



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24258

Owner Name: HERRICK ROBERT R TR

Case Planner: Jacob Olander, Assistant Planner

Date Posted: _____

Date Approved: 09/04/2024

Project Location: Vizcaino, 8 SW Mountain View

APN #: 010055028000 **BLOCK/LOT:** 102/ALL LOT 8

Applicant: Steve C. Wilson

Project Description: project for the construction of a retaining wall to stabilize the hillside in the backyard after the occurrence of a landslide. The retaining wall will have a guardrail on top as a safety measure.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 24258 (Herrick)

Location: Vizcaino 8 SW Mountain View; 010-055-028-000

Date of Action: September 4, 2024

Project Description:

DS 24258 (Herrick) approves Design Study Applications (24258 (Herrick)) located at Vizcaino 8 SW Mountain View in the Single-Family (R-1) District. APN: 010-055-028-000

The proposed changes include:

- The construction of a retaining wall to stabilize the hillside in the backyard after the occurrence of a landslide. The retaining wall will have a guardrail on top as a safety measure.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
<p>The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.</p> <p>For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision making. Findings checked "yes" may or may not be discussed depending on the issue(s).</p>		
CMC 17.58.060.B Findings for Design Review Approval	YES	NO
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
Additional Staff Analysis/Discussion:		
No additional analysis required.		

ENVIRONMENTAL REVIEW
<p>The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i>, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i>, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.</p>
<p>Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15301 (Class 1) – Existing Facilities, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.</p>
<p>Additional Staff Analysis/Discussion: The project consists of the construction of a retaining wall to stabilize the hillside in the backyard after the occurrence of a landslide. The retaining wall will have a guardrail on top as a safety measure.</p>

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study DS 24258 (Herrick) authorizes a project for the construction of a retaining wall to stabilize the hillside in the backyard after the occurrence of a landslide. The retaining wall will have a guardrail on top as a safety measure. located at Vizcaino, 8 SW Mountain View in the R-1 District and, APN: 010055028000 as depicted in the plans stamped approved by Community Planning and Building Department on 09/04/2024 unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Required. <input checked="" type="checkbox"/> A Building Permit shall be applied for and obtained from the Building Division prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division. <input type="checkbox"/> A building permit is not required; however, the applicant shall apply for and obtain a Notice of Authorized Work from the Building Division prior to commencement of work. To apply for the Notice of Authorized Work, please submit the Scope of Work Declaration through the city's online permit portal .
4.	Permit Validity. The project shall be implemented in accordance with the time limits set forth CMC 17.52.170 (Time Limits on Approvals and Denials) . During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

9.	Conditions of Approval. Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none">• Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved.• Excavation within 6 feet of a tree trunk is not permitted.• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. The Forester can be reached at 831-620-2073.</p>
12.	Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

SPECIAL CONDITIONS	
13.	N/A
14.	N/A
15.	N/A
16.	N/A
17.	N/A

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

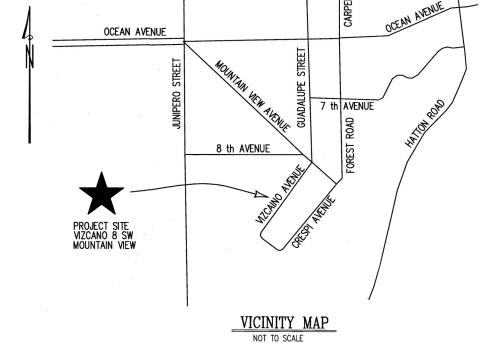
Date

Once signed, please email to jolander@ci.carmel.ca.us.

Approved 9/4/2024
DS 24258 (Herrick)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Assistant Planner

LEGEND:
 - - - - - FENCE LINE
 --- CREEK FLOWLINE
 --- EXPOSED WATER PIPE
 FTTH FINISHED FLOOR AT THRESHOLD
 HB HOSE BIB

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
 - DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = 1 FOOT.
 - THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
 - ELEVATIONS SHOWN ARE BASED ON NAVD-88 DATUM. A GPS SURVEY WAS CONDUCTED TO ESTABLISH THE SITE BENCHMARK USING REFERENCE STATION "CAMT" ON THE SMARTNET NORTH AMERICA NETWORK. THE PROJECT BENCHMARK IS THE FINISHED FLOOR AT THRESHOLD, AS SHOWN ON THIS MAP. ELEVATION = 201.27.
 - DENOTES A FOUND 3/4" IRON PIPE TAGGED "LS 7771".
 - ANY SUBSEQUENT USE OF THIS SURVEYING DATA MUST INCLUDE THIS NOTE. THE BOUNDARY AND SURVEYING DATA SHOWN WAS FURNISHED BY MONTEREY BAY ENGINEERS, INC. AND THAT FIRM IS NOT RESPONSIBLE FOR ANY REVISIONS. THE ORIGINAL WORK WAS SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR.



PROJECT INFORMATION:

PROPERTY OWNER: ROBERT R. HERRICK, TRUSTEE, THE HERRICK/ZINSER LIVING TRUST
 6699 EXETER DRIVE
 OAKLAND, CA 94611
 (510) 910-6662
 robert@herrick.com

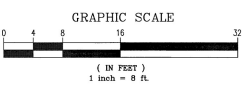
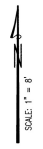
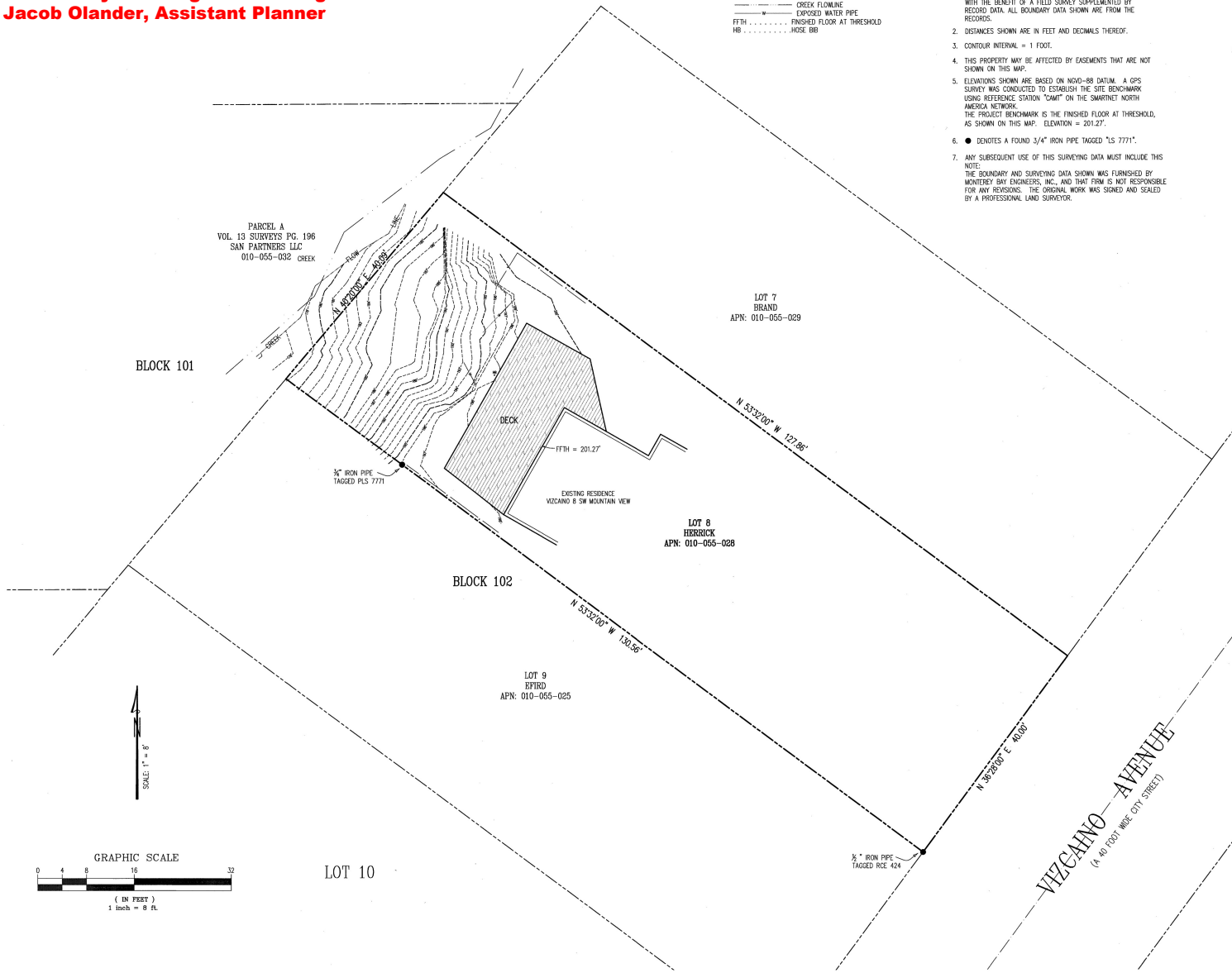
CIVIL ENGINEER & LAND SURVEYOR: STEVEN C. WILSON, ROE 25136 & PLS 5207
 MONTEREY BAY ENGINEERS, INC.
 607 CHARLES AVENUE, SUITE B
 SEASIDE, CA 93955
 (831) 899-7899
 mbayeng@mbay.net

GEOTECHNICAL ENGINEER: CHRISTOPHER A. GEORGE, ROE 50871
 HARO, KASINICH & ASSOCIATES, INC.
 116 EAST LAKE AVENUE
 WATSONVILLE, CA 95076
 (831) 722-4175
 cgeorge@harkokasulich.com

GENERAL CONTRACTOR: BILL SPARANO, LIC. 1033135
 CSS, INC.
 5 HARRIS COURT, SUITE C-4
 MONTEREY, CA 93940
 (831) 915-9880
 bill@cssmonterey.com

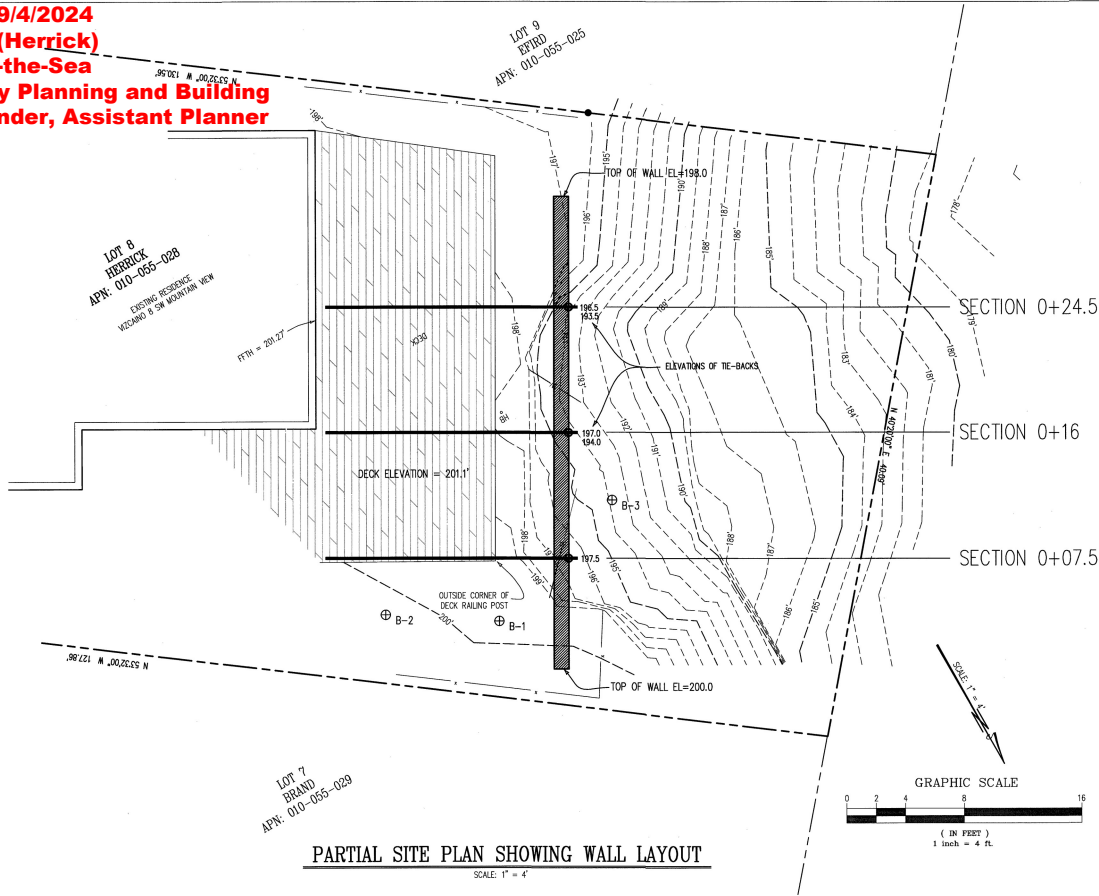
ANCHORAGE CONTRACTOR: THOMAS GUICE, LIC. 820006
 STRUCTURAL SERVICES, INC.
 P.O. BOX 5283
 CARMEL, CA 93921
 (831) 596-9816
 tomguice@gmail.com

PROPERTY LOCATION: LOT 8, BLOCK 102, FFTH ADDITION TO CARMEL BY THE SEA VOLUME 2, CITIES & TOWNS, PAGE 22
 ASSESSOR'S PARCEL 010-055-028
 COMMONLY KNOWN AS: VICCAINO 8 SW MOUNTAIN VIEW



REVISIONS		TOPOGRAPHY & SITE PLAN	
DATE	BY	VICCAINO, 8 SOUTHWEST MOUNTAIN VIEW	
JUL 17, 2024	SCW	LOT 8, BLOCK 102	
		ADDITION 5, CARMEL-BY-THE-SEA, VOLUME 2, CITIES & TOWNS, PAGE 22	
		PREPARED FOR THE	
		ROBERT HERRICK	
		CITY OF CARMEL-BY-THE-SEA STATE OF CALIFORNIA	
		PREPARED BY	
		MONTEREY BAY ENGINEERS, INC.	
		607 CHARLES AVENUE SUITE B SEASIDE, CALIFORNIA 93955 PHONE (831) 899-7899	
DATE	SCALE	DRAWN BY	SHEET
NOVEMBER, 2023	AS SHOWN	END & SCW	1 OF 4
JOB No. 23-063			

**Approved 9/4/2024
DS 24258 (Herrick)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Assistant Planner**



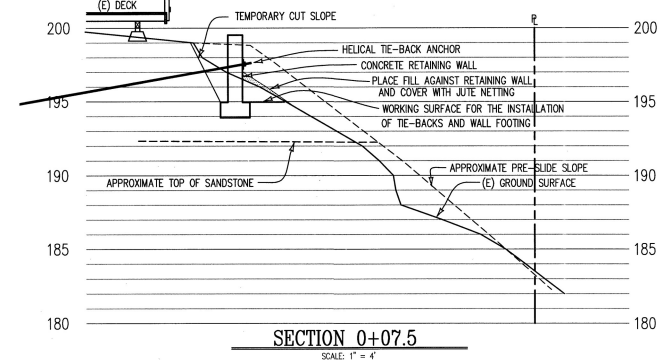
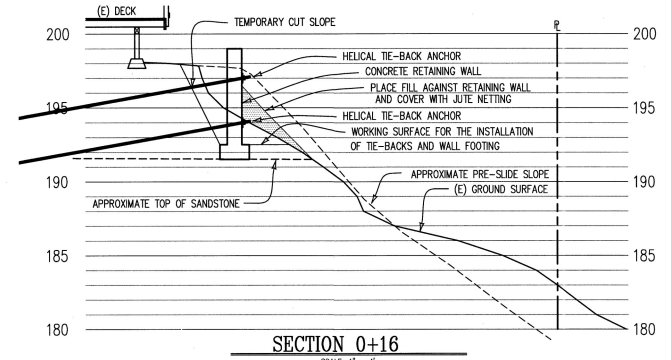
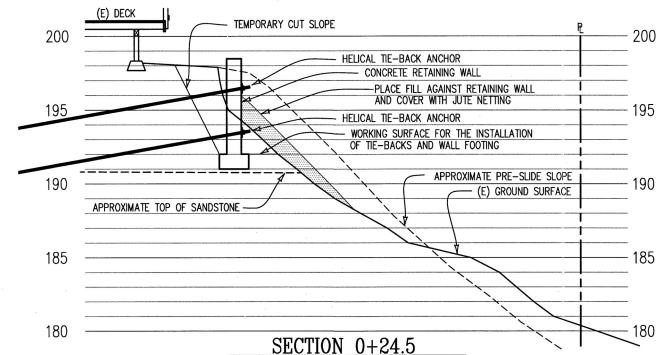
PARTIAL SITE PLAN SHOWING WALL LAYOUT
SCALE: 1" = 4'

LEGEND:

- FENCE LINE
- - - CREEK FLOWLINE
- - - EXPOSED WATER PIPE
- FTTH FINISHED FLOOR AT THRESHOLD
- MB HOSE BIB

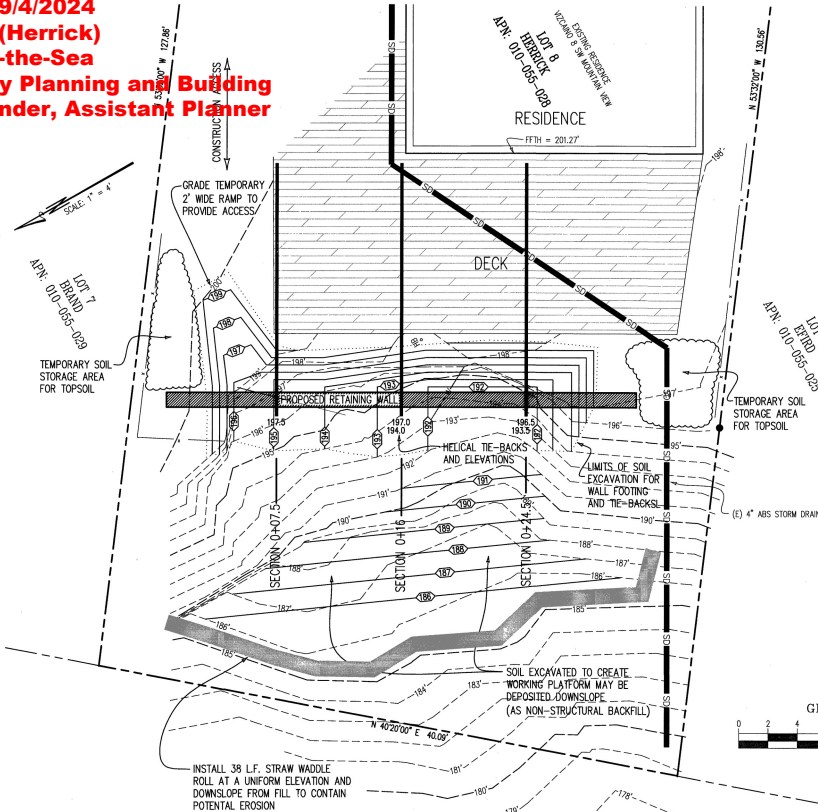
CONSTRUCTION LAYOUT NOTES:

1. PROPOSED RETAINING WALL IS 32 FEET IN LENGTH.
 2. WESTERLY (DOWNHILL) FACE OF RETAINING WALL IS 5'-0" FROM, AND PARALLEL TO, THE EDGE OF THE EXISTING DECK (AS MEASURED FROM THE FACE OF THE RAILING POSTS).
 3. EASTERLY END OF RETAINING WALL IS 7.31 FEET (7'-4") FROM THE CORNER OF THE EXISTING DECK.
 4. ELEVATION OF THE EXISTING DECK IS 201.1 FEET.
 5. THE LOCATIONS WHERE THE HELICAL TIE-BACKS ARE PLACED AT THE FACE OF THE PROPOSED RETAINING WALL ARE LOCATED BY MEASUREMENTS FROM EDGE OF THE EXISTING DECK.
- | | | |
|--------|------------------------|-----------------------------|
| 0+07.5 | 0.19 FEET FROM CORNER | 3.60 FEET BELOW TOP OF DECK |
| 0+16 | 8.69 FEET FROM CORNER | 4.10 FEET BELOW TOP OF DECK |
| 0+16 | 8.69 FEET FROM CORNER | 7.10 FEET BELOW TOP OF DECK |
| 0+24.5 | 17.19 FEET FROM CORNER | 4.60 FEET BELOW TOP OF DECK |
| 0+24.5 | 17.19 FEET FROM CORNER | 7.60 FEET BELOW TOP OF DECK |



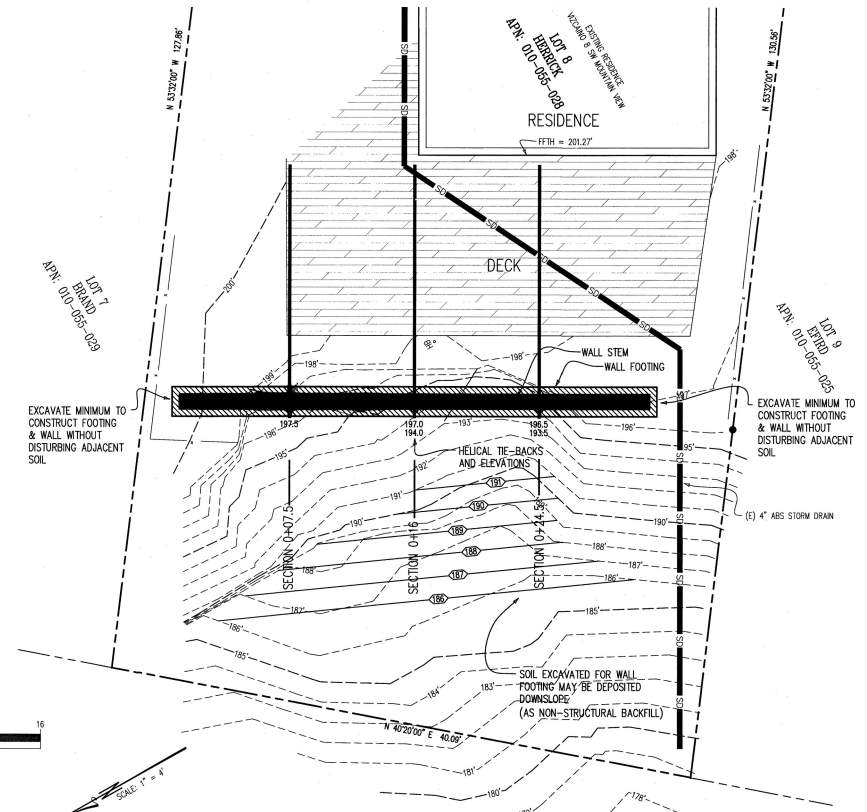
REVISIONS		RETAINING WALL DETAILS	
DATE	BY	VIZCAINO, 8 SOUTHWEST MOUNTAIN VIEW	
JUL 17, 2024, SCW		LOT 8, BLOCK 102	
AUG 14, 2024, SCW		ADDITION 5, CARMEL-BY-THE-SEA, VOLUME 2, CITIES & TOWNS, PAGE 22	
		PREPARED FOR THE	
		ROBERT HERRICK	
		CITY OF CARMEL-BY-THE-SEA	STATE OF CALIFORNIA
		PREPARED BY	
		MONTEREY BAY ENGINEERS, INC.	
		607 CHARLES MADRICK SUITE B	SEASIDE, CALIFORNIA 93555
		SCALE:	AS SHOWN
DATE:	NOVEMBER, 2023	DRAWN BY:	END & SCW
JOB No.:	23-063	SHEET:	2 OF 4

**Approved 9/4/2024
DS 24258 (Herrick)
Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Assistant Planner**



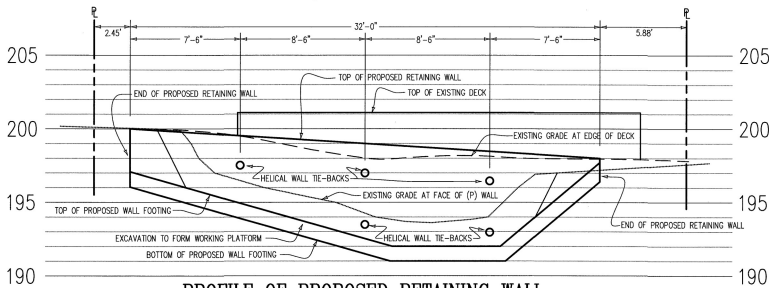
CONSTRUCTION STAGE ONE

SCALE: 1" = 4'
EXCAVATE FOR TEMPORARY WORKING AREA
ESTIMATED EARTHWORK = 12 CUBIC YARDS
INSTALL THREE HELICAL TIE-BACKS
SEE LOCATION DIMENSIONS ON SHEET 2



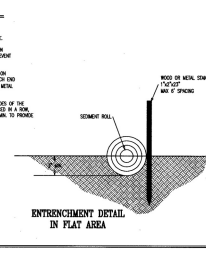
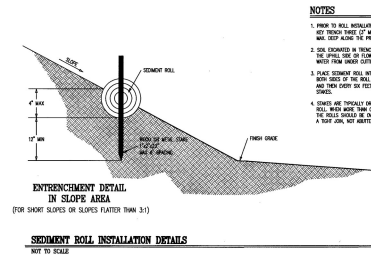
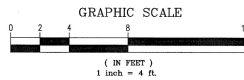
CONSTRUCTION STAGE TWO

SCALE: 1" = 4'
EXCAVATE WING WALL EXTENSIONS
EXCAVATE AND POUR CONCRETE WALL FOOTING
CONSTRUCT CONCRETE RETAINING WALL STEM



PROFILE OF PROPOSED RETAINING WALL

SCALE: 1" = 4'



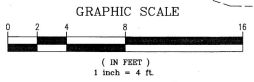
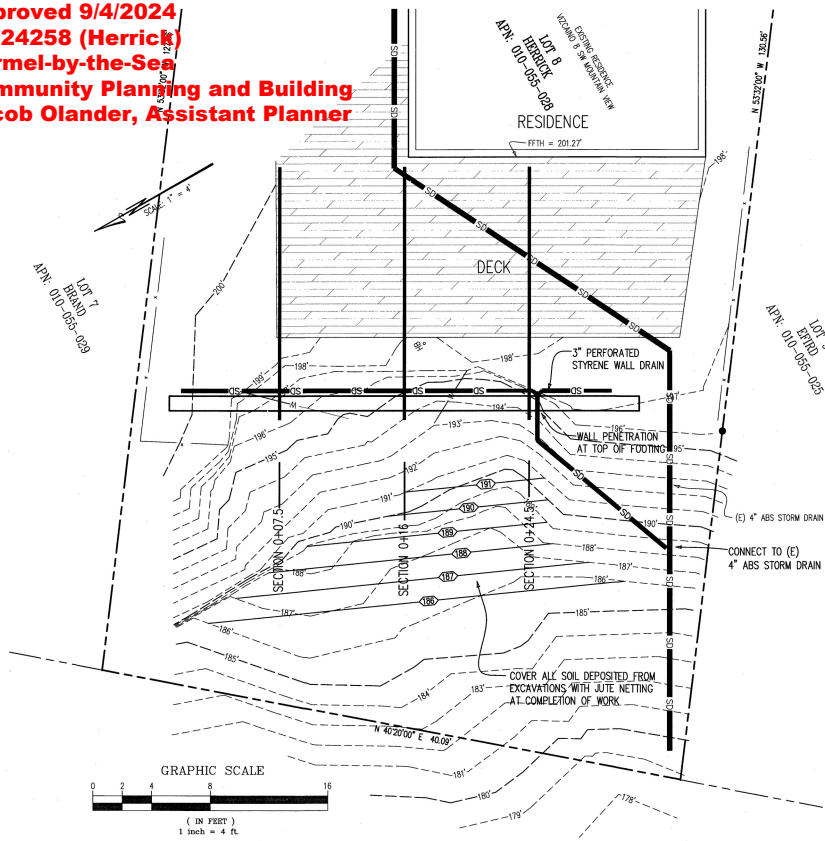
NOTES

1. PRIOR TO WALL INSTALLATION, CONDUCT A CHANGE SURVEY THREE (3) AND TO FOUR (4) BENCH MARKS AND KEEP RECORD OF PROPOSED BENCHMARK POSITIONS.
2. SOIL EXPOSED IN EXCAVATION SHOULD BE PLACED ON EXISTING GRADE OR CONFINED TO THE WALL TO PREVENT WIND-DRIVEN SOILS OFF THE WALL.
3. PLACE SEDIMENT ROLL WITH NET TRENCH AND TRAP ON BOTH SIDES OF THE WALL TO RETAIN SOIL FROM SOIL EXCAVATION TO THE WALL TO PREVENT WIND-DRIVEN SOILS OFF THE WALL.
4. CHECKS ARE TYPICALLY GRABED IN AN EXCAVATION AREA OF THE SOIL WITHIN ONE YEAR FROM THE FINISH DATE TO VERIFY THAT THE SOILS REMAIN AS OBSERVED THESE CHECKS WILL TO PROVIDE A TRUE COPY, NOT LIMITED TO ONE CHECK.



REVISIONS		RETAINING WALL DETAILS	
DATE	BY	VIZCAINO, 8 SOUTHWEST MOUNTAIN VIEW LOT 8, BLOCK 102	
JUL 17, 2024	SCW	ADDITION 5, CARMEL-BY-THE-SEA, VOLUME 2, CITIES & TOWNS, PAGE 22	
		PREPARED FOR THE	
		ROBERT HERRICK	
		CITY OF CARMEL-BY-THE-SEA STATE OF CALIFORNIA	
		PREPARED BY	
		MONTEREY BAY ENGINEERS, INC.	
		807 CHARLES AVENUE SUITE B SEASIDE, CALIFORNIA 93955 PHONE (831) 889-7899	
DATE	SCALE	DRAWN BY	SHEET
NOVEMBER, 2023	AS SHOWN	END & SCW	3 OF 4
JOB No. 23-063			

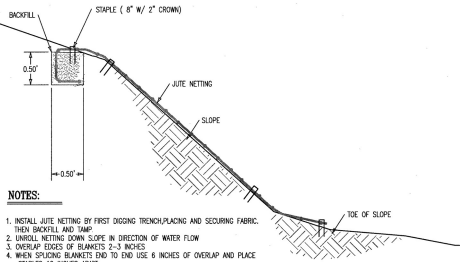
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Carmel-by-the-Sea
Community Planning and Building
Jacob Olander, Assistant Planner**



CONSTRUCTION STAGE THREE

SCALE: 1" = 4'

WATERPROOF WALL & INSTALL DRAINAGE BEHIND WALL
BACKFILL WALL AND CONSTRUCTION EXCAVATIONS
INSTALL JUTE NETTING ON DISTURBED SLOPE BELOW
CONSTRUCT GUARD RAIL ON TOP OF WALL

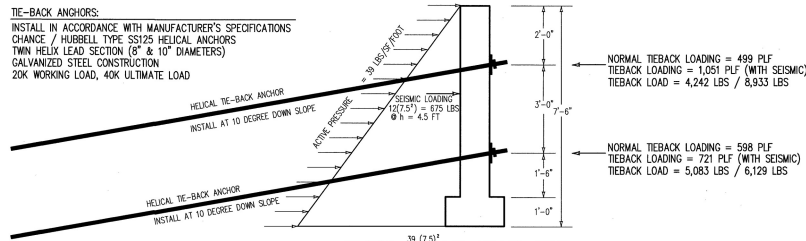


- NOTES:**
1. INSTALL JUTE NETTING BY FIRST DIGGING TRENCH, PLACING AND SECURING FABRIC, THEN BACKFILL AND TAMP.
 2. UNROLL NETTING DOWN SLOPE IN DIRECTION OF WATER FLOW.
 3. OVERLAP EDGES OF BLANKETS 2-3 INCHES.
 4. WHEN SPACING BLANKETS END TO END USE 6 INCHES OF OVERLAP AND PLACE STAPLES 12 INCHES APART.
 5. LAY BLANKETS LOOSELY AND MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 6. STAPLE BLANKET SUFFICIENTLY TO ANCHOR BLANKET AND MAINTAIN CONTACT WITH THE SOIL. USE 2 STAPLES/FOOT OF JUTE NETTING.
 7. USE JUTE NETTING IN ALL DISTURBED AREAS WITH SLOPES GREATER THAN 3:1.

JUTE NETTING INSTALLATION DETAILS

NOT TO SCALE

TI-E-BACK ANCHORS:
INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
CHANGE / HUBBELL TYPE S5125 HELICAL ANCHORS
TWIN HELIX LEAD SECTION (8" & 10" DIAMETERS)
GALVANIZED STEEL CONSTRUCTION
20K WORKING LOAD, 40K ULTIMATE LOAD

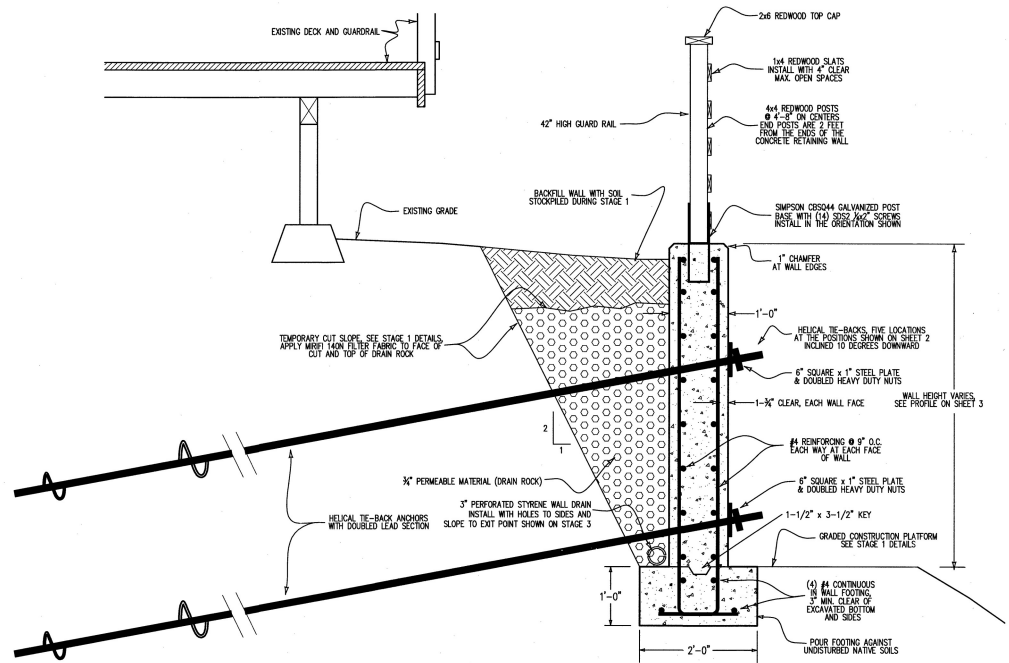


$$\text{WALL LOADING} = \frac{39(7.5)^2}{2} + 675 = 1,097 + 675 = 1,772 \text{ LBS}$$

$$M_u = \frac{39(7.5)^3}{6} + 675(4.5) = 2,742 + 3,038 = 5,780 \text{ LB-FT}$$

WALL STRUCTURAL ANALYSIS

SCALE: 1/2" = 1'-0"



RETAINING WALL DETAILS

SCALE: 1" = 1'-0"

RETAINING WALL NOTES

1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH 2022 C.B.C. STANDARDS AND SPECIFICATIONS.
2. A GEOTECHNICAL INVESTIGATION WAS COMPLETED BY HARO, KASUNICH AND ASSOCIATES, PROJECT M12252.1 IN NOVEMBER 2023.
3. WALLS ARE DESIGNED IN ACCORDANCE WITH THE FOLLOWING: ACTIVE PRESSURE = 39 PSF/FT
MINIMUM HELICAL TIE-BACK EMBEDMENT LENGTH = 20 FEET
4. RETAINING WALL MATERIALS: CONCRETE: SHALL ATTAIN 2,500 PSI MIN. @ 28 DAYS
REINFORCING STEEL: Grade 60 ASTM A615, #4 AND SMALLER
GRADE 60 ASTM A615, #5 AND LARGER
DRAIN ROCK: CALTRANS SPECIFICATION, CLASS 2 TYPE A
5. MINIMUM SPICE LAP LENGTHS: #4 BAR = 20" #5 BAR = 25"
6. DRAIN ROCK AND WALL BACKFILL SHALL BE PLACED WITH BY HAND METHODS.
7. ALL FILL BEHIND WALLS TO BE NATIVE MATERIALS AND COMPACTED IN 8" LIFTS TO 90%. ALL RETAINING WALL BACKFILL SHALL BE NATIVE MATERIALS.
8. IF ANY UNFORSEEN CONDITIONS ARE FOUND TO EXIST WITH EXISTING UTILITIES OR BURIED STRUCTURES, ALL WORK SHALL BE STOPPED UNTIL A WRITTEN DETERMINATION BY THE PROJECT ENGINEER HAS BEEN RENDERED REGARDING ANY CHANGED SITE CONDITIONS.
9. THE GEOTECHNICAL ENGINEERS SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PLACING THE TIE-BACK ANCHORS TO OBSERVE AND APPROVE THE INSTALLATIONS.
10. THE PROJECT ENGINEERS SHALL BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE OF PLACING CONCRETE IN THE RETAINING WALL FOOTINGS, AND THE WALL STEM TO ALLOW AN INSPECTION OF THE RETAINING WALL DIMENSIONS, FORM PLACEMENT, AND REINFORCING STEEL.



7/19/2024

REVISIONS		RETAINING WALL DETAILS	
DATE	BY	VIZCAINO, 8 SOUTHWEST MOUNTAIN VIEW	
JUL 17, 2024	SCW	LOT 8, BLOCK 102	
		ADDITION 5, CARMEL-BY-THE-SEA, VOLUME 2, CITIES & TOWNS, PAGE 22	
		PREPARED FOR THE	
		ROBERT HERRICK	
		CITY OF CARMEL-BY-THE-SEA STATE OF CALIFORNIA	
		PREPARED BY	
		MONTEREY BAY ENGINEERS, INC.	
		607 CHARLES AVENUE SUITE B SEASIDE, CALIFORNIA 92083	
		SCALE:	AS SHOWN
DATE:	NOVEMBER, 2023	DRAWN BY:	END & SCW
JOB No.	23-063	SHEET:	4 OF 4