



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 24315

**Owner Name:** Elizabeth Anderson Mears

**Case Planner:** Katherine Wallace, Associate Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 04/21/2025

**Project Location:** SE Corner Santa Fe & 3rd, Carmel-by-the-Sea

**APN #:** 010029019000      **BLOCK/LOT:** 39/ALL LOT 2

**Applicant:** Jose G. Martinez

**Project Description:** Replacement and enlargement of existing west deck; Paint exterior of residence; Install a new Certainteed Presidential Triple Layer composite shingle roof; and Install a new exterior light fixture at deck access doors,

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

## CONDITIONS OF APPROVAL

No.	Standard Conditions
1.	<b>Authorization.</b> This approval of Design Study DS 24315 (Mears) authorizes a Replacement and enlargement of existing west deck; Paint exterior of residence; Install a new Certainteed Presidential Triple Layer composite shingle roof; and Install a new exterior light fixture at deck access doors, located at SE Corner Santa Fe & 3rd, Carmel-by-the-Sea in the R1-C District and, APN: 010029019000 as depicted in the plans stamped approved by Community Planning and Building Department on 04/21/2025 unless modified by the conditions of approval contained herein.
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R1-C zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	<b>Permit Required.</b> <div style="margin-left: 20px;"> <input checked="" type="checkbox"/> A Building Permit shall be applied for and obtained from the <a href="#">Building Division</a> prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division.   <input type="checkbox"/> A building permit is not required; however, the applicant shall apply for and obtain a Notice of Authorized Work from the Building Division prior to commencement of work. To apply for the Notice of Authorized Work, please submit the <a href="#">Scope of Work Declaration</a> through the city's <a href="#">online permit portal</a>. </div>
4.	<b>Permit Validity.</b> The project shall be implemented in accordance with the time limits set forth <a href="#">CMC 17.52.170 (Time Limits on Approvals and Denials)</a> . During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	<b>USA North 811.</b> Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

9.	<b>Conditions of Approval.</b> Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	<b>Tree Removal Prohibited.</b> Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	<p><b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.</li> <li>• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> </ul> <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. <b>The Forester can be reached at 831-620-2073.</b></p>
12.	<b>Foundation Work Near Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

**SPECIAL CONDITIONS**

13.	Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing. Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.
14.	Tree Root Protection. Per City Forester direction, hand digging is required to identify root locations prior to pouring the deck piers. Discovery of roots shall be reported to the City Forester ((831) 620-2073) who may require modification of the plans to protect the roots.
15.	
16.	
17.	

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

*Once signed, please email to [kwallace@cbts.us](mailto:kwallace@cbts.us).*

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GENERAL SPECIFICATIONS

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS OF THE SITE AND EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IN WRITING. IN NO CASE SHALL DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE DRAWINGS OR CALCULATIONS.

2. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OR THE DESIGNER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

3. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITY LINES AND CONNECTIONS INCLUDING SEWER, WATER, GAS, AND ELECTRIC SERVICES BEFORE AND DURING HIS WORK.

4. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.

5. NO PIPES, DUCTS, SLEEVES, CHASES, ETC., SHALL BE PLACED IN SLABS, FOOTING, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED, NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.

6. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXPECTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

7. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THAT ALL PROPERTY IS PROTECTED DURING THIS OPERATION. ANY DAMAGES OR CHANGED CONDITIONS SHALL BE REPAIRED AND RESTORED TO A CONDITION EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF THE WORK. CONTRACTOR SHALL RESTORE ANY DAMAGE AT HIS OWN EXPENSE.

8. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE DESIGN ENGINEER, THE DESIGNER, THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS,

TABULATIONS

DESCRIPTION	EXISTING	PROPOSED	TOTAL
FRONT SETBACK	22'-9"	20'-5"	20'-5"
REAR SETBACK	3'-0"	3'-0"	3'-0"
LEFT SIDE SETBACK	5'-1"	5'-1"	5'-1"
RIGHT SIDE SETBACK	5'-0"	5'-0"	5'-0"
MAIN BUILDING HEIGHT	13'-10"	13'-10"	13'-10"
NO. OF STORIES	1	1	1
NO. OF COVERED PARKING SPACES	1	1	1
LOT SIZE			4000 sq. ft.
EXISTING HOUSE	824 sq. ft.		824 sq. ft.
EXISTING LAUNDRY	66 sq. ft.		66 sq. ft.
EXISTING GARAGE	204 sq. ft.		204 sq. ft.
DECK & STAIRS REMODEL	78 sq. ft.	142 sq. ft.	142 sq. ft.*
-			
FLOOR AREA (SQ. FT.)	1,099 sq. ft.	N/A	1,099 sq. ft.
FLOOR AREA (%)	27%	N/A	27%
SITE COVERAGE (SQ. FT.)*	78 sq. ft.	142 sq. ft.	142 sq. ft.*
SITE COVERAGE (%)	2%	4.8%	4.8%

\* NOTE: The area of the existing deck is not added because it is included within the proposed area.

THERE ARE NO EXISTING OR PROPOSED WALKWAYS ON THIS PROPERTY.

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SITE INFO, TABULATIONS, SCOPE OF WORK, MAPS, & GENERAL NOTES  
EXIST. & PROPOSED SITE PLAN  
3D IMAGES  
EXISTING FLOOR PLAN & PROPOSED FLOOR PLAN  
EXISTING FINISHED ELEVATIONS  
PROPOSED FINISHED ELEVATIONS  
ELECTRICAL PLAN AND CODE NOTES  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
FOUNDATION PLAN AND CODE NOTES  
DETAILS

SITE INFORMATION

APN NUMBER:	010-024-019-000	OWNER:	ELIZABETH MEARS
ZONE	R1-C	ADDRESS	SE CORNER SANTA FE AND 3RD AVE.
DESIGNATION:		CITY	CARMEL-BY-THE-SEA
FLOOD ZONE:	A99	STATE	CA
USE:	SFR /MF	ZIP	93923
OCCUPANCY	R-3/U	CODE:	
GROUP:		E-MAIL:	betsymears1464@gmail.com
CONSTRUCTION TYPE:	V-B	PHONE:	(650) 123-4567
SPRINKLERS:	NO		
LOT SIZE:	4000		

CODE REFERENCE

2022 CALIFORNIA BUILDING CODE (CBC)  
2022 CALIFORNIA ELECTRICAL CODE (CEC)  
2022 CALIFORNIA MECHANICAL CODE (CMC)  
2022 CALIFORNIA GREEN BUILDING CODE (CALGreen)  
2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)

2022 CALIFORNIA RESIDENTIAL CODE (CRC)  
2022 CALIFORNIA PLUMBING CODE (CPC)  
2022 CALIFORNIA ENERGY CODE (CEnc)  
2022 CALIFORNIA FIRE CODE (CBC)

2022 Minimum Design Loads and Associated Criteria for Buildings (ASCE 7)  
2021 Special Design Provisions for Wind & Seismic (SDPWS)

AND ALL OTHER STATE, MUNICIPAL, AND LOCAL ORDINANCES, CODES, RULES AND REGULATIONS.

LOCAL ORDINANCE

VAPOR BARRIER NOTE: Under habitable rooms of Groups R occupancies, a vapor barrier approved by the Building Official shall be installed beneath the concrete slab floor. Single-ply plastic vapor barriers shall not be used. An approved base material of suitable consistency, compaction, and thickness shall be provided directly under the concrete slab vapor barrier to retard capillary action. Two (2) inches of sand shall be provided between the vapor barrier and the concrete slab. The top of the concrete floor slab shall be a minimum six (6) inches above exterior finished grade. ORD. NO. 2428, 3.1-4.17

CALGREEN

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. A PLAN IS DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION

4.106.3 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SMMC 23.10.030 SINGLE FAMILY, DUPLEX, AND TOWNHOUSE, ONE PARKING SPACE PROVIDED SHALL BE A LEVEL 2 EV READY SPACE. IF A SECOND PARKING SPACE IS PROVIDED, IT SHALL BE PROVIDED WITH A LEVEL 1 EV READY SPACE.

MULTIFAMILY DWELLING (SMMC 23.10.040): 15 PERCENT OF DWELLING UNITS WITH PARKING SPACES SHALL INCLUDE LEVEL2 EV READY AND 85 PERCENT OF DWELLING UNITS WITH PARKING SPACES SHALL BE PROVIDED WITH LOW POWER LEVEL 2 EVREADY SPACE.

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS ( FAUCETS AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF SECTIONS 403.1.1 AND 403.1.2

4.303.1.3 AND 403.1.4 FITTINGS (FAUCETS AND SHOWERHEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE.

FIRE ORDINANCE

EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. SPECIFY AN ILLUMINATED ADDRESS NUMBER WITH CONTRASTING BACKGROUND AND A MINIMUM 1/8" STROKE BY 4" MINIMUM HEIGHT THAT IS VISIBLE FROM THE STREET. (R319.1)

A. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

B. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. (R319.1)

C. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS.

D. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/8 INCH. (R319.1)

ABBREVIATIONS

@ At	DIM: Dimension	I: Inch	R: Roof	VOL: Volume
& And	DP: Daylight Plane	IN: Inch	RF: Roof	VP: Vent Pipe
' Foot, Feet	DS: Downspout	INSUL: Insulation	RF6: Roofing	W: Water
" Inch	E:	J: Jolt	RG: Right	W: Washer
# Number	(E) Existing	JST: Jolt	RR: Roof Rafter	W: Width
A:	EA: Each	K: King Post	RM: Room	WC: Watercloset
AB: Anchor Bolt	ELEG: Electrical	KP: King Post	RMV: Remove	WD: Wood
ABV: Above	ELEV: Elevation	KS: King Stud	S: Sanitary	WH: Water Heater
A/C: Air Conditioning	EMER: Emergency	L: Landing	SCR: Screen	WM: Water Meter
ACC: Access	EW: Each Way	LF: Left	SB: Setback	WP: Waterproof
ADD: Addition	F: Floor Area Ratio	LR: Living Room	SF: Square Foot	Weatherproof
B:	FF: Finished Floor	LTG: Lighting	SKL: Skylight	X HVY: Extra Heavy
BLK: Blocking	FFE: Finished Floor	LX: Light Weight	SQ: Square	X STR: Extra Strong
BM: Beam	Elevation	MAN: Manual	STG: Storage	YD: Yard
BOT: Bottom	FFL: Finished Floor	MATL: Material	SY: Square Yard	YR: Year
BR: Bedroom	Line	MAX: Maximum	T: Top	
C:	FJ: Floor Joist	MB: Mail Box	TC: Top of Curb	
CEM: Cement	FIN: Finish	MET: Metal	TP: Top Plate	
CF: Cubic Feet	FLR: Floor	MFD: Manufactured	TYP: Typical	
CJ: Ceiling Joist	FND: Foundation	MRD: Metal Roof Deck	U: Unit Heater	
CL: Closet	FT: Foot, Feet	N: Number	UNO: Unless Noted	
CO: Cleanout	FTG: Footing	NTS: Not To Scale	Otherwise	
COM: Common		O: On Center	UON: Unless Otherwise	
COMP: Composition		P: Proposed	Noted	
CONC: Concrete		F: Pitch	UR: Urinal	
CONN: Connection		PKNG: Parking	UT: Utility	
CONST: Construction		PLYWD: Plywood	V: Vapor Barrier	
CONT: Continuous		PT: Plate	VENT: Ventilate	
COV: Coverage		P.T: Pressure Treated	VERT: Vertical	
D:			VIN: Vinyl	
DBL: Double				
DEMO: Demolition				
DET: Detail				
DF: Douglas Fir				
DJ: Deck Joist				

PROPOSED FLOOR PLAN

PROPOSED AERIAL VIEW

LOCATION MAP

PARCEL MAP

THE MEARS RESIDENCE

AT:

SE CORNER  
SANTA FE AND  
3RD AVE.  
CARMEL-BY-THE-SEA, CA 93923

DESIGNED BY:  
LUIS A. OSORIO  
1035 ADAMS ST. APT 04  
REDWOOD CITY  
CA 94061  
PHONE# (650) 384-9822  
E-MAIL  
ladd.build@gmail.com

DATE  
DECEMBER 01, 2023

REVISION No.

1 OCT. 02, 2024

2 JAN. 01, 2025

3 JAN. 31, 2025

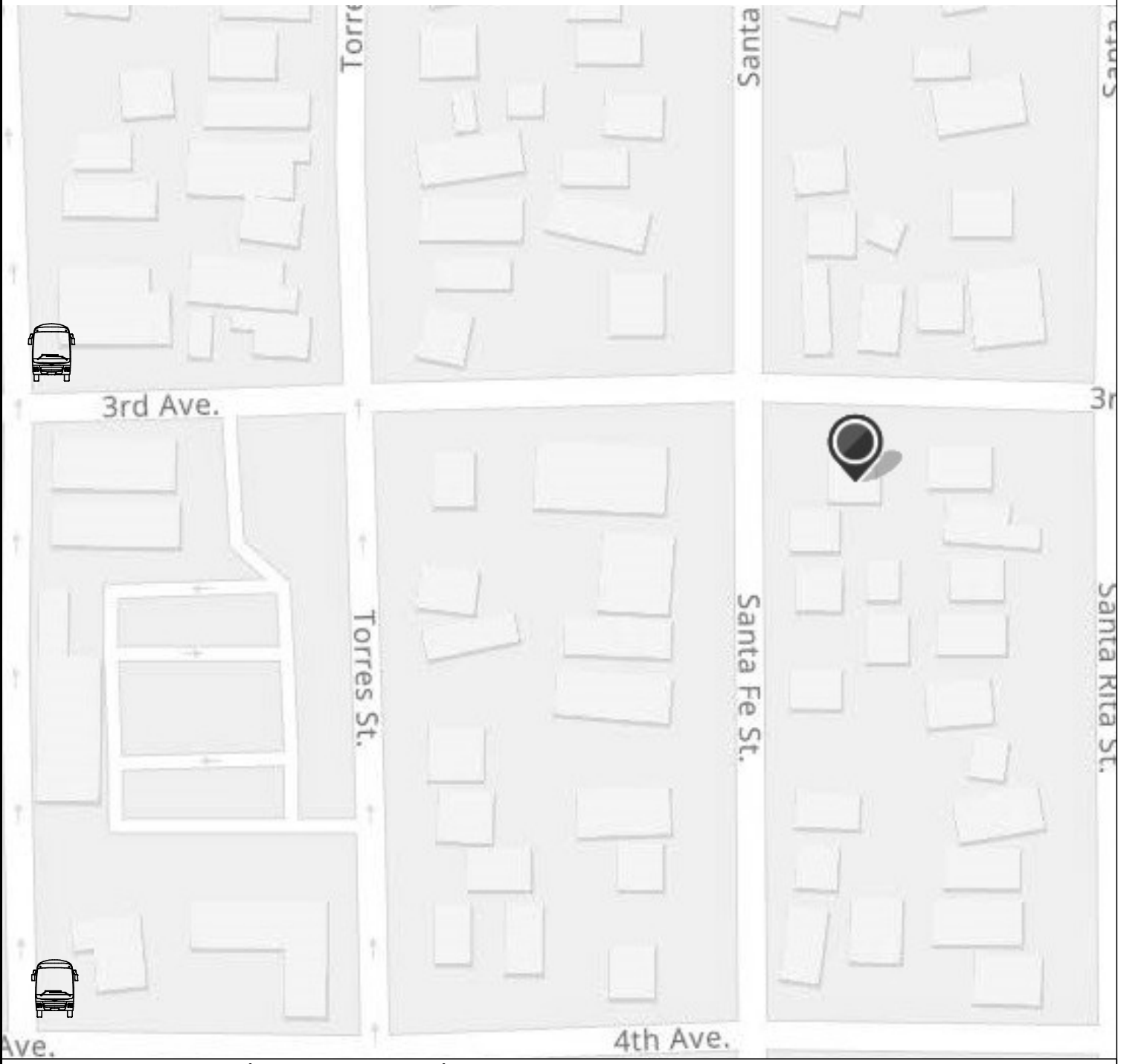
4 MARCH. 27, 2025

KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.

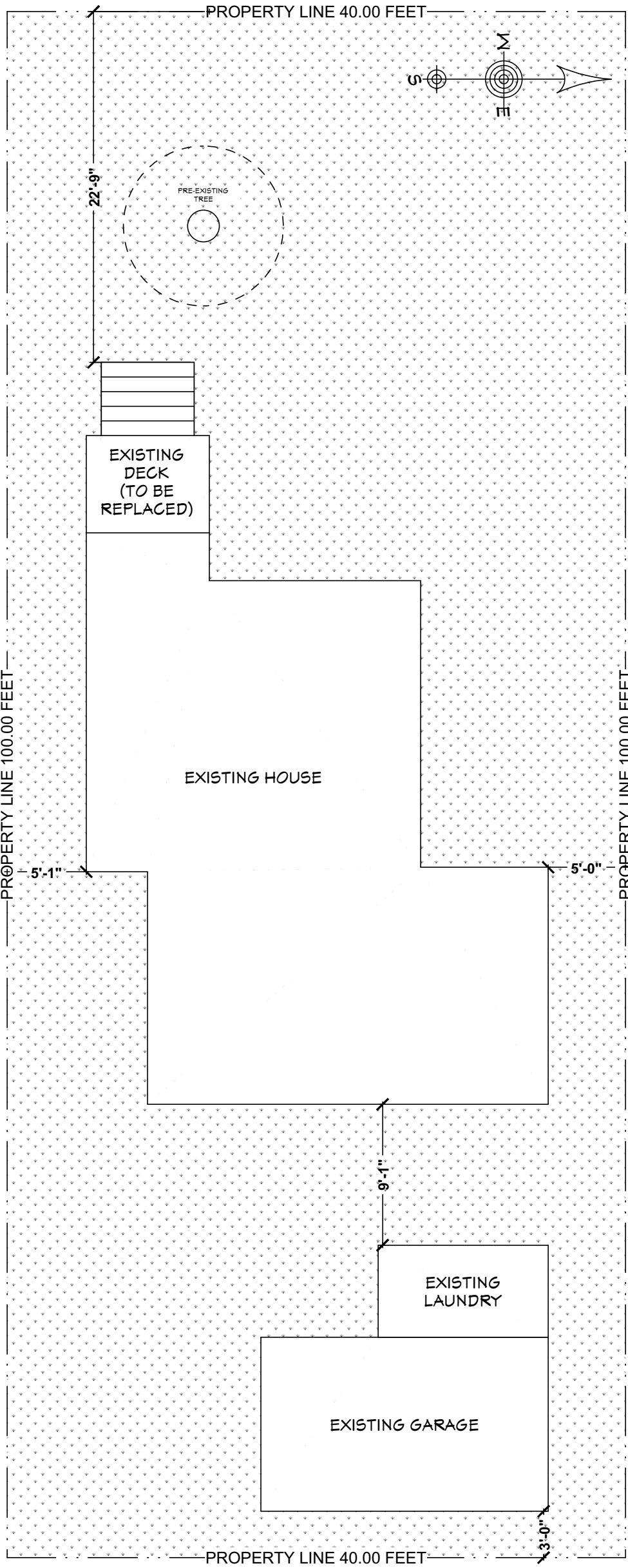
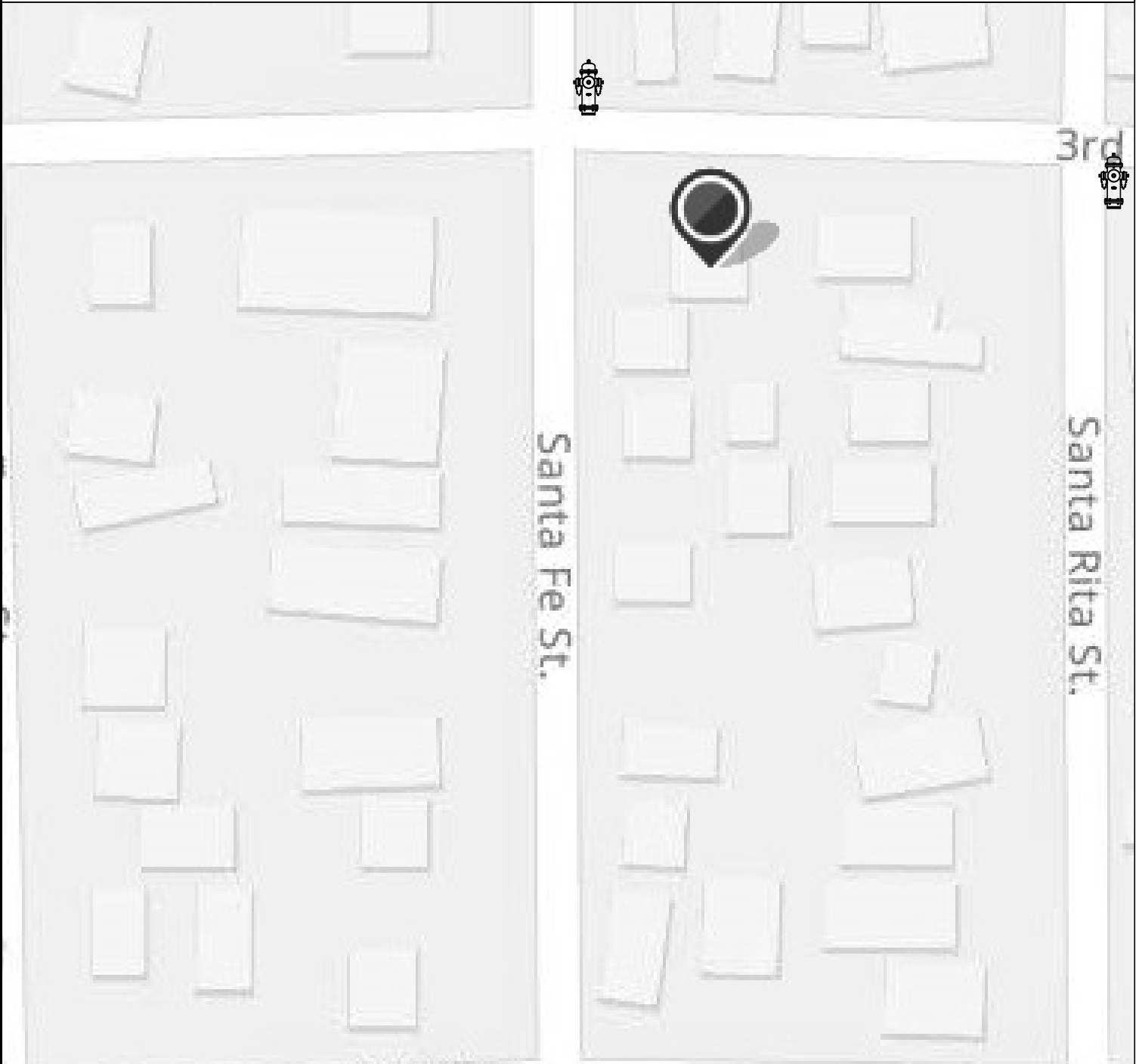
CV-1

SHEET 1 OF 10

BUS STOP

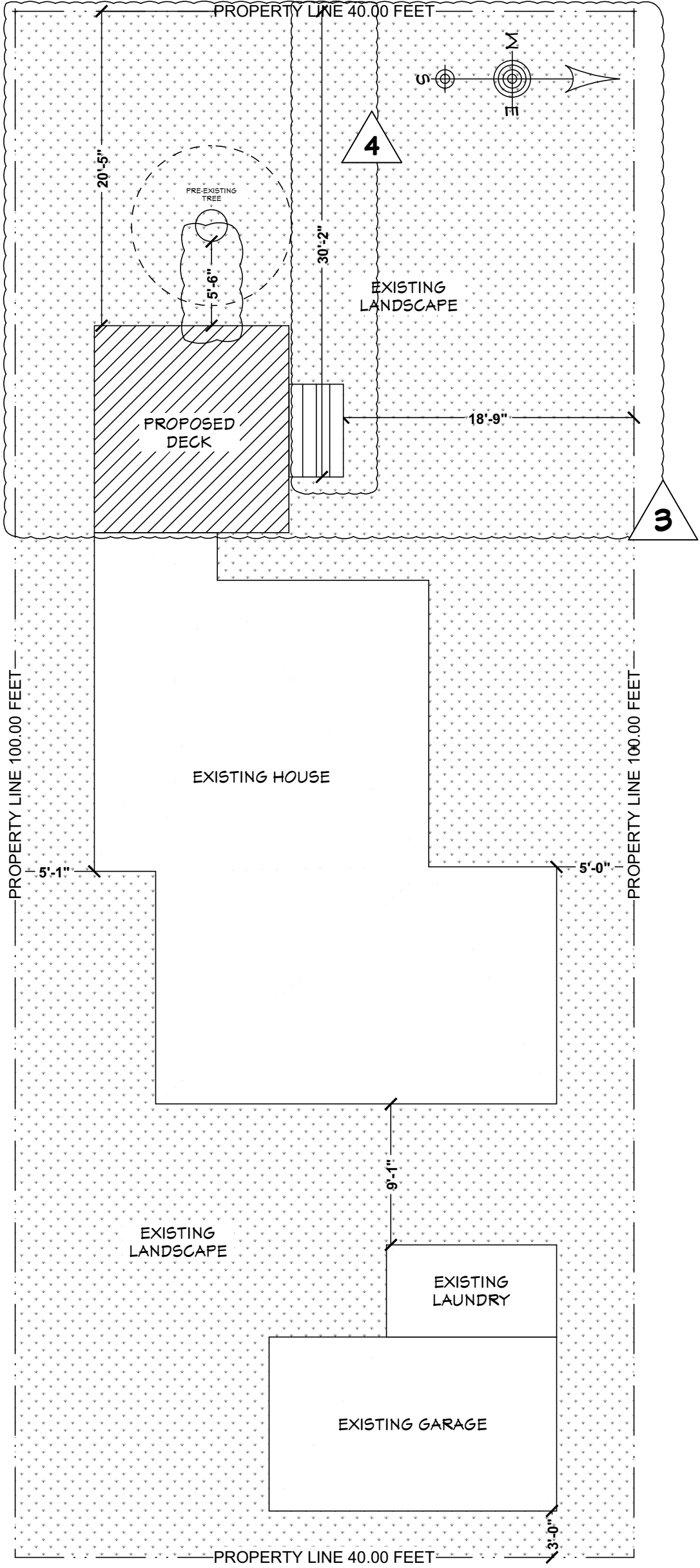


(+/- 46 FEET) DISTANCE TO HYDRANT



EXISTING SITE PLAN

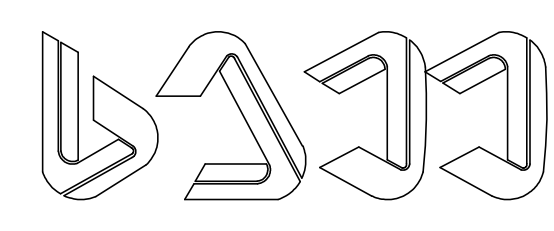
SCALE 1/8"=1'-0"



PROPOSED SITE PLAN

SCALE 1/8"=1'-0"

Written dimensions on these drawing shall have precedence over scaled dimensions, written dimensions are approximate and must be verified, contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work. This office must be notified of any variation from the dimensions and conditions shown by these drawings.



LAYOUT  
ARCHITECTURAL  
DRAFTING  
DESIGNED

*Luis Antonio*

DESIGNED BY:  
LUIS A. OSORIO  
1035 ADAMS ST. APT 04  
REDWOOD CITY  
CA 94061  
PHONE# (650) 384-9822  
E-MAIL  
ladd.build@gmail.com

THE MEARS  
RESIDENCE

AT:  
  
SE CORNER  
SANTA FE AND  
3RD AVE.  
CARMEL-BY-THE-  
SEA, CA 93923

DATE	DECEMBER 01, 2023
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4	MARCH. 27, 2025



KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.

PNG-1



PROPOSED DECK VISUALIZATION

## Overcast

OC-43

Subdued green undertones make this a calming off-white.

LRV ⓘ

68.93

Also Known As  
1615

## Navajo White

OC-95

Slightly warm and delicately shaded, this off-white has timeless, widespread appeal.

LRV ⓘ

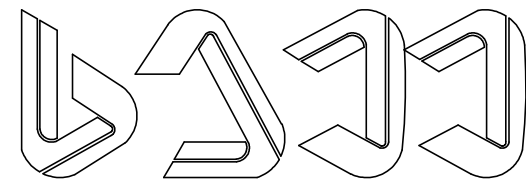
78.26

Also Known As  
947, PM-29



PRE-EXISTING CONDITION IMAGES

Written dimensions on these drawing shall have precedence over scaled dimensions, written dimensions are approximate and must be verified, contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work. This office must be notified of any variation from the dimensions and conditions shown by these drawings.



LAYOUT  
ARCHITECTURAL  
DRAFTING  
DESIGNED

*Luis Antonio*

DESIGNED BY:  
LUIS A. OSORIO  
1035 ADAMS ST. APT 04  
REDWOOD CITY  
CA 94061

PHONE# (650) 384-9822  
E-MAIL  
ladd.build@gmail.com

THE MEARS  
RESIDENCE

AT:

SE CORNER  
SANTA FE AND  
3RD AVE.  
CARMEL-BY-THE-  
SEA, CA 93923

DATE

DECEMBER 01, 2023

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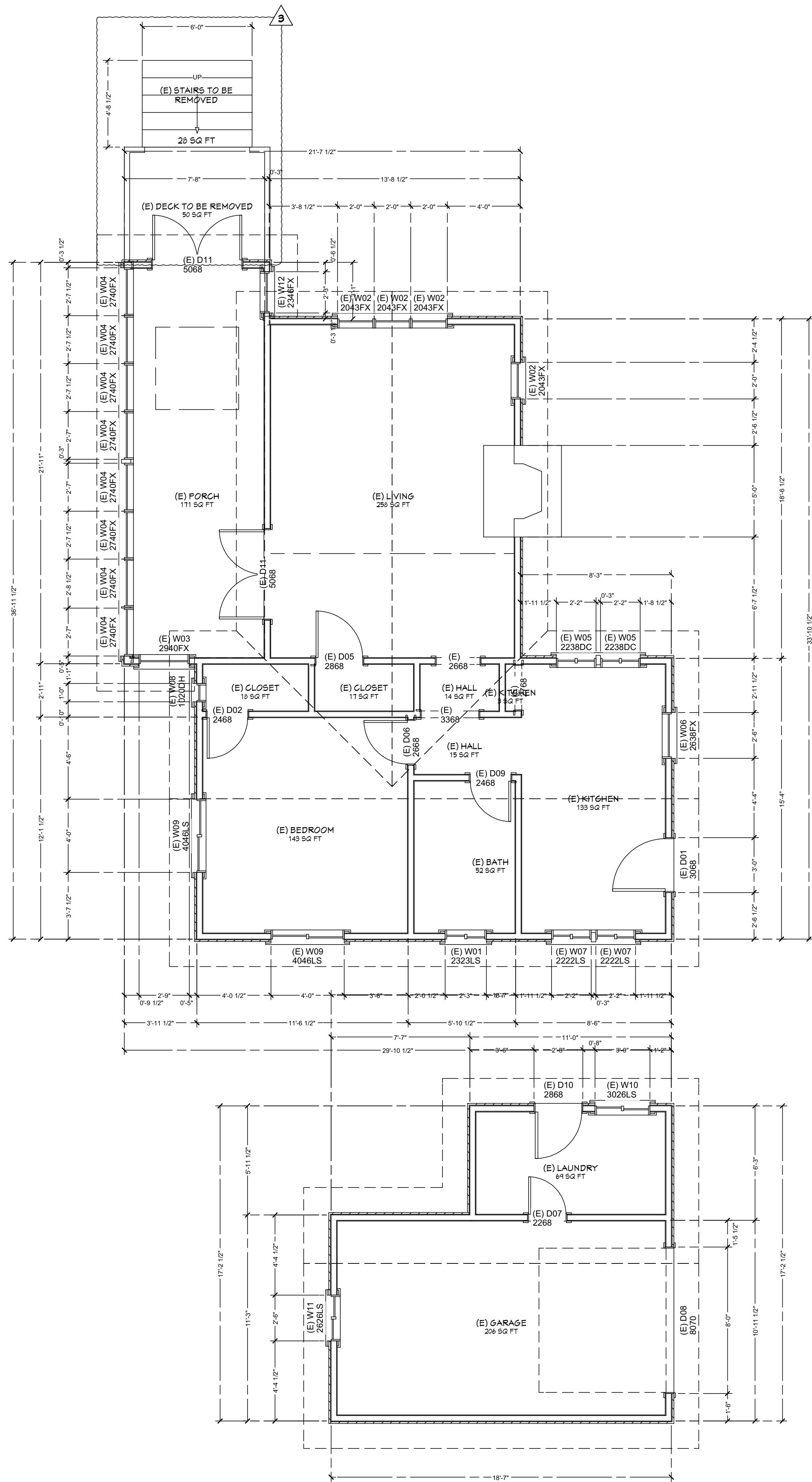
3 JAN. 31, 2025

4 MARCH 27, 2025



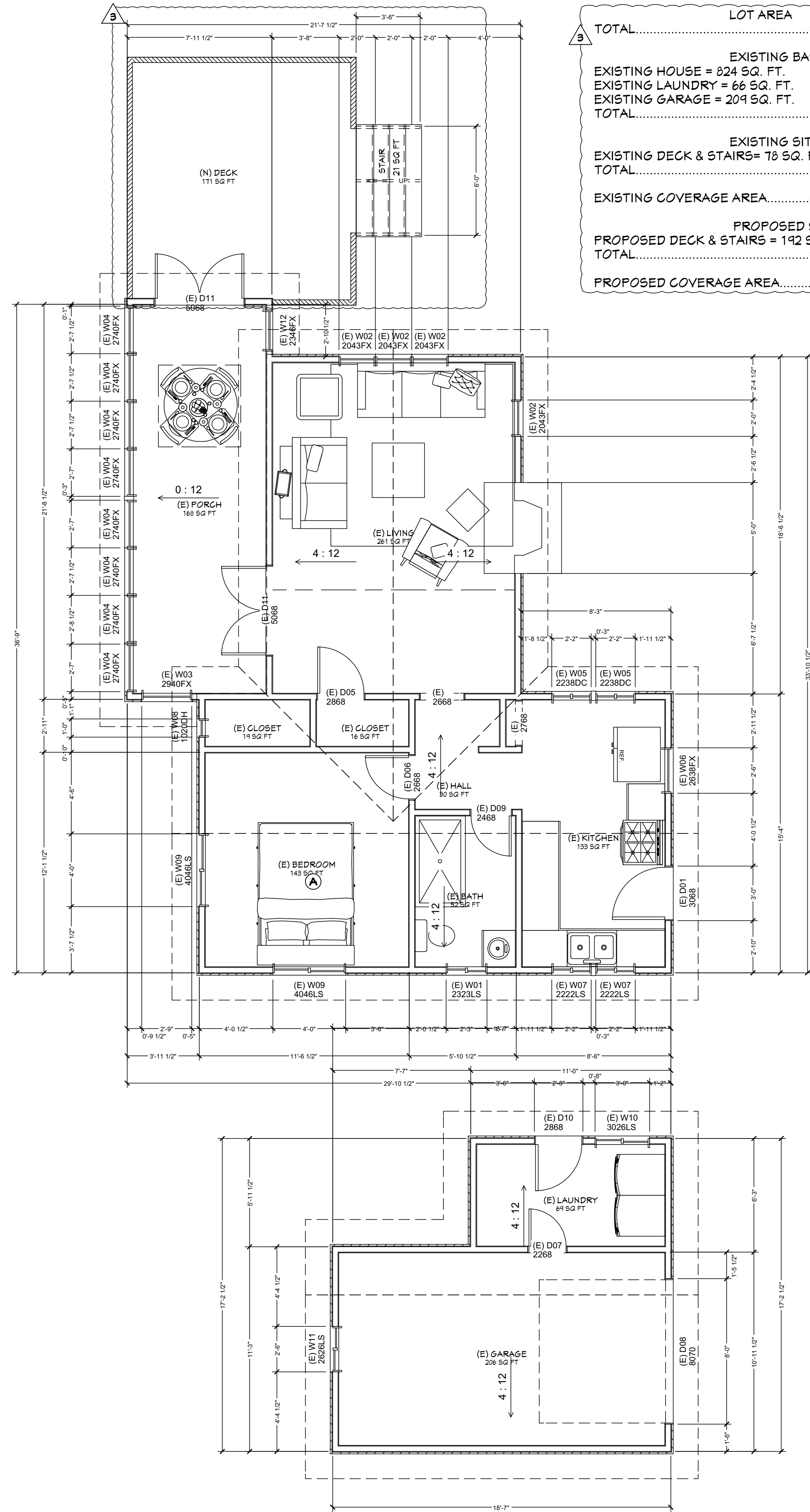
KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.

A-1



EXISTING FLOOR PLAN

SCALE 1/4"

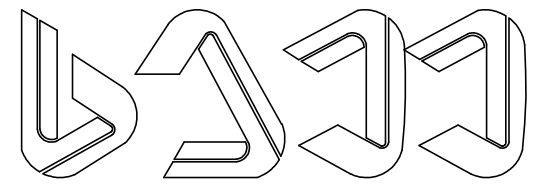


PROPOSED FLOOR PLAN

SCALE 1/4"

LOT AREA	
TOTAL	= 4,000 SQ. FT. ( 100% OF LOT)
EXISTING BASE FLOOR AREA	
EXISTING HOUSE	= 824 SQ. FT.
EXISTING LAUNDRY	= 66 SQ. FT.
EXISTING GARAGE	= 209 SQ. FT.
TOTAL	= 1,099 SQ. FT. ( 28% OF LOT)
EXISTING SITE COVERAGE AREA	
EXISTING DECK & STAIRS	= 78 SQ. FT.
TOTAL	= 78 SQ. FT. ( 2% OF LOT)
EXISTING COVERAGE AREA	
	= 78 SQ. FT. (2% OF LOT)
PROPOSED SITE COVERAGE AREA	
PROPOSED DECK & STAIRS	= 192 SQ. FT.
TOTAL	= 192 SQ. FT. ( 4.8% OF LOT)
PROPOSED COVERAGE AREA	
	= 192 SQ. FT. (4.8% OF LOT)

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LAYOUT  
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DRAFTING  
DESIGNED

Luis Antonio

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THE MEARS  
RESIDENCE

AT:  
SE CORNER  
SANTA FE AND  
3RD AVE.  
CARMEL-BY-THE-  
SEA, CA 93923

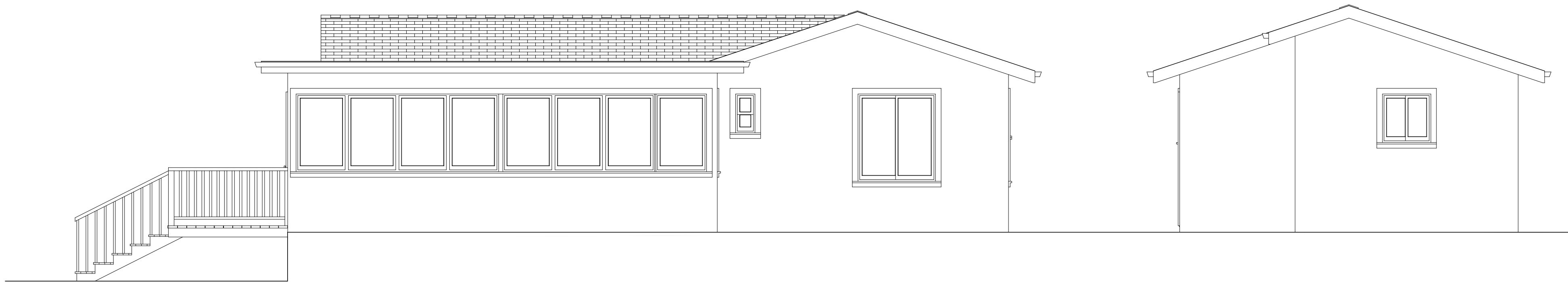
DATE	
1	OCT. 02, 2024
2	JAN. 01, 2025
3	JAN. 31, 2025
4	MARCH. 27, 2025



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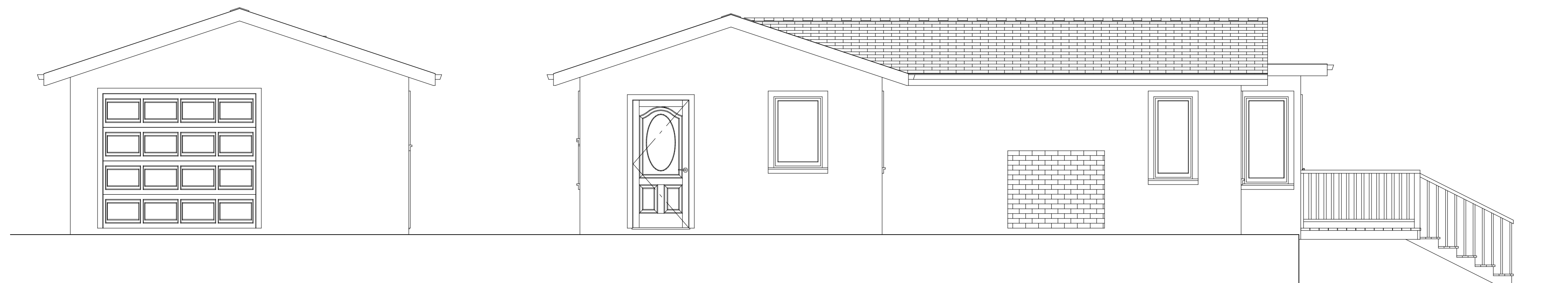
A-2

2



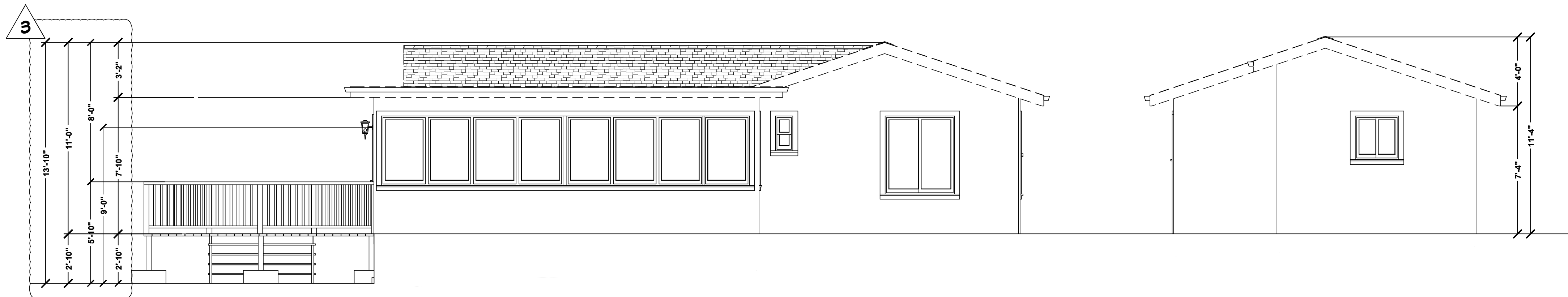
EXISTING SOUTH SIDE ELEVATION

SCALE 1/4"=1'-0"



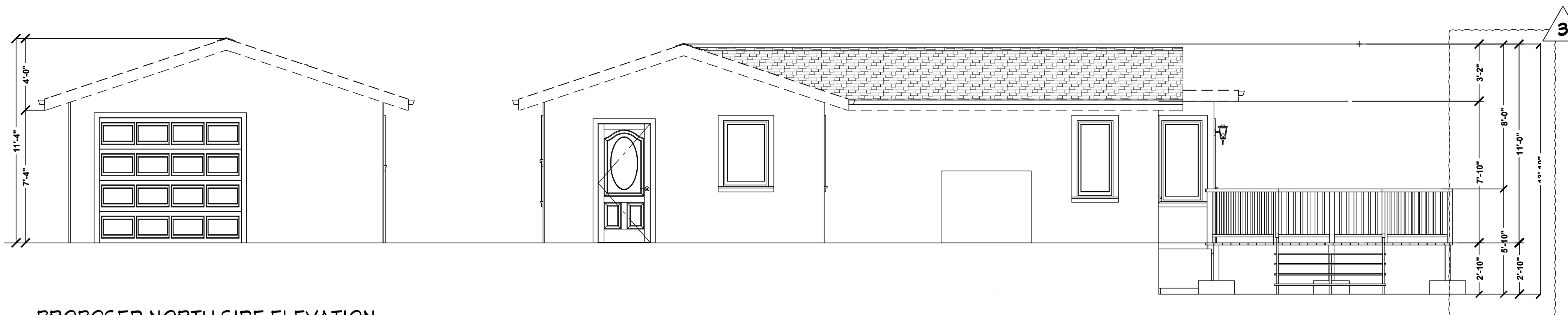
EXISTING NORTH SIDE ELEVATION

SCALE 1/4"=1'-0"



PROPOSED SOUTH SIDE ELEVATION

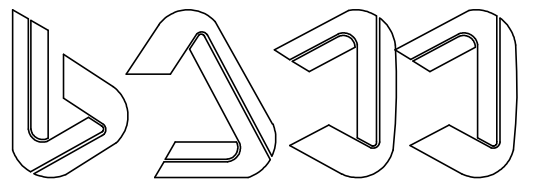
SCALE 1/4"=1'-0"



PROPOSED NORTH SIDE ELEVATION

SCALE 1/4"=1'-0"

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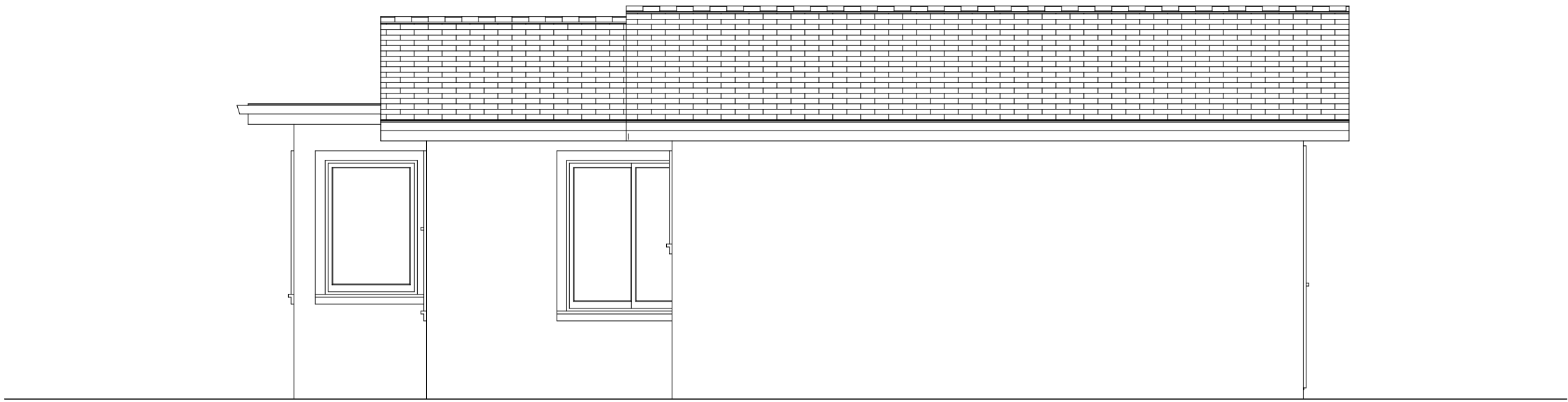
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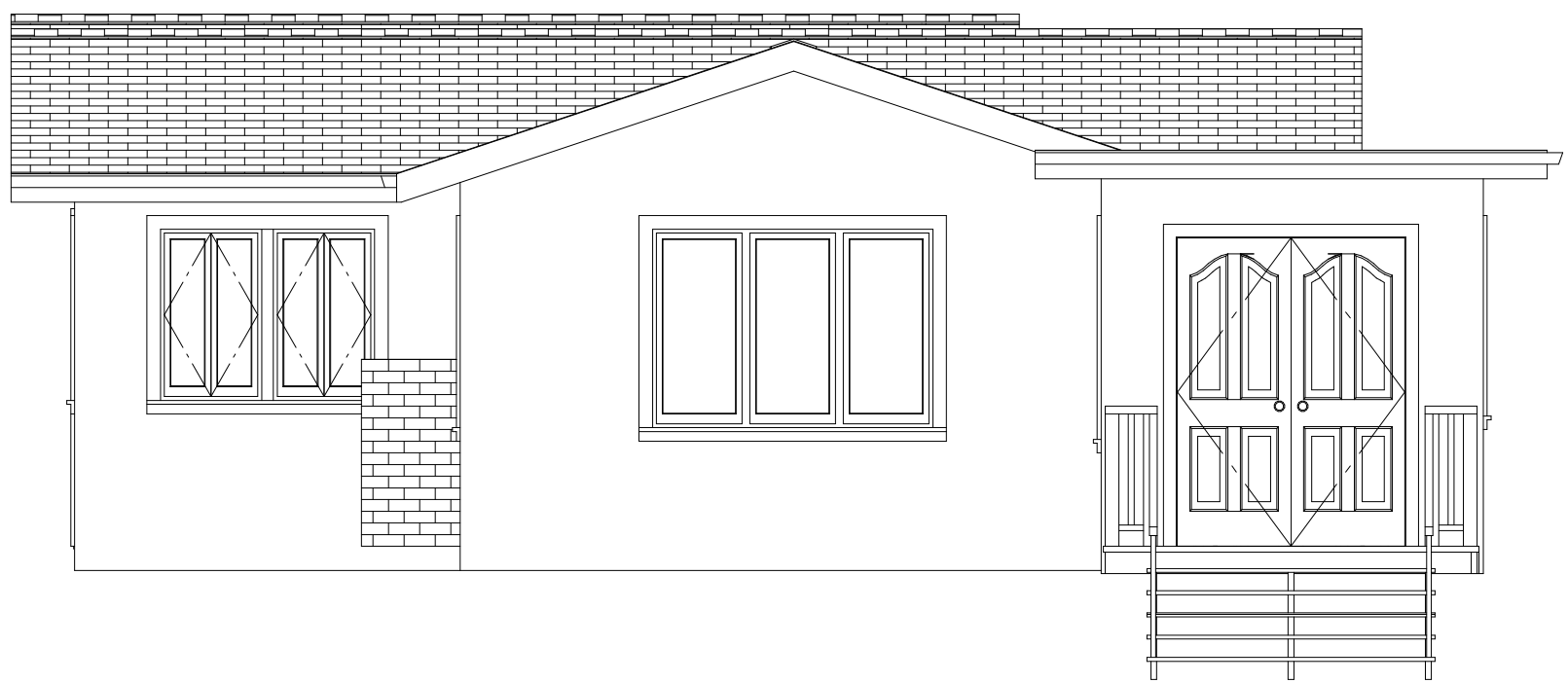
A-3

2



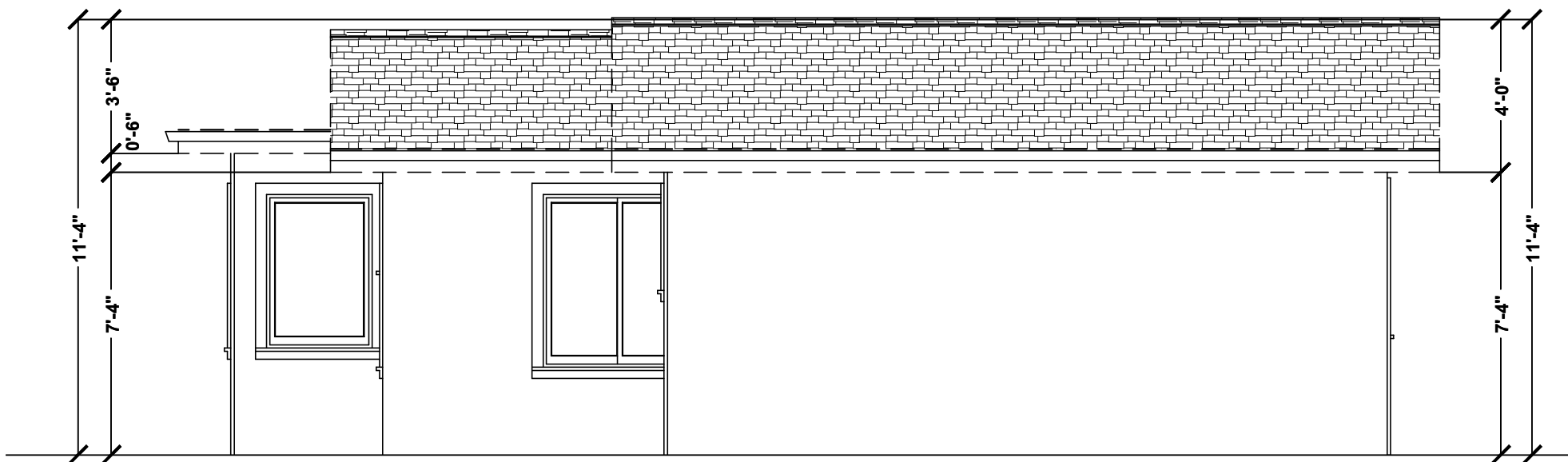
EXISTING EAST SIDE ELEVATION

SCALE 1/4"=1'-0"



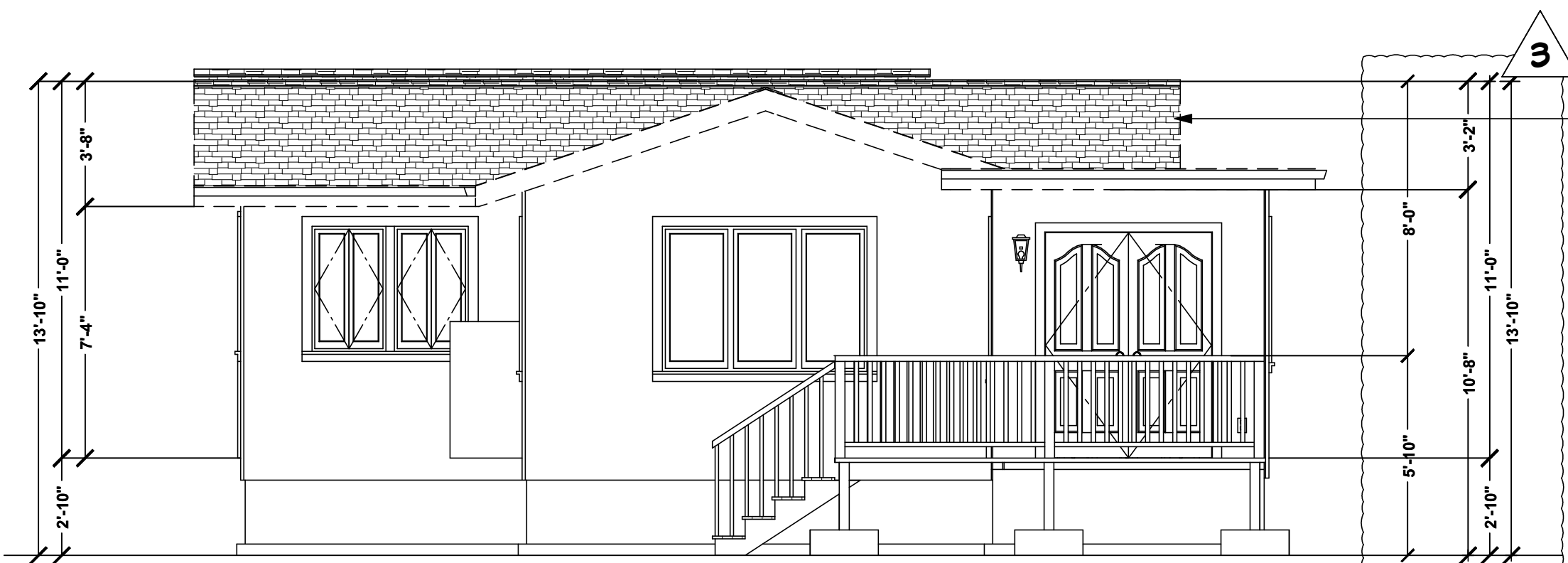
EXISTING WEST SIDE ELEVATION

SCALE 1/4"=1'-0"



PROPOSED EAST SIDE ELEVATION

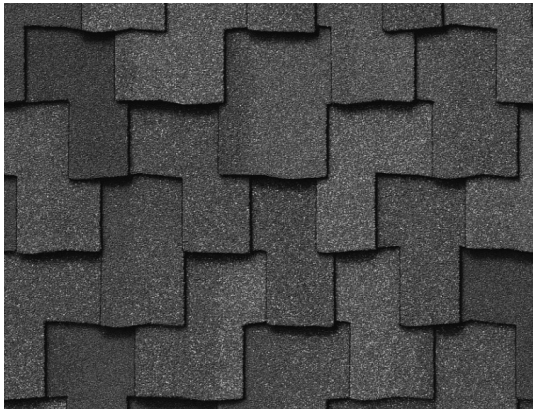
SCALE 1/4"=1'-0"



PROPOSED WEST SIDE ELEVATION

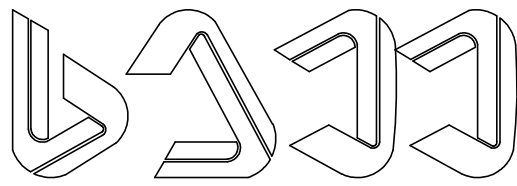
SCALE 1/4"=1'-0"

CERTAINTEED'S PRESIDENTIAL®  
SHAKE® UL 2218 CLASS 3 IMPACT  
RESISTANT  
(TYP)



COLOR WEATHERED  
WOOD  
(TYP)

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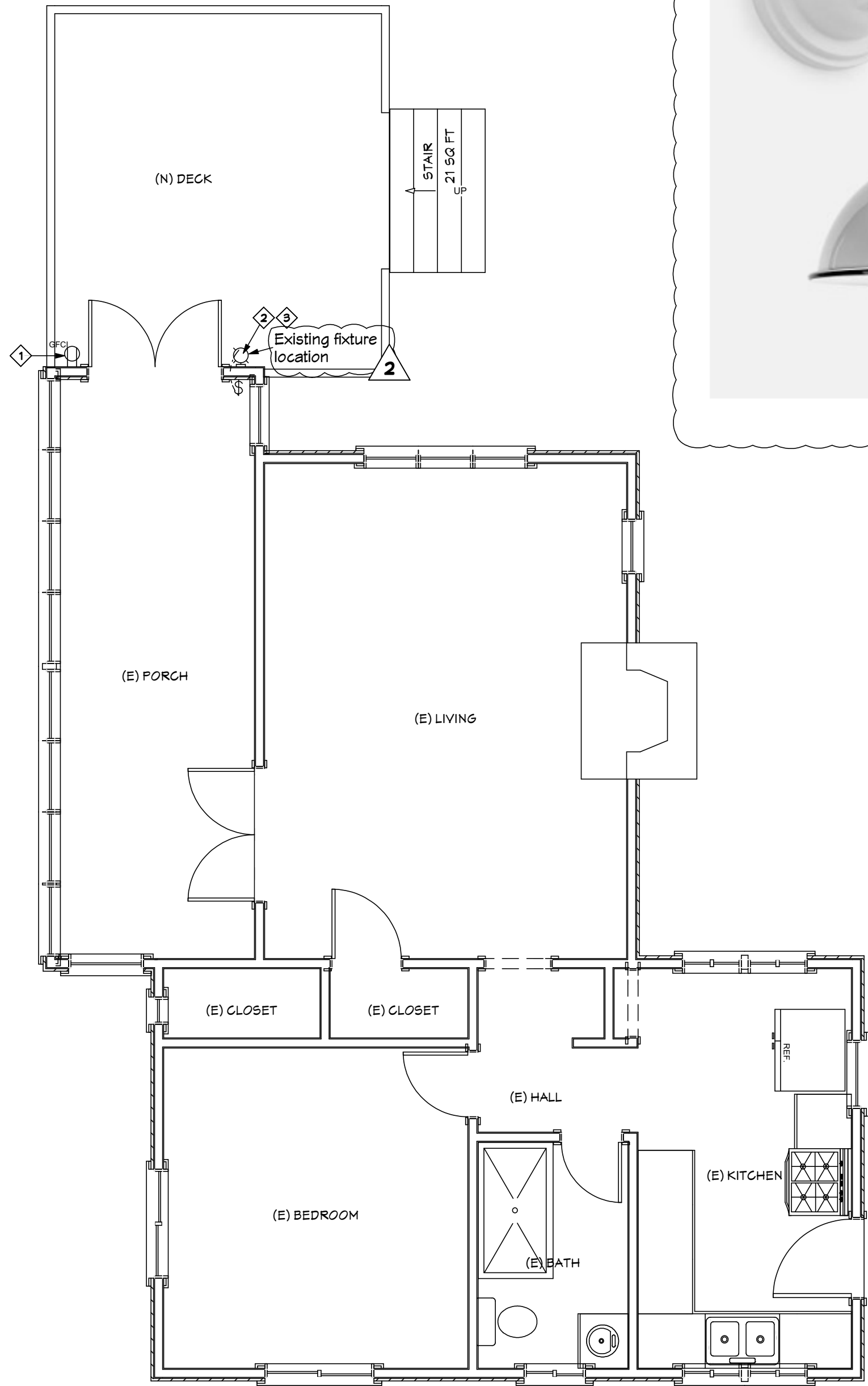
A-4

RESIDENTIAL OUTDOOR LIGHTING

1. 210.10 LIGHTING OUTLETS REQUIRED. LIGHTING OUTLETS SHALL BE INSTALLED WHERE SPECIFIED IN 210.10(A), (B), AND (C). (A) DWELLING UNITS. IN DWELLING UNITS, LIGHTING OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH 210.10(A)(1), (A)(2), AND (A)(3). (1) HABITABLE ROOMS. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. EXCEPTION NO.1: IN OTHER THAN KITCHENS AND BATHROOMS, ONE OR MORE RECEPTACLES CONTROLLED BY A WALL SWITCH SHALL BE PERMITTED IN LIEU OF LIGHTING OUTLETS. NO.2: LIGHTING OUTLETS SHALL BE PERMITTED TO BE CONTROLLED BY OCCUPANCY SENSORS THAT ARE (1) IN ADDITION TO WALL SWITCHES OR (2) LOCATED AT A CUSTOMARY WALL SWITCH LOCATION AND EQUIPPED WITH A MANUAL OVERRIDE THAT WILL ALLOW THE SENSOR TO FUNCTION AS A WALL SWITCH. (2) ADDITIONAL LOCATIONS. ADDITIONAL LIGHTING OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: (1) AT LEAST ONE LIGHTING OUTLET CONTROLLED BY A LISTED WALL-MOUNTED CONTROL DEVICE SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRIC POWER. (2) FOR DWELLING UNITS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRIC POWER, AT LEAST ONE LIGHTING OUTLET CONTROLLED BY A LISTED WALL-MOUNTED CONTROL DEVICE SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE-LEVEL ACCESS. A VEHICLE DOOR IN A GARAGE SHALL NOT BE CONSIDERED AS AN OUTDOOR ENTRANCE OR EXIT. (3) WHERE ONE OR MORE LIGHTING OUTLET(S) ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A LISTED WALL-MOUNTED CONTROL DEVICE AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLET(S) WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX RISERS OR MORE. EXCEPTION TO (A)(2)(1), (A)(2)(2), AND (A)(2)(3): IN HALLWAYS, IN STAIRWAYS, AND AT OUTDOOR ENTRANCES, REMOTE, CENTRAL, OR AUTOMATIC CONTROL OF LIGHTING SHALL BE PERMITTED. (LIGHTING OUTLETS CONTROLLED IN ACCORDANCE WITH 210.10(A)(2)(3) SHALL NOT BE CONTROLLED BY USE OF LISTED WALL-MOUNTED CONTROL DEVICES UNLESS THEY PROVIDE THE FULL RANGE OF DIMMING CONTROL AT EACH LOCATION.

2. § 150.0(K)(3)(A) RESIDENTIAL OUTDOOR LIGHTING FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM § 150.0(K)(3)(A) (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM § 150.0(K)(3)(A)(I) (PHOTOCELL AND MOTION SENSOR) OR ITEM § 150.0(K)(3)(A)(II) (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

3. § 150.0(K)(3)(B) RESIDENTIAL OUTDOOR LIGHTING FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS. OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES, AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER § 150.0(K)(3)(A) OR WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.



ELECTRICAL PLAN

SCALE 1/4"=1'-0"

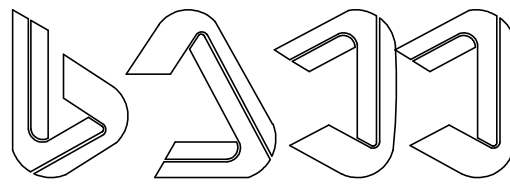
DIMENSIONS



FIXTURE WIDTH WITH SHADE:	12-1/8"	PROJECTION WITH SHADE:	14-5/8"
SHADE DIMENSIONS:	12-1/8" W x 5-1/4" H	CANOPY/BASE DIMENSIONS:	5" W x 2-1/2" H
CAGE HEIGHT INSTALLED:	2"	SOCKET TYPE:	E26
NUMBER OF SOCKETS:	1	VOLTAGE:	120VAC
POWER SOURCE:	Hardwired	RECOMMENDED/REPLAC BULB:	A19
POWER SOURCE:	Hardwired	BULB INCLUDED:	No
ARTICULATING:	No	MAX. WATTAGE PER SOCKET:	100W

4

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E-1

CALGREEN

4.410.2 WHERE 5 OR MORE MULTIFAMILY DWELLING UNITS ARE CONSTRUCTED ON A BUILDING SITE, PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, RESTRICTIVE. SEE EXCEPTION FOR RURAL JURISDICTIONS.

4.509.2 VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:

1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL (2011) OR EQUIVALENT.

2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL (2014) OR EQUIVALENT.

3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL (2014) OR EQUIVALENT.

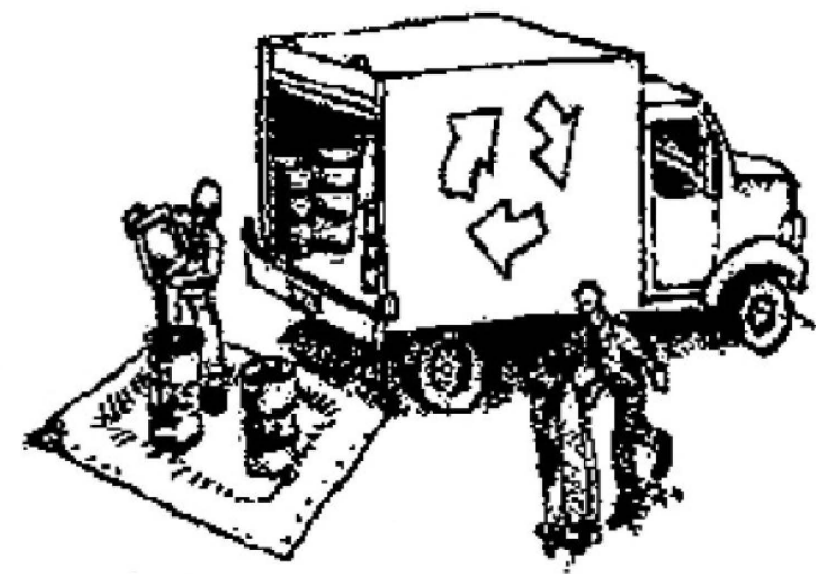
102.1 HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



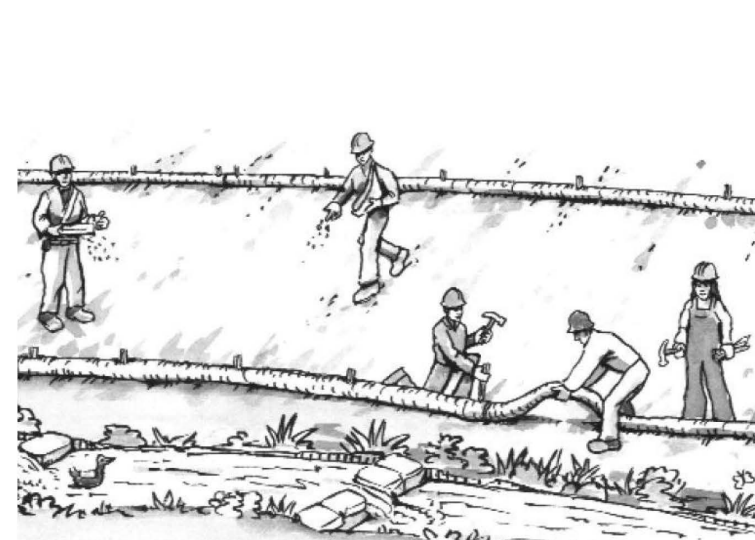
### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

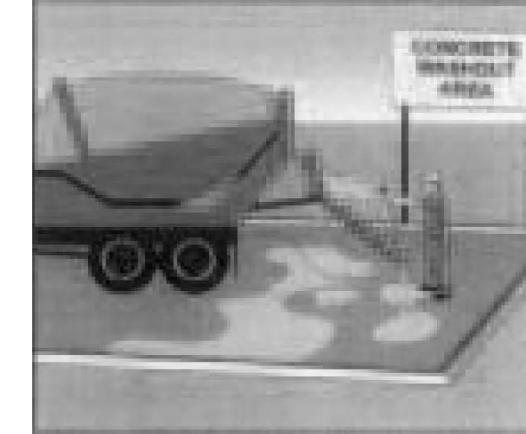


- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



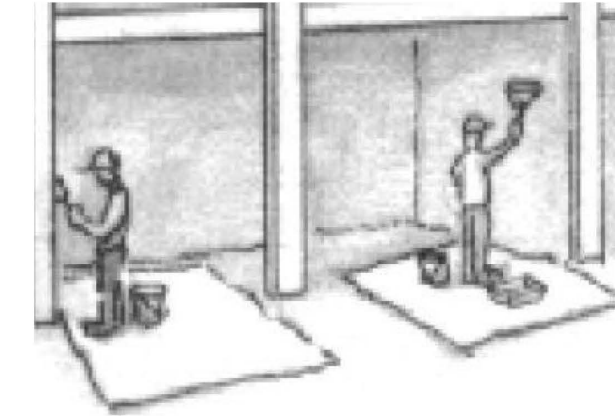
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

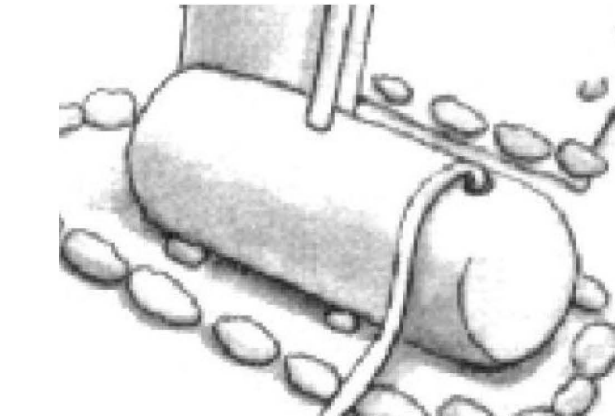
## Painting & Paint Removal



### Painting Cleanup and Removal

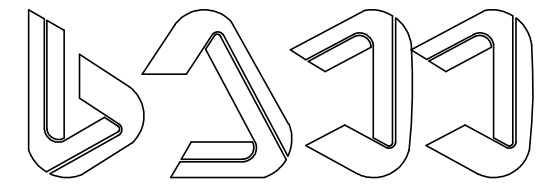
- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

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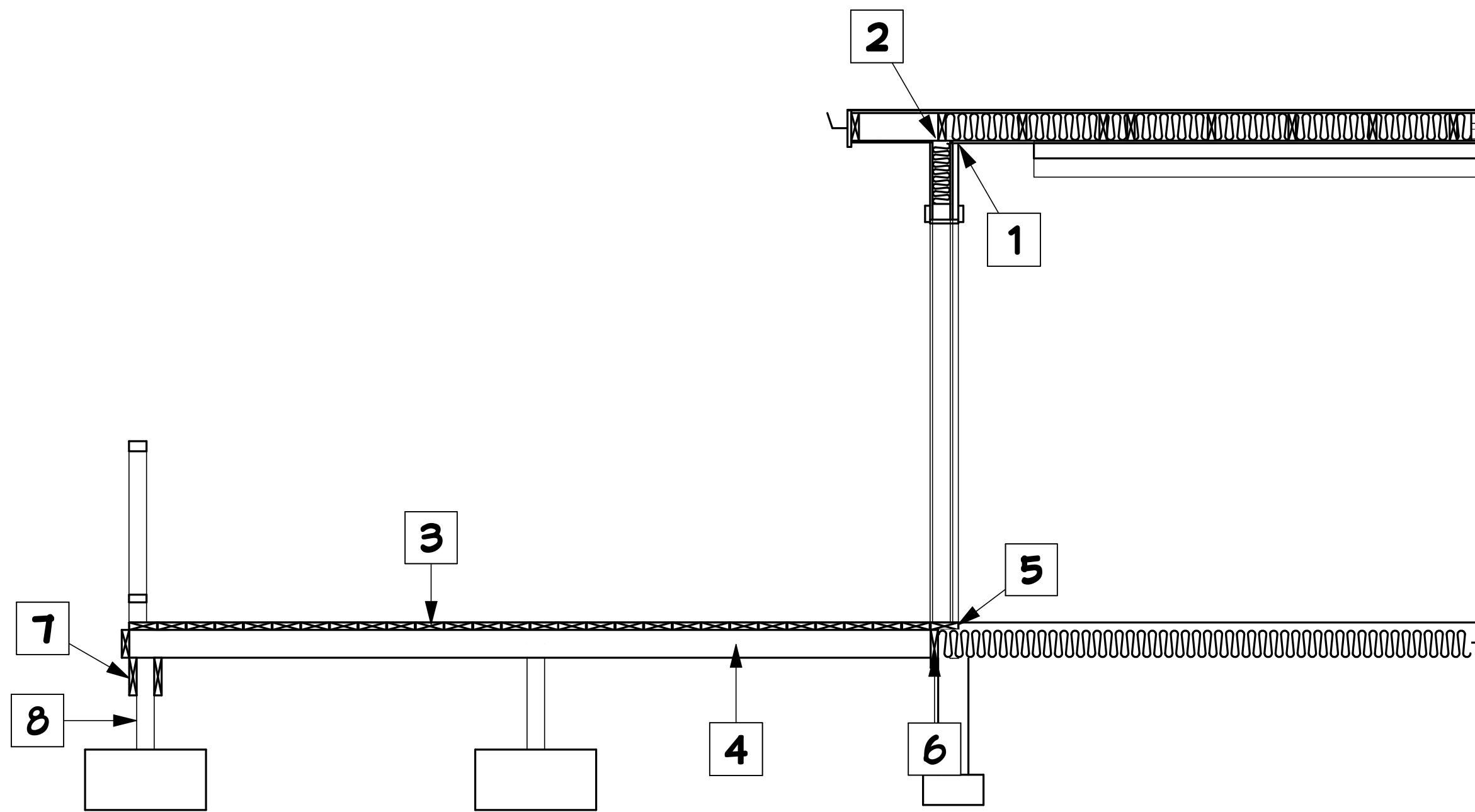


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BMPs-1

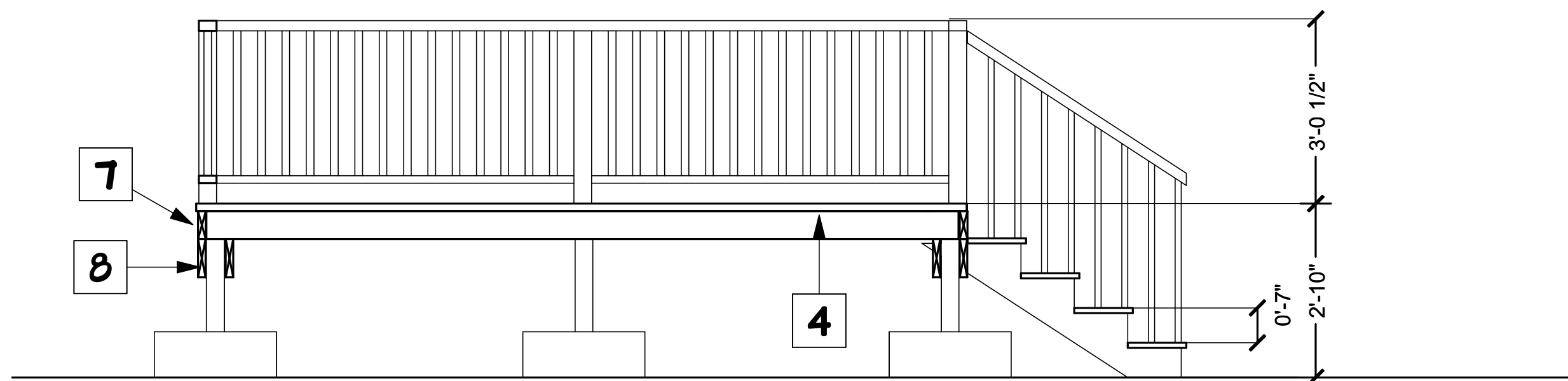
SHEET 8 OF 10

Storm drain polluters may be liable for fines of up to \$10,000 per day!



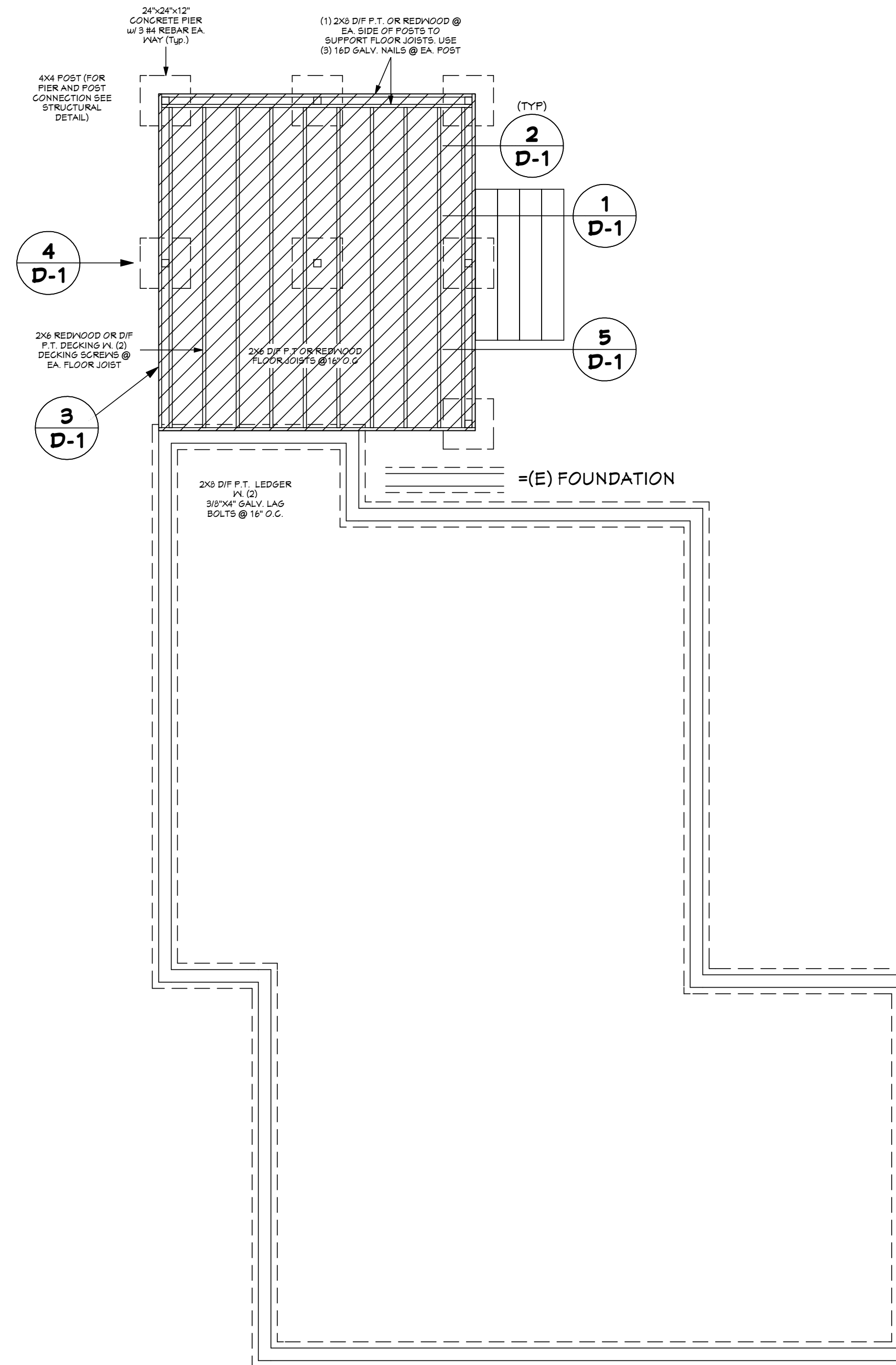
CROSS SECTION A

SCALE 1/2"=1'-0"



CROSS SECTION B

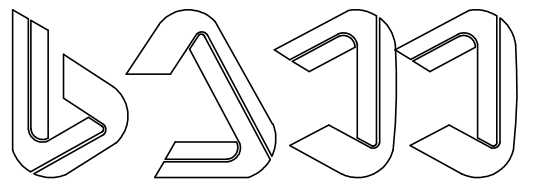
SCALE 1/2"=1'-0"



FOUNDATION PLAN/ FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"

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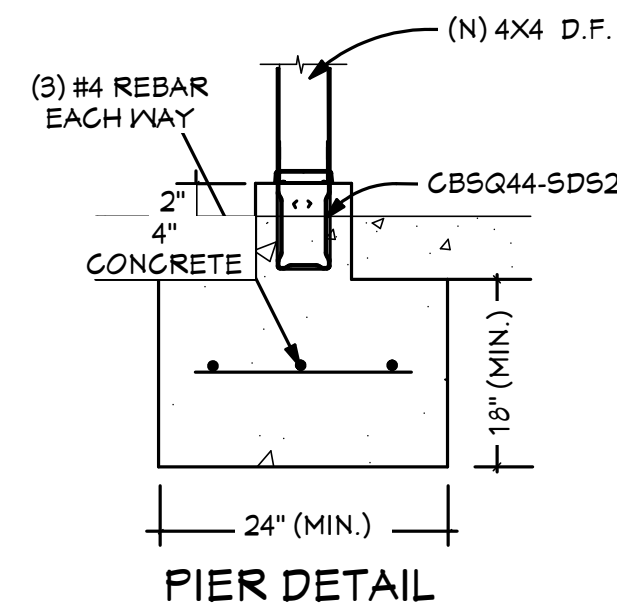
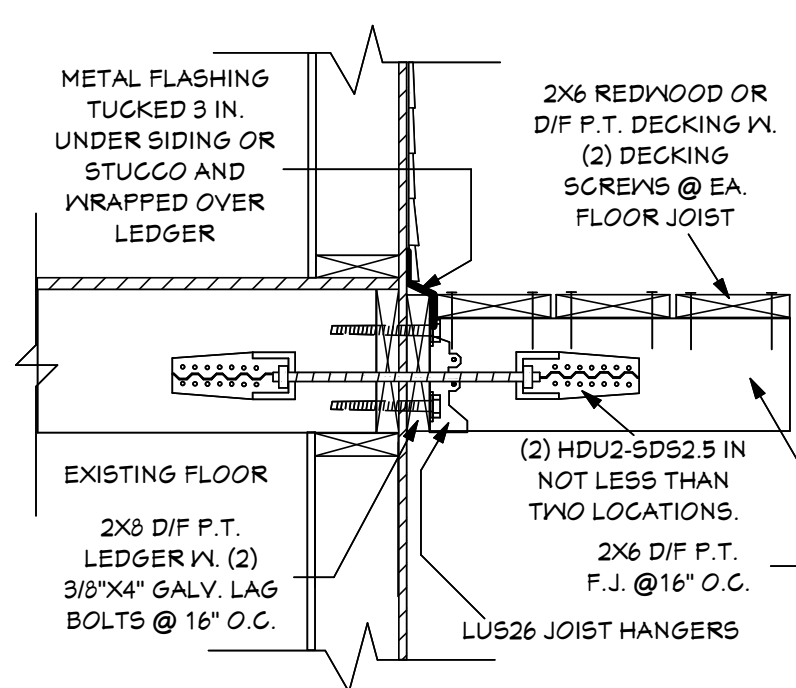
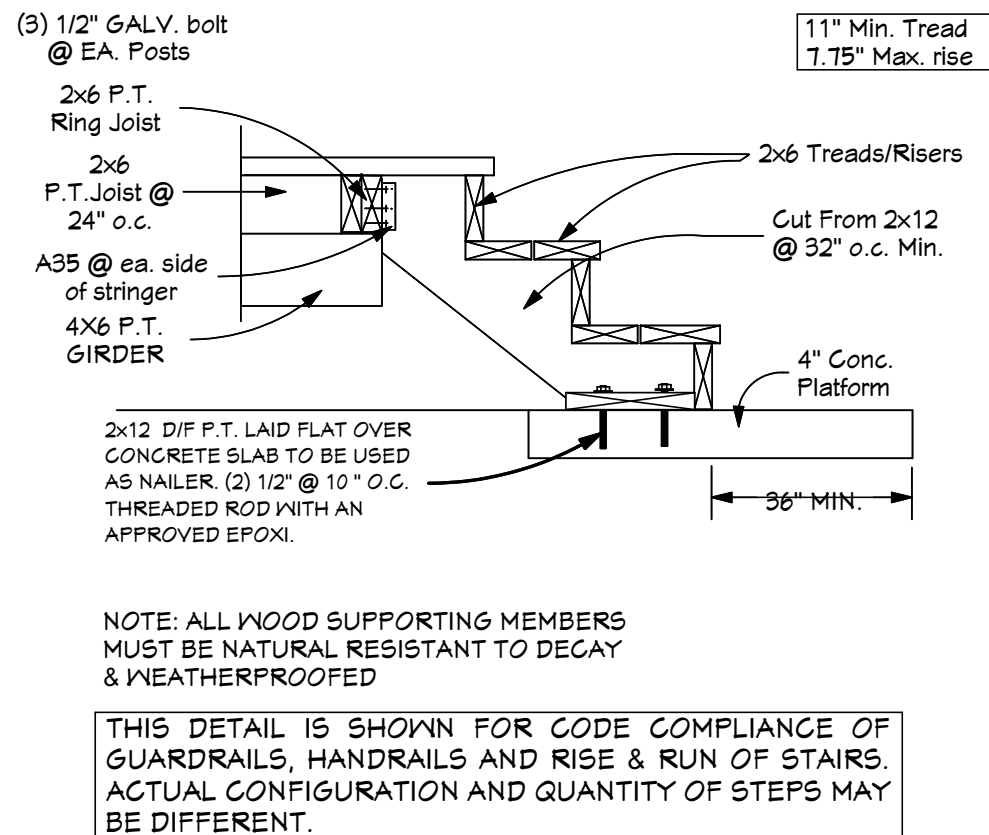
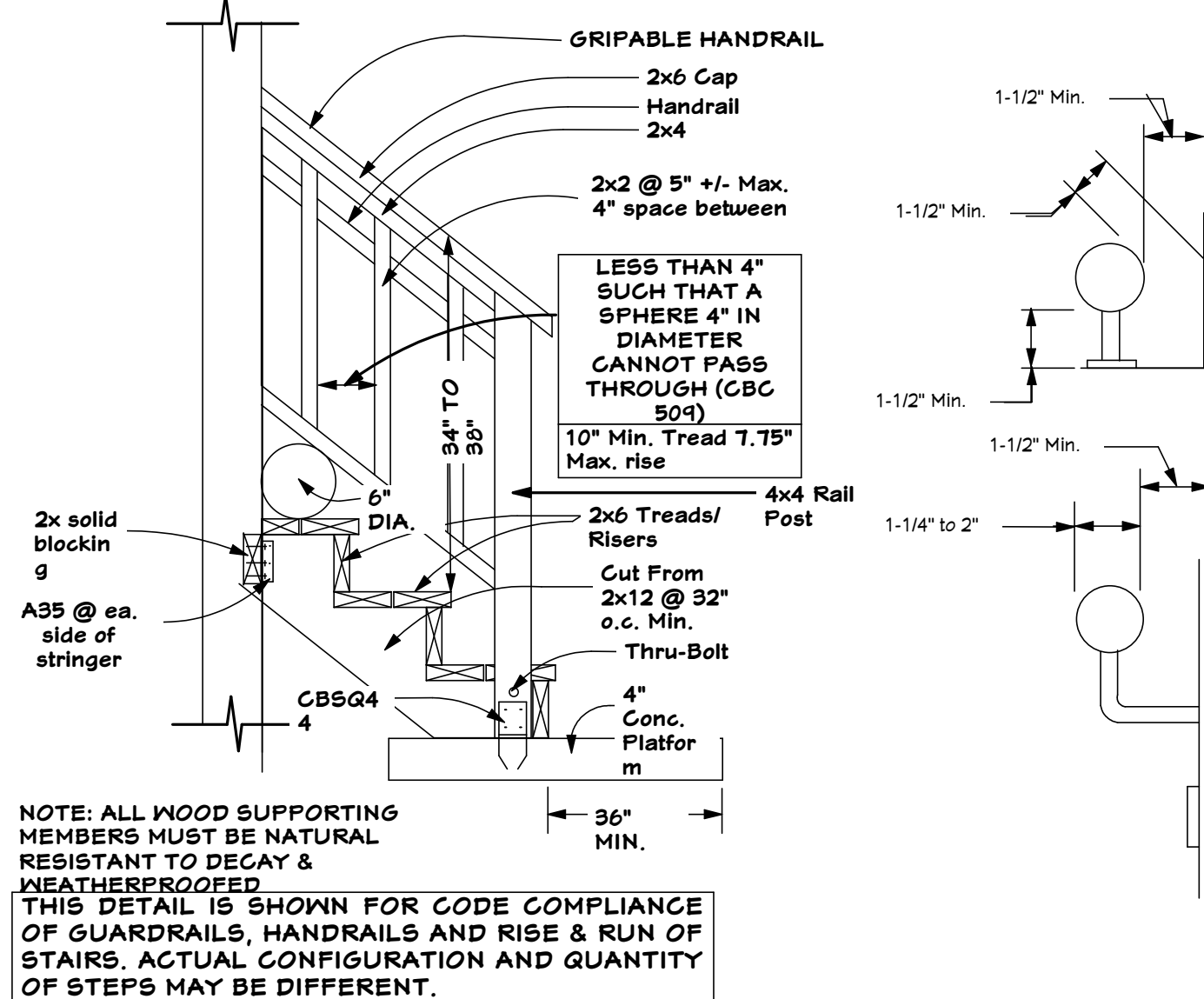
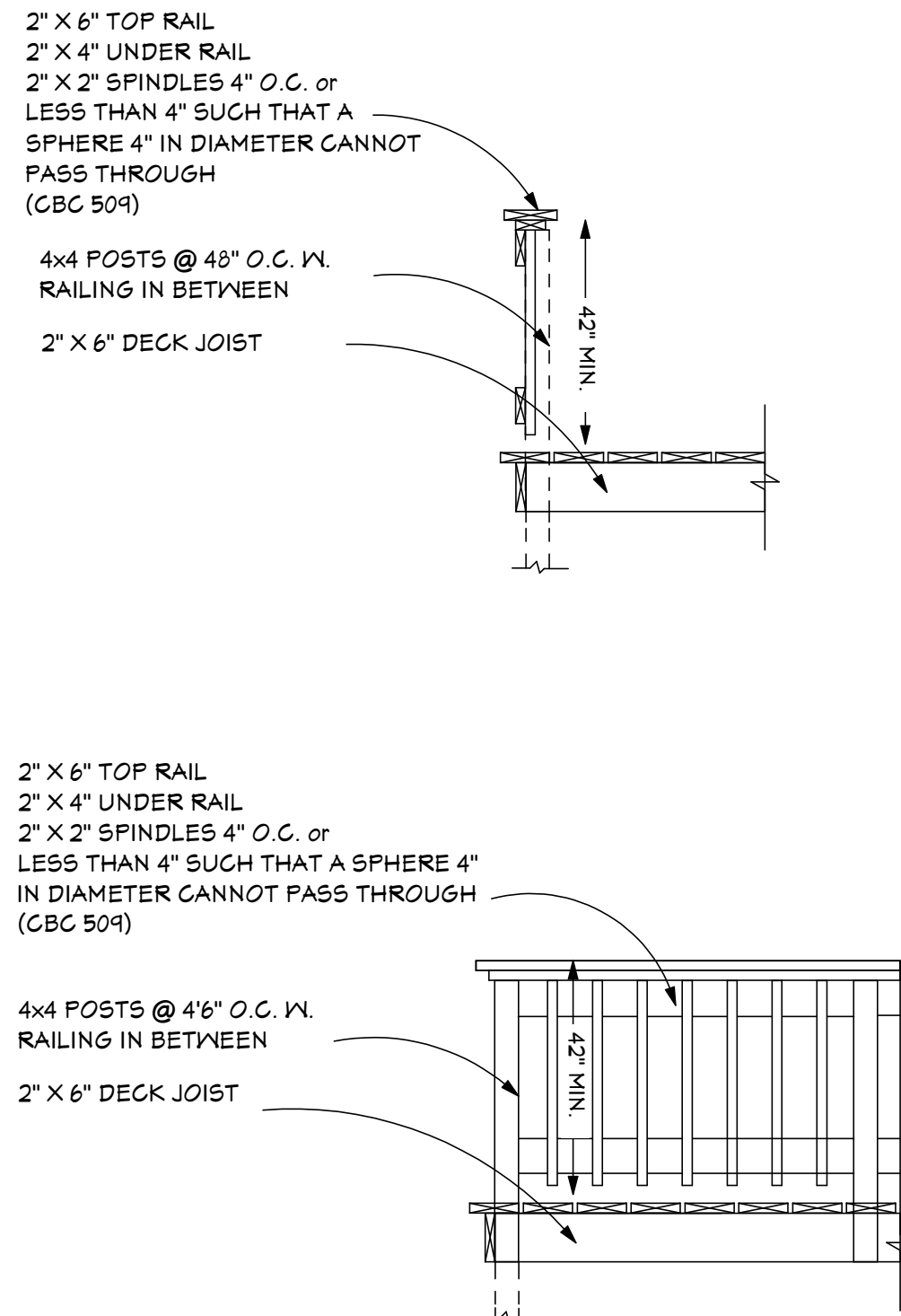
AT:  
SE CORNER  
SANTA FE AND  
3RD AVE.  
CARMEL-BY-THE-  
SEA, CA 93923

DATE	REVISION No.
DECEMBER 01, 2023	
1	OCT. 02, 2024
2	JAN. 01, 2025
3	JAN. 31, 2025
4	MARCH. 27, 2025



KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.

S-1

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								Written dimensions on these drawing shall have precedence over scaled dimensions, written dimensions are approximate and must be verified, contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work. This office must be notified of any variation from the dimensions and conditions shown by these drawings.	
10	6	4	PIER DETAIL	3	TYPICAL DECK DETAIL ATTACHED TO WOOD WALL	1	EXTERIOR STAIRWAY DETAIL	<div>LAYOUT ARCHITECTURAL DRAFTING DESIGNED</div> <div>Luis Antonio</div> <div>DESIGNED BY: LUIS A. OSORIO 1035 ADAMS ST. APT 04 REDWOOD CITY CA 94061 PHONE# (650) 384-9822 E-MAIL ladd.build@gmail.com</div>	
11	7								
12	8		<div>HANDRAILS CRC SECTION R311.7.8</div> <div>HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.</div> <div>HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.</div> <div>EXCEPTIONS: 1. THE USE OF VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD. 2. WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITION AT WINDER TREADS, TRANSITION FROM HANDRAIL TO GUARDRAIL, OR USED AT THE START OF A FLIGHT, HANDRAIL HEIGHT AT THE FITTINGS OR BENDING SHALL BE PERMITTED TO EXCEED 38 INCHES.</div> <div>CONTINUITY HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN A NEWEL POSTS OF SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAILS.</div> <div>EXCEPTIONS: 1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT THE TURN. 2. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OF STARTING NEWEL SHALL BE ALLOWED OVER THE LOWEST TREAD</div> <div>GRIP SIZE ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY: 1. TYPE I: HANDRAILS WITH CIRCULAR CROSS SECTIONS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/2 INCH AND NOT GREATER THAN 2 INCHES. (REFER TO FIGURE BELOW) 2. TYPE II: HANDRAILS WITH PERIMETER GREATER THAN 6 1/2 INCHES SHALL HAVE GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH WITHIN 7/8 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH TO A LEVEL THAT IS NOT LESS THAN 1 1/2 INCHES. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/2 INCHES TO A MAXIMUM OF 2 1/2 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF NOT LESS THAN 0.01 INCH.</div>						
13	9	5	EXTERIOR STAIRWAY DETAIL 2	2	EXTERIOR STAIRWAY DETAIL 1			<div>THE MEARS RESIDENCE</div> <div>AT:</div> <div>SE CORNER SANTA FE AND 3RD AVE. CARMEL-BY-THE-SEA, CA 93923</div> <div>DATE DECEMBER 01, 2023</div> <div>REVISION No. 1 OCT. 02, 2024 2 JAN. 01, 2025 3 JAN. 31, 2025 4 MARCH 27, 2025</div> <div>811</div> <div>KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.</div> <div>D-1</div> <div>SHEET 10 OF 10</div>	