



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24301

Owner Name: MERL LYDIA EDGAR

Case Planner: Katherine Wallace, Associate Planner

Date Posted: _____

Date Approved: 12/17/2024

Project Location: Forest 2 SE of 8th

APN #: 009202010000 **BLOCK/LOT:** 4PP/ALL LOT 2

Applicant: Jacob Radzinski

Project Description: Replace existing pressurized wood retaining wall and fence at rear (east) property line with new CMU block retaining wall, finished with stucco, and a new wood grapestake fence set 6" from retaining wall.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL

No.	Standard Conditions
1.	Authorization. This approval of Design Study DS 24301 (Merl) authorizes: Replace existing pressurized wood retaining wall and fence at rear (east) property line with new CMU block retaining wall, finished with stucco, and a new 6' wood grapestake fence set 6" from retaining wall, located at Forest 2 SE of 8th, APN 009202010000, in the R-1 District and Appeal Jurisdiction, as depicted in the plans stamped approved by Community Planning and Building Department on 12/17/2024 unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Required. <ul style="list-style-type: none">✓ A Building Permit shall be applied for and obtained from the Building Division prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division.
4.	Permit Validity. The project shall be implemented in accordance with the time limits set forth CMC 17.52.170 (Time Limits on Approvals and Denials) . During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

9.	Conditions of Approval. Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none">• Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved.• Excavation within 6 feet of a tree trunk is not permitted.• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. The Forester can be reached at 831-620-2073.</p>
12.	Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

Date

Once signed, please email to .

SHEET CONTENTS

- 1.0 OVERALL CHANGES
- 2.0 DEMOLITION PLAN
- 3.0 CONSTRUCTION PLAN
- ENGINEER DRAWINGS

SCOPE OF WORK

Sitework to include: Demolition of existing wood retaining wall and fence along Eastern edge of the property. New retaining wall to be constructed out of CMU block, to be veneered with stucco finish on the lower face of wall. New fence at top of grade, set back 6" from proposed retaining wall. New fence to be constructed out of traditional grape stakes.

GENERAL NOTES

Lot Area: 7,392

PROJECT DATA

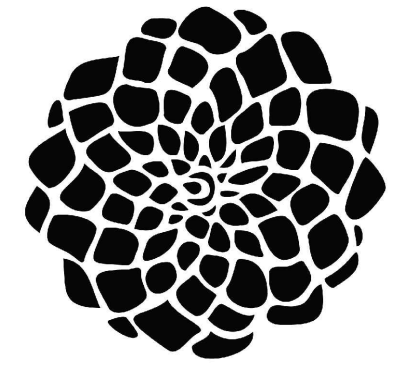
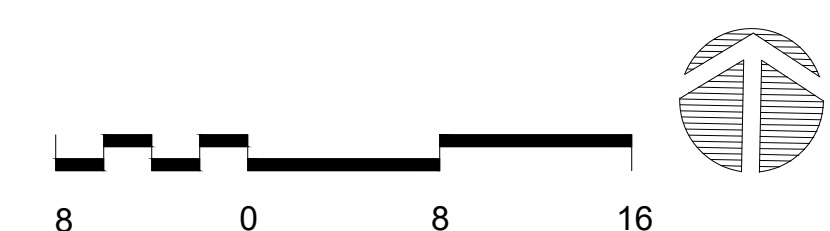
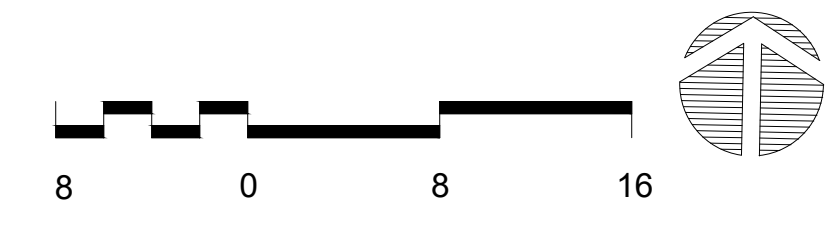
SITE COVERAGE	EXISTING		PROPOSED	
	SF	%	SF	%
Pervious				
Spaced Decking	616 SF	8.3%	616 SF	8.3%
Exterior Wooden Stairs	71 SF	0.10%	71 SF	0.10%
Total	687 SF	9.3%	687	9.3%
Impervious		EXISTING	PROPOSED	
Paver Drive	65 SF	0.9%	65 SF	0.9%
Hot Tub	50 SF	0.7%	50 SF	0.7%
Garden Walls	95 SF	1.29%	95 SF	1.29%
Total	210	2.8%	210	2.8%
Grand Total:	897	12%	897	12%

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 24301 (Merl)

Date Approved: 12/17/2024

Planner: K. Wallace



**CARMEL POINT
LANDSCAPES**

LIC # 106873
P.O. BOX 4195,
Carmel-by-the-Sea,
CA. 93921
(831)574-9837
carmelpointlandscapes.com

PROJECT:
**FOREST RD 2 SE OF 8TH
APN: 009-202-010-000**

OWNER/ CLIENT:
MERL & PATRICK

SCOPE:
OVERALL CHANGES

PROGRESS ISSUE:

NAME: _____ PROGRESS SUBMIT: _____ DATE: _____

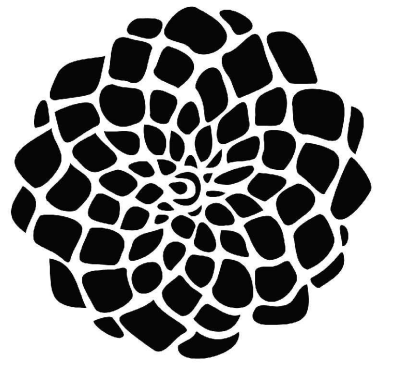
NOTES FOR CONSTRUCTION:

DISCLAIMER:
All plans created by Carmel Point Landscapes are made exclusively for landscape purposes and do not constitute civil engineering or architecture plans. Carmel Point Landscapes shall not be held liable for any damages or claims arising from the use of these plans by other contractors or installers. Field verify all measurements before commencing construction.

SHEET TITLE:
**EXISTING & PROPOSED
CONDITIONS**

SCALE: 1/8" = 1' DECEMBER 13 2024
SHEET NUMBER:

LA - 1.00



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LANDSCAPES**

LIC # 106873
P.O. BOX 4195,
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CA. 93921
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PROJECT:
**FOREST RD 2 SE OF 8TH
APN: 009-202-010-000**

OWNER/ CLIENT:
MERL & PATRICK

SCOPE:
DEMOLITION

PROGRESS ISSUE:

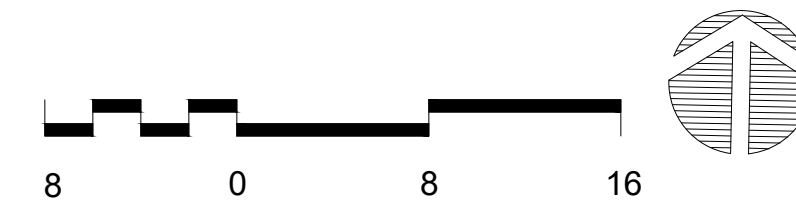
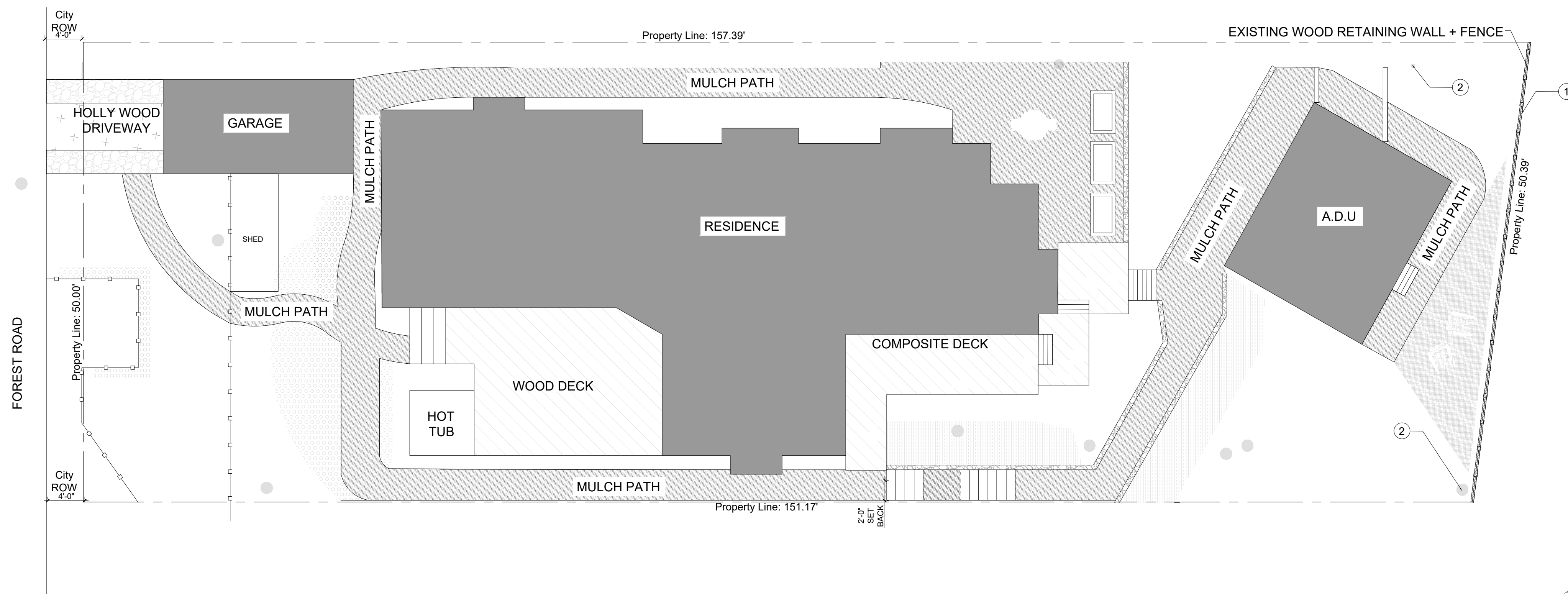
NAME: _____ PROGRESS SUBMIT: _____ DATE: _____

NOTES FOR CONSTRUCTION:

DEMOLITION NOTES

- 1 Demolish existing wood retaining wall and grape-stake fencing
- 2 Tree: Preserve and protect per City tree protection standards

DEMOLITION PLAN



**CARMEL-BY-THE-SEA
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SHEET TITLE:
DEMOLITION

SCALE: 1/8" = 1' DECEMBER 13 2024
SHEET NUMBER:

LA - 2.00

CONCRETE

ALL PORTIONS OF WORK PERTAINING TO CONCRETE CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, CHAPTER 19.

CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY. MIX DESIGNS SHALL CONFORM TO ACI 318-14. MIX DESIGNS SHALL INCORPORATE THE FOLLOWING CRITERIA:

MINIMUM OF 5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE. MAXIMUM OF 7 SACKS OF CEMENT PER YARD OF CONCRETE.
 MAXIMUM WATER/CEMENT RATIO (BY WEIGHT) OF CONCRETE IN CONTACT WITH SOIL SHALL BE 0.5.
 MAXIMUM SLUMP SHALL NOT EXCEED 3" +/- 1" FOR FOOTINGS, SLABS ON GRADE, AND MASS CONCRETE; AND 4" +/- 1" FOR OTHER CONCRETE. SLUMP LIMITATIONS NOTED SHALL APPLY TO CONCRETE MIX PRIOR TO THE ADDITION OF ANY WATER-REDUCING ADMIXTURES OR SUPER-PLASTICIZERS.
 CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDE(S) SHALL NOT BE USED. ENGINEER OF RECORD SHALL BE NOTIFIED IN ADVANCE, IF FLY ASH IS TO BE USED, AND TEST CYLINDERS MAY BE REQUIRED TO VERIFY THAT DESIGN STRENGTH HAS BEEN ACHIEVED.

THE STRUCTURAL CONCRETE 28 DAY MINIMUM STRENGTH SHALL BE 2500 PSI.
 PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II.

AGGREGATE FOR NORMALWEIGHT CONCRETE SHALL CONFORM TO ASTM C-33. COMBINED AGGREGATE GRADATION OF 3/8" MAXIMUM (PEA GRAVEL) SHALL NOT BE USED.

AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C-330. THE COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" AND THE ABSOLUTE VOLUME OF COARSE AGGREGATE SHALL NOT EXCEED 9.0 CUBIC FEET PER CUBIC YARD OF CONCRETE.

READY MIXED CONCRETE SHALL CONFORM TO ASTM C-94.

PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 304. CLEAN AND ROUGHEN TO 1/4" AMPLITUDE ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.

ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING CONCRETE.

PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING IN CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN. NOTIFY THE ENGINEER OF RECORD, IN ADVANCE, OF CONDITIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"

CONCRETE EXPOSED TO EARTH OR WEATHER:

#6 THROUGH #18 BARS 2"
 #5 BARS, W31 OR D31 WIRE, AND SMALLER 1-1/2"

CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:

SLABS, WALLS, JOISTS:
 #14 AND #18 BARS 1-1/2"
 #11 BAR AND SMALLER 3/4"
 BEAMS, COLUMNS:
 PRIMARY REINFORCEMENT
 STIRRUPS, TIES, SPIRALS 1 1/2"

SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL MOLDS, GROOVES, REVEALS, ORNAMENTS AND GROUNDS TO BE CAST IN CONCRETE.

NON-SHRINK GROUT WHERE NOTED ON DRAWINGS SHALL BE A PRE-MIXED COMPOUND CONSISTING OF NON-METALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 8,000 PSI AT 28 DAYS. WHERE APPLICATION THICKNESS EXCEEDS MANUFACTURER'S LIMITATIONS, EXTEND WITH 3/8" (GRAVEL) AGGREGATE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

CONCRETE BLOCK MASONRY (F'M = 1500 PSI)

ALL PORTIONS OF WORK PERTAINING TO CONCRETE BLOCK MASONRY CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, CHAPTER 21.

THE STRENGTH OF CONCRETE BLOCK MASONRY CONSTRUCTION SHALL BE DETERMINED BY PRISM TESTING IN ACCORDANCE WITH SEC. 2105.2.2.2.

CONCRETE BLOCKS SHALL BE HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS CONFORMING TO ASTM C-90, MEDIUM WEIGHT UNITS. SPEED BLOCK "H" SHAPED UNITS ARE PERMITTED.

CEMENT SHALL BE AS SPECIFIED FOR CONCRETE.

MORTAR SHALL CONFORM TO ASTM C-270 AND THE PROPORTION SPECIFICATIONS OF TABLE NO. 2103.8(1), FOR TYPE S MORTAR. MORTAR SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS.

GROUT SHALL CONFORM TO TABLE NO. 2103.12, FOR COARSE GROUT. USE SUFFICIENT WATER FOR GROUT TO FLOW INTO ALL CELLS WITHOUT SEGREGATION. ADMIXTURE SHALL BE SIKKA GROUT AID, OR APPROVED EQUAL. GROUT SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.

PROVIDE A MINIMUM ONE BAR DIAMETER OF GROUT BETWEEN MAIN REINFORCING AND MASONRY UNITS. PROVIDE A MINIMUM OF 1" OF GROUT AROUND ALL BOLTS EMBEDDED IN MASONRY.

CELLS SHALL BE IN VERTICAL ALIGNMENT. DOWELS IN FOOTINGS SHALL BE SET TO ALIGN WITH CORES CONTAINING VERTICAL REINFORCING.

ALL CELLS IN CONCRETE BLOCKS SHALL BE SOLIDLY FILLED WITH GROUT.

MAXIMUM GROUT POUR HEIGHT AND MINIMUM GROUT SPACES SHALL CONFORM WITH ACI 530, TABLE 1.16.1 AND SHALL NOT EXCEED 12 FEET. CLEANOUTS SHALL BE PROVIDED FOR ALL GROUT POURS OVER 8 FEET IN HEIGHT.

GROUT POURS SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION.

REFER TO ARCHITECTURAL DRAWINGS FOR SURFACE TEXTURE, HEIGHT OF MASONRY UNITS, LAYING PATTERN AND JOINT TYPE. USE RUNNING BOND PATTERN, UNLESS NOTED OTHERWISE.

NO PIPES OR DUCTS SHALL BE PLACED IN MASONRY CONSTRUCTION UNLESS SPECIFICALLY NOTED OR DETAILED.

ELECTRICAL CONDUIT MAY BE ROUTED IN MASONRY WALLS AS FOLLOWS:

A. MAXIMUM SIZE AND QUANTITY OF CONDUIT PER CELL (EXCEPT AT JUNCTION BOXES) SHALL BE AS FOLLOWS: FOR 8" BLOCK, ONE 1" DIAMETER OR TWO 3/4" DIAMETER; FOR 12" BLOCK, TWO 1" DIAMETER OR FOUR 3/4" DIAMETER. MULTIPLE CONDUITS SHALL BE BUNDLED TOGETHER.

A. CONDUIT SHALL NOT BE PLACED IN A MASONRY CELL CONTAINING REINFORCING.

A. CONDUIT SHALL NOT BE PLACED IN A PILASTER.

A. CONDUIT SHALL BE PLACED AT THE CENTERLINE OF THE WALL.

GENERAL

THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. CONTRACTOR AT HIS OWN EXPENSE SHALL ENGAGE PROPERLY QUALIFIED PERSONS TO DESIGN BRACING, SHORING, ETC. OBSERVATION VISITS TO THE SITE BY THE ENGINEER OF RECORD SHALL NOT INCLUDE OBSERVATION OF THE ABOVE NOTED ITEMS.

THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.

SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

WORK NOT PARTICULARLY SHOWN OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE SHOWN OR SPECIFIED.

SPECIFICATIONS, CODES AND STANDARDS NOTED SHALL BE OF THE LATEST APPROVED ISSUE, INCLUDING SUPPLEMENTS, UNLESS NOTED OTHERWISE.

ALL WORK SHALL BE PERFORMED SO AS TO COMPLY WITH ALL LEGAL AND INDUSTRY REQUIREMENTS AND STANDARDS INCLUDING WITHOUT LIMITATION THE FOLLOWING:

IBC 2022 EDITION VOLUMES 1 & 2, IRC 2021 EDITION, ACI 318-19, ASCE7-22, ANSI/AISC SDS 2018, ANSI/AISC SDPWS-2015, WFCM-2018, AISC 15TH EDITION, AISC 360-18, AISC 341-16, AND TMS 402-2016

OTHER REGULATING AGENCIES WHICH MAY HAVE AUTHORITY OVER ANY PORTION OF THE WORK, INCLUDING THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, AND THOSE CODES AND STANDARDS LISTED IN THESE NOTES AND SPECIFICATIONS.

THE MANUFACTURER'S REQUIREMENTS AND/OR RECOMMENDATIONS FOR ANY INCORPORATED PRODUCTS.

IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE PROJECT'S CONSTRUCTION DOCUMENTS AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK, EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD.

THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THEY ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR CLARIFICATION AND INFORMATION. ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMISSIONS TO THE ATTENTION OF AN APPROPRIATE OWNER REPRESENTATIVE IN A TIMELY MANNER; AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY FOR CONTRACTORS. ALL CONTRACTORS AT THEIR OWN RISK IF THEY FAIL TO VERIFY AND FIELD MEASURE DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION. PLANS ARE INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS.

SUBMITTALS WILL BE REVIEWED BY THE ENGINEER OF RECORD, IF AT ALL, ONLY PURSUANT TO THE INDUSTRY-STANDARD PROTOCOL SET FORTH IN AIA DOCUMENT A201, AND IN NO EVENT WILL THE SUBMITTAL REVIEW PROCESS RELIEVE OR LESSEN THE SUBMITTING CONTRACTOR'S RESPONSIBILITY FOR AN INAPPROPRIATE SUBMITTAL.

COPIES OF THESE PLANS PROVIDED IN ANY ELECTRONIC FORM ARE SUBJECT TO THE SAME PROVISIONS AS THE OTHER INSTRUMENTS OF SERVICE PREPARED BY OR ON BEHALF OF THE ENGINEER OF RECORD FOR THE PROJECT, INCLUDING WITHOUT LIMITATION ENGINEER'S COMMON LAW, STATUTORY OR OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. A RECIPIENT IS GRANTED AT MOST A TRANSFERABLE NON-EXCLUSIVE LICENSE TO REUSE THE PLANS SOLELY FOR PROJECT PURPOSES; AND NO RECIPIENT IS AUTHORIZED TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE, AND ANY USE FOR ANY OTHER PURPOSE WOULD CONSTITUTE ACTIONABLE PLAGIARISM. THE ENGINEER OF RECORD PROVIDES DOCUMENTS IN AN ELECTRONIC FORM ONLY IN ITS STANDARD FORMATS AND CONVENTIONS AND WITH NO GUARANTEE OF COMPATIBILITY WITH ANY RECIPIENT'S SOFTWARE OR HARDWARE, AND ANY USE WITH OR CONVERSION TO OTHER FORMATS OR CONVENTIONS, OR THE USE WITH ANY PARTICULAR SOFTWARE OR HARDWARE, IS AT THE RECIPIENT'S SOLE RISK. LIKEWISE, ANY RECIPIENT SHALL BE RESPONSIBLE FOR VERIFYING THE ABSENCE OF VIRUSES OR OTHER HARMFUL MATERIALS PRIOR TO USE.

REINFORCING STEEL

ALL PORTIONS OF WORK PERTAINING TO FABRICATION AND PLACEMENT OF REINFORCING STEEL SHALL CONFORM TO ACI 318-14.

REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60, EXCEPT #3, BARS MAY BE GRADE 40. REINFORCING BARS THAT ARE TO BE WELDED SHALL CONFORM TO ASTM A-706, GRADE 60.

WELDING OF REINFORCEMENT SHALL BE WITH LOW HYDROGEN ELECTRODES AND SHALL CONFORM TO STRUCTURAL WELDING CODE - REINFORCING STEEL, AWS D1.4/D1.4M, BY THE AMERICAN WELDING SOCIETY. WELDING RODS USED FOR THE WELDING OF REINFORCING SHALL BE E60XX. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS.

ALL REINFORCING BAR BENDS SHALL BE MADE COLD. ALL #4 OR LARGER REINFORCING BARS SHALL NOT BE RE-BENT.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, AND SHALL BE LAPPED 1-1/2 SPACES AND 12" MINIMUM.

DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE, SPACING AND NUMBER AS THE VERTICAL REINFORCEMENT IN WALLS OR COLUMNS UNLESS NOTED OTHERWISE ON THE DRAWINGS.

REINFORCING STEEL SPLICE LENGTHS SHALL BE 48 BAR DIAMETERS UNLESS NOTED OTHERWISE ON THE DRAWINGS.

ALL VERTICAL REINFORCING SHALL BE CONTINUOUS BETWEEN TWO DIAPHRAGM LEVELS, UNLESS NOTED OTHERWISE.

FOUNDATION

ALL PORTIONS OF WORK PERTAINING TO EXCAVATIONS, FOUNDATIONS AND RETAINING WALLS SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, CHAPTER 18.

AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF WAS USED FOR DESIGN. BOTTOM OF FOOTINGS SHALL BE 18" MINIMUM BELOW LOWEST ADJACENT FINAL GRADE AND HAVE 18" EMBEDMENT INTO FIRM NATIVE MATERIAL.

THE CONTRACTOR SHALL PROVIDE FOR DE-WATERING OF EXCAVATIONS FROM EITHER SURFACE WATER, GROUND WATER OR SEEPAGE.

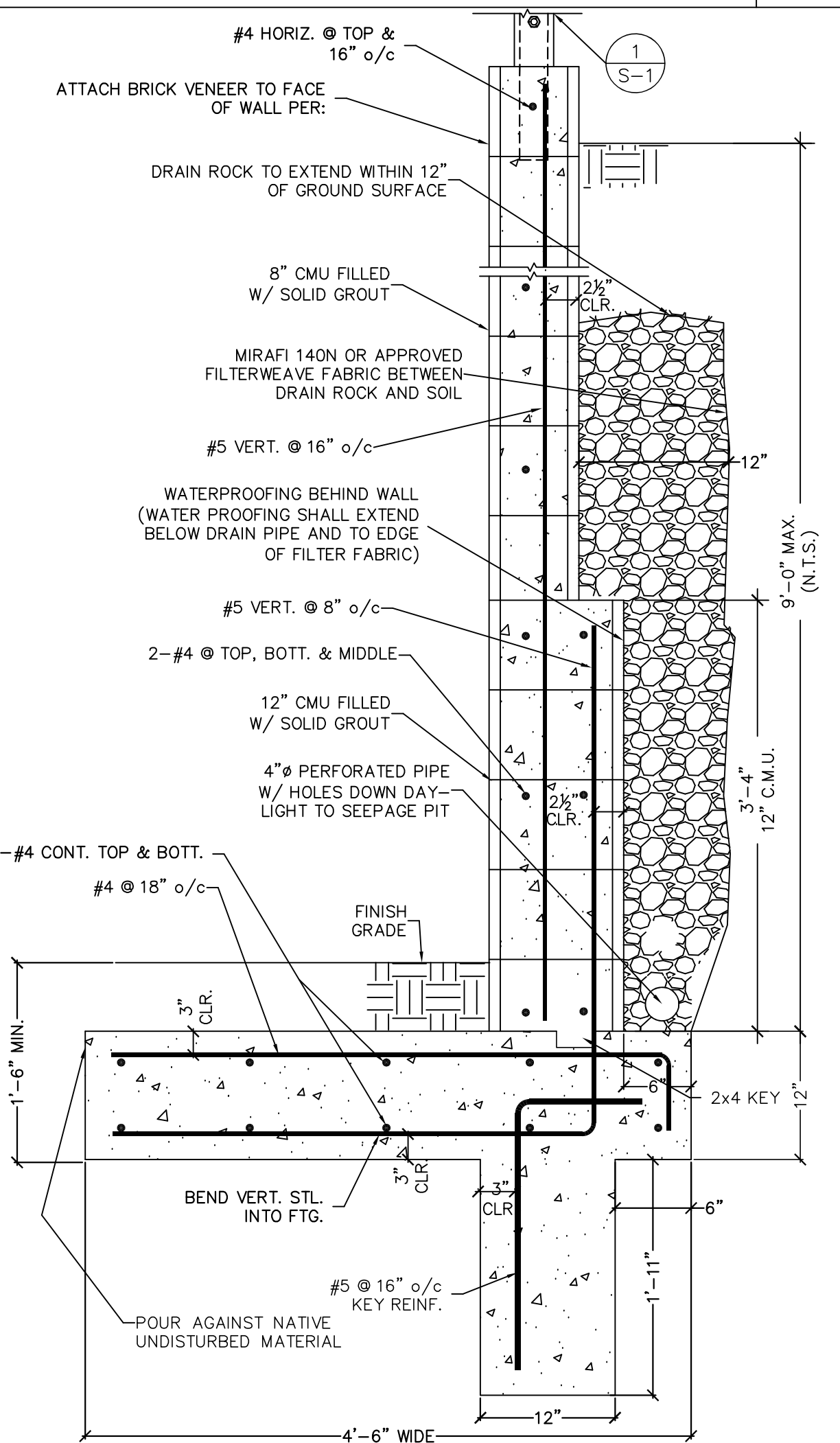
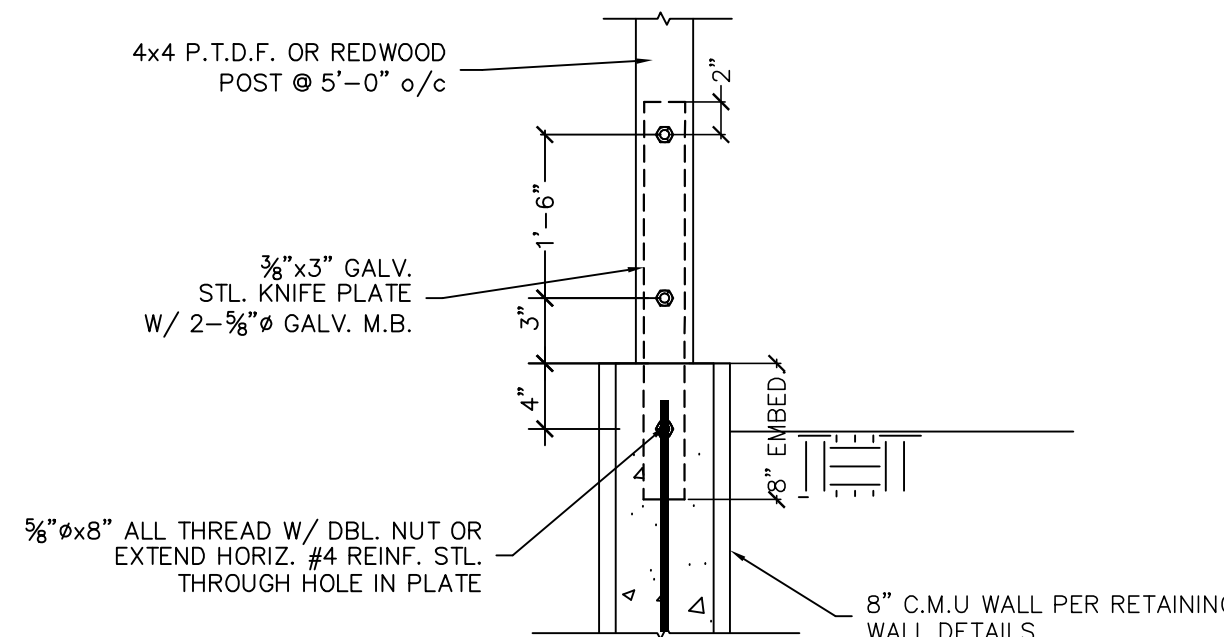
THE CONTRACTOR SHALL PROVIDE FOR THE DESIGN, APPROVALS, PERMITS, INSTALLATION AND MONITORING OF ALL CRIBBING, SHEATHING AND SHORING REQUIRED TO SAFELY RETAIN TEMPORARY EXCAVATIONS.

ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED. DO NOT PLACE BACKFILL BEHIND RETAINING WALLS BEFORE CONCRETE HAS ATTAINED FULL DESIGN STRENGTH. THE CONTRACTOR SHALL BRACE OR PROTECT ALL BUILDING AND FIT WALLS BELOW GRADE FROM LATERAL LOADS UNTIL ATTACHING FLOORS ARE COMPLETELY IN PLACE AND WALLS HAVE ATTAINED FULL DESIGN STRENGTH. THE CONTRACTOR SHALL PROVIDE FOR DESIGN, PERMITS AND INSTALLATION AND REMOVAL OF SUCH BRACING.

FOOTING BACKFILL AND UTILITY TRENCH BACKFILL WITHIN BUILDING AREA SHALL BE MECHANICALLY COMPACTED IN LAYERS.

ALL ABANDONED FOOTINGS, UTILITIES, ETC., THAT INTERFERE WITH NEW CONSTRUCTION, SHALL BE REMOVED.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, AND ENGINEER OF RECORD SHOULD ANY BURIED STRUCTURES, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC., BE FOUND.

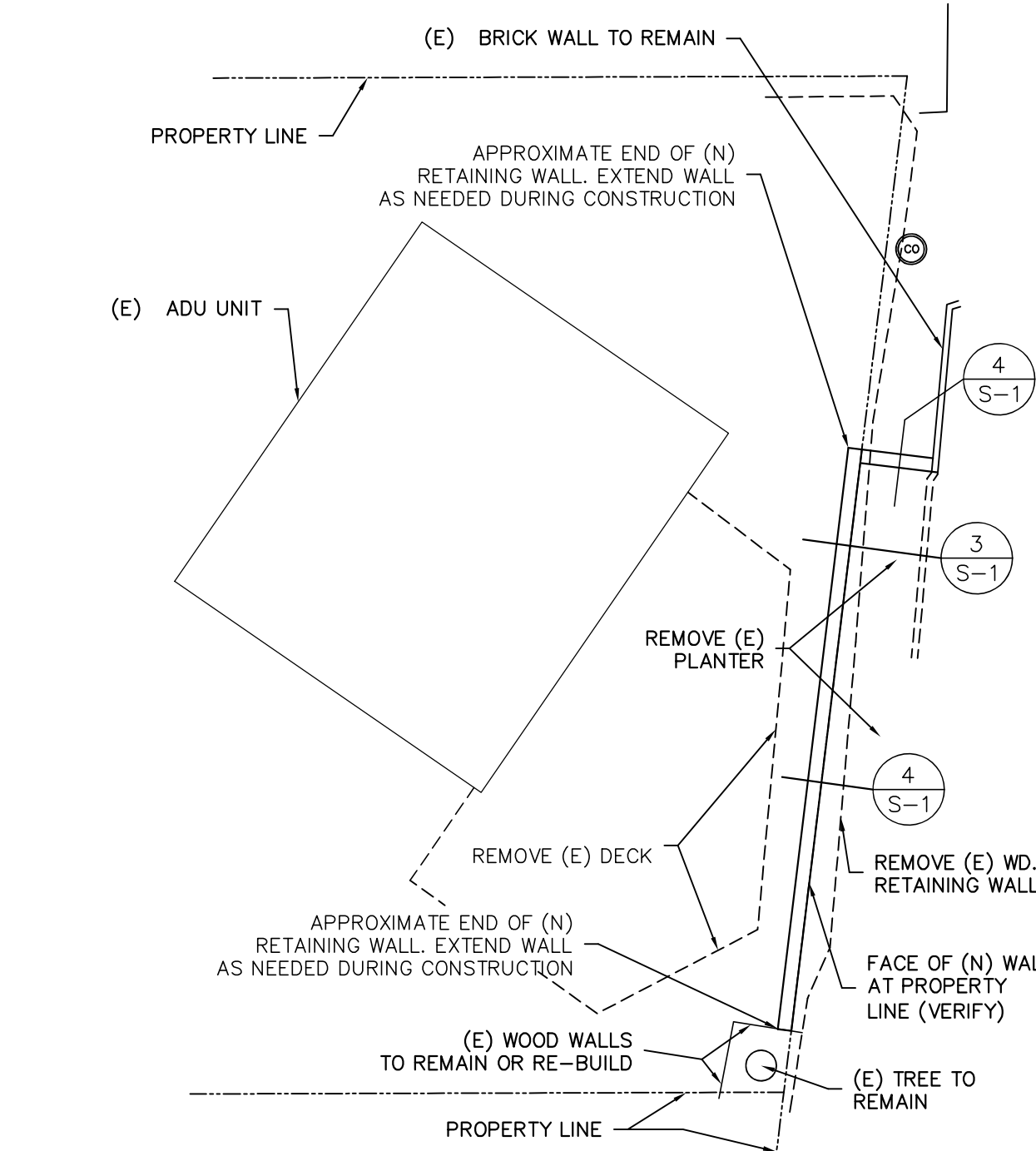
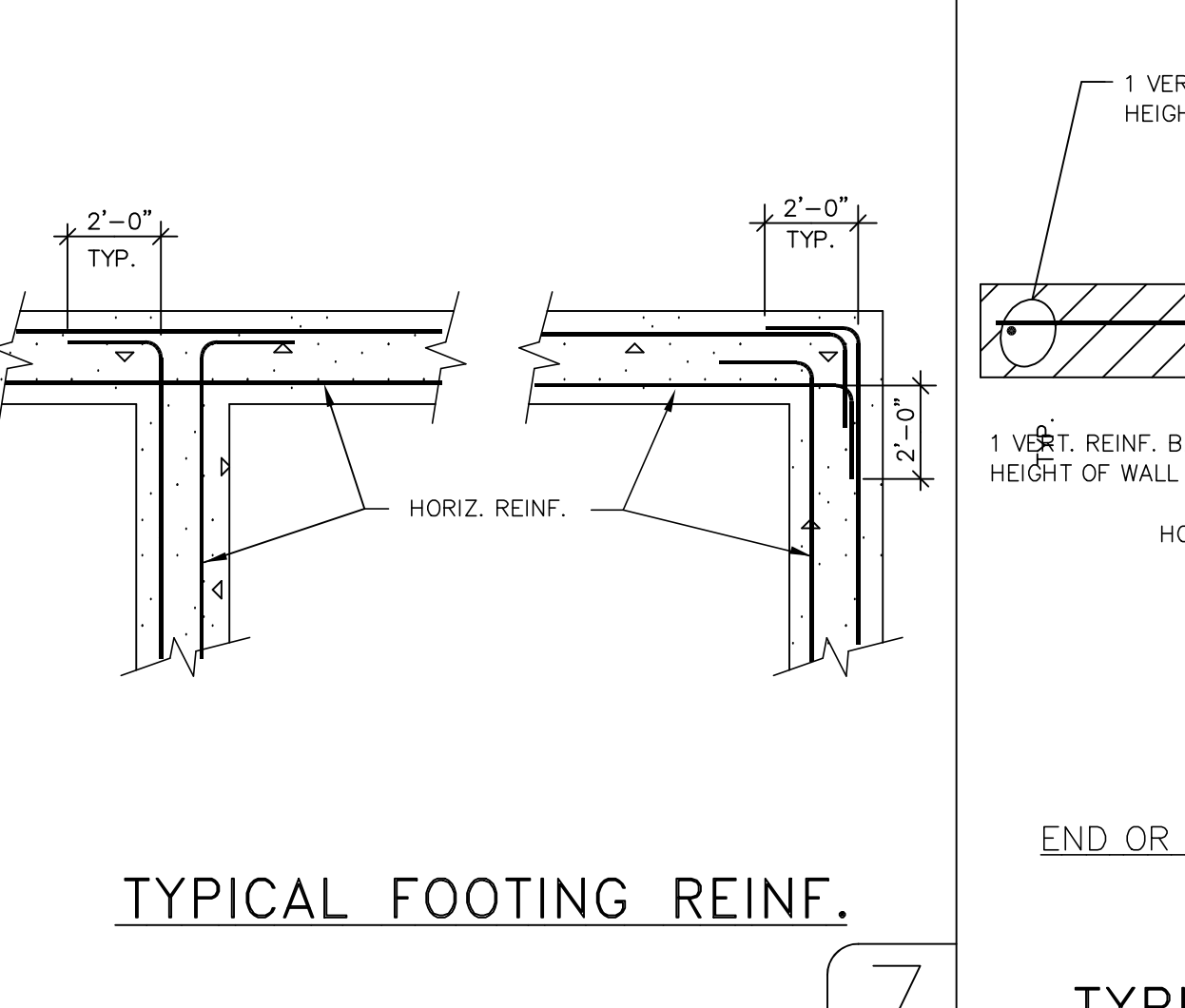
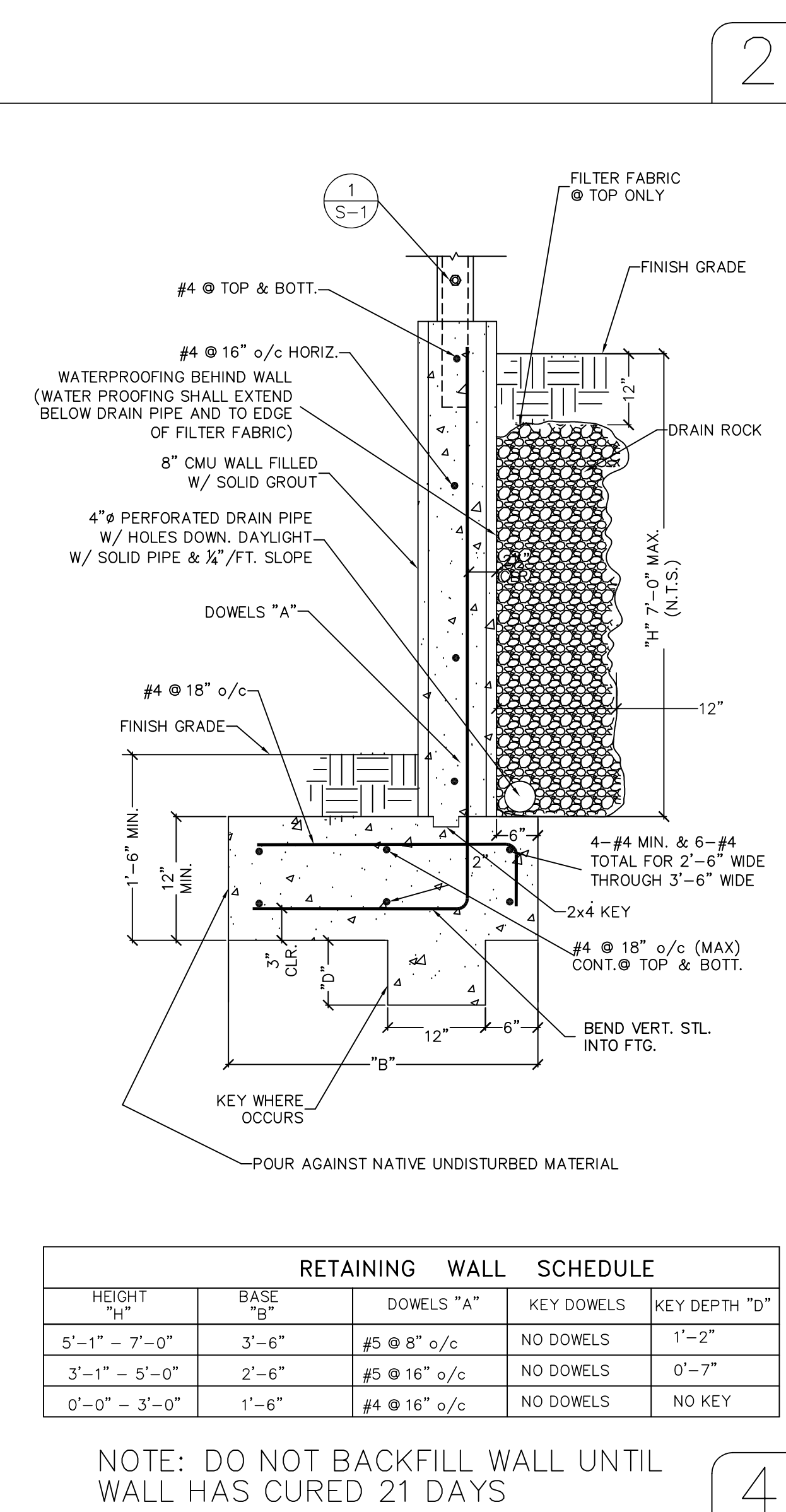


NOTE: DO NOT BACKFILL WALL UNTIL WALL HAS CURED 21 DAYS

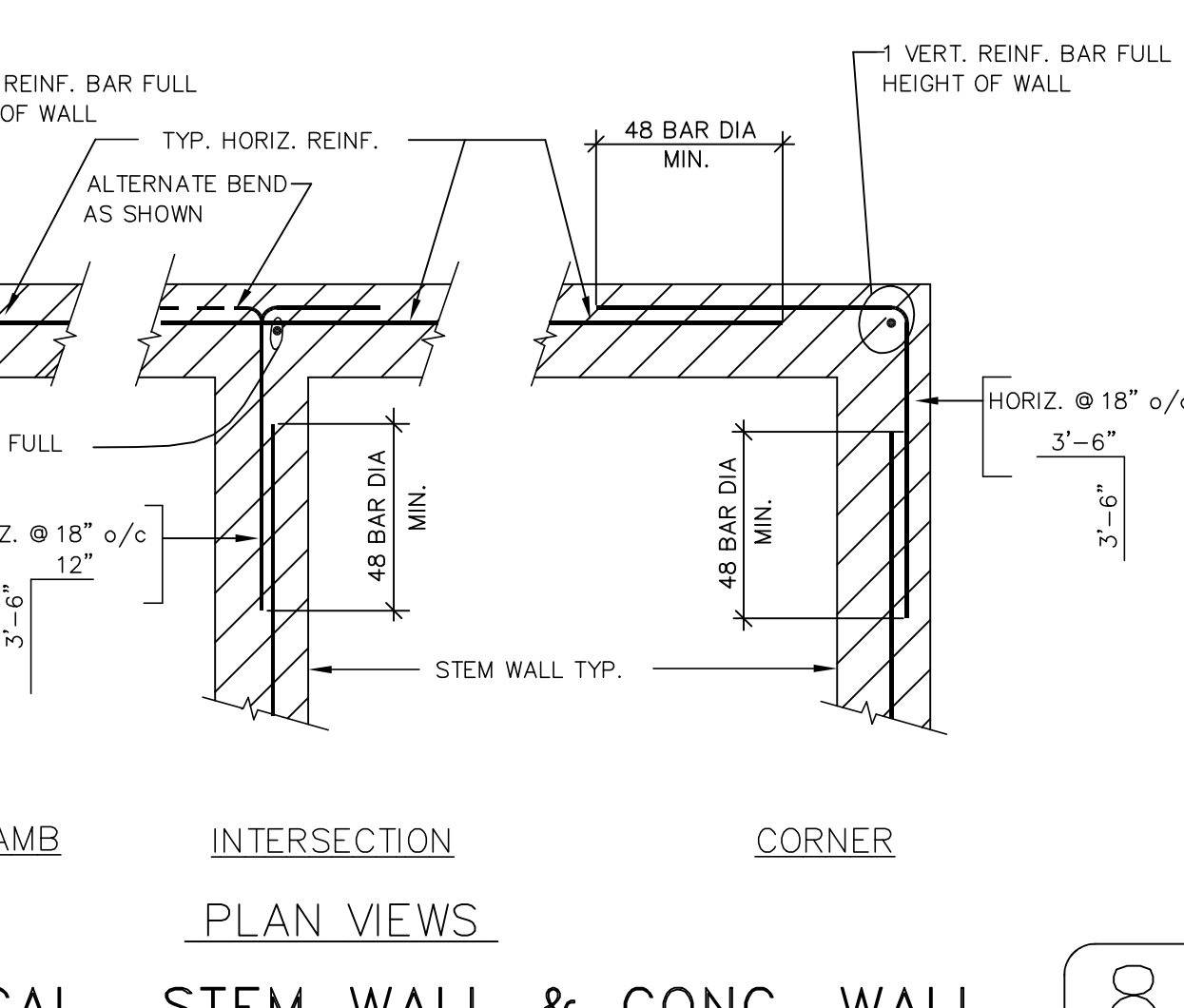
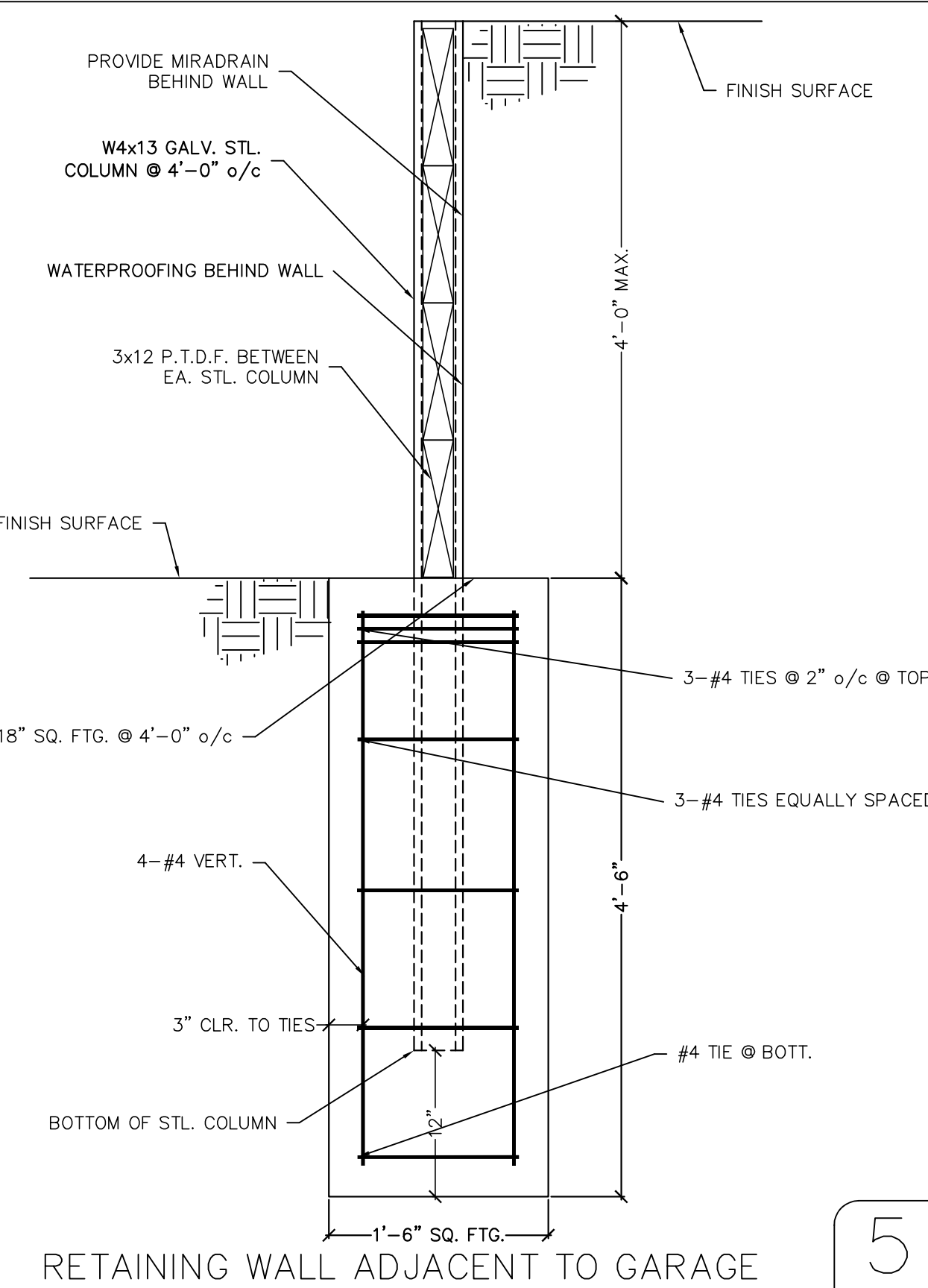


**CARMEL-BY-THE-SEA
 PLANNING DIVISION
 APPROVED**

Permit #: DS 24301 (Merl)
 Date Approved: 12/17/2024
 Planner: K. Wallace



PARTIAL SITE WALL PLAN
 SCALE 1/8" = 1'-0"



CHANGES DATE BY DESCRIPTION

Duckbrew Inc.
 P.O. BOX 831 CARMEL VALLEY, CA 93924
 Ph: (831) 659-3825 or (831) 920-7933
 email: duckbrc@yahoo.com

GENERAL NOTES, DETAILS & PARTIAL PLAN

MERL RETAINING WALLS
 FOREST RD., 2 SE OF 8th.
 CARMEL, CA 93921

JOB # 2023-14
 DATE 6/6/2023
 DRAWN BY: DEB
 SCALE 1/4"=1'

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