



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 24250

**Owner Name:** MAXCY CHRISTOPHER R & LEVY DANIELE V TRS

**Case Planner:** Evan Kort, Senior Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 11/26/2024

**Project Location:** Camino Real 3NW 8th

**APN #:** 010265005000      **BLOCK/LOT:** N/ALL LOT 13

**Applicant:** Daniele Levy & Chris Maxcy

**Project Description:** This approval of Design Study DS 24250 (Maxcy-Levy) authorizes the addition of a driveway, right-of-way improvements, and landscape alterations to a single family residence located at Camino Real 3 NW 8th in the R-1 District (APN: 010265005000) as depicted in the plans stamped approved by Community Planning and Building Department on November 26, 2024 unless modified by the conditions of approval contained herein.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

<b>CONDITIONS OF APPROVAL</b>	
<b>No.</b>	<b>Standard Conditions</b>
1.	<b>Authorization.</b> This approval of Design Study DS 24250 (Maxcy-Levy) authorizes a addition of a driveway, right-of-way drainage improvements, and landscape alterations located at Camino Real 3NW 8th in the R1 District and, APN: 010265005000 as depicted in the plans stamped approved by Community Planning and Building Department on 11/26/2024 unless modified by the conditions of approval contained herein.
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	<b>Permit Required.</b> <input checked="" type="checkbox"/> A Building Permit shall be applied for and obtained from the <a href="#">Building Division</a> prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division.  <input type="checkbox"/> A building permit is not required; however, the applicant shall apply for and obtain a Notice of Authorized Work from the Building Division prior to commencement of work. To apply for the Notice of Authorized Work, please submit the <a href="#">Scope of Work Declaration</a> through the city's <a href="#">online permit portal</a> .
4.	<b>Permit Validity.</b> The project shall be implemented in accordance with the time limits set forth <a href="#">CMC 17.52.170 (Time Limits on Approvals and Denials)</a> . During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	<b>USA North 811.</b> Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit <a href="http://USANorth811.org">USANorth811.org</a> for more information)

9.	<b>Conditions of Approval.</b> Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	<b>Tree Removal Prohibited.</b> Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	<b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"><li>• Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved.</li><li>• Excavation within 6 feet of a tree trunk is not permitted.</li><li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li><li>• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.</li><li>• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li><li>• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li><li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li></ul> <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. <b>The Forester can be reached at 831-620-2073.</b></p>
12.	<b>Foundation Work Near Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

<b>SPECIAL CONDITIONS</b>	
13.	Encroachment Permit. The property owner/applicant shall be responsible for installation and maintenance of approved encroachments in the right-of-way. Encroachment Permit EN 23-242 shall be revised to reflect the scope of work described in this approval (DS 24250). All application requirements of EN 23-232 shall be satisfied prior to the issuance of a building permit and installation of the subject features.
14.	Printed Conditions. These signed Conditions of Approval shall be printed on a full size page of the building plan set submitted to the building division for the associated building permit review.
15.	Stone Finish. Stonework shall be installed in a broken course/random or similar masonry pattern that provides a true structural finish. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around corners and terminated at an inside corner (where applicable) or a logical stopping point that provides a finished and structural appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry patter shall be clearly identified in the construction drawings submitted with the building permit application.
16.	Non-Conforming Parking. The new driveway shall not be considered a conforming parking space for the purpose of CMC 17.10.030.F. As such, the proposed driveway does not result in an increase in floor area, (CMC 17.10.030.D.1), and the site is still considered a nonconforming building site (CMC 17.10.030.F.2.d). While the driveway is not a conforming parking space, the driveway shall be considered site coverage (CMC 17.10.030.F.2.b & CMC 17.10.030.C). ___ Refer to DS 07-13 (Senza LLC) (APN: 010-192-014) for prior determination with same finding.
17.	Drainage Plan. If requested by the Building Division or Public Works Division, a drainage plan that complies with the requirements of SOG 17-07 shall be prepared prior to building permit issuance.

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Applicant Signature

\_\_\_\_\_  
 Printed Name

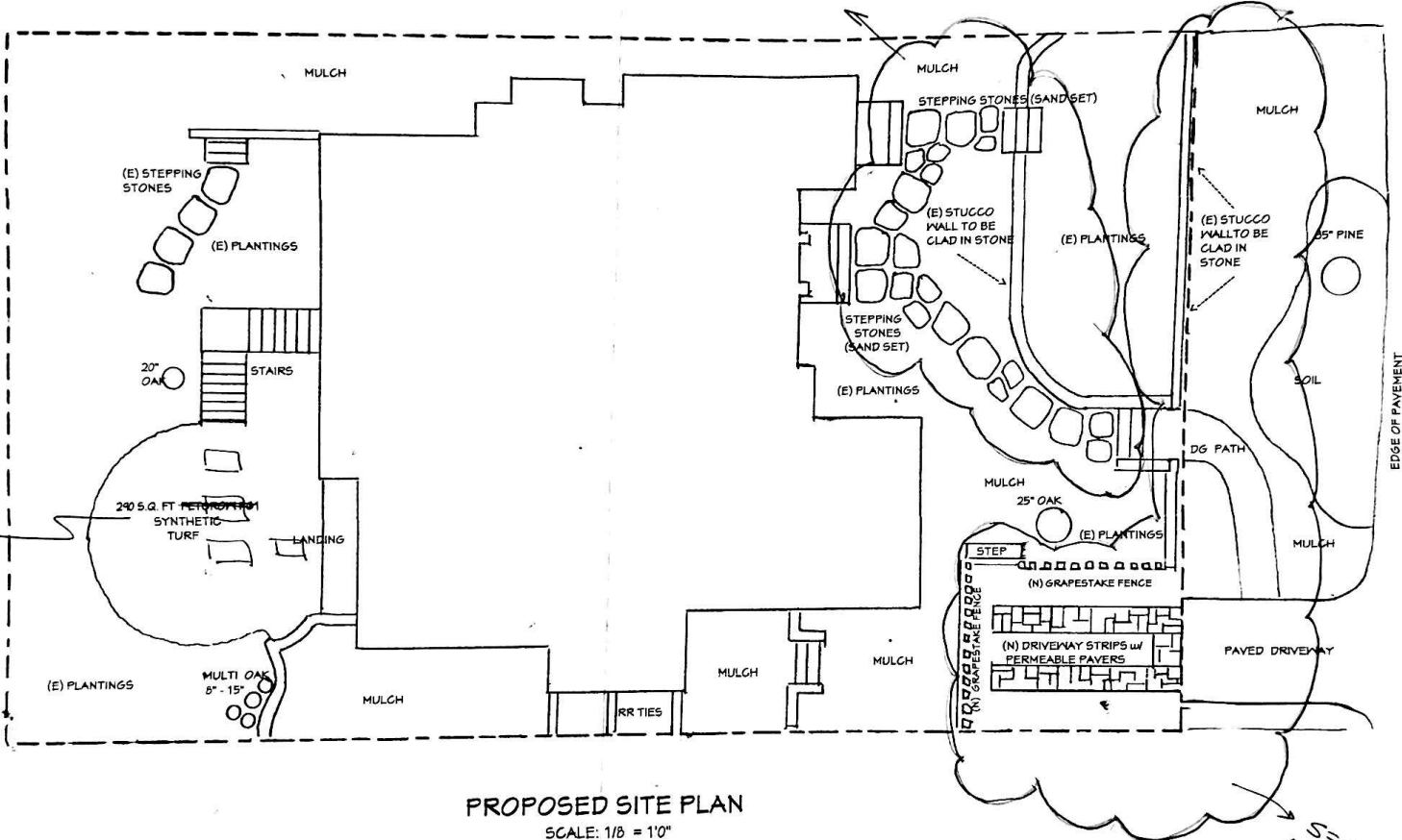
\_\_\_\_\_  
 Date

*Once signed, please email to [ekort@ci.carmel.ca.us](mailto:ekort@ci.carmel.ca.us).*



SEE EXHIBIT C

SEE EXHIBIT 3



CAMINO REAL ST.

PROPOSED SITE PLAN  
SCALE: 1/8" = 1'0"

SEE EXHIBIT A

**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner

# PROJECT DATA

APN: 010-265-005

ZONING: R-1

LOT: 13 N 1/2 BLOCK N

LOT SIZE: 6,000 SQ. FT.

TREE INFORMATION: (0) TREES TO BE REMOVED

<u>EXISTING SITE COVERAGE</u>	<u>IMPERMEABLE</u>	<u>PERMEABLE</u>
DECK AND REAR STAIRS	165 SQ. FT.	0
DRIVEWAY	0	0
LANDINGS	130 SQ. FT.	0
GARDEN WALLS	131 SQ. FT.	0
STEPPING STONES	157 SQ. FT.	0
<u>SUB TOTALS</u>	603 SQ.FT.	0 SQ. FT.
<u>TOTAL EXISTING SITE COVERAGE:</u>	603 SQ.FT.	

<u>PROPOSED SITE COVERAGE</u>	<u>IMPERMEABLE</u>	<u>PERMEABLE</u>
<del>DECK AND REAR STAIRS</del>	<del>165 SQ. FT.</del>	<del>0</del>
<del>DRIVEWAY</del>	<del>0</del>	<del>75 SQ. FT.</del>
<del>LANDINGS</del>	<del>130 SQ. FT.</del>	<del>0</del>
<del>GARDEN WALLS</del>	<del>120 SQ. FT.</del>	<del>0</del>
<del>STEPPING STONES</del>	<del>190 SQ. FT.</del>	<del>0</del>
<del><u>SUB TOTALS</u></del>	<del>605 SQ.FT.</del>	<del>75 SQ. FT.</del>
<u>TOTAL PROPOSED SITE COVERAGE:</u>	680 SQ.FT.	

SEE EXHIBIT C

**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner

## Exhibit A:

- South facing driveway elevation
- West facing driveway elevation
- Fence design
- Front gate design
- Paver material specs for driveway tracks and bib

**APPROVED**

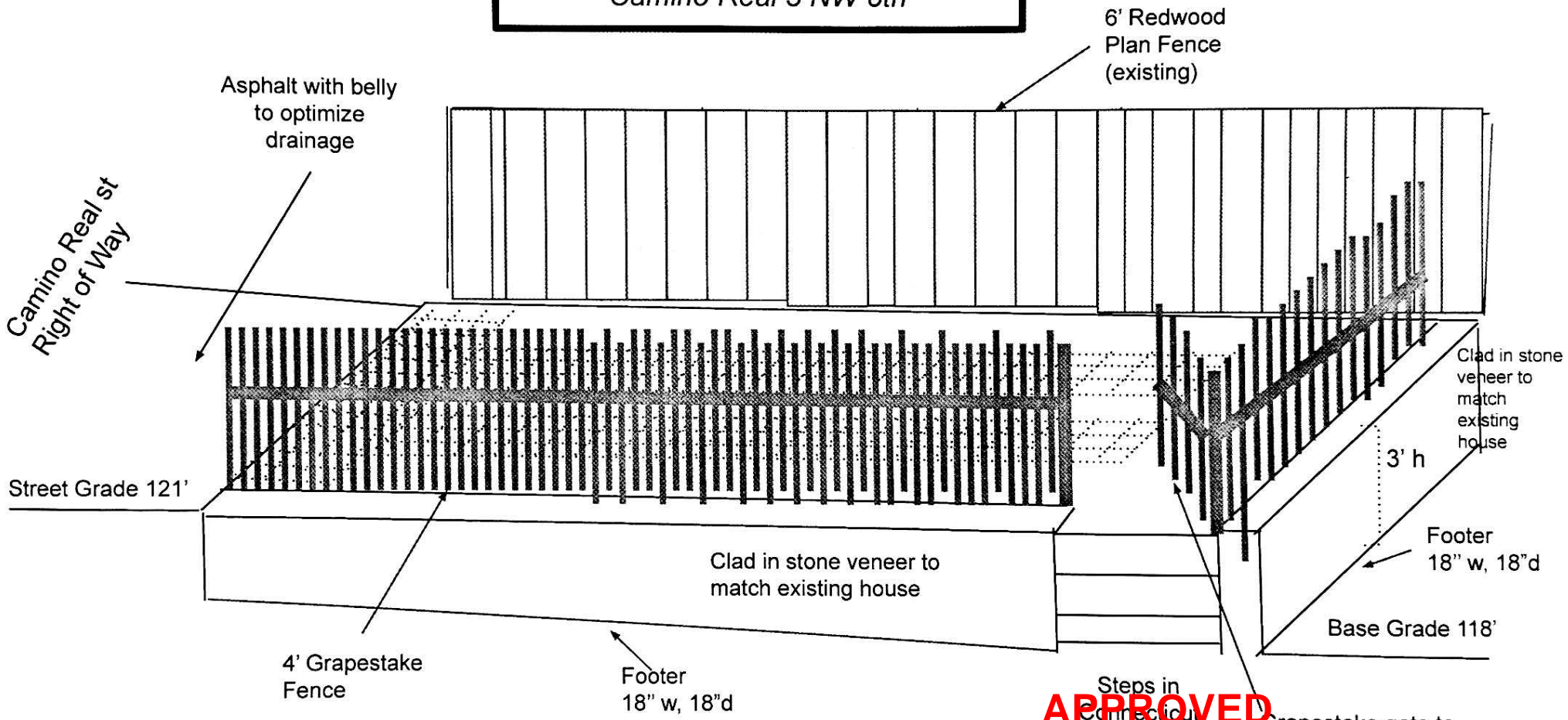
11/26/2024

COMMUNITY PLANNING AND BUILDING



Approved by: Evan Kort, Senior Planner

**South Facing Driveway Elevation**  
*Camino Real 3 NW 8th*

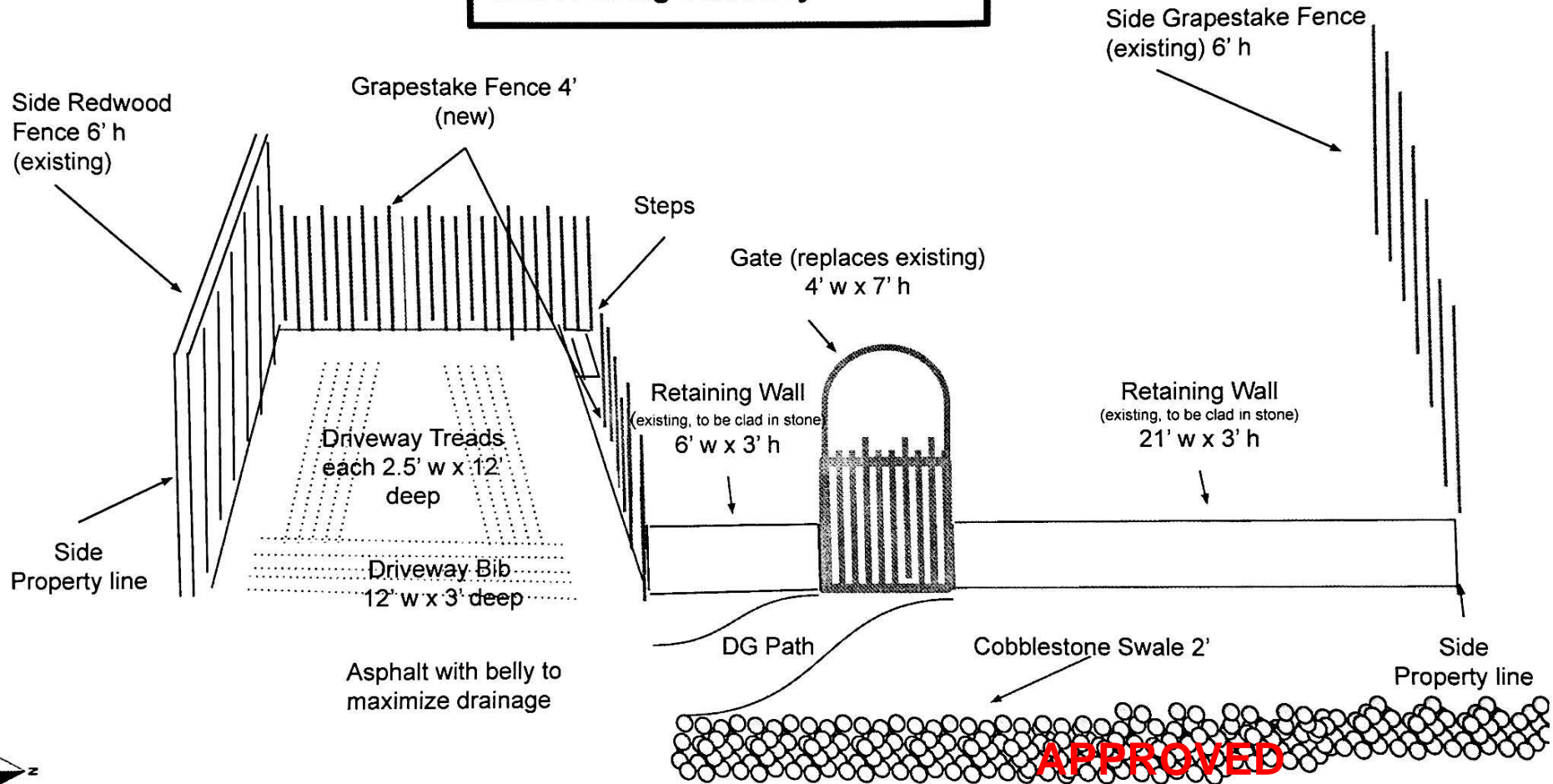


**APPROVED**  
 COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner



# West Facing Driveway Elevation



**APPROVED**  
11/26/2024  
COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner

# Fence design Around Driveway



Grape stake wooden fence 4' high at its highest point with ~ 1/4" spacing between posts.

Driveway gate will follow fence design with hinges.

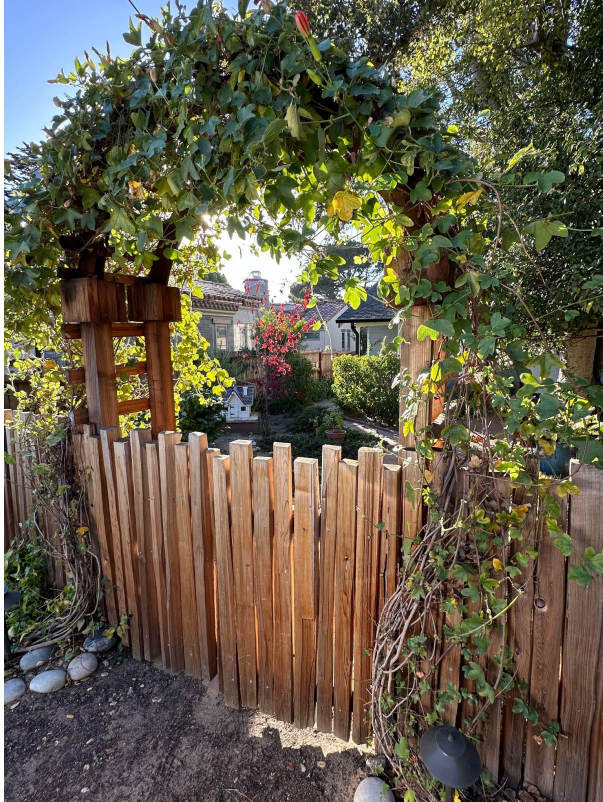
**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner

# Front Gate Design



Rustic, 4-ft wide wooden gate made of vertical wooden planks with a natural, unfinished look.

A 7-ft tall wooden trellis arches over the gate, featuring horizontal and vertical members forming a lattice structure.

**APPROVED**  
11/26/2024  
COMMUNITY PLANNING AND BUILDING

  
Approved by: Evan Kort, Senior Planner

# NARROW JOINT PERMEABLE QUARRY STONE



Narrow Joint Permeable Quarry Stone pavers help the environment by protecting the quality of the water supply. They reduce the amount of stormwater runoff entering natural waterways.



**APPROVED**

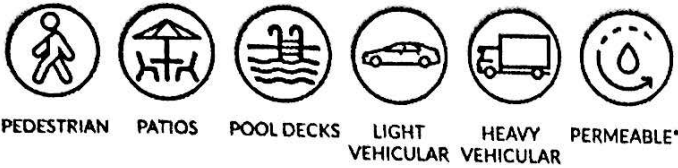
11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner

# PRODUCT DETAILS

## Narrow Joint Permeable Quarry Stone Applications:



Sizes	Nominal Size	Stone FT <sup>2</sup>	Stones Pallet	FT <sup>2</sup> Pallet
	6 x 6 (80mm)*	4.10	384	93
	6 x 9 (80mm)*	2.80	240	87

\* Narrow Joint Permeable Quarry Stone pavers ARE designed for use in permeable and sand set applications.

### Stocked Colors:

Rustic Yellowstone, Sequoia Sandstone, Sierra Granite and Cameron Cream. Note: *Cameron Cream may require additional lead time.*

Narrow Joint Permeable Quarry Stone is manufactured using an exclusive Calstone hammer antiquing process that generates random chips, scratches, and mildly broken corners to reproduce the look of natural stone mined from earth.

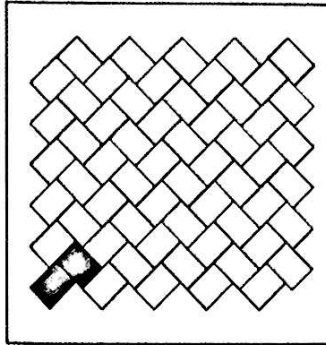
Size	Bags/Pallet	Sq. Ft./Bag
50 LB Bag	56	35-50
2000 LB Sack	1 Sack	1,300-2,000

Calstone's Fine #9 Permeable Paver Joint Rock must be used with our Narrow Joint design

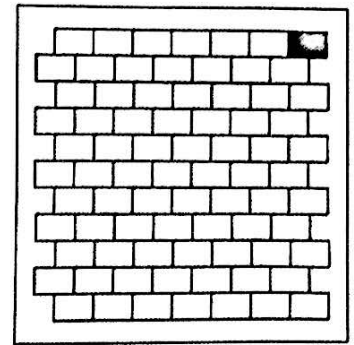
### Fine #9 Benefits:

- Fast joint installation
- High infiltration rates
- Improved joint interlock

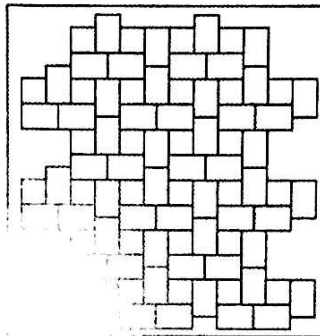
# PATTERNS



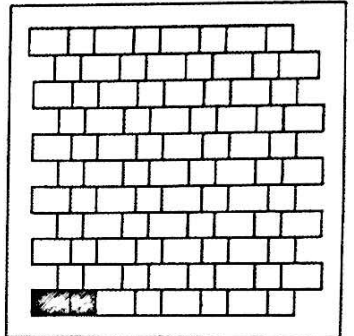
**Herringbone 45 Degree**  
100% 6x9  
Infiltration Rate: 6x9 190"/hr



**Running Bond**  
100% 6x9  
Infiltration Rate: 190"/hr



**Staggered**  
20% 6x6, 80% 6x9  
Infiltration Rate: 192"/hr



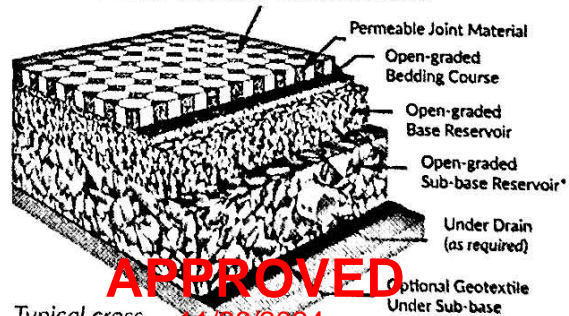
**Two-Way Running Bond**  
40% 6x6, 60% 6x9  
Infiltration Rate: 194"/hr

## About "Narrow Joint" Permeable Pavers

Our permeable system is complete with our proprietary Fine #9 Joint Rock. Our permeable system has narrow joint widths of 4mm and initial infiltration rates in excess of 150"/hr.

Permeable interlocking concrete pavement (PICP) with open-graded base and sub-base for infiltration and storage.

### Calstone Concrete Permeable Pavers



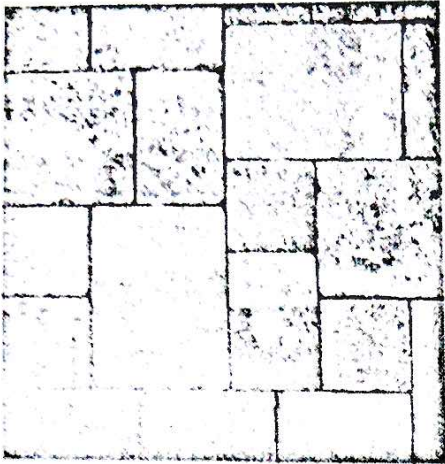
Typical cross section (PICP) **APPROVED** 11/28/2024  
Approved by: *Evan Holt, Senior Planner*  
COMMUNITY PLANNING AND BUILDING

For proper installation procedures visit: [lcp.org/Calstone](http://lcp.org/Calstone)  
Choose Tech Spec # 18 (Construction of Permeable Interlocking Concrete Pavement Systems)

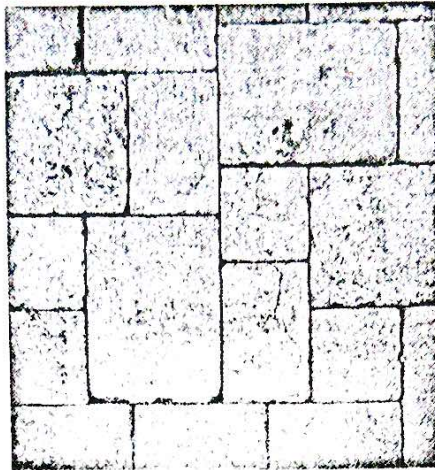


DURAFUSION  
TECHNOLOGY

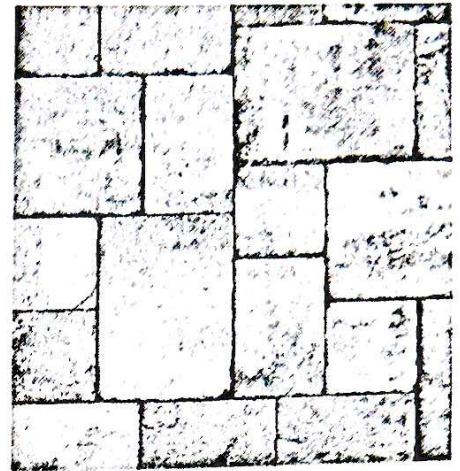
# QUARRY STONE / COLORS



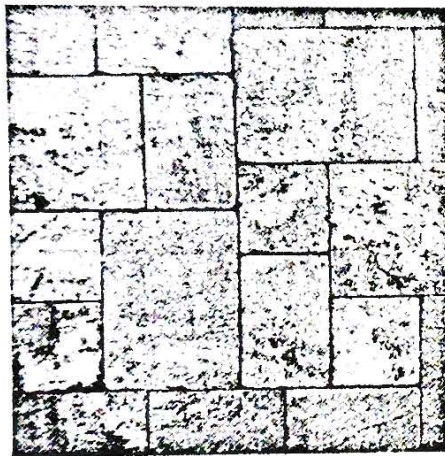
Oak Barrel



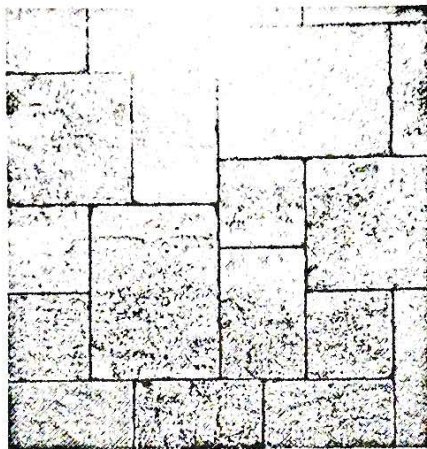
Sunset Terracotta  
*(May require additional bed of lime)*



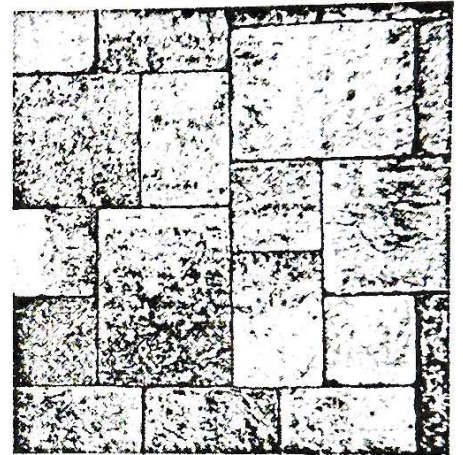
Cameron Cream



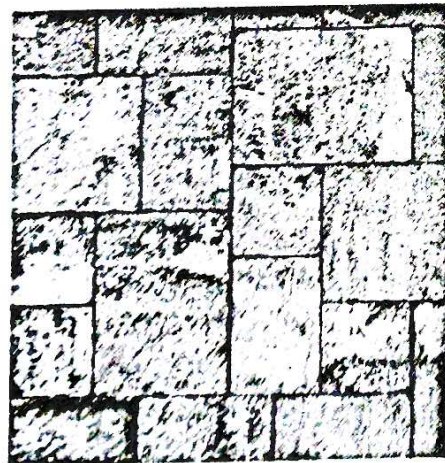
Sequoia Sandstone



Rustic Yellowstone



Sierra Granite



Chaco Canyon



Connecticut Fieldstone



Charcoal  
*(stacked in 6x9 only)*

**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner

## Exhibit B:

- Material specs for artificial turf
- Sample turf material

**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING



Approved by: Evan Kort, Senior Planner



We Have Everything in Stock  
Ready for Pick Up

Showroom | Monday - Friday: 8AM - 4:30PM  
Saturday: 9:00AM - 4:00PM

Landscaping | Lawns | Bocce Ball | Putting Greens | Pet Turf

# HIGHLAND



## TURF DETAIL

Pile/Face Weight	80 oz
Pile Height	2"
Tuft Gauge	3/8 in
Tuft Bind	> 30 N
Total Weight	108 oz

## FIBER DETAIL

Primary Yarn Type	Polyethelene
Primary Yarn Denier	12800
Primary Yarn Shape	Wave, W, Diamond Shaped Monofilament
Primary Yarn Color	Four Color Summer Blend
Thatch Yarn Type	Polypropylene
Thatch Color	Green/Beige

## MANUFACTURED ROLL DETAIL

Width	15 ft
Length	100 ft
Approximate shipping weight	1125 lbs

## BACKING DETAIL

Primary Backing	Polypropylene
Primary Weight	7 oz
Secondary Coating	Polyurethane
Secondary Coating Weight	20 oz
Drainage Type	Standard Hole-Punched
Drainage Per Hour	32 l/m/sqm

## ADDITIONAL INFORMATION

15 Years Manufacturer Warranty  
Requires Infill 2-3 pounds per sq. ft.



**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kott, Senior Planner





## Exhibit C:

- Updated proposed site coverage
- Updated stepping stone lay out

**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING



Approved by: Evan Kort, Senior Planner

<b>Proposed Site Coverage</b>			
	<b>Impermeable</b>	<b>Permeable</b>	
Deck & Rear Stairs	165 sq ft		
Driveway		87 sq ft	
Landings	144 sq ft		
Stepping stones		285 sq ft	
SubTotals	309 sq ft	372 sq ft	
Total Proposed Site Coverage		681 sq ft	

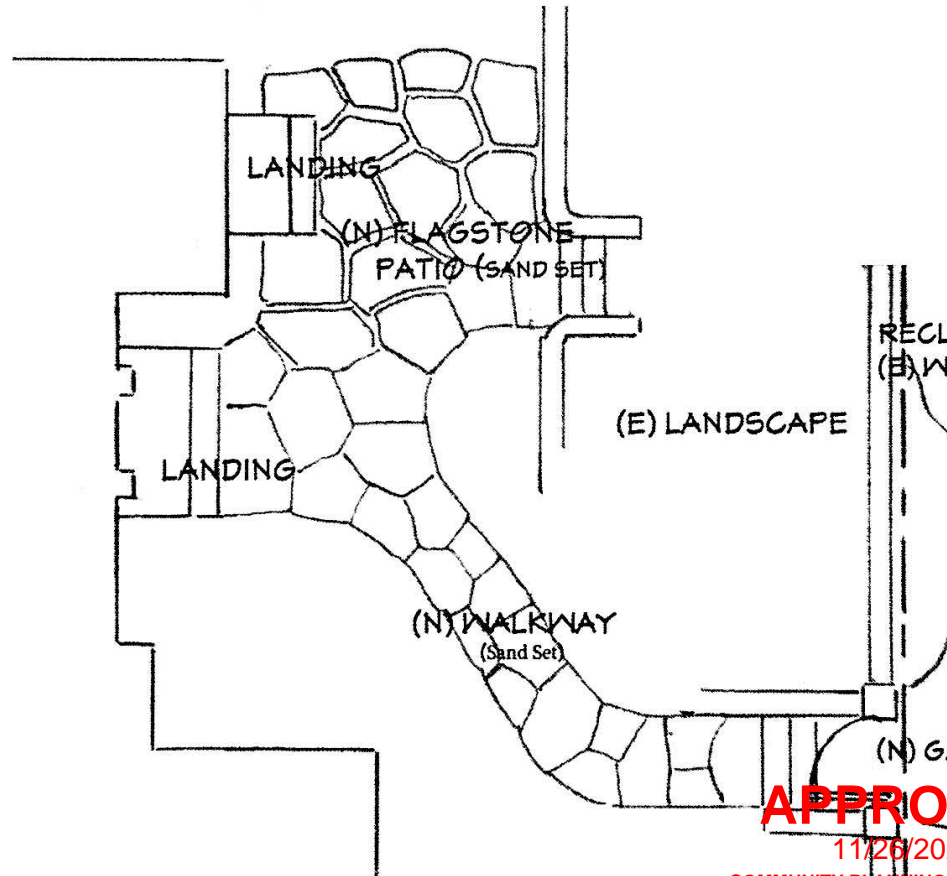
**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

  
Approved by: Evan Kort, Senior Planner

# Stepping Stones Front Yard



**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner

<b>Proposed Site Coverage</b>			
	<b>Impermeable</b>	<b>Permeable</b>	
Deck & Rear Stairs	165 sq ft		
Driveway		87 sq ft	
Landings	144 sq ft		
Stepping stones		285 sq ft	
SubTotals	309 sq ft	372 sq ft	
Total Proposed Site Coverage		681 sq ft	

**APPROVED**

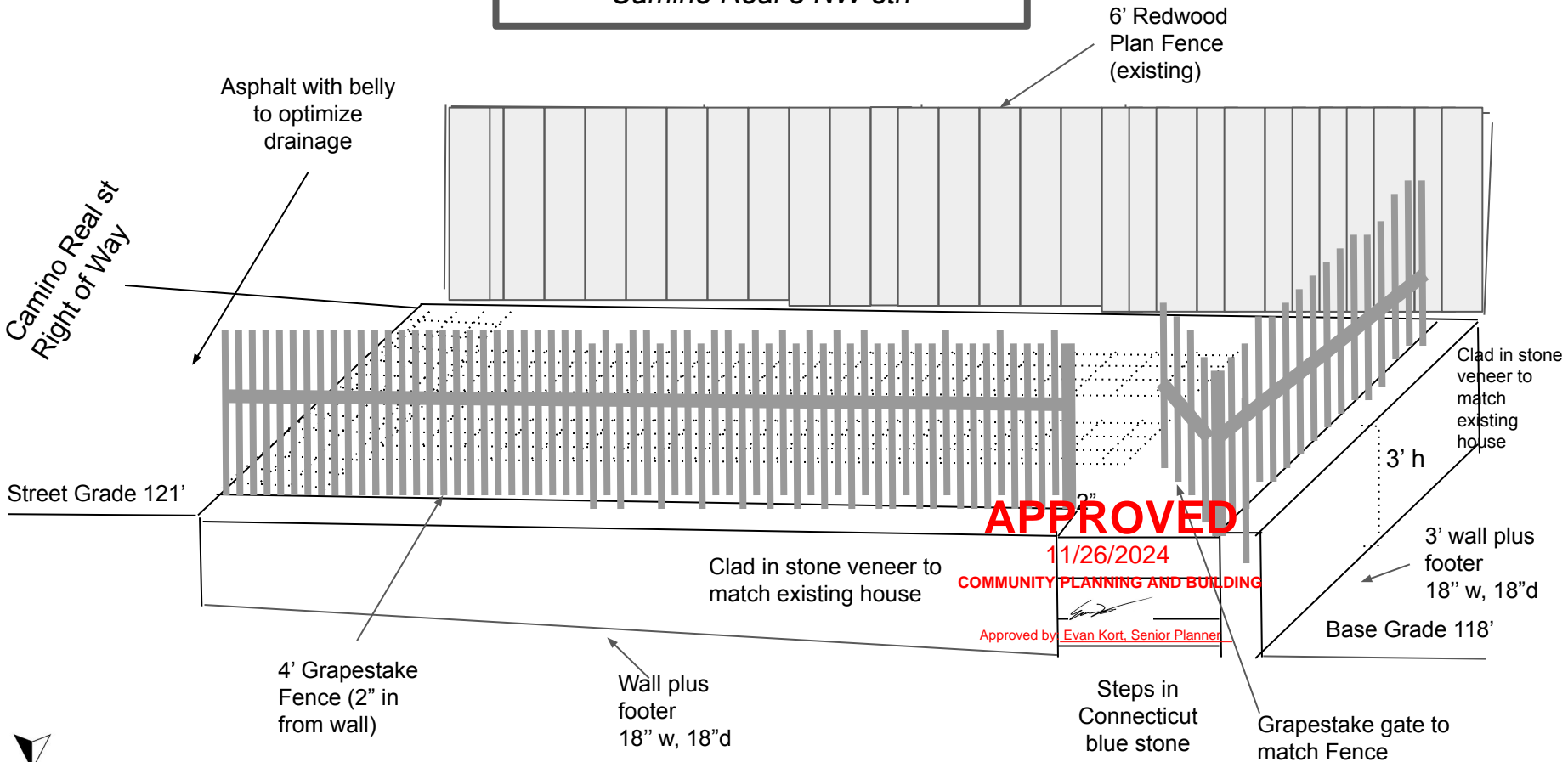
11/26/2024

COMMUNITY PLANNING AND BUILDING

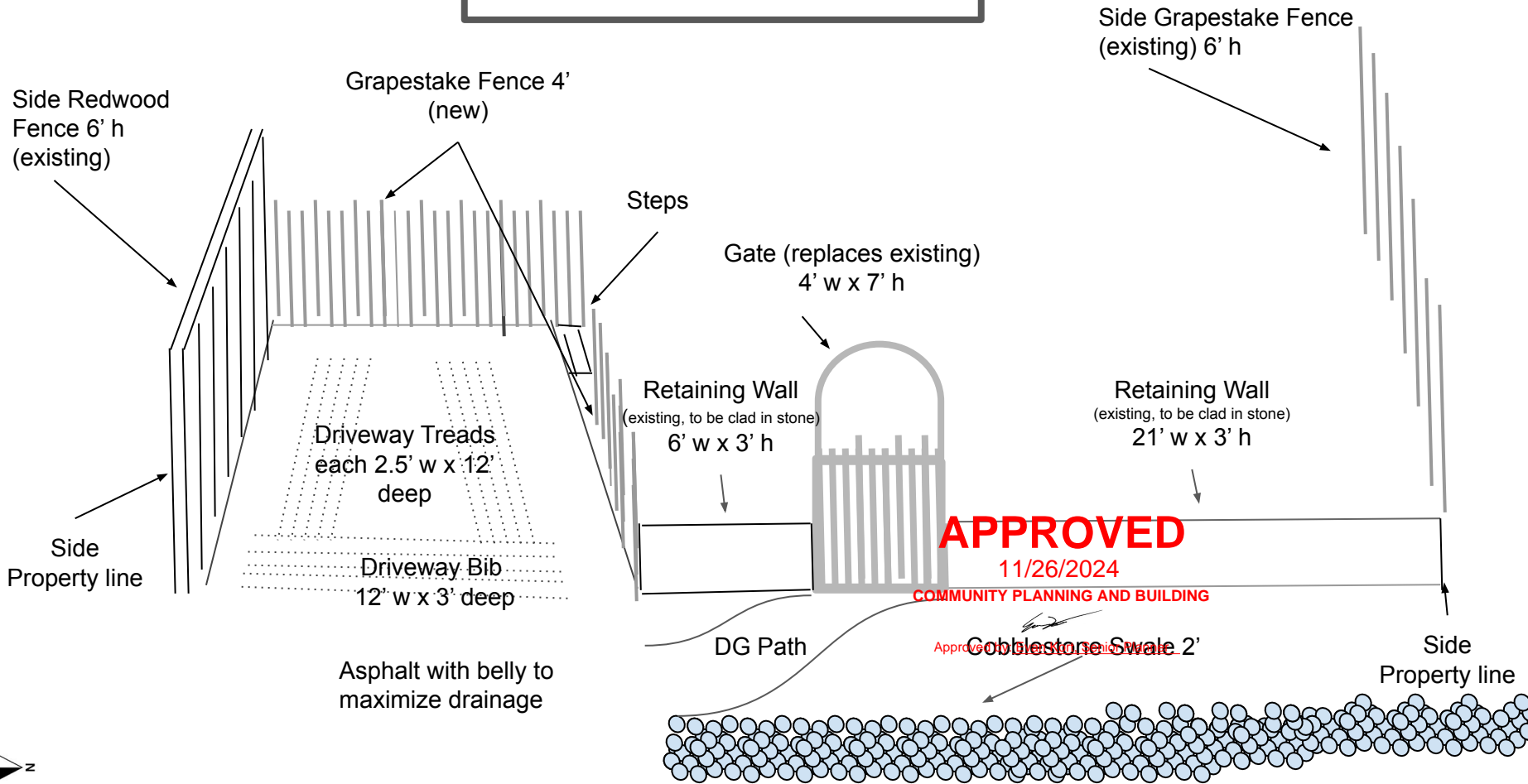
  
Approved by: Evan Kort, Senior Planner

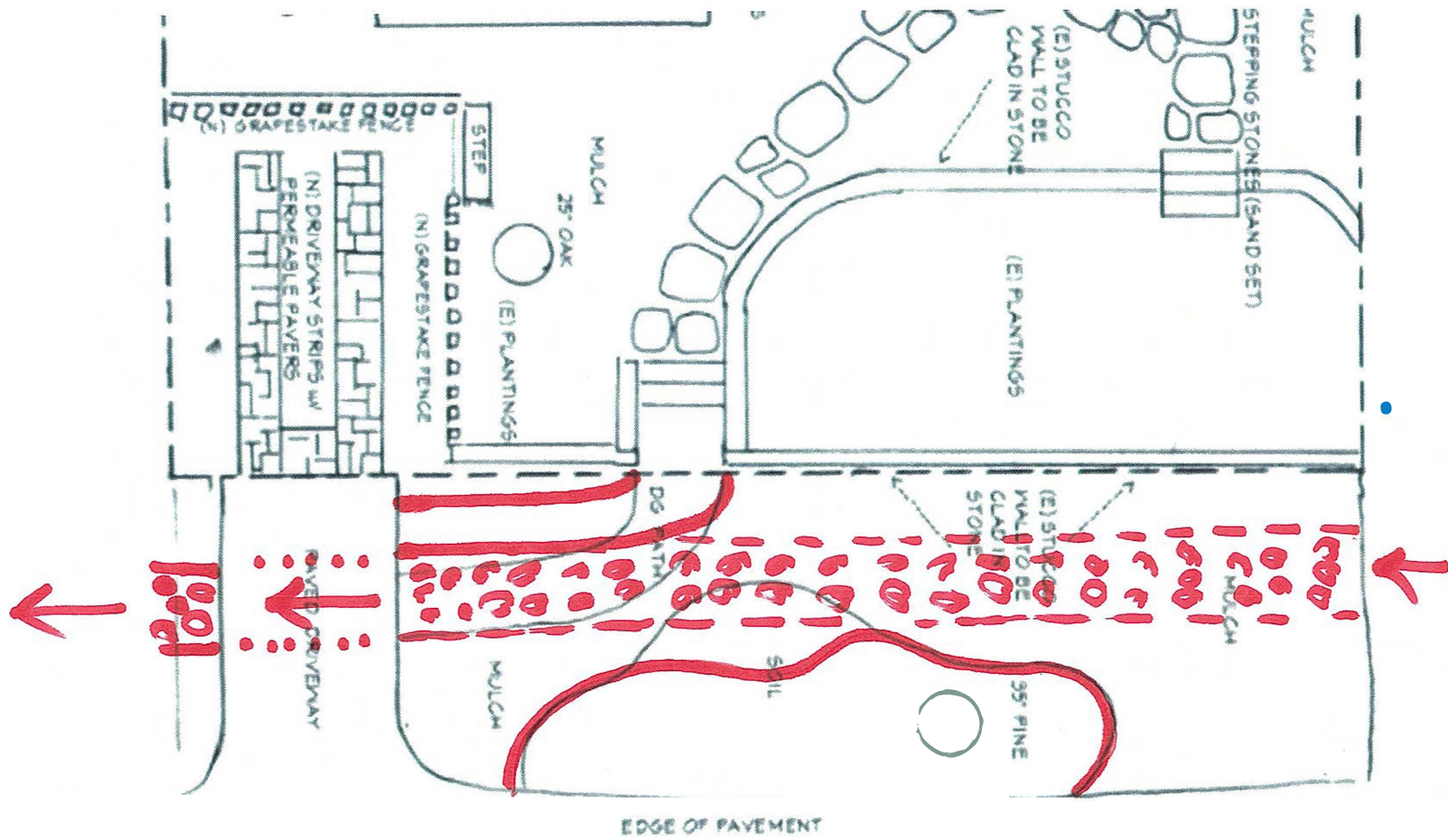
# South Facing Driveway Elevation

Camino Real 3 NW 8th



# West Facing Driveway Elevation





CAMINO REAL ST.

**APPROVED**

11/26/2024

COMMUNITY PLANNING AND BUILDING

Approved by: Evan Kort, Senior Planner