



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24308

Owner Name: SPIDELL MAURICE NEIL & JACKOWSKI JOHN ROBERT

Case Planner: Jacob Olander, Associate Planner

Date Posted: _____

Date Approved: 01/23/2025

Project Location: San Carlos Street 2-NW of Santa Lucia

APN #: 010165043000 **BLOCK/LOT:** 143/29

Applicant: Adrian Lopez - Forma Design Studio

Project Description: This approval of Design Study (DS 24308) authorizes; • Construction of a new 76 square foot laundry room; • Construction of a new entry staircase; • Construction of a new terrace on top of the laundry room; • Removal of the existing gravel pathway and a portion of the driveway. The project is on the site of a single-family residence located at the San Carlos Street 2 NW of Santa Lucia. The project shall be constructed as depicted in the plans prepared by Forma Design Studio dated approved by Community Planning & Building Department on January 23, 2025 unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 24308 (Jackowski-Spidell)

Location: San Carlos Street 2 NW of Santa Lucia; 010-165-043-000

Date of Action: January 23, 2025

Project Description:

DS 24308 (Jackowski-Spidell) authorizes the approval of Design Study Applications (DS 24308, Jackowski-Spidell) located at San Carlos Street 2 NW of Santa Lucia in the Single-Family (R-1) District. APN: 010-165-043-000.

The proposed changes include:

- Construction of a new 76 square foot laundry room;
- Construction of a new entry staircase;
- Construction of a new terrace on top of the laundry room;
- Removal of the existing gravel pathway and part of the driveway.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
<p>The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.</p> <p>For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).</p>		
CMC 17.58.060.B Findings for Design Review Approval	YES	NO
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
Additional Staff Analysis/Discussion:		
No additional staff analysis.		

ENVIRONMENTAL REVIEW
<p>The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i>, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i>, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.</p>
<p>Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15301 (Class 1) – Existing Facilities, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.</p>
<p>Additional Staff Analysis/Discussion: The project consists of:</p> <ul style="list-style-type: none"> • Construction of a new 76 square foot laundry room; • Construction of a new entry staircase; • Construction of a new terrace on top of the laundry room; • Removal of the existing gravel pathway and part of the driveway.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<p>Authorization. This approval of Design Study (DS 24308) authorizes;</p> <ul style="list-style-type: none"> • Construction of a new 76 square foot laundry room; • Construction of a new entry staircase; • Construction of a new terrace on top of the laundry room; • Removal of the existing gravel pathway and a portion of the driveway. <p>The project is on the site of a single-family residence located at the San Carlos Street 2 NW of Santa Lucia. The project shall be constructed as depicted in the plans prepared by Forma Design Studio dated approved by Community Planning & Building Department on January 23, 2025 unless modified by the conditions of approval contained herein.</p>	✓
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional review and subsequent approval by the Community Planning & Building Director.</p>	✓
3.	<p>Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>	✓
4.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration, and appropriate findings prepared for review and adoption by the Planning Commission.</p>	✓
5.	<p>Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).</p>	✓
6.	<p>Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)</p>	✓
7.	<p>Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either</p>	✓

	the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
8.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
9.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	✓
10.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
11.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓

12.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to the issuance of a demolition permit.	✓
13.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
14.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
15.	Conditions of Approval. This signed copy of the conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Landscape Conditions		
16.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to the issuance of a building permit</u> . The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
17.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
18.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
19.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or 	✓

	<p>mark all trees to be preserved.</p> <ul style="list-style-type: none"> ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree including the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	
ENVIRONMENTAL COMPLIANCE CONDITIONS		
20.	<p>Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property, infiltration features must be sized appropriately, and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.</p>	✓
21.	<p>BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.</p>	✓
22.	<p>Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for semi-permeable surfaces.</p>	✓
SPECIAL CONDITIONS		

23.	<u>Conditions of Approval Acknowledgement.</u> Prior to the issuance of a building permit, a completed Conditions of Approval Acknowledgment form shall be signed by the Property Owner, Applicant, and Contractor and submitted to the Building Safety Division.	✓
24.	Building Permit Required. Prior to commencing work on-site, the applicant shall apply for and obtain a building permit from the Community Planning & Building Department.	✓

Acknowledgement and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

Date

Once signed, please return to Jolander@ci.carmel.ca.us.

DIVISION 1 - GENERAL REQUIREMENTS

1.1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
 a. THESE NOTES AND DRAWINGS.
 b. ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
 c. WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE DESIGNER'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
 d. INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
 e. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.

1.2. SITE VERIFICATION - EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.

1.3. CONSTRUCTION DOCUMENTS
 a. THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
 b. THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK.
 c. THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.
 d. THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER FIRST.
 e. THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.

1.4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

1.5. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.

1.6. NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.

1.7. ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.

1.8. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.

1.9. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.

1.10. THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.

1.11. THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

TREE PROTECTION NOTES

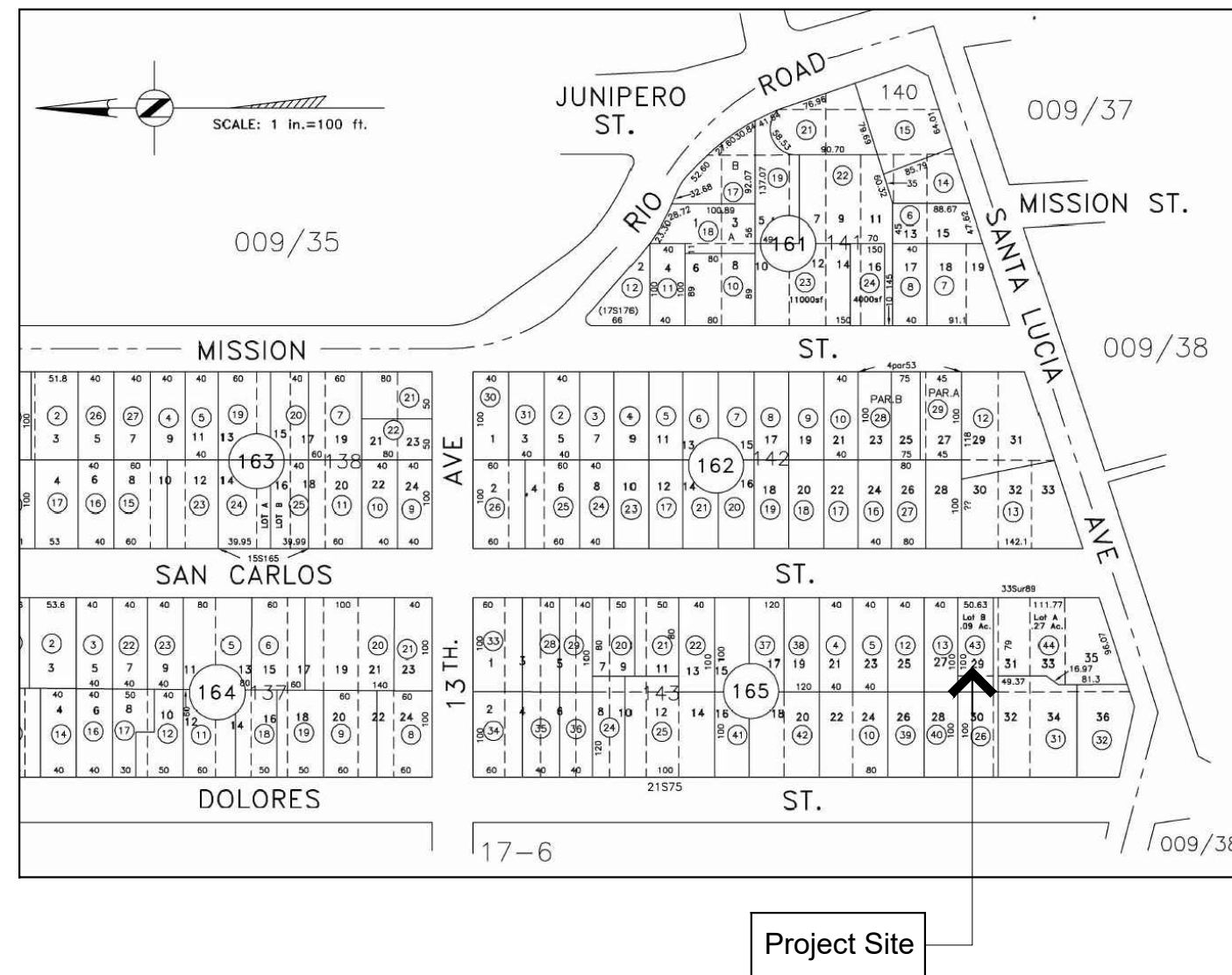
- ESTABLISHMENT OF A TREE PRESERVATION ZONE (TPZ). CHAIN LINK OR ORANGE NETTING FENCING, WITH STAKES IN THE GROUND, NO LESS THAN 48 INCHES IN HEIGHT, SHALL BE INSTALLED AT THE DRIPLINE (THE PERIMETER OF THE FOLIAR CANOPY) OF THE TREE. THE INSTALLATION WILL BE DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING WILL NOT BE REMOVED WITHOUT THE CONSENT OF THE CONSULTING ARBORIST.
- NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS OR LIQUIDS OF ANY TYPE SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
- SOIL COMPACTION SHALL BE MINIMIZED WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 6" LAYER OF MULCH. TREE CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE.
- NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT. IF TREES ROOTS ARE UNEARTHED DURING THE CONSTRUCTION PROCESS THE CONSULTING ARBORIST WILL BE NOTIFIED IMMEDIATELY. EXPOSED ROOTS WILL BE COVERED WITH MOISTENED BURLAP UNTIL A DETERMINATION IS MADE BY THE ON SITE ARBORIST.
- ANY AREAS OF PROPOSED TRENCHING WILL BE EVALUATED WITH THE CONSULTING ARBORIST AND THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL TRENCHING IN THE TPZ ON THIS SITE WILL BE APPROVED BY THE ARBORIST. TRENCHING WITHIN A TREE'S DRIPLINE WILL BE PERFORMED BY HAND. TREE ROOTS ENCOUNTERED WILL BE AVOIDED OR PROPERLY PRUNED UNDER GUIDANCE OF THE CONSULTING ARBORIST.

DECONSTRUCTION NOTES

- PRIOR TO COMMENCING DECONSTRUCTION OR DEMOLITION CONTRACTOR SHALL REMOVE ALL ITEMS SUITABLE FOR SALE OR SALVAGE. THESE ITEMS SHALL BE DESIGNATED DURING A COMPREHENSIVE WALK-THROUGH WITH THE PROJECT MANAGER AS OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING AS REQUIRED AT ALL AREAS WHERE EXISTING FOOTINGS, WALLS BEAMS AND HEADERS ARE DESIGNATED TO BE REMOVED. CONTRACTOR SHALL VERIFY THESE REQUIREMENTS WITH THE PROJECT ENGINEER PRIOR TO COMMENCING WORK.
- DEMOLITION AND DECONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTEREY BAY UNIFIED AIR POLLUTION CONTROL DISTRICT RULE 439.
 - SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING DURING THE ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REMOVAL PROCESS.
 - DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
 - COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT STRUCT. ENGINEER OF ANY CONDITION DISCOVERED DURING DEMOLITION OR DECONSTRUCTION WHICH MAY REQUIRE REVISION OF THE PROJECT DRAWINGS AND DETAILS OR WHICH MAY AFFECT PROJECT TIME LINE OR COSTS.

JACKOWSKI-SPIDELL RESIDENCE

SAN CARLOS STREET 2-NW OF SANTA LUCIA CARMEL-BY-THE-SEA, CALIFORNIA



DEFERRED SUBMITTALS REQUIRING SEPARATE SUBMITTAL, PERMIT, REVIEW, AND APPROVAL ARE NOTED AT THE COVER SHEET FOR THE FOLLOWING ITEMS:

- PLUMBING: WATER, WASTE, VENTING AND GAS LINE

SINGLE LINE INSTALLATION DIAGRAM SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CALLING FOR INSPECTION.

NOTE: OWNER SHALL SCHEDULE THE MANDATORY PRE-CONSTRUCTION SITE INSPECTION IF ISSUING THE PERMIT BETWEEN OCT 15 AND APRIL 15.

DESIGN TEAM ASSOCIATED WITH THIS PROJECT

forma Design Studio: Engineer of Record: T.B.D.
 PO Box 2094
 Carmel, California 93921
 www.FormaDesignStudio.com
 Phone: 831.521.5924

General Contractor:
 Tubridy Construction Inc.
 Dan Tubridy - Lic. 773875
 PO Box 51242
 Pacific Grove, California 93950
 Phone: 831.809.3097

THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

PROPOSED PLANS	
SHEET G-1-1	PROJECT INFORMATION
SHEET G-1-2	GENERAL NOTES
SHEET G-1-3.1	CGBC RESIDENTIAL MANDATORY MEASURES
SHEET G-1-3.2	CGBC RESIDENTIAL MANDATORY MEASURES
SHEET G-1-4	CONSTR. BEST MANAGEMENT PRACTICE NOTES
SHEET C-1-0	TOPOGRAPHIC SURVEY
SHEET C-1-1	SITE PLAN - EROSION CONTROL
SHEET A-1-0	AS-BUILT FLOORS & ROOF PLAN
SHEET A-1-1	PROPOSED LOWER & UPPER FLOOR PLAN - INT. ELEV.
SHEET A-1-2	PROPOSED ROOF PLAN - DOOR & WINDOW SCHEDULE
SHEET A-2-1	PROPOSED EXTERIOR ELEVATIONS
SHEET A-3-1	OMIT
SHEET E-1-1	LOWER & UPPER FLOOR ELECTRICAL PLAN

SCOPE OF WORK: Remodel to a Single Family Dwelling Unit
 Lower Floor:
 Conversion of existing storage room into a full bathroom (49 s.f.)
 New Laundry Room (76 s.f.), New Entry Stairs (66 s.f.)
 Upper Floor:
 Proposed terrace (114 s.f.)

OWNER:
 John Jackowski and Maurice Spidell
 7814 Torreyson Drive
 Los Angeles, California 90046
 e-mail: John@stellermelrose.com

SITE INFORMATION:

San Carlos Street 2-NW of Santa Lucia
 Carmel-By-The-sea, California 93923
 A.P.N. : 010-165-043-000
 Occupancy: R3, U1
 Constr. Type: VN
 Zoning Designation:
 Property Area: 4,004 s.f.

BUILDING DATA:

	EXISTING	PROPOSED
Main Floor	144 s.f.	144 s.f.
Upper Floor	506 s.f.	506 s.f.
Garage	506 s.f.	506 s.f.
Laundry Room Addition	--	76 s.f.
Terrace Addition	--	114 s.f.
Total Living area	650 s.f. (16.2%)	650 s.f. (16.2%)
Total Building Coverage	650 s.f. (16.2%)	764 s.f. (19.0%)

Permeable/Semi-permeable Surfaces:

Driveway - pavers on sand	542 s.f.	430 s.f. (10.7%)
Gravel Path	210 s.f. (5.2%)	---

Impermeable Surfaces:

Stairs	60 s.f.	76 s.f. (1.9%)
landings - Flagstone	15 s.f.	50 s.f. (1.2%)
Total Site Coverage:		556 s.f. (13.8%)

SITE INFORMATION 1

BUILDING STORIES:.....(2) TWO
 INTERIOR REMODEL:.....YES
 FIRE SPRINKLERS SYSTEM:.....YES
 FIRE ALARM SYSTEM:.....NO
 TREES TO BE REMOVED:.....NONE

WATER COMPANY:.....CALAM
 WASTE MANAGEMENT:.....PUBLIC SEWER
 GAS AND ELECTRICITY:.....PACIFIC GAS & ELECTRIC

GRADING: N/A
 Cut: ---Cu. Yd.
 Fill: ---Cu. Yd.

APPLICABLE CODES FOR THIS PROJECT:

- 2022 California Building Code (CBC)
- 2022 California Residential Code (CRC)
- 2022 California Fire Code (CFC)
- 2022 California Plumbing Code (CPC)
- 2022 California Mechanical Code (CMC)
- 2022 California Electrical Code (CEC)
- 2022 California Energy Code (CenC)
- 2022 California Green Building Code (CGB)
- 2022 Monterey County Amendments & State Regulatory Requirements

STRUCTURAL PLANS

MECHANICAL PLANS

Job Number	2023-29
Date	09-21-24
Revision	1
Drawn By	FDS
Sheet Number	

DATE	REVISION
11-20-2024	PLAN CHECK



JACKOWSKI-SPIDELL RESIDENCE
 SAN CARLOS STREET 2-NW OF SANTA LUCIA
 CARMEL-BY-THE-SEA, CALIFORNIA

G-1.1

of: Sheets

SHEET INDEX 2

PROJECT INFORMATION

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER IS PROHIBITED. REVISIONS OR CHANGES TO THESE DRAWINGS AND SPECIFICATIONS SHALL BE INDICATED BY A REVISION TABLE OR A CHANGE ORDER. THE USER OF THESE DRAWINGS AND SPECIFICATIONS IS ADVISED THAT THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE DRAWINGS AND SPECIFICATIONS.

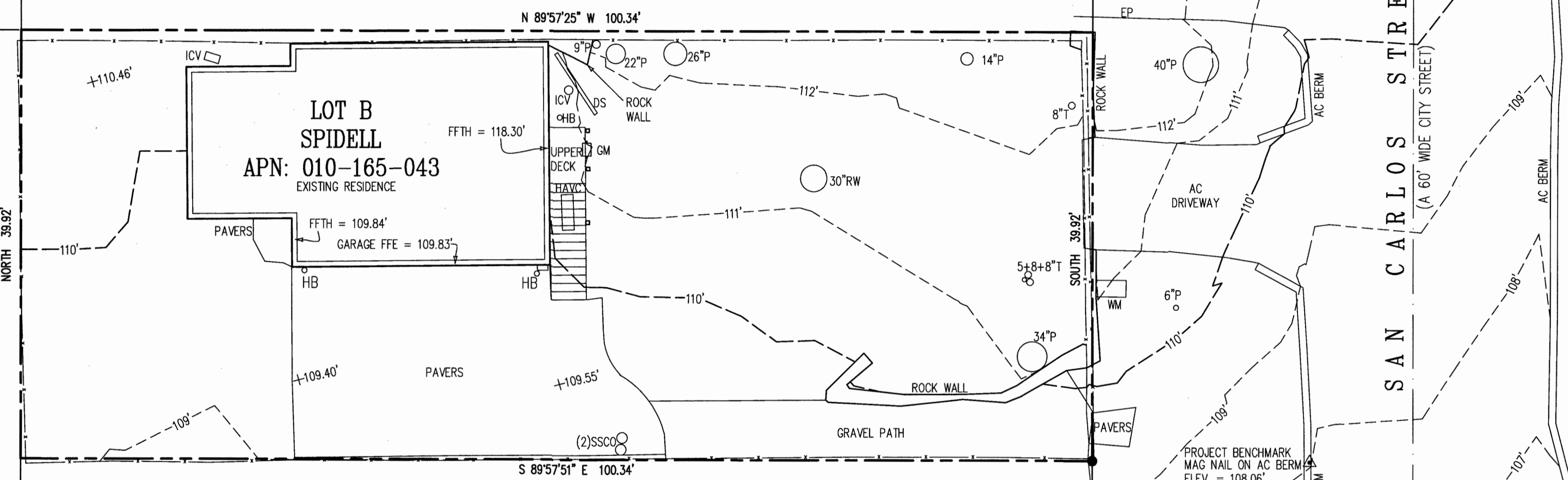
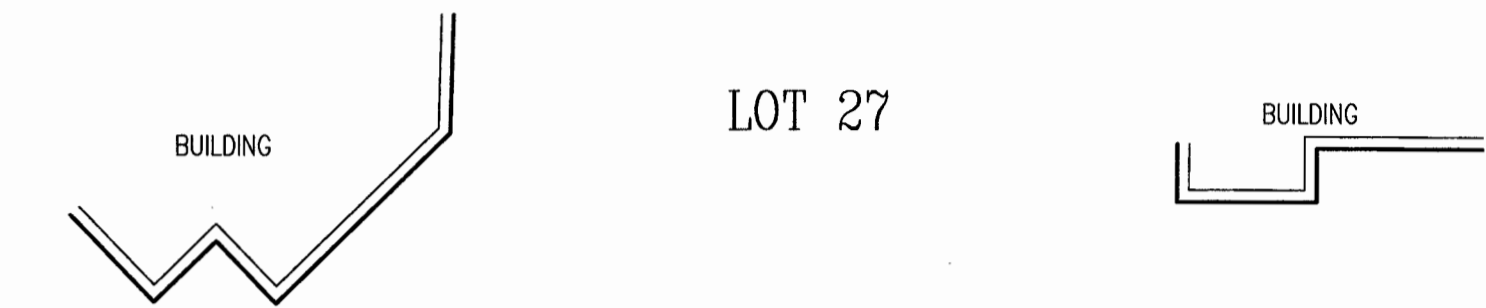
VOLUME 1
 CITIES & TOWNS
 PAGE 44 1/2

BLOCK 143

LOT 28

LOT 27

LOT 30



NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN IS FROM THE VOLUME 33 SURVEYS, PAGE 89.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = 1 FOOT.
- THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
- ELEVATIONS SHOWN ARE BASED ON NAVD-88 DATUM. A GPS SURVEY WAS CONDUCTED TO ESTABLISH THE SITE BENCHMARK USING REFERENCE STATION "CAM1" ON THE SMARTNET NORTH AMERICA NETWORK. THE PROJECT BENCHMARK IS A MAG NAIL ON AC BERM, AS SHOWN ON THIS MAP. ELEVATION = 137.44'.
- DENOTES A FOUND 1" IRON PIPE TAGGED "LS 8368".
- +99.99' DENOTES GROUND ELEVATIONS AS SHOWN.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
- ANY SUBSEQUENT USE OF THIS SURVEYING DATA MUST INCLUDE THIS NOTE:
 THE BOUNDARY AND SURVEYING DATA SHOWN WAS FURNISHED BY MONTEREY BAY ENGINEERS, INC., AND THAT FIRM IS NOT RESPONSIBLE FOR ANY REVISIONS. THE ORIGINAL WORK WAS SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR.

LEGEND:

x	FENCE LINE
AC	ASPHALTIC CONCRETE
CONC.	CONCRETE
DI	DROP INLET
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FFE	FINISH FLOOR ELEVATION
FFTH	FINISHED FLOOR AT THRESHOLD
GM	GAS METER
HAVC	HEATING, VENTILATION & AIR CONDITIONING
HB	HOSE BIB
ICV	IRRIGATION CONTROL VALVE
INV.	INVERT
K.	OAK
P.	PINE
SSCO	SANITARY SEWER CLEAN OUT
T.	TREE, SPECIES NOT SPECIFIED
WM	WATER METER

Sheet / C-1.0



9/19/2024

LOT A
 VOLUME 33
 SURVEYS
 PAGE 89

TOPOGRAPHIC SURVEY

OF
LOT B
 VOLUME 33, SURVEYS, PAGE 89

CITY OF CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA
 PREPARED FOR
MAURICE SPIDELL

BY
MONTEREY BAY ENGINEERS, INC.
 CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
 607 Charles Ave Suite B Seaside, California 93955
 Phone: (831) 899-7899

SCALE: 1" = 8'
 JOB No. 24-055 SEPTEMBER 2024
 FIELD: AL & MAL DRAWN BY: AL

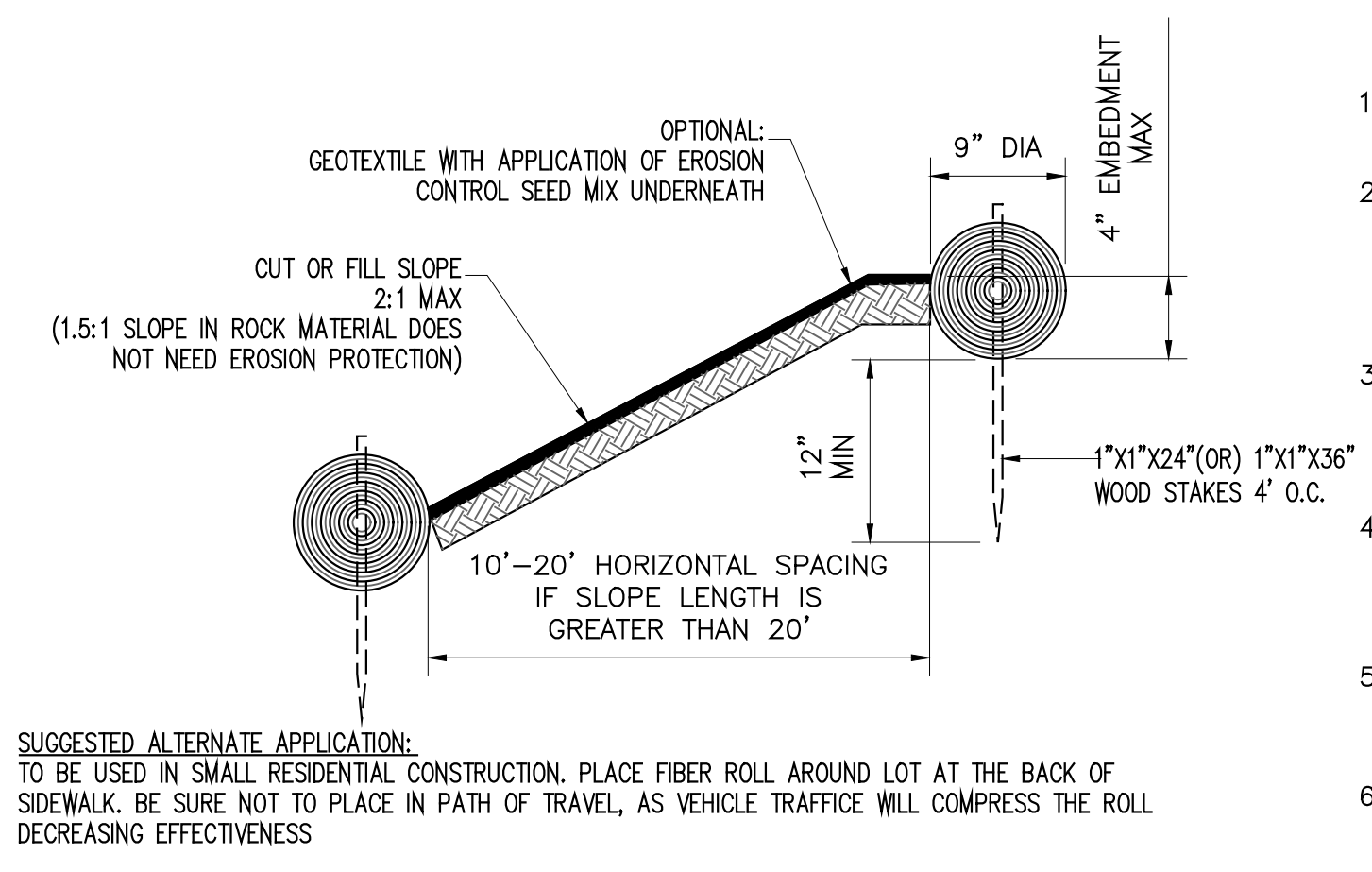
THE FOLLOWING NOTES SHALL BE IMPLEMENTED DURING CONSTRUCTION

1. ALL CUT AND/OR FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED WITH NATIVE GRASSES OR OTHERWISE TREATED TO CONTROL EROSION IN COORDINATION WITH THE EROSION CONTROL PLAN.
2. ALL UNPAVED CONSTRUCTION AREAS SHALL BE SPRINKLED WITH WATER (AT LEAST TWICE PER DAY IN DRY WEATHER) DURING GRADING ACTIVITIES.
3. NON-TOXIC TACKIFIER, OR OTHER SUITABLE COVER (SUCH AS JUTE NETTING, EROSION CONTROL FABRIC, MULCH, ETC.) SHALL BE APPLIED TO EXPOSED AREAS IMMEDIATELY AFTER CUT AND FILL OPERATIONS ARE COMPLETE.
4. TRUCKS HAULING DIRT AND DEBRIS SHALL BE COVERED.
5. THE PROJECT MUST BE POSTED AT TWO LOCATIONS WITH A PUBLICLY VISIBLE SIGN DURING CONSTRUCTION OPERATIONS THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT FOR COMPLAINTS AND/OR INJURIES REGARDING DUST GENERATION AND OTHER AIR QUALITY AND/OR PROBLEMS RESULTING FROM THE PROJECTS CONSTRUCTION.
6. IMMEDIATELY SWEEP UP DIRT OR DEBRIS SPILLED ON PAVED SURFACES.
7. COVER ON-SITE STOCKPILES OF EXCAVATED MATERIALS.
8. VACUUM (e.g. ROAD SWEEPERS/VACUUM) CONSTRUCTION-RELATED SOIL ON PUBLIC ROADS WHENEVER SOIL ARE VISIBLE.
9. NO MORE THAN 2.0 ACRES PER DAY OF GRADING ACTIVITIES SHALL BE ALLOWED.
10. LIMITS OF GRADING SHOULD BE CONFINED TO THOSE AREAS NECESSARY FOR THE SUBJECT PROJECT; I.E., AS MUCH AS THE VEGETATED LANDSCAPE NOT ASSOCIATED WITH THE PROPOSED CONSTRUCTION SHOULD BE LEFT AS UNDISTURBED AS POSSIBLE.
11. IF RAIN IS IN THE FORECAST, ALL EXPOSED SOIL SHOULD BE IMMEDIATELY THE SUBJECT PROJECT; I.E., AS MUCH AS THE VEGETATED LANDSCAPE NOT ASSOCIATED WITH THE PROPOSED CONSTRUCTION SHOULD BE LEFT AS UNDISTURBED AS POSSIBLE.

12. CUT AND FILL MATERIALS SHOULD NOT BE STOCKPILED WHERE THEY MAY WASH ONTO ADJOINING PROPERTIES, ROADWAYS OR WATERCOURSES. ANY IMPORTED OR NATIVE MATERIALS REMAINING AFTER COMPLETION OF THE JOB SHOULD BE HAULED OFF-SITE.
13. RE-VEGETATE AND PROTECT ALL DISTURBED SOIL PRIOR TO OCTOBER 15. THE APPROPRIATE GRASS/LEGUME SEED MIXES, JUTE AND/OR EROSION NETTING, AND STRAW MULCH SHOULD BE USED FOR TEMPORARY COVER. PERMANENT VEGETATION SHOULD INCLUDE NATIVE AND DROUGHT RESISTANT PLANTS.
14. IRRIGATION ACTIVITIES AT THE SITE SHOULD ALWAYS BE DONE IN A CONTROLLED AND REASONABLE MANNER. PLANTER AREAS SHOULD NOT BE SITED ADJACENT TO BUILDING WALLS; OTHERWISE, MEASURES SHOULD BE IMPLEMENTED TO CONTAIN IRRIGATION WATER AND PREVENT IT FROM SEEPING INTO WALLS AND UNDER FOUNDATIONS.
15. RAIN GUTTERS SHOULD BE INSTALLED ON ALL ROOF EAVES WHICH CONNECT VIA DOWNSPOUT TO PERIMETER STORM DRAIN LINES WHICH ARE ROUTED OR DISPERSED IN A COUNTY APPROVED MANNER.
16. SURFACE WATER AND STORM DRAIN RUN-OFF SHALL BE DISPERSED ON-SITE WITH APPROPRIATE WATER RETENTION SYSTEM AS REQUIRED BY MONTEREY COUNTY WATER RESOURCES AGENCY.

UNDERGROUND NOTES (GENERAL)

1. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS, WATER AND IRRIGATION LINES AND CONTROL WIRING BEFORE CONSTRUCTING NEW FACILITIES.
2. ALL MANHOLES AND VALVE BOXES TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
3. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
4. PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTION OF THE CALTRANS STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

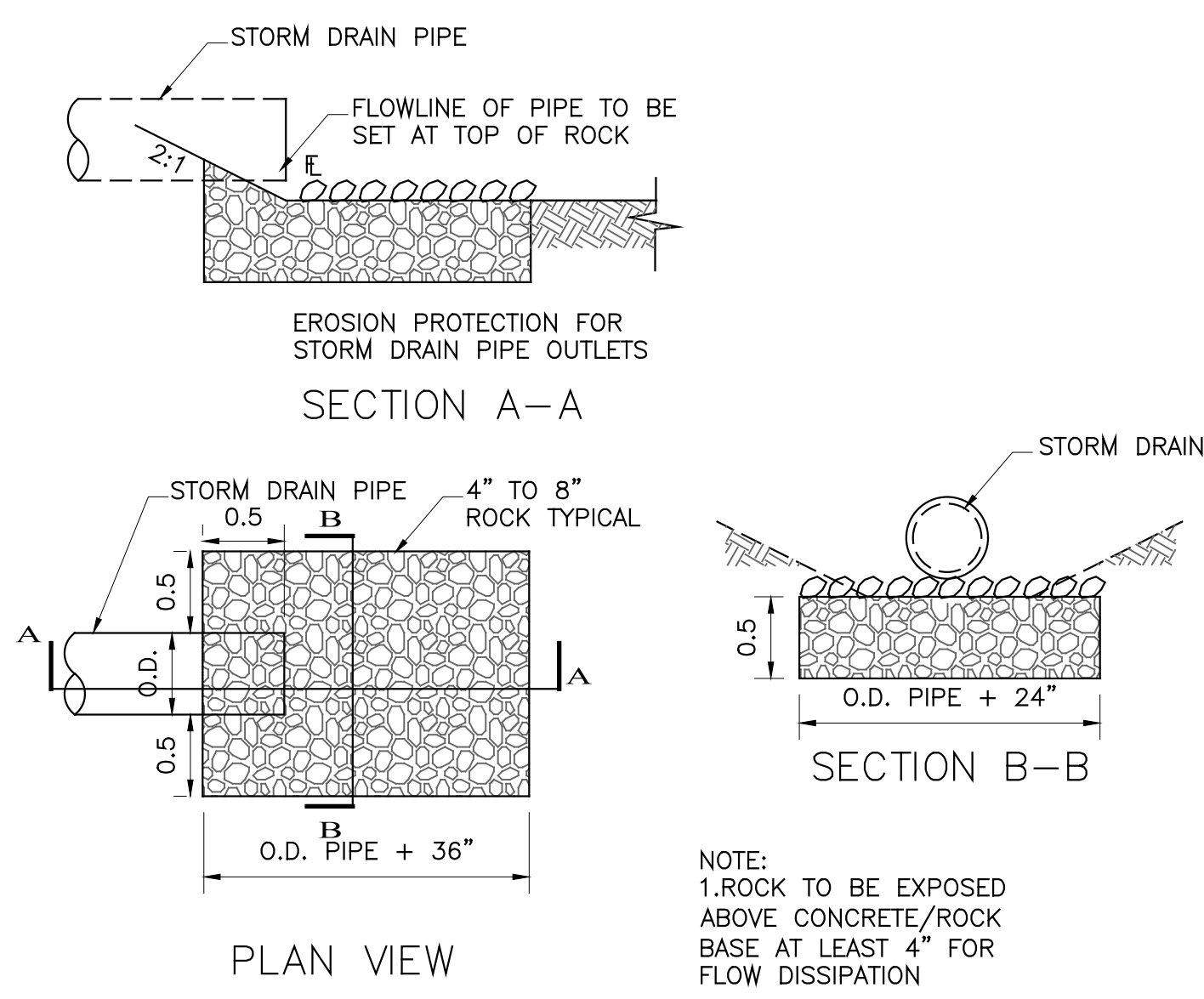


A FIBER ROLL DETAIL
 NOT TO SCALE

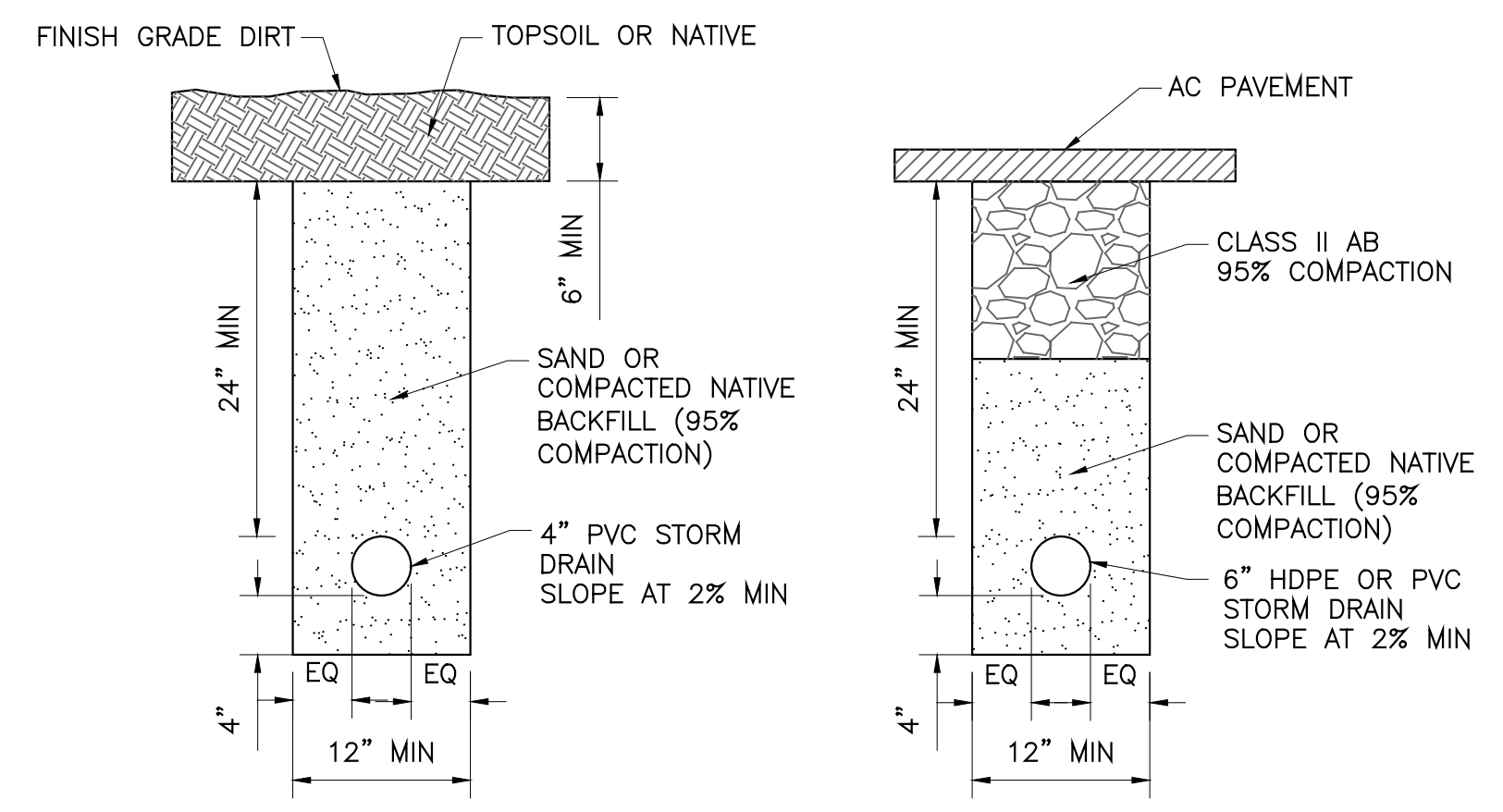
- FIBER ROLL**
- TO BE USED ALONG THE FACE OF EXPOSED AND ERODIBLE SLOPES TO SHORTEN SLOPE LENGTH, AT GRADE BREAKS WHERE SLOPES TRANSITION TO A STEEPER SLOPE, IN DRAINAGE SWALES TO SLOW FLOWS, AND ALONG STREAM BANKS TO ASSIST STABILIZATION AND REVEGETATION.
- INSTALLATION**
1. USE 1"x1"x2" OR 1"x1"x3" WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
 2. POSITION FIBER ROLL END-TO-END, TYING THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
 3. PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.
 4. IF SLOPE LENGTH IS MORE THAN 20' HORIZONTALLY, SPACE FIBER ROLLS 10-20' FEET APART DOWN THE SLOPE.
 5. OPTIONAL: GEOTEXTILE SHOULD BE USED ON SLOPES IN CONJUNCTION WITH FIBER ROLLS TO ENSURE PROPER FILTRATION.
- IT IS CRITICAL THAT ROLLS/WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, AND PARALLEL TO SLOPE CONTOURS. DO NOT INSTALL PARALLEL TO THE FLOW PATH. THE ROLLS/WATTLES SHOULD BE SLIGHTLY OVERLAPPED WHEN PLACED IN A ROW.

EROSION CONTROL

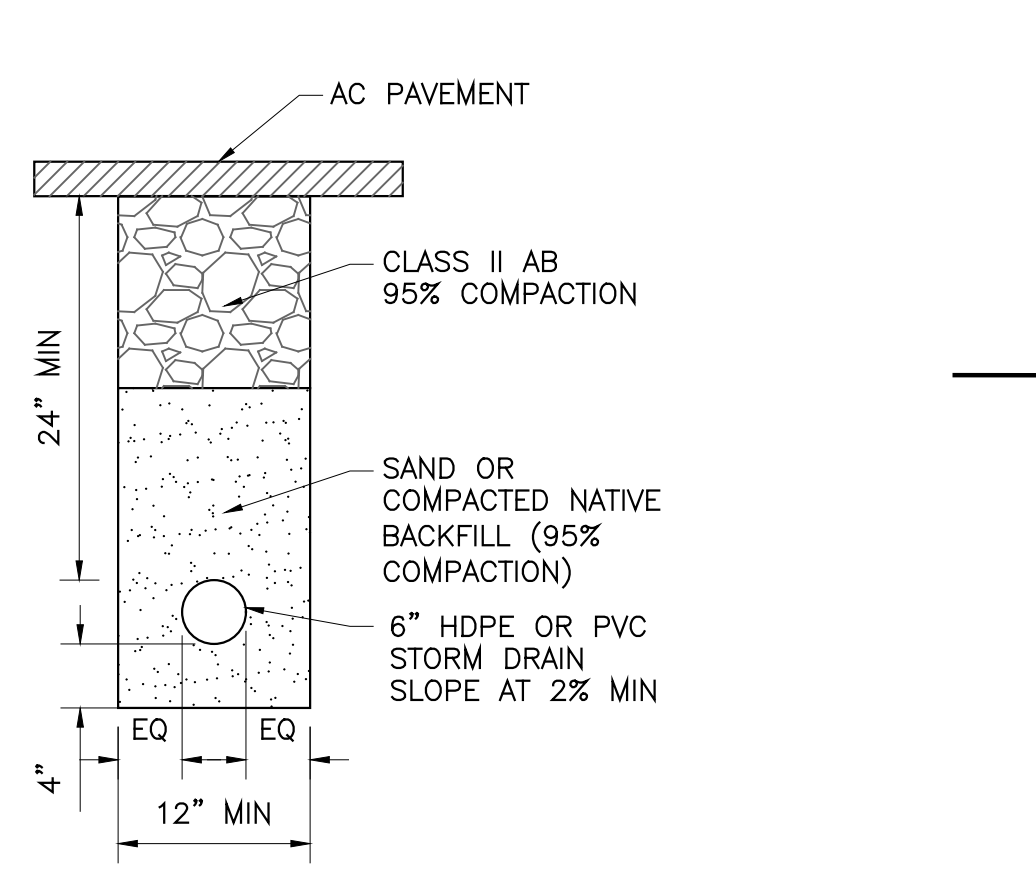
1. ALL GRADING SHALL CONFORM TO THE LOCAL GRADING ORDINANCE AND EROSION CONTROL ORDINANCE.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.
3. ALL DISTURBED AREAS, WITH THE EXCEPTION OF BUILDING ENVELOPES AND DRIVEWAYS SHALL BE SEEDED OR LANDSCAPED AS SOON AS PRACTICABLE AFTER GRADING. CONTRACTOR SHALL AVOID DAMAGE TO EXISTING GRASSLAND AND/OR ESTABLISHED EROSION CONTROL ON THE SITE.
4. STRAW BALE DIKES AND SILT FENCING SHALL BE INSTALLED TO PREVENT SILTATION FROM EXITING THE CONSTRUCTION LIMITS. THESE MEASURES SHALL BE MAINTAINED IN PLACE UNTIL THE CONCLUSION OF THE SITE PAVING AND INSTALLATION OF PERMANENT LANDSCAPING.
5. AS SOON AS POSSIBLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAPS AND SILT FENCES.
6. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE NATURAL DRAINAGE COURSES OR ADJACENT PROPERTIES.
7. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY BETWEEN OCTOBER 15 THROUGH APRIL 15. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERETO PRIOR TO ANTICIPATED STORMS AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE EFFECTUATED IMMEDIATELY.
8. WATER UTILIZED IN CONJUNCTION WITH STABILIZATION MATERIALS SHALL BE OF SUCH QUALITY TO PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANTS AND WEED SEED.
9. ALL CUT OR FILL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH A 50/50 COCONUT STRAW FIBER BLANKET. MATTING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



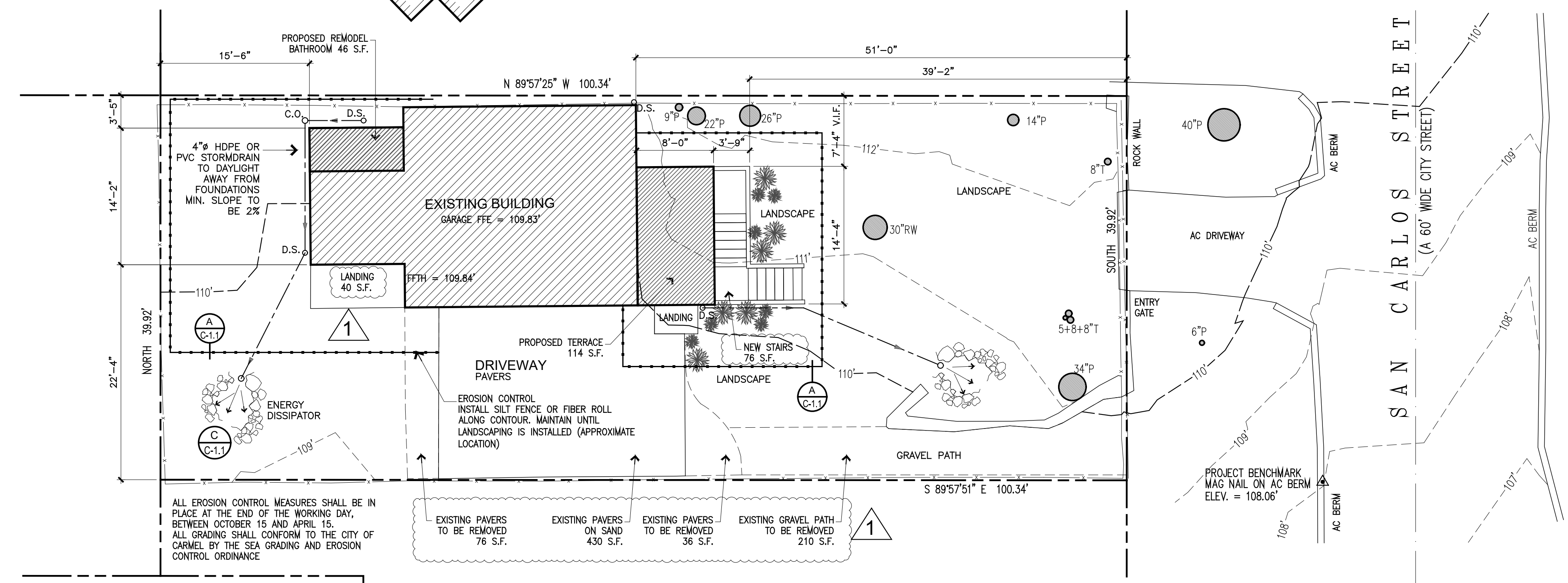
B ENERGY DISSIPATOR



C STORM DRAIN IN PLANTER AREAS



D STORM DRAIN TRENCHES IN PAVED TRAFFIC AREAS



MONTEREY REGIONAL STORMWATER MANAGEMENT PLAN TIER-1

DISPERSE RUNOFF FROM ROOFS OR PAVEMENT TO VEGETATED AREAS.

DOWNSPOUTS ARE DIRECTED TO VEGETATED AREAS ADJACENT TO BUILDINGS. PAVED AREAS ARE DESIGNED TO DIRECT FLOW INTO SURROUNDING VEGETATION.

ROOF AREAS COLLECT RUNOFF AND ROUTE IT TO THE RECEIVING PERVIOUS AREA VIA GUTTERS AND DOWNSPOUTS.

PAVED AREAS ARE SLOPED SO DRAINAGE IS ROUTED TO THE RECEIVING PERVIOUS AREA.

RUNOFF IS DISPERSED ACROSS THE VEGETATED AREA (FOR EXAMPLE, WITH A SPLASH BLOCK) TO AVOID EROSION AND PROMOTE INFILTRATION.

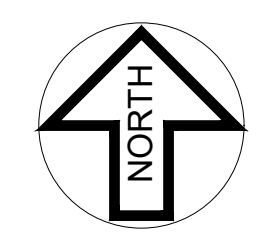
VEGETATED AREA HAS AMENDED SOILS, VEGETATION, AND IRRIGATION AS REQUIRED TO MAINTAIN SOIL STABILITY AND PERMEABILITY.

NOTE: THE SITE PLAN IS FOR REFERENCE PURPOSE ONLY. THE SITE PLAN WAS CREATED FROM PUBLIC CITY RECORDS (BUILDING PERMIT 19-629 DATED 12/16/19) AND EXISTING MAP SOURCES, NOT DIRECTLY FROM FIELD SURVEY. THE DESIGNER MAKES NO WARRANTY AND ASSUMES NO LIABILITY FOR EITHER ANY ERRORS, OMISSIONS, OR INACCURACIES IN THE INFORMATION PROVIDED. OWNER & CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ANY CONSTRUCTION.

SITE LEGEND

EXISTING BUILDING

PROPOSED REMODEL



SITE PLAN

Scale 1/8" = 1'-0" 1

DATE	REVISION
11-20-2024	PLAN CHECK



P.O. Box 2094, Carmel, CA, 93921
 Ph. 831.521.5924
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JACKOWSKI-SPIDELL RESIDENCE
 SAN CARLOS STREET 2-NW of SANTA LUCIA
 CARMEL-BY-THE-SEA, CALIFORNIA

Job Number	2023-29
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Drawn By	FDS

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SITE PLAN - EROSION CONTROL

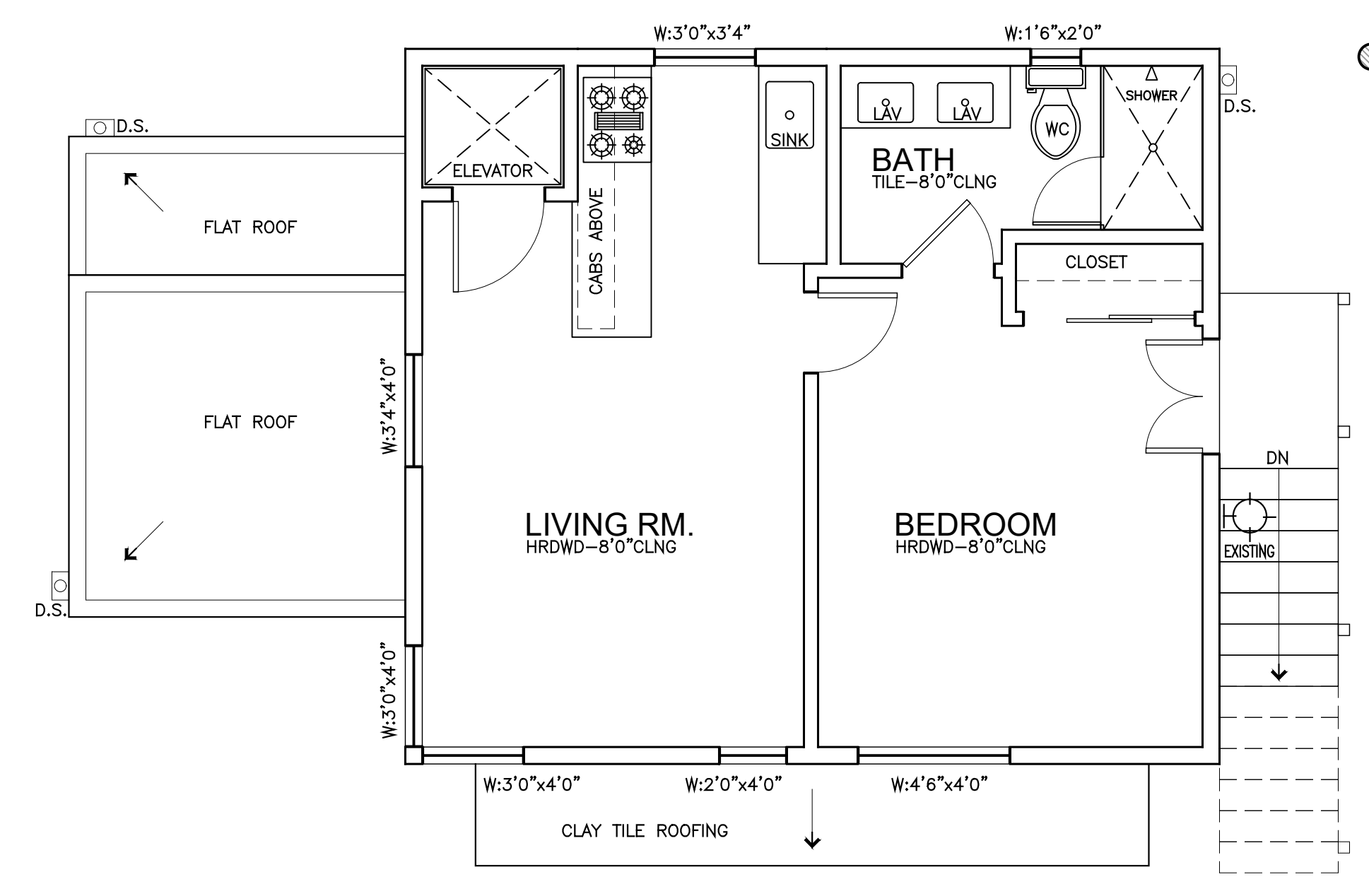
DATE	REVISION



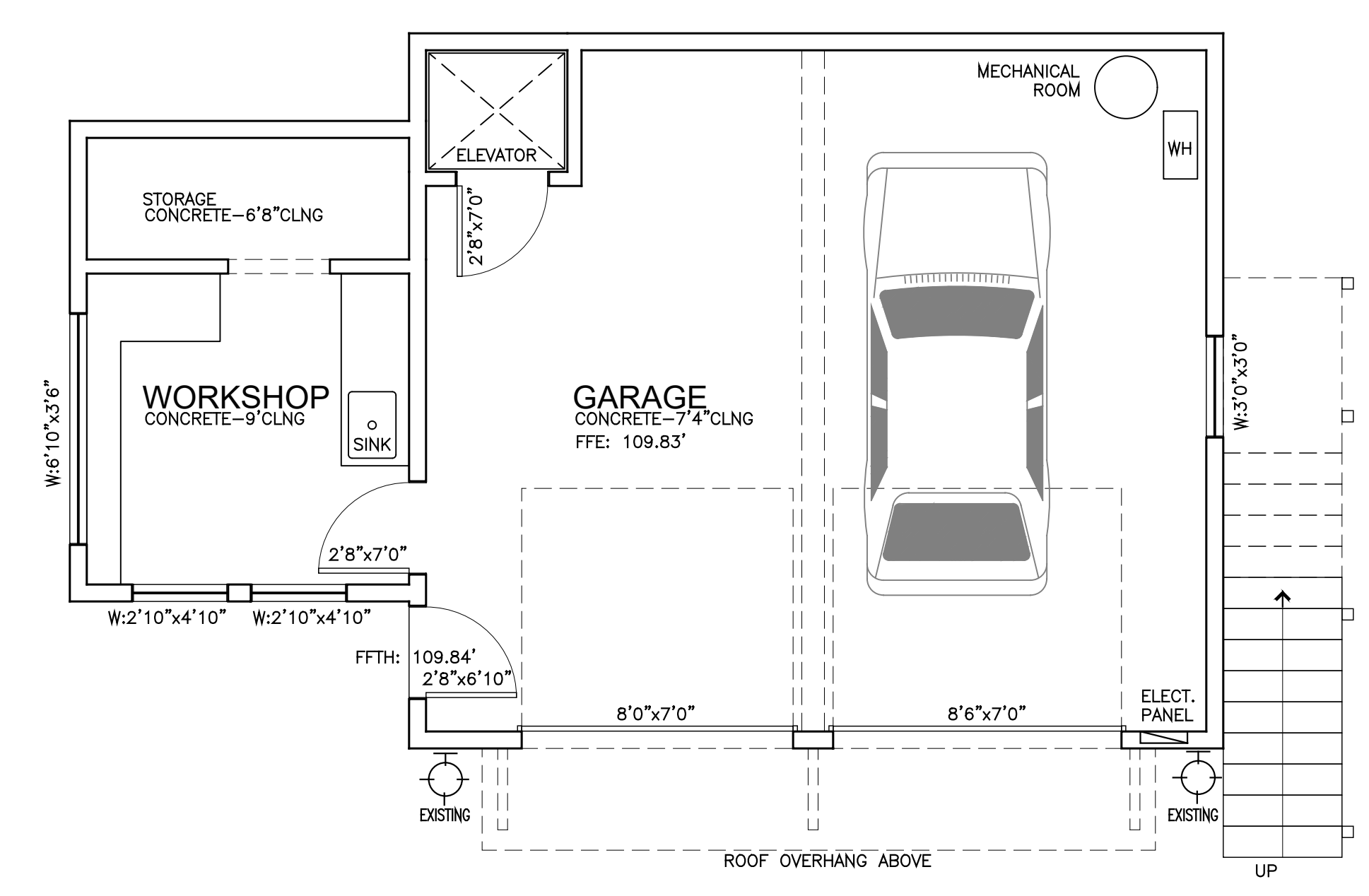
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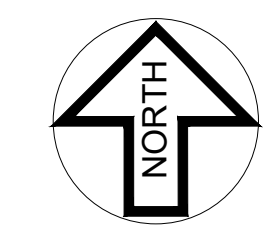


AS-BUILT UPPER FLOOR PLAN Scale 1/4"=1'-0" 2



(E) FRAMED WALL

AS-BUILT LOWER FLOOR PLAN Scale 1/4"=1'-0" 1



JACKOWSKI-SPIDELL RESIDENCE
 SAN CARLOS STREET 2-NW of SANTA LUCIA
 CARMEL-BY-THE-SEA, CALIFORNIA

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of. Sheets	
AS-BUILT FLOOR-ROOF PLAN	

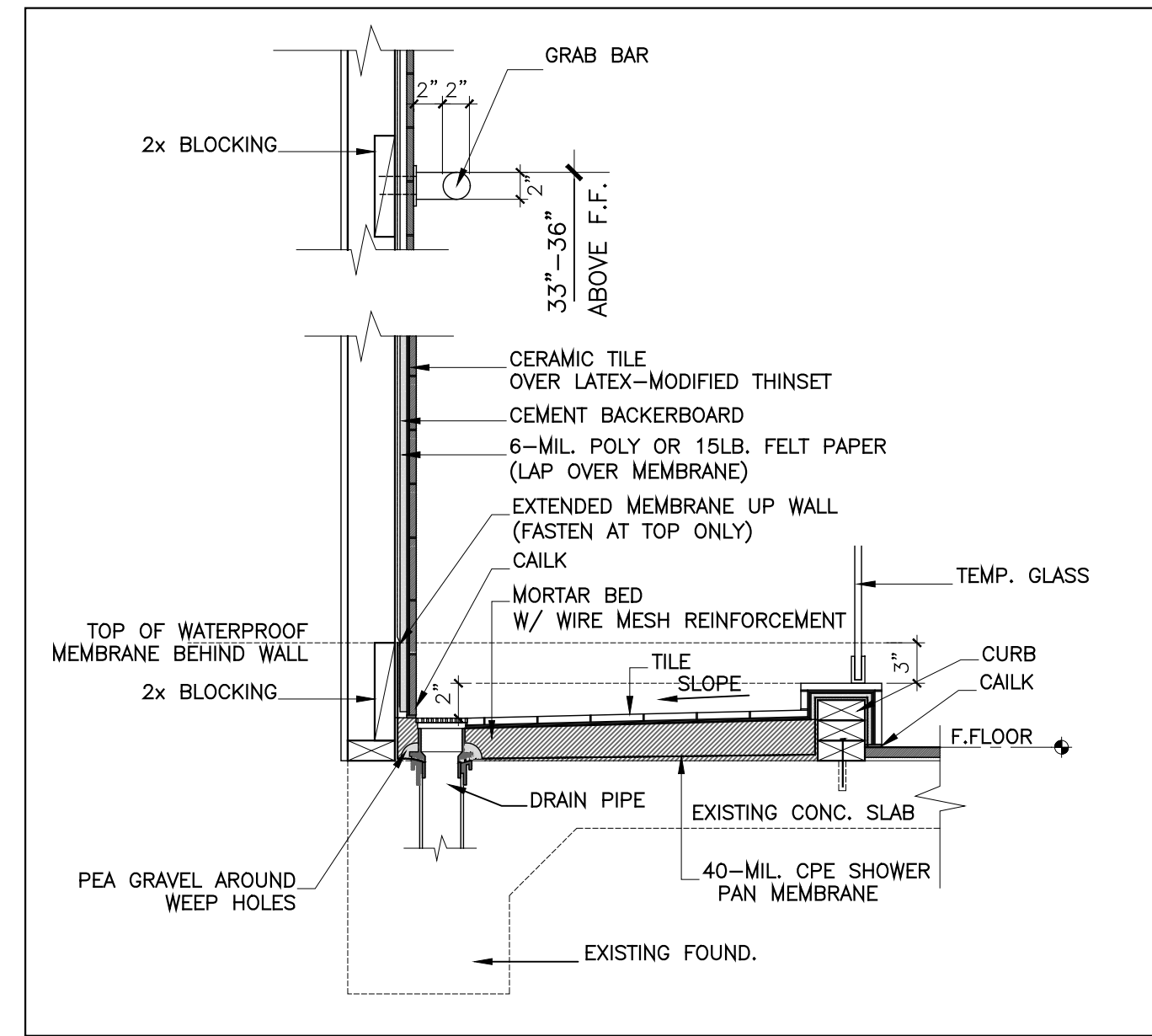
Approved 1/23/2025
 DS 24308
 Carmel-by-the-Sea
 COMMUNITY DEVELOPMENT
 Jacob Olander, Associate Planner

BATHROOM NOTES:

- RECONFIGURED SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE WITH A CLEARANCE OF 22 INCHES MINIMUM. CPC 408.5, 408.6
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF 72" MINIMUM ABOVE DRAIN INLET, CRC R307.2
- ALL GLAZING IN DOORS, PANELS OF SHOWERS AND GLASS WITHIN 12 INCHES OF A DOOR OR 18 INCHES OF THE FLOOR SHALL BE TEMPERED.
- SHOWER DOOR SHALL PROVIDE A CLEAR OPENING OF 22 INCHES WHEN IN THE OPEN POSITION
- CONTROL VALVES AND SHOWER HEADS SHALL BE ARRANGED SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY.
- THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120° F.
- SHOWER FLOORS SHALL BE LINED WITH AN APPROVED SHOWER PAN OR AN ON-SITE BUILT WATERTIGHT APPROVED LINING (I.E. HOT MOP). ON-SITE BUILT SHOWER LININGS SHALL EXTEND A MINIMUM OF 3 INCHES VERTICALLY UP THE WALL AND SHALL BE SLOPED 1/4" PER FOOT TO WEEP HOLES. (CPC 408.7)
- SEE SHEET G1.2, G1.3 & G1.4 FOR ADDITIONAL NOTES
- PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR HOMES BUILT PRIOR TO 1994, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES WILL NEED TO BE UPGRADED.
- WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF.
- SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD.
- LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

RESIDENTIAL CURBLESS SHOWER GUIDELINES

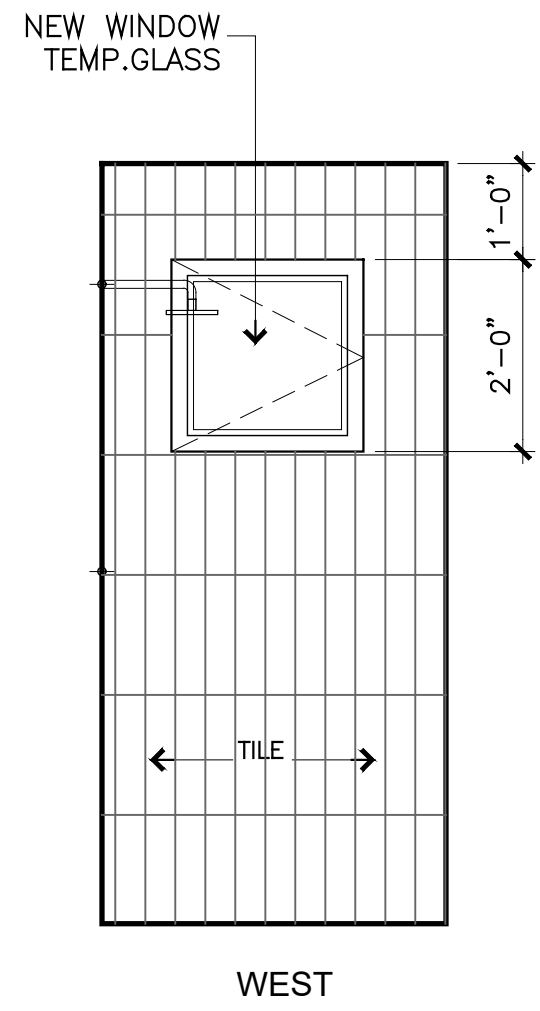
- THE FINISHED SHOWER RECEPTOR SHALL BE CAPABLE OF CONTAINING A MINIMUM OF 9.6 GALLONS ABOVE THE TOP OF THE DRAIN INLET WITHOUT SPILLING OVER THE FINISHED SHOWER THRESHOLD.
- SLOPE: THE FINISHED SHOWER RECEPTOR SHALL SLOPE TO THE TOP OF THE DRAIN INLET A MINIMUM 1/4 INCH PER FOOT AND A MAXIMUM OF 1/2 INCH PER FOOT.
- DRAIN INLET LOCATION: THE TOP OF THE DRAIN INLET SHALL BE A MINIMUM OF 2 INCHES BELOW THE TOP OF THE FINISHED THRESHOLD.
- STRUCTURAL: SHOWER RECEPTOR FLOOR FRAMING SHALL SUPPORT A LIVE LOAD OF 40 PSF AND A MINIMUM DEAD LOAD OF 20 PSF, PER CRC TABLE R502.3.1(2) AND NOT EXCEED THE DRILLING AND NOTCHING LIMITATIONS PER CRC FIGURE 502.8.
- SHOWER RECEPTOR SUB-PAN LINER: THE SHOWER RECEPTOR'S WATER-TIGHT SUB-PAN LINER SHALL BE INSTALLED IN ACCORDANCE WITH THE CPC STANDARD SHOWER RECEPTOR WATER-TIGHT SUB-PAN LINERS.
- THE WATER-TIGHT LINER'S EXTENSION BEYOND THE THRESHOLD, SHALL NOT BE NAILED OR PERFORATED AT ANY POINT CLOSER THAN 1 INCH FROM ITS OUTSIDE EDGE.
- SANITATION: ALL PORTIONS OF THE FINISHED SHOWER RECEPTOR SHALL BE READILY ACCESSIBLE FOR EASY CLEANING.



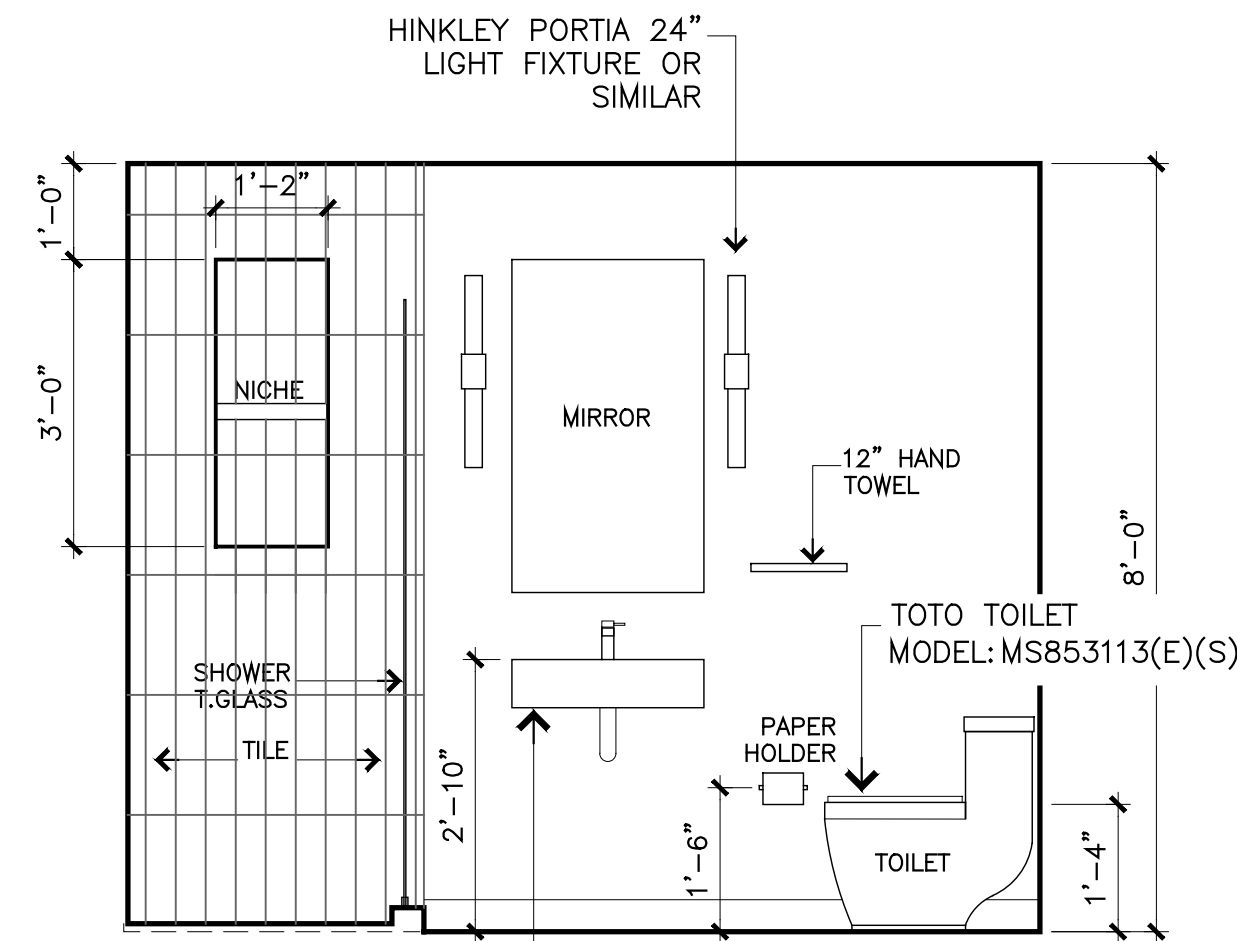
SHOWER WATERPROOFING, TYP. Scale N.T.S. 5

DOOR & WINDOW NOTES:

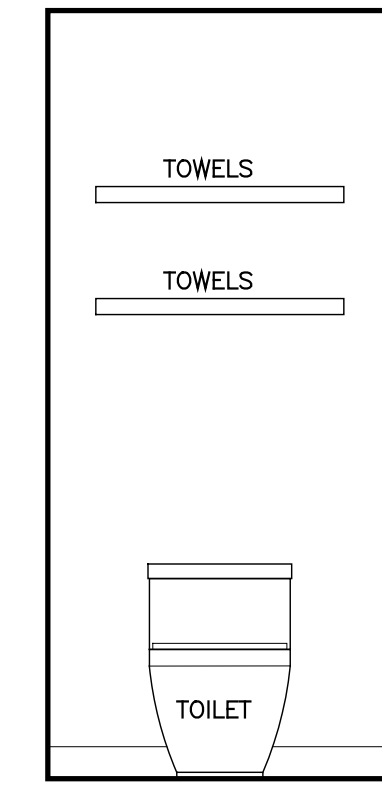
- ALL WINDOW/DOOR SPECIFICATIONS TO COMPLY WITH CURRENT STATE AND COUNTY BUILDING CODES. REFER TO GENERAL NOTES FOR MORE INFORMATION.
- DOOR AND WINDOW SIZE: 2'-8 7/8" x 7'-0"
- (T) = TEMPERED GLASS
- GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS CONFORMING TO CURRENT BUILDING CODES. SUCH AREAS SHALL INCLUDE BUT ARE NOT LIMITED TO SLIDING GLASS DOORS, TUB & SHOWER ENCLOSURES & STEAM ROOMS. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS (U.B.C. 2406.3 AND 2406.4):
 - GLAZING WITHIN A 24" RADIUS OF THE VERTICAL JAMB OF ANY DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE.
 - GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - GLAZING WITH AN AREA MORE THAN 90 SQ. FT., LESS THAN 18" ABOVE THE FLOOR AND WITH ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.
 - GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE.
- COMBUSTION AIR: VENT OPENINGS WITHIN DOOR SHALL BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM ENCLOSURE.
- WINDOWS FOR NATURAL LIGHT & VENTILATION SHALL BE SIZED IN COMPLIANCE WITH CURRENT BUILDING CODE.
- ALL GLAZING AT CONDITIONED SPACES SHALL BE DUAL-PANE.



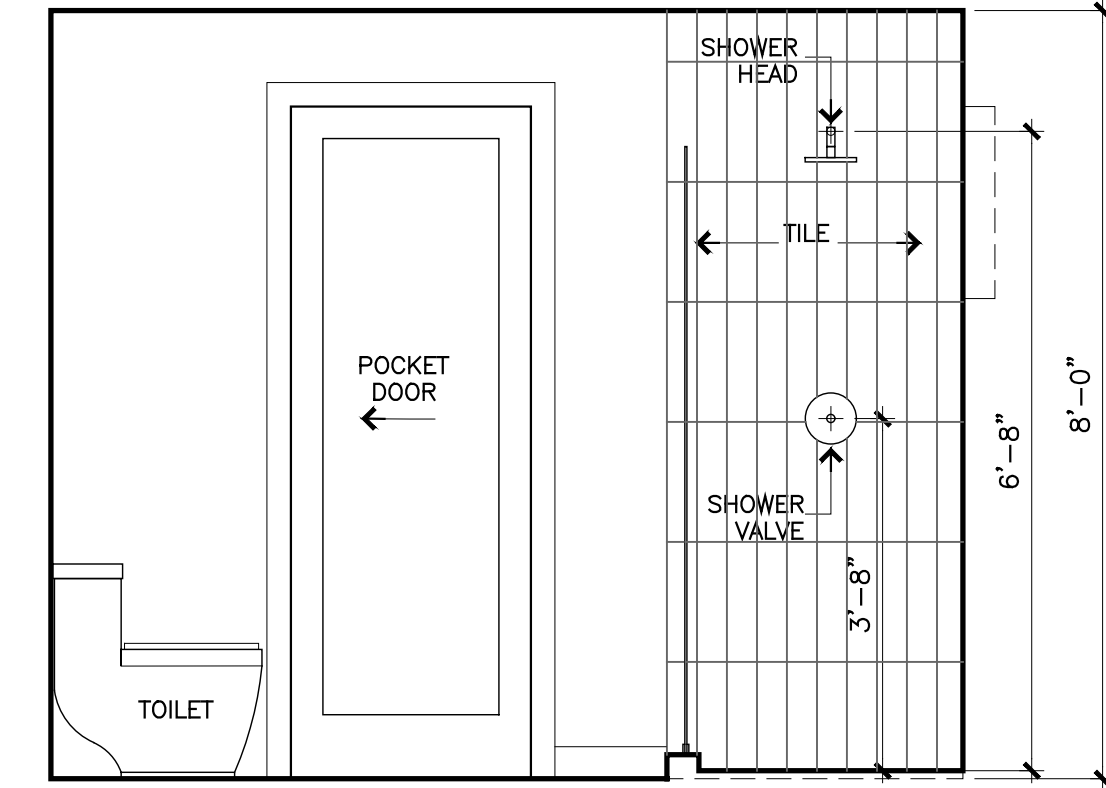
WEST



NORTH



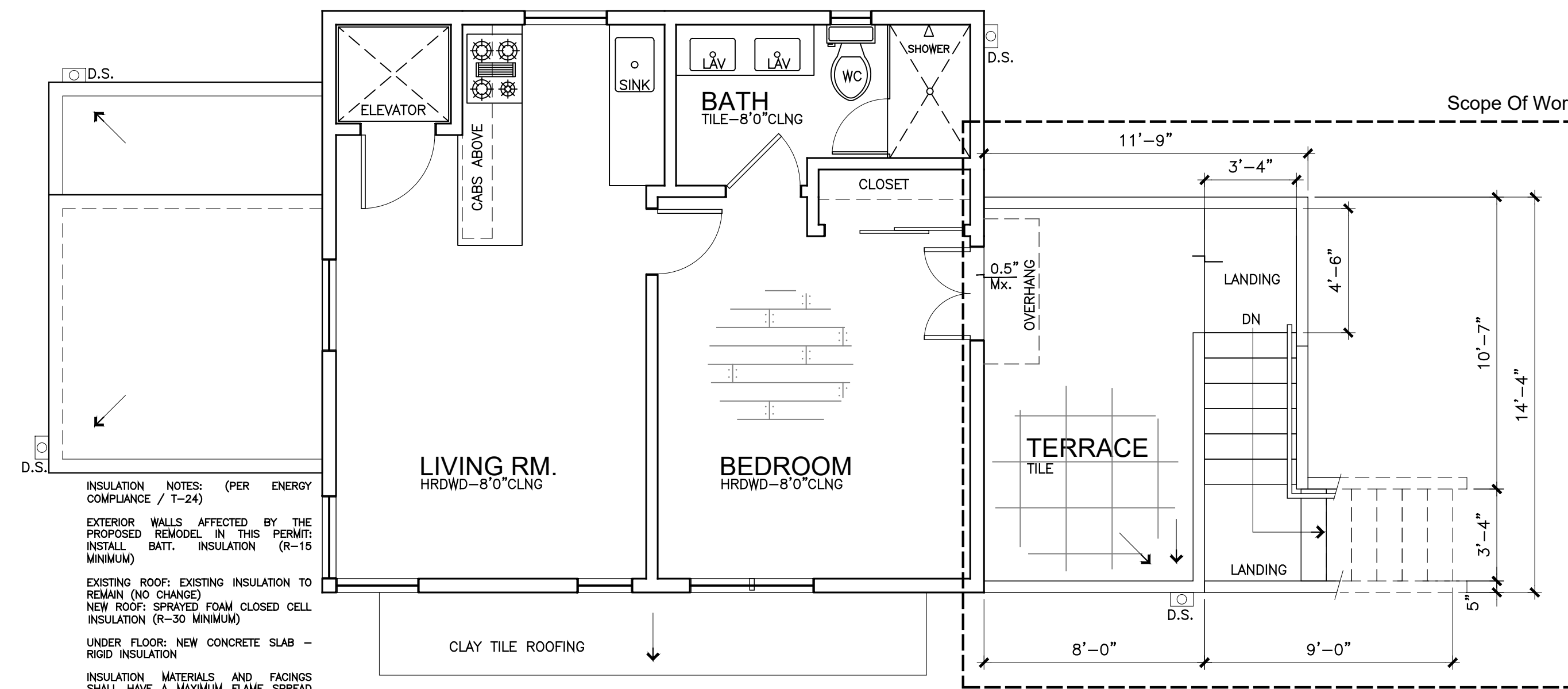
EAST



SOUTH

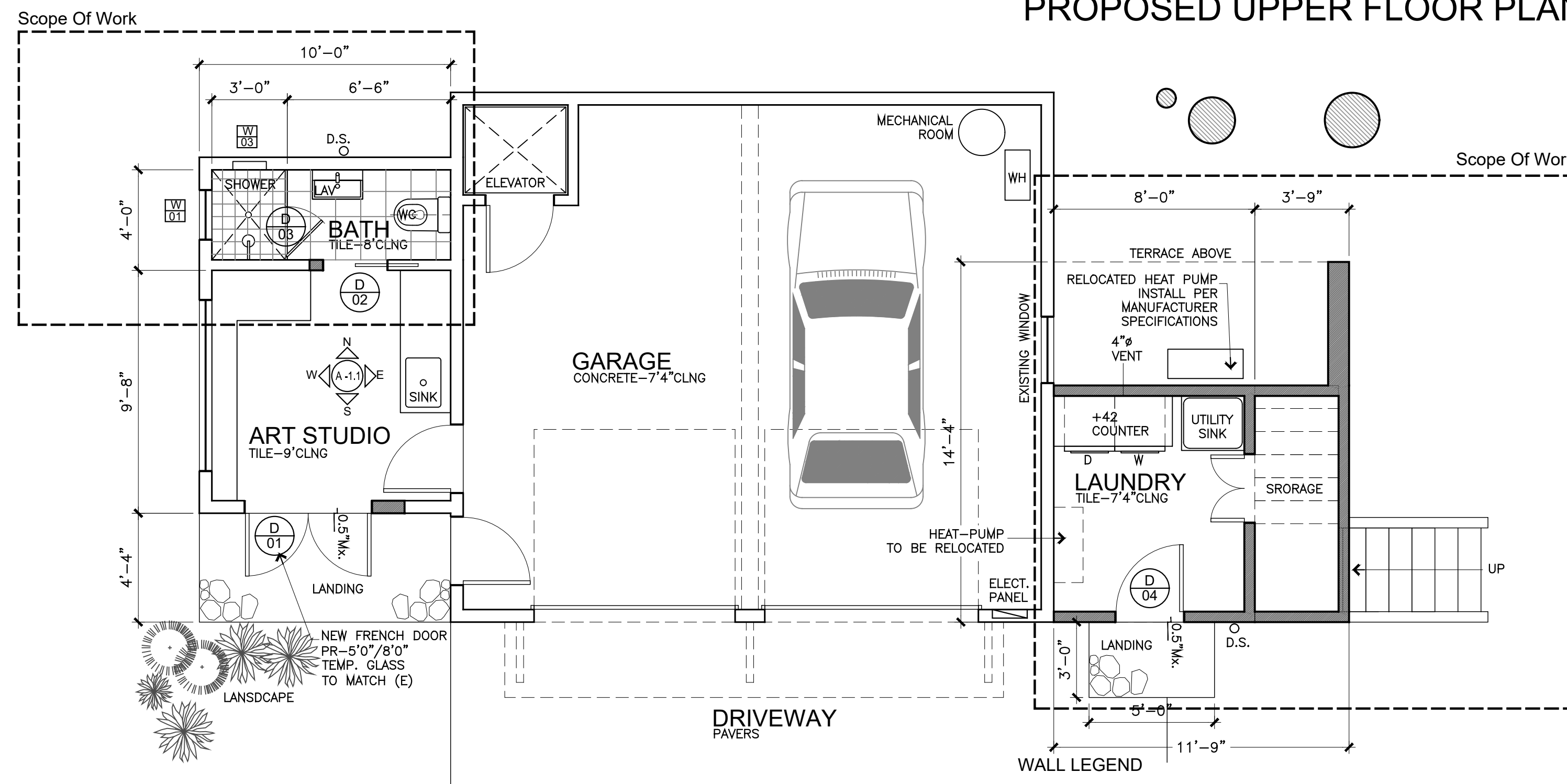
BATH - INTERIOR ELEVATIONS

Scale 1/2"=1'-0" 4



PROPOSED UPPER FLOOR PLAN

Scale 1/4"=1'-0" 2



PROPOSED LOWER FLOOR PLAN

Scale 1/4"=1'-0" 1

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JACKOWSKI-SPIDELL RESIDENCE
 SAN CARLOS STREET 2-NW of SANTA LUCIA
 CARMEL-BY-THE-SEA, CALIFORNIA

Job Number	2023-29
Date	09-21-24
Revision	
Drawn By	FDS

Sheet Number
A-1.1
 of Sheets
 PROPOSED FLOOR - INT. ELEV

Approved 1/23/2025

DS 24308

Carmel-by-the-Sea

Community Planning and Building

Jacob Olander, Associate Planner

DOOR & WINDOW NOTES:

- ALL WINDOW/DOOR SPECIFICATIONS TO COMPLY WITH CURRENT STATE AND COUNTY BUILDING CODES. REFER TO GENERAL NOTES FOR MORE INFORMATION.
- DOOR AND WINDOW SIZE: 28-70= 2'-8" x 7'-0"
- (T) = TEMPERED GLASS
- GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS CONFORMING TO U.B.C. CHAPTER 24. SUCH AREAS SHALL INCLUDE BUT ARE NOT LIMITED TO SLIDING GLASS DOORS, TUB & SHOWER ENCLOSURES & STEAM ROOMS. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS (U.B.C. 2406.3 AND 2406.4):
 - GLAZING WITHIN A 24" RADIUS OF THE VERTICAL JAMB OF ANY DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE.
 - GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - GLAZING WITH AN AREA MORE THAN 9SQ.FT., LESS THAN 18" ABOVE THE FLOOR AND WITH ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.
 - GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE.
- COMBUSTION AIR: VENT OPENINGS WITHIN DOOR SHALL BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM ENCLOSURE.
- WINDOWS FOR NATURAL LIGHT & VENTILATION SHALL BE SIZED IN COMPLIANCE WITH CBC 1205.
- EMERGENCY ESCAPE OR RESCUE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS MAY BE 5.0 S.F. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR (SEC. R310). ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN COMPLIANCE WITH THE FOLLOWING:
- ALL GLAZING AT CONDITIONED SPACES SHALL BE DUAL-PANE.

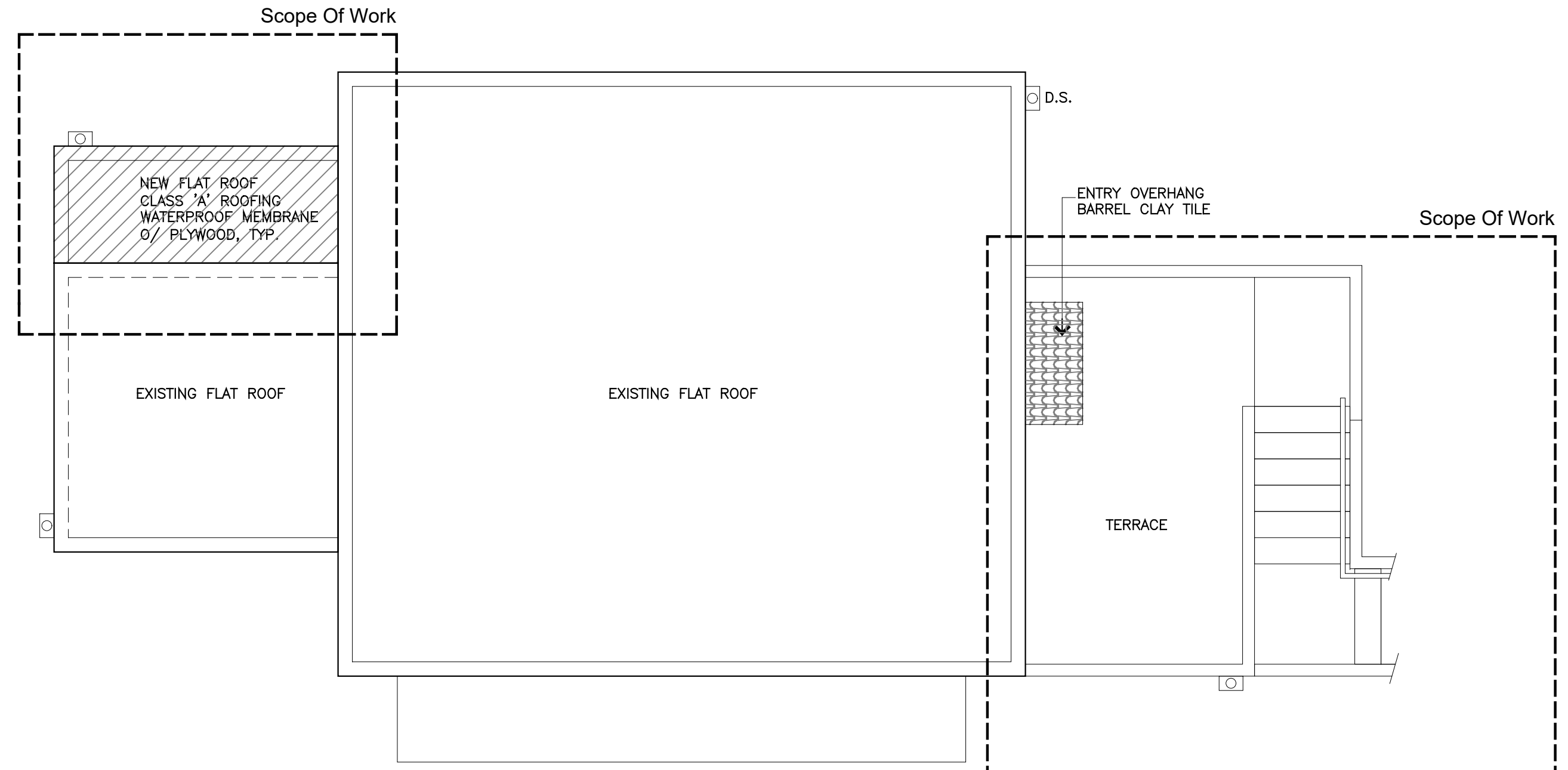
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DOOR SCHEDULE							
DOOR MATERIAL: ALUMINUM COLOR: TO MATCH EXISTING							
NUMBER	ROOM NUMBER	MAIN FLOOR	SIZE	CONF.	TYPE	HDW.	REMARKS
D-01		ART STUDIO	PR 5'-0"/8'-0"				FRENCH - TEMP. GLASS
D-02		BATHROOM	2'-6"/7'-0"				PLANK - POCKET
D-03		BATHROOM (SHOWER)	2'-0"/6'-6"				TEMP. GLASS
D-04		LAUNDRY	2'-8"/6'-6"				TEMP. GLASS
WINDOW SCHEDULE							
DOOR MATERIAL: ALUMINUM COLOR: TO MATCH EXISTING							
NUMBER	ROOM NUMBER	MAIN FLOOR	SIZE	CONF.	TYPE	GLAZING	REMARKS
W-01		BATHROOM	2'-0"/2'-0"	X		DBL-LE	CSMNT - T.GLASS



R806.4 UNVENTED ATTIC ASSEMBLIES:
UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) SHALL BE PERMITTED IF ALL THE FOLLOWING CONDITIONS ARE MET:

- THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE.
- NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY.
- WHERE WOOD SHINGLES OR SHAKES ARE USED, A MINIMUM 1/4 INCH (6 MM) VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHEATHING.
- IN CALIFORNIA CLIMATE ZONES 14 AND 16 ANY AIR-IMPERMEABLE INSULATION SHALL BE A VAPOR RETARDER, COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION. SEE TITLE 24, PART 6, FIGURE 101-A—CALIFORNIA CLIMATE ZONES.
- EITHER ITEMS 5.1, 5.2 OR 5.3 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHEATHING. NO INSULATION SHALL BE REQUIRED WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTENS AND NO CONTINUOUS UNDERLAYMENT IS INSTALLED. A CONTINUOUS LAYER SHALL BE CONSIDERED TO EXIST IF SHEATHING, ROOFING PAPER OR ANY CONTINUOUS LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD.
 - AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING.
 - AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHEATHING, RIGID BOARD OR SHEET INSULATION WITH AN R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL.
 - AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION. THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION.

ROOF LEGEND

 AREA OF (E) ROOF
 AREA OF (N) ROOF



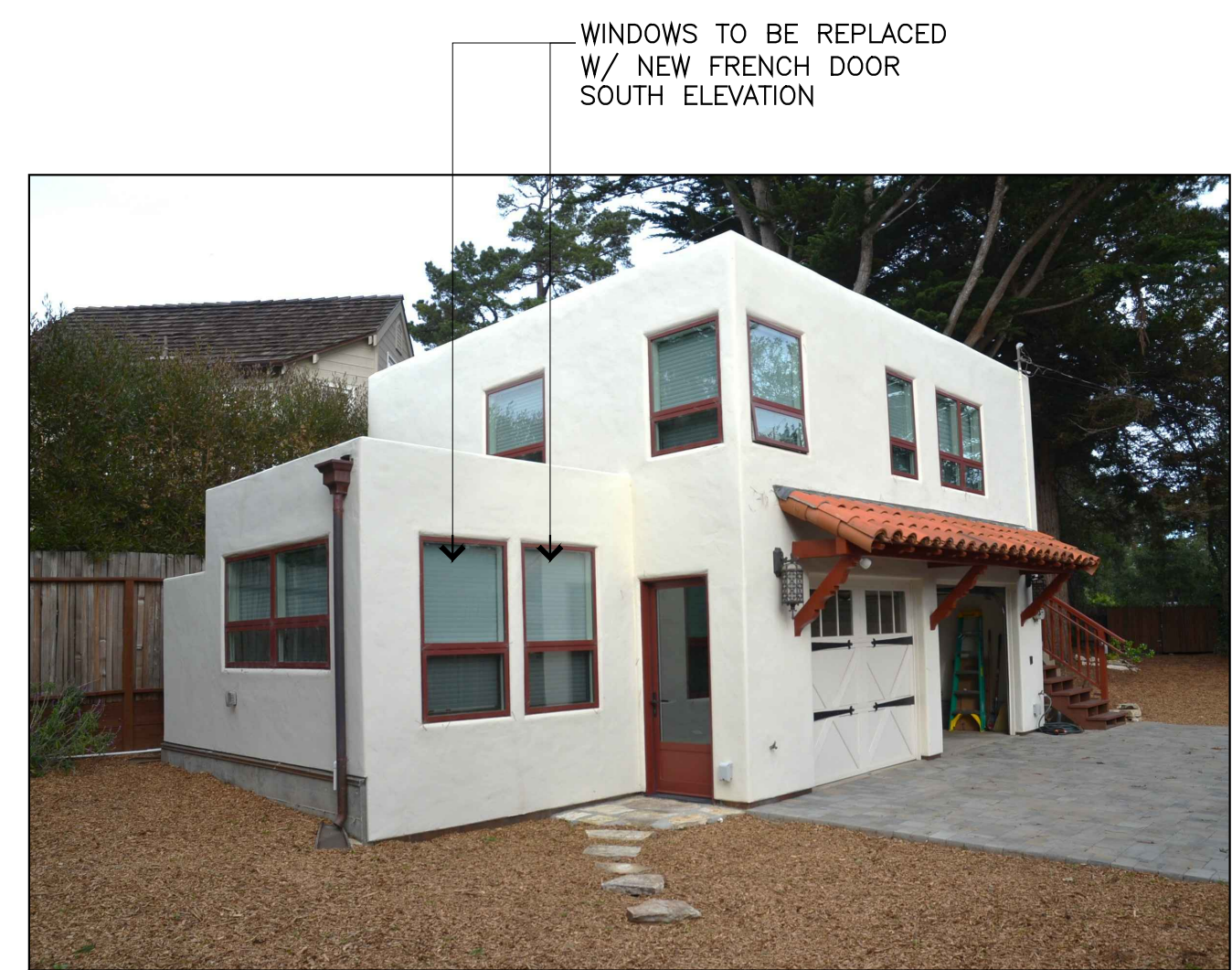
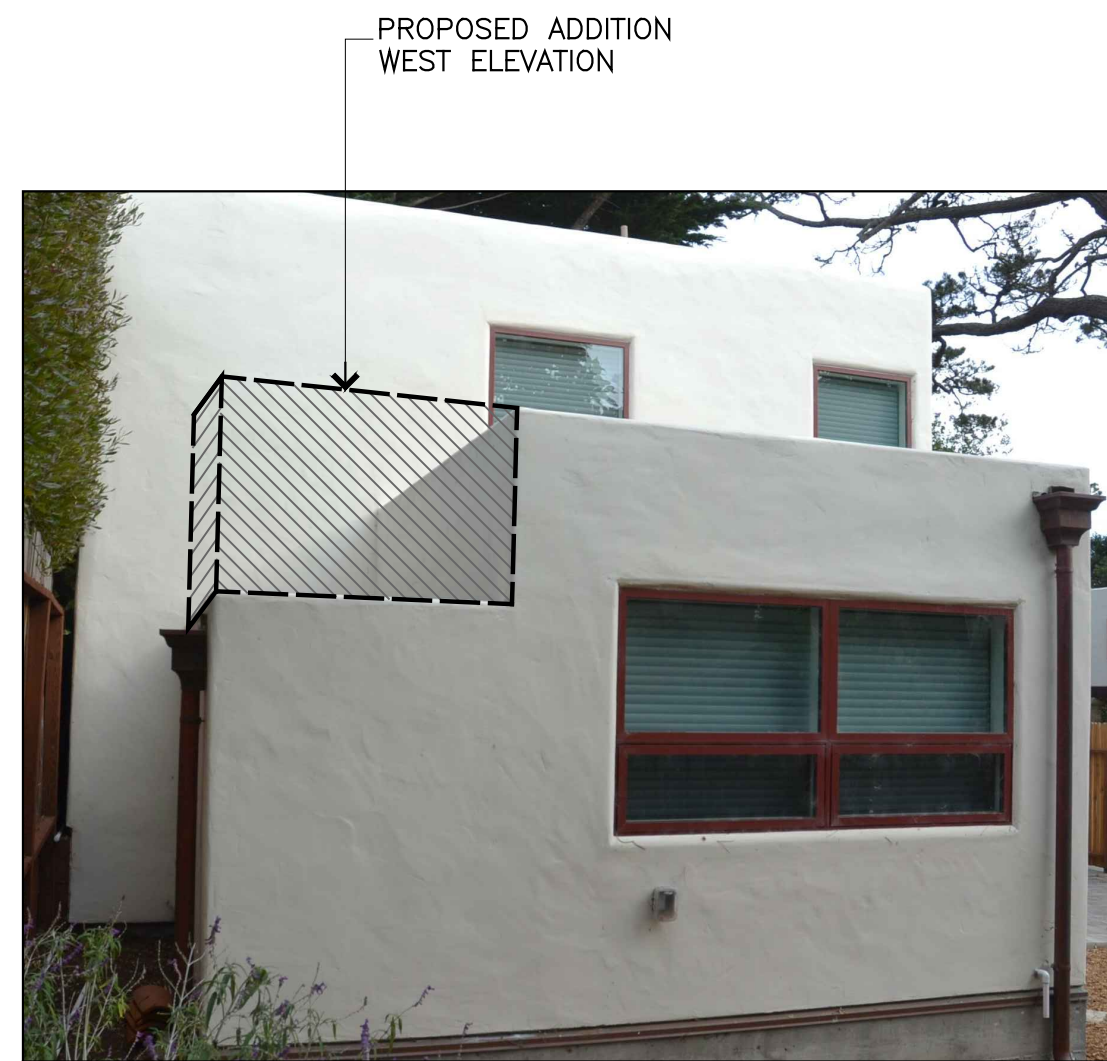
PROPOSED ROOF PLAN

Scale 1/4"=1'-0" 1

JACKOWSKI-SPIDELL RESIDENCE
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CARMEL-BY-THE-SEA, CALIFORNIA

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Revision **1**
Drawn By **FDS**

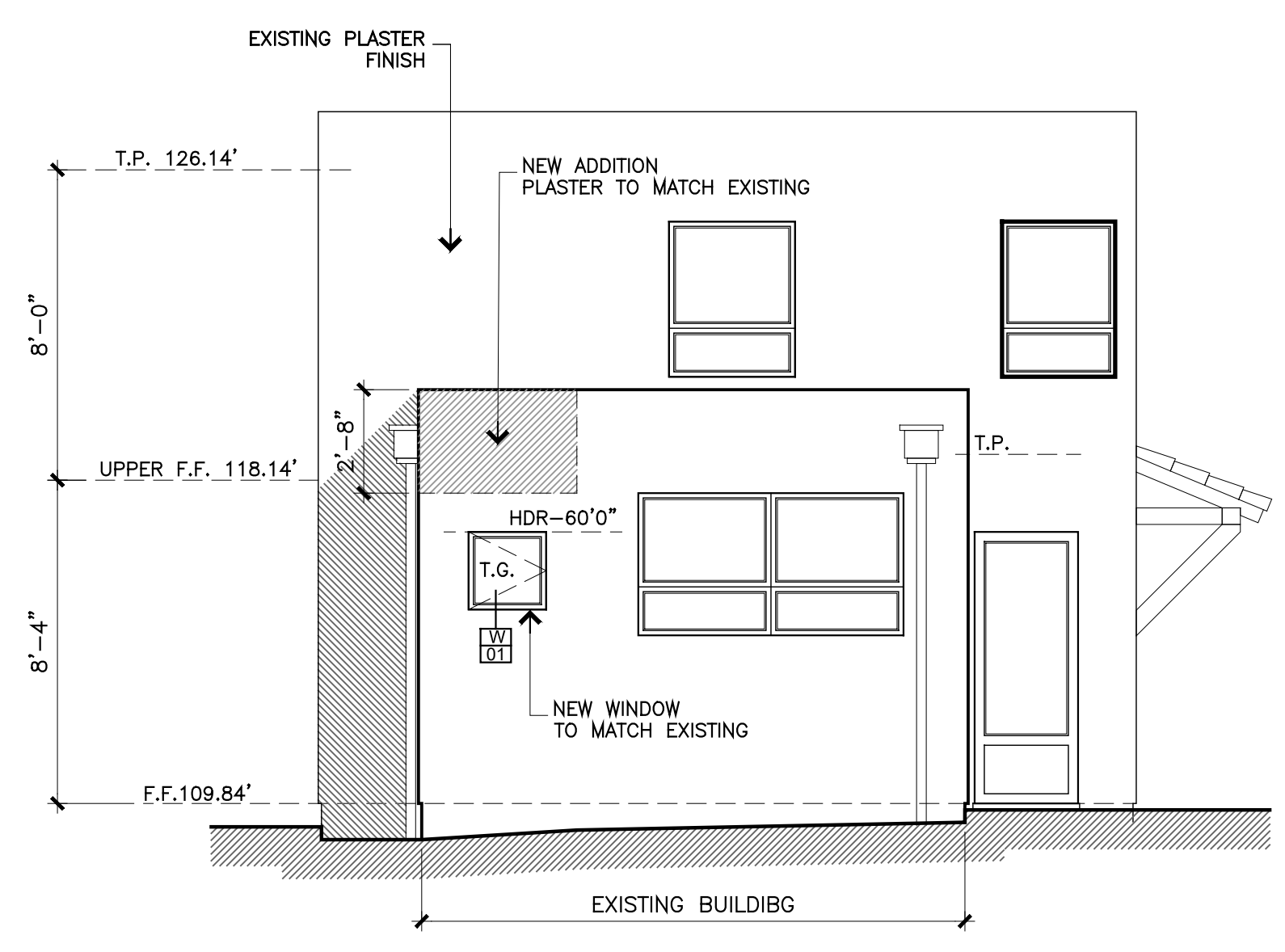
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ROOF PLAN



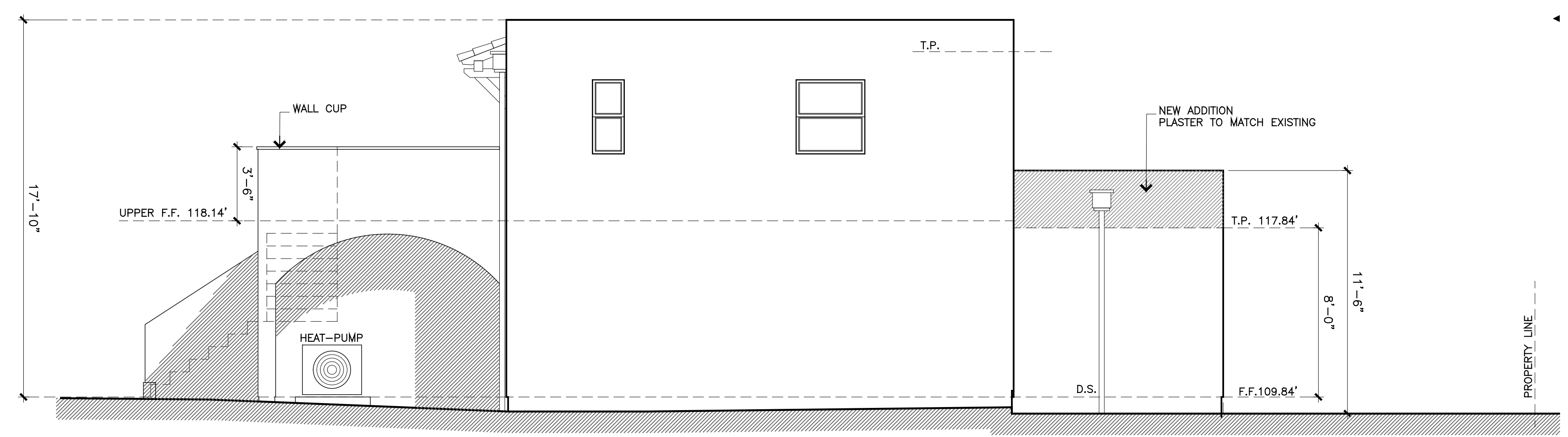
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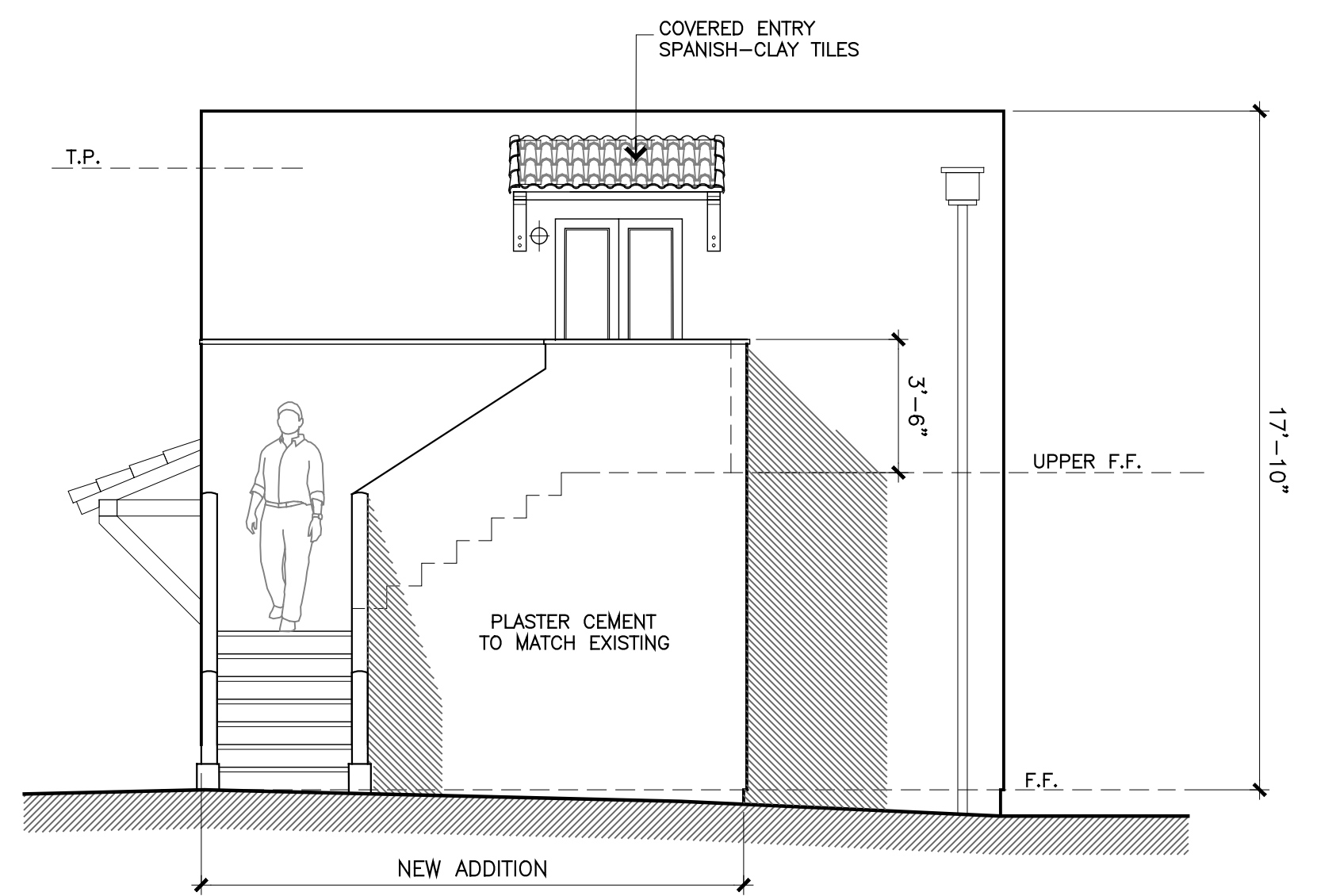


WEST ELEVATION Scale 1/4"=1'-0" W

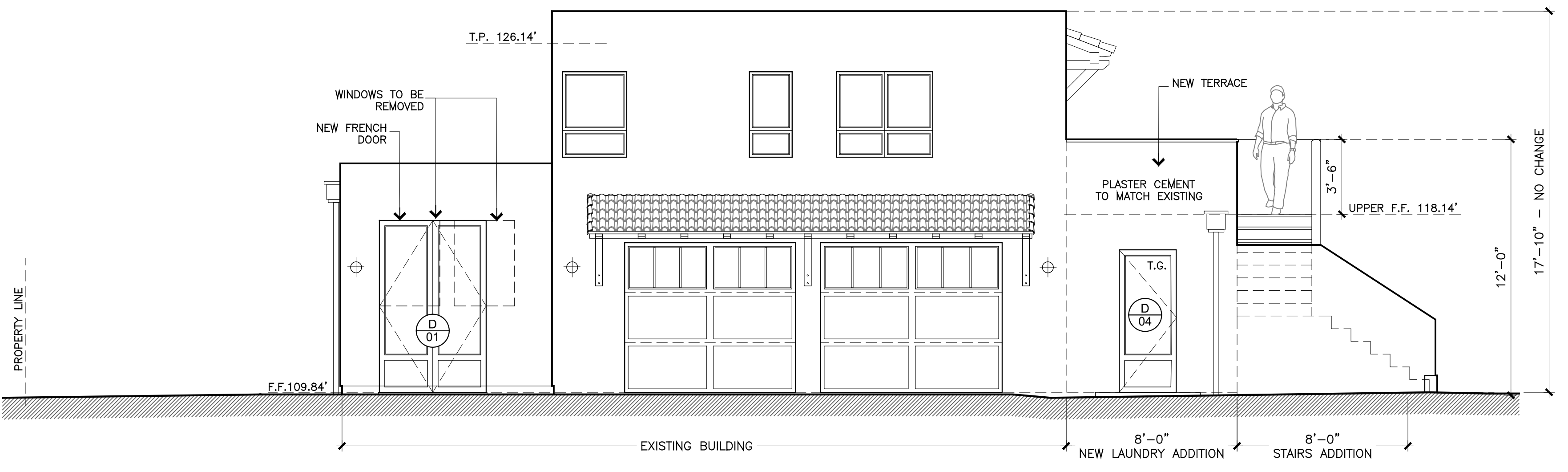


NORTH ELEVATION Scale 1/4"=1'-0" N

NOTE:
 SURFACE WATER SHALL DRAIN AWAY FROM BUILDING. THE GRADE SHALL FALL A MINIMUM OF 5% WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES.) SECTION 1803.3.



EAST ELEVATION Scale 1/4"=1'-0" E



SOUTH ELEVATION Scale 1/4"=1'-0" S

JACKOWSKI-SPIDELL RESIDENCE
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EXT. ELEVATIONS

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