



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 24215

**Owner Name:** BAUER EMILY YANG TR

**Case Planner:** Jacob Olander, Assistant Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 09/04/2024

**Project Location:** San Carlos 2 SW of 1st Ave

**APN #:** 010126017000      **BLOCK/LOT:** 10/3

**Applicant:** Andrew C Goodwin

**Project Description:** This approval of Design Study (DS 24215 (Yang-Bauer)) authorizes amendments to existing Design Study Approvals (DS 21-362) for alterations to an existing single-family residence located on San Carlos 2 SW of 1st in the Single Family Residential (R-1) District with an active building permit (BP 22-316). The modifications approved under this Design Study include: 1. Installation of two skylights; 2. Replacing the proseed vertical wood siding with horizontal 10" Hardie siding painted to match the previous wood siding. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the application materials dated approved by Community Planning & Building Department on September 4, 2024, unless modified by the conditions of approval contained herein.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*



## FINDINGS AND CONDITIONS

**Project:** DS 24215 (Yang-Bauer)

**Location:** San Carlos 2 SW of 1<sup>st</sup> Avenue; 010-126-017-000

**Date of Action:** September 4, 2024

**Project Description:**

**DS 24215 (Yang-Bauer)** authorizes amendments to previously approved Design Study Applications (DS 21-362 (California Coast, LLC)) located at San Carlos 2 SW of 1<sup>st</sup> Avenue in the Single-Family (R-1) District. APN: 010-126-017-000

The proposed changes include:

- The installation of two skylights and horizontal 10” Hardie siding painted to match the previous wood siding. The previously approved project proposed vertical wood siding and did not include the proposed skylight.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.		
For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision making. Findings checked "yes" may or may not be discussed depending on the issue(s).		
<b>CMC 17.58.060.B Findings for Design Review Approval</b>	<b>YES</b>	<b>NO</b>
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
<b>Additional Staff Analysis/Discussion:</b>		
The applicant has updated the plans from after the previous approval, relocating the skylights to be less visible from the street.		

ENVIRONMENTAL REVIEW
The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i> , “CEQA”), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i> , the “CEQA Guidelines”) and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.
<b>Finding:</b> The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (Class 3) – New Construction and Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.
<b>Additional Staff Analysis/Discussion:</b> The project consists of an amendment to a previously approved Design Study (DS 21-362) for the addition of two skylights and horizontal 10” Hardie siding painted to match the previous wood siding on a new single-family residence that is currently under construction. The new single-family dwelling, project number DS 21-362 was Categorically Exempt under Class 3, New Construction or Conversion of Small Structures, by the Planning Commission (Resolution 2022-24-PC). The addition of two new skylights and

horizontal 10” Hardie siding painted to match the previous wood siding amends the initial approval and does alter or change the project of the construction of a new single-family dwelling, which is currently under construction.

<b>CONDITIONS OF APPROVAL</b>	
<b>No.</b>	
1.	<p><b>Authorization.</b> This approval of Design Study (DS 24215 (Yang-Bauer)) authorizes amendments to existing Design Study Approvals (DS 21-362) for alterations to an existing single-family residence located on San Carlos 2 SW of 1st in the Single Family Residential (R-1) District with an active building permit (BP 22-316). The modifications approved under this Design Study include:</p> <ol style="list-style-type: none"> <li>1. Installation of two skylights;</li> <li>2. Replacing the prosoed vertical wood siding with horizontal 10” Hardie siding painted to match the previous wood siding.</li> </ol> <p>Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the application materials dated approved by Community Planning &amp; Building Department on September 4, 2024, unless modified by the conditions of approval contained herein.</p>
2.	<p><b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Department.</p>
3.	<p><b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>
4.	<p><b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>
5.	<p><b>Conditions of Approval.</b> These Conditions of Approval shall be signed and returned to the Community Planning and Building Department prior to the issuance of a Building Permit/Building Permit Revision. These signed conditions shall also be printed on a full-size plan sheet in the building plan set along with any prior conditions of approval of prior Design Study Applications.</p>
6.	<p><b>Building Permit Revision Required.</b> Prior to commencing work on-site, the applicant shall apply for and obtain a building permit revision from the Community Planning &amp; Building Department.</p>
7.	<p><b>Prior Conditions of Approval.</b> All conditions of approval of the previous Design Study approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.</p>

Acknowledgement and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

***Once signed, please email to [jolander@ci.carmel.ca.us](mailto:jolander@ci.carmel.ca.us).***

GENERAL NOTES: DEMO FLOOR PLAN

- 1- CONTRACTOR TO CONTACT ALL UTILITIES PRIOR TO DEMO. DISCONNECT OR TURN OFF UTILITIES AS NEEDED.

21 GENERAL NOTES DEMO FLOOR PLAN

GENERAL NOTES: FLOOR PLAN

- 1- FURNITURE IN PLAN IS ONLY DIAGRAMMATIC. NOT FOR CONSTRUCTION.
- 2- WHERE REQUIRED, FIRE BLOCKING PER CRC R302.11 AND DRAFTSTOPS PER CRC R302.12 SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
    - 1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
    - 1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT
  - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNUAL SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- 3- SEE R302.11.1 FOR ACCEPTABLE FIRE BLOCKING MATERIALS.
- 4- SEE R302.12.1 FOR ACCEPTABLE DRAFTSTOPPING MATERIALS.
- 5- PROVIDE AT ALL OPENINGS AROUND GAS VENTS, PIPES, CHIMNEYS AND FIREPLACES AT THE CEILING SHALL BE FIRE BLOCKED WITH NON-COMBUSTIBLE MATERIALS.

12 GENERAL NOTES FLOOR PLAN

KEYNOTES

1. (E) RESIDENCE AND FOUNDATIONS TO BE DEMOLISHED.
2. (N) 42" HIGH TEMPERED GLASS GUARDRAIL ATTACHED TO EDGE OF EXISTING APPROVED ADU ROOF. 72" HIGH OPAQUE WOOD FENCING ON NORTH SIDE OF ROOF PER ELEVATIONS FOR PRIVACY SCREENING.
3. 2X4 EXTERIOR FRAMING PER STRUCTURAL (THIS WALL).
4. (N) UTILITY ACCESS POINT AND TESLA POWER WALL.
5. (N) ELEVATED COVERED PORCH.
6. PROVIDE EXTRA LAYER OF 5/8" GYP. BD. (THIS WALL)
7. (N) ELECTRIC COOKTOP INDUCTION COOKTOP W/ DOWNDRAFT VENT, 36", NIKOLATESLA SWITCH ENS436BL BY ELICA.
8. (E) FOOTPRINT OF EXISTING APPROVED ADU WILL BE ATTACHED TO HOUSE FOOTPRINTS. ADU IS NOT ACCESSED THROUGH HOUSE. FIRE SEPARATION TO BE PROVIDED. ROOF ROOF GARDEN.
9. (N) CAESARSTONE 5121 LAYALITE (WHITE) SOLID SURFACE COUNTERTOP W/ CABINETS BY LEICHT BELOW.
10. BUILT-IN CLOSET AGAINST FLAT-STUD FRAMED WALL PER PLAN.
11. (N) WINDOW AT COUNTERTOP HEIGHT. RE: ELEVATIONS.
12. (N) FOOTPRINT OF SKYLIGHT ABOVE. RE: ROOF PLAN & SCHEDULES. SKYLIGHT TO HAVE 1441 HIDEAWAY PURE WHITE LIGHT FILTERING CELLULAR SKYLIGHT SHADES BY BALI
13. (N) DISHWASHER PER PLUMBING SCHEDULE. PER CPC 807.3 AN AIR GAP IS REQUIRED FOR THE DISHWASHER
14. (N) MIELE KF 2802 VI FRIDGE/FREEZER W/ WOOD PANEL SIDING FLANKING REF. OPENING PER PLAN, SEE DETAIL 32/A5.4.
15. (N) GARBAGE DISPOSAL AND SINK.
16. (N) BUILT-IN PANTRY SHELVES, 12" DEEP.
17. (N) VANITY, CAESARSTONE 5121 LAYALITE (WHITE) COUNTERTOP W/ SINK PER PLUMBING SCHEDULE.
18. (N) 0.8 GPF VEIL® WALL-HUNG COMPACT ELONGATED DUAL-FLUSH TOILET K-6299 BY KOHLER.
19. (N) SHOWER W/ TEMP. GL. ENCLOSURE (FROSTED). FLOOR AND WALL FINISH TO BE MERLEX SUPER SHOWER FINISH MATCHING FLOOR FINISH.
20. (N) POLISHED CONCRETE FLOORS WITH RADIANT SYSTEM THROUGHOUT. MATCH FINISH OF 2ND FLOOR GYP CRETE FLOORING.
21. FULL-HEIGHT STRUCTURAL RETAINING WALL INTEGRATED AT FIRST FLOOR WALL. SEE SECTIONS AND DETAILS.
22. (N) ENTRY DOOR. RE: WINDOW SCHEDULE.
23. (N) REDWOOD PLANK ENTRY STEPS. RE: ELEVATIONS.
24. WOOD PRIVACY SCREEN PER DETAIL 34/A5.4.
25. (N) CLOSET BELOW STAIR. MECHANICAL SPACE BEHIND THROUGH SOLID CORE DOOR PER SECTIONS. INSTALL 5/8" TYPE X GYP BOARD AT UNDERSIDE AND ALL WALLS IN MECH. SPACE.
26. (N) RAISED DECK ON EXISTING APPROVED ADU ROOF.
27. CEILING CHANGE ABOVE.
28. (N) LANDSCAPING. RE: SITE PLAN & LANDSCAPE.
29. (N) GYP CRETE FLOORING WITH RADIANT SYSTEM.
30. TEMP. GL. (FROSTED) DOOR/ENCLOSURE
31. OMIT
32. (N) GAS FIRE VENT FIREPLACE - COSMO 32" LANDSCAPE GAS FIREPLACE.
33. WOOD-FRAMED STAIRCASE PER DETAILS. SEAMLESS TILE FINISH BY KRONOS CERAMICS - CENERE COLOR
34. 1-HOUR RATED WALL PER DETAIL 21/A5.4 THIS WALL ONLY.
35. WHITE PAINTED FLASHING PIECE BETWEEN WINDOW AND CLOSET. CONTRACTOR TO COORDINATE

13 KEYNOTES FLOOR PLAN

LEGEND: DEMO PLAN

REMOVE WALL OR OBJECT.

LEGEND: FLOOR PLANS

- (N) 2X6 EXTERIOR WALL. FINISH PER ELEVATIONS.
- (N) 2X4 / 2X6 INTERIOR WALL. GYP. BD. PLASTER FINISH W/ BENJAMIN'S MOORE'S SIMPLY WHITE COLOR PAINT.
- (N) 2X6 EXTERIOR WALL. FIRE RESISTANCE RATING NOT LESS THAN 1-HOUR TESTED IN ACCORDANCE WITH ASTM E 119, UL 263 OR SECTION CBC 703.3 WITH EXPOSURE FROM BOTH SIDES WHERE LESS THAN 5', PER CRC TABLE R302.1(1), RE: 43/A5.2
- TEMP. GL. WALL
- DESIGNATES FULL-HEIGHT STRUCTURAL RETAINING WALLS AT FIRST FLOOR SEE SECTIONS AND DETAILS

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REVISIONS

REV #	REV DATE	REV DESCRIPTION
4	09/13/2022	PC 1
5	09/14/2022	GARAGE PC 1
6	09/16/2022	PC 2
8	10/17/2022	CLIENT REV. #1
9	11/07/2022	CLIENT REV. #2
11	03/27/2023	CLIENT REV. #3
12	04/22/2024	CLIENT REV. #4

SEAL



PROJECT

BAUER RESIDENCE

SAN CARLOS 2SW OF 1ST,  
 CARMEL-BY-THE-SEA, CA  
 93921

(APN 010-126-017-000)

CLIENT

EMILY YANG BAUER  
 CALIFORNIA COAST LLC  
 1440 OLEADA ROAD  
 PEBBLE BEACH, CA 93953  
 PHONE: 831-917-7353

SHEET TITLE

DEMO AND PROPOSED  
 FLOOR PLANS

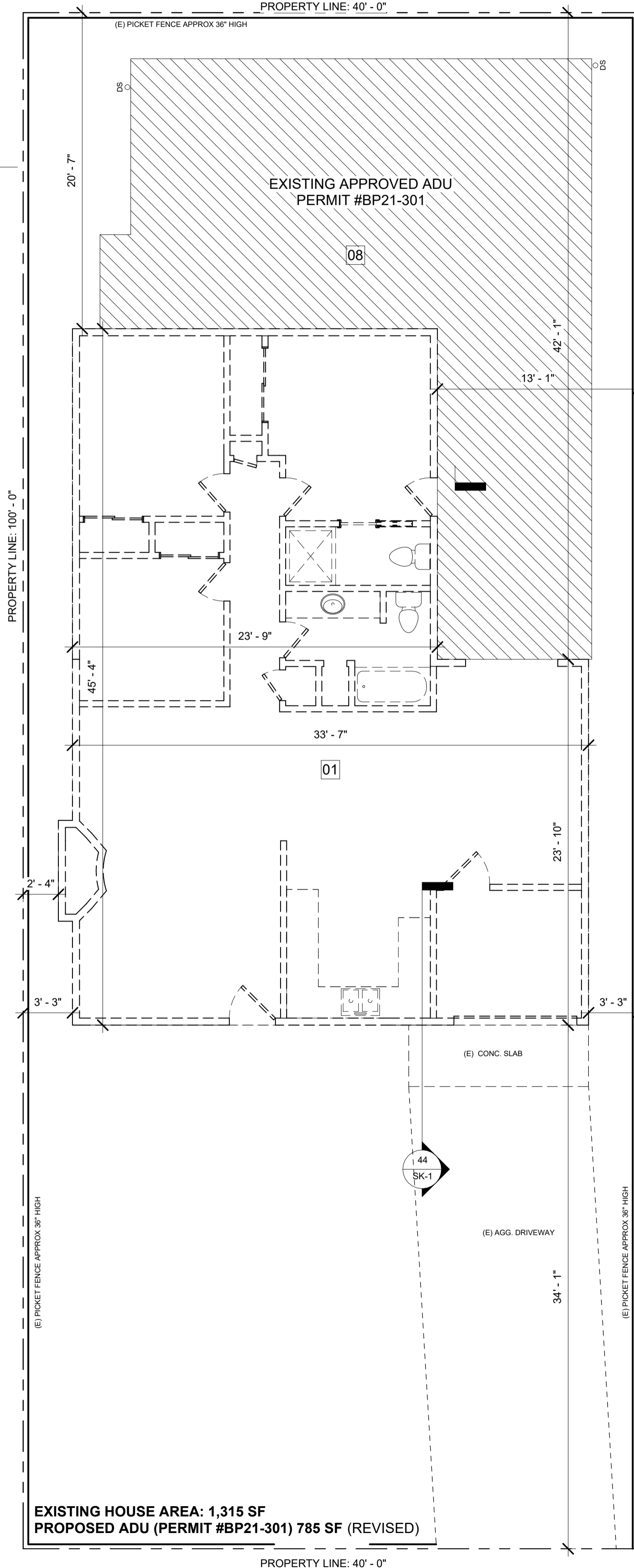
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TECHNICIAN: ER

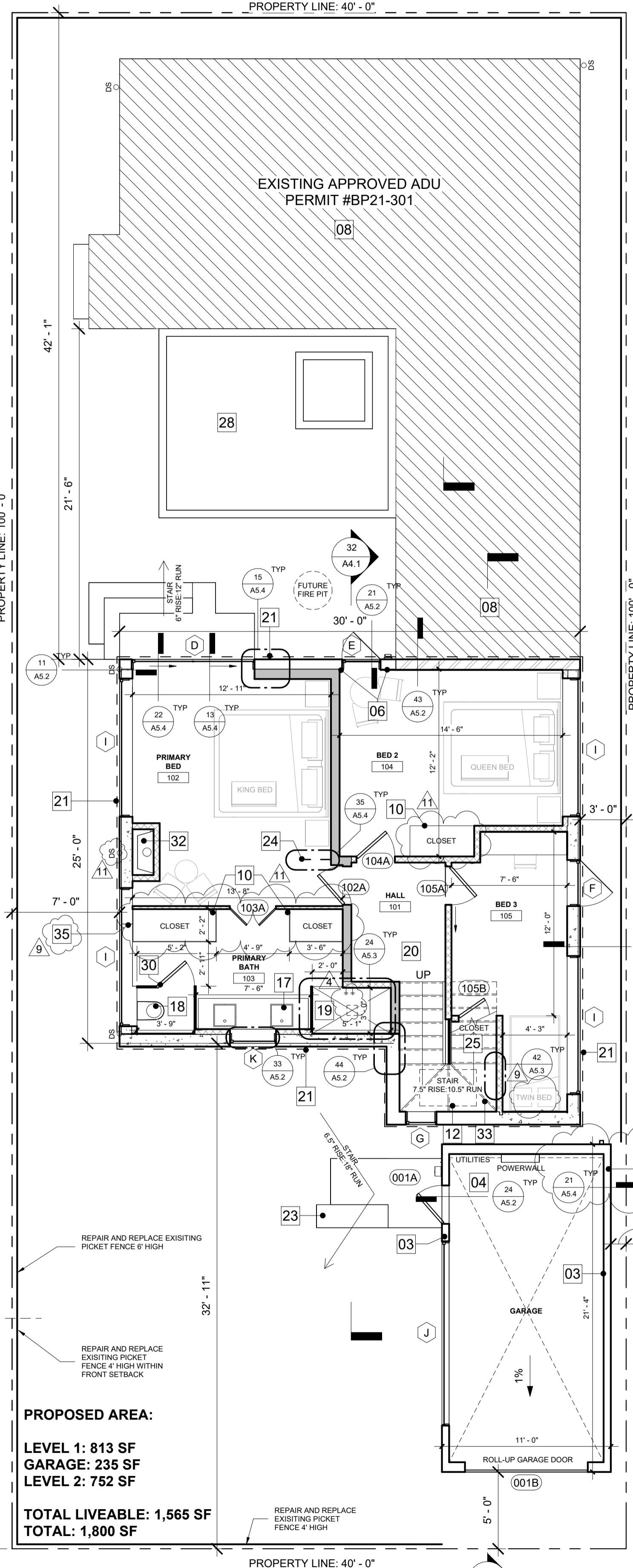
PROJECT MANAGER: AGD

JOB NUMBER: 467  
 SHEET NUMBER

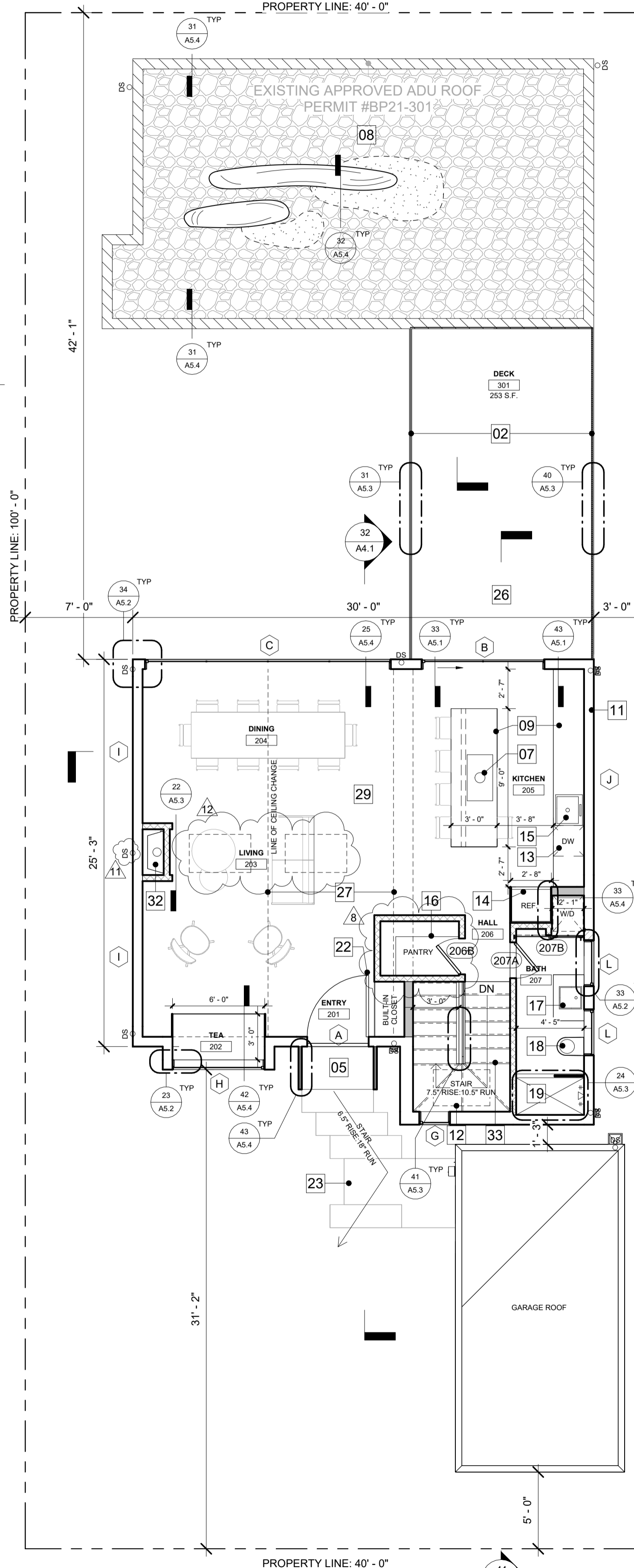
A2.1



44 DEMO FLOOR PLAN  
 3/16" = 1'-0"



34 PROPOSED FLR. 1 PLAN  
 3/16" = 1'-0"



24 PROPOSED FLR. 2 PLAN  
 3/16" = 1'-0"

14 LEGEND FLOOR PLAN

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**REVISIONS**

REV #	REV DATE	REV DESCRIPTION
4	09/13/2022	PC 1
9	11/07/2022	CLIENT REV. #2
12	04/22/2024	CLIENT REV. #4

**SEAL**



**PROJECT**

BAUER RESIDENCE

SAN CARLOS 2SW OF 1ST,  
 CARMEL-BY-THE-SEA, CA  
 93921

(APN 010-126-017-000)

**CLIENT**

EMILY YANG BAUER  
 CALIFORNIA COAST LLC  
 1440 OLEADA ROAD  
 PEBBLE BEACH, CA 93953  
 PHONE: 831-917-7353

**SHEET TITLE**

REFLECTED CEILING  
 PLAN

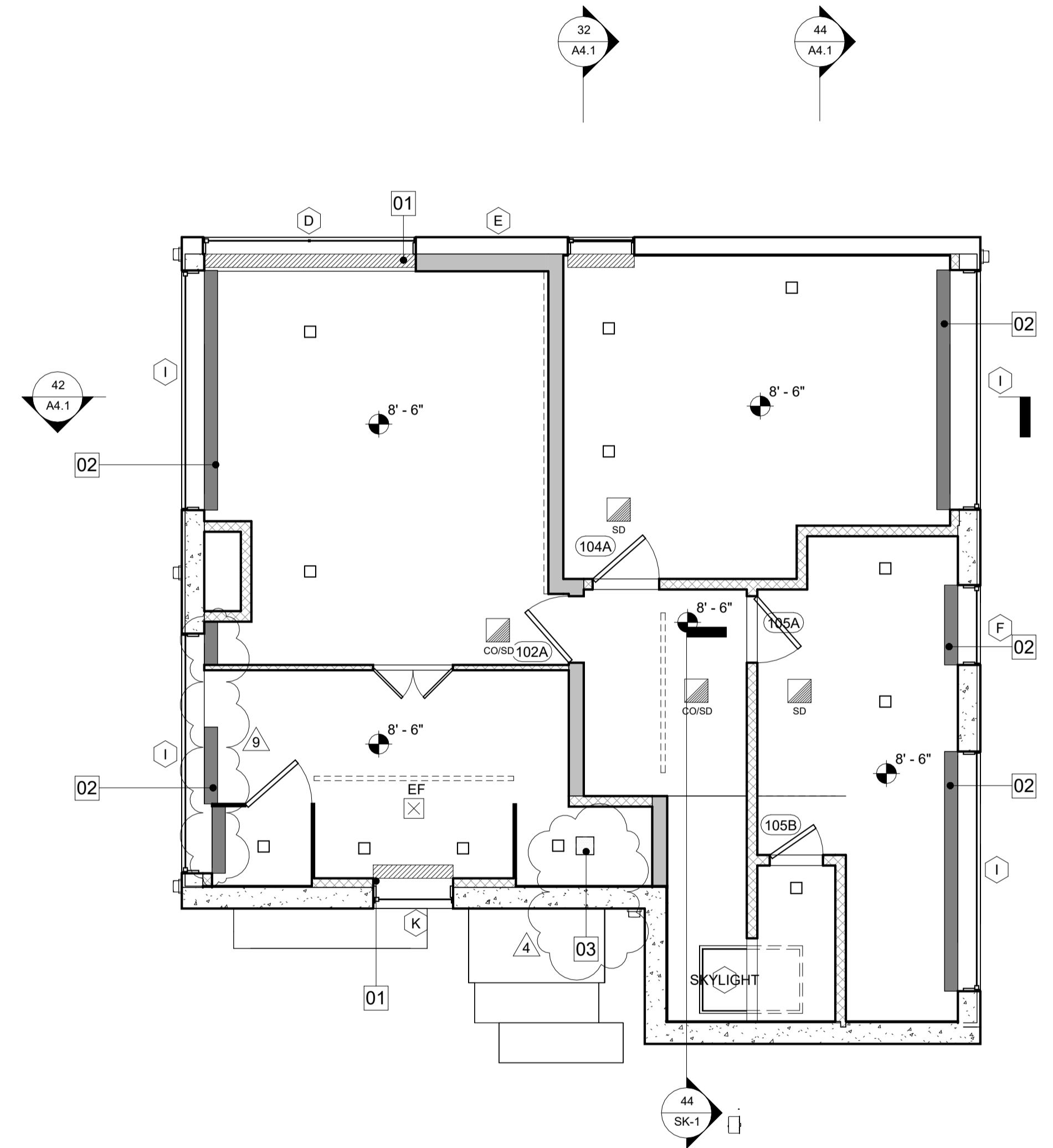
**DATE:** 08/27/2024

**TECHNICIAN:** ER

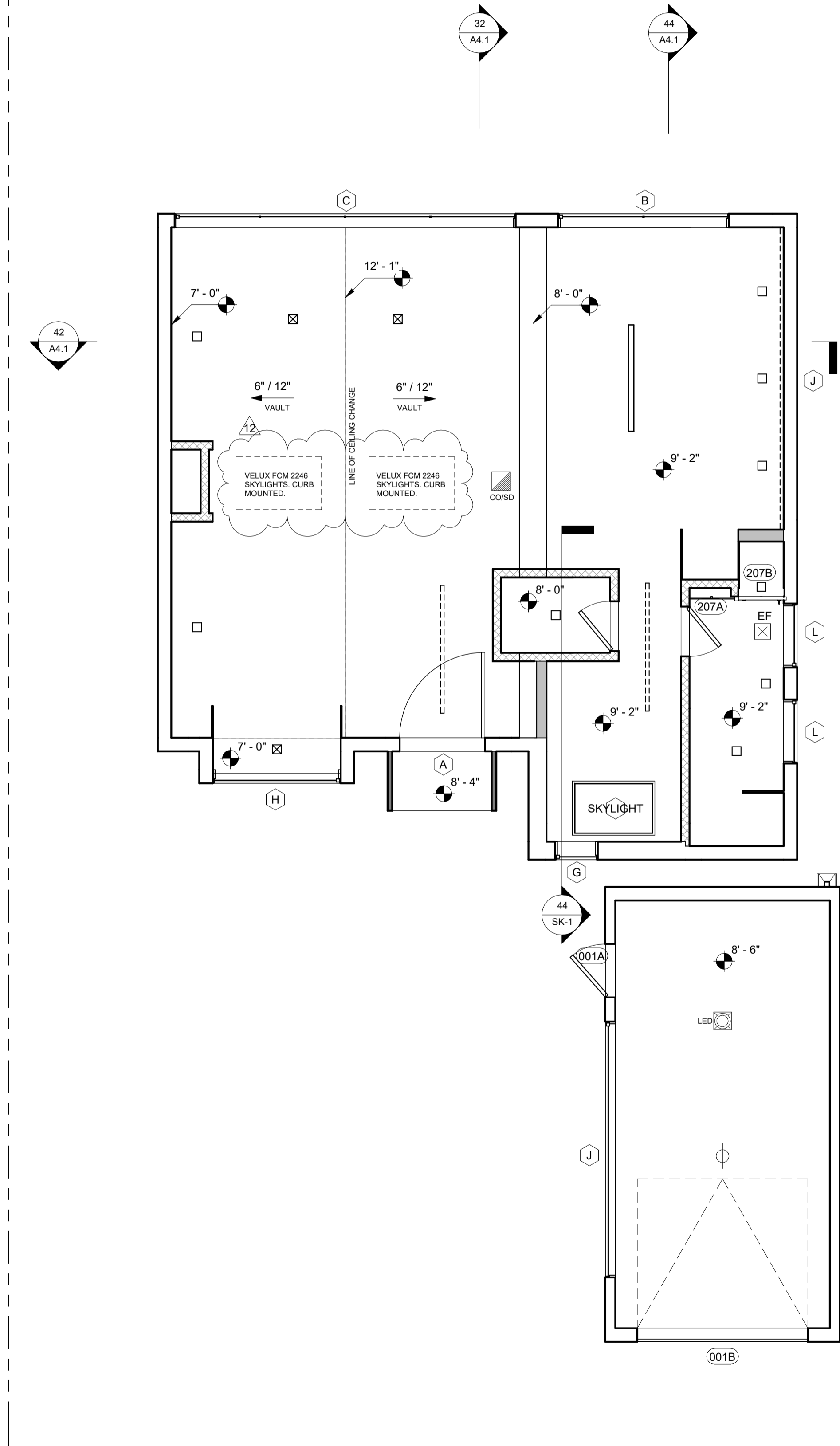
**PROJECT MANAGER:** AGD

**JOB NUMBER:** 467  
**SHEET NUMBER**

A2.2



**44** (N) LEVEL 1 RCP  
 1/4" = 1'-0"



**34** (N) LEVEL 2 RCP  
 1/4" = 1'-0"

**ELECTRICAL SYMBOLS:**

- CEILING-HUNG HORIZONTAL LINE LIGHTING, 5' LENGTH. LP10356-WH - LED PENDANT - VEGA - WHITE". KUZ2629145.
- EXTERIOR STEP-RECESSED LINEAR LED LIGHTING PER PLAN DETAILS. DIODELED ALPHATECH LINEAR LED LIGHTING. LENGTH PER PLAN. (EXTERIOR USE TO BE NO MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E. APPROXIMATELY 225 LUMENS))
- WALL-RECESSED PURE EDGE LIGHTING VEIL LIGHT AT WALL CORNER. FLOOR-TO-CEILING. PUREEDGE TRULINE 24VDC PLASTER-IN LED SYSTEM.
- HORIZONTAL LINE LIGHTING BELOW CASEWORK (LOWERS OR UPPERS WHERE APPLICABLE). LENGTH PER PLAN. DIODELED CHANNEL BUNDLE. SLIM.
- CEILING-RECESSED LIGHT. WHISPER RECESSED LIGHTING 1/2" APERTURE.
- 1" SQUARE CEILING-RECESSED LIGHT. NORA LIGHTING NIOB-1SNG 1" IOULITE BWF SQUARE REFLECTOR WITH ROUND APERTURE.
- WALL-MOUNTED SCOSNCE LIGHT. KUZCO CASA EW71403 OUTDOOR LED SCOSNCE (TO BE NO MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E. APPROXIMATELY 225 LUMENS))
- GROUND-MOUNTED PATH LIGHT. HUNZA TWIG LIGHT. (TO BE NO MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E. APPROXIMATELY 225 LUMENS))
- ASTRO FUSE SWITCHED LED BEDSIDE LIGHT.
- PURE EDGE LIGHTING VEIL CEILING LIGHT PLASTER-IN SYSTEM. 24VDC. LENGTH PER PLAN.

RE: SHEET E1.2 FOR EXTERIOR LIGHTING SPECIFICATION SHEETS PER CARMEL-BY-THE-SEA REQUIREMENTS

- CEILING MOUNTED DUAL TECHNOLOGY VACANCY SENSOR. WATTSTOPPER DT-355 OR EQUAL
- DUPLEX OUTLET
- QUAD OUTLET
- GFCI PROTECTED OUTLET HEIGHT A.F.F. SHOWN
- GFCI USB ADAPTER
- WATERPROOF OUTLET
- FLOOR OUTLET
- SWITCH S (OS = OCCUPANCY SENSOR, D=DIMMER)
- # - WAY SWITCH
- RECESSED LED FIXTURE
- WALL MOUNTED LED FIXTURE
- UNDER CABINET LED STRIP
- 2X4 LED TROFFER
- THERMOSTAT, "NEST" OR APPROVED EQUAL
- WIRELESS ACCESS POINT
- STRUCT. CABLE @ CABLE TV OR DEDICATED LOCATION 2COAX + 2CAT6
- SMOKE DETECTOR
- COMBINED CARBON MONOXIDE / SMOKE DETECTOR
- DOOR BELL
- GARAGE DOOR MOTOR
- ELECTRICAL SERVICE PANEL
- CEILING FAN
- CEILING FAN WITH LIGHTS
- PENDANT LIGHT
- EXHAUST FAN

**24** ELECTRICAL LEGEND

**KEYNOTES: REFLECTED CEILING PLAN**

1. 4" WIDE FLASHED OPENING IN CEILING FOR RECESSED BLIND. BLINDSPACE S100X100 CEILING-CONCEALED ROLLER BLIND SYSTEM LENGTH PER PLAN.
2. SPACE CLEAR FOR NON-RECESSED BLINDS PROVIDED BY CLIENT AT FUTURE DATE.
3. RAINFALL SHOWERHEAD.

**14** KEYNOTES REFLECTED CEILING PLAN

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**REVISIONS**

REV #	REV DATE	REV DESCRIPTION
6	09/16/2022	PC 2
11	03/27/2023	CLIENT REV. #3
12	04/22/2024	CLIENT REV. #4

**SEAL**



**PROJECT**

BAUER RESIDENCE  
 SAN CARLOS 2SW OF 1ST,  
 CARMEL-BY-THE-SEA, CA  
 93921  
 (APN 010-126-017-000)  
 CLIENT  
 EMILY YANG BAUER  
 CALIFORNIA COAST LLC  
 1440 OLEADA ROAD  
 PEBBLE BEACH, CA 93953  
 PHONE: 831-917-7353

**SHEET TITLE**

DEMO AND PROPOSED  
 ROOF PLAN

DATE: 08/27/2024

TECHNICIAN: ER

PROJECT MANAGER: AGD

JOB NUMBER: 467  
 SHEET NUMBER

A2.4

**KEYNOTES: ROOF**

- (E) ROOF AND FRAMING TO BE DEMOLISHED. (APPROXIMATE ROOF PROFILE)
- (N) STANDING SEAM METAL ROOF AND FRAMING PER STRUCTURAL. "CHARCOAL" COLOR PREMIER-LOCK METAL ROOFING (ACCENT RIB STYLE) FROM TAYLOR METAL.
- (N) RAISED DECK ON EXISTING APPROVED ADU ROOF. INSTALL SLOPED MEMBRANE UNDER PEDESTAL DECKING.
- (N) 42" HIGH TEMPERED GLASS GUARDRAIL ON PROPOSED ADU ROOF. 72" HIGH OPAQUE WOOD FENCING ON NORTH SIDE OF ROOF PER ELEVATIONS FOR PRIVACY SCREENING. RE: 14/A2.4
- (N) GRAVEL BALLAST OVER LOW SLOPE MEMBRANE ROOF.
- (N) SKYLIGHT. RE: WINDOW SCHEDULE. FLASHING TO MATCH ROOF COLOR.
- (N) REDWOOD PLANK ENTRY STEPS. RE: ELEVATIONS
- (N) METAL CHIMNEY.
- (N) METAL PANEL ROOF TO MATCH STANDING SEAM.
- (N) LANDSCAPING. RE: SITE PLAN & LANDSCAPE
- JAPANESE STONE GARDEN WITH TURF ELEMENTS OVER MEMBRANE ROOFING ON UNOCCUPIED ADU ROOF AREA. RE: 13/A2.4
- ZURN ROOF DRAIN. ROUTE TO DOWNSPOUT PER PLAN. RE: DETAILS FOR IN-WALL DOWNSPOUT
- VENT THROUGH ROOF PER WASTE PLAN.
- MAXIMUM AVAILABLE SOLAR AREA. TESLA PANELS. REFER TO SOLAR DEFERRED SUBMITAL.

**11 KEYNOTES ROOF**

**GENERAL NOTES: DEMO ROOF PLAN**

- CONTRACTOR TO CONTACT ALL UTILITIES PRIOR TO DEMO. DISCONNECT OR TURN OFF UTILITIES AS NEEDED.

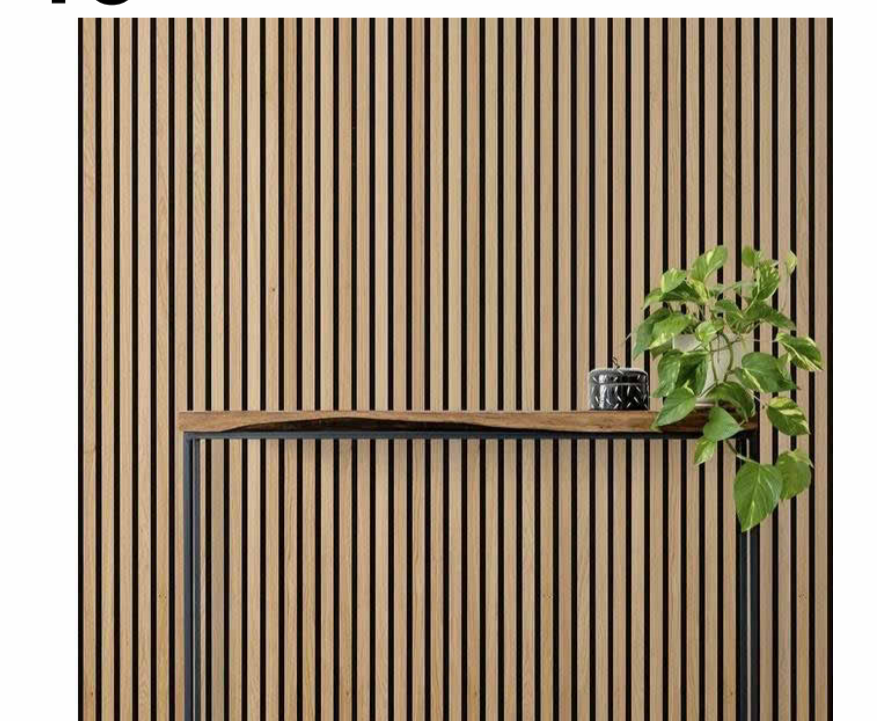
**GENERAL NOTES: ROOF PLAN**

- FLASHING AND COUNTER FLASHING OF VENTS AND ROOF TO WALL CONNECTIONS ARE TO COMPLY WITH R703.8 AND R903.2 IRC FLASHING AT SLOPE TO FLAT WALL ARE TO RECEIVE STEPPED FLASHING.
- ROOF COVERINGS IN HIGH FIRE HAZARD SVERTY ZONES AND ALL OTHER AREAS SHALL BE FIRE RETARDANT CLASS B MINIMUM UNLESS PROHIBITED BY THE LOCAL FIRE AGENCY.
- ROOF SHEATHING SHALL BE INSTALLED WITH RADIANT BARRIER CONTRACTOR TO SUBMIT SHEATHING OR RADIANT BARRIER MATERIAL SPECIFICATIONS PRIOR TO MAIL FOR APPROVAL BY ARCHITECT.

**12 GENERAL NOTES ROOF PLAN**



**13 ROOF DECK ROCK GARDEN EXAMPLE**



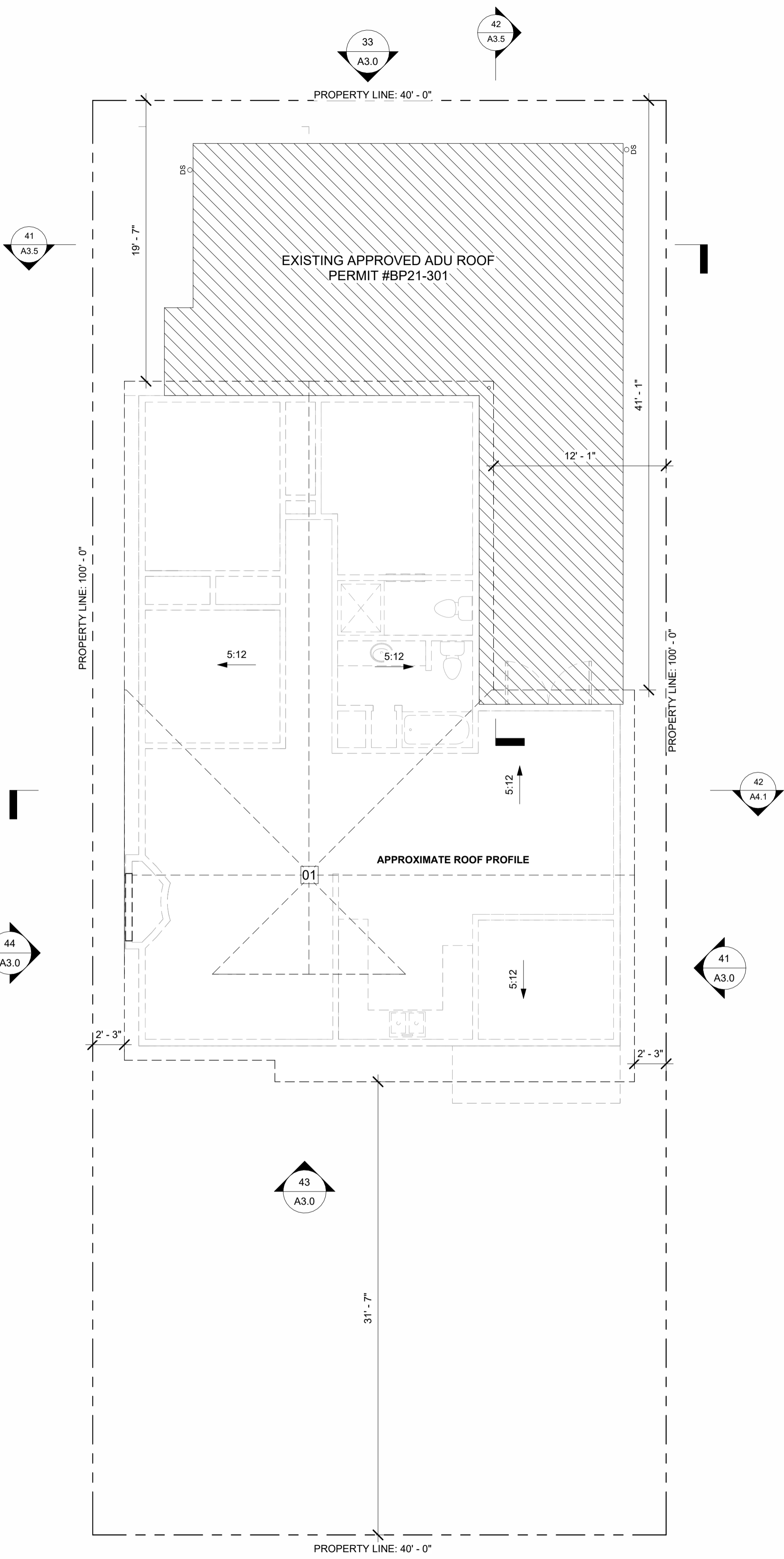
RE: 40/A5.3

**14 PRIVACY FENCE EXAMPLE**

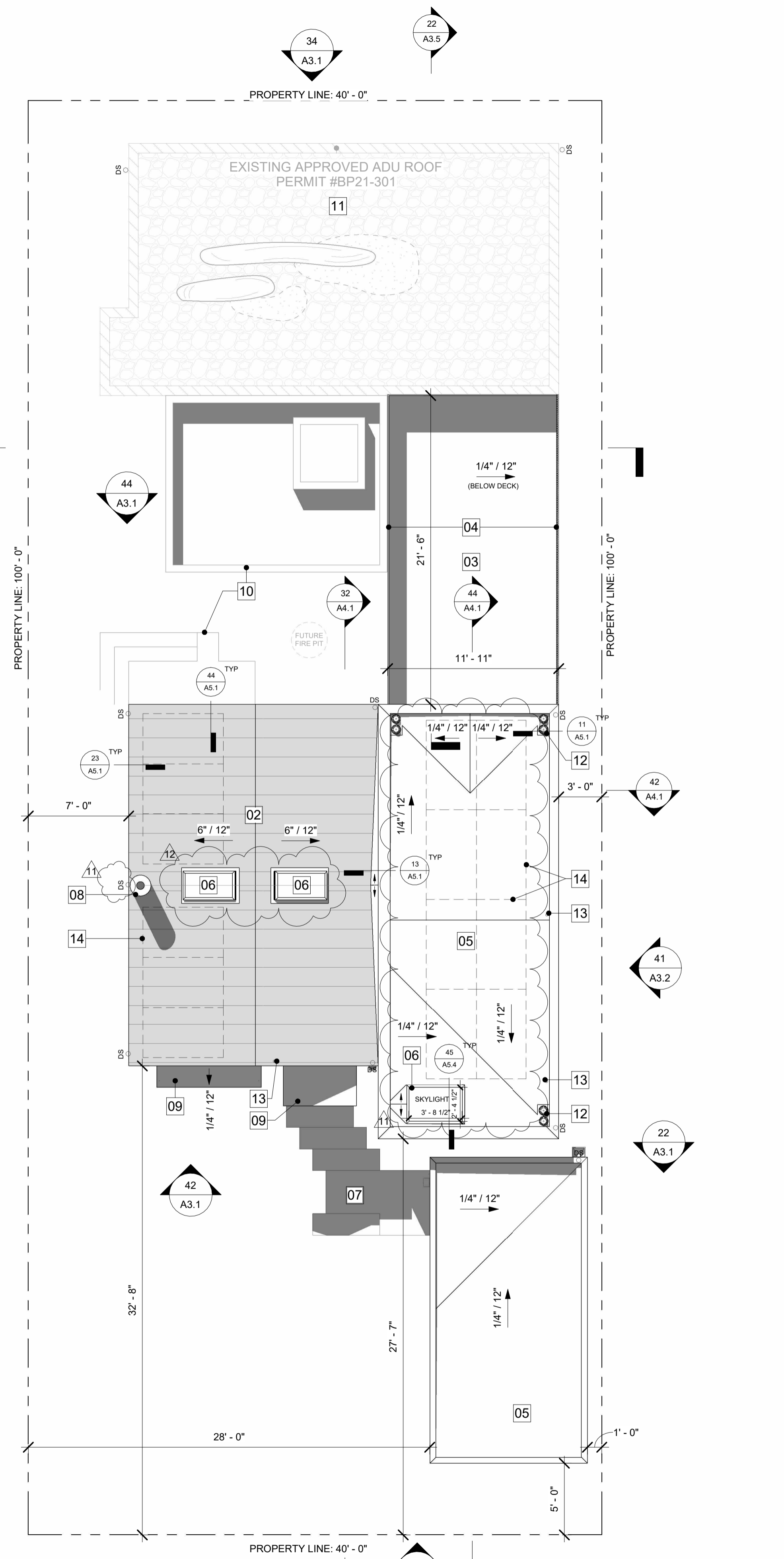
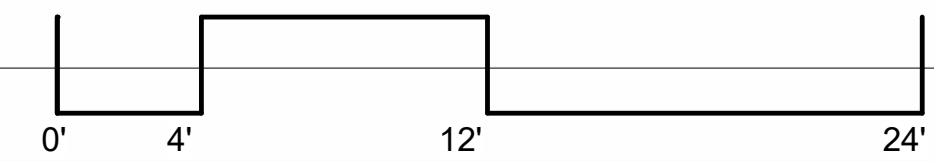
**LEGEND: ROOF PLAN**

- WALL OR OBJECT BELOW
- - - REMOVE (E) ROOF
- ||||| (N) ROOF

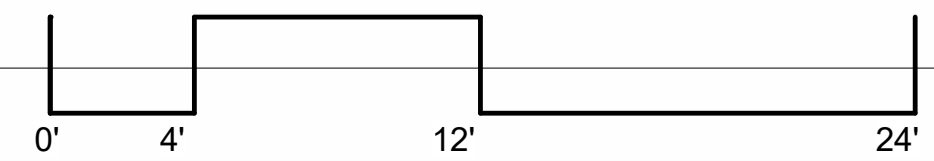
**15 LEGEND ROOF PLAN**



**44 DEMO ROOF PLAN**  
 3/16" = 1'-0"



**24 PROPOSED ROOF PLAN**  
 3/16" = 1'-0"



KEYNOTES: ELEVATION	
1. (N) ROOFING PER PLANS.	12. (N) METAL CHIMNEY
2. (N) WINDOW RE: SCHEDULE.	13. DOWNSPOUT. PAINT TO MATCH EXTERIOR.
3. (N) GLASS ENTRY DOOR RE: SCHEDULE.	14. (N) 42" HIGH GUARDRAIL ON EXISTING APPROVED ADU ROOF. TEMPERED GLASS. 72" HIGH OPAQUE WOOD SCREENING FENCE ON NORTH SIDE
4. (N) EXTERIOR WALL. 10 1/4" HARDIE SHIPLAP NICKLE GAP HORIZONTAL SIDING	15. (N) RAISED DECK ON EXISTING APPROVED ADU ROOF DECK.
5. (N) EXTERIOR WALL. NON-COMBUSTIBLE STEEL PANEL FINISH TO MATCH ROOFING.	16. ZURN WALL ROOF DRAIN. CONTRACTOR TO VERIFY EXACT HEIGHT FROM GRADE
6. (N) METAL PANEL SURROUND. METAL PANEL FINISH TO MATCH METAL ROOFING FINISH.	17. (N) REDWOOD PLANK LANDING AND STEPS PER SITE PLAN AND LANDSCAPE.
7. LINE OF (N) INTERIOR FINISHED FLOORING.	18. PARTIAL STRUCTURAL RETAINING WALL INTEGRATED AT FIRST FLOOR WALL. SEE SECTIONS AND DETAILS.
8. LINE OF (N) INTERIOR FINISHED CEILING.	19. LINE OF EXISTING GRADE IF DIFFERENT FROM PROPOSED.
9. (N) REDWOOD PLANK STEPS. NO STEP GREATER THAN 30" ABOVE FINISH GRADE.	
10. (N) GRADING PER SITE PLAN	
11. CONCRETE STEM WALL FOUNDATION AT GARAGE.	

GENERAL NOTES: ELEVATION	
1.	FLASHING AND COUNTER FLASHING OF VENTS AND ROOF TO WALL CONNECTIONS ARE TO COMPLY WITH R703.8 AND R903.2 IRC. FLASHING AT SLOPE TO FLAT WALL ARE TO RECEIVE STEPPED FLASHING.
2.	ALL GLAZING (FENESTRATION) WILL BE INSTALL WITH A CERTIFIED LABEL ATTACHED, SHOWING THE U-FACTOR.

**11 GENERAL NOTES ELEVATION**

ALL ELEVATION MEASUREMENTS TAKEN FROM (E) F.F. = 0' - 0" REFER TO ACTUAL HEIGHT PER ELEVATION TAKEN IN SITE SURVEY.

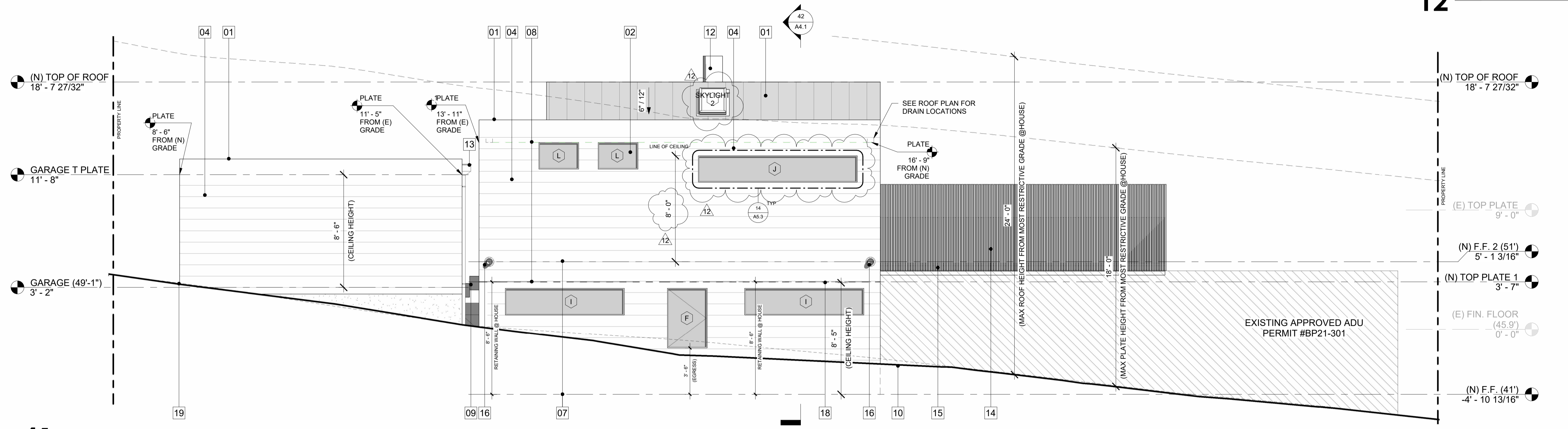
PLATE AND RIDGE HEIGHTS ARE TAKEN FROM THE MOST RESTRICTIVE HEIGHT BETWEEN (N) AND (E)

1/4" = 1'

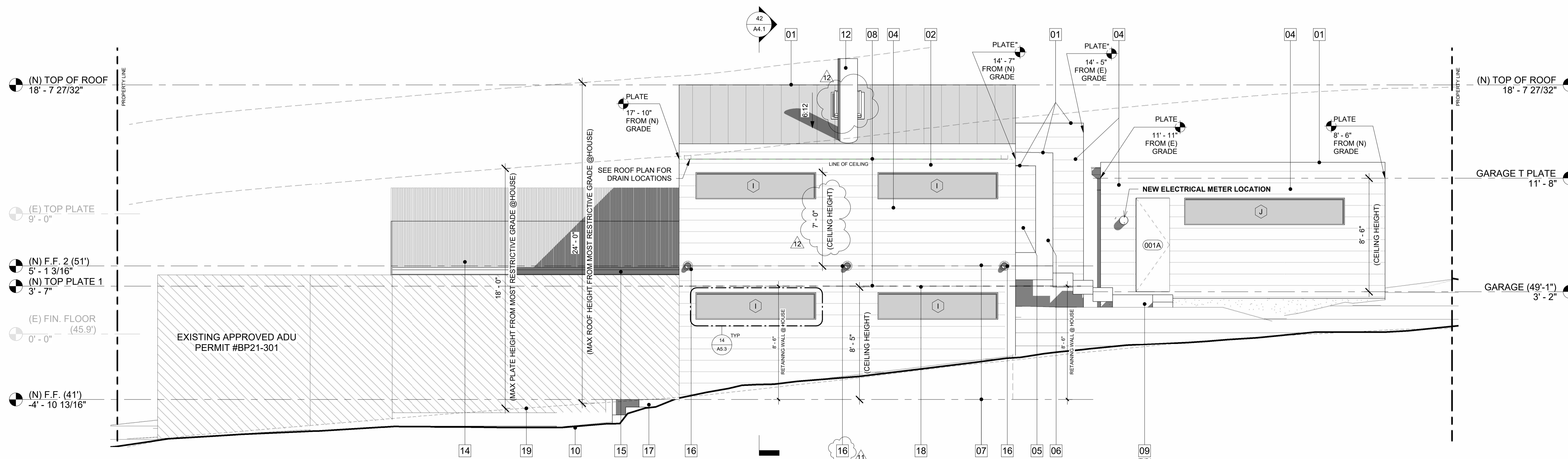
SCALE FOR ALL DRAWINGS ON THIS SHEET

**21 KEYNOTES ELEVATION**

**12 ELEVATION LEGEND**



**41 NORTH ELEVATION**  
 1/4" = 1'-0"



**44 SOUTH ELEVATION**  
 1/4" = 1'-0"

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REV #	REV DATE	REV DESCRIPTION
4	09/13/2022	PC 1
11	03/27/2023	CLIENT REV. #3
12	04/22/2024	CLIENT REV. #4



**PROJECT**  
 BAUER RESIDENCE  
 SAN CARLOS 2SW OF 1ST,  
 CARMEL-BY-THE-SEA, CA  
 93921  
 (APN 010-126-017-000)

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**SHEET TITLE**  
 PROPOSED ELEVATIONS

**DATE:** 08/27/2024

**TECHNICIAN:** ER

**PROJECT MANAGER:** AGD

**JOB NUMBER:** 467  
 SHEET NUMBER