



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24265

Owner Name: VAIS PAUL A & KRISTIN LITTLE TRS

Case Planner: Evan Kort, Senior Planner

Date Posted: _____

Date Approved: 01/21/2025

Project Location: Lincoln 4 NW Santa Lucia

APN #: 010173006000 **BLOCK/LOT:** 145/ALL LOTS 21 AND 23

Applicant: Paul Vais

Project Description: Approval of this Design Study (DS 24265) authorized the after-the-fact approval for amendments to previously approved design study (DS 23-201) for alterations at an existing historic single-family residence with an active building permit (BP 240042) located on Casanova 2 SW of 2nd in the Single Family Residential (R-1) District. Modifications approved under this Design Study include: 1. Enlargement of one kitchen window opening on the rear (west) elevation; and 2. Removal the exterior wall cladding and in-kind replacement to waterproof the building properly. Alterations not expressly listed in this authorization are not permitted. The project shall be constructed consistent with the plans application materials dated approved by Community Planning & Building Department on January 21, 2025 and the Phase II Historic Evaluation dated January 13, 2025 prepared by PAST Consultants, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL

No.	
1.	<p>Authorization. Approval of this Design Study (DS 24265) authorized the after-the-fact approval for amendments to previously approved design study (DS 23-201) for alterations at an existing historic single-family residence with an active building permit (BP 240042) located on Casanova 2 SW of 2nd in the Single Family Residential (R-1) District. Modifications approved under this Design Study include:</p> <ol style="list-style-type: none">1. Enlargement of one kitchen window opening on the rear (west) elevation; and2. Removal the exterior wall cladding and in-kind replacement to waterproof the building properly. <p>Alterations not expressly listed in this authorization are not permitted.</p> <p>The project shall be constructed consistent with the plans application materials dated approved by Community Planning & Building Department on January 21, 2025 and the Phase II Historic Evaluation dated January 13, 2025 prepared by PAST Consultants, unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Department.</p>
3.	<p>Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>
4.	<p>Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>
5.	<p>Conditions of Approval. These Conditions of Approval shall be signed and returned to the Community Planning and Building Department prior to the issuance of a Building Permit/Building Permit Revision. These signed conditions shall also be printed on a full size plan sheet in the building plan set along with any prior conditions of approval of prior Design Study Applications.</p>
6.	<p>Building Permit Revision. A revision to BP 240042 is required prior to commencement of work.</p>
7.	<p>Prior Conditions of Approval. All conditions of approval of the previous Design Study approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.</p>
8.	<p>Invoice. Prior to building permit issuance, the applicant shall remit all outstanding fees associated with DS 24265.</p>
9.	<p>Final Paint Color. Prior to painting the building, the applicant shall submit the proposed paint color to the Community Planning and Building Department for review and approval.</p>

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please email to ekort@ci.carmel.ca.us.

**Planning / Building Department Update Application
August 26, 2024**

Planning Permit: DS 23-201

Building Permit: BP240042

Background

We commenced demolition and construction promptly in May after receiving a conditional permit and satisfying the required conditions. We are requesting some changes to our renovation plan that may require planning department or building department approval.

Modification 1: Exterior stucco removal and replacement.

Per our approved plan, we have removed all sheet rock and original lathe and plaster interior walls, gaining complete visibility to the interior side of all exterior walls. In doing so, we detected numerous areas where the original water proofing has failed, allowing water to seep into the fiberboard that underlies the exterior stucco and contacts wood framing.

One of the affected areas was around the garage door. When we (per our permit) removed portions of the stucco to modify the west wall around the garage door, we discovered alarmingly substantial dry rot damage to structural elements.

The following diagrams show all the areas where water damage is likely to have occurred, based on stains visible from the interior. Virtually any non-window aperture through the wall has failed, and many of the steel windows as well. Photos show details of the uncovered damage areas, and some of the likely problem areas where substantial water damage is visible inside.

We are proposing that we be permitted to remove as much stucco and underlying shear wall necessary to discover and repair all dry rot. On advice from professional plasterers, we believe the best approach is to replace all the stucco on any wall versus trying to patch on a per window/aperture basis.

The house would not be altered in appearance in any way externally, but would be improved structurally and weatherproofed adequately enough to last another 90 years.

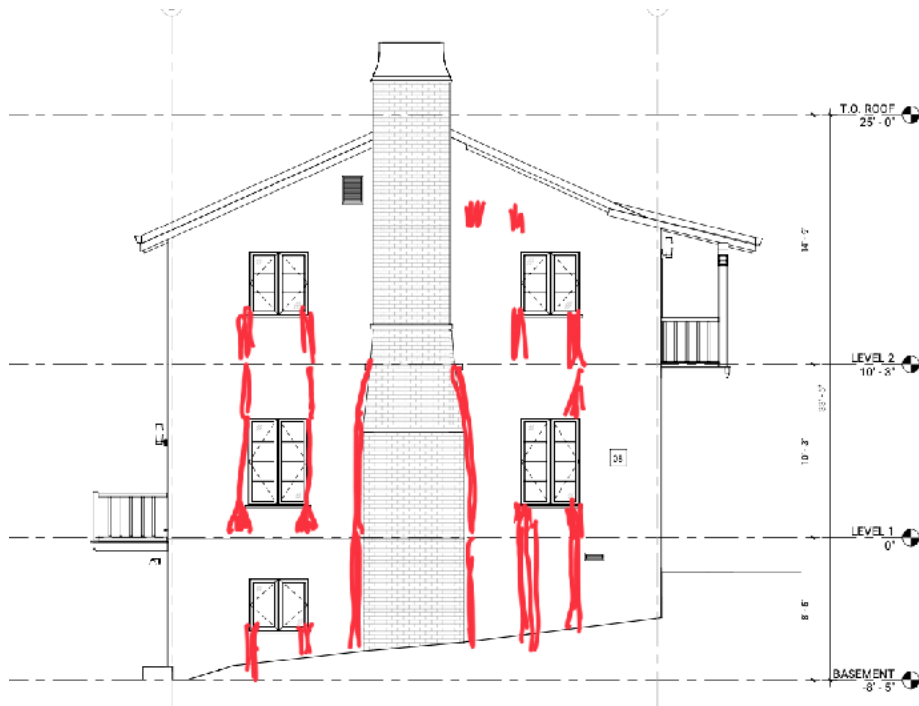
APPROVED

01/21/2025

COMMUNITY PLANNING AND BUILDING



Approved by: Evan Kort, Senior Planner



2 DEMOLITION BUILDING ELEVATION - SOUTH
1/4" = 1'-0"



1 DEMOLITION BUILDING ELEVATION - WEST
1/4" = 1'-0"

APPROVED

01/21/2025

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner



② DEMOLITION BUILDING ELEVATION - NORTH
1/4" = 1'-0"



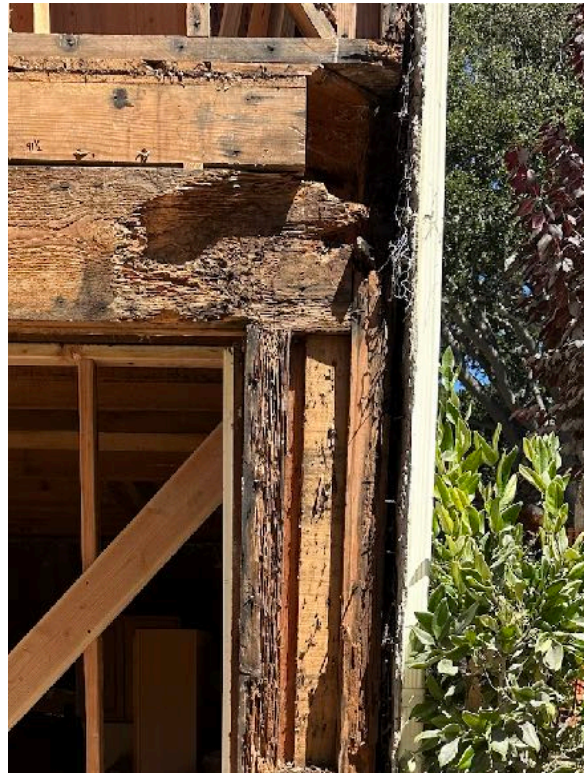
① DEMOLITION BUILDING ELEVATION - EAST
1/4" = 1'-0"

APPROVED
01/21/2025
COMMUNITY PLANNING AND BUILDING

[Signature]
Approved by: Evan Kort, Senior Planner



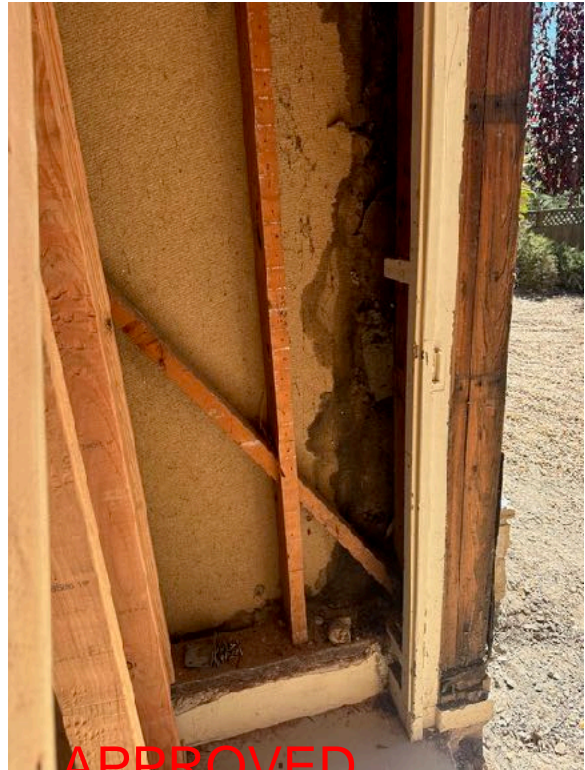
West facing garage door post



Dry rot damage detail



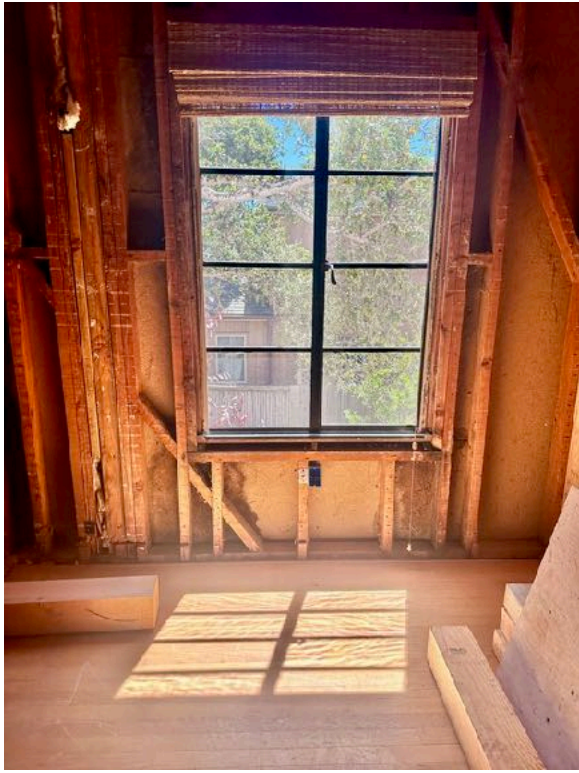
Interior view of dry rot damage



Water stained fiber board in garage

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6/12/2025
COMMUNITY PLANNING AND BUILDING


Approved by: Evan Kort, Senior Planner



Failed waterproofing, LR windows



Failed waterproofing, LR windows



Failed waterproofing, BR windows



Failed waterproofing BR windows

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01/21/2025

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Approved by: Evan Kort, Senior Planner



Failed waterproofing, BR windows



Failed waterproofing, BR windows



Failed waterproofing, BR fixture



Failed waterproofing, BR door

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01/21/2025

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Approved by: Evan Kort, Senior Planner



Failed waterproofing, attic south



Failed waterproofing, attic south



Failed waterproofing, first floor north

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01/21/2025
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Approved by: Evan Kort, Senior Planner

Modification 2: West facing kitchen window expansion

After removing the kitchen cabinets and shelves, it became apparent that the kitchen would benefit from having the corner windows be the same dimensions. The north wall window (on the right) is and will remain original. The shorter window is on the west facing wall and not visible from the street. We have been permitted to modify windows on that facade. We would like to expand that window to match the dimensions of the north wall window.

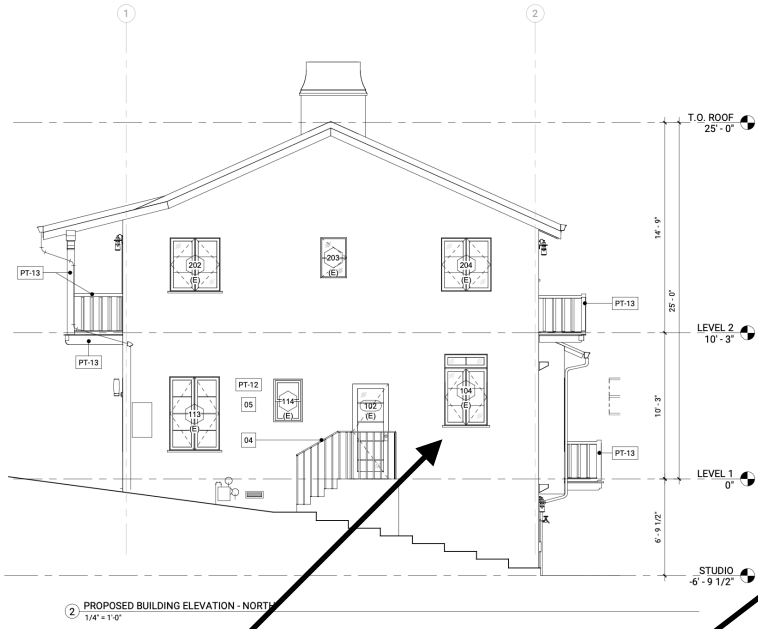


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01/21/2025

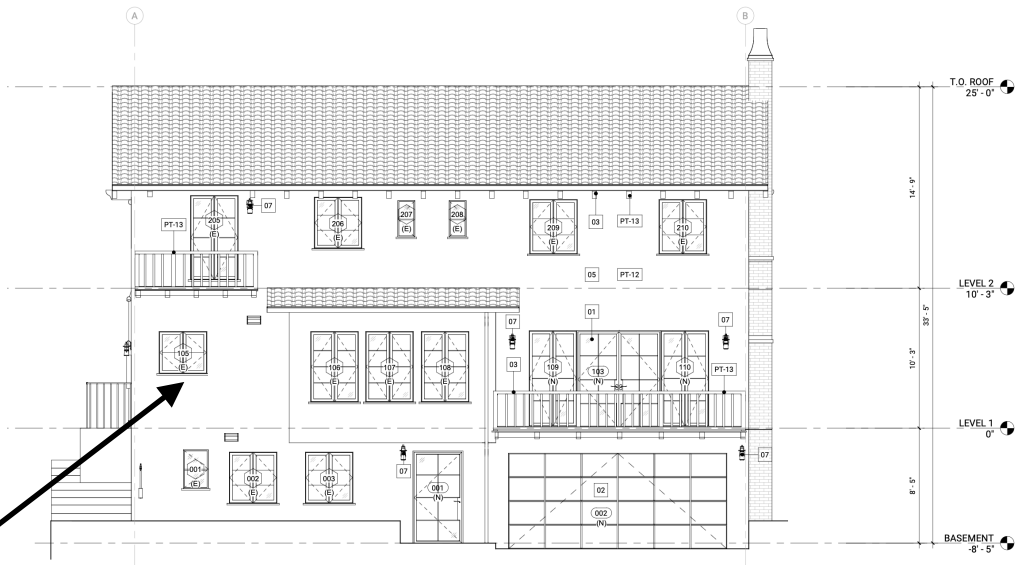
COMMUNITY PLANNING AND BUILDING


Approved by: Evan Kort, Senior Planner



2 PROPOSED BUILDING ELEVATION - NORTH
1/4" = 1'-0"

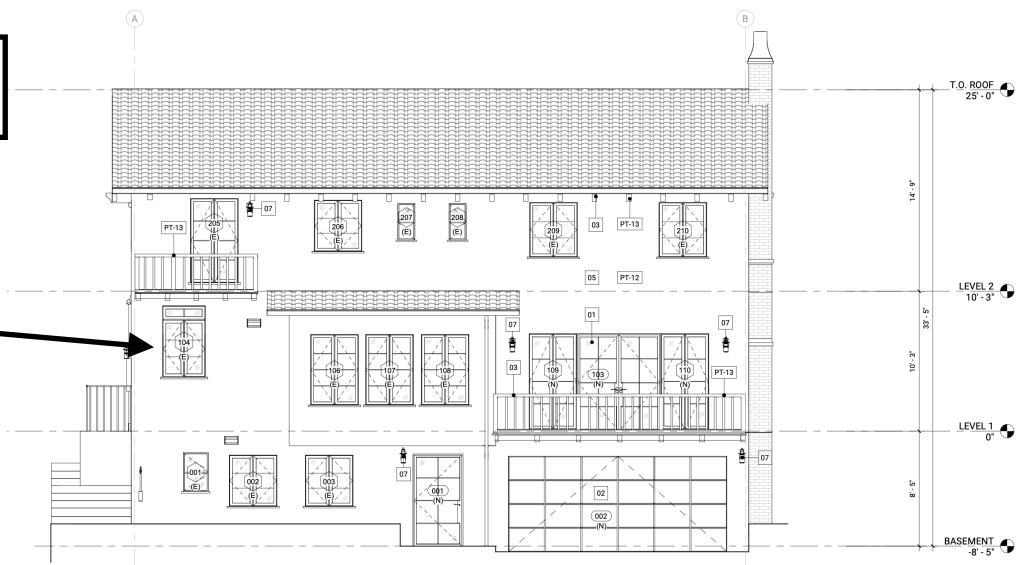
Existing North facing kitchen window (to remain unchanged)



1 PROPOSED BUILDING ELEVATION - WEST
1/4" = 1'-0"

Existing West facing kitchen window

Proposed West facing kitchen window, same size as north facing kitchen window



1 PROPOSED BUILDING ELEVATION - WEST
1/4" = 1'-0"

Planning / Building Department Update Application
August 26, 2024

Proposed West facing kitchen window resizing study

Planning Permit: DS 23-201
Building Permit: BP240042

APPROVED
 01/21/2025
 COMMUNITY PLANNING AND BUILDING

Evan Kort
 Approved by: Evan Kort, Senior Planner

January 13, 2025

Evan Kort, Senior Planner
City of Carmel-by-the-Sea
PO Box CC
Carmel, CA 93921

Re: Historic Assessment Addendum, Lincoln St. 4 NW of Santa Lucia Ave., Carmel, CA
APN 010-173-006; DS 24-265 (Vais); BP 240042

Dear Mr. Kort:

This letter evaluates the proposed cladding replacement and design addendum to the ongoing rehabilitation of the property located at Lincoln Street 4 NW of Santa Lucia Avenue, in Carmel-by-the-Sea, CA. PAST Consultants, LLC (PAST) completed a Phase Two Historic Assessment of the property on September 20, 2023 to confirm that the proposed building alterations meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the *Standards*).

The subject property (Block 145, Lots 21 and 23) contains the Louis Ralston House, constructed in 1931 in the Monterey Colonial style and designed by significant architect Guy O. Koeppe. The building is listed on the Carmel Historic Resources Inventory (Carmel Resolution dated May 25, 2005) and eligible under California Register Criterion 3, in the area of architecture, as an outstanding example of the Monterey Colonial Style. The site also contains a detached and highly altered Artist Studio behind the house.

Project Methodology

The initial project presently under construction is the interior remodel of the subject house, with modifications proposed for window and door openings on the north and west (rear) elevations. Removal/alteration of existing site retaining walls and landscape paving and restoration of landscape with California native plants is also part of this project. The initial project also includes exterior modifications to the rear Artist Studio.

The addendum to the ongoing project, dated August 26, 2024, includes the proposed enlargement of one kitchen window opening on the rear (west) elevation to match the kitchen window openings in the north elevation. In addition, when the interior wall finishes were removed, it became evident

that substantial moisture damage had occurred on the interior walls throughout the house. Based on site visits with you and the project's contracting team, the decision was made to remove the exterior wall cladding and replace it in-kind to waterproof the building properly.

This report evaluates the design changes proposed in the August 26, 2024 addendum for conformance with the *Secretary of the Interior's Rehabilitation Standards*. In summary, the amendments reviewed in this letter report include the approval of this Design Study authorizing the after-the-fact approval for amendments to previously approved design study for alterations at an existing single-family residence with an active building permit. The modifications approved under this Design Study include:

- 1) Enlargement of one kitchen window opening on the rear (west) elevation; and
- 2) Removal the exterior wall cladding and in-kind replacement to waterproof the building properly.

Changes not expressly authorized above are prohibited.

Existing Site Conditions: October 24, 2024

PAST attended a site visit to the subject property on October 24, 2024 to view the existing condition of the exterior stucco wall cladding and the interior walls. Our inspection revealed extensive water infiltration on the interior of the walls, causing rot in wood members and nearly complete deterioration of the original waterproofing behind the walls. After the windows were removed for restoration, the interior waterproofing around all windows and on the adjacent walls was severely damaged due to poor original waterproofing detailing around every window. The below images show typical conditions (**Figures 1 and 2**).



Figures 1 and 2. Left image shows the south elevation at the southwest building corner, showing extensive rot and stucco deterioration. Right image shows typical moisture infiltration patterns around the windows.

Following conversations with the project team, it was determined that the original stucco wall cladding would need to be removed to waterproof the building properly. PAST requested mock-ups of the proposed replacement exterior stucco be prepared to compare it with the original stucco regarding finish, texture and application method, in order to achieve in-kind replacement of the original stucco.

Examination of Proposed Mock-ups on December 20, 2024

PAST reviewed several mock-ups of the proposed exterior stucco replacement on December 20, 2024, to determine an in-kind match. By this time, the exterior stucco wall cladding had been removed, with the mock-ups prepared for in-kind replacement of the stucco according to the *Secretary of the Interior's Rehabilitation Standard Number 6*.

The mock-ups appear below (**Figure 3**).



Figure 3. Image of original stucco wall section (far left) and the proposed mock-up (far right).

The design team compared the proposed mock-ups for stucco texture, finish and application method. Both the design team, planning staff and PAST agreed that the mock-up shown above is an adequate in-kind replacement of the original stucco wall cladding during this site meeting. We also reviewed the ongoing restoration of the original steel window sash that were removed, rehabilitated and repainted. An image of the restored steel windows appears below (**Figure 4**).



Figure 4. Image of restored and repainted steel windows.

Review of the Secretary of the Interior’s Rehabilitation Standards

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards applicable to the project are Nos. 5, 6 and 9. The following evaluates the proposed addendum according to these three *Standards*.

Evaluation of the Appropriate Rehabilitation Standards

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The proposed project includes the removal of all original steel windows and individually cleaning and restoring all window sash, preserving an original character defining feature and an example of historic steel window design, in accordance with this *Standard*.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Given the extensive deterioration of the interior waterproofing membrane and the lack of lapped waterproofing around every window opening, the exterior stucco wall cladding needed to be removed. In-kind replacement of the original exterior stucco cladding was determined to be necessary to adequately waterproof the building. Mock-ups were created and viewed by PAST and the design team as an appropriate in-kind replacement regarding, material, texture and application method, as required by this *Standard*.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The only proposed exterior alteration shown on the August 26, 2024 design addendum is the enlargement of a rear (west) elevation kitchen window opening to match the window openings on the north elevation's kitchen wall. A metal window is being manufactured to match the style and material of the historic windows. Since this proposed design change is on the rear of the building

and the proposed window replacement will be the same design, style and material of as the historic windows, this treatment is appropriate according to this *Standards*.

In conclusion, the proposed design modifications to the rehabilitation of the Lewis Ralston House, including the August 26, 2024 addendum, meet the *Secretary of the Interior's Rehabilitation Standards*.

Please contact me if you have any questions about this addendum.

Sincerely,



Seth A. Bergstein, Principal