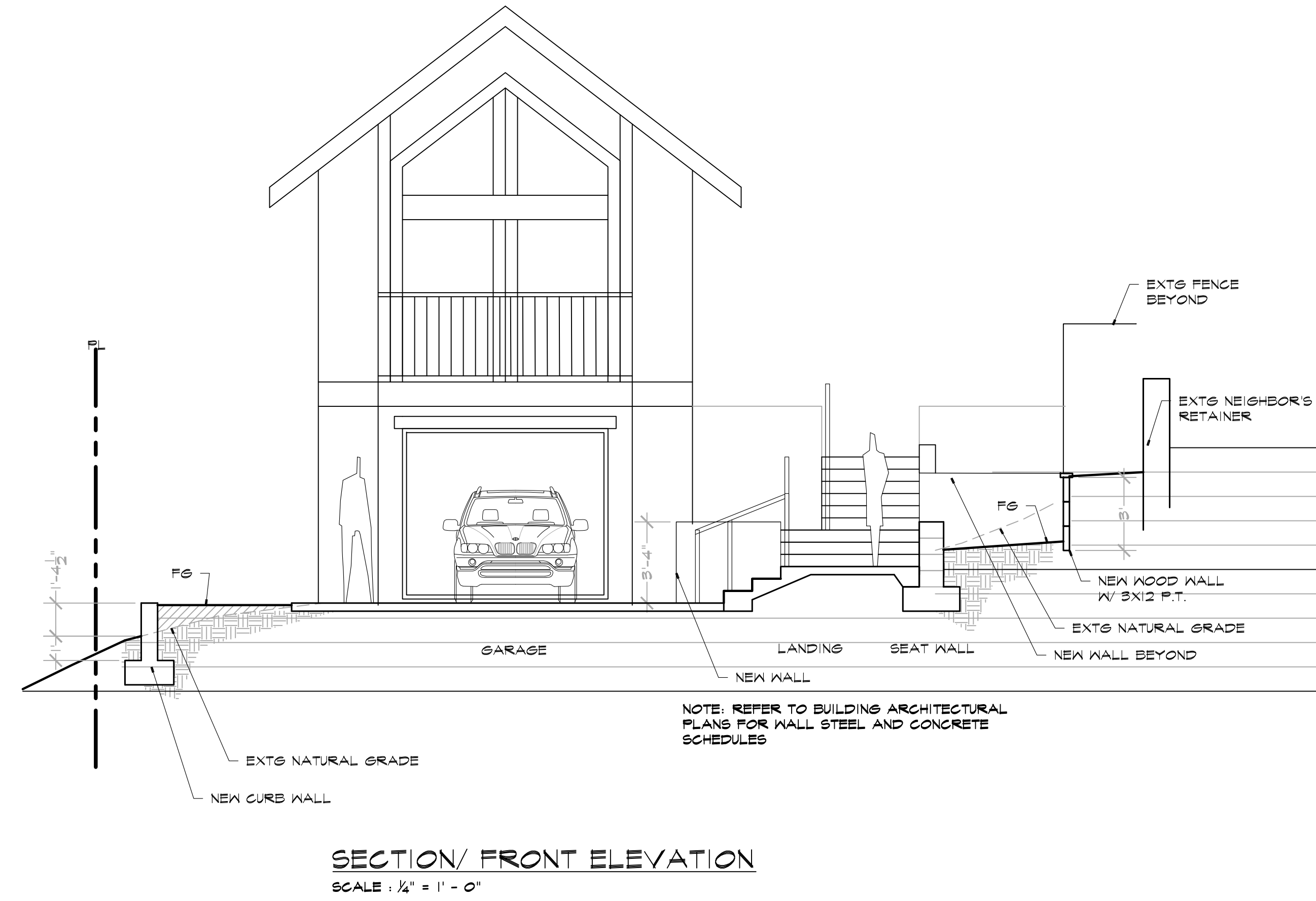
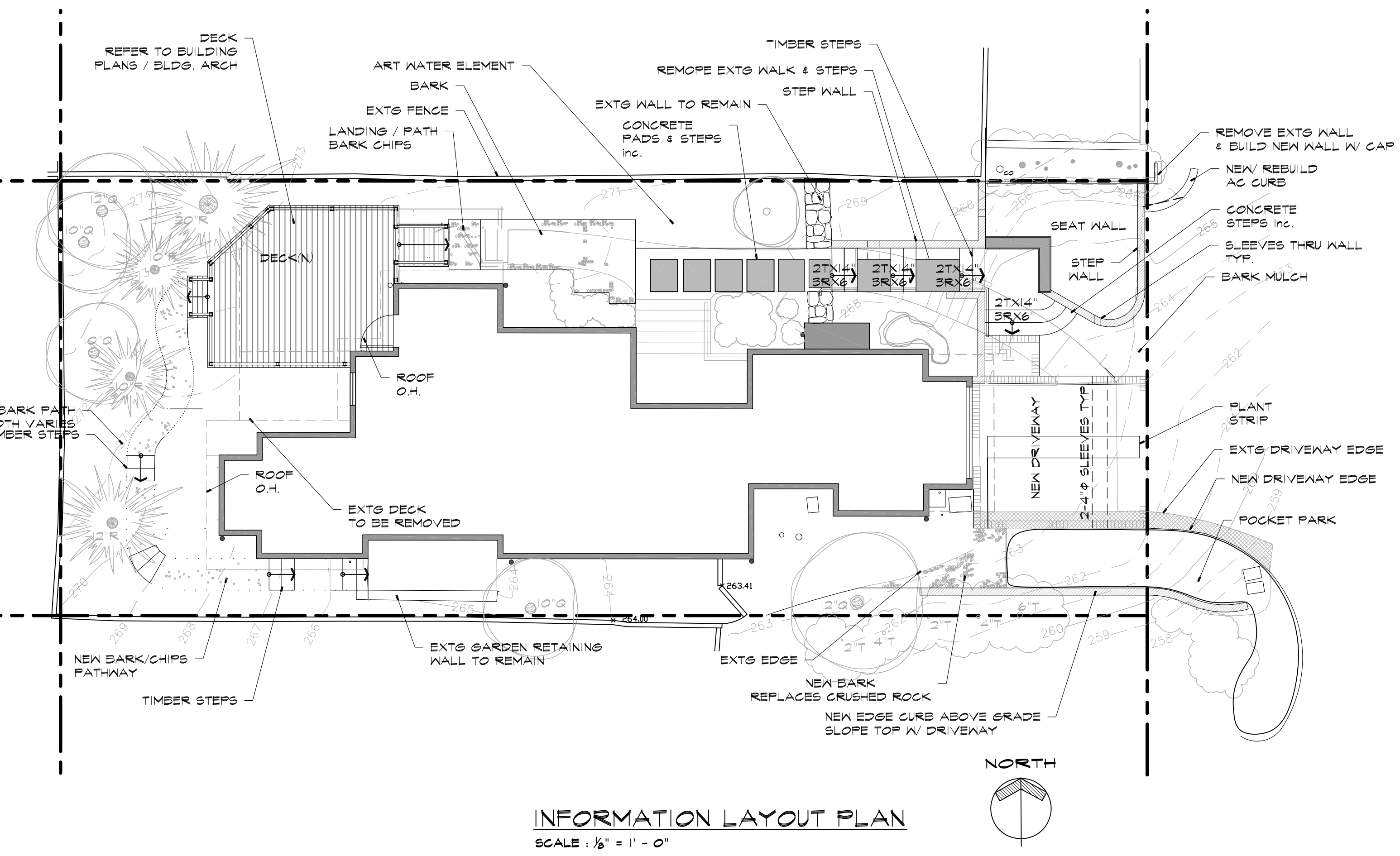
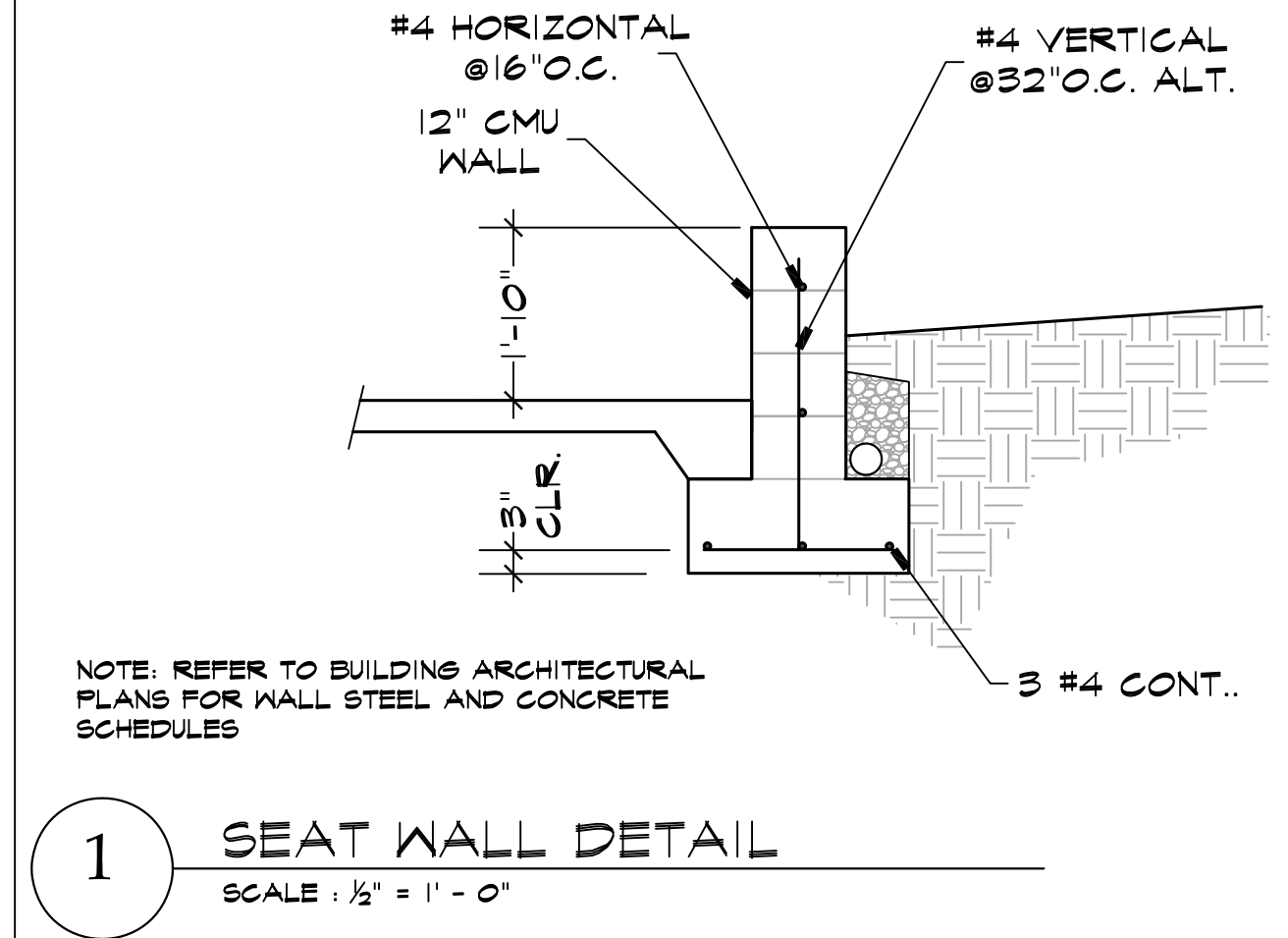
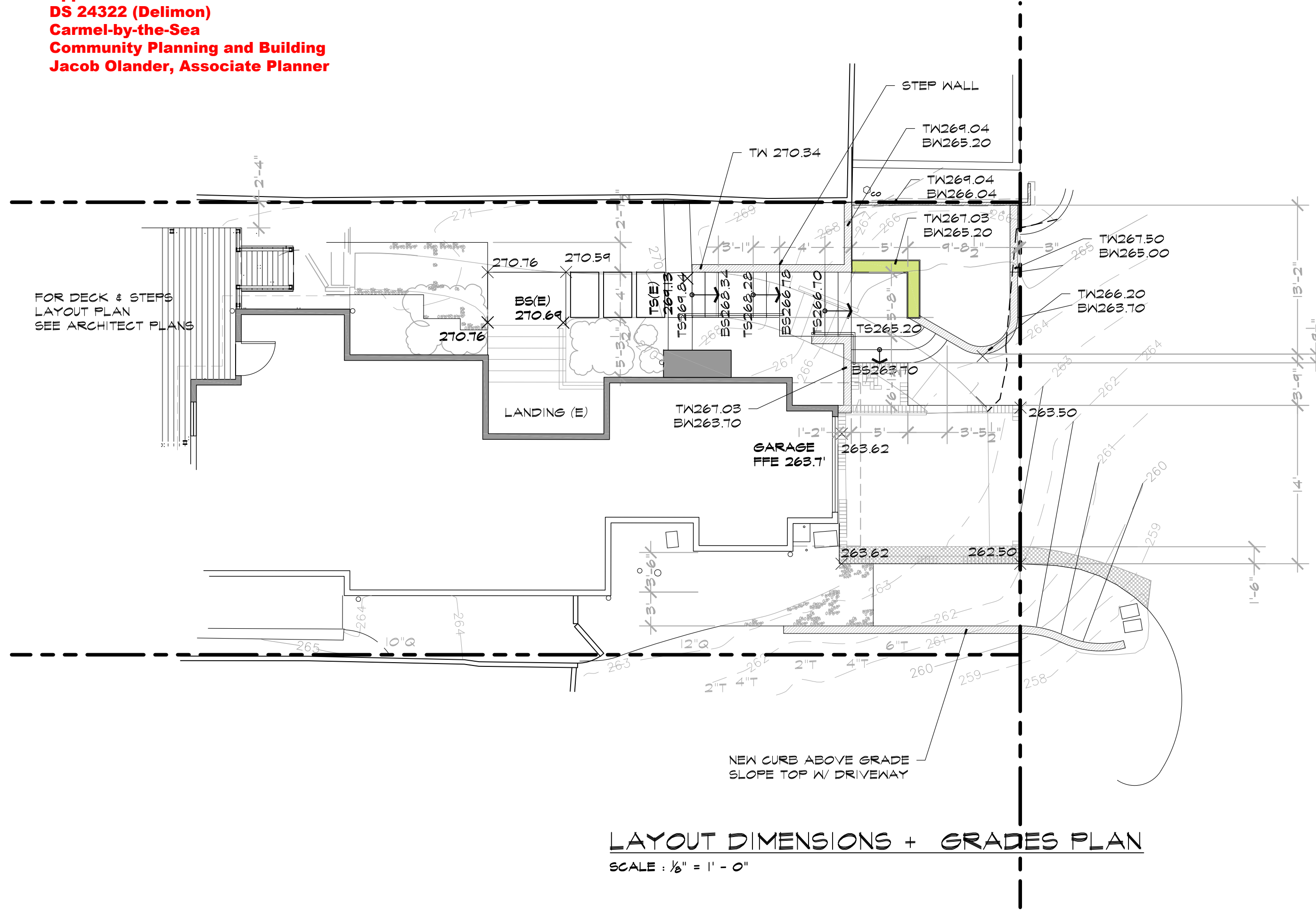
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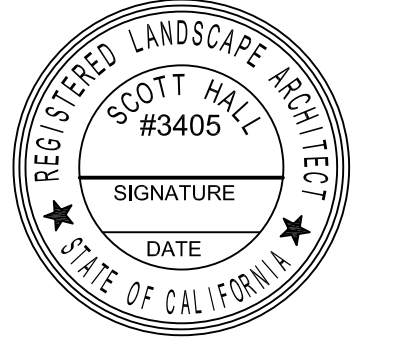
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 Community Planning and Building
 Jacob Olander, Associate Planner



Revisions
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Hall Landscape Design Inc.
 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Grove, Ca 93950
 (831) 655-3808
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Kurt & Laurie Delimon
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 Carmel-by-the-Sea, CA apn 010-125-018

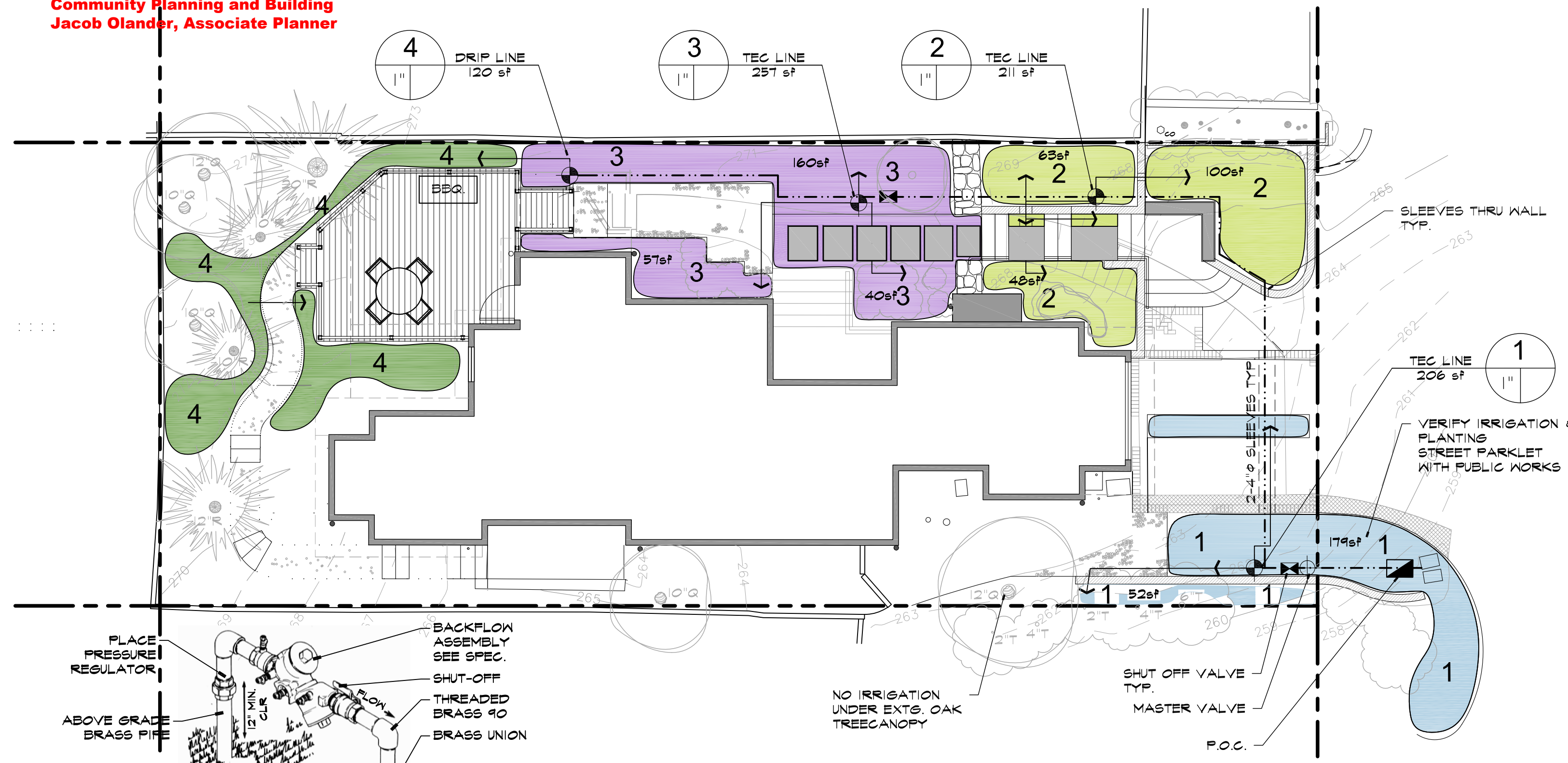
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 Layout & Section

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FRONT ELEVATION LAYOUT & SECTION

Approved 1/30/2025
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IRRIGATION PLAN
 SCALE: 1/8" = 1' - 0"

BACKFLOW ASSEMBLY
 NTS

IRRIGATION MATERIALS

- IRRIGATION CONTROLLER:**
 - HUNTER HPC 6 Smart Clock
- RAIN SENSOR / WIRELESS WEATHER STATION:**
 - HUNTER Wireless 'RAIN CLIK' verify product & operation
 - POINT OF CONNECTION - Verification: Meter located front Yard Gate
 - BEFORE BACKFLOW VERIFY GATE VALVE: Spheres SCH 80 BALL Valve
 - VERIFY / ADD Flow Sensor to Master Valve PRODUCT HC 1"
 - FLOW SENSOR: Hunter HC 1" FLOW METER / INSTALL W/ MASTER VALVE
 - A Freeze Blanket shall be installed over the RP unit
 - A certified Test shall be made at time of installation & each year following by a Plumber or certified American Water Works Technician
- MAIN LINE:**
 - 1" Schedule 40 PVC
- LATERAL LINE:**
 - 3/4" Schedule 40 PVC/ Pipe to the Plant Irrigating Zone
- MASTER VALVE:**
 - WEATHERMATIC 21000 / 1" REMOTE VALVE
- IRRIGATION ZONE VALVES:**
 - WEATHERMATIC 21000 / 1" REMOTE VALVES ---
 - A Netatim Arkal disc filter shall be installed after each valve
 - Regulator after Filter shall be 30 PSI Senniger Regulator PNR30MP
 - Place each Valve into 10" Carson or equal Valve box
- DRIP LINE & EMITTERS:**
 - PVC Schedule 40 Pipe 3/4" run to actual planted areas
 - DRIP LINE Distribution tubing shall be 3/8" Polyethylene Tubing mfg. Argifilm or Netatim
 - EMITTERS shall be Netatim self piercing BIB
 - Rainbird 44 RC Quick Coupler Valve Supply Two Hose Keys

Water Efficient Landscape Worksheet 10/14/2024

Delimon

ference Evapotranspiration (ET) **34.09** (Cimis station #210 Carmel)

Zone	Plant factor (PF)	Irrigation method	Irrigation Efficiency	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAFx Area	ETWU
1	0.2	Drip	0.81	0.25	231	57.75	1220.6
2	0.3	Drip	0.81	0.38	211	80.18	1694.67
3	0.4	Drip	0.81	0.5	257	128.5	2715.96
4	0.2	Drip	0.81	0.25	120	30	634.08
Totals					819	296.43	6266

Average ETAF 0.37
 MAWA= 9521

SUMMATION

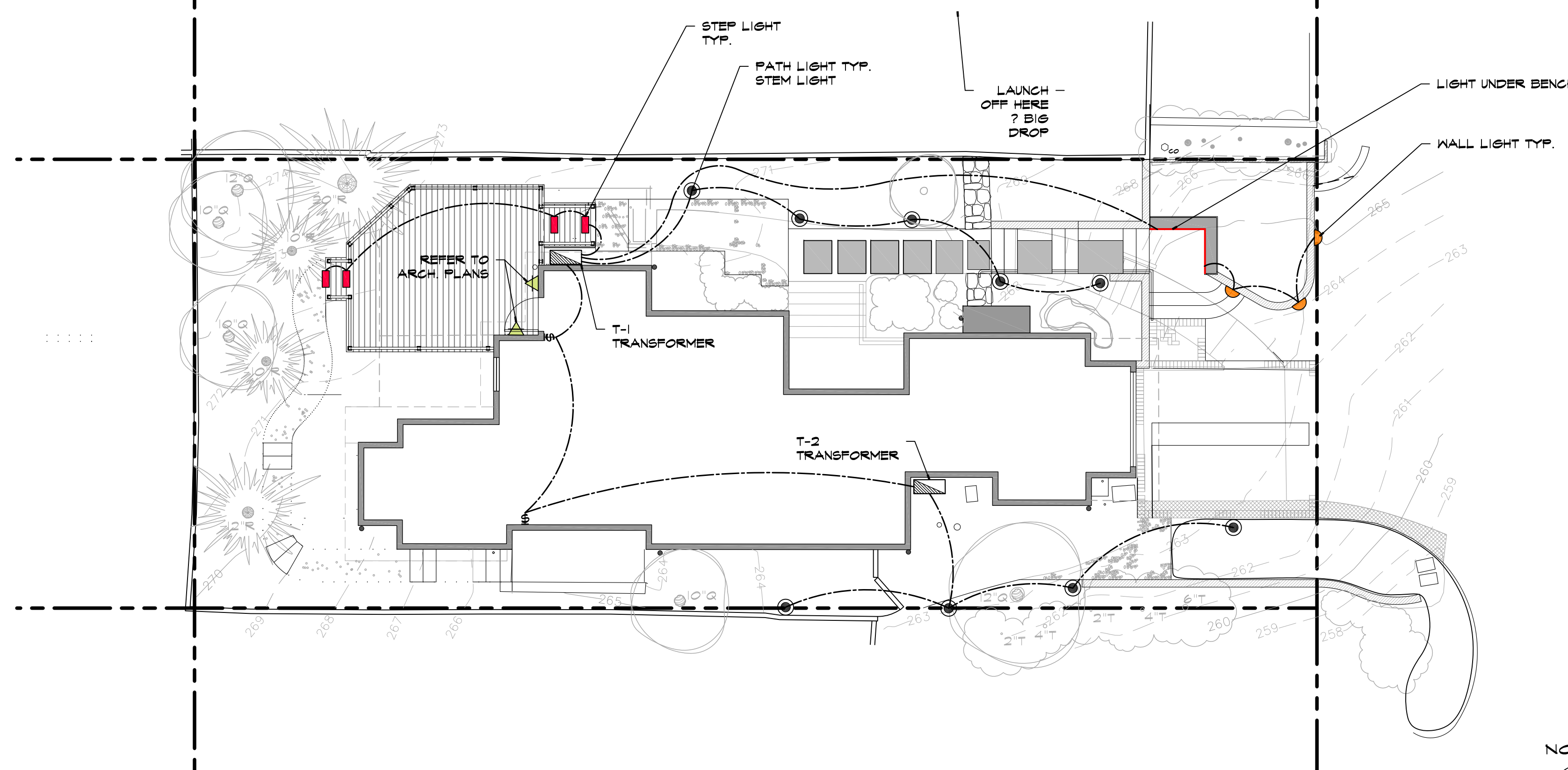
Total Landscape Area= 819 sq ft
 ETWU Tot 6266 gallons
 MAWA To 9521

LIGHTING LEGEND

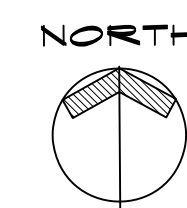
SYM	QTY	Description	Product
	3	WALL LIGHT	Auroralight Somera 4" 4 watts 161 Lumens 3000K BLP Finish
	4	STEM LIGHT/ PAH LIGHT	Auroralight Scepter PTA625204 5 watts / 186 Lumens/ 18"
	4	STEP LIGHT	Auroralight STA530203 Vertex 4 watts 50 Lumens 2700K
	2	SCONCE LIGHT	REFER TO BUILDING ARCHITECTURAL PLANS
	2 - 3"	SLEEVES	
	2	TRANSFORMER	Mfg. Unique 300 Watt 300 SSL- LED Series
		LIGHT MOUNTING	New Ground Lights to be mounted EPCO POSTS w/ brass caps
		WIRING LOOP	
		GFI & SWITCHING LOCATION	

NOTES:

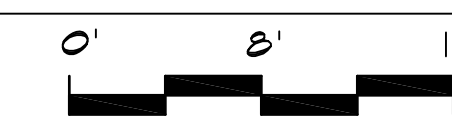
- ALL FIXTURES ARE LED
- ALL FINISHES SHALL BE BRONZE PATINA / AUROALIGHT BLP-XD
- ANY LINE VOLTAGE INCLUDING JUNCTION BOXES & CONNECTION WITH THE HOUSE SHALL BE INSTALLED BY LICENSED ELECTRICIAN
- ALL LANDSCAPE LIGHTING WIRE INSTALL PLACED INTO SCHEDULE 40 3/4" PIPE THROUGHOUT ALL LOCATIONS. RUN WIRE IN PIPE TO LOCATION, CAP & SEAL & LEAVE 5-FT MINIMUM COILED AT FIXTURE LOCATION FOR ADJUSTMENTS.



LIGHTING PLAN
 SCALE: 1/8" = 1' - 0"



IRRIGATION AND LIGHTING PLANS



SCALE: 1/8" = 1'-0"

Revisions

1	SITE COVERAGE ADJUSTED
2	
3	

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 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Grove, Ca 93950
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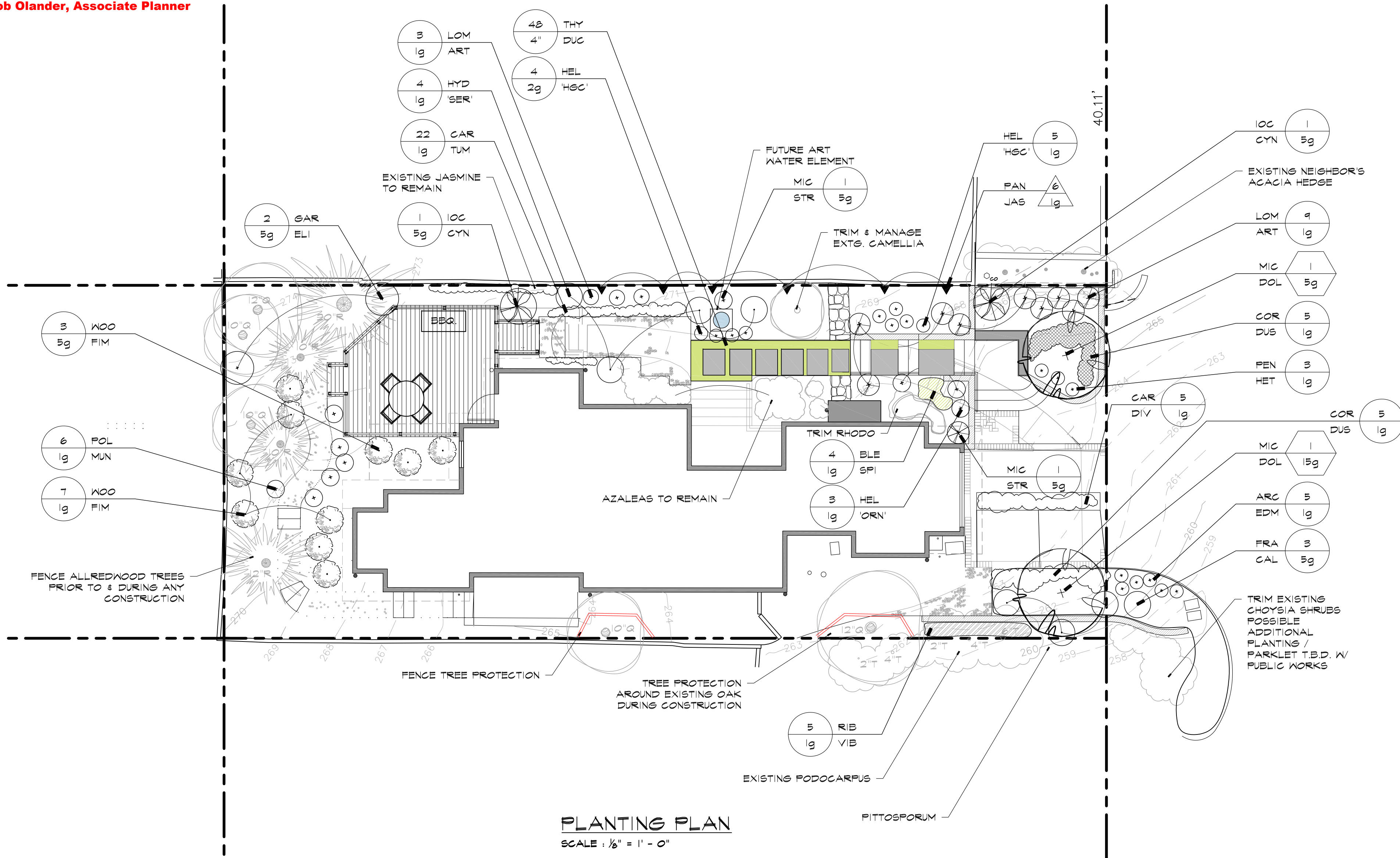
Irrigation & Lighting Plans

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PLANTING PLAN
 SCALE: 1/8" = 1' - 0"

SOIL MANAGEMENT REPORT

Four (4) Cubic yards or organic mulch / bark per 1,000 ft² shall be incorporated into all planted areas as a minimum plus a topsoil import comprising of the specifications for all PLANTING PLANS. The Optimum is to perform a soil test as soon as construction begins.

A Soil Test shall be ordered and paid for by the landscape contractor for better onsite soil amendments prior to commencing landscape work. The contractor shall take a minimum of three sample spots of equal native soil amounts, pulverize the soil and place into two (2) / 24 oz sterile containers and send to a registered Horticulture Soil lab test:

- 1.) Basic Fertility Test N P K Ca, Salinity & Alkalinity
 - 2.) Soil Texture: Organic Matter appraisal with recommendations
- The Soil Amendments shall be reviewed with the Landscape Architect prior to adding to the site soil profile.

TOPSOIL SOIL MIX SPECIFICATIONS:

- Note:
- Full Planter mix around Building
 - Modified mix & native soil in outlying areas -- to be fully determined with soil test analysis for Working Drawings

Chemical Properties:

- Soil reaction (ph) shall be slightly acid to alkaline in reaction as a saturated paste.
- The concentrations of soluble salt as measured on the extract from a saturated paste shall be less than 4.0 dS/m.
- Cation exchange capacity shall be a minimum of 30.0 milliequivalents per 100 grams
- Nitrogen shall be sufficient to provide for decomposition of the organic matter of the mix

Physical Properties:

- Moisture holding capacity shall be a minimum of 40% after drainage / volume basis
- Air filled porosity shall be a minimum of 15% on a volume basis.
- Water infiltration rate shall be a minimum of 2 inches per hour at saturation

SITE SOIL IMPORT / NOT COMPOST

- 40% loamy sandy soil (70% Sand, 10-15% clay, 0-30% silt)
 - 30% neutralized redwood shavings and shredded bark
 - 30% organic humus such as aged chicken manure
- The topsoil salinity level is not to exceed 3.5 - 4mm mole (elec. conductivity).

A soil Sample with soil report shall be provided to the Landscape Architect prior to soil delivery.

TREE PROTECTION & FOREST ENHANCEMENT

NO TREES TO BE REMOVED

Existing planted Redwood Trees (*Sequoia sempervirens*) and one Oaks (*Quercus agrifolia*) on the west side and out from any construction shall be fenced for duration of the Deck remodel

The overall practical goal in contributing to the forest stewardship is conservation of water and maintain storm run-off following the City tree protection goals in City Tree Protection Plan 17.48

CONSTRUCTION SAFE GUARDS:

1. Concerns during construction the City Forester shall be called to assist in the determination of distance.
2. Per the Municipal Code Chapter 17.48.110 no materials may be stored within the drip line of the protected tree and extending to the drip lines of trees on adjacent parcels.

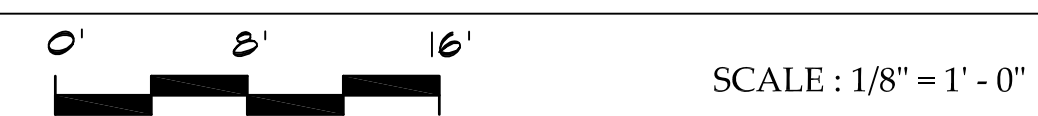
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WUCOLS
ARC EDM	Arctostaphylos 'Edmundsii Carmel Sur'	Manzanita ground cover	4	1 gallon	L
BLE SPI	Blechnum spicant	Deer Fern	4	1 gallon	M
CAR DIV	Carex divulsa (C. Tuniculosa) alternative: Carex Panza	Foothill / Meadow Sedge	22	1 gallon	M
COR DUS	Correa 'Dusky Bells' (Carmine Bells)	Australian fuschsia	6	1 gallon	L
FRA CAL	Frangula Californica 'Little Sur'	Coffeeberry	3	5 gallon	L
GAR ELI	Garrya Elliptica 'Evie'	Coast Silk Tassel	2	5 gallon	L
HEL 'HG	Helleborus 'HGC Series' 'Ice 'N' Roses	White Lanterns	12	2 gallon	L
HYD 'SER'	Hydrangea 'Seaside Serenade' Blue	Hydrangea	4	5 gallon	M
IOC CYA	Iochochroma cyaneum	Iochochroma 'Blue'	2	5 gallon	M
IRI PAC	Iris Pacific Coast 'Canyon Snow' alternative: Iris douglasiana Santa Lucia	Douglas Iris white alternative: SL Brett's	16	Qts.	VL
LOM LON	Lomandra longifolia 'Artic or Platinum Beauty'	Lomandra	9	1 gallon	M
MIC DOL	Michellia dolsopa alternative: Laurles nobilis 'Saratoga' tree form	Michellia	2	5 gallon	M
MIC STR	Microlepia strigosa	Lace Fern	2	5 gallon	M
PAN JAS	Pandora jasminoides	'Wonga Wona NZ vine	6	1 gallon	L
PEN HET	Penstemon heterophyllus 'Catherine duMuir'	Beards tongue	3	1 gallon	L
POL MUN	Polystichum munitum	Western Sword Fern	4	1 gallon	M
RIB VIB	Ribes viburnifolium	Catalina Perfume	5	1 gallon	VL
THY DRU	Thymus druci 'Elfin'	Elfin / flat Thyme	48	4"	VL
WOO FIM	Woodwardia fimbriata	Western Chain Fern	7	1 gallon	M



PLANTING FLAVOR IMAGES

PLANTING PLAN



SCALE: 1/8" = 1' - 0"

Revisions
 △ SITE COVERAGE ADJUSTED
 △
 △

Hall Landscape Design Inc.
 Landscape Architects #3405
 582 Lighthouse Avenue
 Pacific Grove, Ca 93950
 (831) 655-3808
 e-mail: scott@halllandscape.com



Kurt & Laurie Delimon
 5 San Carlos NW Third Ave
 Carmel-by-the-Sea, CA apn 010-125-018

Planting Plan

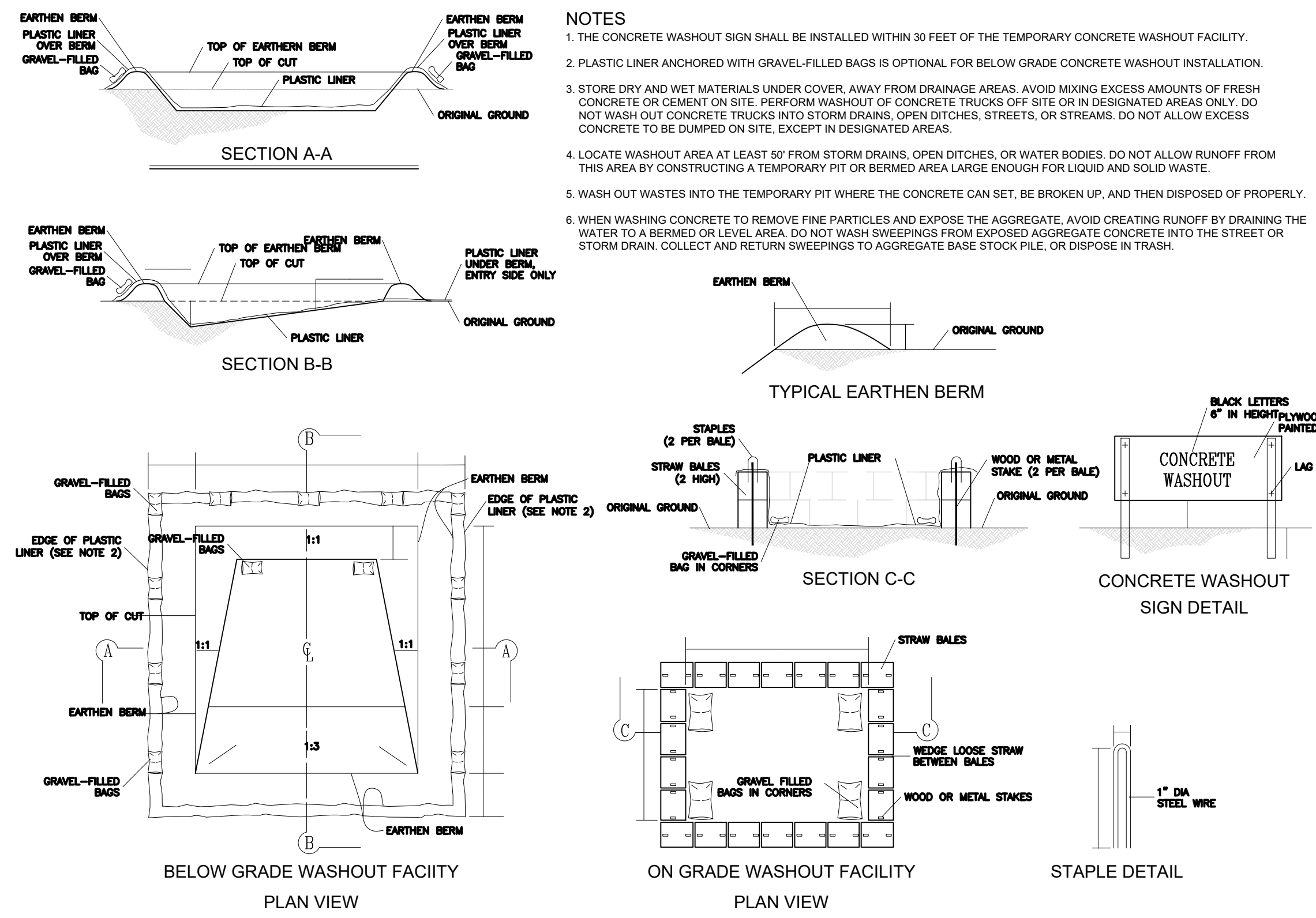
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 Date Printed: 12/10/2024
 Revision 12/09/2024
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of: 6 Sheets

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Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



- NOTES**
1. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 2. PLASTIC LINER ANCHORED WITH GRAVEL-FILLED BAGS IS OPTIONAL FOR BELOW GRADE CONCRETE WASHOUT INSTALLATION.
 3. STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS. AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE. PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON SITE, EXCEPT IN DESIGNATED AREAS.
 4. LOCATE WASHOUT AREA AT LEAST 50' FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
 5. WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
 6. WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER TO A BERMED OR LEVEL AREA. DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN TRASH.

WASTE MANAGEMENT PLAN

REF: CALIFORNIA STORM WATER BMP HANDBOOK, CONSTRUCTION, SECT. 4

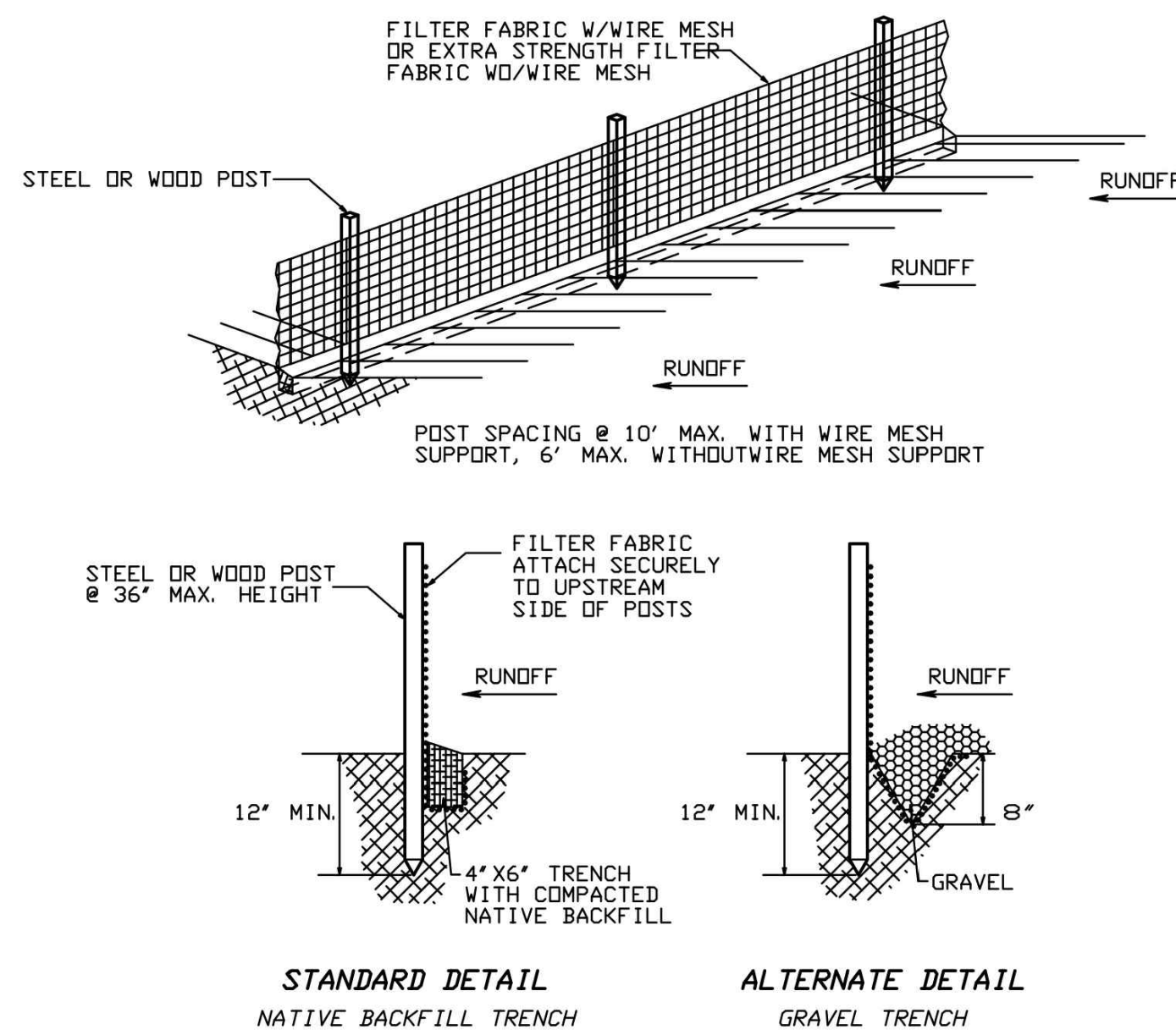
1. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE HANDLING AND DISPOSAL OF ALL WASTE GENERATED ON SITE.
2. STORE HAZARDOUS MATERIALS AND WASTE IN COVERED CONTAINERS AND PROTECT FROM VANDALISM.
3. ENSURE THAT A STOCKPILE OF SPILL CLEANUP MATERIALS ARE AVAILABLE AND READILY ACCESSIBLE.
4. DO NOT ALLOW WATER USED FOR CLEANING AND DECONTAMINATION TO ENTER STORM DRAINS OR WATERCOURSES.
5. COLLECT AND DISPOSE OF CONTAMINATED WATER IN ACCORDANCE WITH WM-10, LIQUID WASTE MANAGEMENT.
6. DRIP PANS OR ABSORBENT MATERIALS SHALL BE PLACED UNDER PAVING EQUIPMENT WHEN NOT IN USE.
7. FOR REFUELING ON SITE, USE DESIGNATED AREAS LOCATED AWAY FROM WATER COURSES.
8. WHEN FUELING, USE SECONDARY CONTAINMENT TO CATCH SPILLS/LEAKS.
9. DUMPSTERS SHALL BE MAINTAINED ON SITE FOR THE COLLECTION AND DISPOSAL OF CONSTRUCTION WASTE.
10. HAZARDOUS WASTE SHALL BE SEGREGATED FROM NON-HAZARDOUS CONSTRUCTION WASTE.
11. KEEP HAZARDOUS WASTE CONTAINERS IN SECONDARY STORAGE.
12. ALL HAZARDOUS WASTE SHALL BE STORED, TRANSPORTED, AND DISPOSED AS REQUIRED IN TITLE 22 CCR, DIVISION 4.5 AND 49 CFR 261-263.
16. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY.
17. A CONCRETE WASHOUT FACILITY SHALL BE CONSTRUCTED ON SITE. SEE DETAIL 'C' LOCATED ON SHEET C-6.
18. DISPOSE OF HARDENED CONCRETE WASTE ON A REGULAR BASIS IN ACCORDANCE WITH WM-5, SOLID WASTE MANAGEMENT.
19. SANITARY FACILITIES SHALL BE PROVIDED AND MAINTAINED ON SITE.

BEST MANAGEMENT PRACTICES NOTES

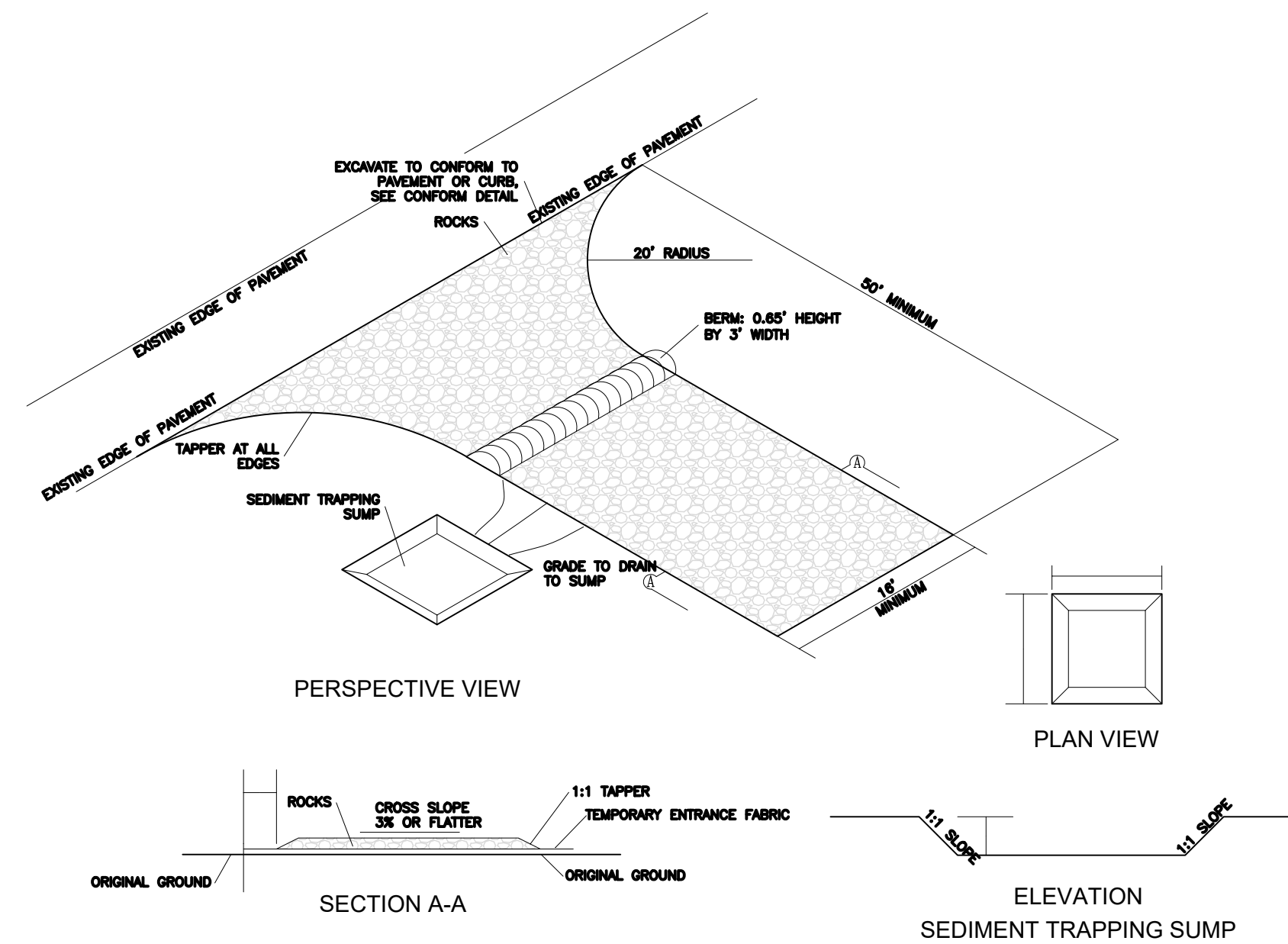
1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. THE GRADING AND DRAINAGE PLANS SHALL BE USED FOR FINAL ELEVATIONS AND PERMANENT IMPROVEMENTS AS SHOWN ON SHEET C1.
2. THE EROSION CONTROL AND STORM WATER POLLUTION CONTROL MEASURES SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR THROUGHOUT THE WINTER MONTHS, WHENEVER RAIN IS FORECAST, AT THE END OF THE LAST DAY OF A WORK WEEK OR BEFORE ANY EXTENDED SUSPENSION OF WORK. THE GENERAL CONTRACTOR SHALL ENSURE THAT THE MEASURES SHOWN ON THESE PLANS SHALL BE IN PLACE AND SATISFACTORILY INSTALLED TO PROVIDE THE INTENDED PROTECTION. AFTER EACH RAIN, THE GENERAL CONTRACTOR SHALL INSPECT THE EROSION CONTROL AND STORM WATER POLLUTION CONTROL MEASURES TO DETERMINE THAT THEY OPERATED SATISFACTORILY. REPAIRS SHALL BE MADE AS REQUIRED. IF IT IS DETERMINED THAT A PARTICULAR MEASURE IS NOT PROVIDING THE INTENDED PROTECTION, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND DESIGN ENGINEER TO DETERMINE ALTERNATIVE MEASURES. ALTERNATIVE DESIGNS WILL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO IMPLEMENTATION.
3. THE GENERAL CONTRACTOR SHALL KEEP ADEQUATE SUPPLIES ON SITE TO PROVIDE EMERGENCY REPAIRS AS REQUIRED. THESE SUPPLIES MAY BE ADDITIONAL SILT FENCING, FILTER FABRIC, STRAW BALES, JUTE NETTING, BAGS AND TARPS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT.
5. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
6. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
7. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
8. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIANT.
9. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
10. WITH THE APPROVAL OF THE CIVIL ENGINEER, THE EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
11. MINIMIZE WIND EROSION BY APPLYING WATER OR OTHER DUST PALLIATIVES IN ACCORDANCE WITH BMP WE-1.
12. TEMPORARY STOCKPILES SHALL BE MANAGED IN ACCORDANCE WITH BMP WM-3, AND LOCATED IN THE AREA NOTED ON THE PLAN VIEW.
13. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED (OR RENTED) IN ACCORDANCE WITH BMP WM-8.
17. MATERIAL DELIVERY AND STORAGE SHALL BE IN ACCORDANCE WITH BMP WM-1.
18. STORAGE, CLEANING AND MAINTENANCE OF EQUIPMENTS AND VEHICLES SHALL BE IN ACCORDANCE WITH BMP'S NS-8, NS-9 & NS-10.
19. CONSTRUCTION EQUIPMENT EXIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH BMP TC-1 AND LOCATED AS SHOWN ON THE PLANS.
20. PUBLIC AND PRIVATE STREETS AND DRIVEWAYS SHALL BE INSPECTED DAILY FOR SEDIMENT TRACKING AND CLEANED IN ACCORDANCE WITH BMP SE-7.

Temporary Concrete Washout Station - N.T.S. (Ref. BMP-8 - Concrete Waste Management) 11

Waste Management Plan 07



Silt Fence - N.T.S. 10



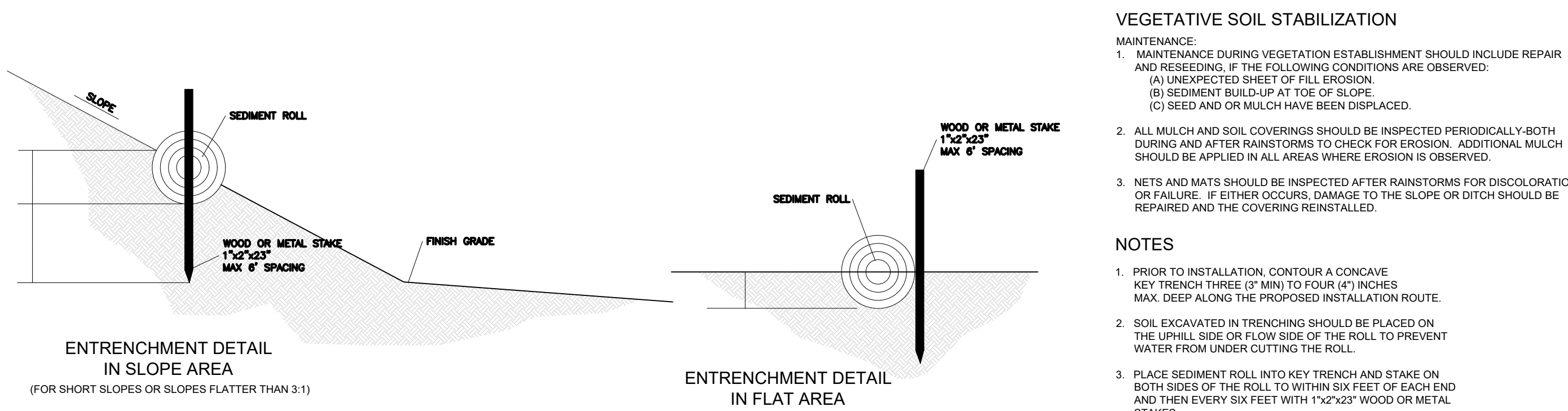
(Ref. BMP TC-1 - Stabilization Construction Entrance/Exit) 10

EROSION CONTROL NOTES:

1. ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION. BETWEEN OCTOBER 15 AND APRIL 15, EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED PER EROSION CONTROL ORDINANCE #2906.
2. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
3. DISTURBED AREAS SHOULD BE SEEDED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. A CONTINUOUS STRAW BALE BARRIER SHALL ALSO BE INSTALLED BELOW THE DISTURBED AREAS.
4. ALL CUT AND FILL SLOPES SHALL BE PLANTED WITH A SEED MIXTURE CONSISTENT WITH THE EXISTING NATURAL VEGETATION.
5. AFTER CULTIVATION, THE EROSION CONTROL MATERIAL SHALL BE MIXED AND APPLIED TO ALL CUT AND FILL SLOPES IN APPROXIMATELY THE FOLLOWING PROPORTIONS:

MATERIAL	PER ACRE (SLOPE MEASUREMENTS)
SEED	51 POUNDS
FERTILIZER	500 POUNDS
STRAW MULCH	1,000 POUNDS
WATER	AS REQUIRED
6. RAIN RUNOFF FROM THE SITE SHALL BE FILTERED BY A STRAW BALE SILTATION BARRIER TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
7. TEMPORARY CUTOFF BERMS OR DITCHES MAY BE CONSTRUCTED TO DIRECT RUNOFF TO SILTATION BASINS PRIOR TO OUT-LETTING INTO NATURAL CHANNELS OR ONTO ROADS.
8. ALL EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH DAY.
9. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLED EROSION. (16.08.300 C.2)
10. DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. (SECTION 16.08.340)

Erosion Control Notes 06



Sediment Roll Detail - N.T.S. (Ref. BMP SE-5 - Fiber Rolls) 09

TREE PROTECTION GUIDELINES

1. GENERAL CONTRACTOR SHALL CONFER WITH LOCAL CITY OFFICIALS TO WITH LOCAL TREE PROTECTION GUIDELINES AND PROTOCOLS.
2. TREE PROTECTION SHALL CONSIST OF ORANGE MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS AND/OR ANY CONSTRUCTION ACTIVITY THAT WOULD INTERFERE WITH THE PROTECTION OF TREES ON-SITE.
3. INSTALL FENCING ALONG THE DRIP LINE OF PROTECTED TREES WHEN PRACTICAL.
4. INSTRUCT EMPLOYEES, SUB-CONTRACTORS AND VISITORS TO THE SITE TO HONOR PROTECTIVE DEVICES.
5. INJURIES TO PROTECTED TREES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.

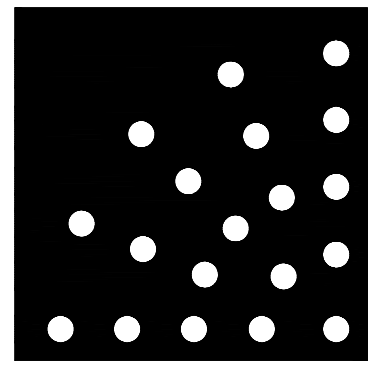
Tree Protection Guidelines 05

Best Management Practices Notes 02

SWPP - BEST MANAGEMENT PRACTICES

1. EXISTING VEGETATION - PROTECT EXISTING VEGETATION AND AVOID REMOVAL AS REQUIRED AND WHENEVER POSSIBLE, INSTALL APPROPRIATE, PROTECTIVE FENCING/PERIMETER CONTROLS PRIOR TO WORK.
2. SWEEPING - ALL IMPERVIOUS SURFACES SHALL BE SWEEPED (NOT WASHED OR HOSED DOWN) AND MAINTAINED FREE OF DEBRIS AND ACCUMULATION OF DIRT.
3. WASTE MANAGEMENT - ALL CONSTRUCTION WASTE SHALL BE CONTAINED ON SITE AND COVERED, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED, AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO STREET.
4. CATCH BASIN / INLET PROTECTION - CATCH BASINS AND / OR DROP INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD DIRT, OR ANY DEBRIS, INCLUDING PRIOR GUTTER FILTRATION AS APPROPRIATE AND IN A MANNER NOT IMPEDING TRAFFIC SAFETY.
5. PERIMETER CONTROLS / EROSION AND SEDIMENT CONTROL - PROPERLY INSTALLED SLIT FENCE OR EQUIVALENT CONTROL SHALL BE SHOWN ALONG THE SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF SITE. NO SEDIMENT MAY LEAVE OR RUNOFF THE SITE.
6. STOCKPILE MANAGEMENT - ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF THE DAY. STOCKPILES SHALL BE COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. NO MATERIALS SHALL LEAVE THE SITE OR MOVE INTO STREET.
7. VEHICLES AND EQUIPMENT - RESPONSIBLE PARTIES MUST ENSURE ALL CONSTRUCTION VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, AND WILL NOT CAUSE DIRT, MUD, OIL, GREASE OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO STREET.

SWPP - Best Management Practices 01



THE SIENNA COMPANY, INC.

Project Development Consulting
 Architecture
 Planning
 Construction Management

406 Calle Principal
 Monterey, CA 93940

Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon
 Residence
 Remodel

Project Address:

5 San Carlos NW of 3rd Ave.
 Carmel-by-the-Sea, CA 93923
 APN 010-125-018-000

Project No: 2015.002
 Issue Date: 10/15/2024

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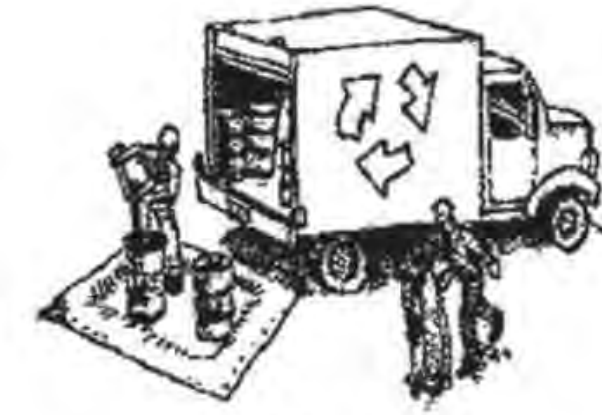
Sheet Title:

Best Management Practices
 Notes & Details

L-7

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

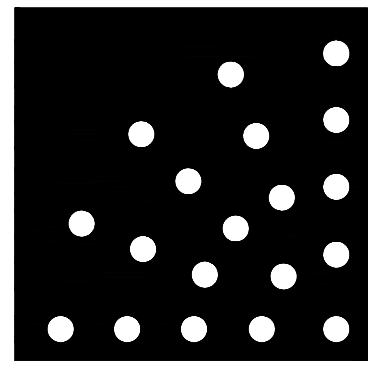
Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



THE SIENNA COMPANY, INC.

Project Development Consulting
 Architecture
 Planning
 Construction Management

406 Calle Principal
 Monterey, CA 93940

Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence Remodel

Project Address:

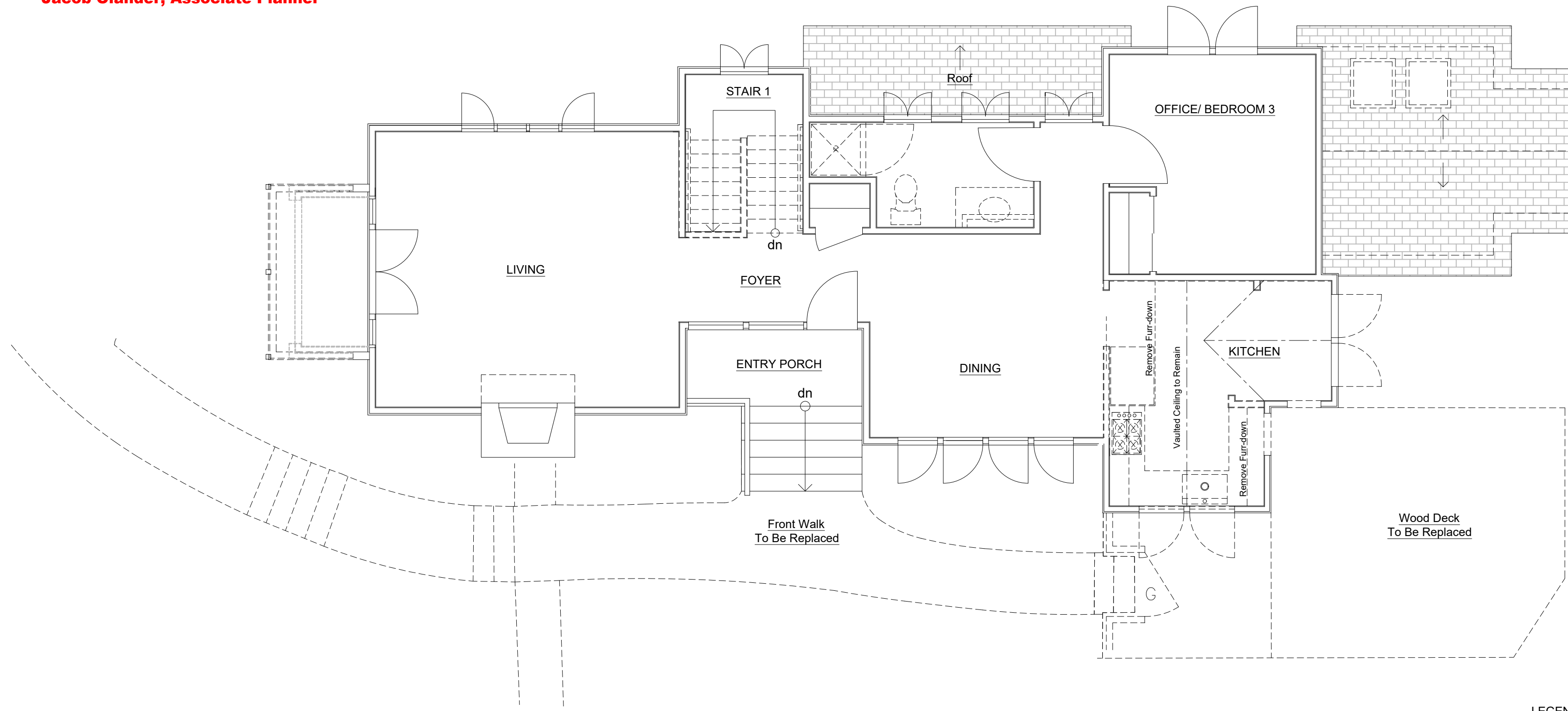
5 San Carlos NW of 3rd Ave.
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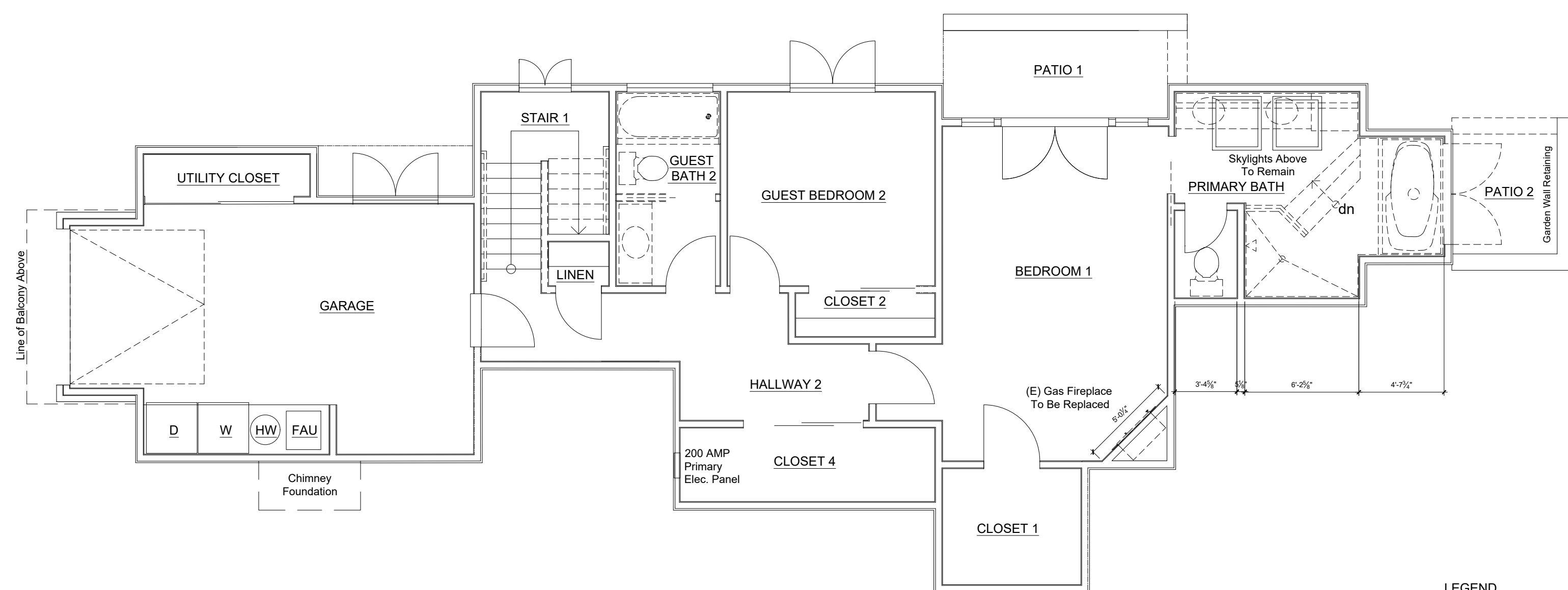
Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



LEGEND
 ——— CONSTRUCTION TO REMAIN
 - - - - - CONSTRUCTION TO BE REMOVED
 - - - - - LINE OF BUILDING BELOW



Existing & Demolition Second Floor Plan 3/16"=1'-0" 07



LEGEND
 ——— CONSTRUCTION TO REMAIN
 - - - - - CONSTRUCTION TO BE REMOVED

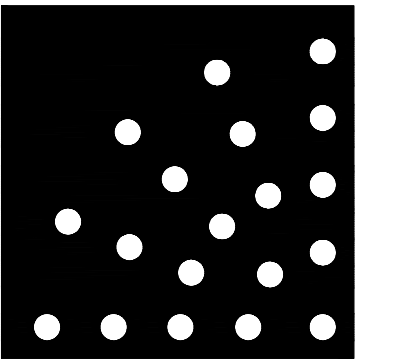


Existing & Demolition First Floor Plan 3/16"=1'-0" 05

DEMOLITION NOTES

- OTHER THAN NON-DESTRUCTIVE FIELD OBSERVATIONS, NO FORENSIC INVESTIGATION OF EXISTING CONSTRUCTION HAS TAKEN PLACE PRIOR TO THE DESIGN OR PREPARATION OF THE PROJECT CONSTRUCTION. FIELD CONDITIONS MAY REQUIRE ALTERATIONS TO THE INTENT OF THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL SUBMIT A SCHEDULE FOR HOURS OF CONSTRUCTION ACTIVITIES TO OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND PROVIDE PERIODIC UPDATES TO CONSTRUCTION SCHEDULES.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE REGARDING THE REMOVAL OF ANY MATERIAL(S), CLARIFY WITH ARCHITECT PRIOR TO REMOVAL.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL INDICATED ITEMS.
- CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
- CONTRACTOR SHALL PROTECT ALL EXISTING FLOOR COVERINGS TO REMAIN FROM DAMAGE.
- CONTRACTOR SHALL ALLOW IN BUDGET FOR ALL PATCHING AND / OR MODIFICATIONS TO EXISTING WALLS AS REQUIRED BY NEW AND/ OR REMOVAL OF SWITCHES, OUTLETS AND ANY OTHER WALL MOUNTED DEVICES.
- PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. CONTRACTOR SHALL ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
- CONTRACTOR TO CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- CONTRACTOR TO PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE REGULATORY ADVISORY AND/OR COMMON SENSE TO PROTECT OCCUPANTS OF BUILDING, WORKERS AND VISITORS.
- CONTRACTOR TO ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES AS REQUIRED FOR DEMOLITION. DISCONNECT AND STUB OFF UTILITIES NOT REQUIRED IN NEW CONSTRUCTION. NOTIFY THE UTILITY COMPANY AND OWNERS IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING.
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- EXCEPT WHERE NOTED OTHERWISE, MAINTAINING POSSESSION OF MATERIALS BEING DEMOLISHED AND VERIFY WITH OWNER REGARDING THE DISPOSITION OF DEMOLISHED MATERIALS NOTED FOR REMOVAL. DISPOSE OF ALL DEMOLISHED MATERIALS IN A LEGAL MANNER.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO OWNER.
- CONTRACTOR SHALL CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH, DEBRIS DURING THE COURSE OF THE WORK.
- CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
- CONTRACTOR TO MAINTAIN CONSTRUCTION ACTIVITY AREAS AND THOSE AREAS EFFECTED BY CONSTRUCTION ACTIVITIES IN A "BROOM CLEAN" CONDITION DURING CONSTRUCTION PERIOD. ALL DEBRIS AND MISCELLANEOUS MATERIALS SHALL BE REMOVED FROM SITE BY CONTRACTOR.
- PERFORM DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO ADDITIONAL COST TO OWNER.
- BURNING OF DEMOLISHED MATERIALS IS NOT PERMITTED.
- LOCATE ALL (E) SITE UTILITIES, INCLUDING ELECTRIC, GAS, SANITARY SEWER, WATER, CATV, STORM DRAIN, IRRIGATION LINES AND OTHER UTILITIES. REMOVE (E) UTILITY LINES WITHIN LIMIT OF NEW (N) CONSTRUCTION. OR CAP BOTH ENDS AND ABANDON WHERE OUTSIDE LIMIT OF NEW CONSTRUCTION, AS APPROPRIATE.
- ALL EXISTING SERVICE WHICH ARE ABANDONED AND NOT REQUIRED SHALL BE DISCONNECTED AND REMOVED BACK TO THE SERVICE PANEL. BEFORE ANY ITEMS OF EQUIPMENT, PIPING, CONDUITS, ETC., ARE REMOVED, EACH SERVICE SHALL BE TRACED AND TAGGED FOR OBTAINING APPROVAL FROM OWNER OR ARCHITECT.
- EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ITEMS NOT UTILIZED IN NEW WORK TO BE CAPPED OFF PER CODE. REVISE EXISTING CIRCUITS AS REQUIRED BY CODE. ABANDONED PENETRATIONS THROUGH ROOF OR TO ROOF TO RECEIVE NEW AIR AND WATER TIGHT GALVANIZED SHEET METAL ROOF CAPS OR EQUIVALENT PERFORMING CAPS.
- BEFORE INTERRUPTING ANY EXISTING UTILITY SERVICE(S), PROPER ARRANGEMENT SHALL BE MADE WITH THE OCCUPANTS. ALL DISRUPTIONS SHALL BE WITH PRIOR ARRANGEMENT AND SCHEDULED TO MINIMIZE DISRUPTION TO OCCUPANTS.
- DISPOSE OF ALL DEMOLISHED MATERIALS OFF-SITE IN A LEGAL MANNER.
- ALL DIMENSIONS ARE SHOWN FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED. ALIGN ALL NEW WALLS WITH EXISTING WALLS AS INDICATED ON FLOOR PLANS.
- ALL MATERIALS TO BE REMOVED SHOULD BE REMOVED JUDICIOUSLY TO ALLOW NEW CONSTRUCTION TO FIT NEATLY WITH EXISTING CONSTRUCTION THAT REMAINS.
- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO OWNERS.

General Demolition Notes 01

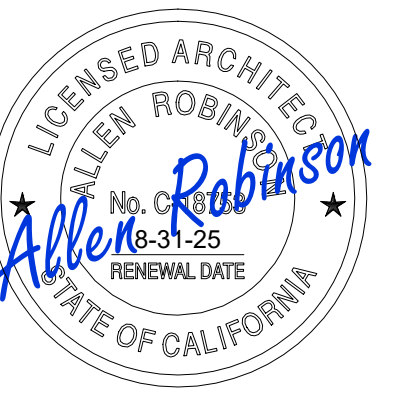


THE SIENNA COMPANY, INC.

Project Development Consulting
 Architecture
 Planning
 Construction Management

406 Calle Principal
 Monterey, CA 93940

Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence Remodel

Project Address:

5 San Carlos NW of 3rd Ave.
 Carmel-by-the-Sea, CA 93923
 APN 010-125-018-000

Project No: 2315.002

Issue Date: 10/15/2024

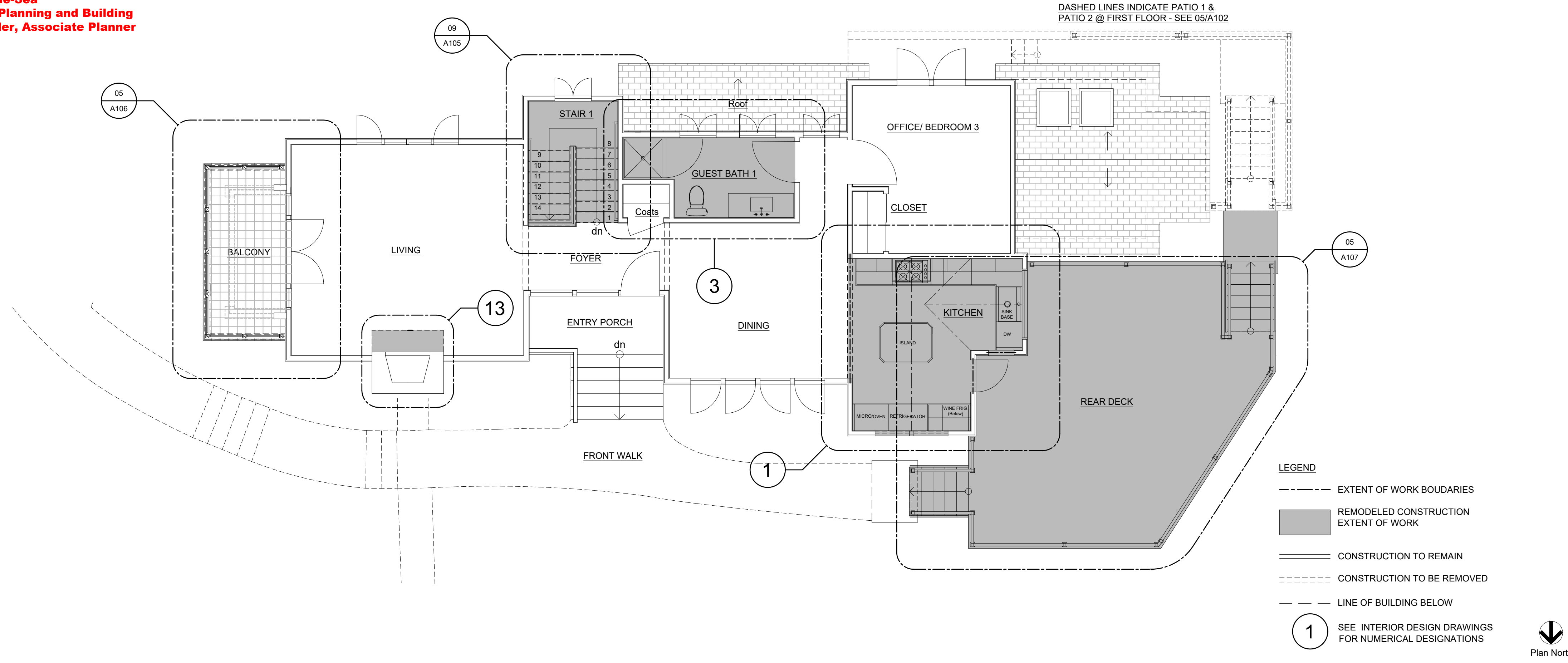
Revisions:

Sheet Title:

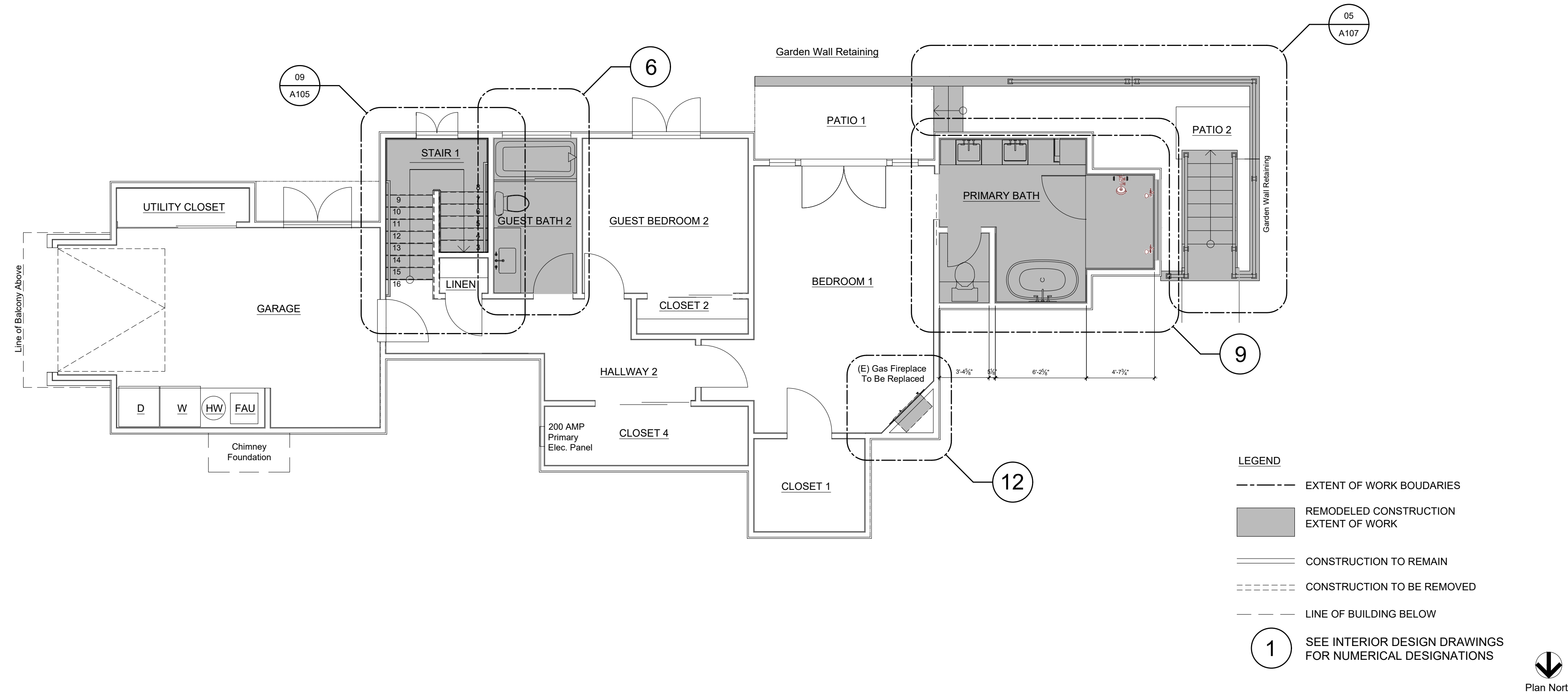
Existing & Demolition
 Floor Plans, General
 Demolition Notes

A101

Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



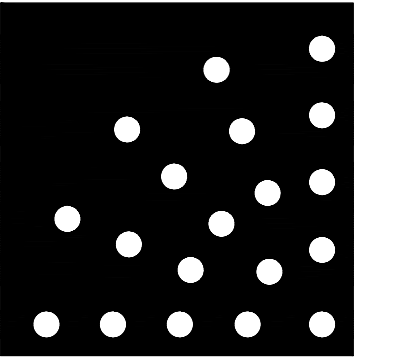
Remodeled Second Floor Plan 3/16"=1'-0" 07



Remodeled First Floor Plan 3/16"=1'-0" 05

1. CONTRACTOR SHALL MAINTAIN A CURRENT SET OF APPROVED CONSTRUCTION DOCUMENTS AND COPIES OF THE CONSTRUCTION CONTRACT AGREEMENT AND / OR PROPOSED AND / OR APPROVED ITEMS OF CHANGE COMMUNICATIONS WITH OWNERS AND ARCHITECT ON SITE .
2. CONTRACTOR TO INDICATE ON A COPY SET OF APPROVED DOCUMENTS ALL APPROVED CHANGES TO THE PROJECT AS A RECORD SET THAT WILL BE DELIVERED TO THE OWNER AT THE END OF THE JOB.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE PROJECT DOCUMENTS AND EXISTING CONDITIONS TO THE ARCHITECT FOR CLARIFICATION AND REVISION PRIOR TO BEGINNING WORK.
4. ANY DISCREPANCY BETWEEN THE PROJECT DOCUMENTS SUPPLIED BY ARCHITECT AND CONSULTANT DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. IF FIELD CONDITIONS DICTATE AN UNDISCOVERED FIELD CONDITION DURING CONSTRUCTION, THE CONTRACTOR IS TO INFORM THE ARCHITECT AND / OR THE OWNER AND CEASE WORK IN THAT SPECIFIC AREA OF WORK UNTIL THE CONDITION IS RESOLVED AND A CLEAR DIRECTION IS DETERMINED AND AGREED UPON BEFORE PROCEEDING.
6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
7. THESE DRAWING SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE, YET IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE TO MEET THE INTENT THE PROPER, ESTABLISHED CONSTRUCTION PRACTICES WITHIN THE REGION OF THE PROJECT SITE.
8. WHERE THERE IS NO SPECIFIC DETAIL SHOWN, THE CONSTRUCTION SHALL SIMILAR TO SIMILAR CONSTRUCTION EXISTING AT THE SITE IN THE CASE OF REMODELING OR ADDITIONS, AND FOR A SPECIFIED COMPARATIVE PROJECT AGREED AS AN EXAMPLE BEFORE THE COMMENCEMENT OF WORK.
9. WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION, ALL SUCH MATERIALS AND / OR METHODS ARE TO BE PERFORMED AT THE LOCALLY ACCEPTED STANDARD FOR THE INDUSTRY TO BE ARBITRATED BY THE ARCHITECT.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES AND GOVERNING AGENCIES. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN OR INFERRED ON THESE DOCUMENTS TO RENDER THE WORK COMPLETE.
11. CONTRACTOR SHALL PROTECT THE BUILDINGS FROM DAMAGE, INCLUDING, BUT NOT LIMITED TO, DUST AND WATER. CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL WORK AREAS. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT THE SOLE DISCRETION OF THE OWNER. THE CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND THE CORRECTIVE WORK.
12. CONTRACTOR SHALL PROVIDE BARRIERS, FENCING, BARRICADES, SIGNALS, ETC. AS REQUIRED TO PROTECT THE OWNER, OWNER'S PROPERTY AND THE GENERAL PUBLIC FROM ANY AND ALL HARM AND DAMAGE AS A RESULT OF THE EXECUTION OF THIS WORK.
13. DO NOT CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT WOULD CHANGE THEIR LOAD-CARRYING CAPACITY OR LOAD-DEFLECTION RATIO. CUT EXISTING CONSTRUCTION USING METHODS LEAST LIKELY TO DAMAGE ELEMENTS RETAINED OR ADJOINING CONSTRUCTION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO RETAINED ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE VISUAL EVIDENCE OF PATCHING AND REFINISHING. REMOVE AND REPLACE CONSTRUCTION CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.
14. THE CONTRACTOR SHALL COORDINATE THE WORK WITH ALL EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.
15. MATERIALS, EQUIPMENT NOT INDICATED ON PROJECT DOCUMENTS BUT ESSENTIAL TO THE SUCCESSFUL AND EFFICIENT COMPLETION OF THE INSTALLATION AND / OR CONSTRUCTION SHALL BE FURNISHED AND INSTALLED WITH NO INCREASE IN COST TO THE OWNER.
16. CONTRACTOR TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS WHEN THOSE INSTRUCTIONS AND RECOMMENDATIONS EXCEED THE REQUIREMENTS OF THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL MAINTAIN AN ON-SITE COPY OF MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FABRICATED PRODUCTS, INCLUDING, BUT NOT LIMITED TO, FIREPLACE, APPLIANCES, FURNACE, FIRE SEALANTS, MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, ETC. THE COPY SHALL BE MADE AVAILABLE TO THE BUILDING INSPECTOR UPON REQUEST.
18. WHERE NOT SPECIFICALLY INDICATED ON DRAWINGS, FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT, PANEL BOARDS, FIXTURES, METERS, FLUES, VENTS, ETC. SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
19. EXAMINE ALL SUBSTRATES AND OTHER CONDITIONS UNDER FINISH MATERIALS FOR COMPLIANCE FOR PROPER APPLICATION OF FINISHED MATERIAL. DO NOT BEGIN APPLICATION UNTIL SATISFACTORY CONDITIONS HAVE BEEN MET.
20. ALL FIXTURES ARE TO BE INSTALLED IN ALL ASPECTS WITH TRIM, SEALS, SEALANT AS REQUIRED TO MAKE WORK READY FOR PROPER SERVICE AND USE.
21. VISUAL EFFECTS: PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK. REFER QUESTIONABLE JOINT ALIGNMENTS TO ARCHITECT FOR FINAL DECISION.
22. THE ORGANIZATION OF THESE DOCUMENTS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG SUBCONTRACTORS. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO DIVIDE AND COORDINATE THE WORK.
23. IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR SUPERVISION OF THE WORK AND OMISSIONS OF THE WORK SHOWN OR INFERRED IN THESE DOCUMENTS.
24. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION, PROPER EXECUTION OF THE WORK AND / OR POSSIBLE ERRORS OR OMISSIONS OF THE WORK SHOWN OR INFERRED IN THESE DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS.
25. THE CONTRACTOR SHALL PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS. UNLESS OTHERWISE AGREED UPON BY THE OWNER.
26. ANY REQUEST TO PERFORM WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT AND / OR THE OWNER.
27. ANY PROPOSED SHUTDOWN OF UTILITIES SHALL BE REQUESTED IN WRITING AS LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT AND / OR THE OWNER.
28. PROJECT DOCUMENTS AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, AND ORDINANCE REQUIREMENTS.
29. COPIES OF THE PROJECT DOCUMENTS ARE SUPPLIED TO THE OWNER AND THE CONTRACTOR FOR USE IN THE CONSTRUCTION OF THIS PROJECT ONLY. THE PROJECT DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS, ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORMAT NOR ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION BY THE ARCHITECT OF RECORD.

General Construction Notes 01

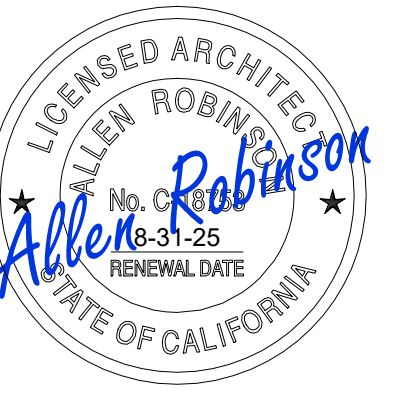


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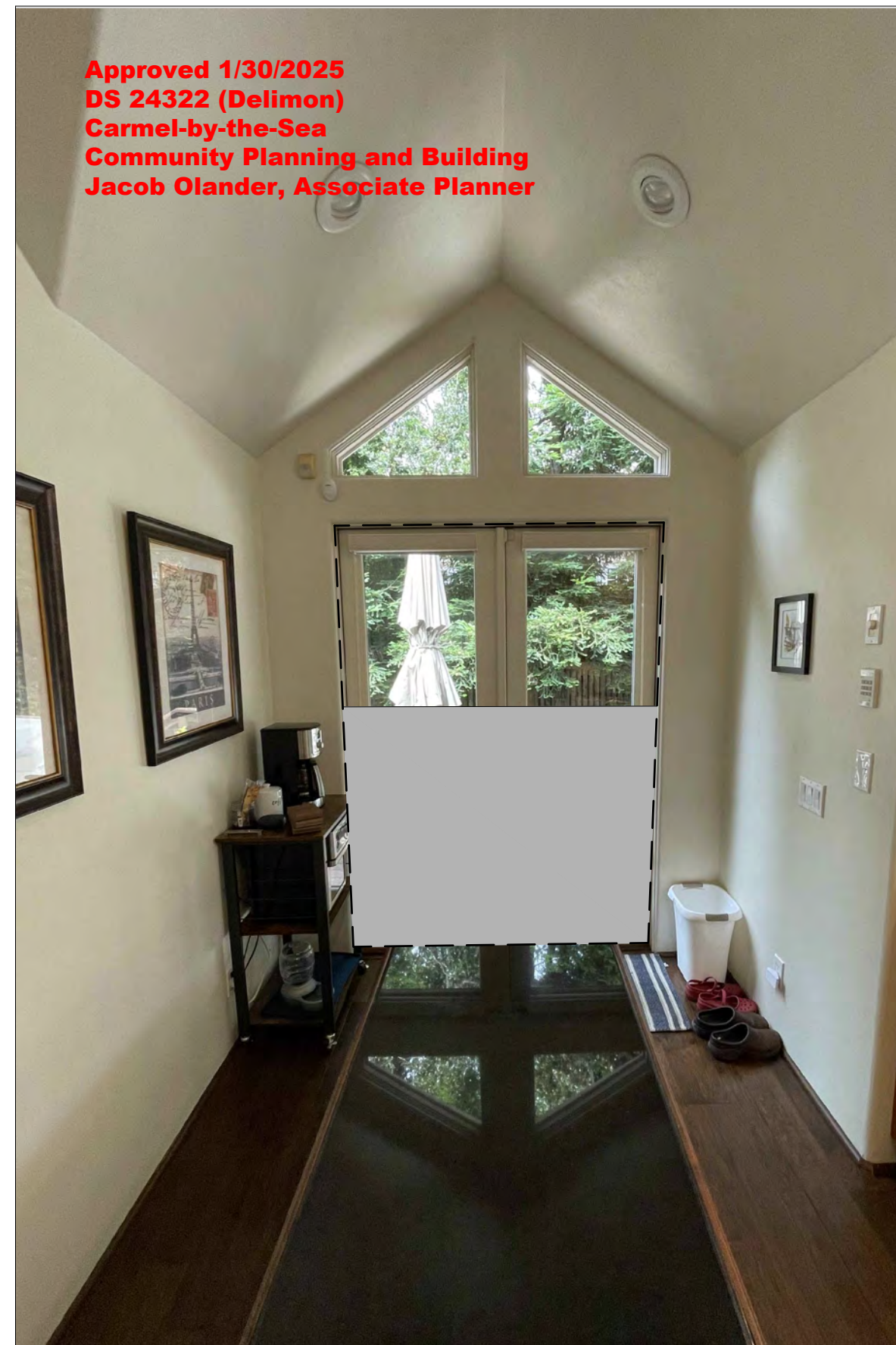
Revisions:

Sheet Title:

New Floor Plans &
 Extent of the Work

A102

Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



DEMOLITION NOTES

--- CONSTRUCTION TO BE REMOVED

1. REMOVE DOUBLE DOORS WINDOWS TO THE ROUGH FRAME OPENING, ALSO SEE A104 FOR ADDITIONAL COMMENTS..
2. EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY.
3. REMOVE RECESSED LIGHTS IN CEILING.
4. REMOVE EXISTING FLOORING AND BASE.

NEW CONSTRUCTION NOTES

1. ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR ASSOCIATED NOTES FOR THIS ELEVATION.
2. INSTALL NEW 60"x40" AWNING STYLE WINDOW - SEE INTERIOR DESIGN DRAWING NUMBER K2/2 FOR MORE INFORMATION.
3. ADD ELECTRICAL OUTLETS IN AREA PREVIOUSLY DOORWAY PER 09/PL103 @ "KITCHEN- UPPER LEVEL".
4. INSTALL NEW LIGHTING IN CEILING PER 09/PL102 @ "KITCHEN - UPPER LEVEL".
5. REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH EXISTING TEXTURE.
6. REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR - SELECTION BY OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

DEMOLITION NOTES

--- CONSTRUCTION TO BE REMOVED

1. REMOVE MOVEABLE ISLAND.
2. REMOVE FURRED-OUTS ABOVE CABINETS BACK TO BASE WALL..
3. REMOVE RECESSED LIGHTS IN CEILING.
4. REMOVE EXISTING FLOORING AND BASE.
5. REMOVE REFRIGERATOR AND ALL OTHER APPLIANCES.

NEW CONSTRUCTION NOTES

1. ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR ASSOCIATED NOTES FOR THIS ELEVATION.
3. INSTALL ELECTRICAL OUTLETS IN EXISTING WALL PER 09/PL103 @ "KITCHEN- UPPER LEVEL".
4. INSTALL NEW LIGHTING IN CEILING PER 09/PL102 @ "KITCHEN - UPPER LEVEL".
5. REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH EXISTING TEXTURE IN PREPARATION FOR INSTALLATION OF NEW CABINETRY.
6. REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR - SELECTION BY OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

DEMOLITION NOTES

--- CONSTRUCTION TO BE REMOVED

1. SKYLIGHT TO REMAIN.
2. REMOVE FURRED-OUTS ABOVE CABINETS BACK TO BASE WALL.
3. REMOVE EXISTING RECESSED CEILING LIGHTS.
4. REMOVE CABINETRY.
5. REMOVE TILE COUNTERTOP & BACKSPLASH.
6. REMOVE ALL APPLIANCES AND PLUMBING FIXTURES. ALSO SEE 01/A101 FOR ADDITIONAL GENERAL DEMOLITION NOTES.
7. REMOVE EXISTING FLOORING.

NEW CONSTRUCTION NOTES

1. ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR ASSOCIATED NOTES FOR THIS ELEVATION.
2. INSTALL ELECTRICAL OUTLETS IN EXISTING WALL PER 09/PL103 @ "KITCHEN- UPPER LEVEL".
3. INSTALL NEW LIGHTING IN CEILING PER 09/PL102 @ "KITCHEN - UPPER LEVEL".
4. INSTALL NEW IN-FILL WALL (NON-STRUCTURAL) AT FORMER CASEMENT WINDOWS. REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH EXISTING TEXTURE IN PREPARATION FOR INSTALLATION OF NEW CABINETRY.
5. REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR - SELECTION BY OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

DEMOLITION NOTES

--- CONSTRUCTION TO BE REMOVED

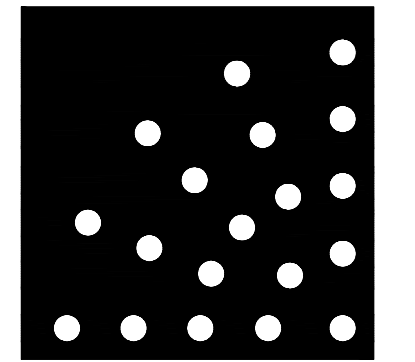
1. REMOVE FURRED-OUTS ABOVE CABINETS BACK TO BASE WALL.
2. REMOVE EXISTING RECESSED CEILING LIGHTS.
3. REMOVE CABINETRY.
4. REMOVE TILE COUNTERTOP & BACKSPLASH.
5. REMOVE ALL APPLIANCES AND PLUMBING FIXTURES. ALSO SEE 01/A101 FOR ADDITIONAL GENERAL DEMOLITION NOTES.
6. REMOVE EXISTING FLOORING.

NEW CONSTRUCTION NOTES

1. ALSO SEE A104 EXISTING, DEMOLITION & NEW EXTERIOR ELEVATIONS FOR ASSOCIATED NOTES FOR THIS ELEVATION.
2. INSTALL ELECTRICAL OUTLETS IN EXISTING WALL PER 09/PL103 @ "KITCHEN- UPPER LEVEL".
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4. INSTALL NEW IN-FILL WALL (NON-STRUCTURAL) AT FORMER CASEMENT WINDOWS. REPAIR AND FINISH DRYWALL DAMAGE FROM DEMOLITION AND MATCH EXISTING TEXTURE IN PREPARATION FOR INSTALLATION OF NEW CABINETRY.
5. REPLACE FLOOR WITH NEW 3/8" ENGINEERED WOOD FLOOR - SELECTION BY OWNER, AND INSTALL 4" DECORATIVE BASEBOARD.

GENERAL DEMOLITION NOTES

1. OTHER THAN NON-DESTRUCTIVE FIELD OBSERVATIONS, NO FORENSIC INVESTIGATION OF EXISTING CONSTRUCTION HAS TAKEN PLACE PRIOR TO THE DESIGN OR PREPARATION OF THE PROJECT CONSTRUCTION. FIELD CONDITIONS MAY REQUIRE ALTERATIONS TO THE INTENT OF THE CONSTRUCTION DOCUMENTS.
2. ALSO REFER TO 01/A101 GENERAL DEMOLITION NOTES FOR ADDITIONAL NOTES.



THE SIENNA COMPANY, INC.

Project Development Consulting
 Architecture
 Planning
 Construction Management

406 Calle Principal
 Monterey, CA 93940

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 APN 010-125-018-000

Project No: 2315.002

Issue Date: 10/15/2024

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Sheet Title:

Existing, Demolition &
 New Construction Notes for
 Kitchen Interior Remodel

A103

Kitchen - East Elevation Demolition Notes

17

Kitchen - South Elevation Demolition Notes

13

Kitchen - North Elevation Demolition Notes

09

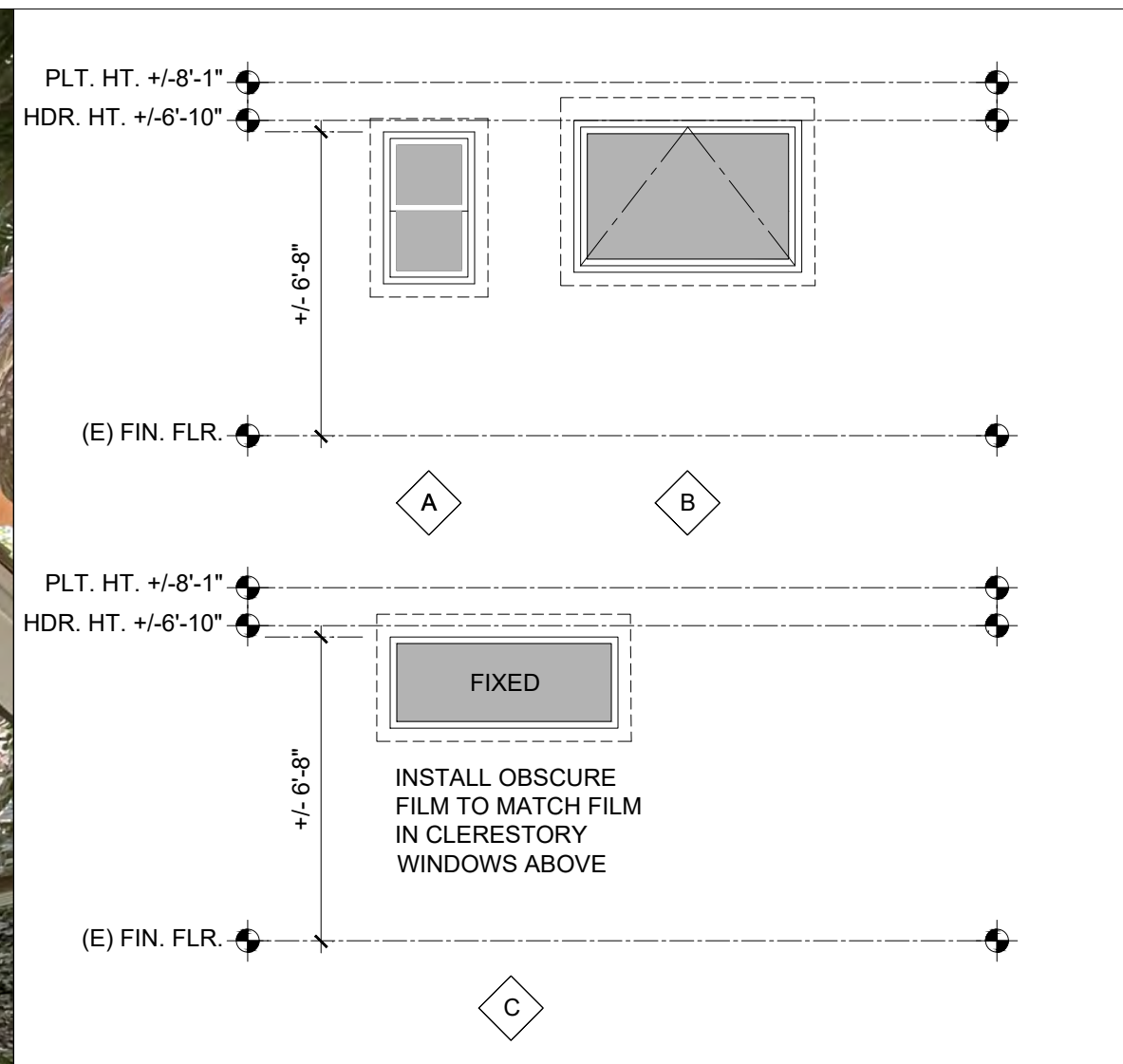
Kitchen - North Elevation Demolition Notes

05

General Demolition Notes

01

Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



TYPE	QTY	DESCRIPTION	NOMINAL OPENING W. HT.	WALL THK.	GLAZ'G.	MATERIAL	HARDWARE	REMARKS
A	1	SINGLE HUNG	2'-0" 3'-4"	4 1/2" NOM.	DBL. INSUL. TEMP.	ALUM. CLAD WOOD	MFR.	KITCHEN
B	1	AWNING	5'-0" 3'-4"	4 1/2" NOM.	DBL. INSUL. TEMP.	ALUM. CLAD WOOD	MFR.	KITCHEN VERIFY (E) R. O.
C	1	FIXED	5'-0" 2'-0"	4 1/2" NOM.	DBL. INSUL. TEMP.	ALUM. CLAD WOOD	MFR.	PRIMARY BATH

- NOTES:
- WINDOW MANUFACTURER/VENDOR SHALL SUPPLY "SHOP DRAWINGS" OR "PURCHASE ORDER" FOR REVIEW BY ARCHITECT AND/OR BUILDING CONTRACTOR PRIOR TO ORDER.
 - ALL WINDOWS TO BE "MARVIN" OR EQUIVALENT, WITH MFR. STANDARD HARDWARE, COLOR - WHITE, UNLESS OTHERWISE SELECTED BY OWNER.
 - ALL WINDOWS SHALL HAVE A MAXIMUM "U" FACTOR OF 4.7 AND A MINIMUM SOLAR HEAT GAIN COEFFICIENT OF .35 OR LOWER.
 - ALL WINDOWS TO BE DOUBLE INSULATED, CLEAR, "LOW-E II, ARGON FILLED.
 - VERIFY ROUGH FRAME OPENING DIMENSIONS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
 - WINDOW & DOOR HEADER HEIGHT: @ 6'-10" @ 8'-1" PLT. HT. TYP.
 - VERIFY WALL THICKNESS, PROVIDE JAMB EXTENSIONS AS REQUIRED.
 - PROVIDE WINDOWS WITH NAILING FINIS AS STANDARD WITH MFR., UNLESS OTHERWISE NOTED.
 - PROVIDE SCREENS WITH FINISH SURROUNDS TO MATCH WINDOW FRAMES.
 - EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AND AREA NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED.
 - NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS WITH A MINIMUM OPEN AREA BEING 4% OF THE FLOOR AREA BEING VENTILATED.
 - MINIMUM EGRESS WINDOW IS 5.7 SF W/ WIDTH MIN. 20" CLR. & HEIGHT 24" MIN. CLR. MAX. 30" BAR SET.

DEMOLITION NOTES

- CONSTRUCTION TO BE REMOVED
- REMOVE DOUBLE CASEMENT WINDOWS TO THE ROUGH FRAME OPENING.
 - EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY.
 - REMOVE PLANTER BOX AND REMOVE EXTRANEOUS TRIM.

NEW CONSTRUCTION NOTES

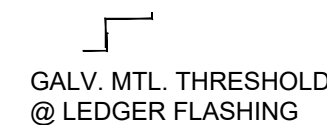
- PROVIDE ADDITIONAL WOOD STUDS TO MATCH EXISTING IN ROUGH OPENING.
- EVALUATE REMAINING CONSTRUCTION FOR STRUCTURAL INTEGRITY OR WATER DAMAGE.
- INSTALL PLYWOOD OVER NEW STUDS TO MATCH (E) PLYWOOD. PROVIDE SHEAR NAILING IF NECESSARY (6" O.C. @ EDGES, 12" O.C. FIELD).
- INSTALL SELF-ADHESIVE MOISTURE BARRIER OF PLYWOOD. OVERLAP EXISTING MOISTURE MEMBRANE BY 6" ON ALL SIDE, IF POSSIBLE.
- INSTALL LAPSTRAKE, HORIZONTAL WOOD SIDING TO MATCH EXISTING.
- PAINT TO MATCH EXISTING SIDING.
- IN-FILL INTERIOR VOID AS REQUIRED, MATCH (E) DRYWALL FINISH.

DEMOLITION NOTES

- CREATE ROUGH OPENING IN EXISTING WOOD STUD WALL FOR A 2'-6"x6'-8" EXTERIOR DOOR AND 2'-0"x3'-0" SINGLE- HUNG WINDOW - OPENINGS NOT IN SHEAR WALLS.
- CUT EXISTING SIDING TO ACCEPT NEW 3-1/2" WOOD TRIM TO MATCH EXISTING TRIM.

NEW CONSTRUCTION NOTES

- INSTALL NEW DOOR AND WINDOW PER MANUFACTURER INSTRUCTIONS, INCLUDING SELF-ADHESIVE FLASHING - STANDARD CONSTRUCTION
- PROVIDE GALVANIZED FLASHING AT DOOR TO LEDGER - SEE DETAILS @ 04/A106
- INSTALL DOOR AND WINDOW EXTERIOR TRIM TO MATCH EXISTING ELSEWHERE.
- INSTALL DOOR AND WINDOW INTERIOR TRIM TO MATCH EXISTING ELSEWHERE.
- INSTALL INTERIOR DRYWALL AND TRIM TO MATCH EXISTING



DEMOLITION NOTES

- CONSTRUCTION TO BE REMOVED
- REMOVE DOUBLE DOORS TO THE ROUGH FRAME OPENING.
 - EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY.

NEW CONSTRUCTION NOTES

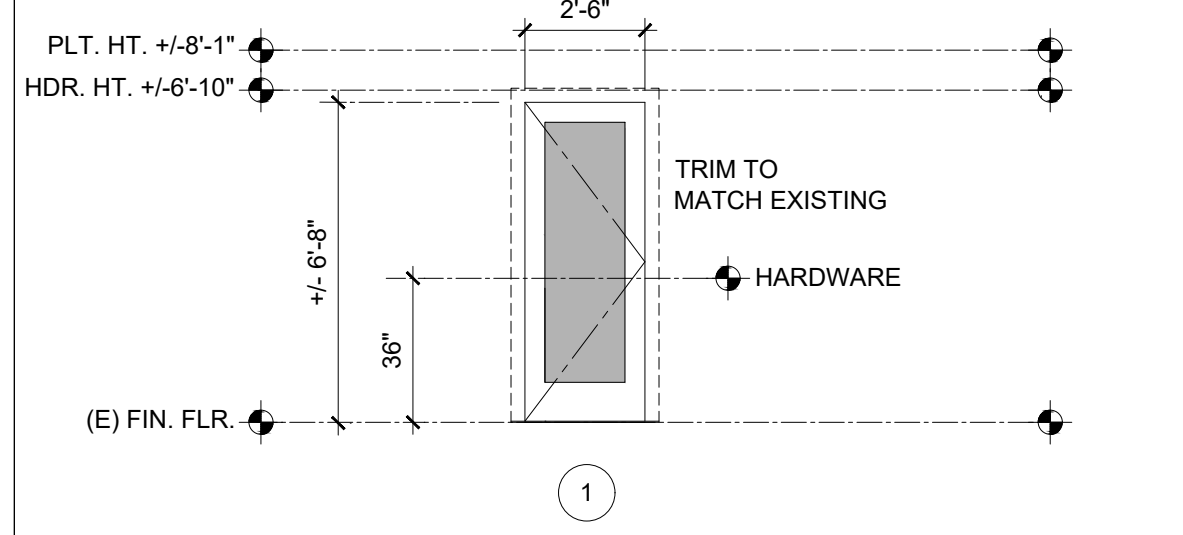
- INSTALL WINDOW PER MANUFACTURER INSTRUCTIONS, INCLUDING SELF-ADHESIVE FLASHING - STANDARD CONSTRUCTION
- INSTALL WINDOW EXTERIOR TRIM TO MATCH EXISTING ELSEWHERE.
- INSTALL INTERIOR DRYWALL AND TRIM TO MATCH EXISTING. SEE INTERIOR DESIGN FOR NEW WALL FINISHES.

DEMOLITION NOTES

- CONSTRUCTION TO BE REMOVED
- REMOVE DOUBLE DOORS TO THE ROUGH FRAME OPENING.
 - EVALUATE SUBSTRUCTURE FOR STRUCTURAL INTEGRITY.

NEW CONSTRUCTION NOTES

- INSTALL WINDOW PER MANUFACTURER INSTRUCTIONS, INCLUDING SELF-ADHESIVE FLASHING - STANDARD CONSTRUCTION
- INSTALL LAPSTRAKE HORIZONTAL SIDING TO MATCH EXISTING AT EXTERIOR WALL BELOW NEW WINDOW - STANDARD CONSTRUCTION.
- INSTALL WINDOW EXTERIOR TRIM TO MATCH EXISTING ELSEWHERE.
- INSTALL INTERIOR DRYWALL AND TRIM TO MATCH EXISTING. SEE INTERIOR DESIGN FOR NEW WALL FINISHES.



DOOR NUMBER	QTY	DESCRIPTION	TYPE	W.	H.	THK.	CONSTRUCTION	MATERIALS	FINISH	GLAZ'G.
1	1	EXTERIOR OUTSWING	2'-6"	6'-8"	MFR.	STILE & RAIL W/ SINGLE VISION PANEL	ALUMIN. CLAD WOOD	PRIMED FOR PAINT	DBL. INSUL. TMP.	

- NOTES:
- EXTERIOR DOORS BY "MARVIN" OR EQUIVALENT
 - PROVIDE MIN. 3 PR. HINGES @ ALL SWINGING DOORS
 - VERIFY DOOR SWINGS ON FLOOR PLAN PRIOR TO ORDERING DOORS
 - COORDINATE HARDWARE SELECTIONS WITH MANUFACTURER'S STANDARD HARDWARE OPTIONS, UNLESS OTHERWISE SPECIFIED
 - ALL EXTERIOR DOORS SHALL BE FURNISHED WITH DOUBLE PANE INSULATING GAS FILLED GLASS UNITS.
 - INSTALL JAMB EXTENSIONS AS PROVIDED BY MANUFACTURER TO MATCH WALL THICKNESS PER FLOOR PLANS
 - ALL DOORS TO BE PRE-HUNG, TRIM TO MATCH EXISTING ELSEWHERE.

- HARDWARE GROUP 1
- MFR: "SCHLAGE"
 FUNCTION: SECURED ENTRY - ELECTRONIC LOCK WITH EXTERIOR KEY/INTERIOR DEAD BOLT
 LEVER/LATCH SET: "SCHLAGE"
 MODEL: KEY PAD W/ PLYMOUTH TRIM AND FLAIR FLEX LOCK
 FINISH: SATIN NICKEL
 SELECTED BY OWNER
 HINGES: 4 PAIR - EACH, 4-1/2", FINISH MATCH DOOR HARDWARE

Remove Double Casement Windows and fill in with Horizontal Siding to match (E)

17

Create New Wall Openings for new Hinged Door and Double-hung Window

13

Replace Double Doors with single Fixed Window at new Shower in Primary Bathroom

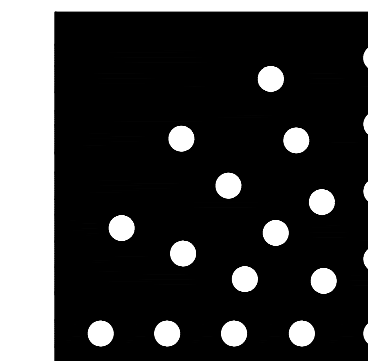
09

Replace Double Doors with single Fixed Window at new Shower in Primary Bathroom

05

New Door & Window Schedules & Notes

01

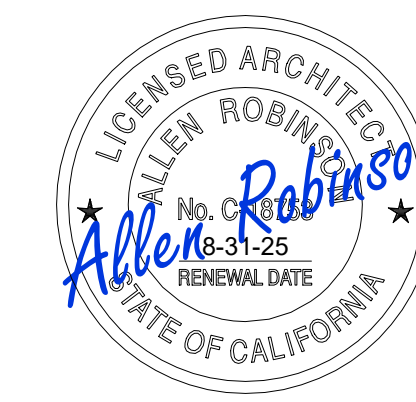


THE SIENNA COMPANY, INC.

Project Development Consulting
 Architecture
 Planning
 Construction Management

406 Calle Principal
 Monterey, CA 93940

Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence Remodel

Project Address:

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 APN 010-125-018-000

Project No: 2315.002

Issue Date: 10/15/2024

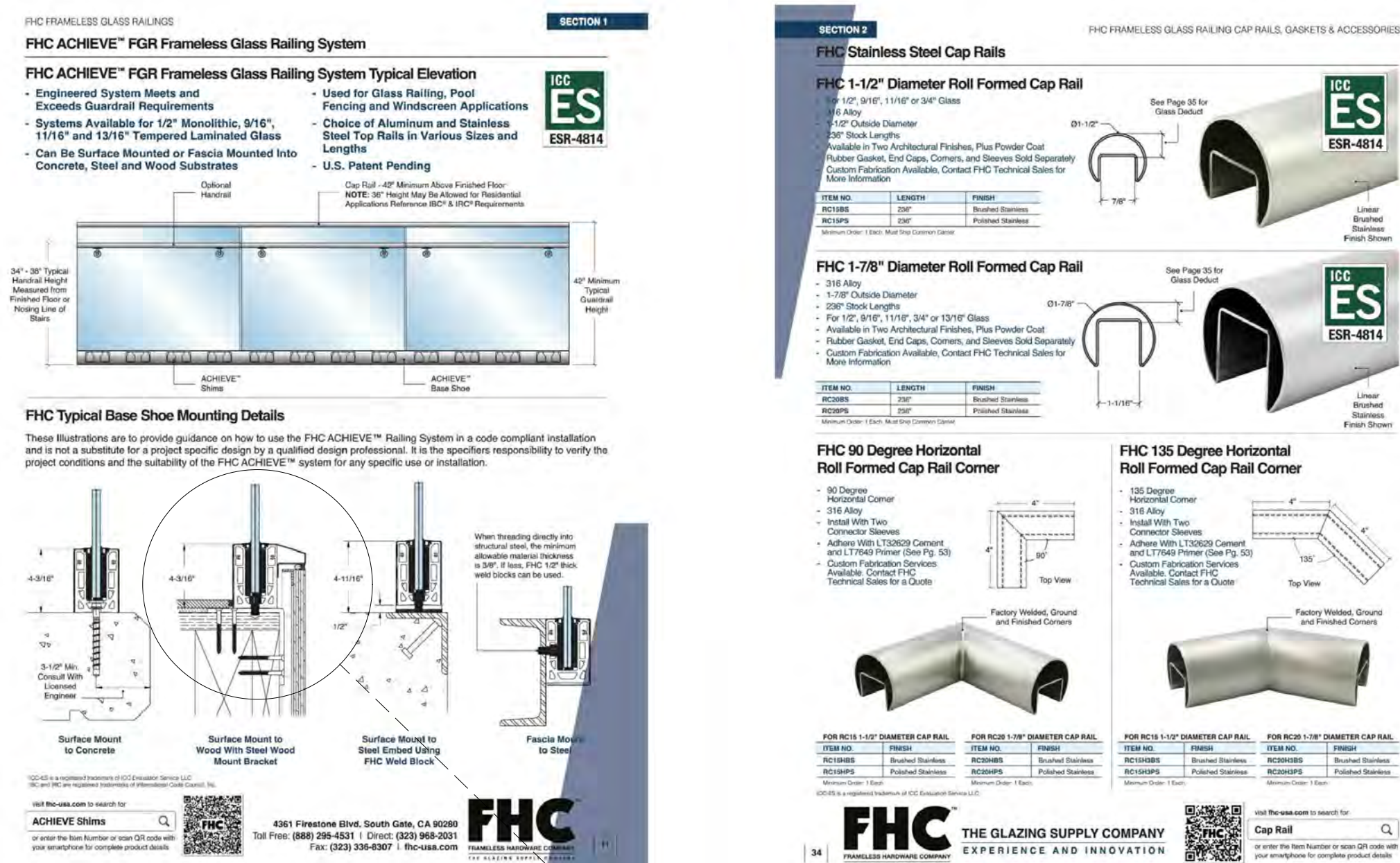
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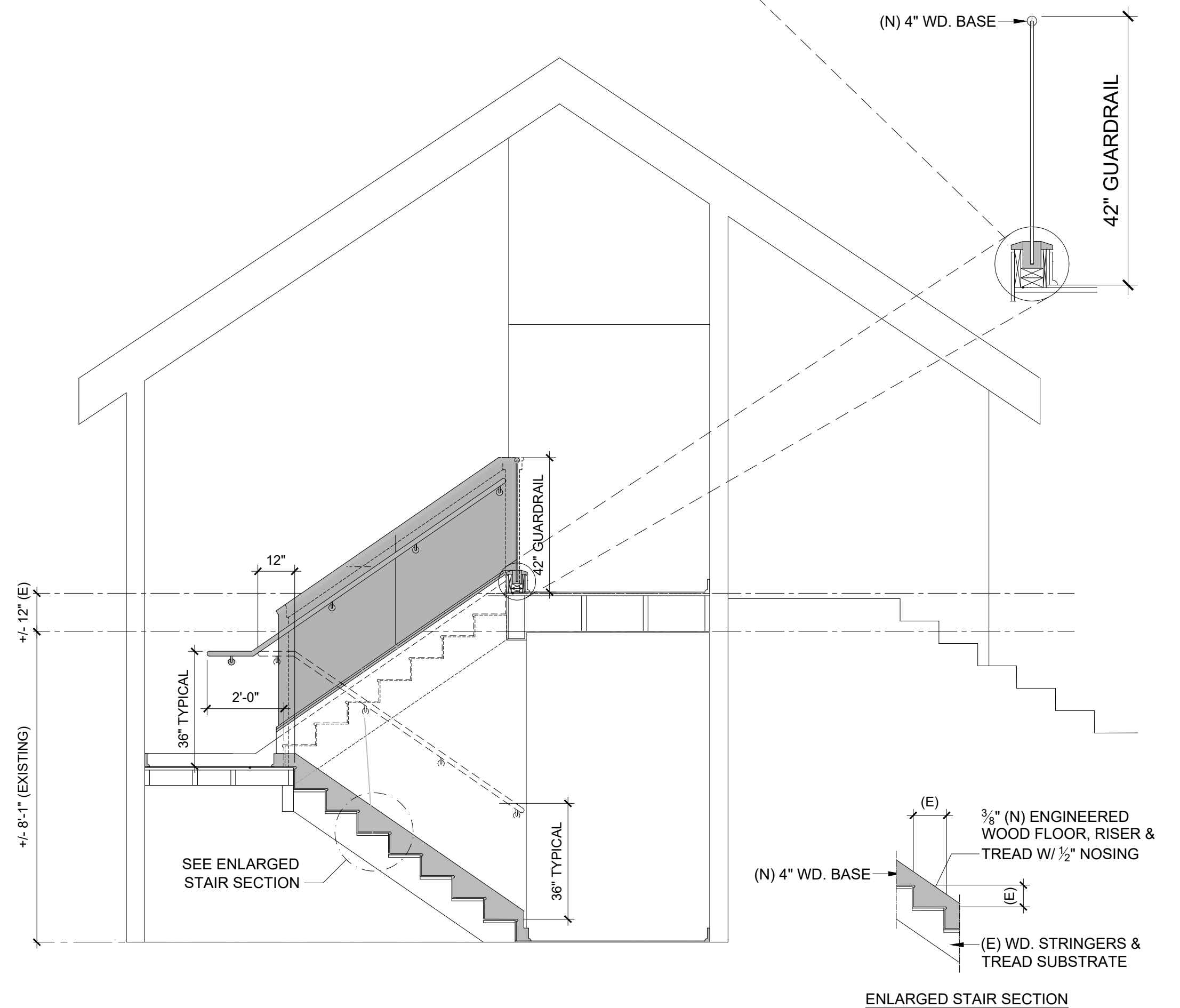
Existing, Demolition & New Construction Notes for Exterior Elevations Door & Window Schedules

A104

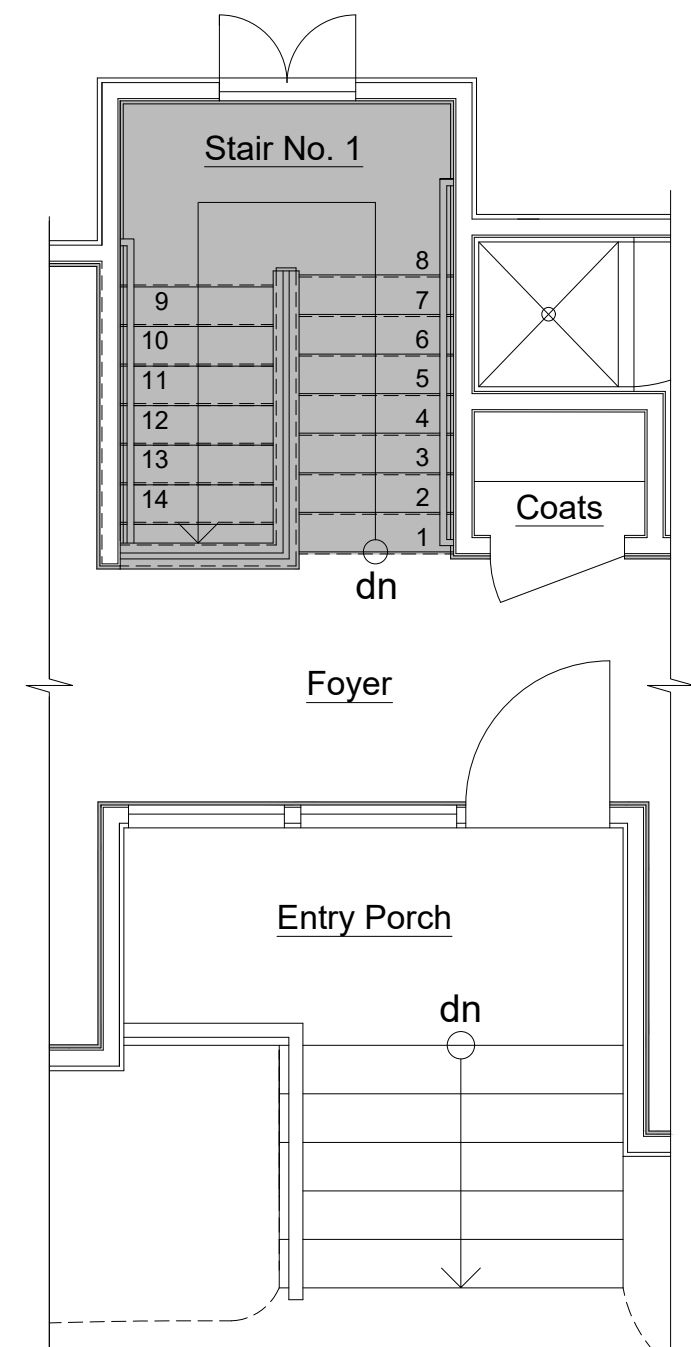
Approved 1/30/2025
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 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



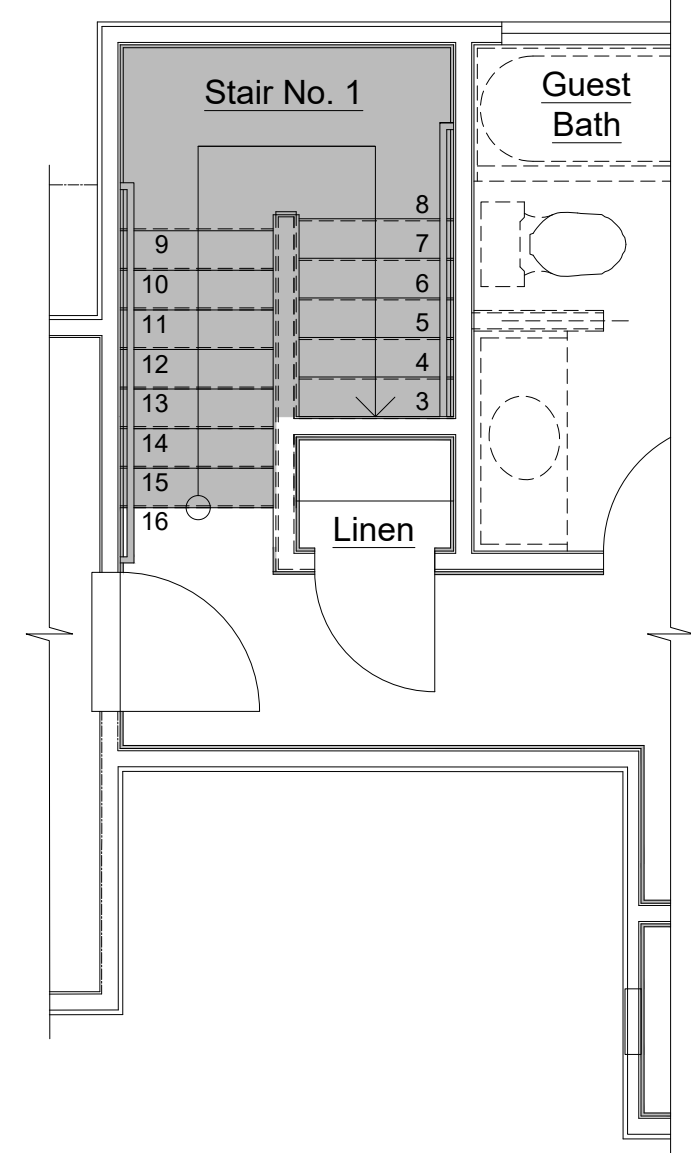
FHC Glass Guardrails and Handrail Details N.T.S. 14



Partial Building Section @ Stair No. 1 3/8\"/>



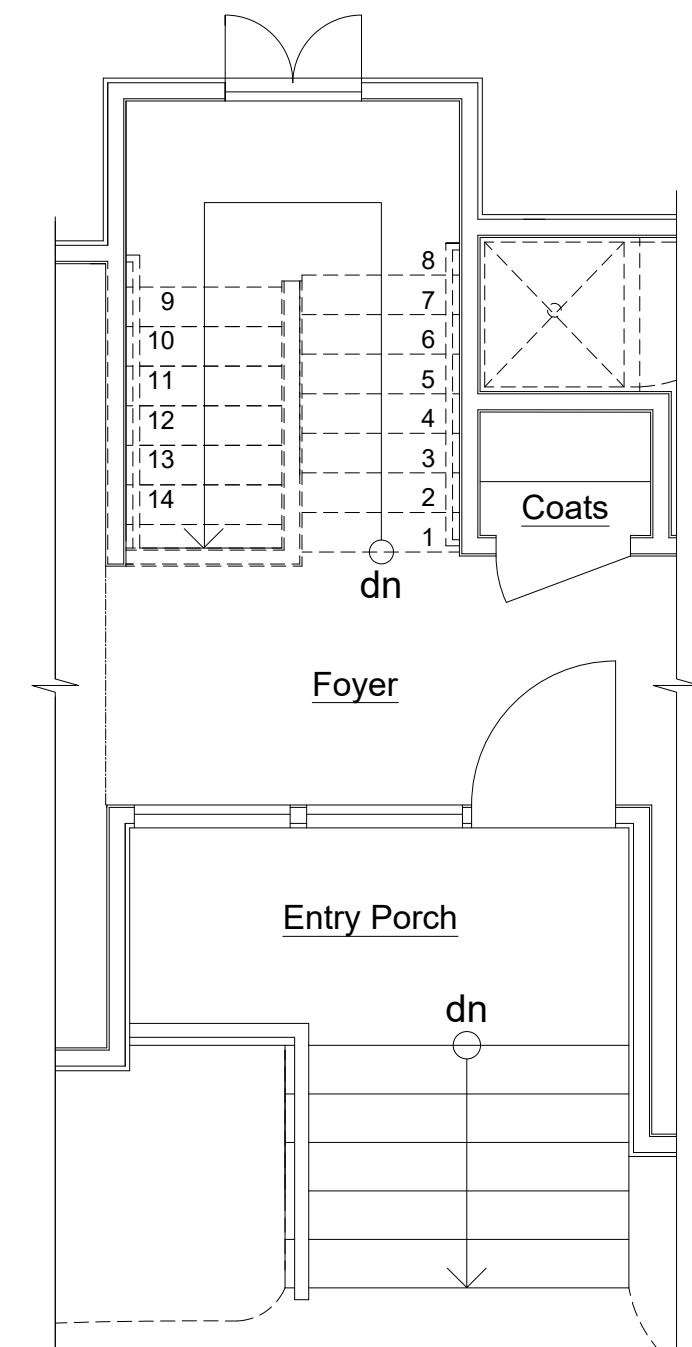
(E) Partial Second Floor Plan



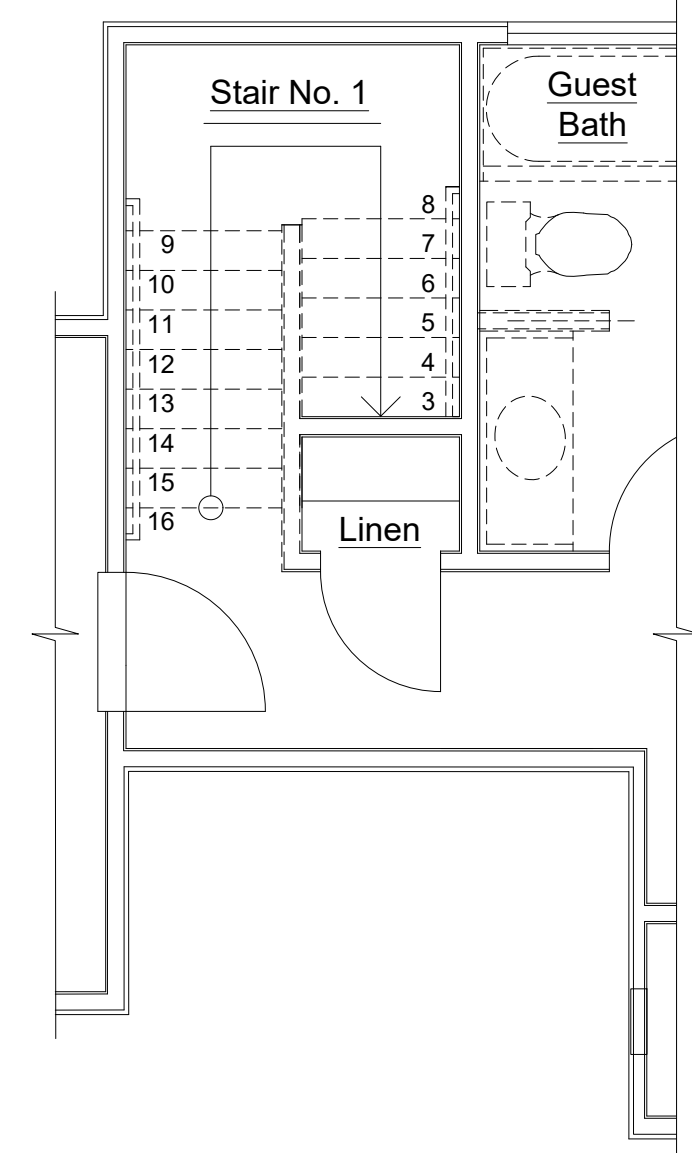
(E) Partial First Floor Plan

- NEW CONSTRUCTION NOTES:**
- INSTALL NEW HANDRAILS IN ACCORDANCE WITH NOTES REGARDING HANDRAILS @ 01/A105 GENERAL STAIR NOTES AND IN ACCORDANCE WITH TO MFR. INSTALLATION INSTRUCTIONS
 - INSTALL "FHC ACHIEVE FRAMELESS GLASS RAILING SYSTEM" IN CONJUNCTION WITH MODIFIED, EXISTING WOOD FRAME GUARDRAILS. INSTALL PER MFR. INSTALLATION INSTRUCTIONS.
 - GLASS GUARDRAILS SHALL BE 1/2\"/>

New Plan Stair No. 1 1/4\"/>



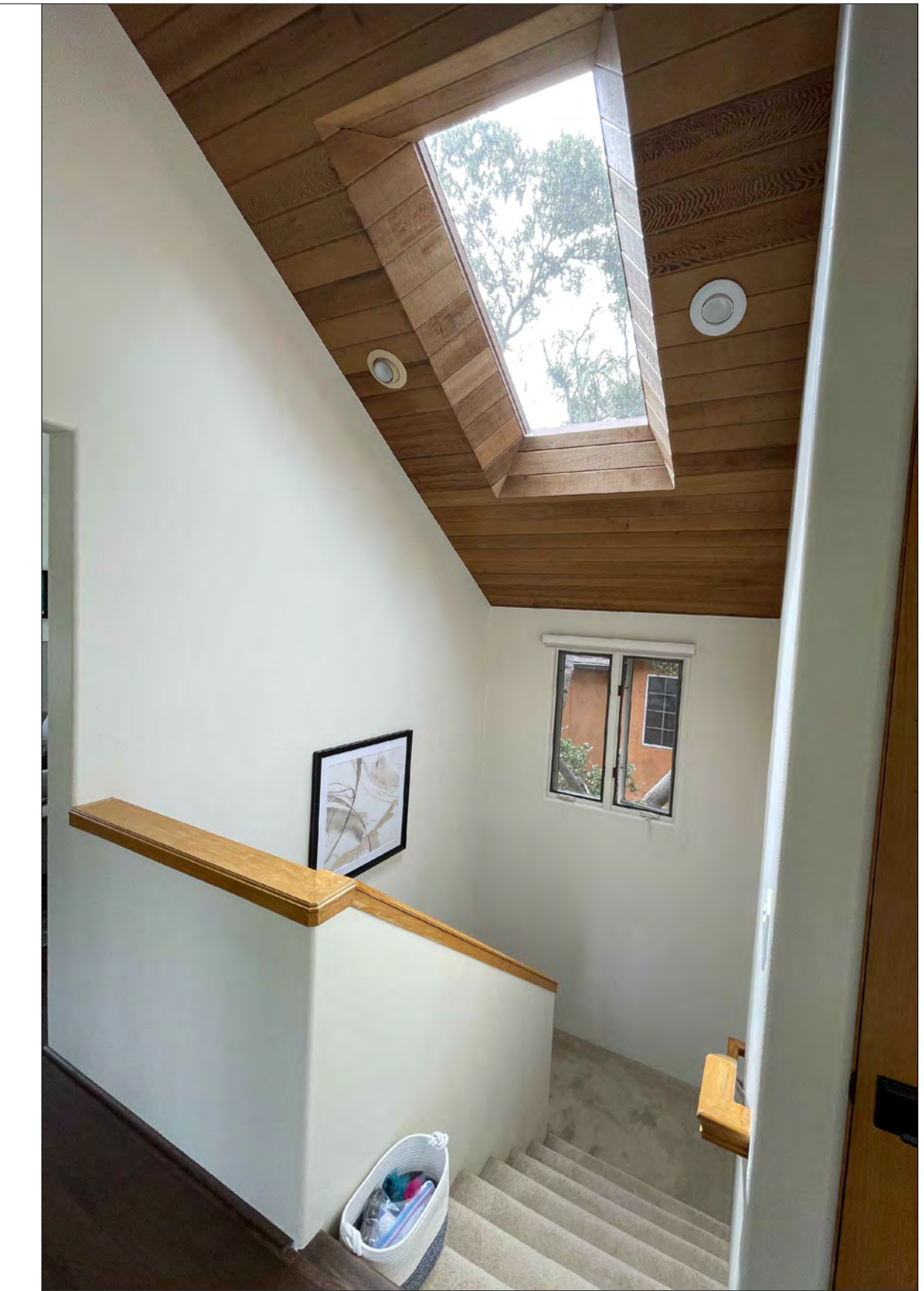
(E) Partial Second Floor Plan



(E) Partial First Floor Plan

- DEMOLITION NOTES:**
- A DESTRUCTIVE, FORENSIC INVESTIGATION HAS NOT BEEN PERFORMED. ASSUMPTIONS ARE THAT CONSTRUCTION IS IN GENERAL CONFORMANCE WITH CONVENTIONAL CONSTRUCTION. IF, UPON THE COURSE OF CONSTRUCTION, CONSTRUCTIONAL ANOMALIES ARE DISCOVERED, THE BUILDING CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER AND ARCHITECT FOR THE NEXT COURSE OF ACTION. ALSO SEE 01/A101 FOR ADDITIONAL GENERAL DEMOLITION NOTES.
 - DESCRIPTION OF DEMOLITION WORK:
 - REMOVE CARPET AND PAD FOR STAIRWAY AND LANDINGS. DISPOSE OF REFUSE MATERIALS IN A LEGAL MANNER IN ACCORDANCE WITH RECYCLING REGULATIONS.
 - CONFIRM THE INTEGRITY OF THE RISER AND TREAD SUBSTRATE, REPAIR OR REPLACE AS REQUIRED.
 - REMOVE THE EXISTING WOODEN HANDRAILS, PATCH AND REPAIR HOLES IN THE WALL DUE TO GUARDRAIL SUPPORT BRACKETS TO MATCH REMAINING, EXISTING WALL SURFACES
 - CUT EXISTING DRYWALL AND WOOD FRAMING FOR EXISTING GUARDRAILS TO ACCOMMODATE THE NEW METAL & GLASS RAILINGS. SEE DETAILS @ 13/A105 FOR NEW GUARDRAIL INSTALLATION. FOLLOW MFR. INSTRUCTIONS

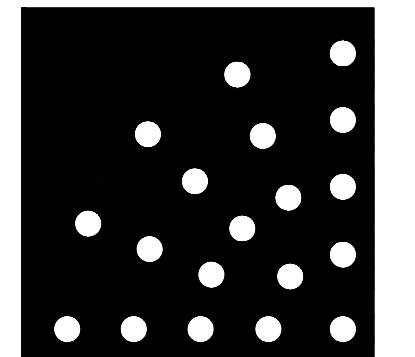
Stair No. 1 Demolition Plan 1/4\"/>



View of Existing Stair No. 1 02

- GENERAL STAIR NOTES**
- VERIFY ALL FLOOR TO FLOOR DIMENSIONS WITH AS-BUILT CONDITIONS, TYPICAL.
 - PRIOR TO ALL WORK ON STAIRS CAREFULLY INSPECT THE INSTALLED WORK OF OTHER TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE TO THE POINT WHERE FABRICATION AND INSTALLATION OF THE WORK OF THIS SECTION MAY PROPERLY COMMENCE.
 - HANDRAILS AND STAIR RAILS ARE TO BE CONSTRUCTED SO THAT THE GRIP IS CONTINUOUS AND HAS NO ABRUPT CHANGES IN LEVEL.
 - ALL HANDRAILS TO BE 1 1/2\"/>

General Stair Notes 01



THE SIENNA COMPANY, INC.
 Project Development Consulting
 Architecture
 Planning
 Construction Management
 406 Calle Principal
 Monterey, CA 93940
 Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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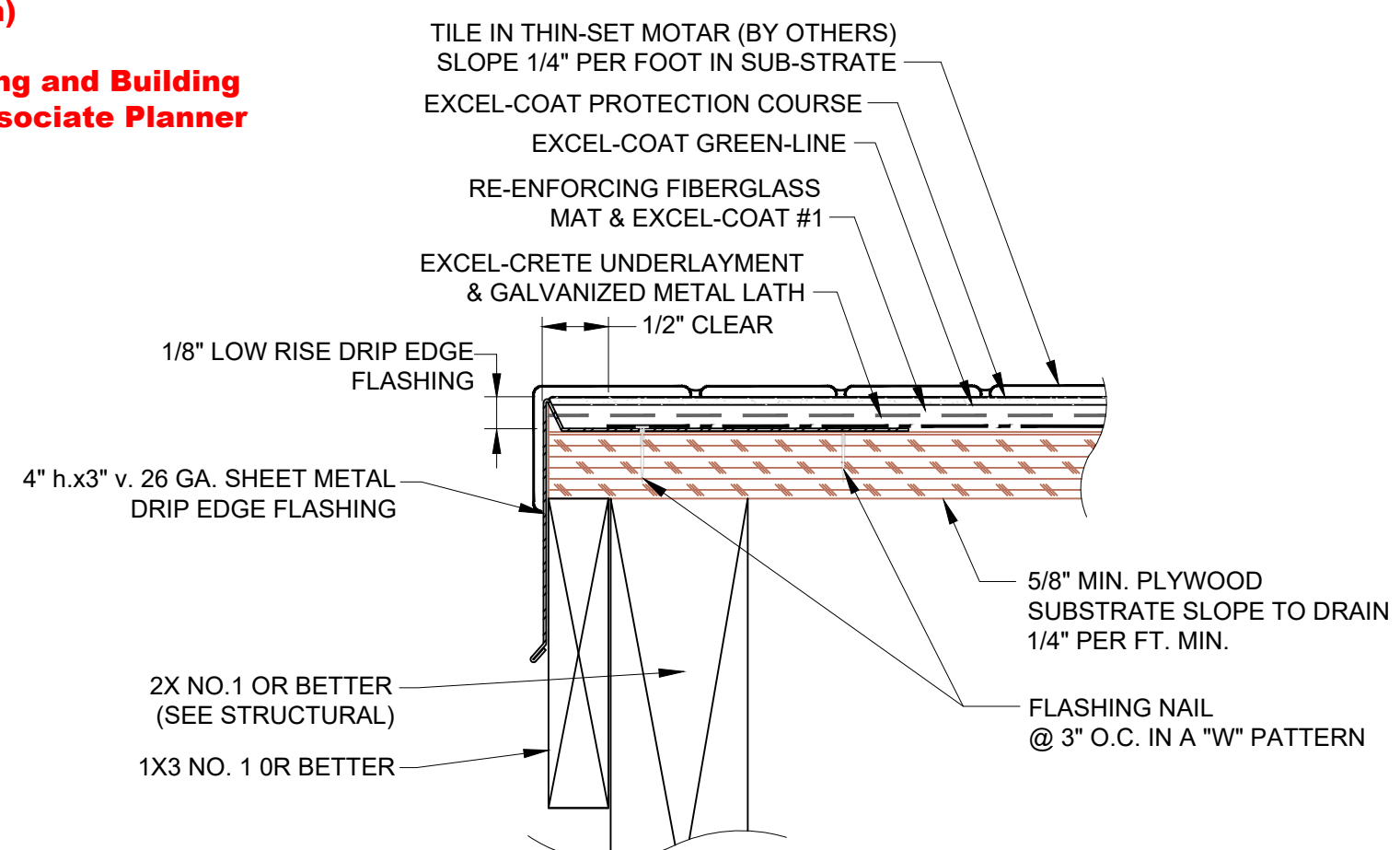
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 Revisions:

Sheet Title:
 Existing, Demo. & New
 Interior Stair Plans & Details

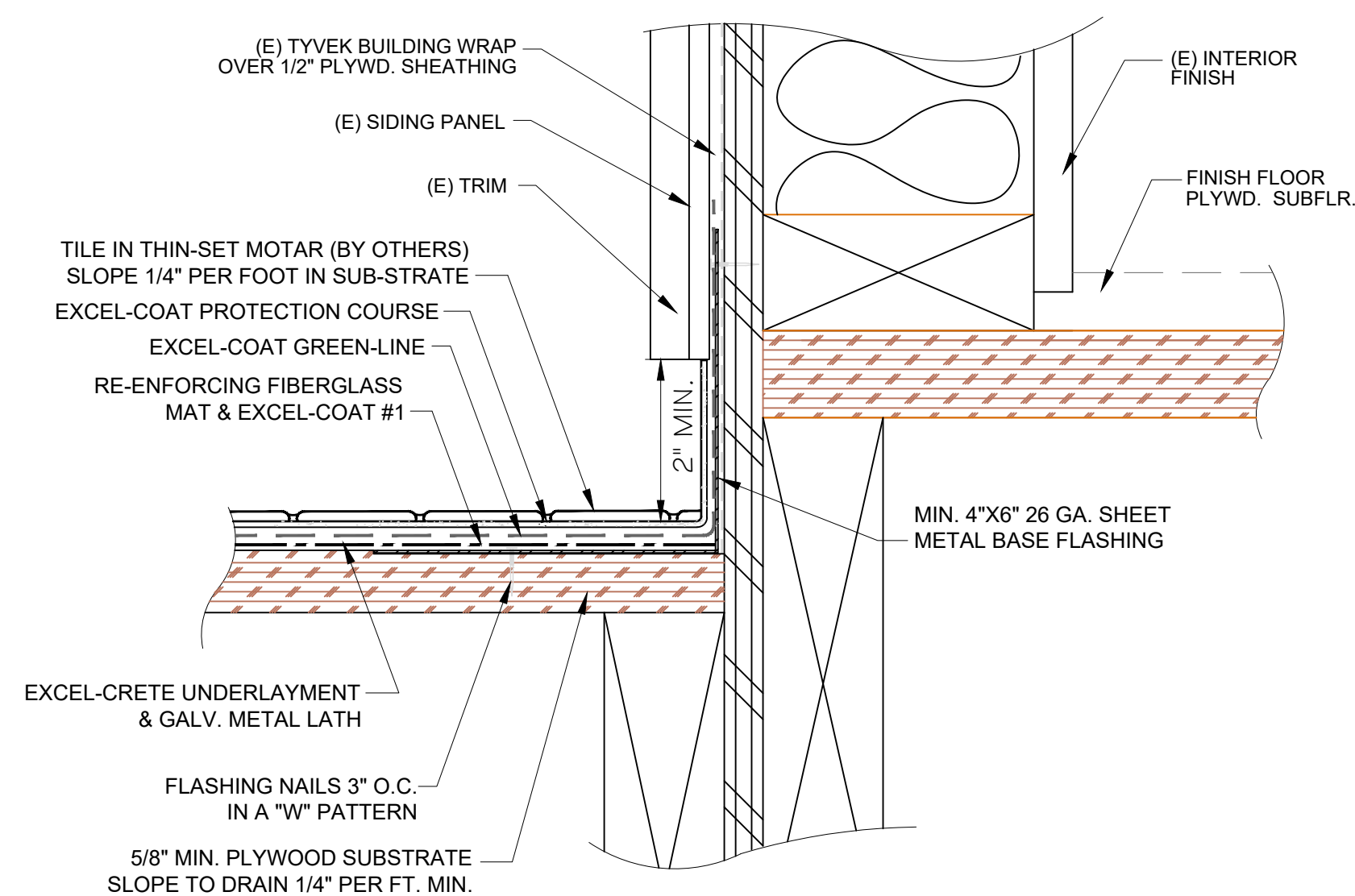
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 Jacob Olander, Associate Planner



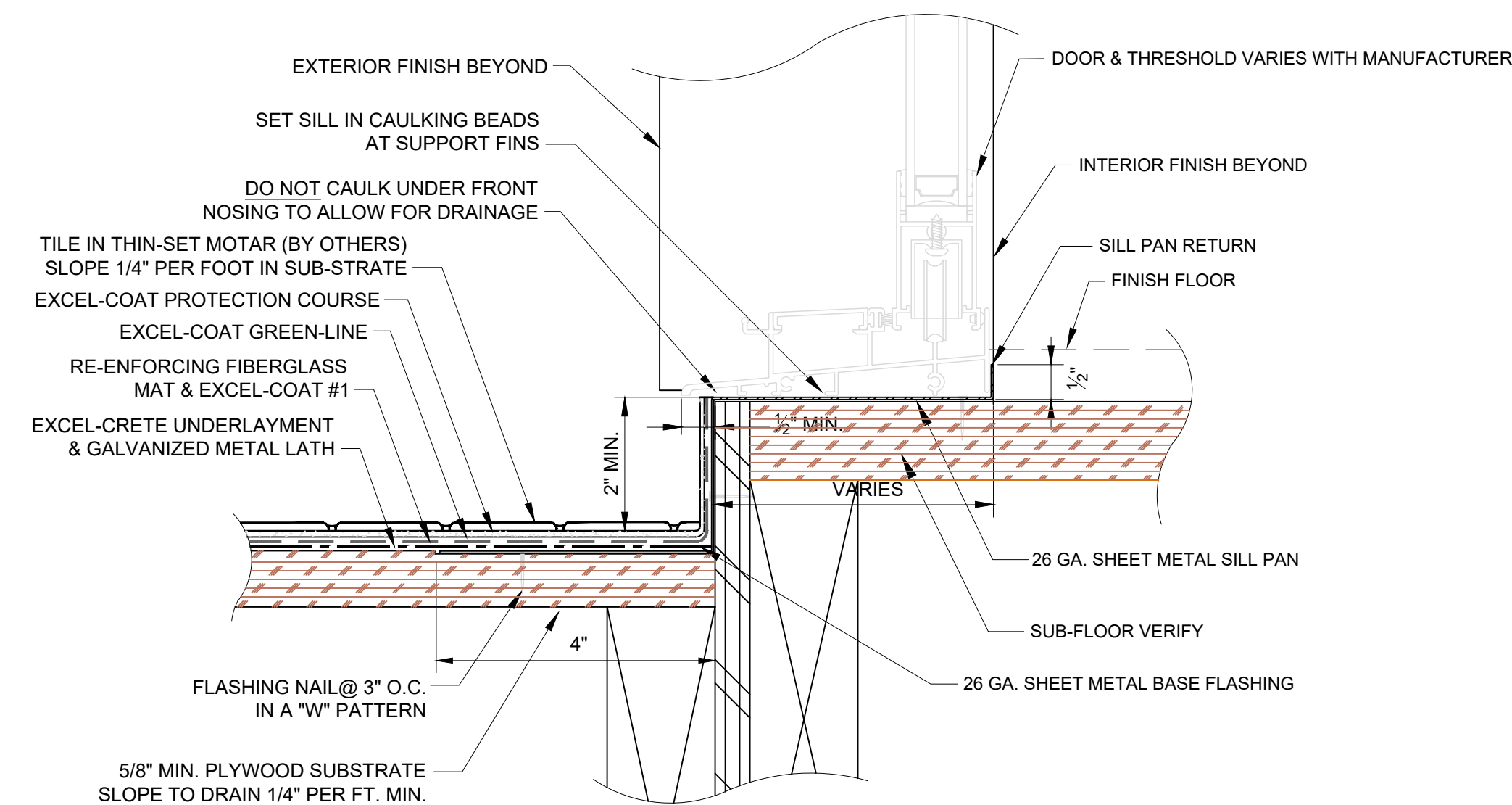
GENERAL NOTES: 1. ISOLATE ALL COPPER & ALUMINUM MATERIALS FROM FERROUS METALS BY APPLICATION OF DECK SEAL TAPE.
 2. USE STAINLESS STEEL FASTENERS AT COPPER OR LEAD COATED COPPER FLASHINGS & DRAINS.
 3. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING PLYWOOD SHEATHING, FRAMING, BLOCKING AND SHEET METAL INSTALLATION.

Detail @ Balcony Edge, Typical 1/2"=1'-0" 13



GENERAL NOTES: 1. ISOLATE ALL COPPER & ALUMINUM MATERIALS FROM FERROUS METALS BY APPLICATION OF DECK SEAL TAPE.
 2. USE STAINLESS STEEL FASTENERS AT COPPER OR LEAD COATED COPPER FLASHINGS & DRAINS.
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Detail @ Balcony to (E) Wall Condition 1/4"=1'-0" 12



GENERAL NOTES: 1. ISOLATE ALL COPPER & ALUMINUM MATERIALS FROM FERROUS METALS BY APPLICATION OF DECK SEAL TAPE.
 2. USE STAINLESS STEEL FASTENERS AT COPPER OR LEAD COATED COPPER FLASHINGS & DRAINS.
 3. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING PLYWOOD SHEATHING, FRAMING, BLOCKING AND SHEET METAL INSTALLATION.

Balcony to (E) Door Threshold - Confirm existing threshold flashing 1/4"=1'-0" 11



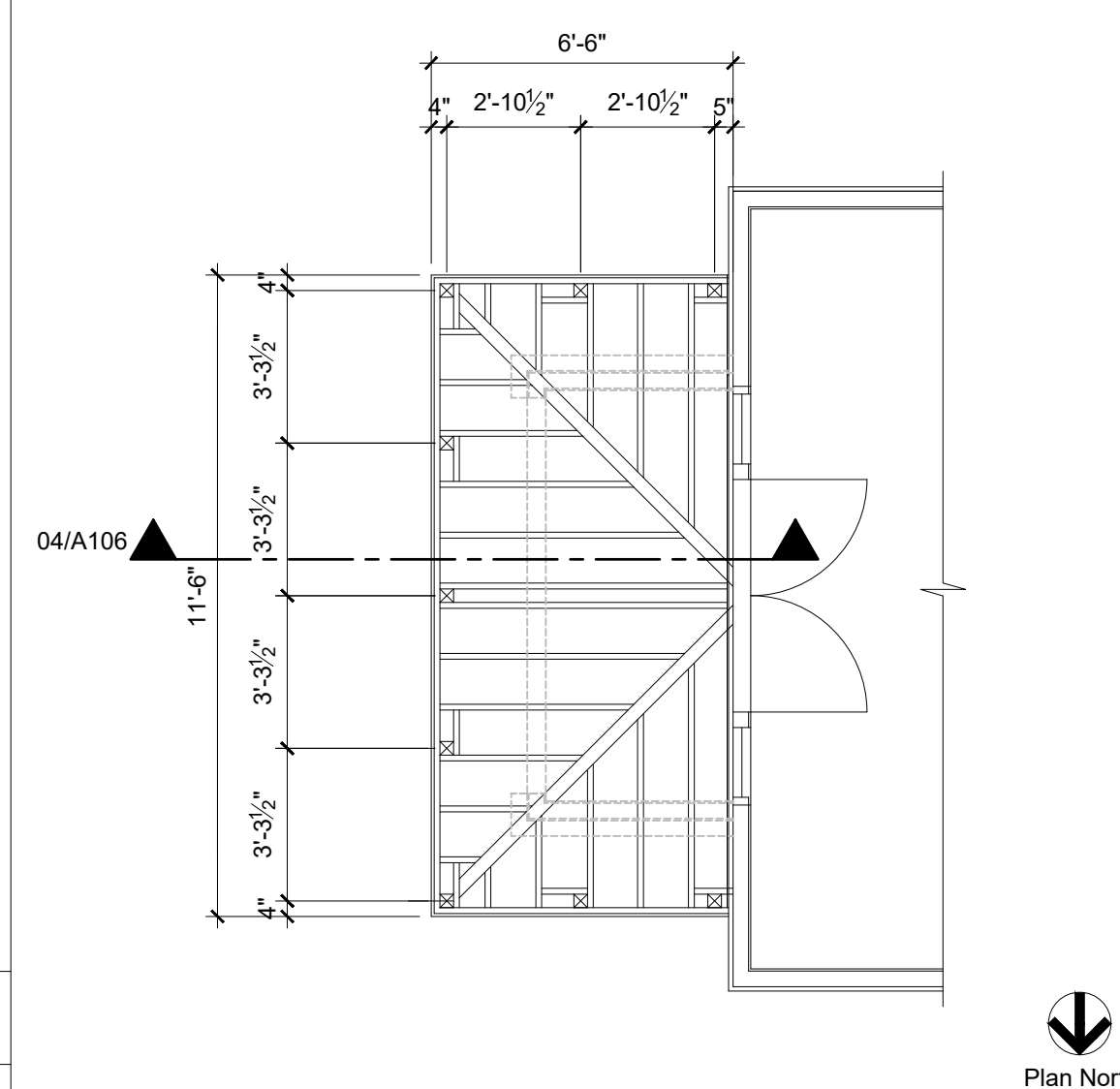
Front View of Proposed Balcony (N.T.S.) 09



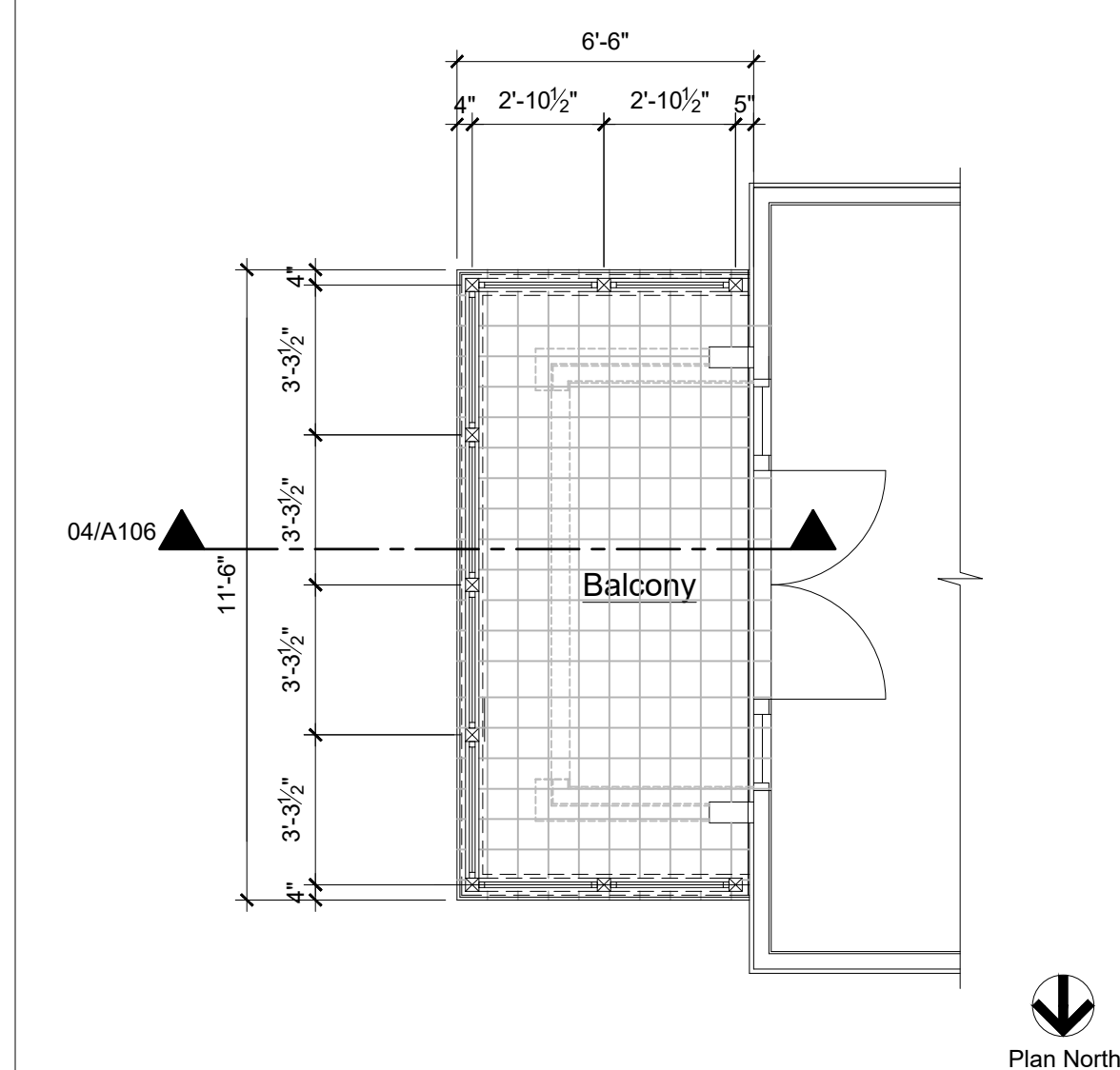
Front View of Existing Balcony (N.T.S.) 06



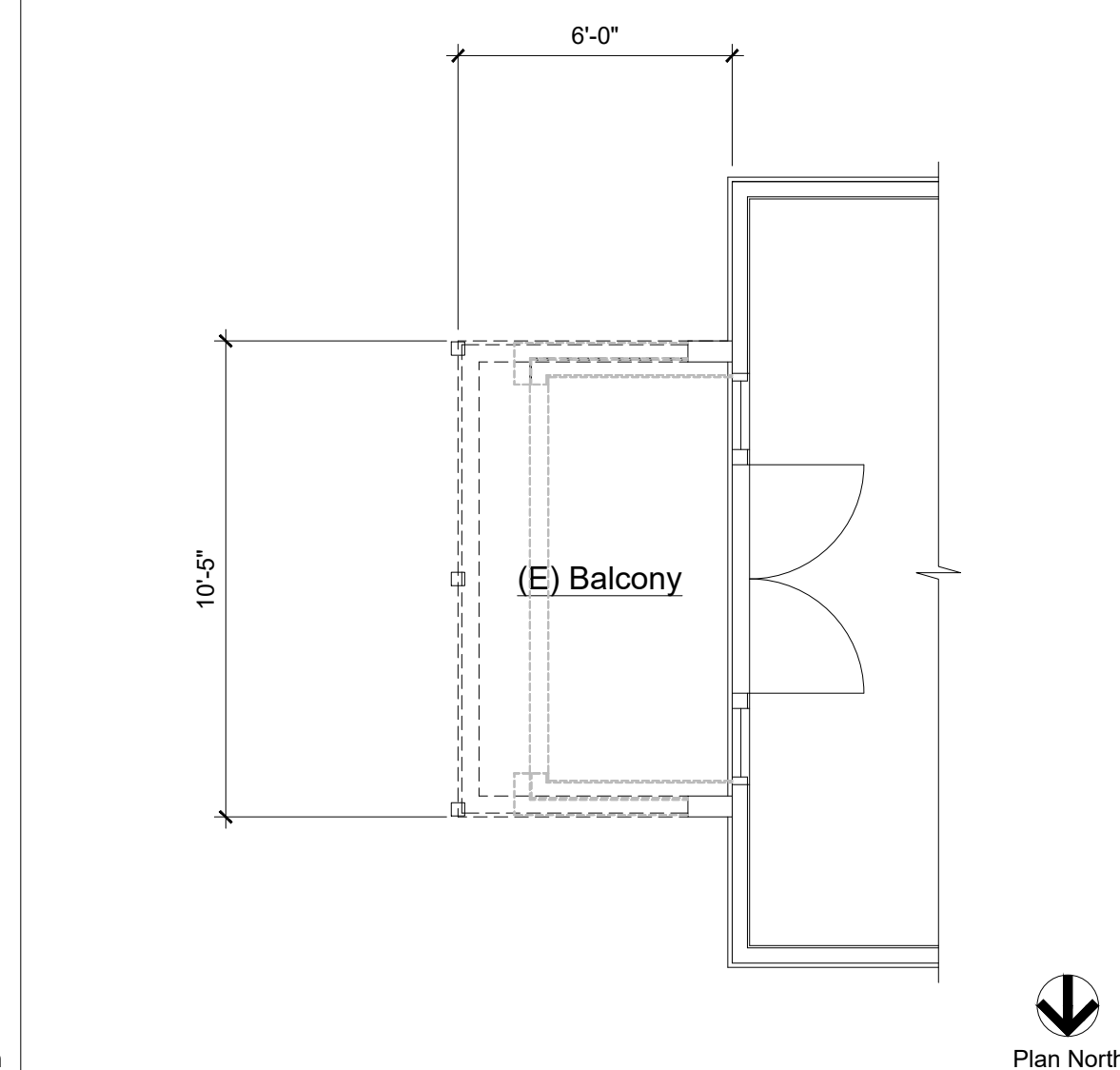
Side View of Existing Balcony (N.T.S.) 03



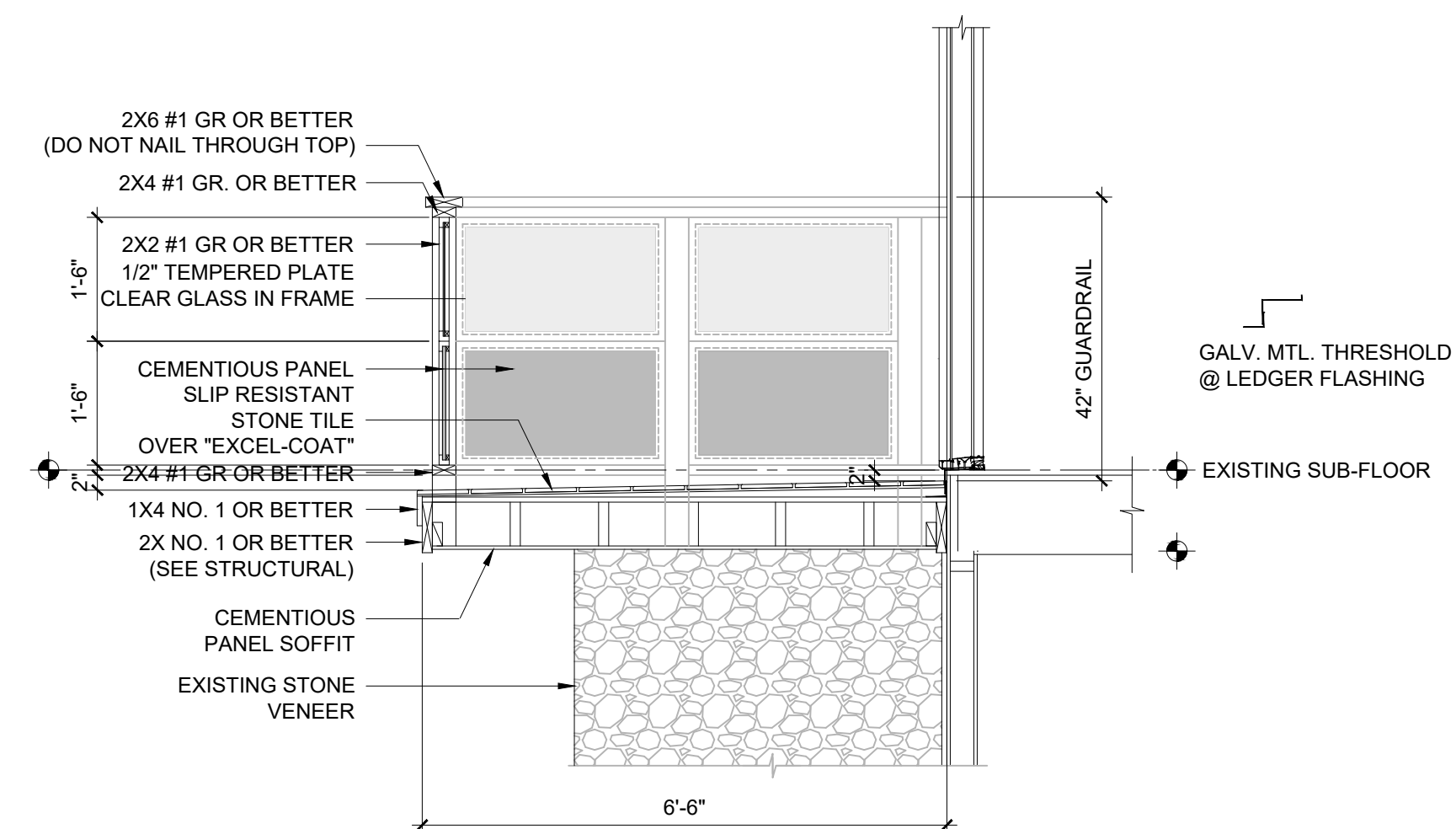
New Balcony Framing Plan 1/4"=1'-0" 08



New Balcony Plan 1/4"=1'-0" 05



Existing & Demolition Balcony 1/4"=1'-0" 02



Section thru New Balcony 1/4"=1'-0" 04

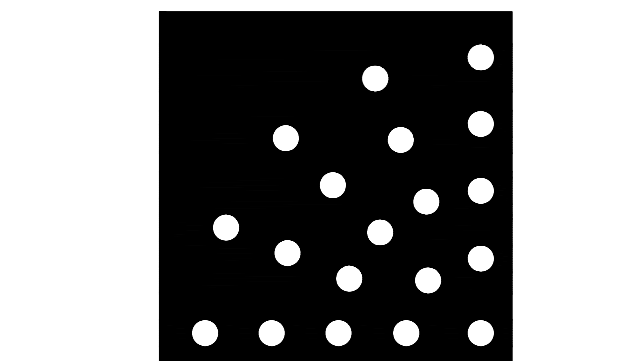
EXISTING BALCONY DEMOLITION NOTES

1. REMOVE EXISTING CONSTRUCTION OF THE BALCONY FRAMING DOWN TO THE EXISTING PLATE LINE.
2. MAINTAIN RIVER ROCK EXTERIOR VENEER.
3. ALSO SEE GENERAL DEMOLITION NOTES @ 01/A101 FOR MORE INFORMATION.
4. SALVAGE EXISTING ELECTRICAL CIRCUITS FOR SOFFIT LIGHTING.

BALCONY REMODEL NEW CONSTRUCTION NOTES:

1. SEE SHT. S0.2 FOR BALCONY STRUCTURAL DETAILS FOR FRAMING AND GUARDRAIL FABRICATION.
2. REPLACE EXISTING SOFFIT WITH SIMILAR MATERIALS - SMOOTH "V-GROOVE" WOOD SIDING - PAINT TO MATCH EXISTING.

Balcony Remodel Construction Notes 01



THE SIENNA COMPANY, INC.

Project Development Consulting
 Architecture
 Planning
 Construction Management

406 Calle Principal
 Monterey, CA 93940

Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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Project No: 2315.002
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Sheet Title:

Existing & Demo. & New
 Front Balcony Plan & Details

A106

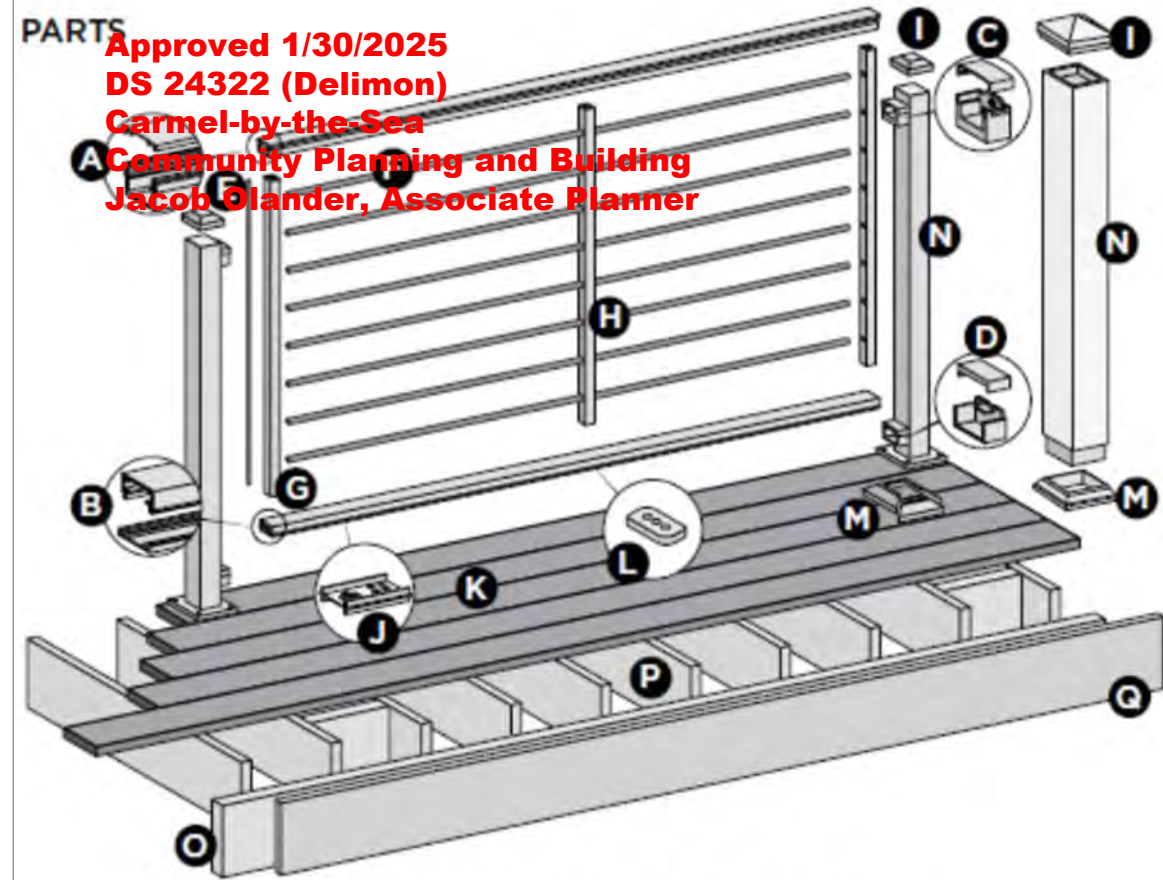


FIGURE 2 - TREX® SIGNATURE® ROD



View of Proposed Pit In-fill @ Lower Level 16

Rod Baluster Details N.T.S. 20

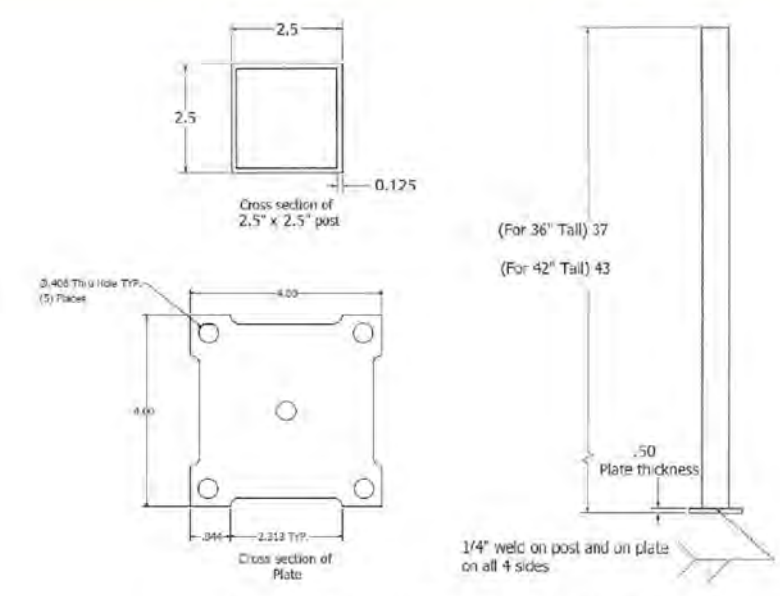


FIGURE 9 - 2.5 INCH SQUARE ALUMINUM SUPPORT POST

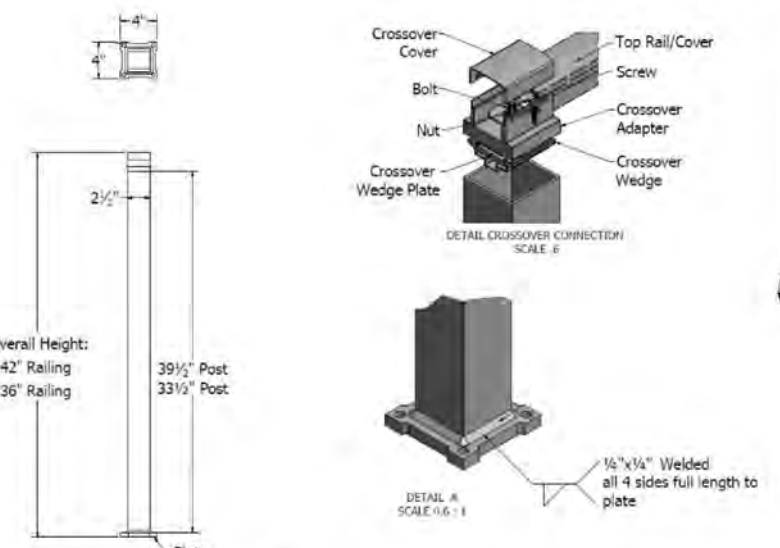
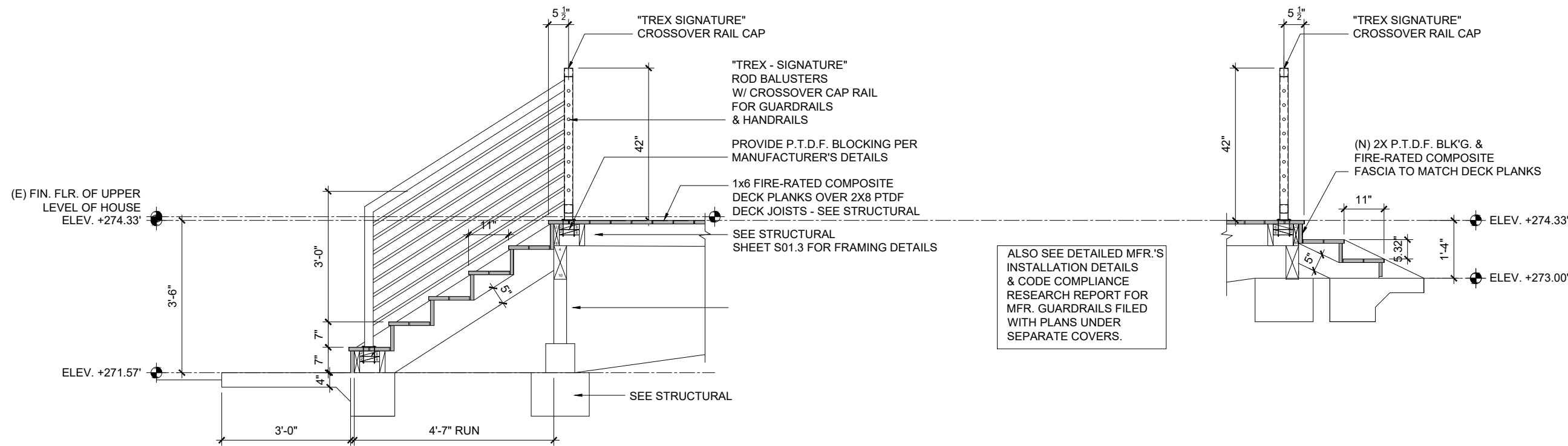
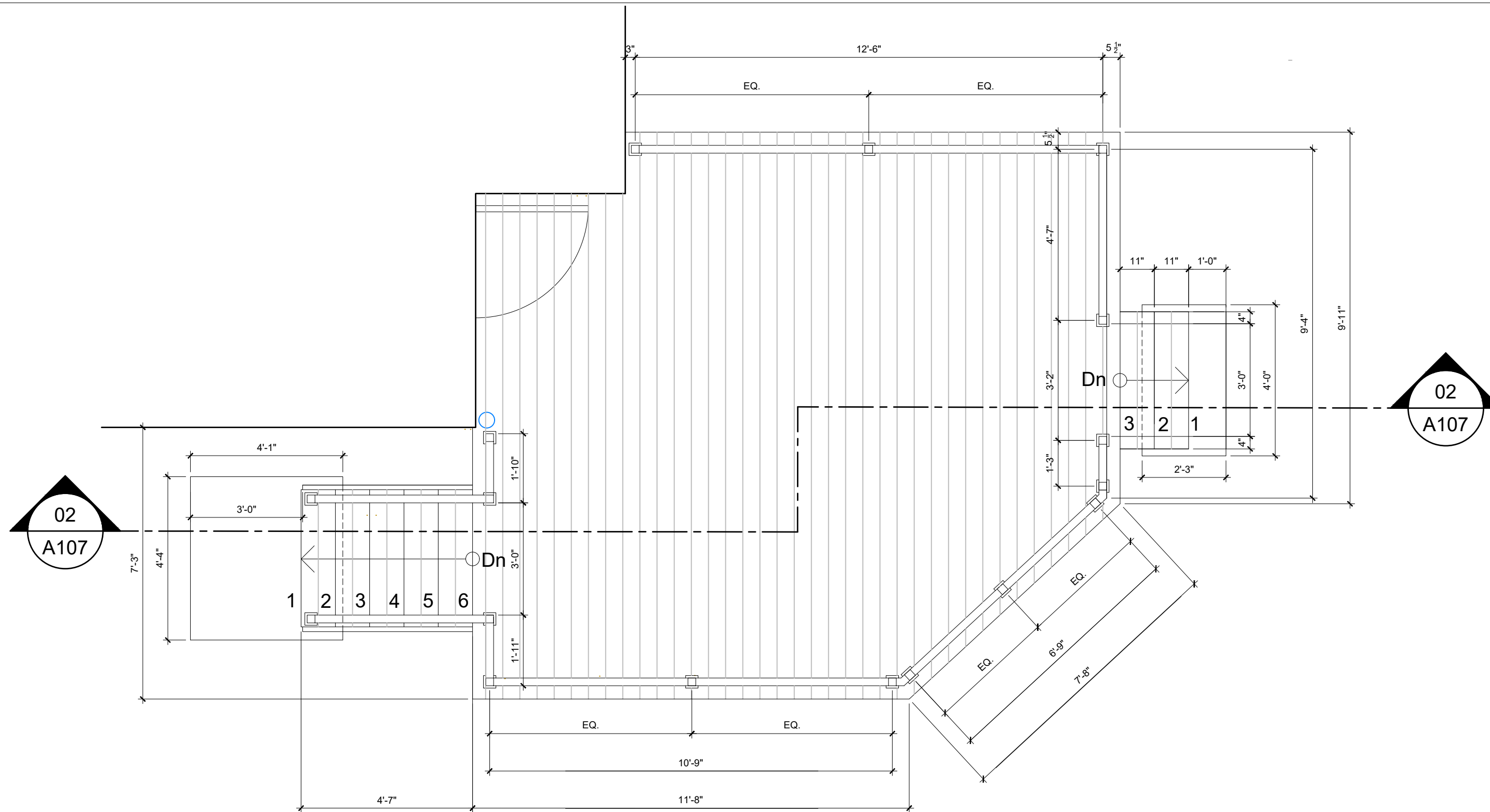


FIGURE 10 - TREX® CROSSOVER POST ASSEMBLY

"PIT IN-FILL NOTES:

1. REMOVE DECORATIVE STONE VENEER @ (E) CONC. BLK. RETAINING WALLS AND (E) CONCRETE BLOCK. PROVIDE SHORING FOR OPEN PIT.
2. REMOVE (E) DOORS TO BATHROOM 1 AND IN-FILL FRAMED OPENING WITH 2X WOOD STUD CONSTRUCTION TO MATCH (E). INTERIOR FINISHES TO MATCH SCHEDULED NEW FINISHES - SEE INTERIOR DESIGN SHEETS.
3. CONSTRUCT NEW CONC. BLK. RETAINING WALL PER STRUCTURAL DETAILS @ STRUCTURAL SECTION DETAIL 1/SO.2.
4. PROVIDE WATERPROOFING @ EXPOSED RETAINING WALL - BITUTHANE 4000 SYSTEM. CONNECT FRENCH DRAIN TO EXISTING FRENCH DRAINS @ ADJACENT AND PERPENDICULAR (E) RETAINING WALLS.
5. PROVIDE NEW HORIZONTAL SIDING TO MATCH (E) SIDING ELSEWHERE. PROVIDE MATCHING SUB-STRATES FOR WOOD IN-FILL WALL. PROVIDE (N) R-23 INSULATION IN NEW EXTERIOR WALL.
6. PROVIDE COPPER CAP FLASHING @ RETAINING WALL WITH COUNTER-FLASHING BETWEEN WALL AND RETAINING WALL UNION.
7. BACK FILL REMAINING OPEN PIT WITH COMPACTED 12" LIFTS OF REPLACEMENT DIRT COMPACTED TO WITHIN 95% COMPACTION OF ADJACENT (E) SOILS TO MATCH (E) SLOPED GRADES.
8. INSTALL NEW LANDSCAPE MATERIALS PER LANDSCAPE PLANS.



Trex "Signature" Crossover Top Rail Detail 18

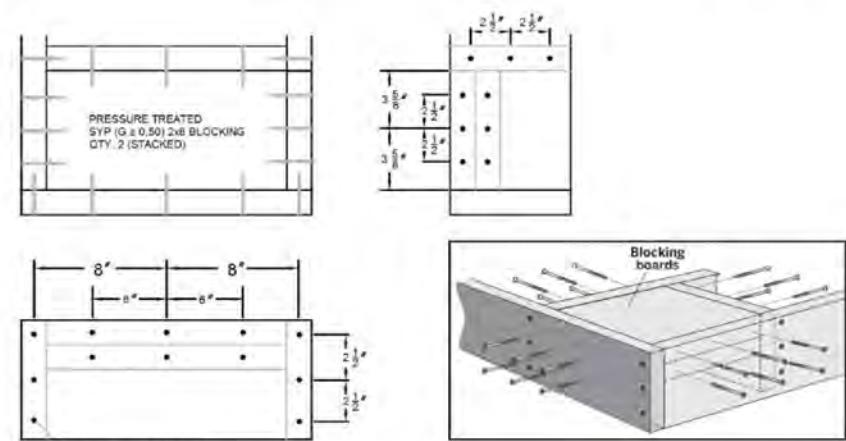
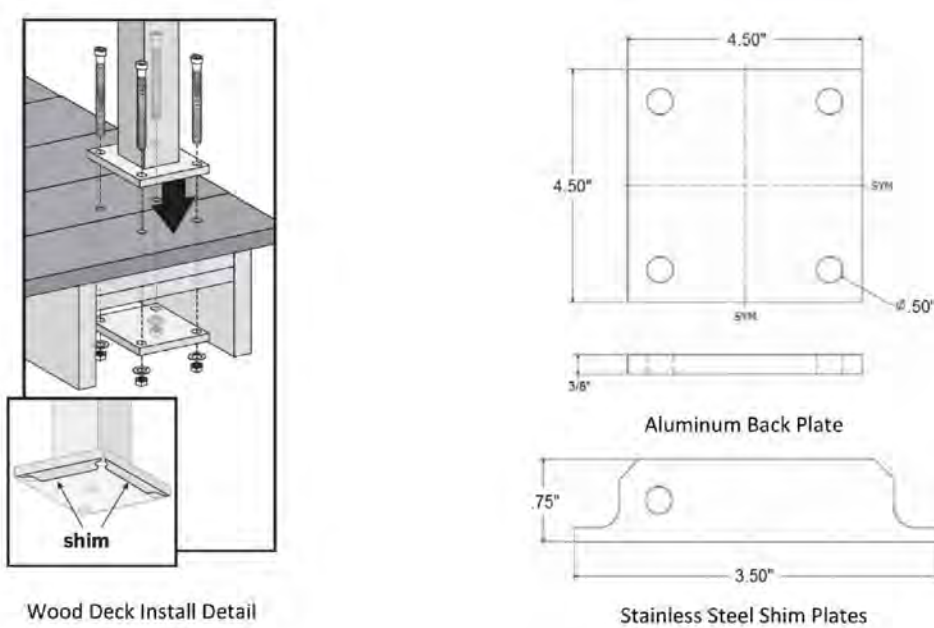
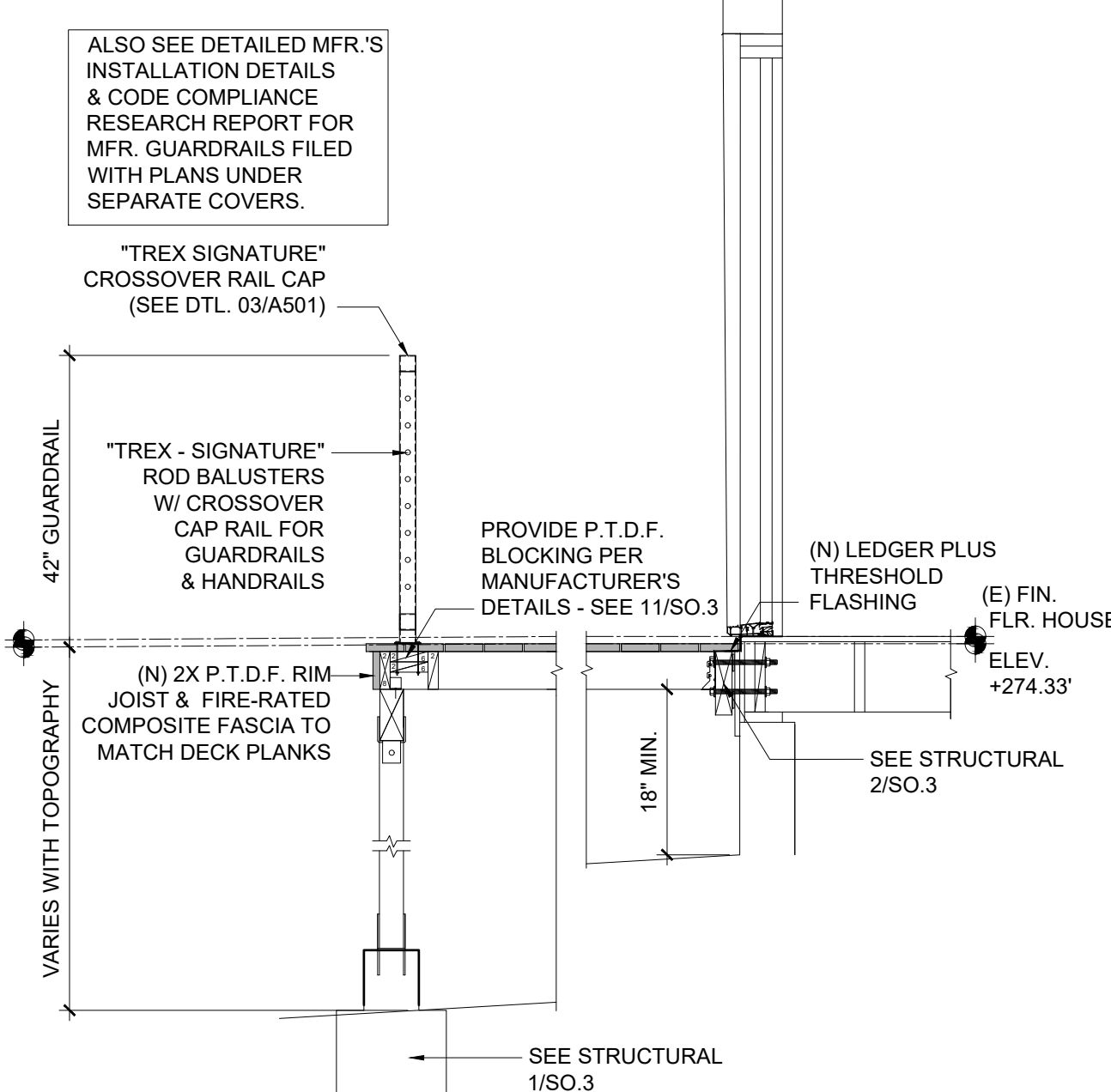
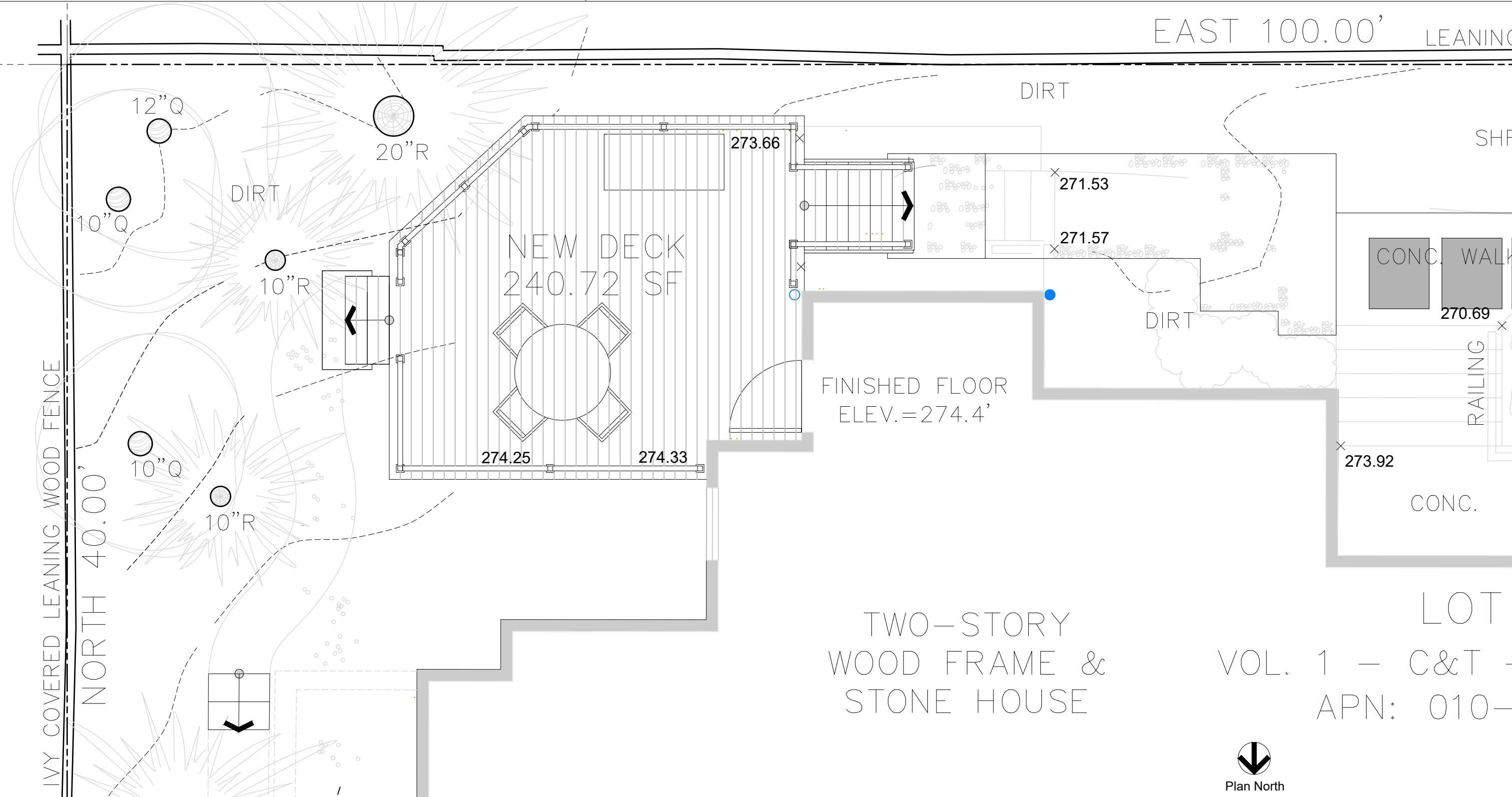


FIGURE 11 - POST MOUNT INSTALLATION ON WOOD DECK

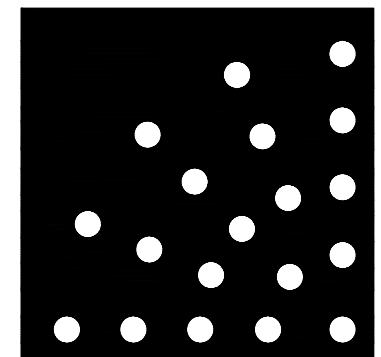
Longitudinal Section through Rear Deck 3/8"-1'-0" 02



Guardrail Post Mount @ Wood Deck 17

Partial Site Plan - Replacement Rear Deck 1/4"=1'-0" 05

Rear Deck Construction Notes 01



THE SIENNA COMPANY, INC.

Project Development Consulting
Architecture
Planning
Construction Management

406 Calle Principal
Monterey, CA 93940

Telephone: 831.915.8143
Email: arobinson@thesiennacompany.com



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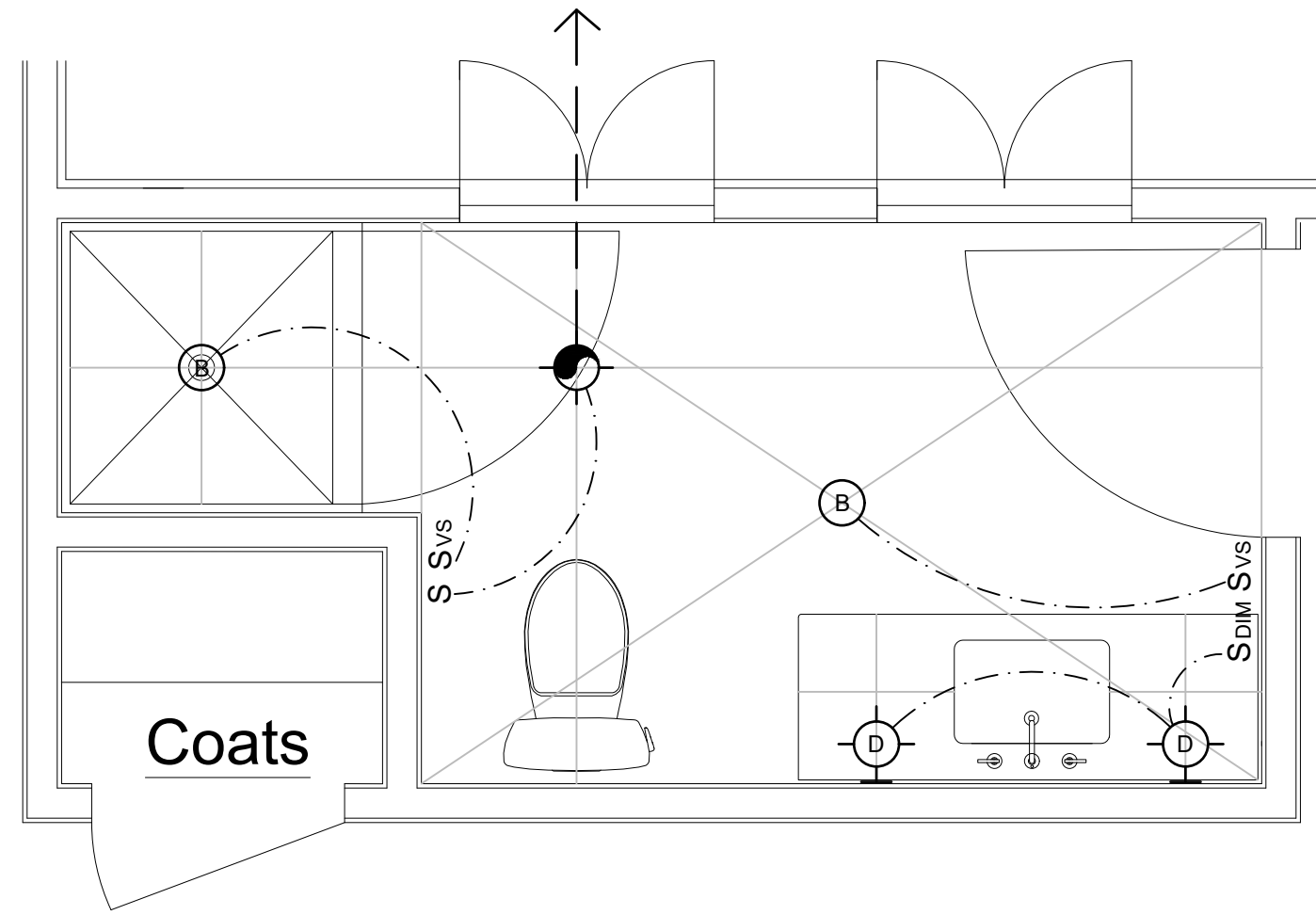
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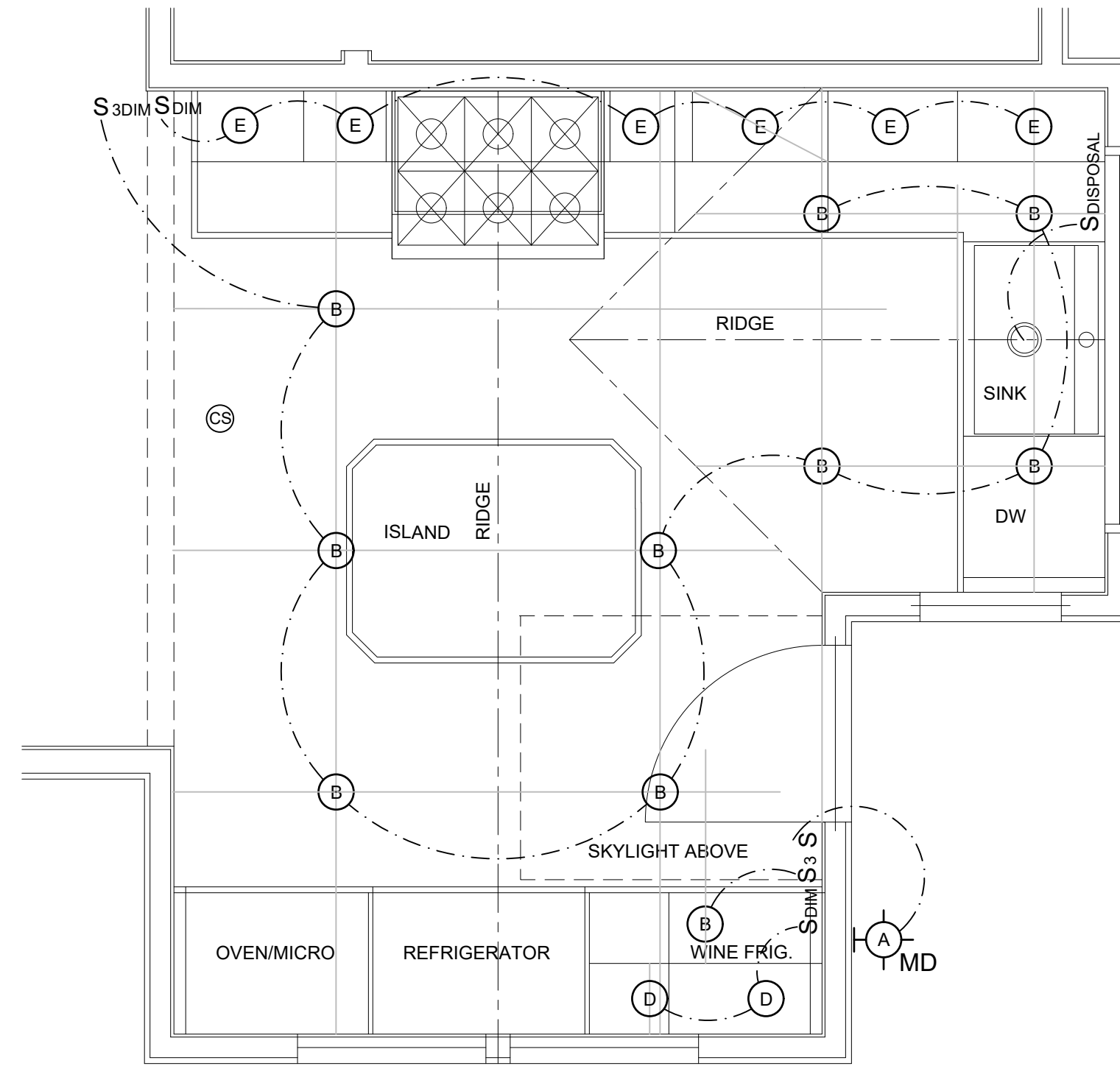
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& Details

A107

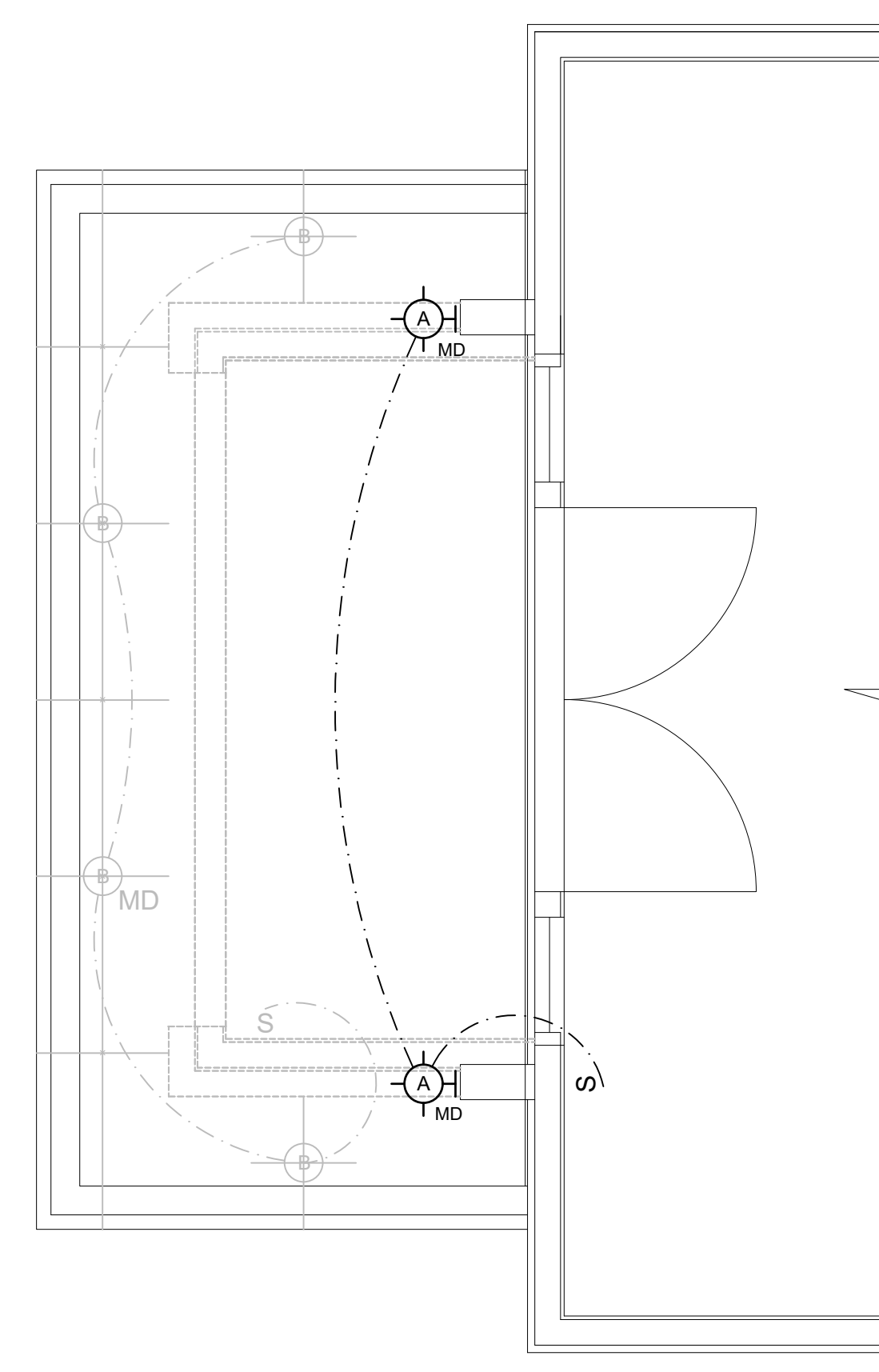
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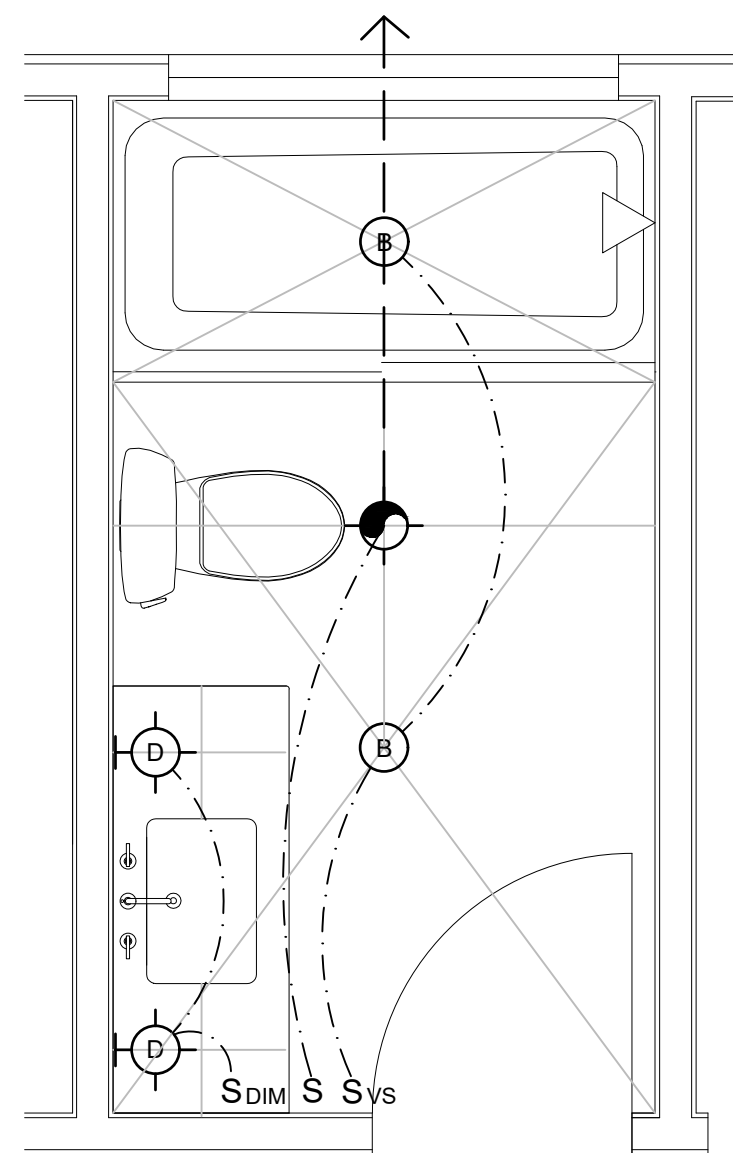
Guest Bath 2 - Lower Level



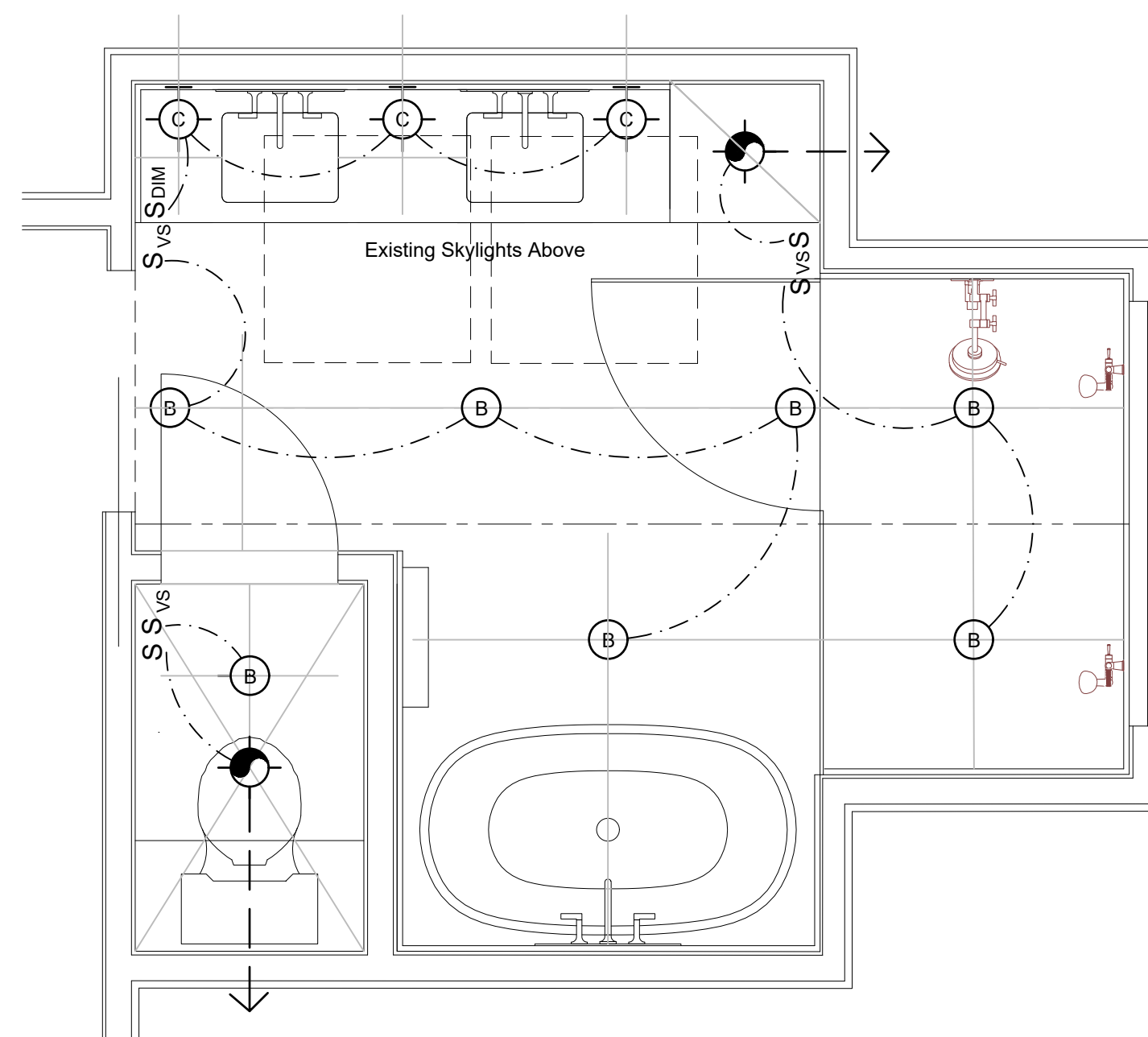
Kitchen - Upper Level



Balcony - Upper Level



Guest Bath 1 - Upper Level

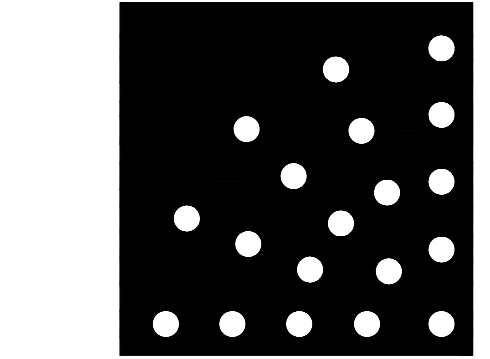


Primary Bath - Lower Level

- S SINGLE POLE SWITCH
- S₃ THREE-WAY SWITCH
- S₄ FOUR-WAY SWITCH
- S_{DIM} DIMMER SWITCH
- S_{OS} OCCUPANCY SENSOR
- S_{VS} VACANCY SENSOR
- MD MOTION DETECTOR

SYMBOL QTY. DESCRIPTION

- (A) 3 EXTERIOR: REPLACE DECORATIVE WALL LIGHT SELECTION BY OWNER
 MFR:
 MODEL NO:
 LAMPS:
 DIMENSIONS:
 NOTES:
- (B) 20 INTERIOR: 4" SURFACE MOUNTED DOWNLIGHT "DMF LIGHTING" DRD55 SERIES - MFR. WHITE FIRE-RATED SHALLOW JUNCTION BOX LED 750 LM (9.0W) 90 + CRI <3 STEP SDCM 3500K TRIAC/EU (5%), 0-10V (1%)
 MFR:
 MODEL NO:
 FINISH:
 HOUSING:
 LAMP:
 COLOR:
 COLOR TEMP:
 DIMMING:
 DIMENSIONS:
 LOCATION:
 NOTES: 4" ROUND GENERAL INTERIOR DOWNLIGHTING & IN FRONT BALCONY SOFFIT WET LOCATION RATED - SUITED FOR EXTERIOR USE AND IN SHOWERS MD = MOTION DETECTOR @ BALCONY SOFFIT + SWITCH IN GARAGE
- (C) 3 INTERIOR: DECORATIVE WALL SCONCES "BRIZO" MFR. MODEL NO. FINISH: LAMP: DIMENSIONS: LOCATIONS: NOTES: PRIMARY BATHROOM VANITY DIMMABLE
- (D) 4 INTERIOR: DECORATIVE WALL SCONCES "KOHLER" "PURIST" 13" TALL BATHROOM SCONCE 27262-SC01-2GL. BRUSHED MODERNE BRASS LED
 MFR:
 MODEL NO:
 FINISH:
 LAMP:
 DIMENSIONS:
 LOCATIONS:
 NOTES: 2 EACH IN GUEST BATHS 1 & 2 DIMMABLE
- (E) 4 INTERIOR: UNDER-CABINET LIGHTS
 MFR:
 MODEL NO:
 FINISH:
 LAMP:
 DIMENSIONS:
 LOCATIONS:
 NOTE: KITCHEN UNDER-CABINET LIGHTING DIMMABLE
- (F) 4 INTERIOR: EXHAUST VENT FAN ONLY "PANASONIC - WHISPERSENSE COLLECTION" FV-0511VQC1 110 CFM, 0.3 SONE, CEILING MOUNTED EXHAUST FAN WITH MOTION & HUMIDITY SENSORS
 MFR:
 MODEL:
 LOCATIONS:
 NOTES: BATHROOMS, TOILET ROOMS, LAUNDRY VENT TO EXTERIOR
- (CS) (E) INTERIOR: COMBINATION SMOKE & CARBON MONOXIDE DETECTOR CEILING SURFACE MOUNTED "KIDDIE SAFETY" P3010-K CO MFR. WHITE DIMENSIONS: LOCATION: TOP & BOTTOM OF STAIR 1, HALLWAY TO SLEEPING ROOMS SEALED LITHIUM-ION BATTERY - 10 YEAR CALIFORNIA COMPLIANT
 MFR:
 MODEL NO:
 FINISH:
 DIMENSIONS:
 LOCATION:
 NOTES: VERIFY ALL REQUIRED LOCATIONS TO DETERMINE ALL EXISTING UNITS ARE COMPLIANT
- (S) INTERIOR: SMOKE DETECTOR CEILING SURFACE MOUNTED "KIDDIE SAFETY" P3010H MFR. WHITE DIMENSIONS: LOCATION: SLEEPING ROOMS SEALED LITHIUM-ION BATTERY - 10 YEAR CALIFORNIA COMPLIANT
 MFR:
 MODEL NO:
 FINISH:
 DIMENSIONS:
 LOCATION:
 NOTES: VERIFY ALL REQUIRED LOCATIONS TO DETERMINE ALL EXISTING UNITS ARE COMPLIANT



THE SIENNA COMPANY, INC.

Project Development Consulting
 Architecture
 Planning
 Construction Management

406 Calle Principal
 Monterey, CA 93940

Telephone: 831.915.8143
 Email: arobinson@thesiennacompany.com



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Consultants:

Delimon Residence Remodel

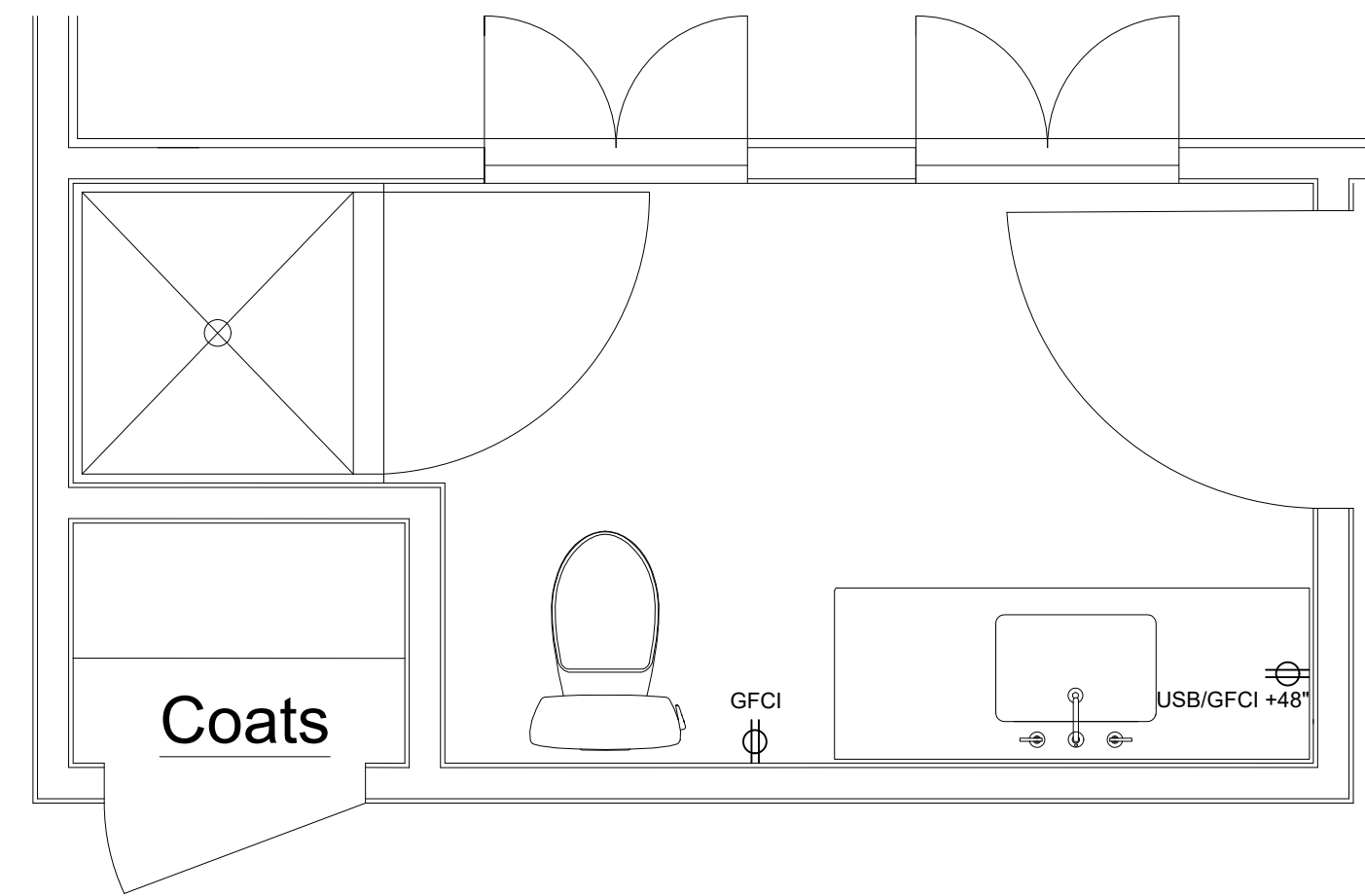
Project Address:
 5 San Carlos NW of 3rd Ave.
 Carmel-by-the-Sea, CA 93923
 APN 010-125-018-000

Project No: 2315.002
 Issue Date: 10/15/2024
 Revisions:

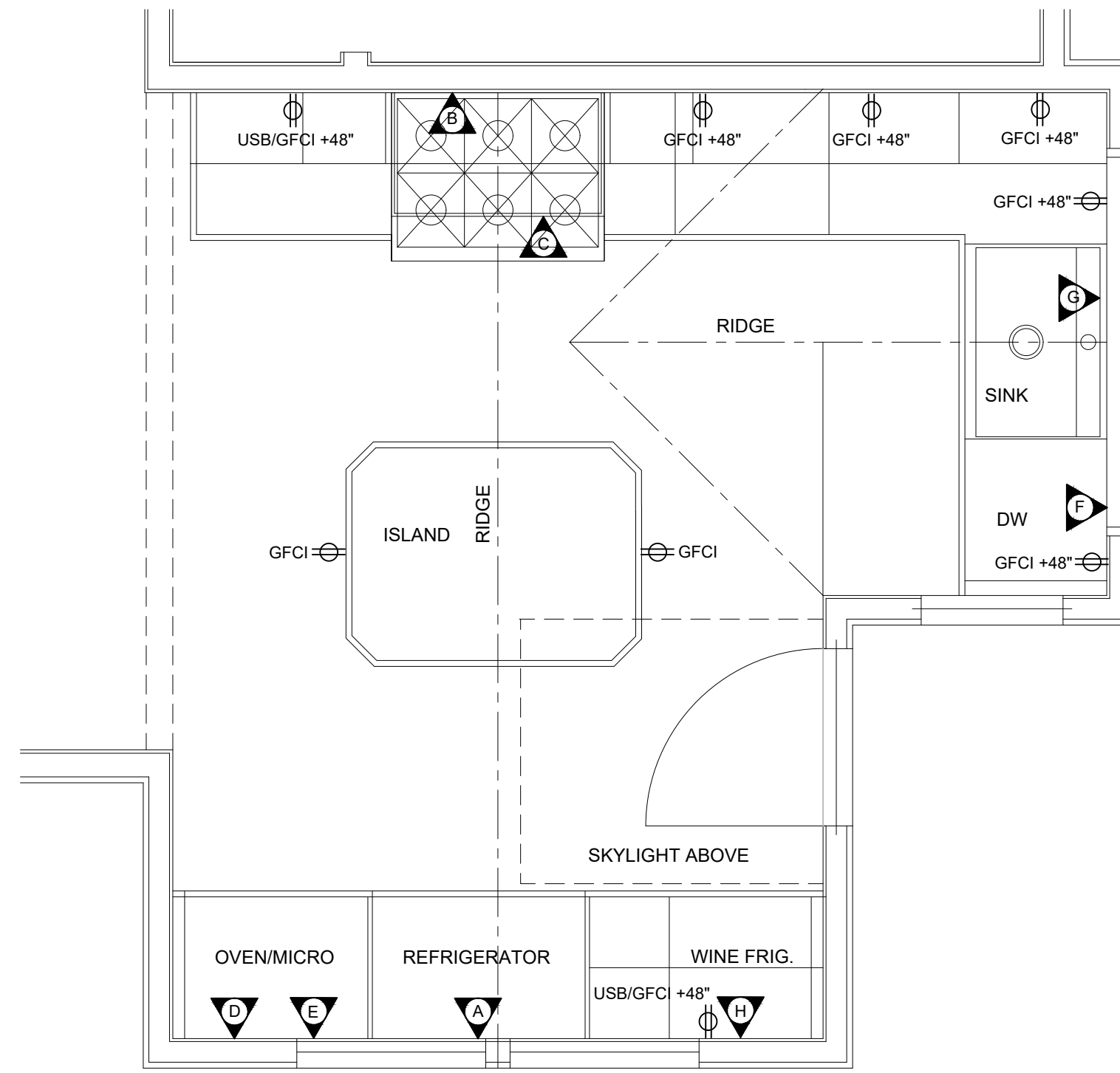
Sheet Title:
 Lighting Plans

PL102

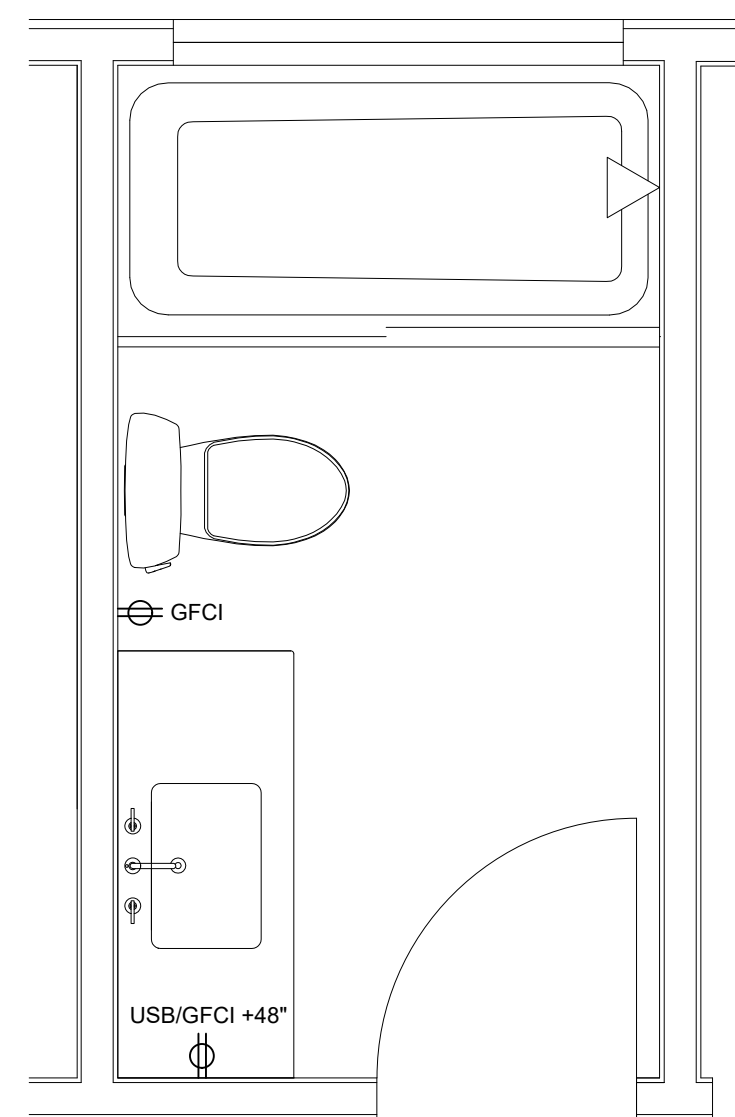
Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



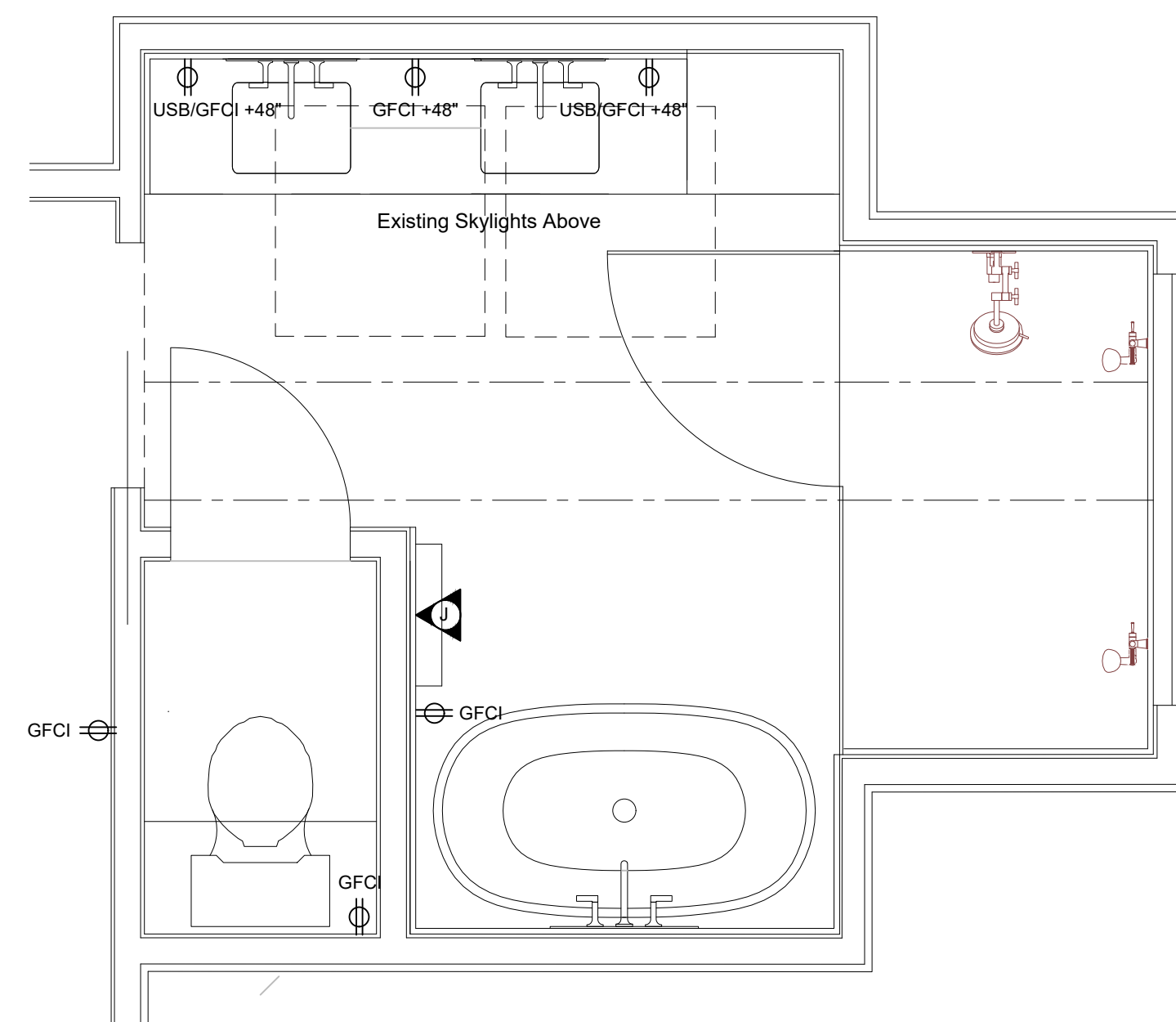
Guest Bath 1 - Upper Level



Kitchen - Upper Level



Guest Bath 2 - Lower Level



Primary Bath - Lower Level

- ⊕ DUPLEX RECEPTACLE OUTLET
 - GFCI *GROUND FAULT CIRCUIT INTERRUPTED
 - AFCI *ARC FAULT CIRCUIT INTERRUPTED
 - WP *WEATHER PROOF
 - S *INTEGRAL SWITCH
 - IG *ISOLATED GROUND
 - XP *EXPLOSION PROOF
 - USB *USB PORT
 - ⊕-⊕ DUPLEX RECEPTACLE OUTLET-SPLIT WIRED
 - ⊕ DUPLEX RECEPTACLE OUTLET IN FLOOR
 - ⊕ DUPLEX RECEPTACLE OUTLET IN CEILING
 - ⊕ 220V RECEPTACLE OUTLET
 - ⊕ TRIPLEX RECEPTACLE OUTLET
 - ⊕ QUADRUPLEX RECEPTACLE OUTLET
 - ⊕ SINGLE RECEPTACLE OUTLET
 - ⚠ SPECIAL PURPOSE OUTLET (DESIGNATE - SEE LIST BELOW)
 - ⚠ GARAGE DOOR OPENER
 - ⚠ SMOKE ALARM HARD-WIRED W/ BATTERY BACKUP AND INTER-CONNECTED THROUGHOUT BUILDING
- SPECIAL PURPOSE OUTLET - SEE KITCHEN APPLIANCE SPECIFICATIONS AND INSTALLATION AND ELECTRICAL OUTLET LOCATIONS
- A REFRIGERATOR
 - B GAS RANGETOP
 - C RANGETOP EXHAUST HOOD
 - D OVEN
 - E MICROWAVE (SPEED OVEN)
 - F DISHWASHER
 - G DISPOSAL
 - H WINE REFRIGERATOR
 - I TOWEL WARMER

GENERAL NOTES:

- THE GFI REQUIREMENT WITHIN 6' OF SINKS NOW INCLUDES THE KITCHEN SINK, SO ADJACENT GARBAGE DISPOSALS ALSO REQUIRE GFI PROTECTION [CEC 210.8(A) (7)] SIMILARLY, GFI REQUIREMENTS NOW APPLY THROUGH DOORWAYS, SO BEDROOM AND HALL RECEPTACLES WITHIN 6' OF A BATHROOM SINK MUST ALSO BE GFCI PROTECTED. [CEC 210.8]
- WHEN SERVICE EQUIPMENT IS REPLACED, TYPE 1 OR 2 SURGE PROTECTION DEVICES MUST BE INSTALLED. [CEC 230.67(D)]

KITCHEN APPLIANCES

REFRIGERATOR
 MFR: SUB-ZERO
 MODEL: 36" CLASSIC FRENCH DOOR REFRIGERATOR/FREEZER
 PANEL READY
 MODEL NO: CL365UFD/O

WINE REFRIGERATOR
 MFR: TO BE DETERMINED BY OWNER
 MODEL:
 MODEL NO:
 NOTES:

36" GAS RANGETOP
 MFR: WOLF
 MODEL: 36" SEALED BURNER RANGETOP - 6 BURNERS
 MODEL NO: SRT366
 NOTES: ELECTRICAL SERVICE, 120 VAC, 60 Hz
 15 AMP DEDICATED CIRCUIT
 GAS SUPPLY, 3/4" ID LINE
 GAS INLET, 1/2" NPT FEMALE

RANGETOP EXHAUST HOOD
 MFR: WOLF - IN LINE EXHAUST
 MODEL: 36" WALL-MOUNTED CHIMNEY HOOD
 MODEL NO: PW362418
 NOTES: 1100 CFM
 COMPATIBLE WITH SRT366 GAS RANGE HOOD SPECIFICATIONS AND INSTALLATION GUIDE AVAILABLE UNDER SEPARATE COVER

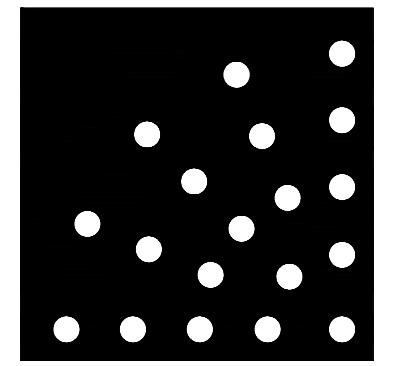
BUILT-IN SINGLE OVEN OVEN
 MFR: WOLF
 MODEL: 30" M SERIES PROFESSIONAL BUILT-IN SINGLE OVEN
 MODEL NO: SO3050PM/S/P
 NOTES: INSTALLED IN COMBINATION WITH 30" SPEED OVEN

30" SPEED OVEN (MICROWAVE)
 MFR: WOLF
 MODEL: 30" M SERIES PROFESSIONAL SPEED OVEN
 MODEL NO: 2PO30PM/S/P
 NOTES: INSTALLED IN COMBINATION WITH 30" BUILT-IN SINGLE OVEN

DISHWASHER: (TO BE CONFIRMED WITH OWNER)
 MFR: BOSCH
 MODEL: 800 SERIES
 MODEL NO: CUSTOM PANEL SHV78CM3N
 NOTE: ENERGY STAR CERTIFIED

KITCHEN FAUCET (TO BE CONFIRMED WITH OWNER)
 MFR: HANS GROHE
 MODEL: ALLEGRO E GOURMET
 MODEL NO: 2-SPRAY, HIGHARC KITCHEN FAUCET, PULL-DOWN 04066860

DISPOSAL: (TO BE CONFIRMED WITH OWNER)
 MFR: INSINKERATOR
 MODEL: PRO SERIES 1.1 HP FOOD WASTE DISPOSAL WITH EVOLUTION SERIES TECHNOLOGY ULTRA-QUIET
 MODEL NO: PRO1100XLCORD



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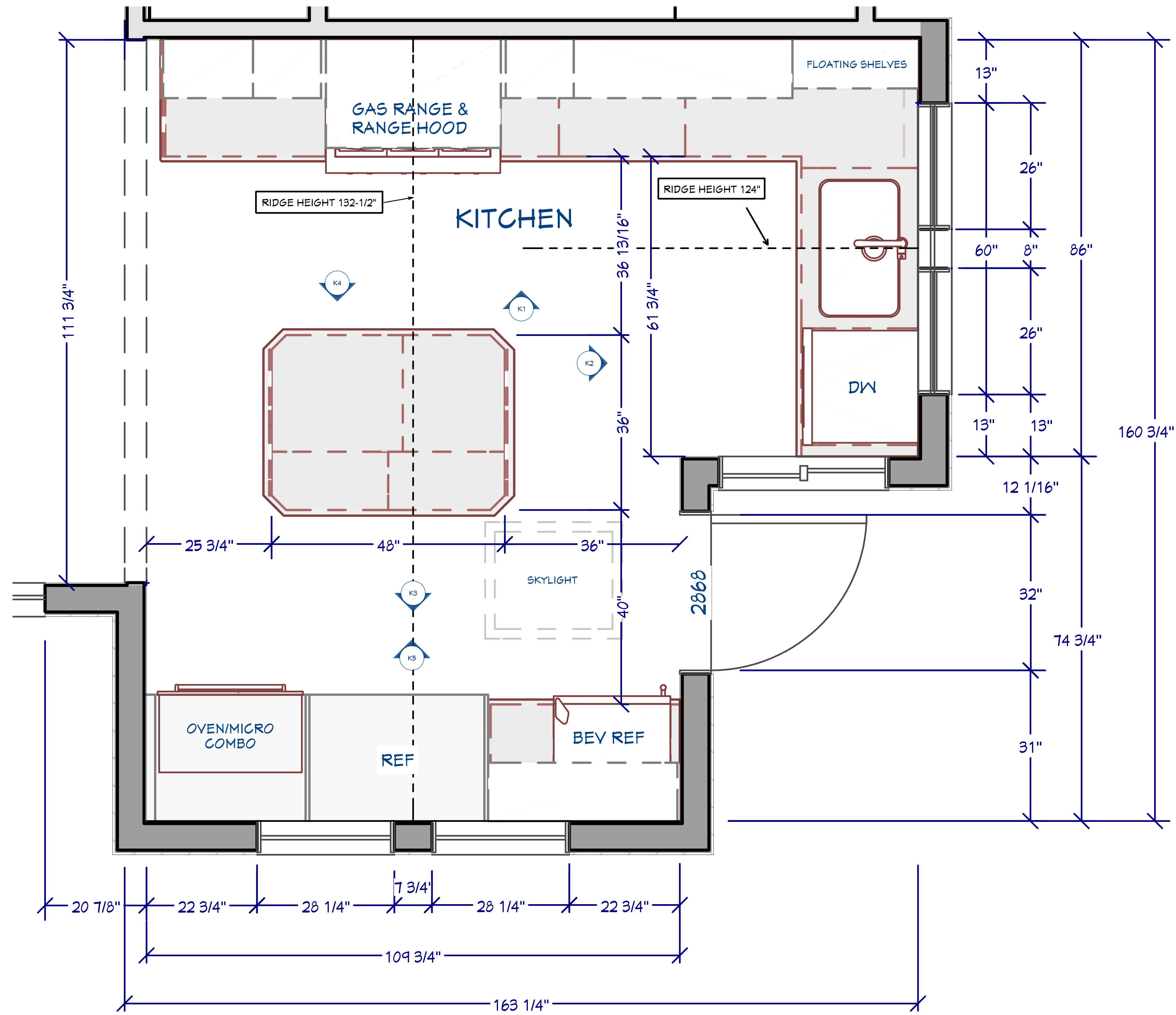
Delimon Residence Remodel

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Project No: 2315.002
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 Revisions:

Sheet Title:
 Electrical Power Plans



Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner

PROVIDED BY:
 Revive Design LLC
 Salinas, CA 93901

DRAWN BY:
 A. Figueroa

CLIENT:
 Kurt & Laurie
 Delimon

ADDRESS:
 5 San Carlos Ave.
 Carmel, CA 93923

TREETOPS REMODEL

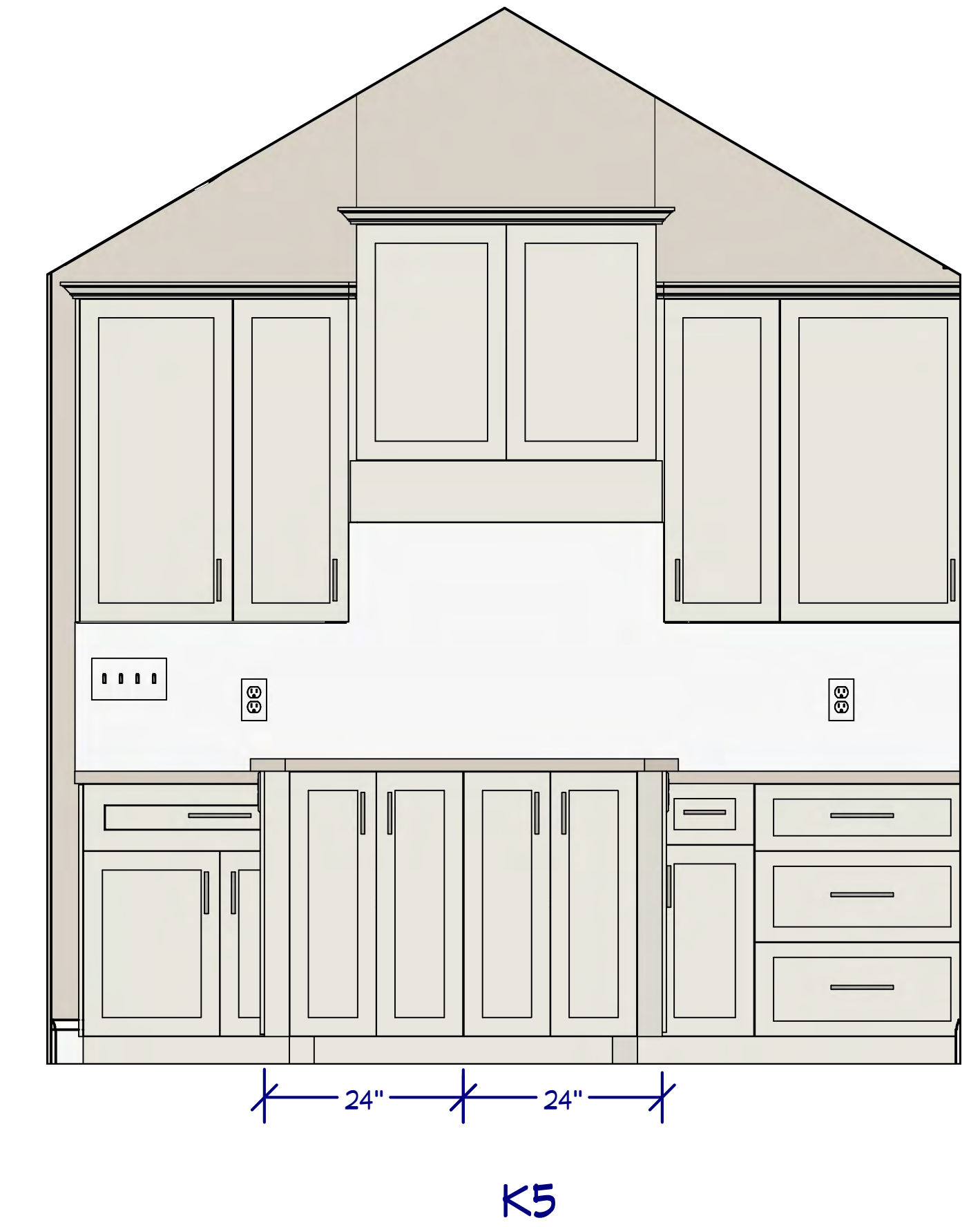
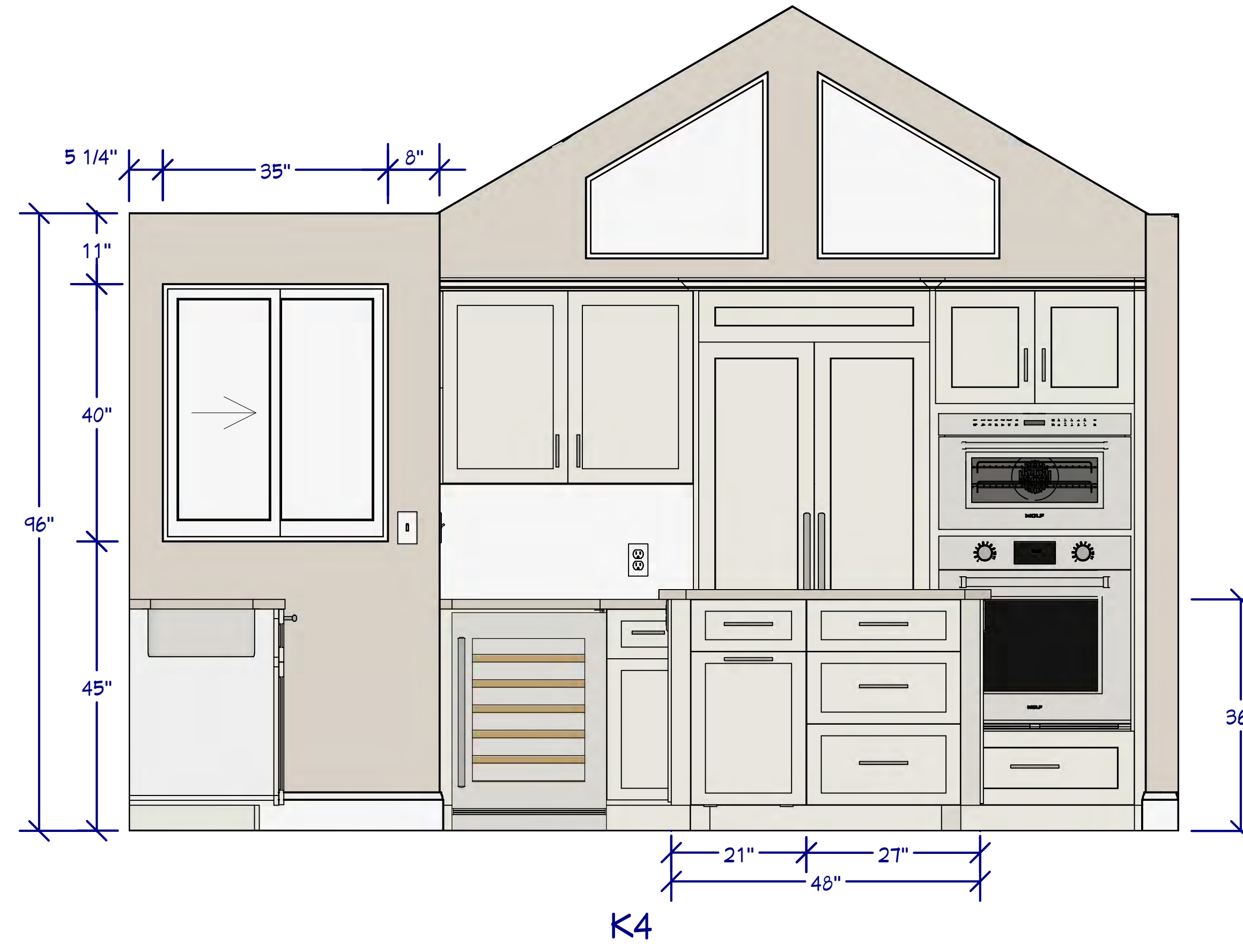
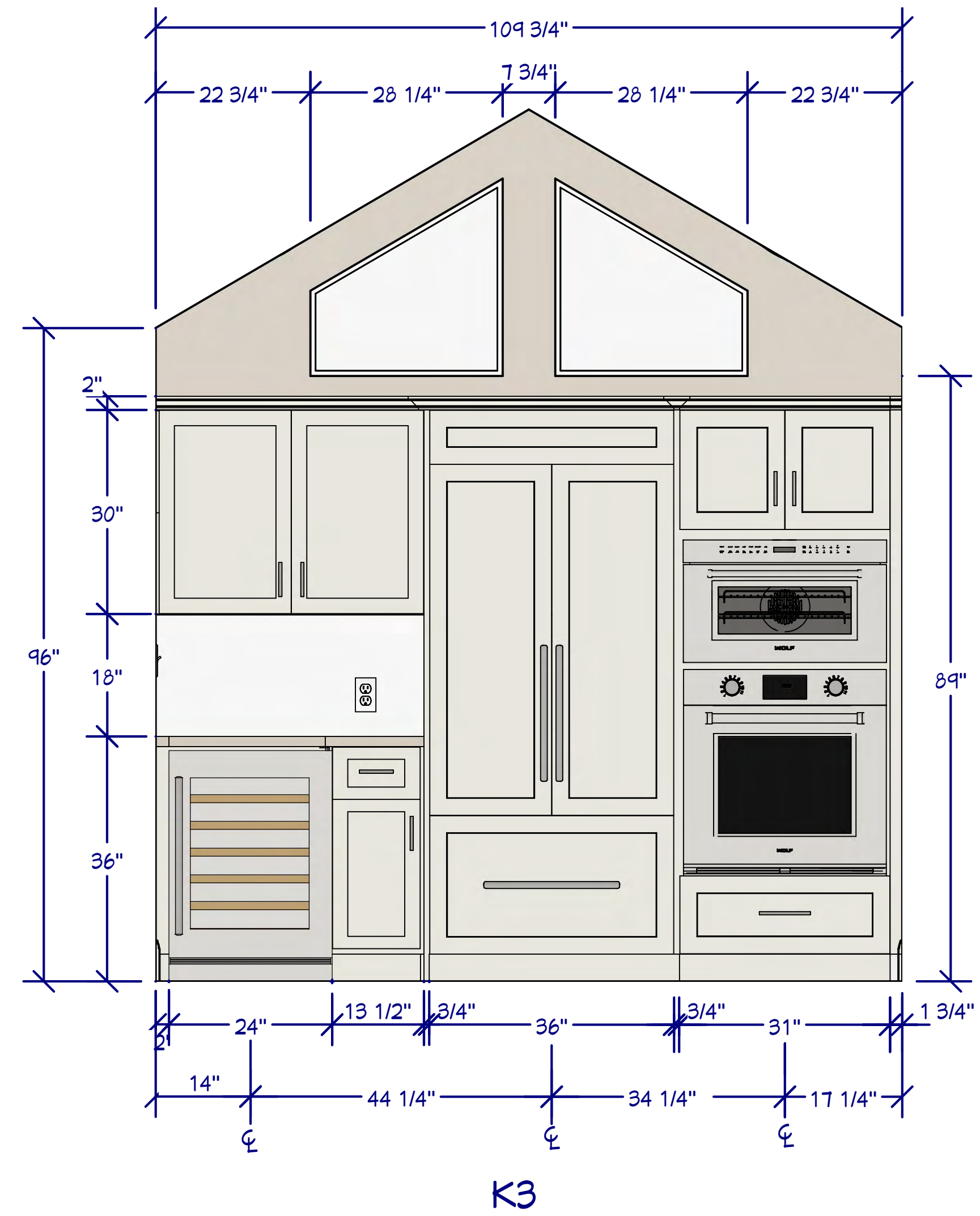
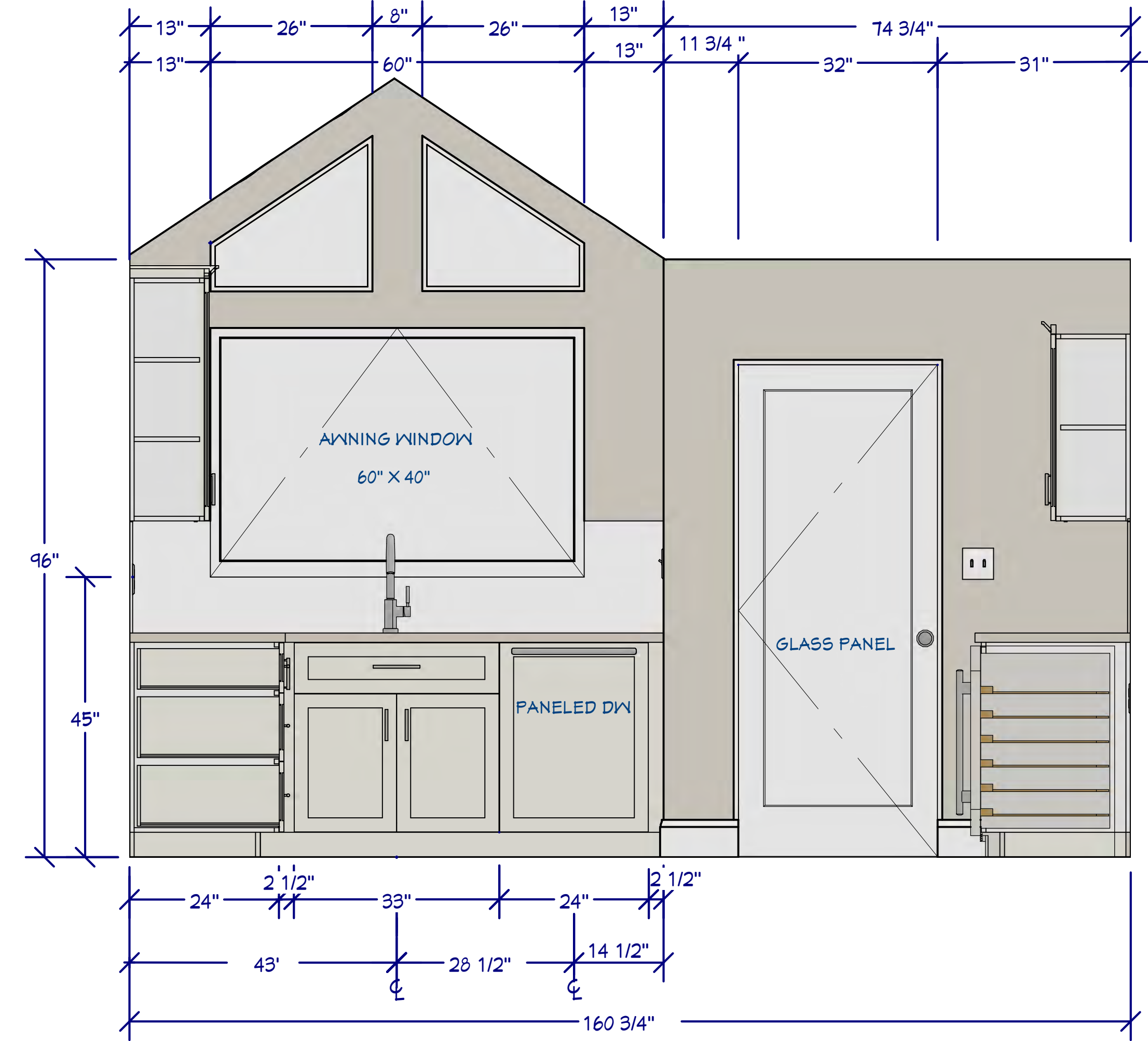
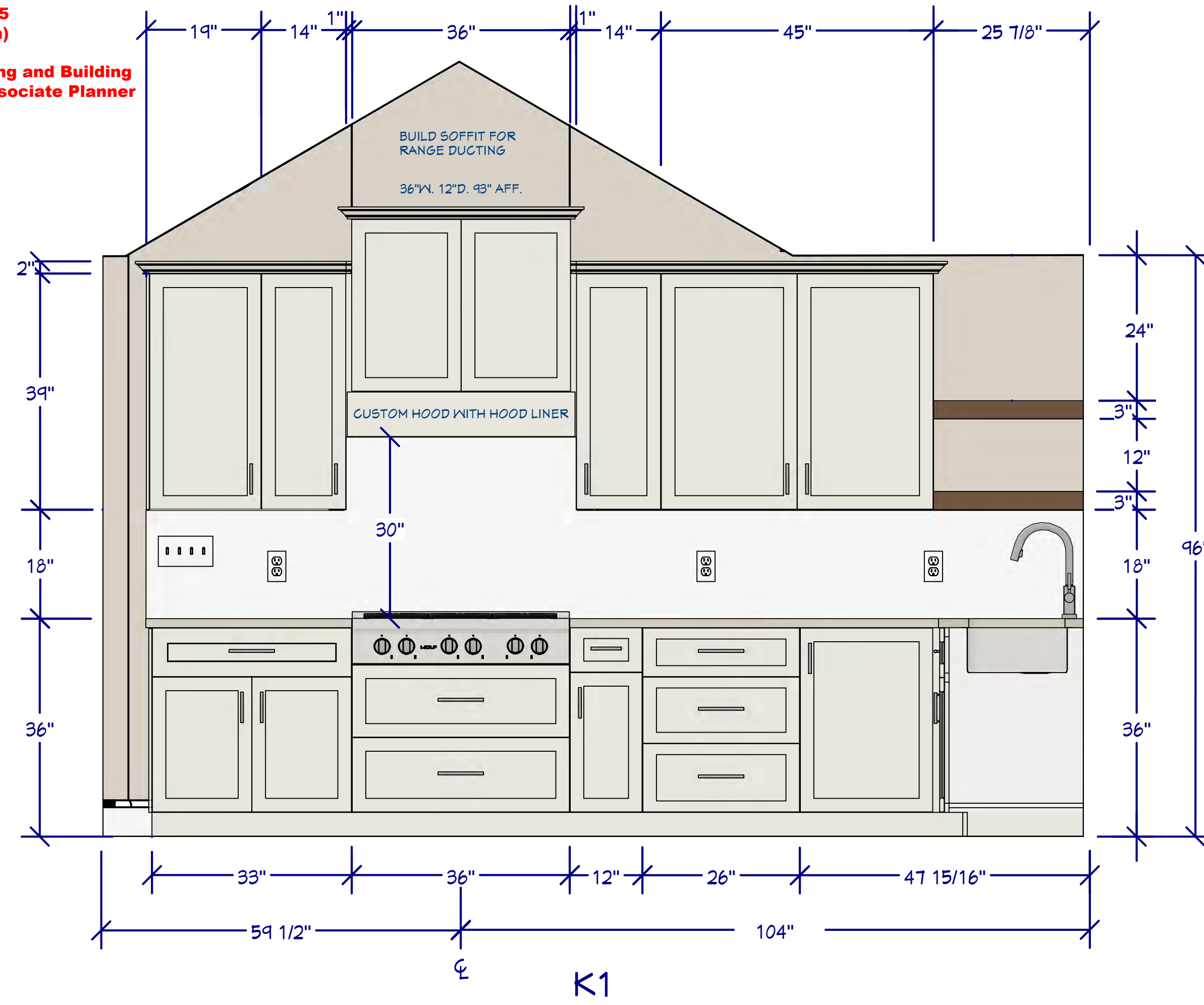
KITCHEN
 ELEVATIONS

DATE:
 5/15/2024
 REV:
 8/12/2024

SCALE:
 3/4" = 1'

SHEET:
2

****SEE CABINET
 DRAWINGS AND
 DESIGN BINDER FOR
 ADDITIONAL DETAILS
 AND CABINET
 INSTALLATION ****



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DS 24322 (Delimon)
Carmel-by-the-Sea
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Jacob Olander, Associate Planner



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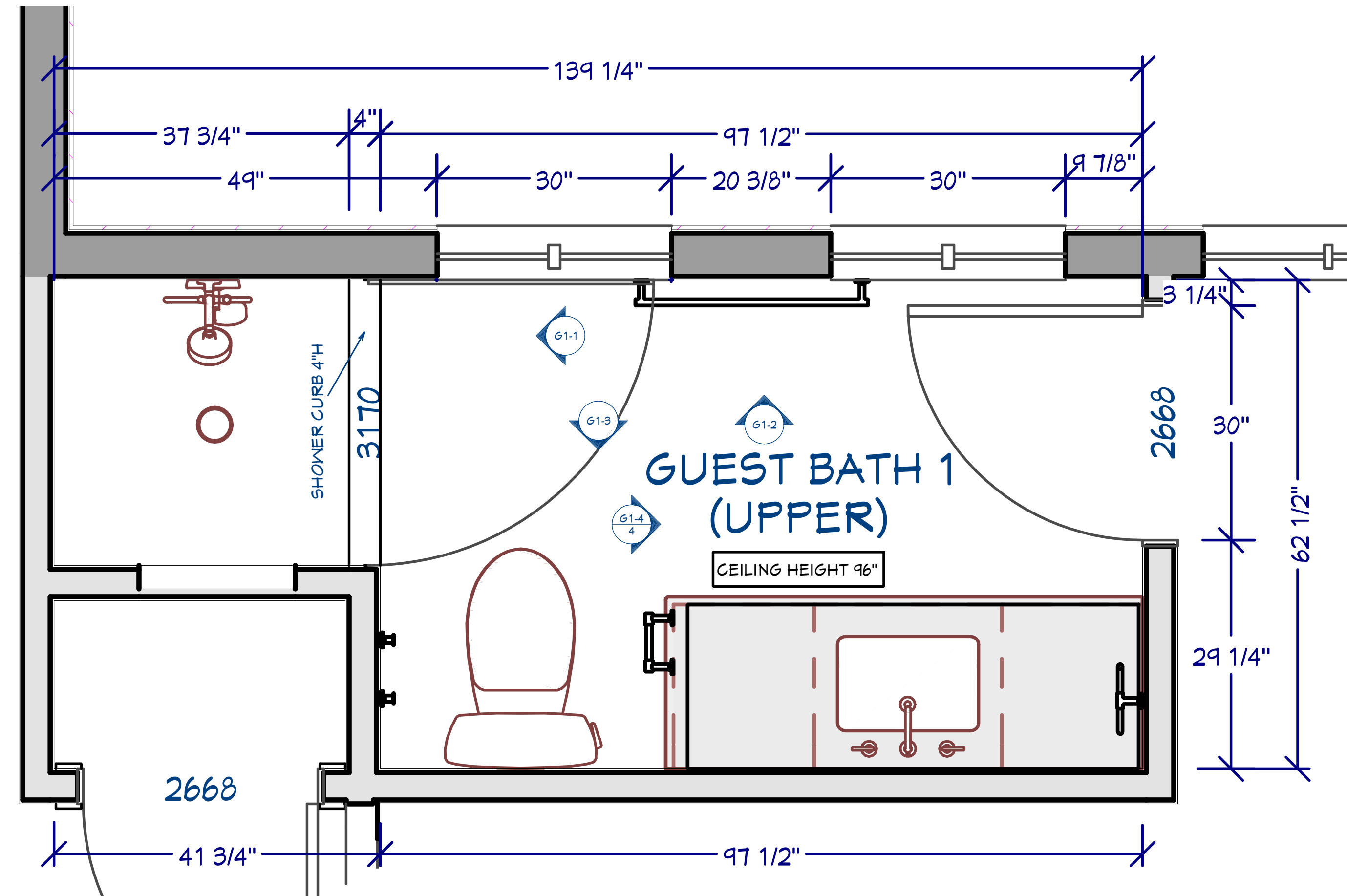
TREETOPS REMODEL

GUEST BATHROOM 1
(UPPER)
FLOOR PLAN

DATE:
5/15/2024
REV:
8/12/2024

SCALE:
1" = 1'

SHEET:
3



Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
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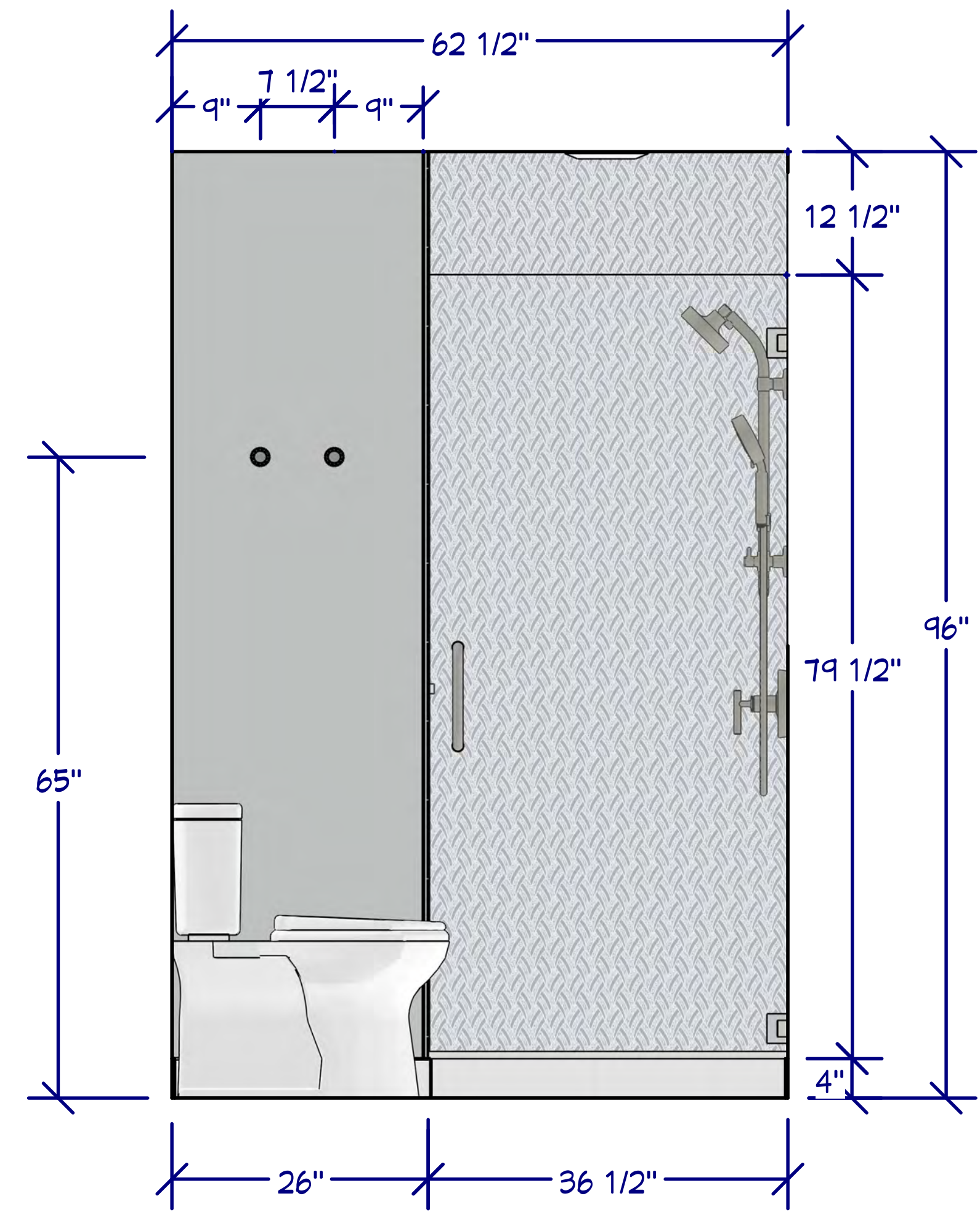
TREETOPS REMODEL

GUEST BATHROOM 1
 (UPPER)
 ELEVATIONS

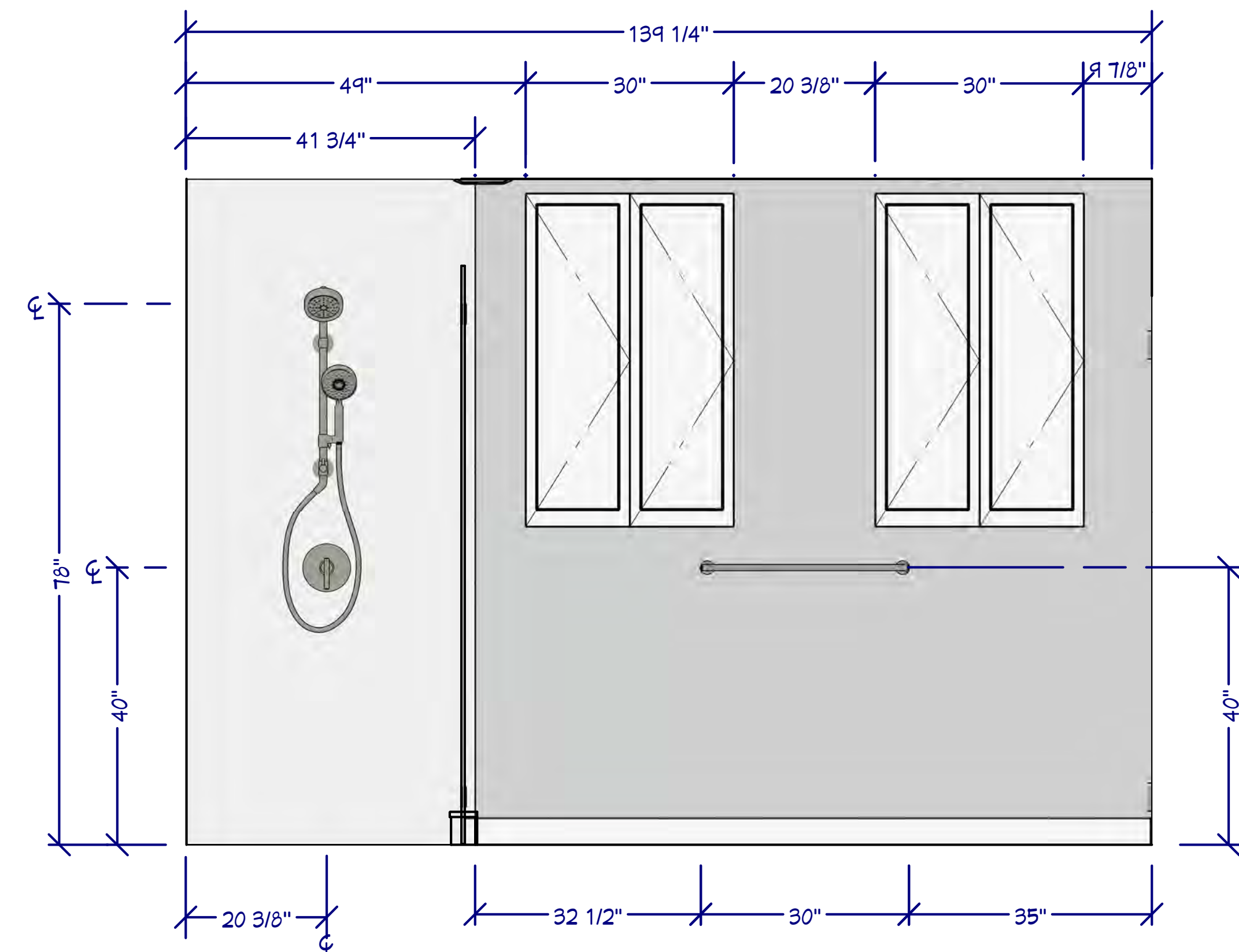
DATE:
 5/15/2024
 REV:
 8/12/2024

SCALE:
 1" = 1'

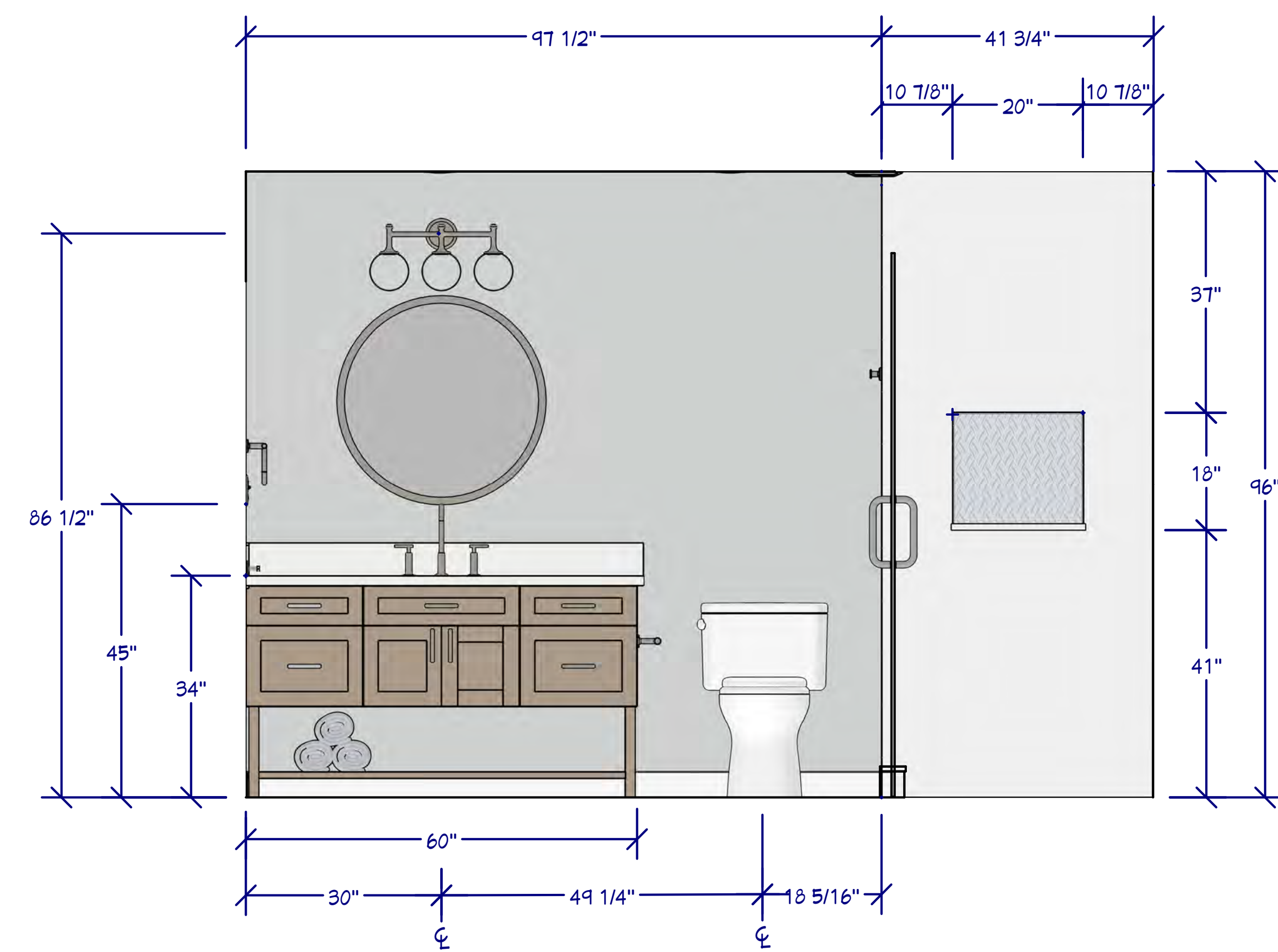
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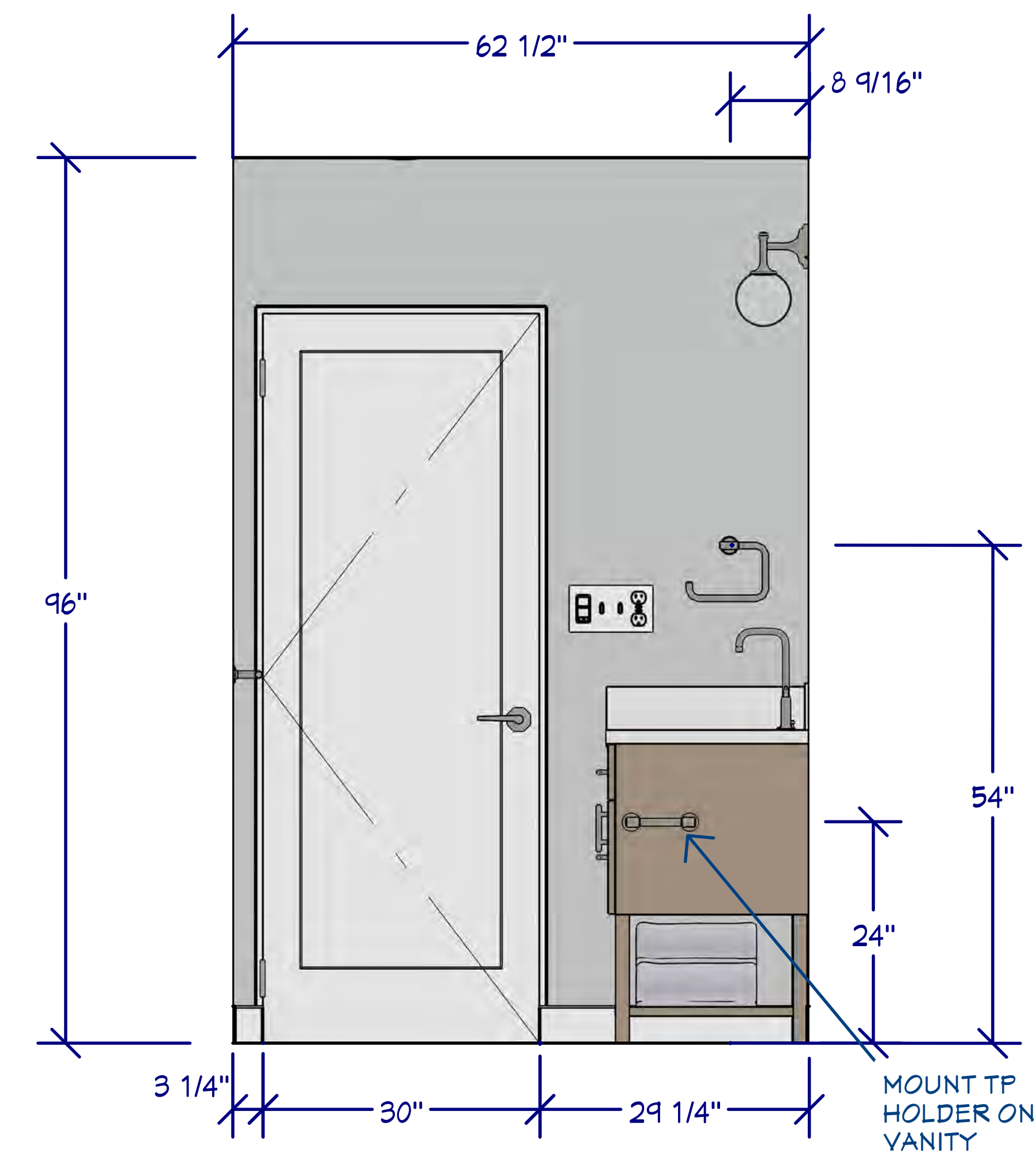
G1-1



G1-2



G1-3



G1-4

SHOWER WALLS & NICHE WRAP

Approved 1/30/2025

DS 24322 (Delimon)

Community Planning and Building

Levi J. Miller, Associate Planner

Sonoma Tile - PURE Matte White 8"x20"

Ceramic Tile

Pattern: Horizontal 50% Offset

Edging: Matching Trim Tile (Universal Trim)

Grout: 1/16"

ACCENT WALL & NICHE

MIR Mosaic- Artemis

Pattern: Mosaic

SHOWER FLOORS

Happy Floors- Thassos

Penny Round

Pattern: Mosaic

NICHE LEDGE AND SHOWER CURB

Thassos Marble

VANITY TOP & BACKSPLASH

Thassos Marble

FLOORING & BASEBOARD

Ergon- Aurelia White 12"x24"

Porcelain Tile

Pattern: Vertical 50% Offset

Edging: Schluter

Grout: 1/8"



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Revive Design LLC
Sallinas, CA 93901

DRAWN BY:
A. Figueroa

CLIENT:
Kurt & Laurie
Delimon

ADDRESS:
5 San Carlos Ave.
Carmel, CA 93923

TREETOPS REMODEL

GUEST BATHROOM 1
(UPPER)
TILE & STONE

DATE:
5/15/2024
REV:
8/12/2024

SCALE:
No Scale

SHEET:
5

Approved 1/30/2025
DS 24322 (Delimon)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Associate Planner



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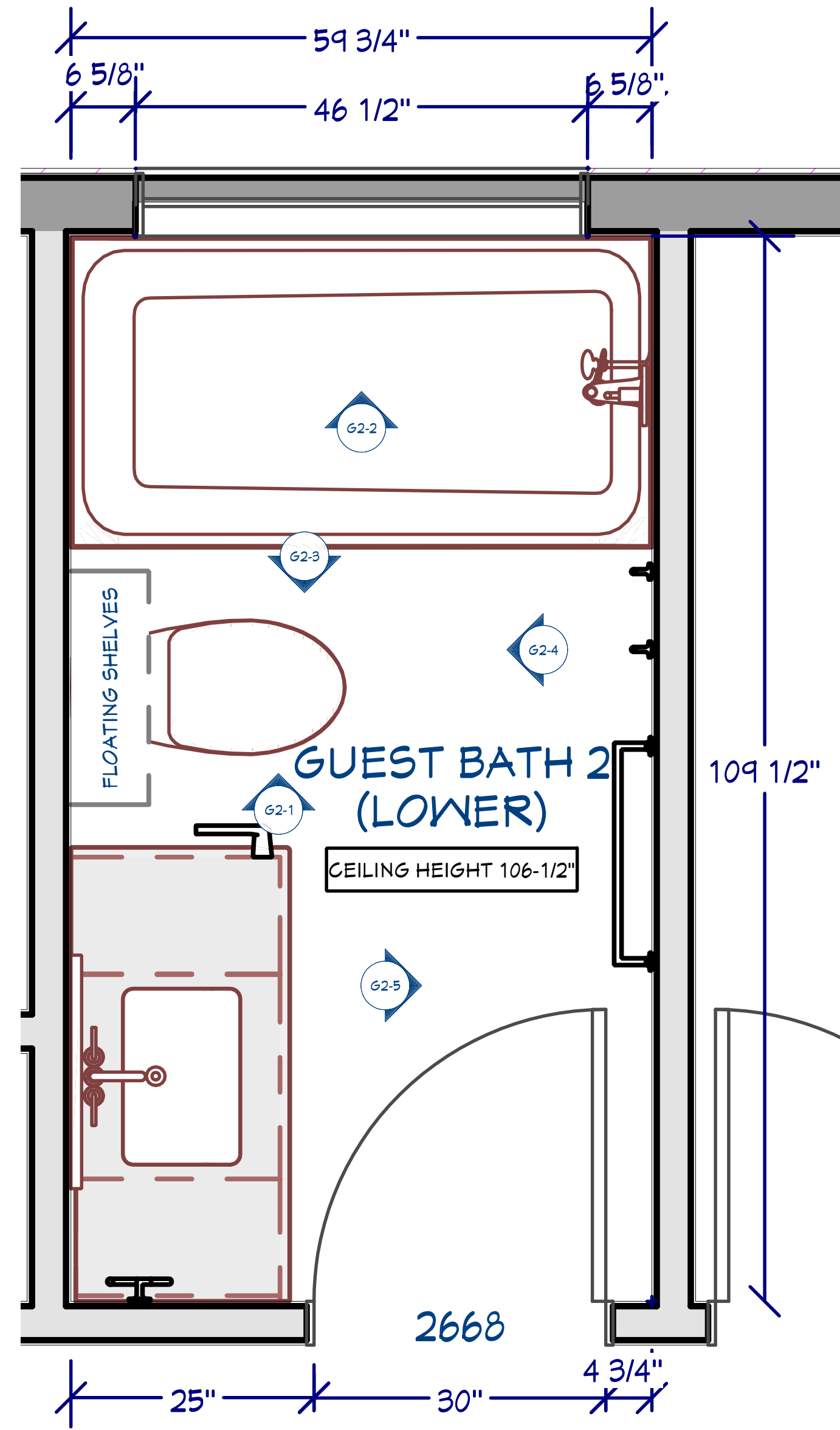
TREETOPS REMODEL

GUEST BATHROOM 2
(LOWER)
FLOOR PLAN

DATE:
5/15/2024
REV:
8/12/2024

SCALE:
1" = 1'

SHEET:
6



Approved 1/30/2025
 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner



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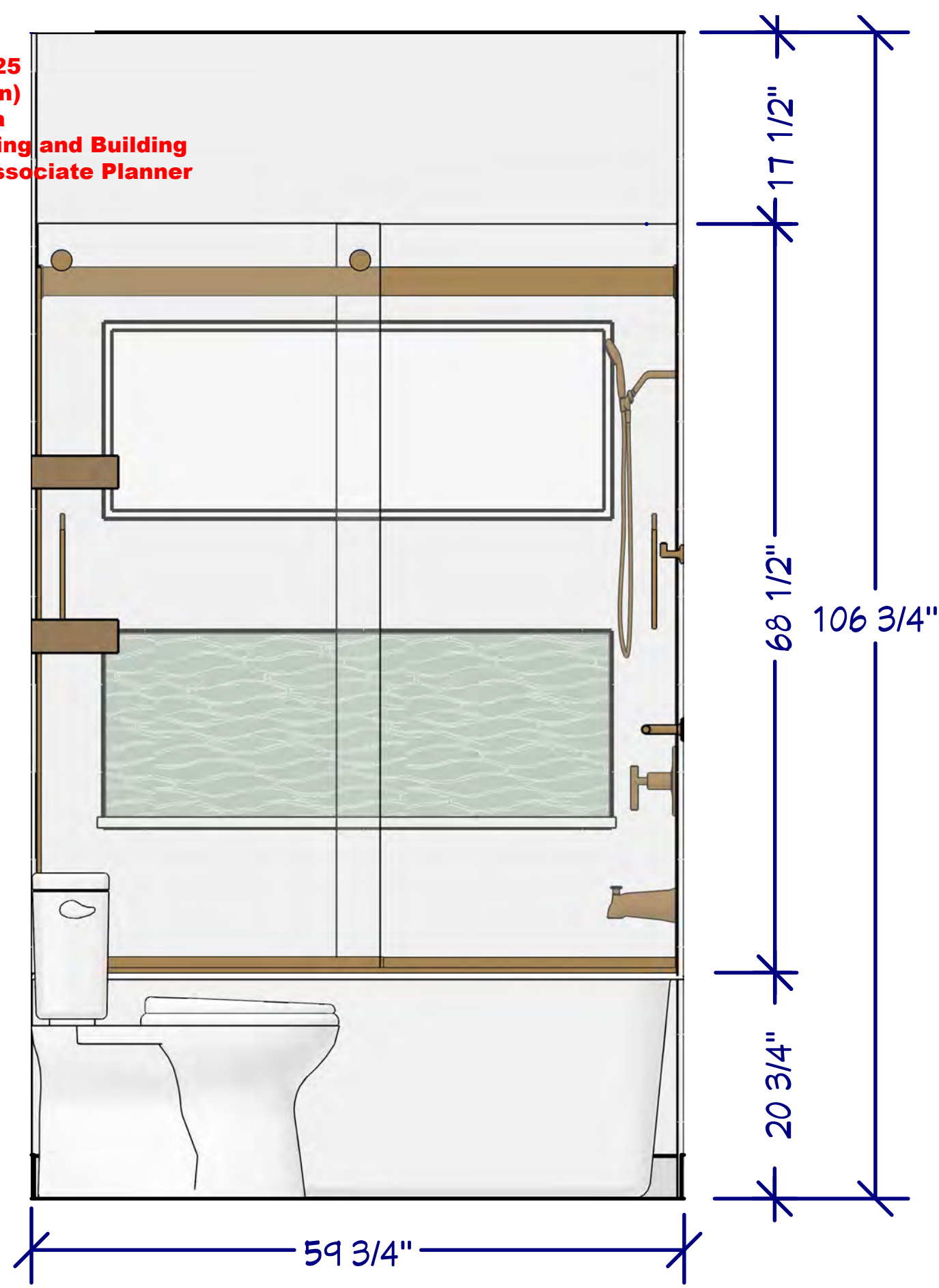
TREETOPS REMODEL

GUEST BATHROOM 2
 (LOWER)
 ELEVATIONS

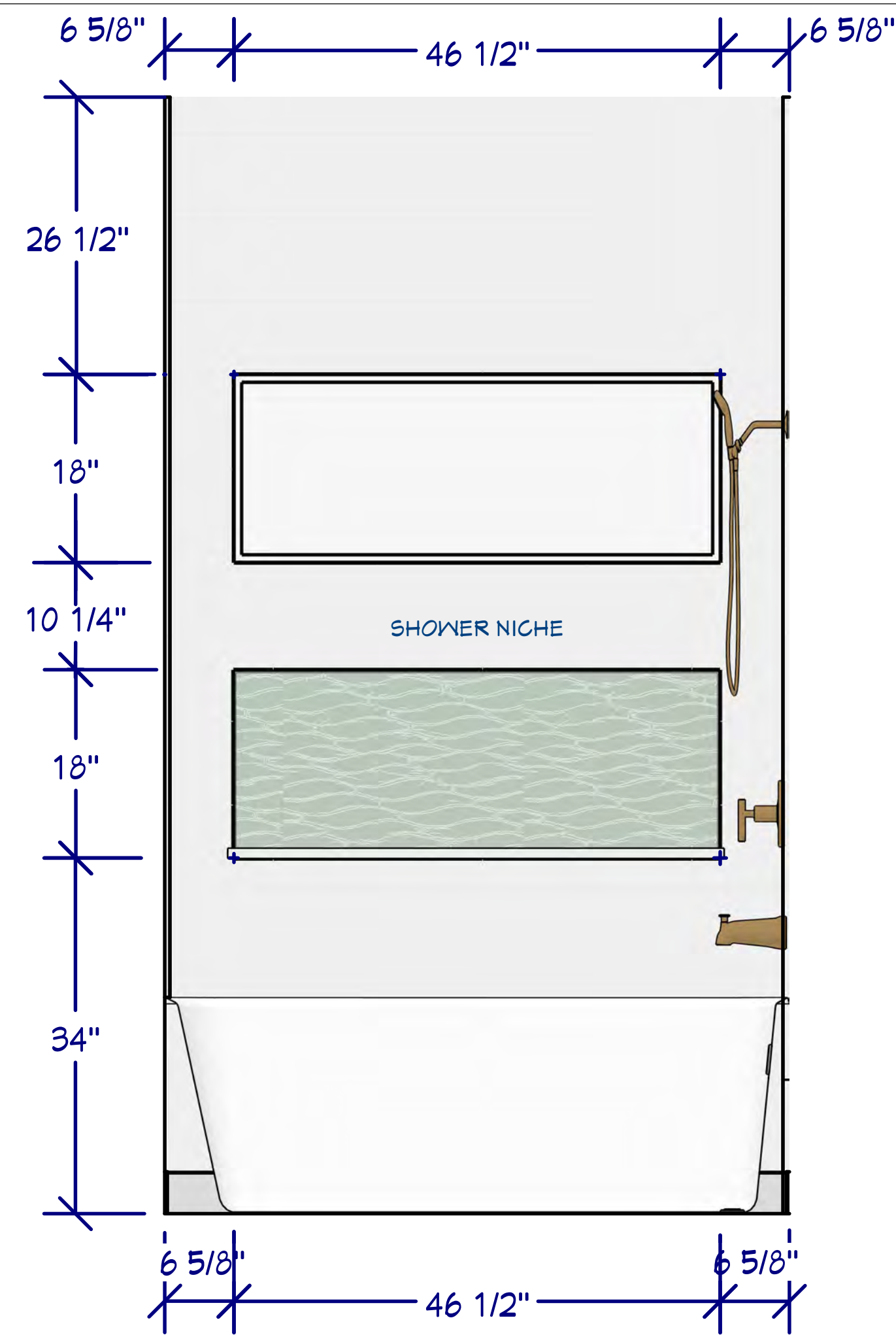
DATE:
 5/15/2024
 REV:
 8/12/2024

SCALE:
 1" = 1'

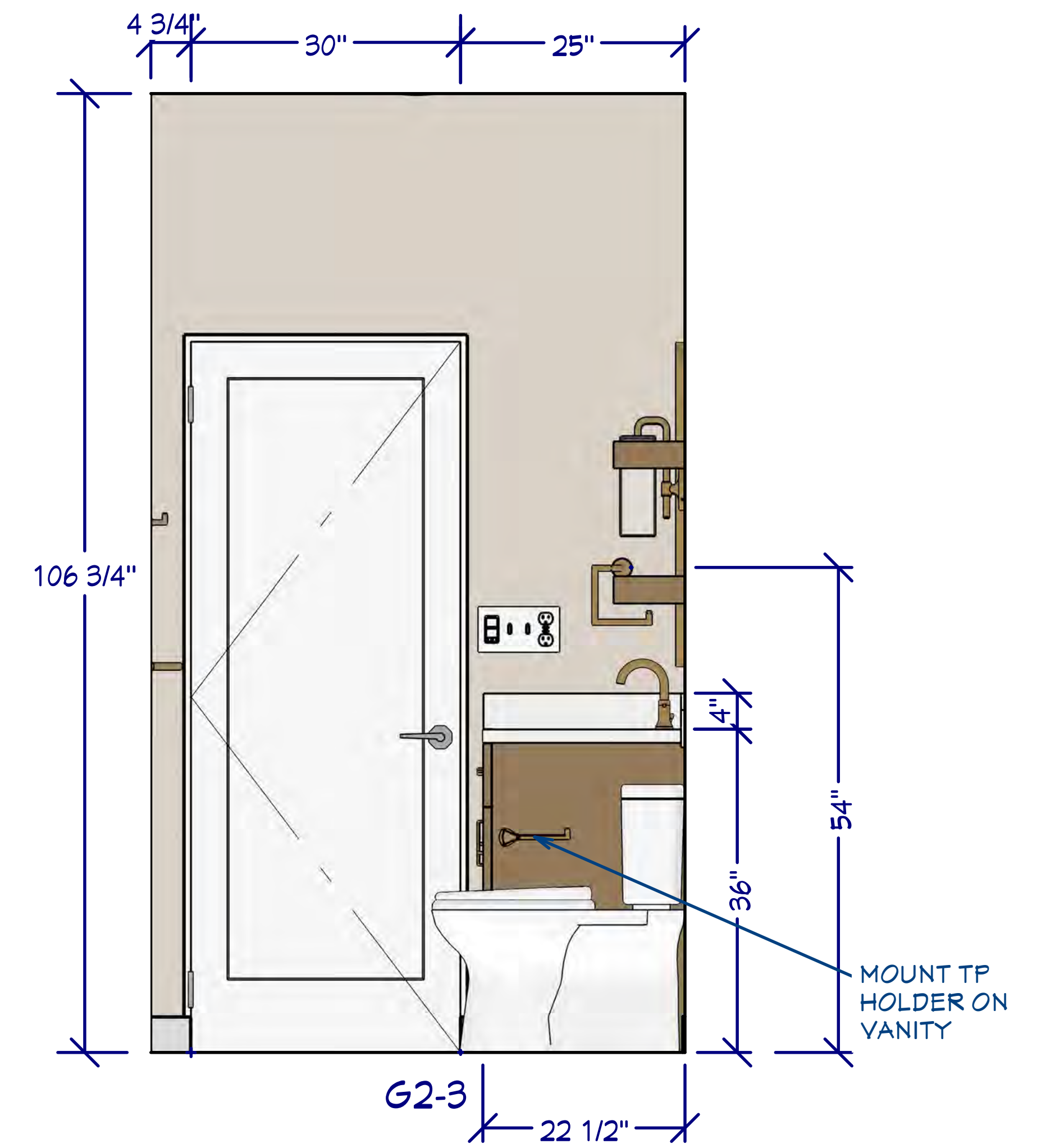
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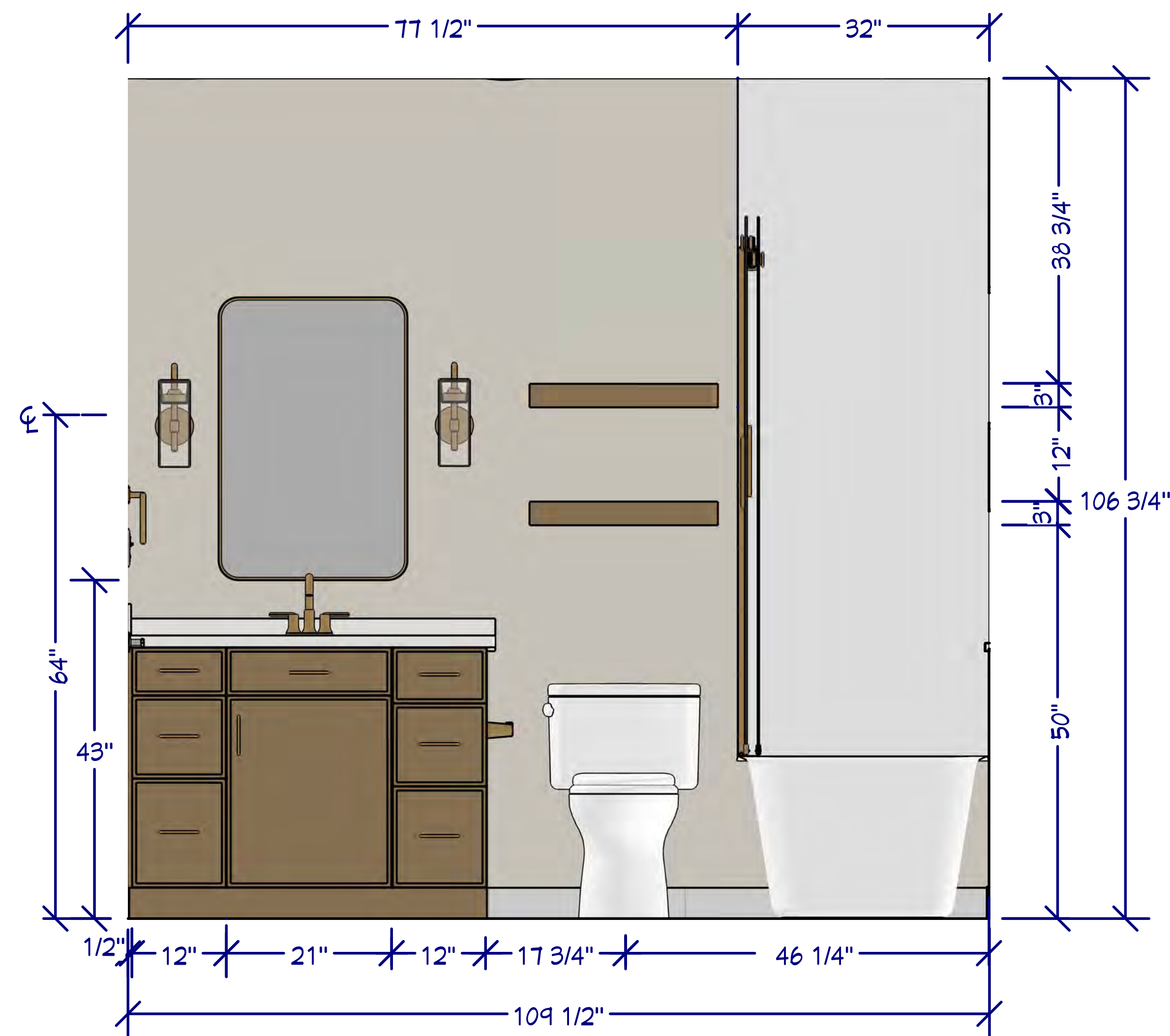
G2-1



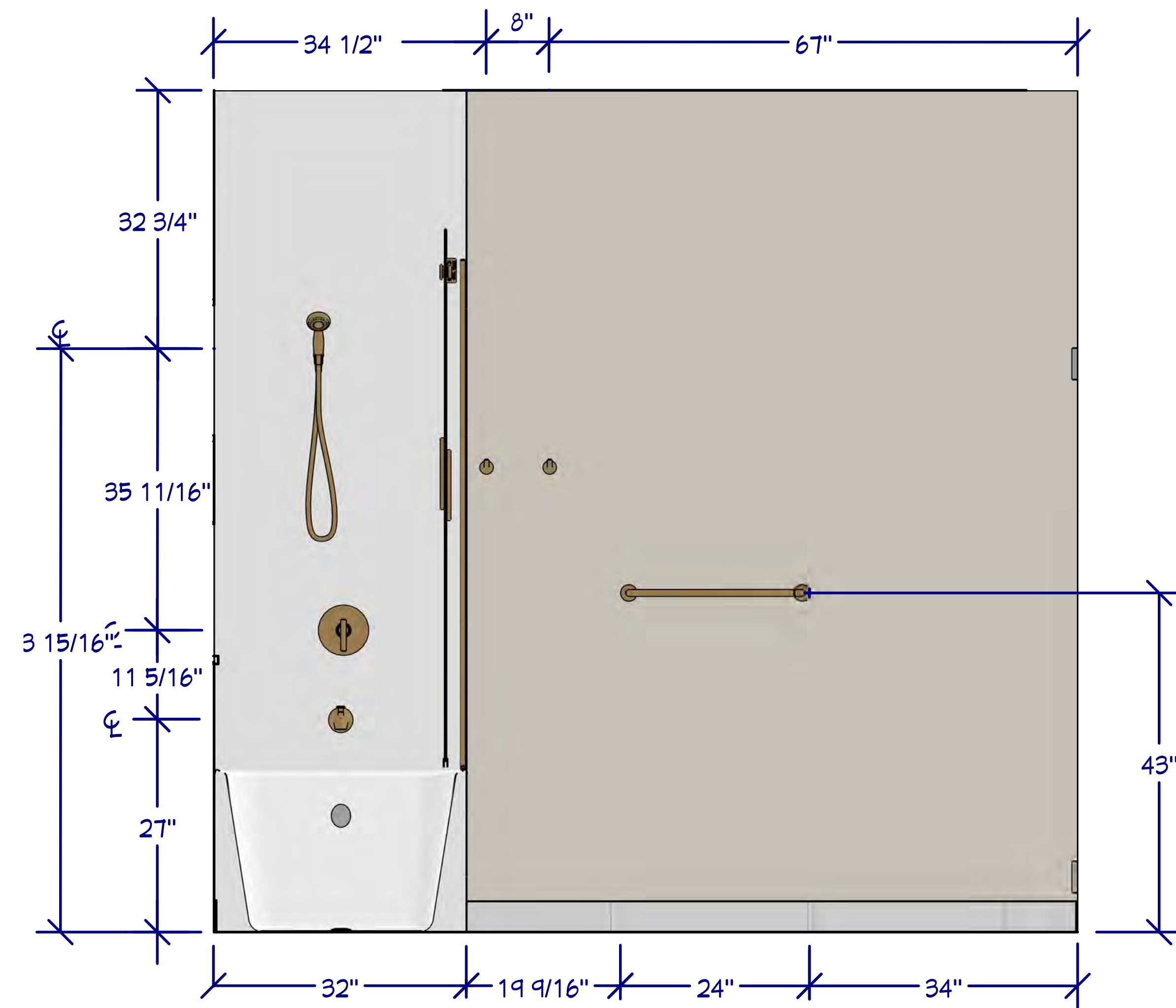
G2-2



G2-3



G2-4



G2-5

Approved 1/30/2025
DS 24322 (Delimon)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Associate Planner

SHOWER WALLS. NICHE & WINDOW WRAP

Sonoma Tile- PURE Matte White 8"x20"
Ceramic Tile
Pattern: Horizontal 50% Offset
Edging: Matching Trim Tile (Universal Trim)
Grout: 1/16"

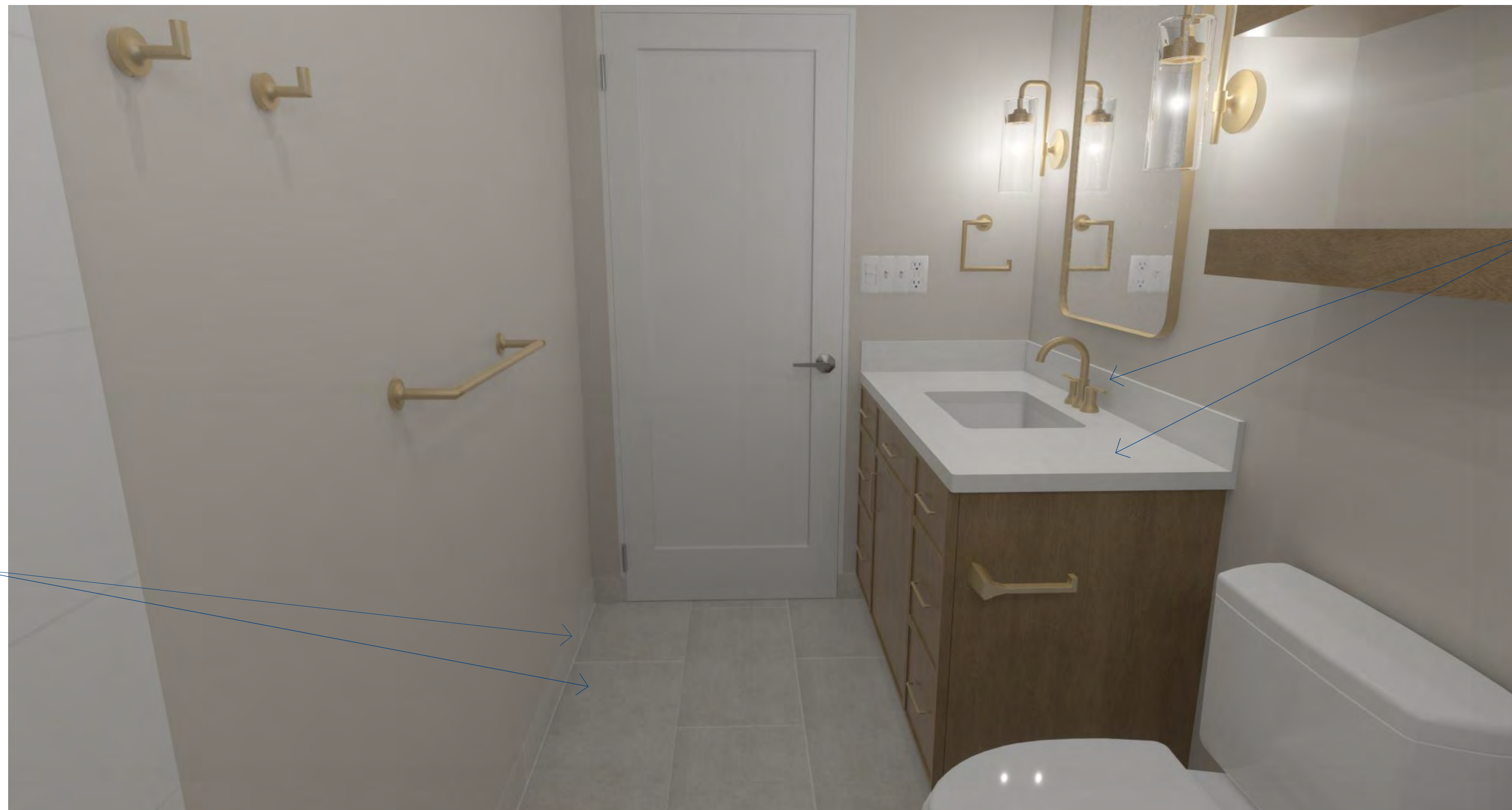


NICHE BACK
Sonoma Tile- Vihara Swish
Patten: Mosaic

NICHE LEDGE
Thassos Marble

FLOORING & BASEBOARD

Ergon- Aurelia White 12"x24"
Porcelain Tile
Pattern: Vertical 50% Offset
Edging: Schluter
Grout: 1/8"



VANITY TOP & BACKSPLASH
Thassos Marble



PROVIDED BY:
Revive Design LLC
Salinas, CA 93901

DRAWN BY:
A. Figueroa

CLIENT:
Kurt & Laurie
Delimon

ADDRESS:
5 San Carlos Ave.
Carmel, CA 93923

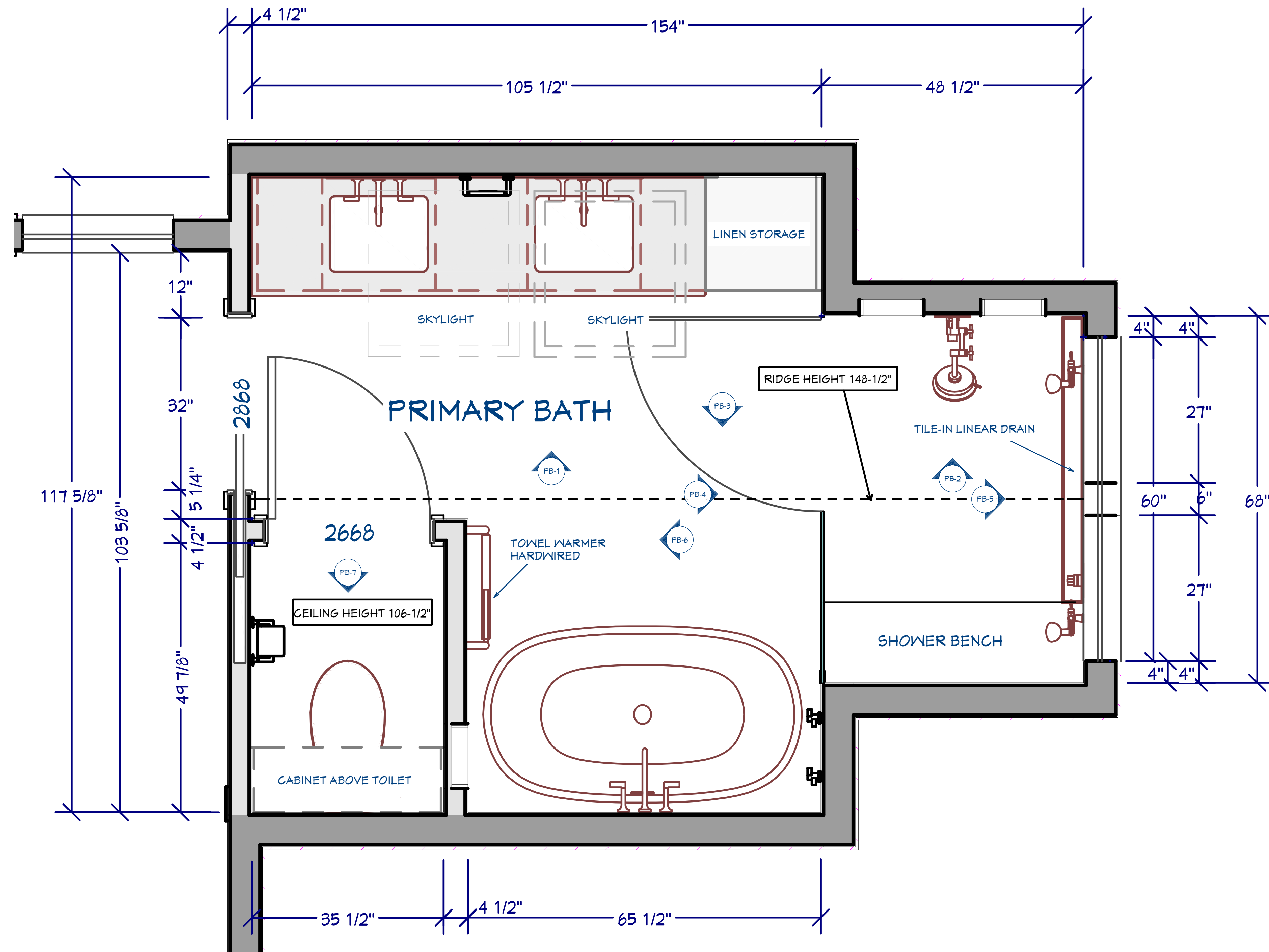
TREETOPS REMODEL

**GUEST BATHROOM 2
(LOWER)
TILE & STONE**

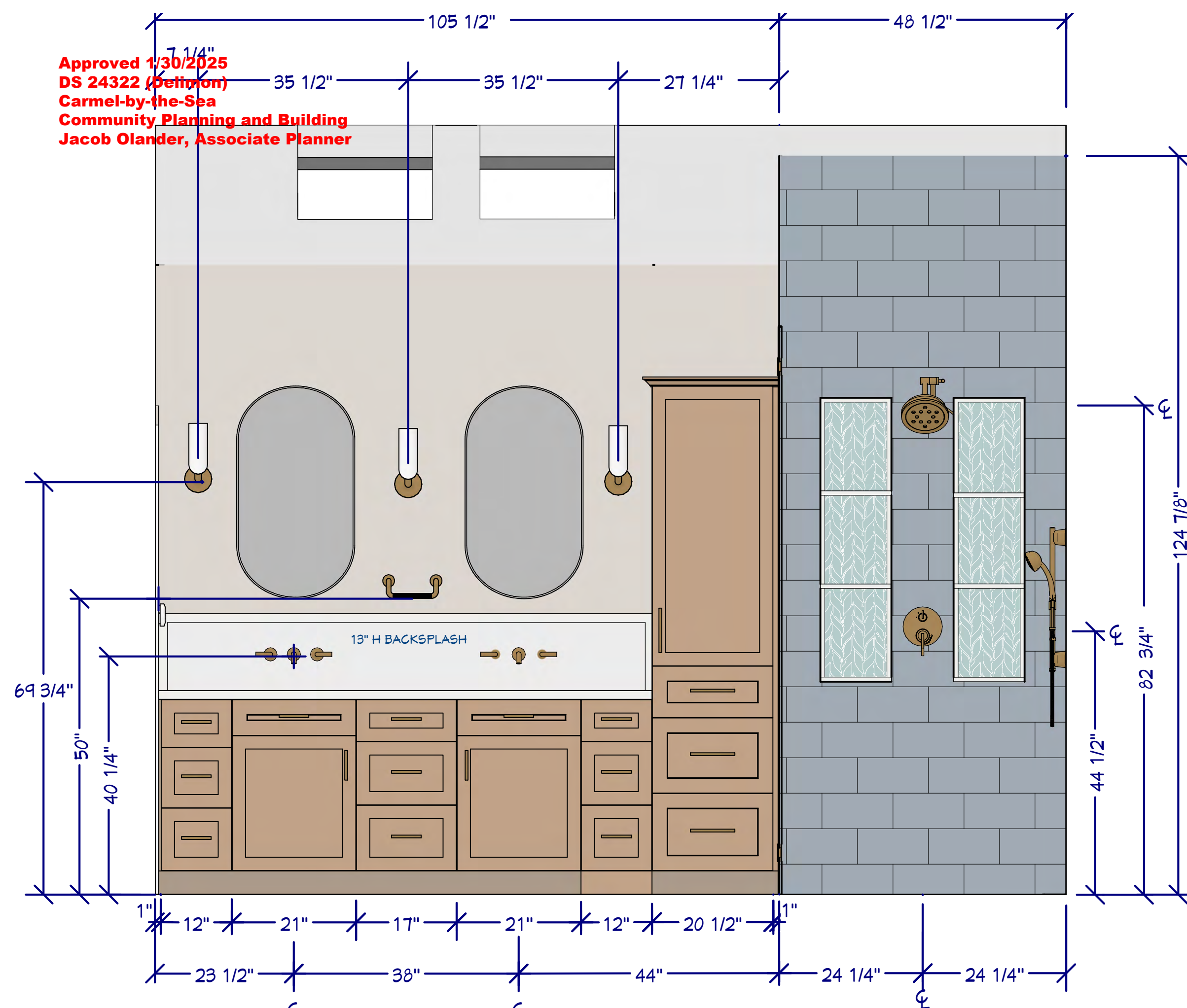
DATE:
5/15/2024
REV:
8/12/2024

SCALE:
No Scale

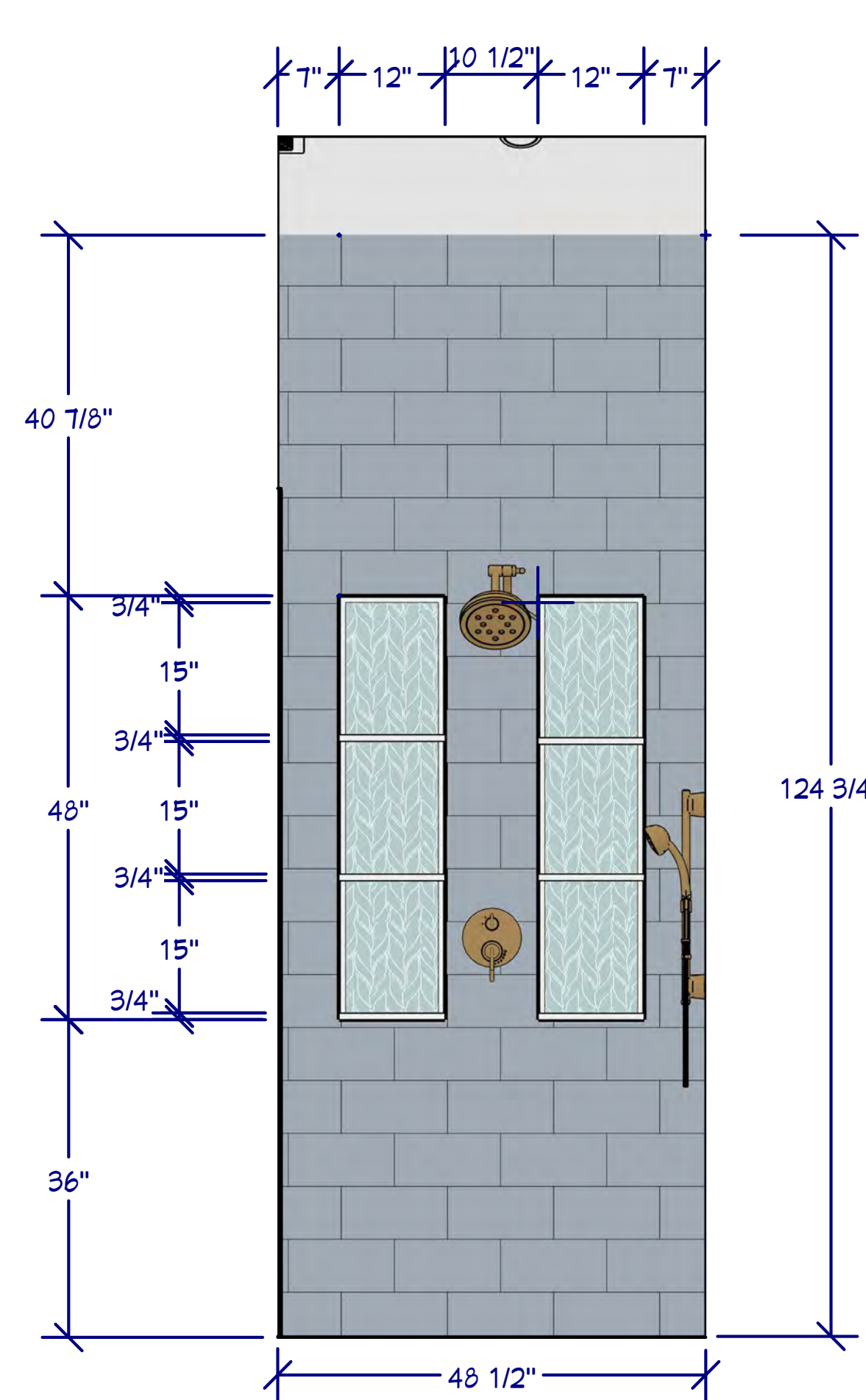
SHEET:
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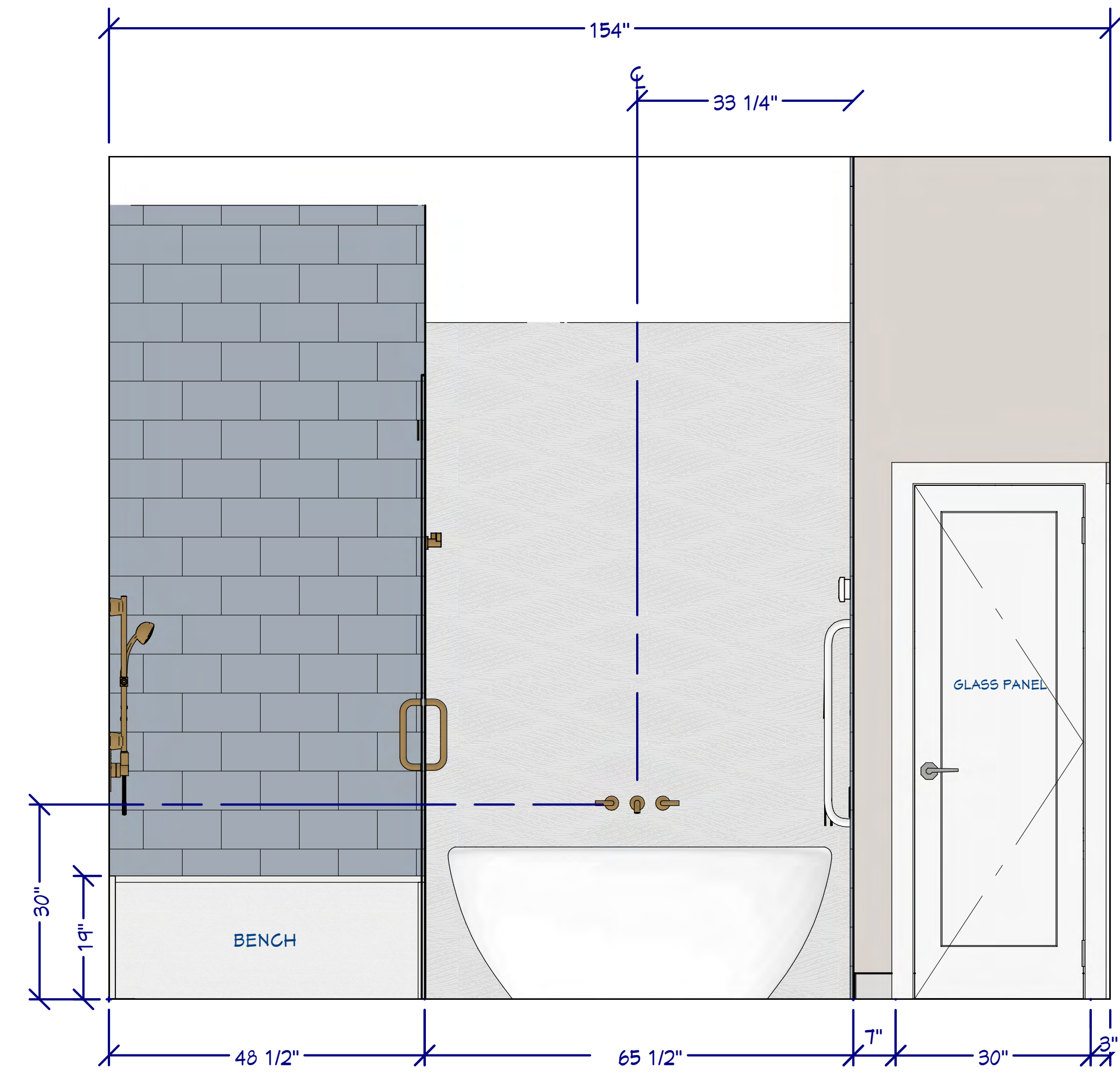
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 Community Planning and Building
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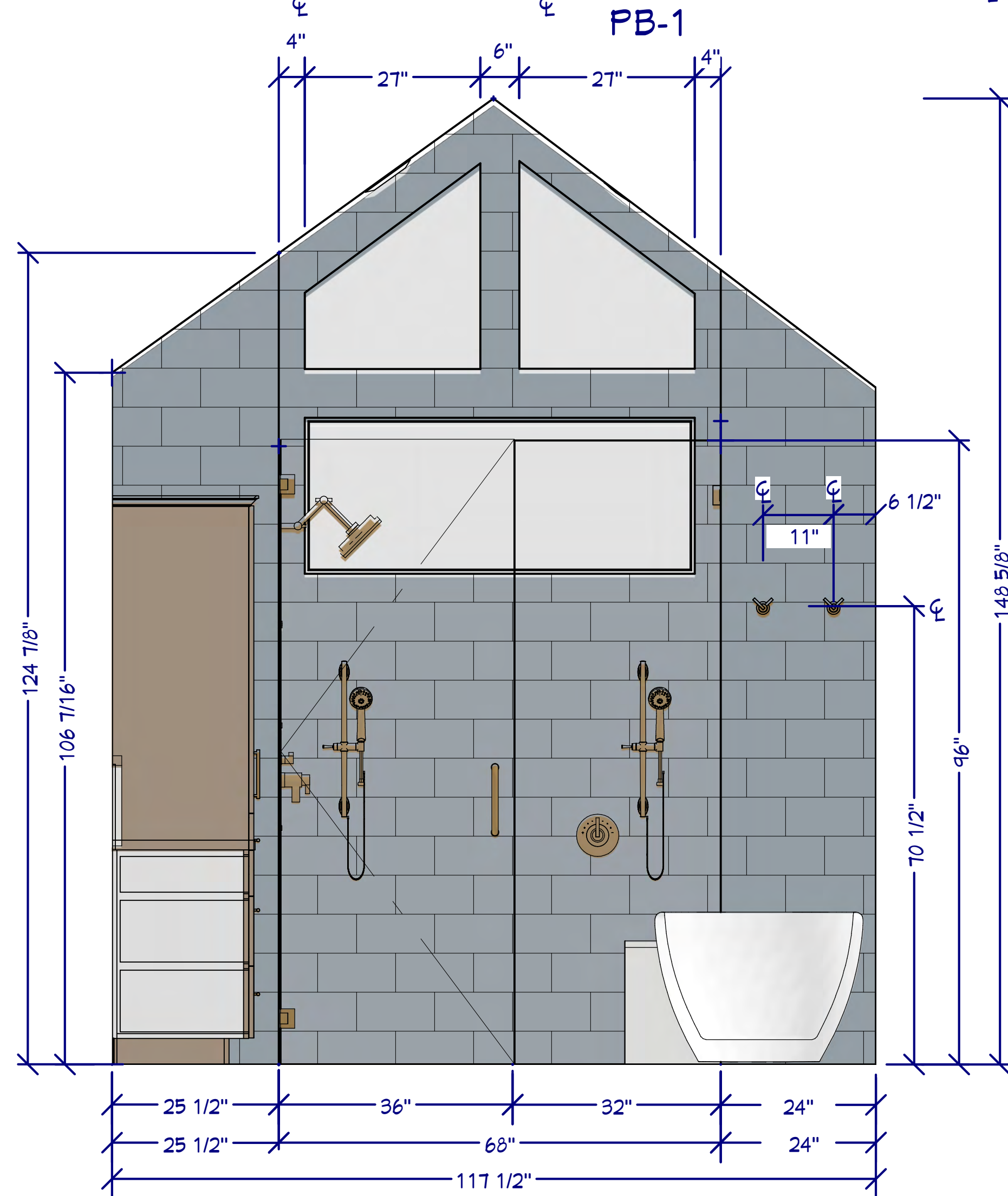
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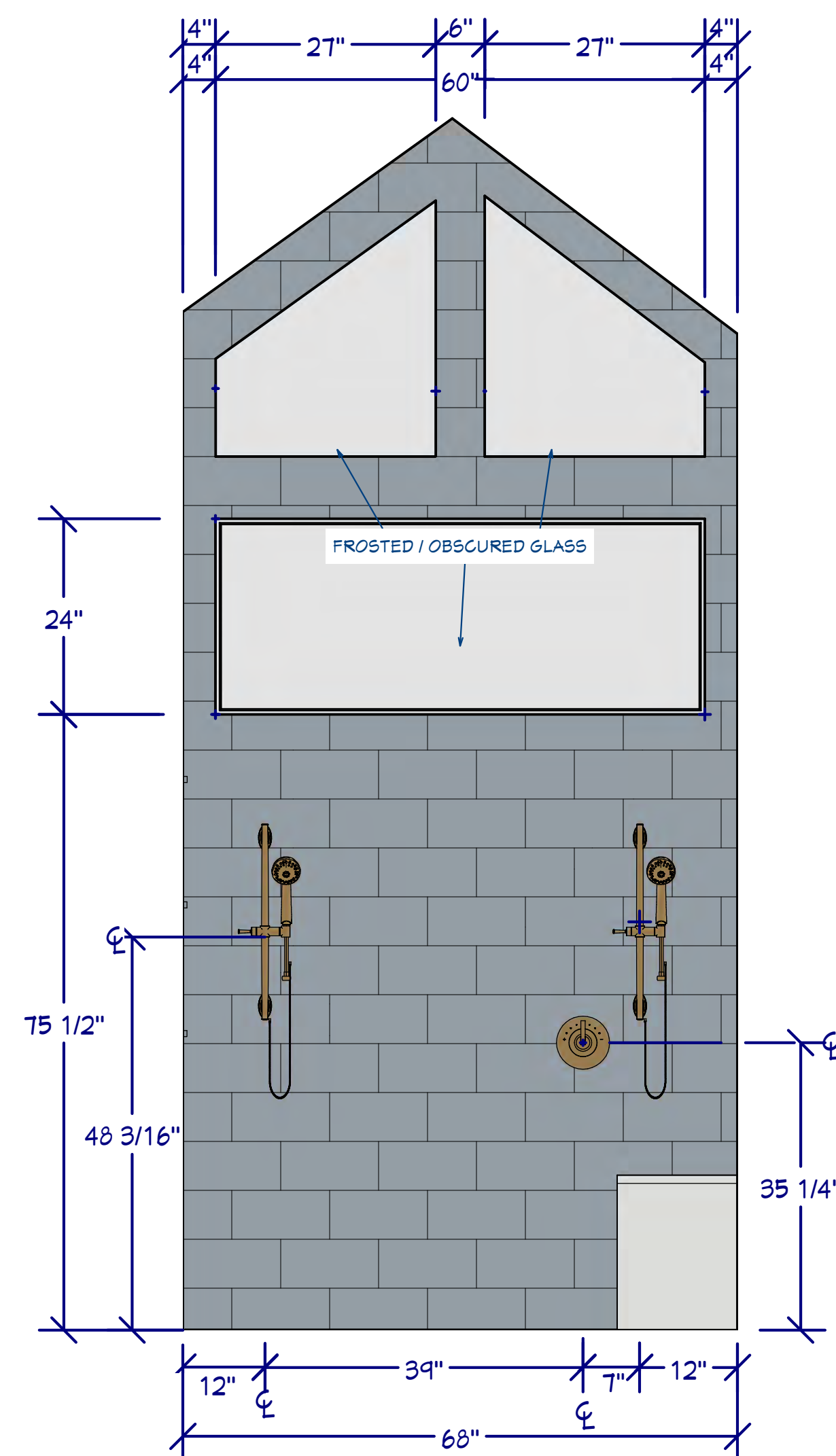
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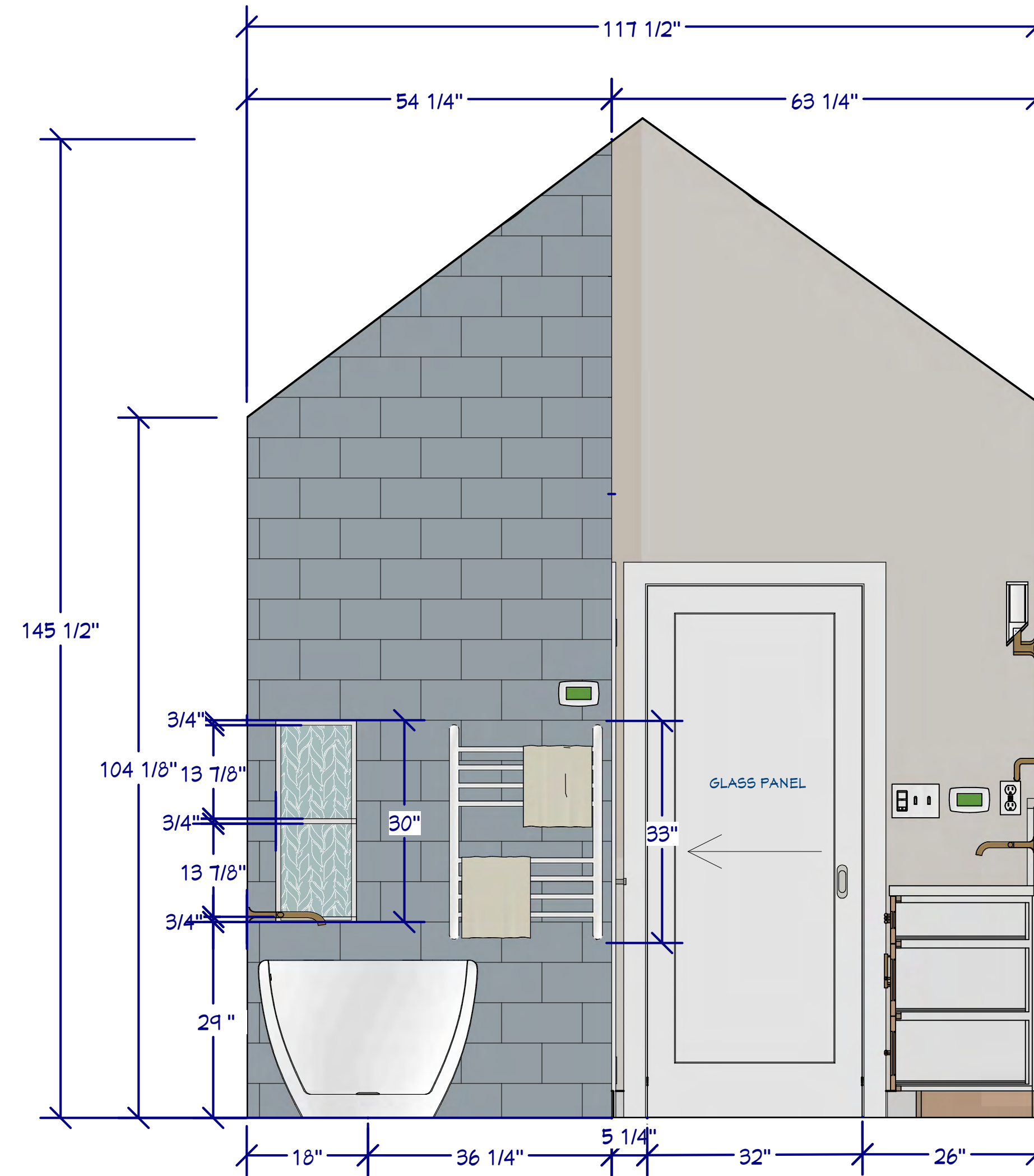
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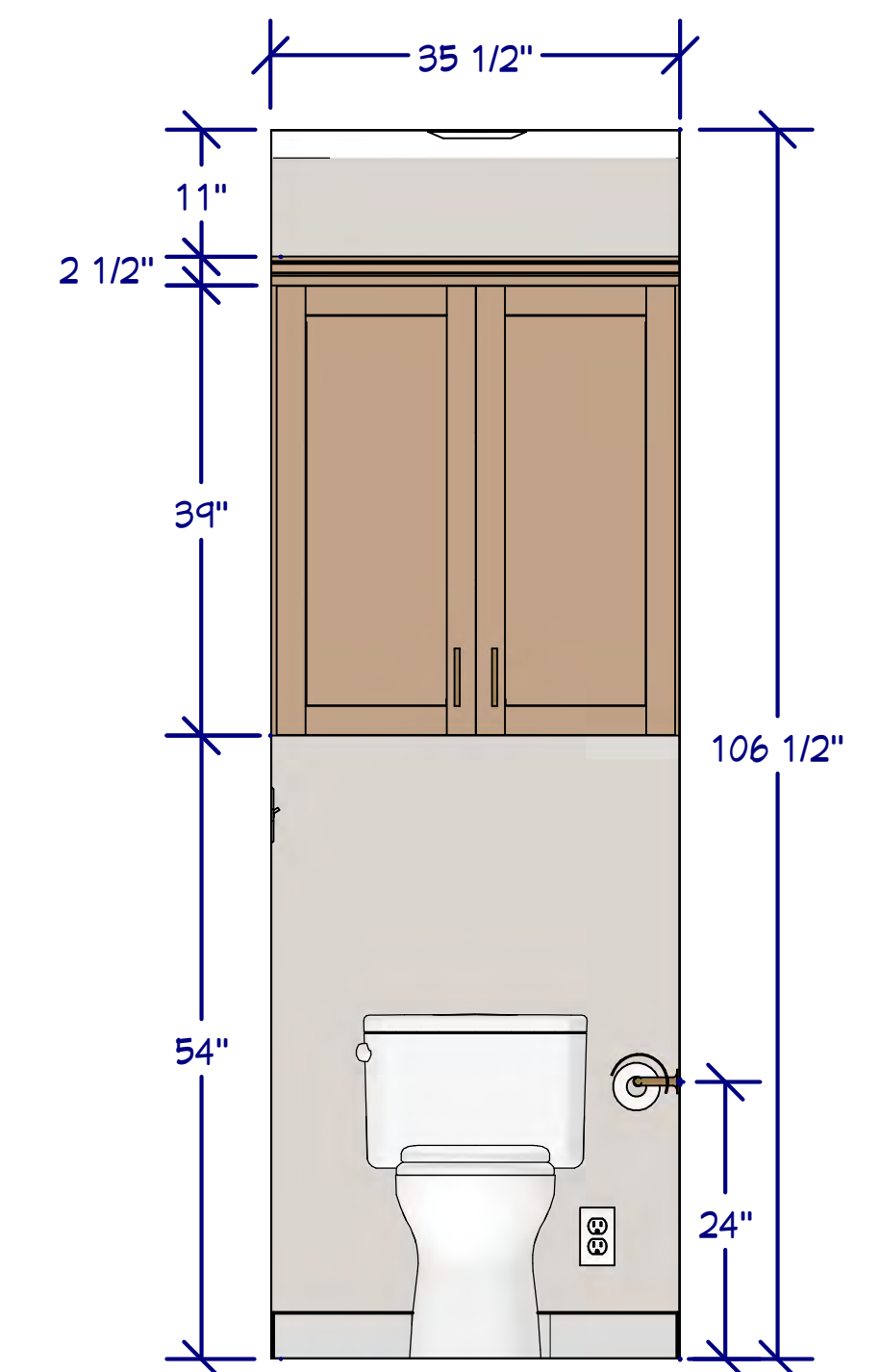
PB-4



PB-5



PB-6



PB-7

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 DS 24322 (Delimon)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Associate Planner

FLOORING & BASEBOARD

Emser Tile- Potenza Ivory 12" x 24" Porcelain Tile
 Patten: Vertical 50% Offset
 Edging: Schluter
 Grout: 1/8"



BACKSPLASH

Artistic Tile- Thassos RackedMarble 12" x 24"
 Pattern: Horizontal Straight Stack
 Grout: 1/16"



VANITY TOP & BACKSPLASH FRAMING

Thassos Marble

NICHE BACK

MIR Mosaic- Galway
 Patten: Mosaic

NICHE LEDGE, SHELVES & FRAMING

Thassos Marble

SHOWER & BATHTUB WALLS

Sonoma Tile- Stellar, Stone Blue
 6"x12" Ceramic Tile
 Pattern: Horizontal 50% Offset
 Edging: Matching Edge Trim
 Grout: 1/8"

ACCENT WALL BEHIND TUB

EPC Tile- Salines Wave, White
 Natural 13.11" x 39.3"
 Pattern: Horizontal Straight Stack
 Grout: 1/16"



PROVIDED BY:
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 Salinas, CA 93901

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 Delimon

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TREETOPS REMODEL

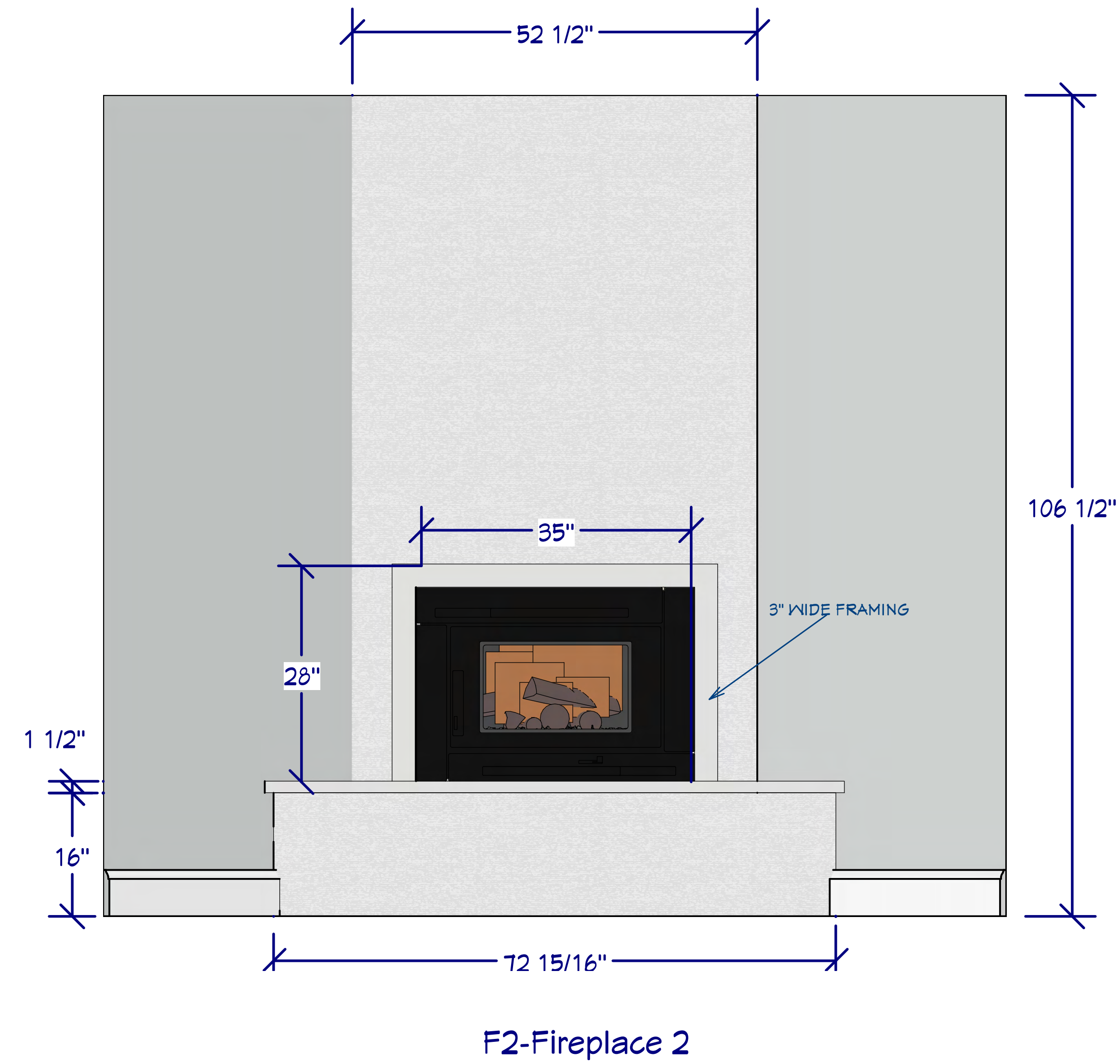
PRIMARY
 BATHROOM
 TILE & STONE

DATE:
 5/15/2024
 REV:
 8/12/2024

SCALE:
 No Scale

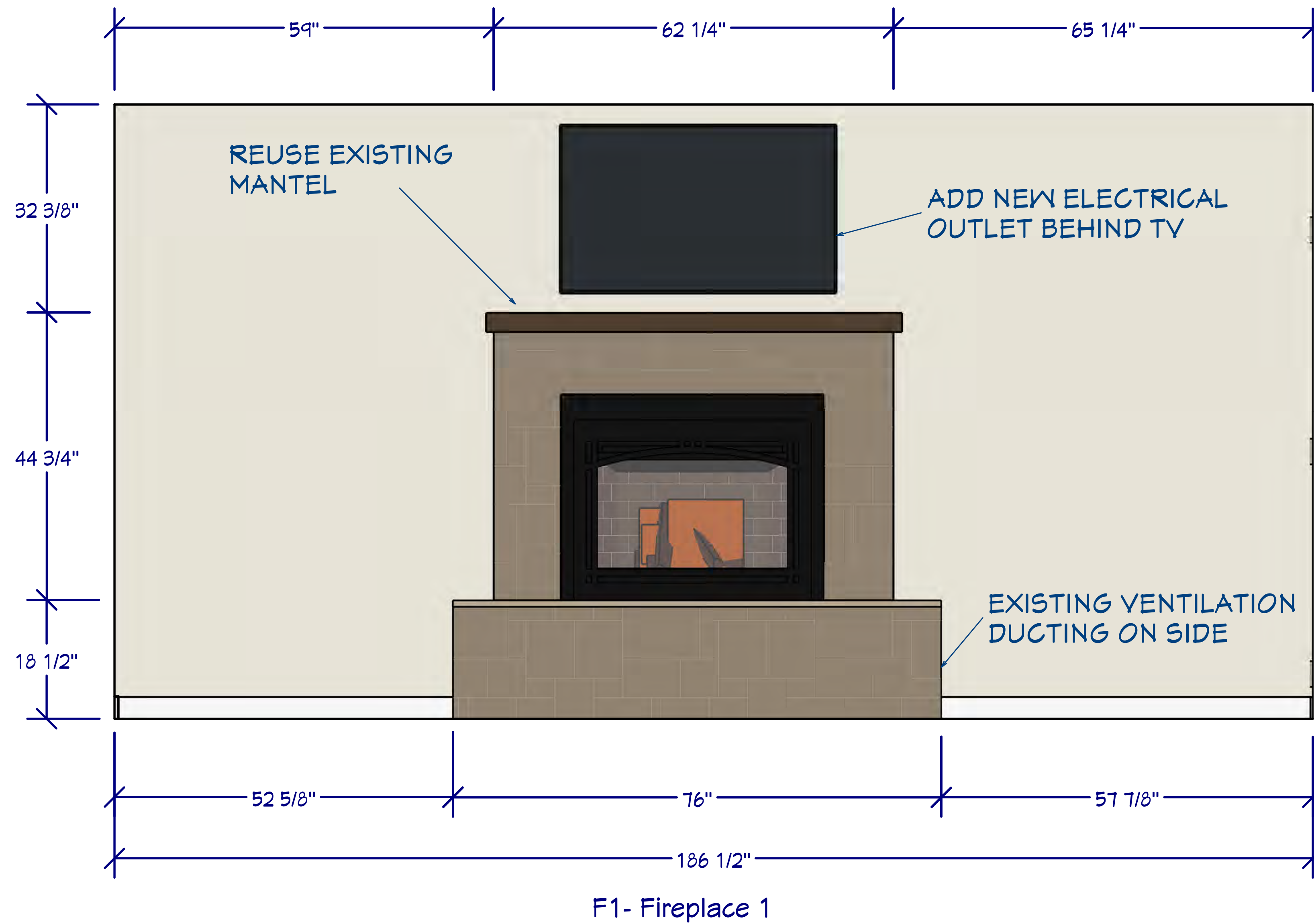
SHEET:
 11

FIREPLACE SURROUND & HEARTH FRONT
 Artistic Tile- Thassos Racked Marble 12" x 24"
 Pattern: Horizontal Straight Stack
 Grout: 1/16"

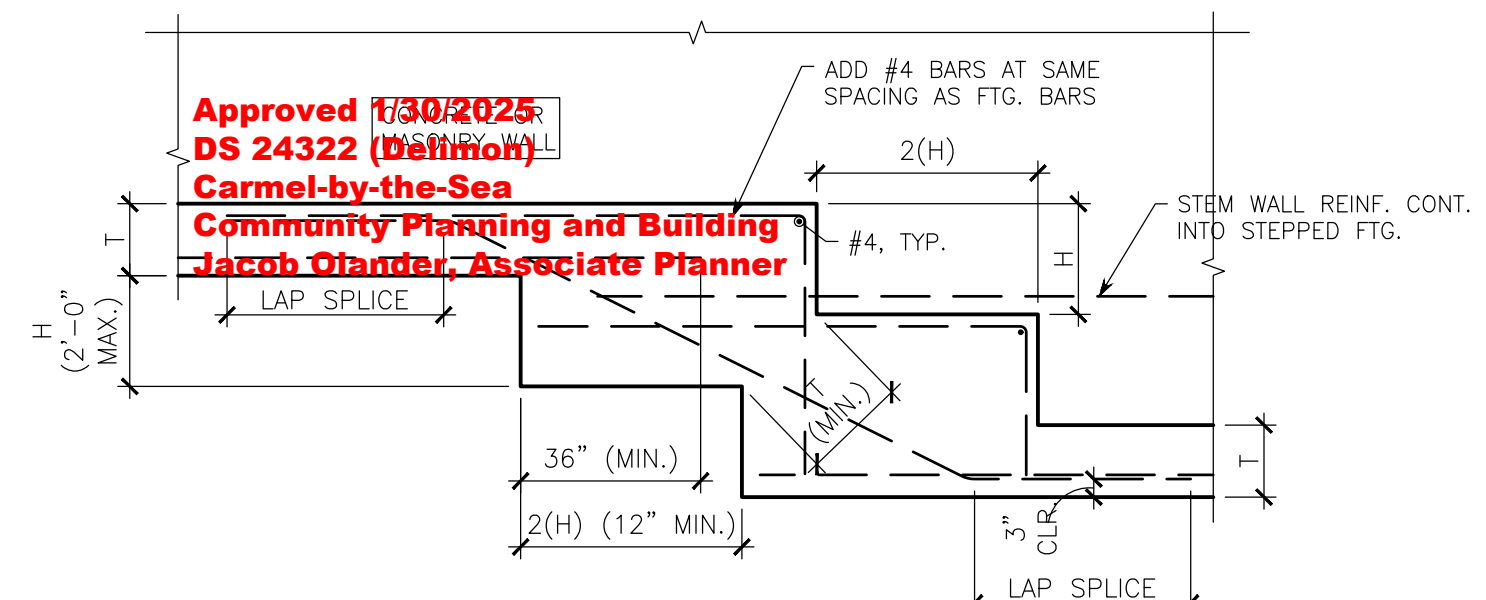


HEARTH & FRAMING
 Thassos Marble

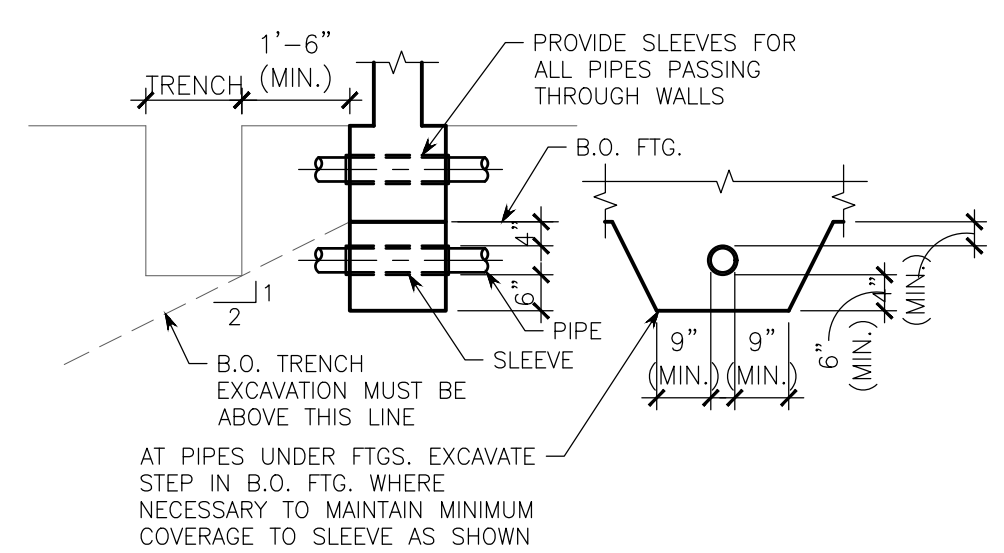
FIREPLACE SURROUND & HEARTH FRONT
 Buechel Stone- Fond-Du-Lac Stone
 Pattern: Random
 Grout: 3/8"



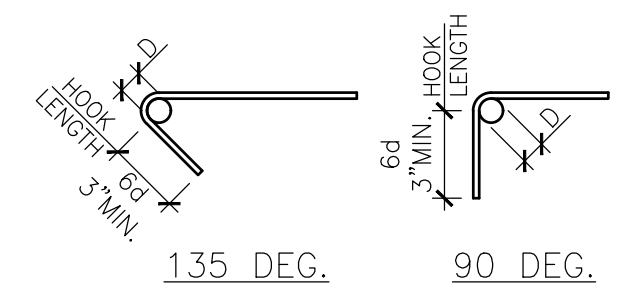
HEARTH
 Buechel Stone- Matching Fond-Du-Lac
 Stone Panel



20 STEPPED FTG.
 3/8" = 1'-0"



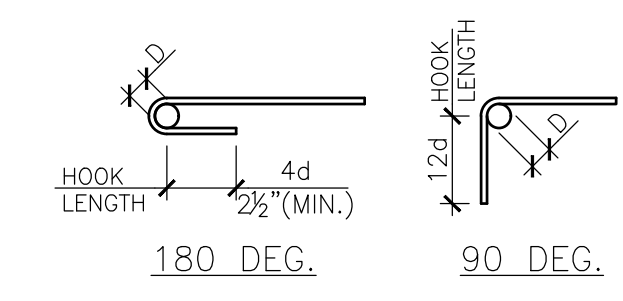
19 PIPES & TRENCHES AT FTGS.
 3/8" = 1'-0"



BAR SIZE	STIRRUP & TIE HOOKS	
	D (IN.)	HOOK LENGTH (IN.)
#3	1 1/2	3 3
#4	2	3 3
#5	2 3/4	3 3/4

NOTE:
 d = BAR DIAMETER
 D = MINIMUM BEND DIAMETER

STIRRUPS & TIES

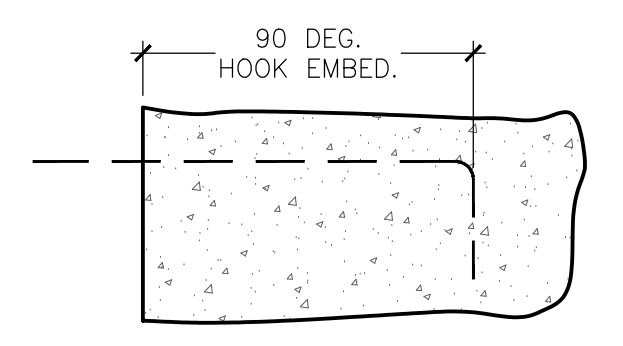


BAR SIZE	STANDARD HOOK	
	D (IN.)	HOOK LENGTH (IN.)
#3	2 1/4	4 1/2
#4	3	6
#5	3 3/4	7 1/2

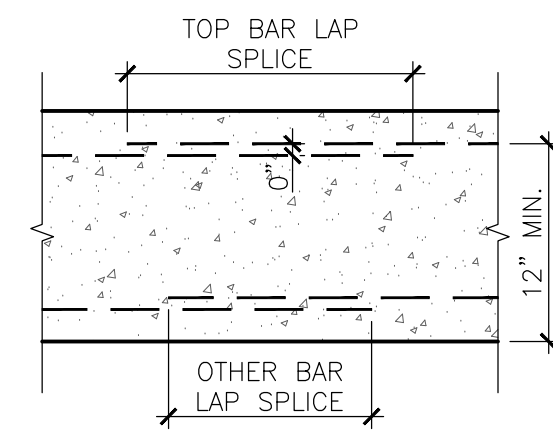
NOTE:
 d = BAR DIAMETER
 D = MINIMUM BEND DIAMETER

STANDARD REBAR

18 REBAR HOOKS
 3/4" = 1'-0"



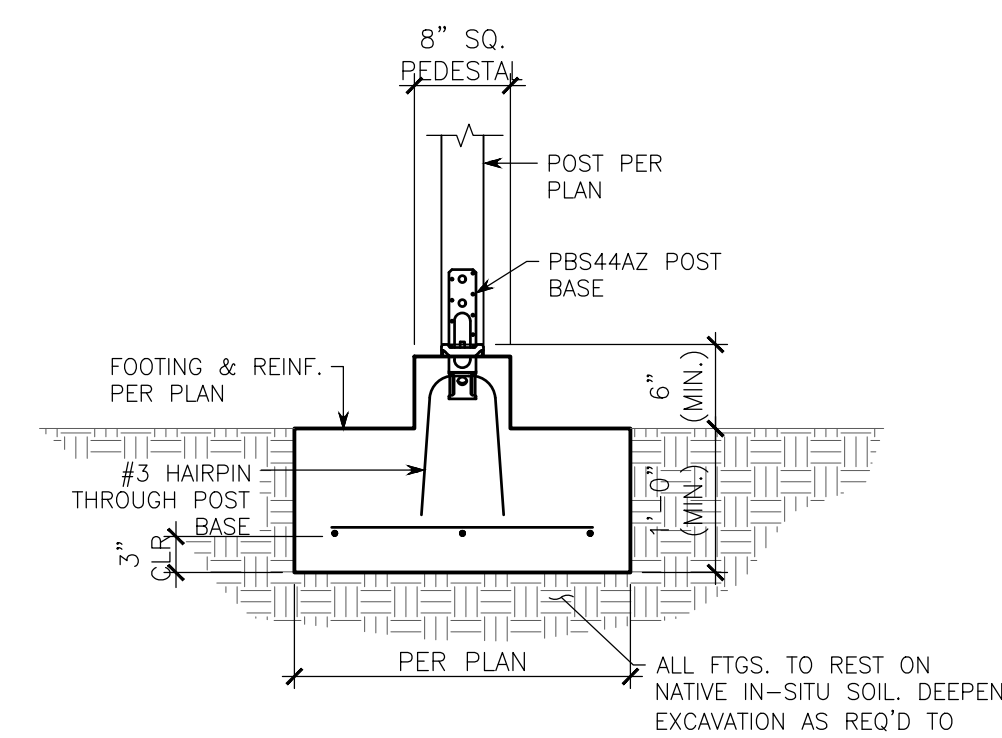
BAR SIZE	TOP BARS - 90 DEG. HOOK EMBED. & CLASS B TENSION LAP SPLICE	
	EMBED. (IN.)	CLASS B (IN.)
#3	9	28
#4	12	38
#5	15	47
#6	18	56



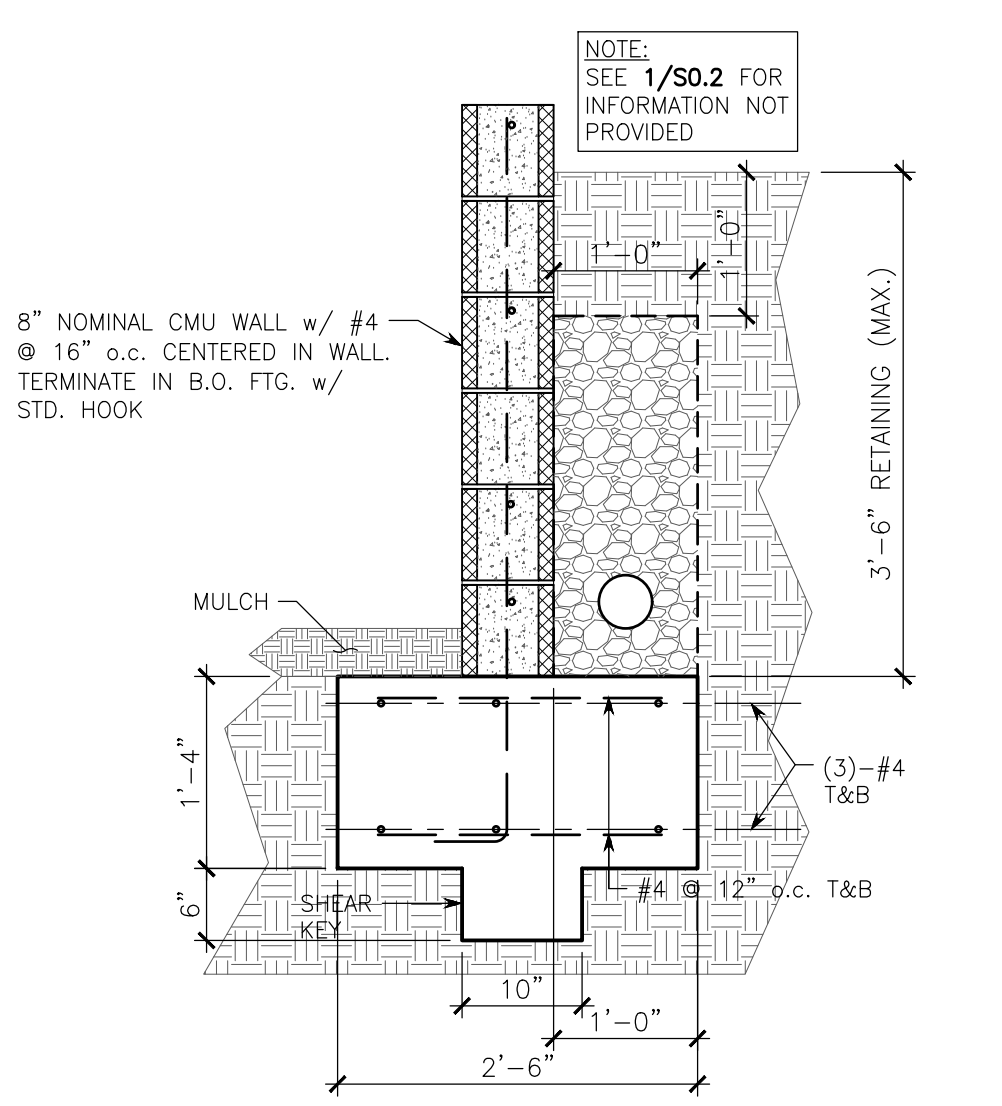
BAR SIZE	OTHER BARS - 90 DEG. HOOK EMBED. & CLASS B TENSION LAP SPLICE	
	EMBED. (IN.)	CLASS B (IN.)
#3	9	22
#4	12	29
#5	15	36
#6	18	43

NOTE:
 1. TOP BARS ARE HORIZ. BARS PLACED WITH MORE THAN 12" OF FRESH CONCRETE BELOW THEM
 2. USE CLASS B LAP SPLICE FOR ALL BAR SPLICES, TYP.
 3. TABLES ASSUME GRADE 60 REINF.
 4. TABLES ARE BASED UPON MIN. CLEAR COVER GREATER THAN 1.0d_s AND MIN. CLEAR SPACING GREATER THAN 2d_s. WHERE EITHER OF THESE REQUIREMENTS IS NOT MET, INCREASE EMBED. OR LAP LENGTH BY 50%
 5. d_s INDICATES REINF.

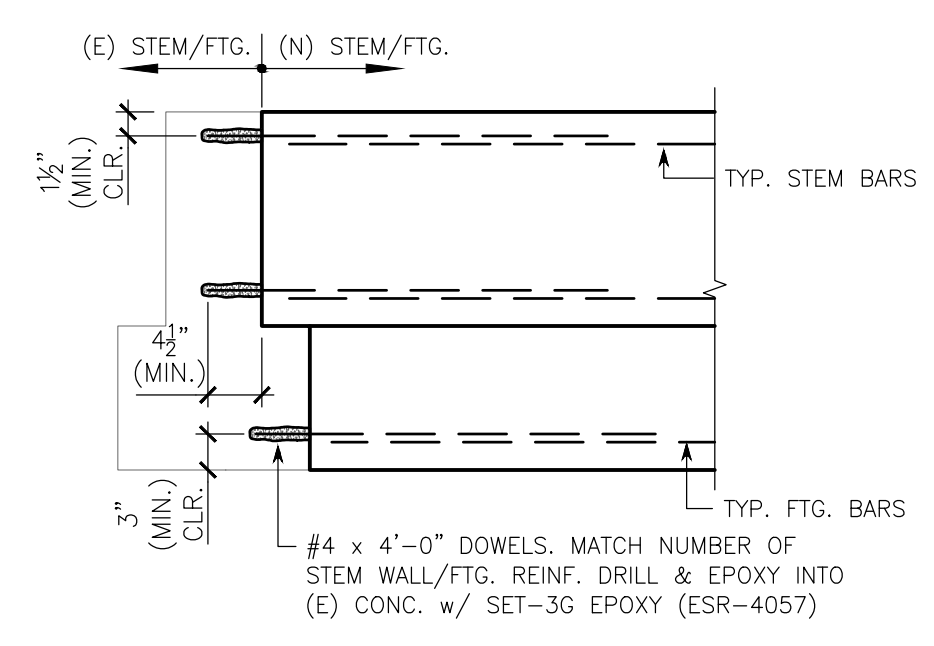
17 EMBED. & LAP SPLICE
 3/4" = 1'-0"



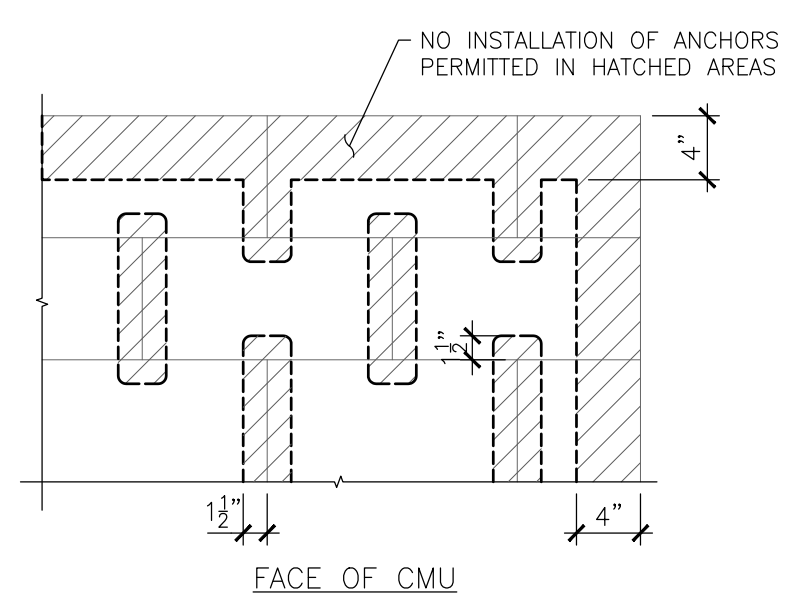
3 TYP. PORCH POST BASE
 3/4" = 1'-0"



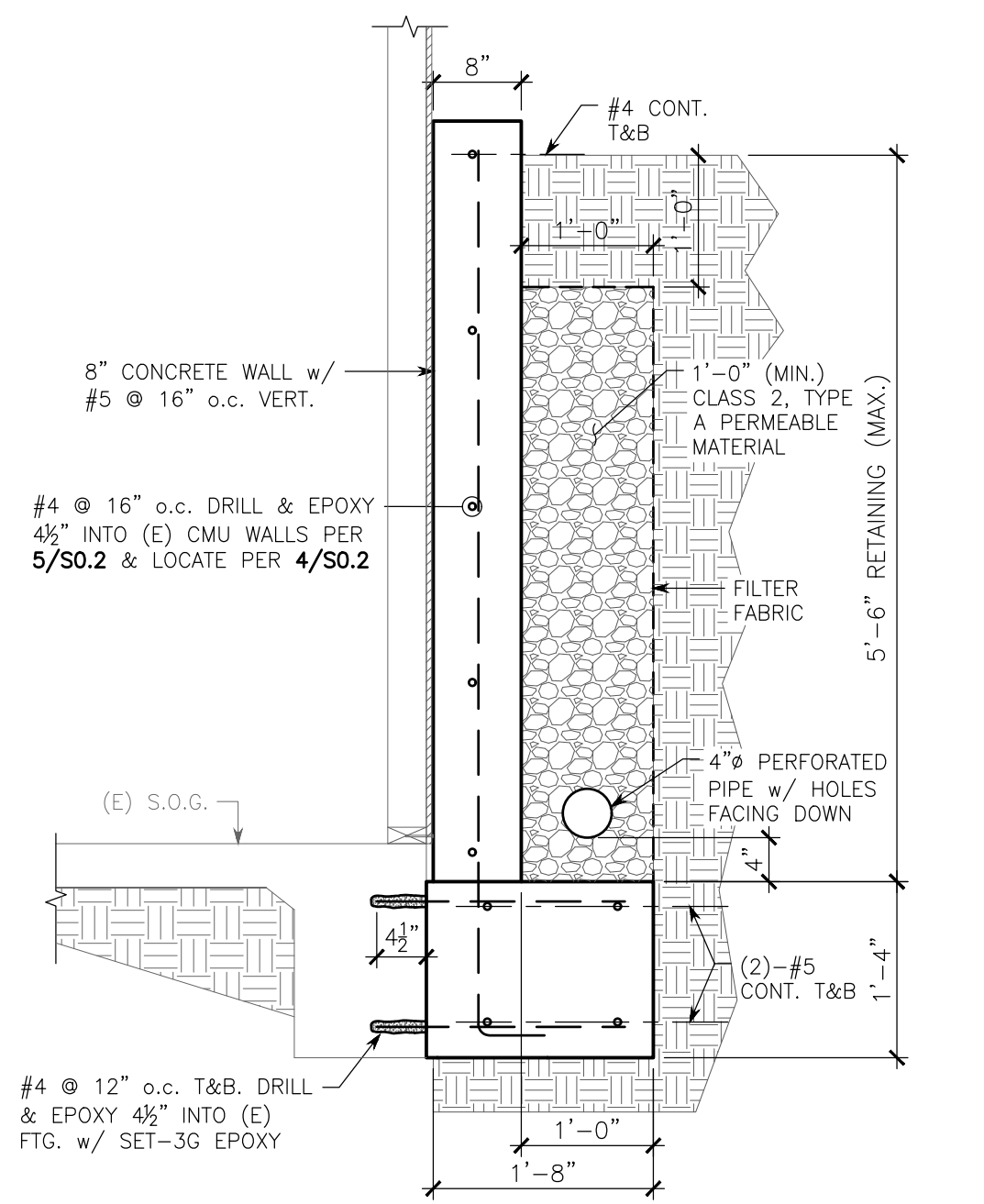
2 3-FOOT RETAINING WALL
 3/4" = 1'-0"



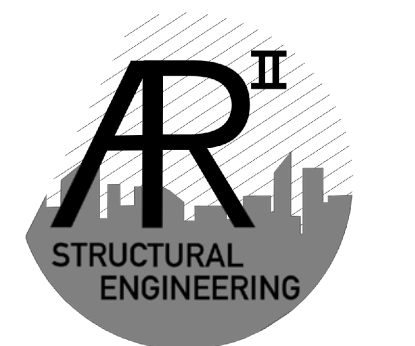
5 (N) TO (E) FTG.
 3/4" = 1'-0"



4 SECTION
 1" = 1'-0"



1 SECTION
 3/4" = 1'-0"



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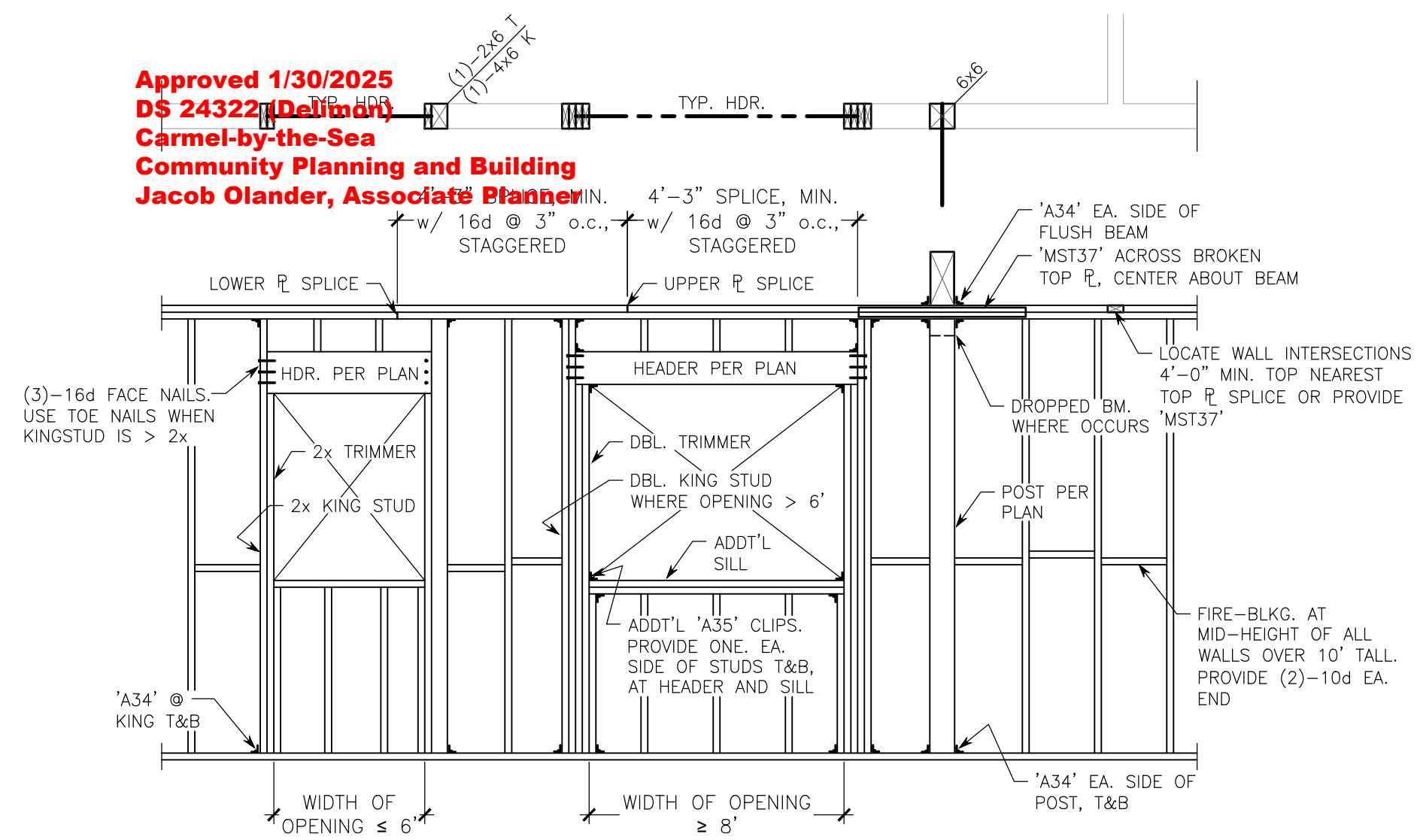
ISSUE NO.	DATE	DESCRIPTION
1	1.7.25	FOR PERMIT

TYPICAL DETAILS
 DELIMON RESIDENCE REMODEL
 5 SAN CARLOS NW OF 3RD AVE.
 CARMEL-BY-THE-SEA, CA

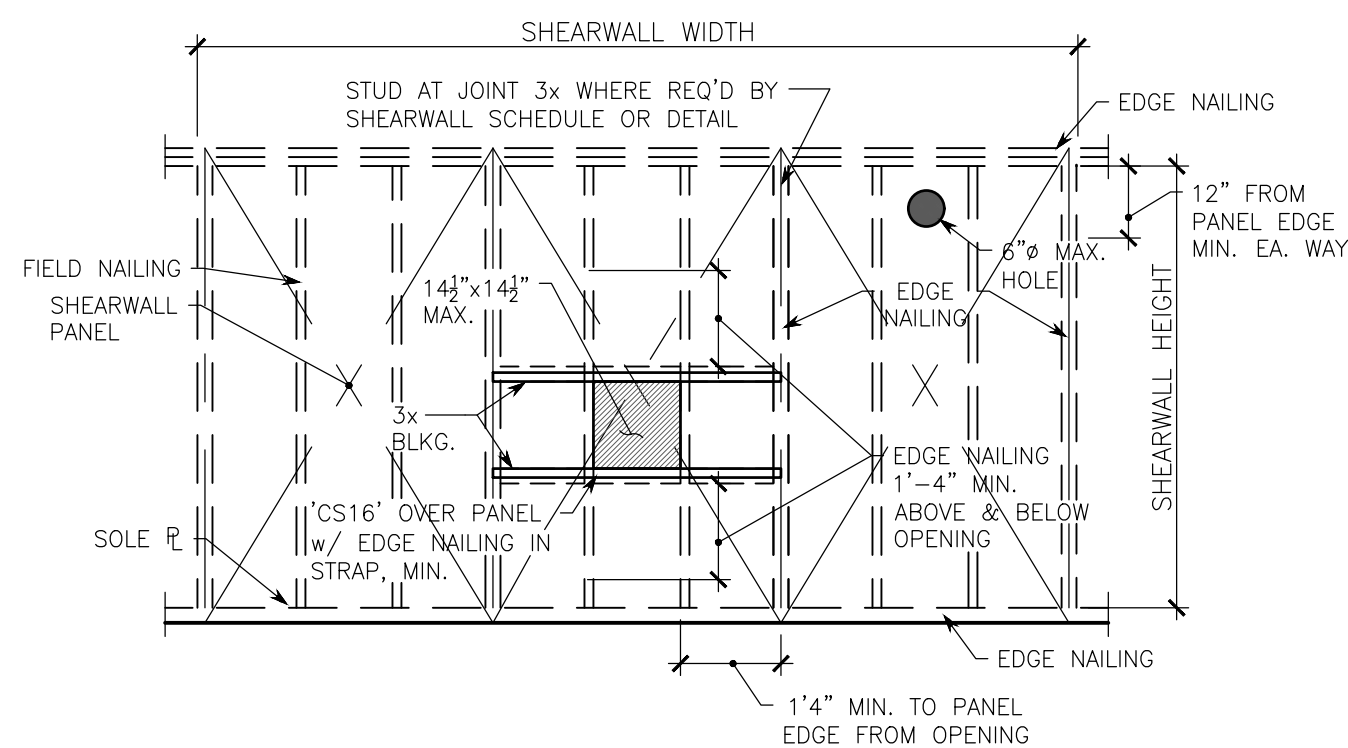
PROJECT #: 0673

S0.2
 SHEET 2 OF 5

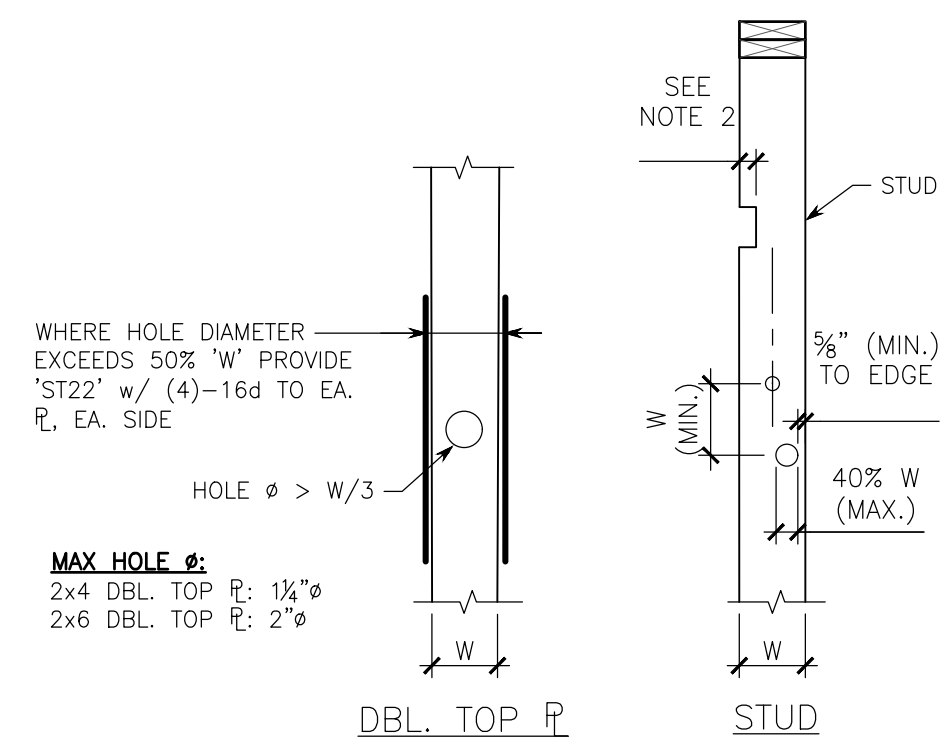
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20 TYP. WALL FRAMING
 3/8" = 1'-0"

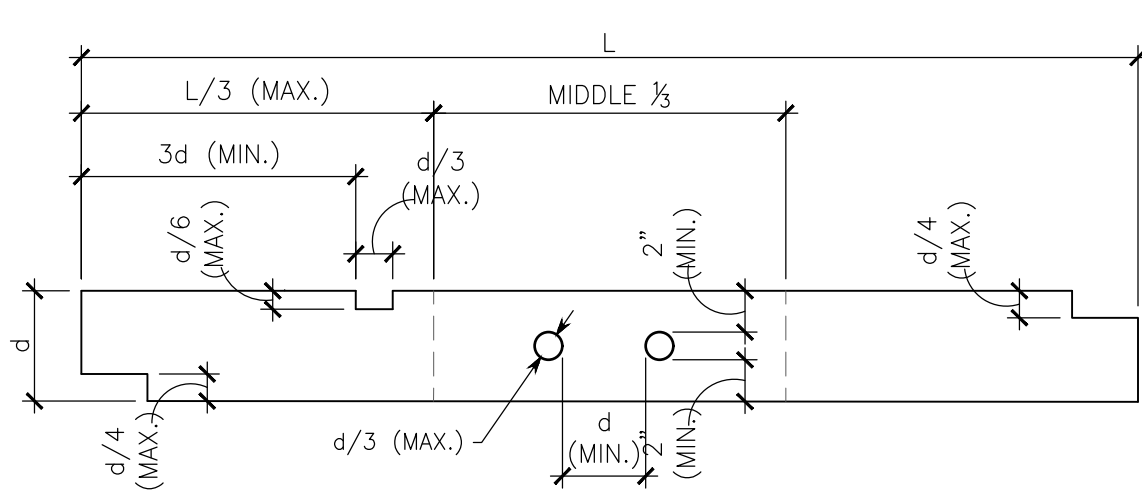


19 SHEARWALL PENETRATION
 3/8" = 1'-0"



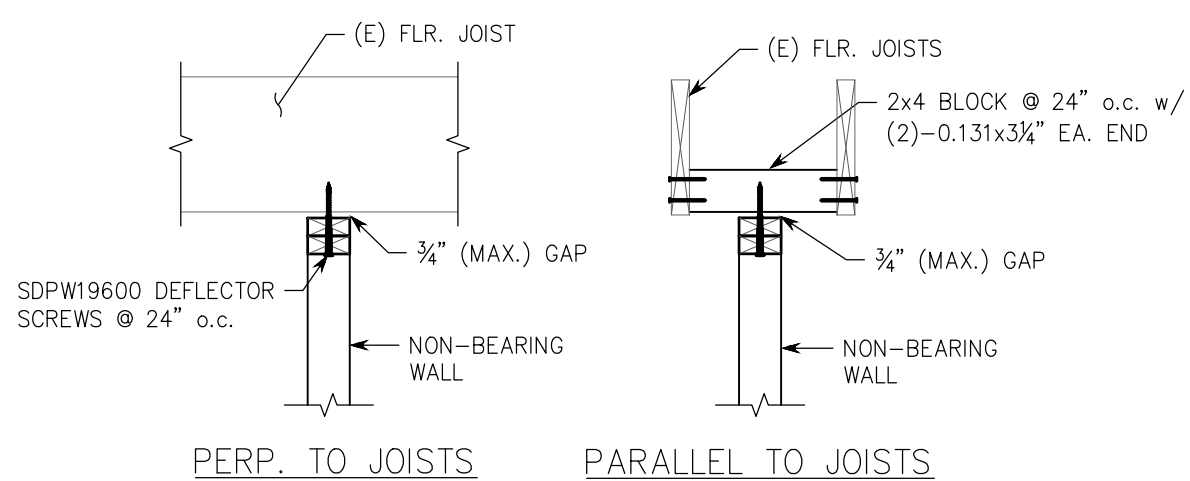
NOTES:
 1. DO NOT NOTCH OR DRILL STUDS WITHIN 'W' OR OF KNOTS IN WOOD
 2. MAXIMUM 25% 'W' FOR LOAD BEARING & 40% 'W' FOR NON-BEARING
 3. BORED HOLES BETWEEN 40% & 60% ARE PERMITTED WHERE EACH BORED STUD IS DOUBLED (NO MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED)

18 STUD/R SPLICE NOTCHING
 3/4" = 1'-0"

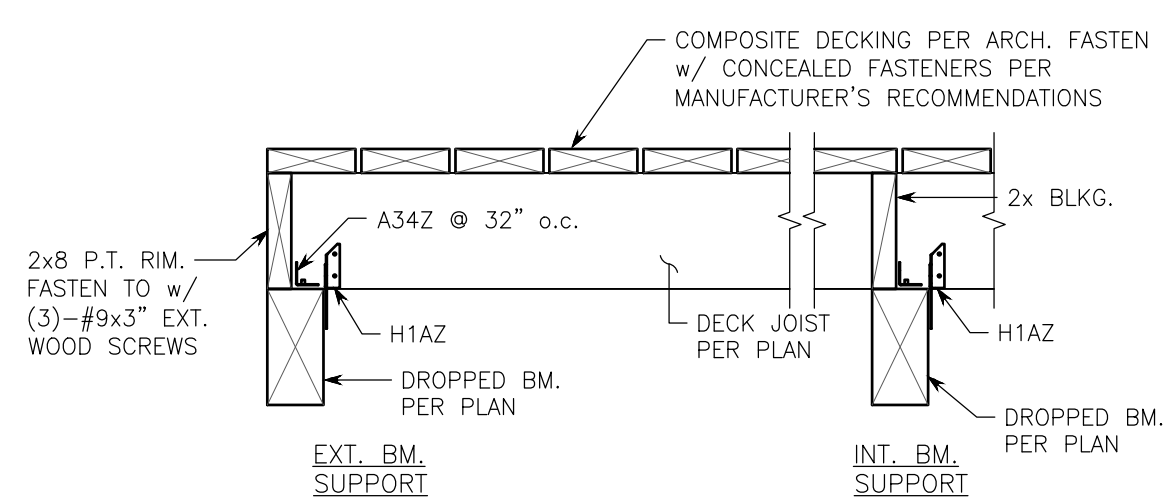


NOTES:
 1. NO NOTCHES PERMITTED IN TENSION FACE WHEN BEAM WIDTH ≥ 3 1/2" (EXCEPT AT ENDS)
 2. NO NOTCHES PERMITTED IN MIDDLE 1/3 BEAM OR JOIST
 3. NO HOLES PERMITTED L/3 FROM ENDS
 4. AT SUPPORTS, NOTCH MAY OCCUR AT TOP ONLY OR BOTTOM ONLY
 5. DO NOT NOTCH OR DRILL JOISTS WITHIN 'd' OF KNOTS IN WOOD
 6. FOR ALLOWABLE OPENINGS THROUGH ENGINEERED LUMBER, SEE MANUFACTURER'S SPECIFICATIONS

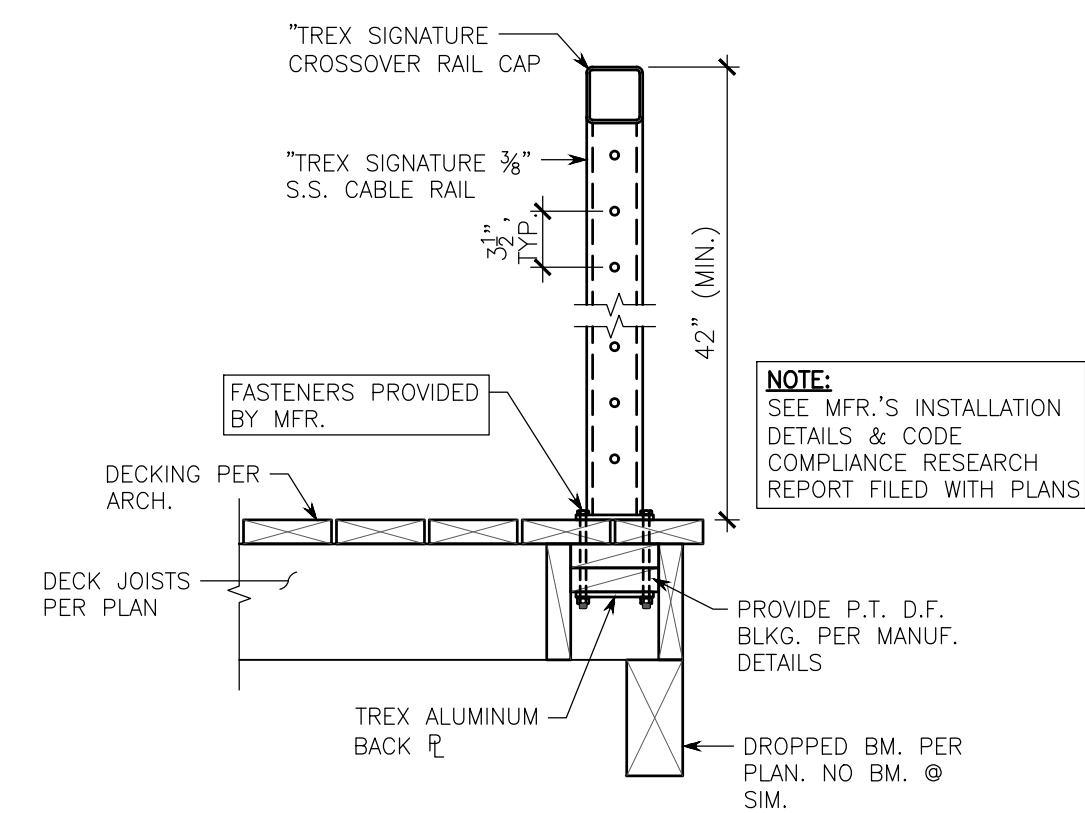
19 RAFTER/JOIST NOTCHING
 3/4" = 1'-0"



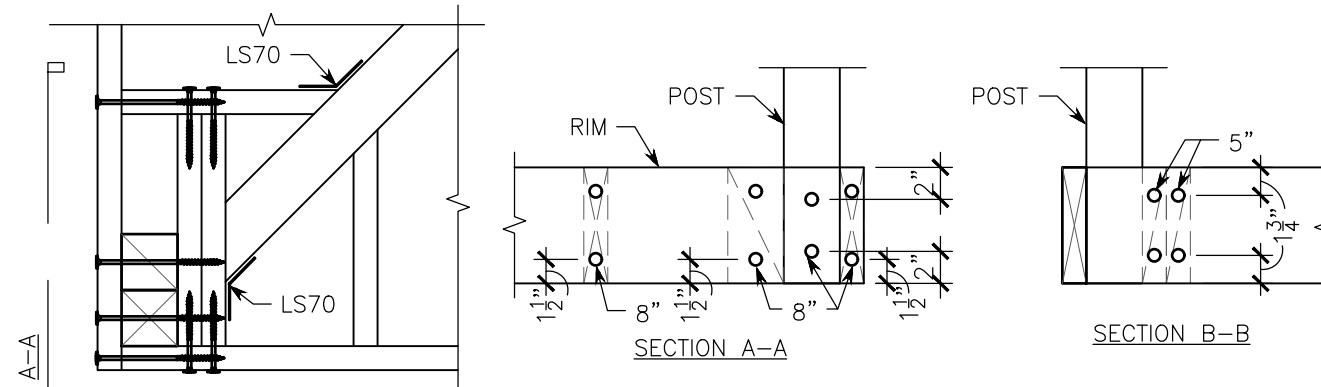
13 NON-BEARING WALL
 3/4" = 1'-0"



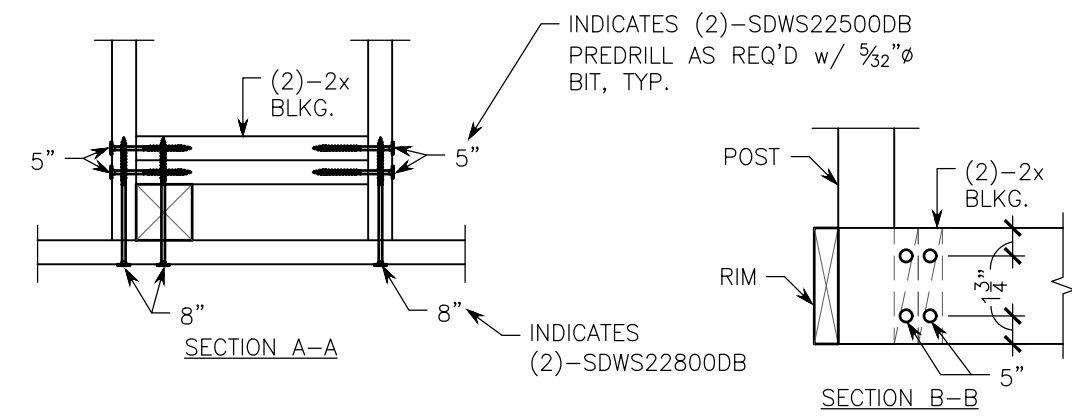
12 SECTION
 1" = 1'-0"



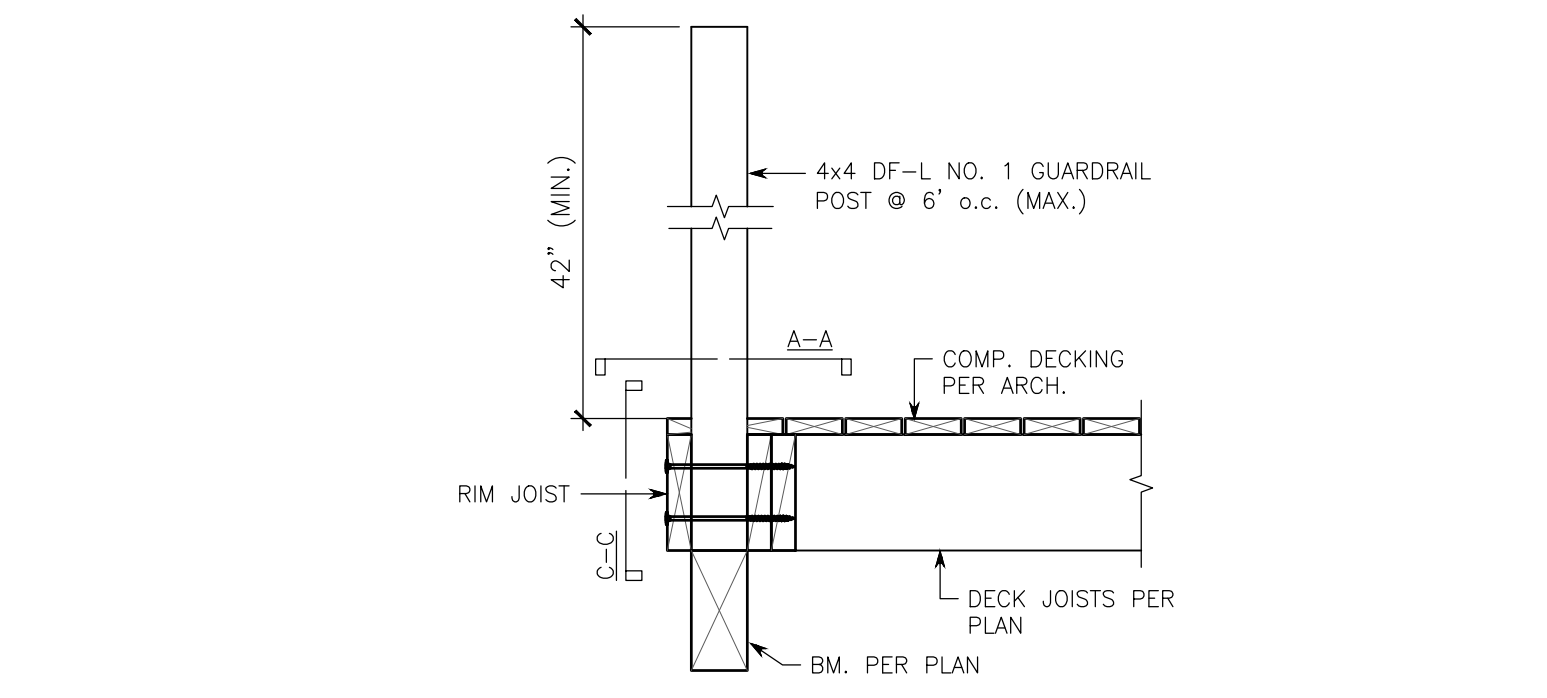
11 ANCHOR TO JOIST
 1" = 1'-0"



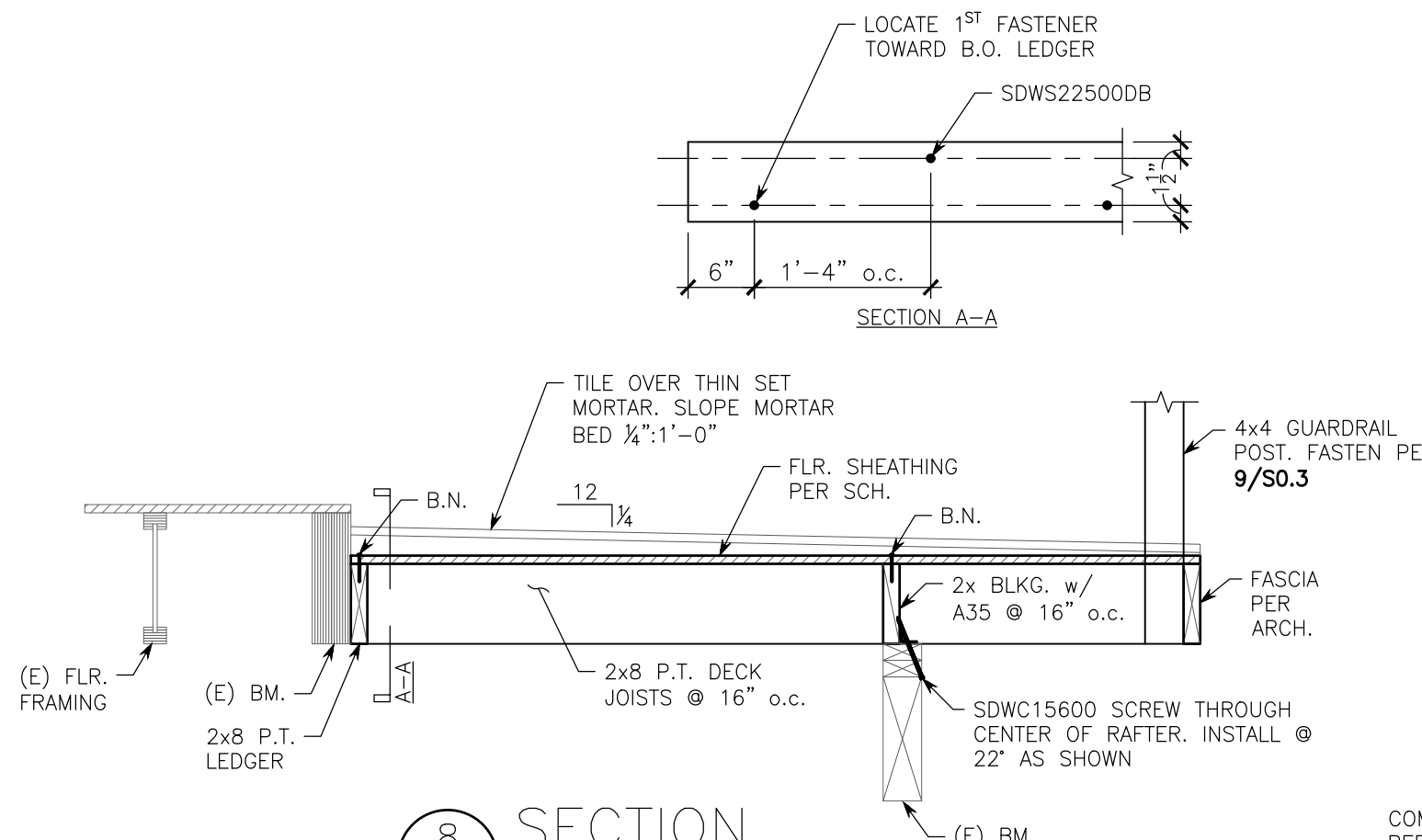
10 GUARDRAIL POST-CORNER
 1" = 1'-0"



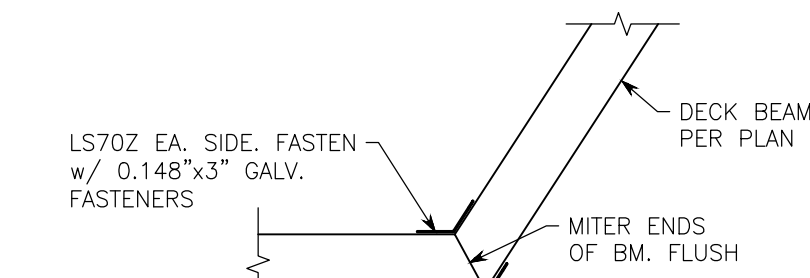
9 GUARDRAIL POST JOIST PERP.
 1" = 1'-0"



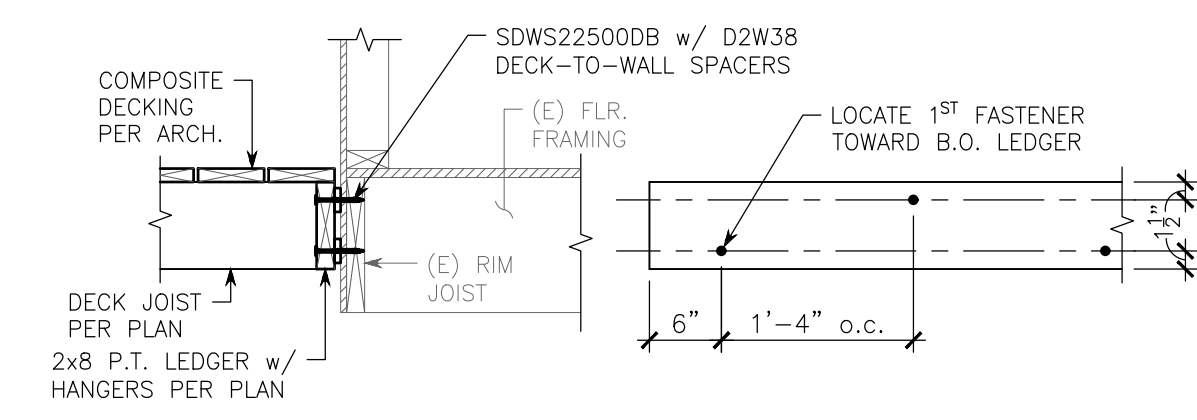
8 SECTION
 1" = 1'-0"



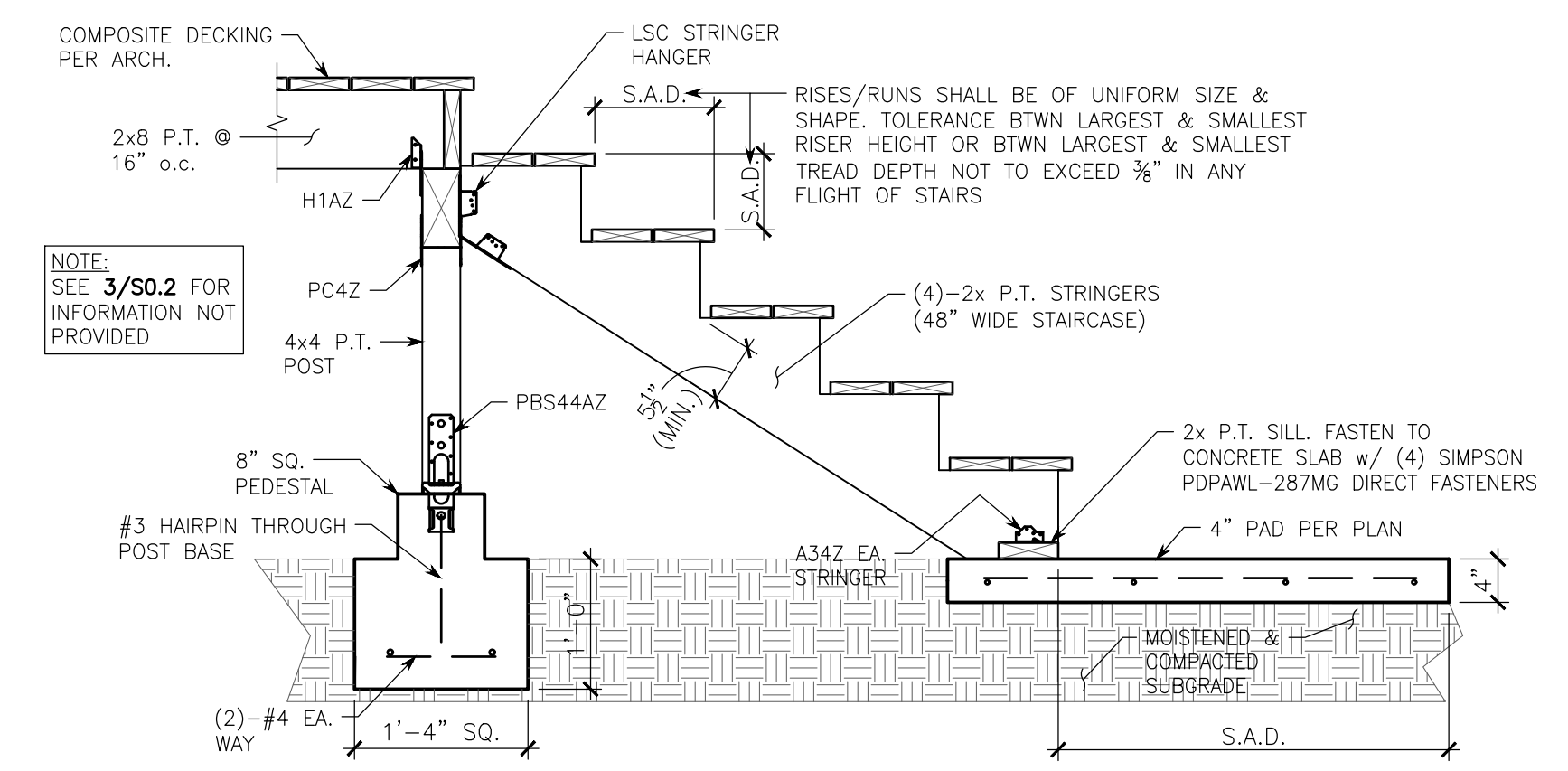
7 SECTION
 1" = 1'-0"



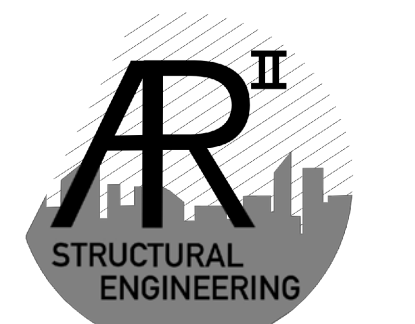
3 SECTION
 1" = 1'-0"



2 LEDGER DETAIL
 3/4" = 1'-0"



1 SECTION
 3/4" = 1'-0"



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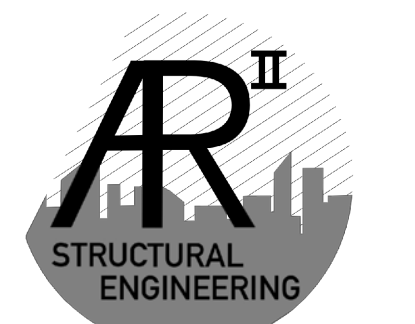
ISSUE NO.	DATE	DESCRIPTION
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TYPICAL DETAILS
 DELIMON RESIDENCE REMODEL
 5 SAN CARLOS NW OF 3RD AVE.
 CARMEL-BY-THE-SEA, CA

PROJECT #:
 0673

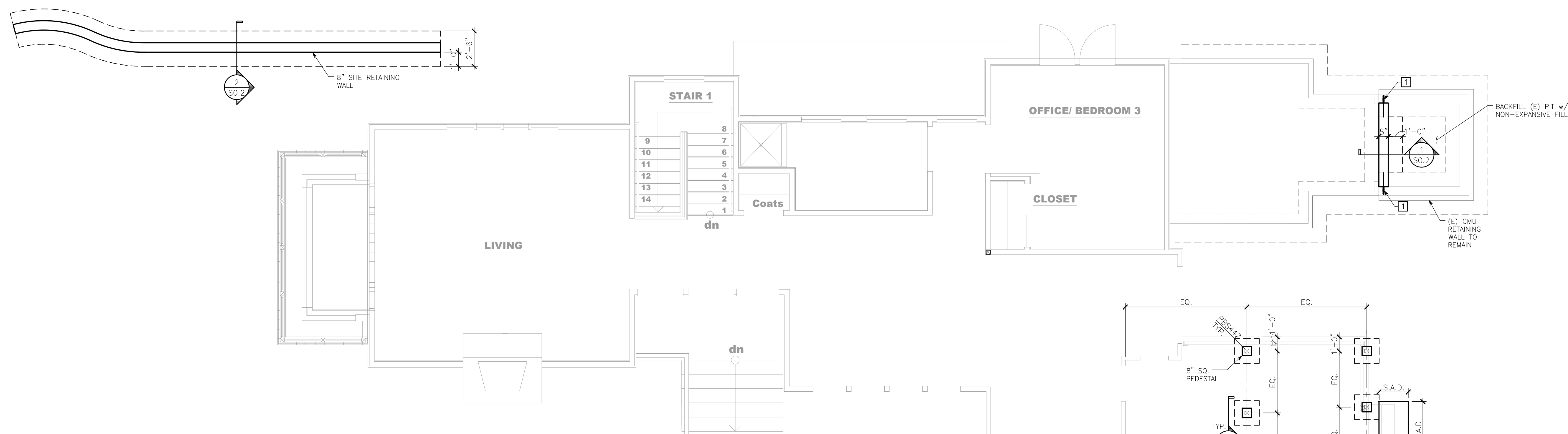
SO.3
 SHEET 3 OF 5

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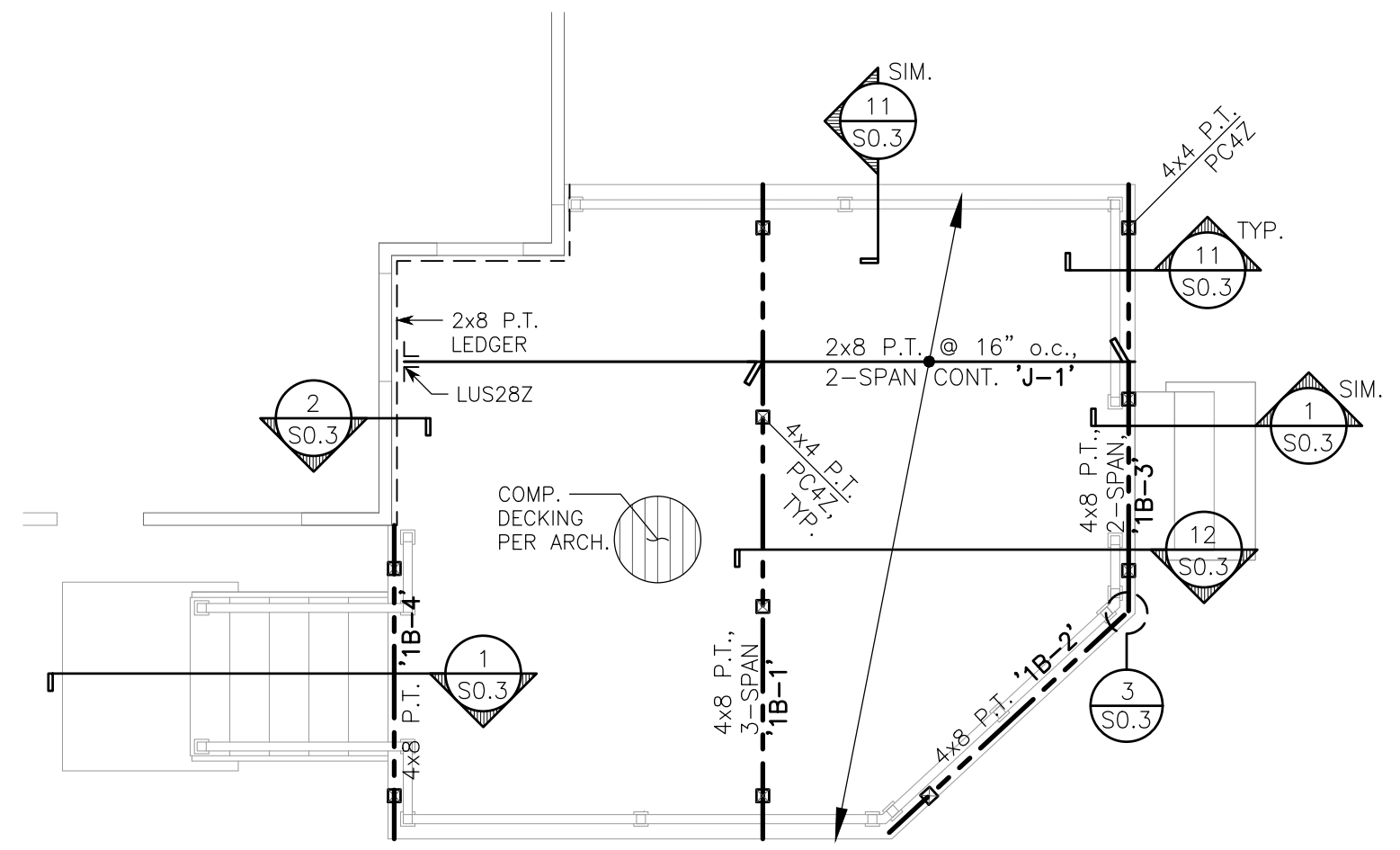
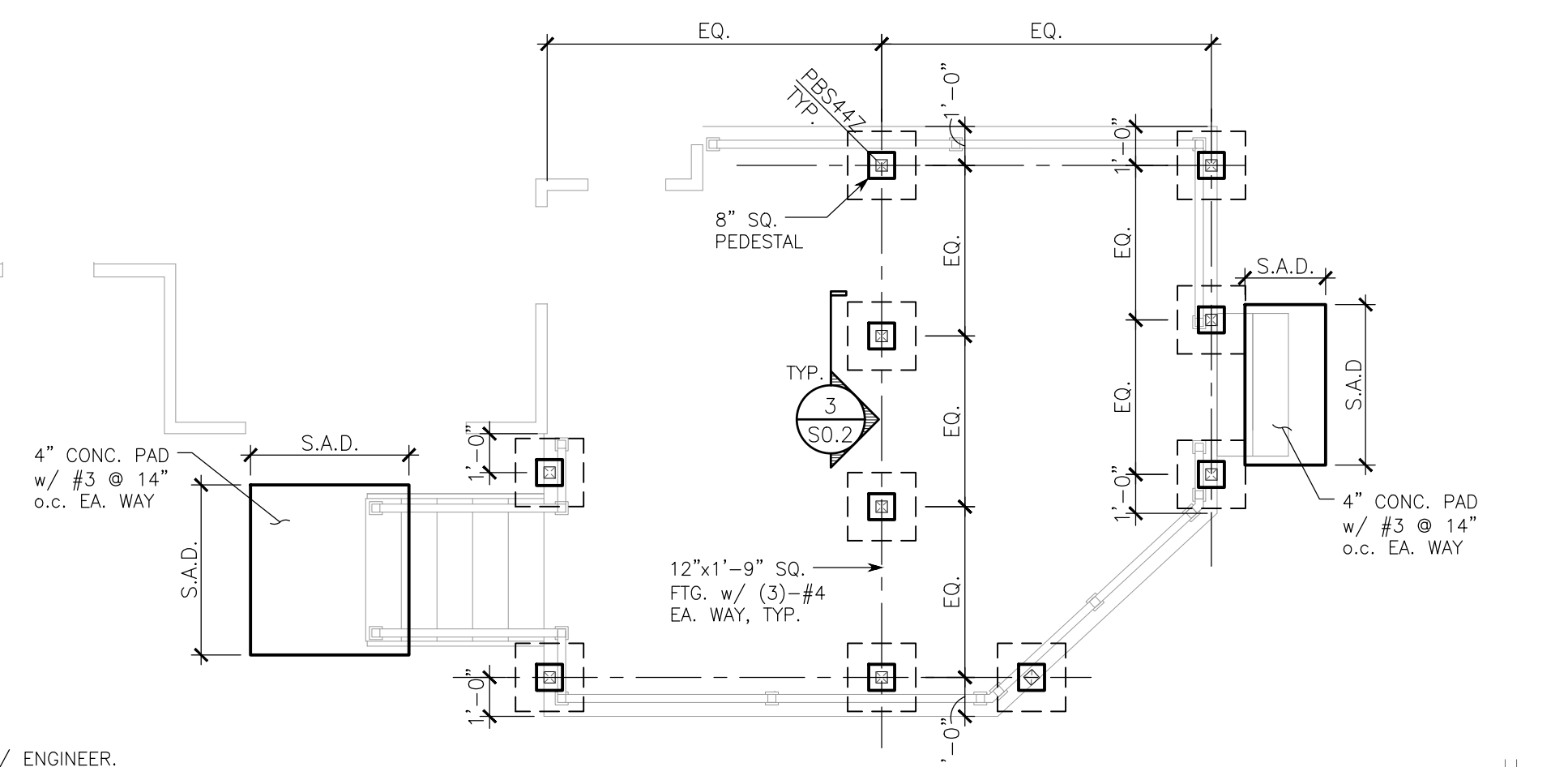
FOUNDATION PLAN

scale: 1/4" = 1'-0"

- NOTES:**
- CONTRACTOR SHALL VERIFY ALL ASSUMED FRAMING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING WORK
 - ENGINEER TO OBSERVE FOUNDATION WORK PRIOR TO POURING CONCRETE

- FOUNDATION NOTES:**
- SEE SHEETS S0.1-S0.3 FOR TYPICAL DETAILS AND GENERAL NOTES
 - CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PLANS
 - POST OR COLUMN FROM ABV.
 - STEP IN TOP OF WALL
 - CONTRACTOR TO FIELD VERIFY GRADE WITH TOP OF WALL AND COORDINATE w/ ENGINEER.
 - FOR DRAINAGE DETAILS, SUMP PITS, DAMPROOFING, TRENCHES, CURBS, EXTERIOR WALKS, UTILITIES, EQUIPMENT, STEPS, DIMENSIONS NOT SHOWN, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL
 - ALL FOOTINGS MUST REST ON NATIVE IN-SITU SOIL

FOUNDATION KEYNOTES:
 [Symbol] - FASTEN (N) TO (E) CMU WALL w/ SET-3G EPOXY PER 4 & 5/S0.2



LOWER DECK FRAMING PLAN

scale: 1/4" = 1'-0"

- FOUNDATION NOTES:**
- SEE SHEETS S0.1-S0.3 FOR TYPICAL DETAILS AND GENERAL NOTES
 - CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PLANS
 - POST OR COLUMN FROM ABV.
 - STEP IN TOP OF WALL
 - CONTRACTOR TO FIELD VERIFY GRADE WITH TOP OF WALL AND COORDINATE w/ ENGINEER.
 - FOR DRAINAGE DETAILS, SUMP PITS, DAMPROOFING, TRENCHES, CURBS, EXTERIOR WALKS, UTILITIES, EQUIPMENT, STEPS, DIMENSIONS NOT SHOWN, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL
 - ALL FOOTINGS MUST REST ON UNDISTURBED NATIVE SOIL OR COMPACTED FILL PER SOILS REPORT

FRAMING KEYNOTES:

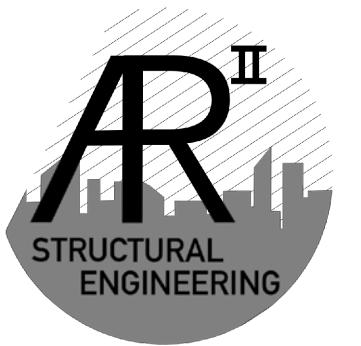
FOUNDATION & LOWER DECK FRAMING PLAN

DELIMON RESIDENCE REMODEL
 5 SAN CARLOS NW OF 3RD AVE.
 CARMEL-BY-THE-SEA, CA

PROJECT #:
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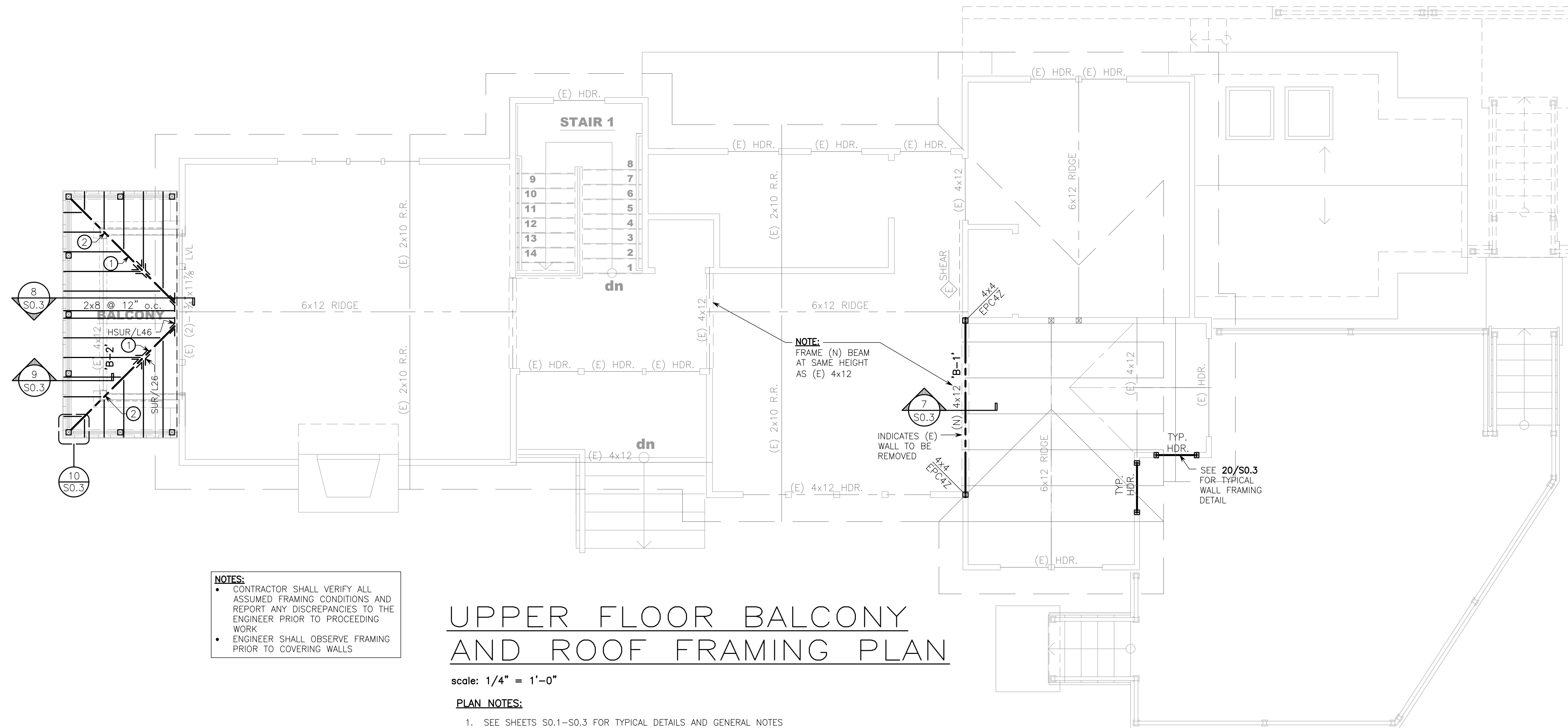
S1.0
 SHEET 4 OF 5

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NOTES:

- CONTRACTOR SHALL VERIFY ALL ASSUMED FRAMING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING WORK.
- ENGINEER SHALL OBSERVE FRAMING PRIOR TO COVERING WALLS

UPPER FLOOR BALCONY AND ROOF FRAMING PLAN

scale: 1/4" = 1'-0"

PLAN NOTES:

- SEE SHEETS S0.1-S0.3 FOR TYPICAL DETAILS AND GENERAL NOTES
- CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PLANS
- PLANS SHOW FRAMING ON WALLS BELOW
- SEE SHEATHING SCH. 3/S0.1 FOR ROOF & WALL SHEATHING TYPE AND NAILING.
- EXTERIOR WALLS TO BE 2x6 @ 16" o.c., U.N.O. SHEATH ALL EXTERIOR WALLS
- TYP. HDR. TO BE 6x8 @ 6" NOMINAL WALLS AND 4x12 @ 4" NOMINAL WALLS
- POST BELOW, PROVIDE (BM. WIDTH) x (WALL WIDTH) POSTS UNDER ALL BEAMS, U.N.O.
- POSTS TO BE CONT. TO FDN. PROVIDE SQUASH BLOCK OR ADD'L RIM SECTION BELOW POSTS TO TRANSFER LOADS THROUGH THE FLOOR SYSTEM
- INTERIOR BEARING WALL
- CEILING AND ITS SHEETROCK SHALL NOT BE INSTALLED BEFORE FULL DEAD LOAD IS INSTALLED
- MECHANICAL, ELECTRICAL AND SHAFT OPENINGS PER DRAWINGS OTHER THAN STRUCTURAL
- FOR DRAINAGE DETAILS, WATERPROOFING, UTILITIES, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL

FOUNDATION KEYNOTES:

- ① - 3 1/2" x 7/4" LVL
- ② - HCP4Z

UPPER FLOOR BALCONY AND ROOF FRAMING PLAN
 DELIMON RESIDENCE REMODEL
 5 SAN CARLOS NW OF 3RD AVE.
 CARMEL-BY-THE-SEA, CA

PROJECT #:
 0673

S2.0
 SHEET 5 OF 5