



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24214

Owner Name: CRUZ RENO TR

Case Planner: Jacob Olander, Assistant Planner

Date Posted: _____

Date Approved: 08/30/2024

Project Location: Monte Verde 3 NW of 11th Carmel-By-The-Sea

APN #: 010185007000 **BLOCK/LOT:** /

Applicant: Franshisca Delgad- Claudio Ortiz Design Group

Project Description: This approval of Design Study (DS 24214 (Cruz)) authorizes amendments to existing Design Study Approval (DS 23-298) for alterations to an existing single-family residence located on Monte Verde 3 NW of 11th Avenue in the Single Family Residential (R-1) District. The modifications approved under this Design Study include: 1. Changing doors labelled 4 and 5A on the plans from sliders to double French doors; 2. Changing window 12 for smaller windows; 3. Changing window 13 to double French doors; 4. Changing door 7 from a slider to a double casement window. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the application materials dated approved by Community Planning & Building Department on August 30, 2024, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 24214 (Cruz)

Location: Monte Verde 3 NW of 11th Avenue; 010-185-007-000

Date of Action: August 30, 2024

Project Description:

DS 24214 (Cruz) authorizes amendments to previously approved Design Study Applications (DS 23-298 (Cruz)) located at Monte Verde 3 NW of 11th Avenue in the Single-Family (R-1) District. APN: 010-185-007-000

The proposed changes include:

- Changing doors two slider doors to double French doors. Changing out windows to a smaller size. Changing one window for double French doors and one door for a double casement window.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
<p>The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.</p> <p>For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision making. Findings checked "yes" may or may not be discussed depending on the issue(s).</p>		
CMC 17.58.060.B Findings for Design Review Approval	YES	NO
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
Additional Staff Analysis/Discussion:		
No additional analysis needed.		

ENVIRONMENTAL REVIEW
<p>The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i>, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i>, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.</p>
<p>Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (Class 3) – New Construction and Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.</p>
<p>Additional Staff Analysis/Discussion: The project consists of an amendment to a previously approved Design Study (DS 23-298) for changing doors two slider doors to double French doors. Changing out windows to a smaller size. Changing one window for double French doors and one door for a double casement window. The amendment is for a project on a new single-family residence that is currently under construction. The new single-family dwelling, project number DS 23-298 was Categorical Exempt under Class 3, New Construction or Conversion of Small Structures, by the Planning Commission (Resolution 2023-54-PC). The proposed changes to</p>

the windows and doors amend the initial approval and does alter or change the project of the construction of a new single-family dwelling, which is currently under construction.

CONDITIONS OF APPROVAL	
No.	
1.	<p>Authorization. This approval of Design Study (DS 24214 (Cruz)) authorizes amendments to existing Design Study Approval (DS 23-298) for alterations to an existing single-family residence located on Monte Verde 3 NW of 11th Avenue in the Single Family Residential (R-1) District. The modifications approved under this Design Study include:</p> <ol style="list-style-type: none"> 1. Changing doors labelled 4 and 5A on the plans from sliders to double French doors; 2. Changing window 12 for smaller windows; 3. Changing window 13 to double French doors; 4. Changing door 7 from a slider to a double casement window. <p>Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the application materials dated approved by Community Planning & Building Department on August 30, 2024, unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Department.</p>
3.	<p>Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>
4.	<p>Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>
5.	<p>Conditions of Approval. These Conditions of Approval shall be signed and returned to the Community Planning and Building Department prior to the issuance of a Building Permit/Building Permit Revision. These signed conditions shall also be printed on a full-size plan sheet in the building plan set along with any prior conditions of approval of prior Design Study Applications.</p>
6.	<p>Building Permit Revision Required. Prior to commencing work on-site, the applicant shall apply for and obtain a building permit revision from the Community Planning & Building Department.</p>
7.	<p>Prior Conditions of Approval. All conditions of approval of the previous Design Study approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.</p>

Acknowledgement and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

Date

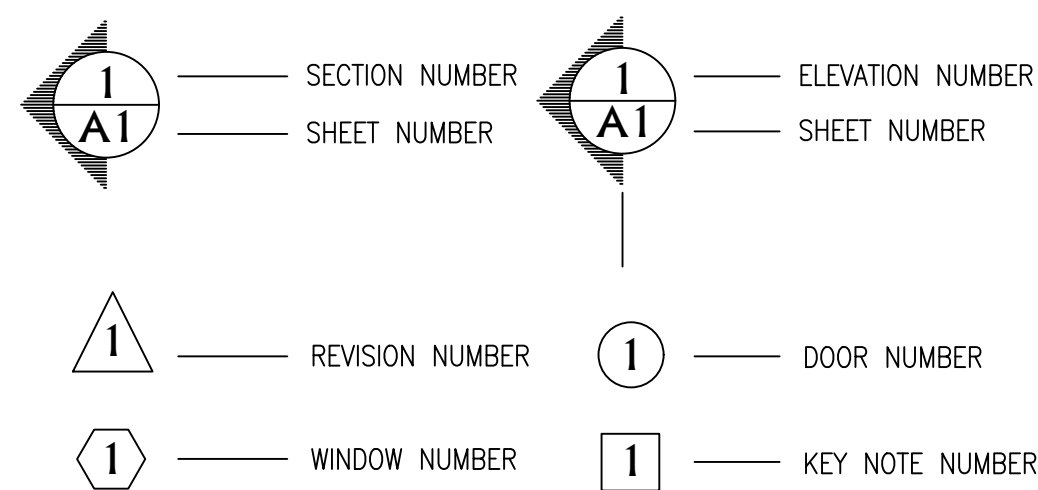
Once signed, please email to jolander@ci.carmel.ca.us.

ABBREVIATIONS

Not all of these abbreviations will apply to this project.

AT	ANCHOR BOLTS	EW	EACH WAY	NTS	NOT TO SCALE
AC	ASPHALTIC CONCRETE	EJ	EXPANSION JOINT	(N)	NEW
ADNDL	ADDITIONAL	EL	ELEVATION	OC	ON CENTER
AFF	ABOVE FINISH FLOOR	EOS	EDGE OF SLAB	OD	OUTSIDE DIAMETER
AGS	AGGREGATE	EQ	EQUAL	OPG	OPENING
ALT	ALTERNATE	EXP B	EXPANSION BOLT	OPH	OPPOSITE HAND
ALUM	ALUMINUM	EXT	EXTERIOR	PCC	PRECAST CONCRETE
APPROX	APPROXIMATE	FF	FINISH FLOOR	PERP	PERPENDICULAR
ARCH	ARCHITECTURAL	FG	FINISH GRADE	PL	PLATE
BLDG	BUILDING	FHWS	FLAT HEAD WOOD SCREW	PLYWD	PLYWOOD
BLKG	BLOCKING	FN	FIELD NAILING	PSF	POUNDS PER SQUARE FOOT
BM	BEAM	FND	FOUNDATION	PSI	POUNDS PER SQUARE INCH
BN	BOUNDARY NAILING	BLOCK	BLOCK	PT	PRESSURE TREATED
BOC	BOTTOM OF CONCRETE	FOM	FACE OF MASONRY	R	RADIUS
BOF	BOTTOM OF FOOTING	FOS	FACE OF STUD	REINF	REINFORCING
BOT	BOTTOM	FT (*)	FOOT FEET	REQ'D	REQUIRED
BP	BUTTON PUNCH	FTG	FOOTING	SAD	SEE ARCHITECTURAL DRAWINGS
BRG	BEARING	GA	GALVE	SM	SIMILAR
BRG PL	BEARING PLATE	GALV	GALVANIZED	REQ'D	REQUIRED
BTW	BETWEEN	GL	GLUE LAMINATED LUMBER	SJ	SHRINKAGE JOINT
CCJ	CRACK CONTROL JOINT	GWB	GYPSUM WALL BOARD	SLH	SHORT LEG HORIZONTAL
CC	CENTER TO CENTER	HAS	HEADED ANCHOR STUD	SLV	SHORT LEG VERTICAL
CIP	CAST IN PLACE	HDR	HEADER	SOG	SLAB ON GRADE
CJ	CONSTRUCTION JOINT	HK	HOOK	SQ	SQUARE
CTR	CENTER	HORIZ	HORIZONTAL	SS	STAINLESS STEEL
CL	CENTER LINE	HSB	HIGH STRENGTH BOLT	STD	STANDARD
CLG	CEILING	ID	INSIDE DIAMETER	STL	STEEL
CLR	CLEAR	IN (*)	INCH	SWS	SHEAR WALL SCHEDULE
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	SYM	SYMMETRICAL
COL	COLUMN	JUST	JOIST	T 24	TITLE 24 CALIFORNIA CODE
CONC	CONCRETE	JT	JOINT	TEN	TYPICAL EDGE NAILING
CONN	CONNECTION	JH	JOIST HANGER	THK	THICK
CONSTR	CONSTRUCTION JOINT	LLH	LONG LEG HORIZONTAL	TOC	TOP OF CONCRETE
CONTINUIS	CONTINUOUS	LLV	LONG LEG VERTICAL	TOP	TOP OF FOOTING
CITSK	COUNTER SINK	LS	LAG SCREW	T.O.SLAB	TOP OF SLAB
DBL	DOUBLE	LT WT	LIGHT WEIGHT	TOC	TOP OF STEEL
DEPR	DEPRESSED	LONG	LONG	TOW	TOP OF WALL
DF	DOUGLAS FIR	LWC	LIGHT WEIGHT CONCRETE	TS	TUBE STEEL
DIA. (ø)	DIAMETER	MAX	MAXIMUM	TYP	TYPICAL
DIA	DIAGONAL	MB	MACHINE BOLT	T&B	TOP AND BOTTOM
DM	DIMENSION	MCJ	MASONRY CONTROL JOINT	TN	TOE NAIL
DN	DOWN	MECH	MECHANICAL	UNG	UNDISTURBED NATURAL GRADE
DWG	DRAWING	MEZZ	MEZZANINE	UNLESS OTHERWISE NOTED	
(E)	EXISTING	MIN	MINIMUM	W/W	WELED WIRE FABRIC
EA	EACH	MISC	MISCELLANEOUS	W/	WITH
EF	EACH FACE	MW	MALLEABLE IRON WASHER		
EN	EDGE NAILING	NIC	NOT IN CONTRACT		
		NOM	NOMINAL		

SYMBOLS



PROVIDE A COPY OF THE OPERATION & MAINTENANCE MANUAL TO HOME OWNERS

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts.
 - Space conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30 & 60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspection verifications required by the enforcing agency or this code.

SHEET INDEX

ARCHITECTURAL

- CN COVER SHEET & GENERAL NOTES
 A1.0 FLOOR PLAN (EXISTING)
 A1.1 FLOOR PLAN (PROPOSED)
 A2.0 ELEVATIONS (EXISTING)
 A2.1 ELEVATIONS (PROPOSED)
 A3.0 WINDOW & DOOR SCHEDULE (EXISTING)
 A3.1 WINDOW & DOOR SCHEDULE (PROPOSED)

Cruz Residence

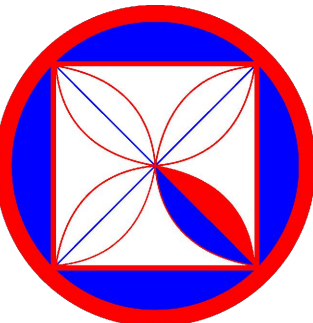
Single Family Residence Remodel
 CARMEL-BY-THE-SEA, California

A.P.N. 010-185-007-000



EAST ELEVATION
 EAST ELEVATION

Approved 8/30/2024
 DS 24214 (Cruz)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Assistant Planner



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 26615 CARMEL CENTER PLACE #102
 CARMEL, CA 93921
 OFFICE: 831.676.4146
 CLAUDIO@CODG.COM
 WWW.CODG.COM

THE SERVICES, AGREEMENTS, INTENTIONS AND APPROVALS OF THE CITY OF CARMEL-BY-THE-SEA AND THE CALIFORNIA DEPARTMENT OF CONSTRUCTION ARE HEREBY ACKNOWLEDGED AND ACCEPTED. THE DESIGNER HAS CONDUCTED A VISUAL VERIFICATION OF THE PROJECT AND HAS DETERMINED THAT THE PROJECT IS IN ACCORDANCE WITH THE CITY OF CARMEL-BY-THE-SEA AND THE CALIFORNIA DEPARTMENT OF CONSTRUCTION. THE DESIGNER HAS CONDUCTED A VISUAL VERIFICATION OF THE PROJECT AND HAS DETERMINED THAT THE PROJECT IS IN ACCORDANCE WITH THE CITY OF CARMEL-BY-THE-SEA AND THE CALIFORNIA DEPARTMENT OF CONSTRUCTION. THE DESIGNER HAS CONDUCTED A VISUAL VERIFICATION OF THE PROJECT AND HAS DETERMINED THAT THE PROJECT IS IN ACCORDANCE WITH THE CITY OF CARMEL-BY-THE-SEA AND THE CALIFORNIA DEPARTMENT OF CONSTRUCTION.

PROJECT TEAM

DESIGN: CLAUDIO ORTIZ DESIGN GROUP INC. 26615 CARMEL CENTER PLACE #102 CARMEL, CA. 93923 TEL. (831) 626-4146	OWNER: RENO CRUZ MONTE VERDE 3 NW OF 11TH CARMEL, CA. 93921
STRUCTURAL ENGINEER: COA CHRIS OLIVAERA & ASSOCIATES 2201 FRANCISCO DR EL DORADO HILLS, CA. 95762 TEL. 916)-835-6073 CHRIS0602@SBCGLOBAL.NET	MECHANICAL ENGINEER: MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD. Suite 8 CARMEL, CA. 93923 TEL. (831) 372-8328 FAX. (831) 359-4173

GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:**
- 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA GREEN BUILDING STANDARD
- All construction, workmanship and materials shall conform with the requirements of the 2022 California Code Edition, and the Carmel by the Sea municipal code.
 - The contractor shall verify all dimensions, elevations and site conditions and shall become completely familiar with the construction documents prior to starting construction.
 - CODG, Inc. and Engineer shall be notified of any omissions or discrepancies in the working drawing and/or specifications before proceeding with any work so involved.
 - All dimensions take precedence over scale shown on plans, sections and details.
 - Specific notes and details take precedence over structural notes and typical details.
 - Where specific details are not provided, construction can follow details for similar conditions, unless conflicts occur.
 - The contractor shall be responsible for the design, installation and maintenance of all bracing and shoring required during construction until all construction is finalized.
 - Job site safety is the sole responsibility of the contractor.
 - See architectural drawings for the size and location of all door and window openings, location of nonbearing partitions, roof on floor elevations, roof slopes, architectural finishes, and other related information not indicated on the structural drawings.
 - See mechanical, electrical and/or architectural drawing for the size and location of pipes, conduits, floor drains, vents, ducts, and other similar penetrations not indicated on the structural drawings.
 - Fire Sprinklers- Provide Sprinkler Drawings to the Fire Marshal for Review & Approval prior to installation.
 - EPOXY and ANCHOR BOLTS:
Special Inspection required for epoxy set anchor bolts.

PROJECT DATA

FLOOR AREA

FAR ALLOWED	1,800.0 SQ.FT.	45.0%
PROPOSED	EXISTING	PROPOSED
MAIN DWELLING FLOOR AREA	1,029.5 SQ.FT.	1,029.5 SQ.FT.
MAIN DWELLING DEDUCTION	0.0 SQ.FT.	-28.8 SQ.FT.
MAIN DWELLING ADDITION	0.0 SQ.FT.	599.3 SQ.FT.
DETACHED CARPORT	0.0 SQ.FT.	200.0 SQ.FT.
TOTAL (P) GROSS FLOOR AREA:	1,029.5 SQ.FT.	25.7%
	1,800.0 SQ.FT.	45.0%

SITE COVERAGE

LAND COVERAGE ALLOWED	396.0 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	160.0 SQ.FT.	4.0% of SITE
TOTAL COVERAGE ALLOWED	556.0 SQ.FT.	13.9 %
IMPERVIOUS COVERAGE	EXISTING	PROPOSED
SOUTH WALKWAY	116.2 SQ.FT.	0.0 SQ.FT.
RET. WALL STEPS	0.0 SQ.FT.	6.0 SQ.FT.
ENTRY PORCH	0.0 SQ.FT.	21.8 SQ.FT.
STOOPS	11.2 SQ.FT.	23.5 SQ.FT.
TOTAL IMPERVIOUS COVERAGE	127.4 SQ.FT.	3.2 %
	51.3 SQ.FT.	1.3 %
PERVIOUS COVERAGE	EXISTING	PROPOSED
DRIVEWAY	0.0 SQ.FT.	16.0 SQ.FT.
ENTRY WALKWAY	141.5 SQ.FT.	60.6 SQ.FT.
SOUTH DECK	292.0 SQ.FT.	257.8 SQ.FT.
WEST DECK	0.0 SQ.FT.	30.3 SQ.FT.
WEST PATIO	0.0 SQ.FT.	122.0 SQ.FT.
TOTAL PERVIOUS COVERAGE	433.5 SQ.FT.	10.8 %
	486.7 SQ.FT.	12.2 %
TOTAL COVERAGE	560.9 SQ.FT.	14.0 %
	538.0 SQ.FT.	13.5 %

ADDRESS IDENTIFICATION NOTE

- Buildings shall be provided with approved address identification. This identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be all Arabic numbers or alphabetic letters. Numbers shall not be spelled out. Each character shall not be less than 4 inches in height with a stroke width of not less than 0.5 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO BEGINNING WORK. THE FOLLOWING TRADES ARE DEFERRED:

- FIRE SPRINKLER CONTRACTOR TO SUBMIT FIRE SPRINKLER LAYOUT PLAN TO THE FIRE MARSHALL "PRIOR TO BEGINNING INSTALLATION OF THE DEFERRED ELEMENT".
- PLUMBING CONTRACTOR TO SUBMIT, DETAILS AND LINE DIAGRAM LAYOUT PLAN TO BUILDING DEPT."DEFERRED SUBMITTAL SHALL BE APPROVED PRIOR TO BEGINNING THE WORK".
- MECHANICAL DIAGRAM AND LAYOUT PLAN TO THE BUILDING DEPT.
"DEFERRED SUBMITTAL SHALL BE APPROVED PRIOR TO BEGINNING THE WORK".

PROJECT INFORMATION

LOT SIZE	4,000.0 S.F.
A.P.N.	010-185-007-000
LEGAL DESCRIPTION	BLOCK: E LOT: 13
ZONING	R-1
SETBACKS (MIN. ALLOWED)	FRONT: 15.0 FT, SIDE: 3.0 FT, REAR: 15.0 FT TWO STORY & 3.0 FT ONE STORY
HEIGHT (MAX. ALLOWED)	18FT
STORIES:	ONE

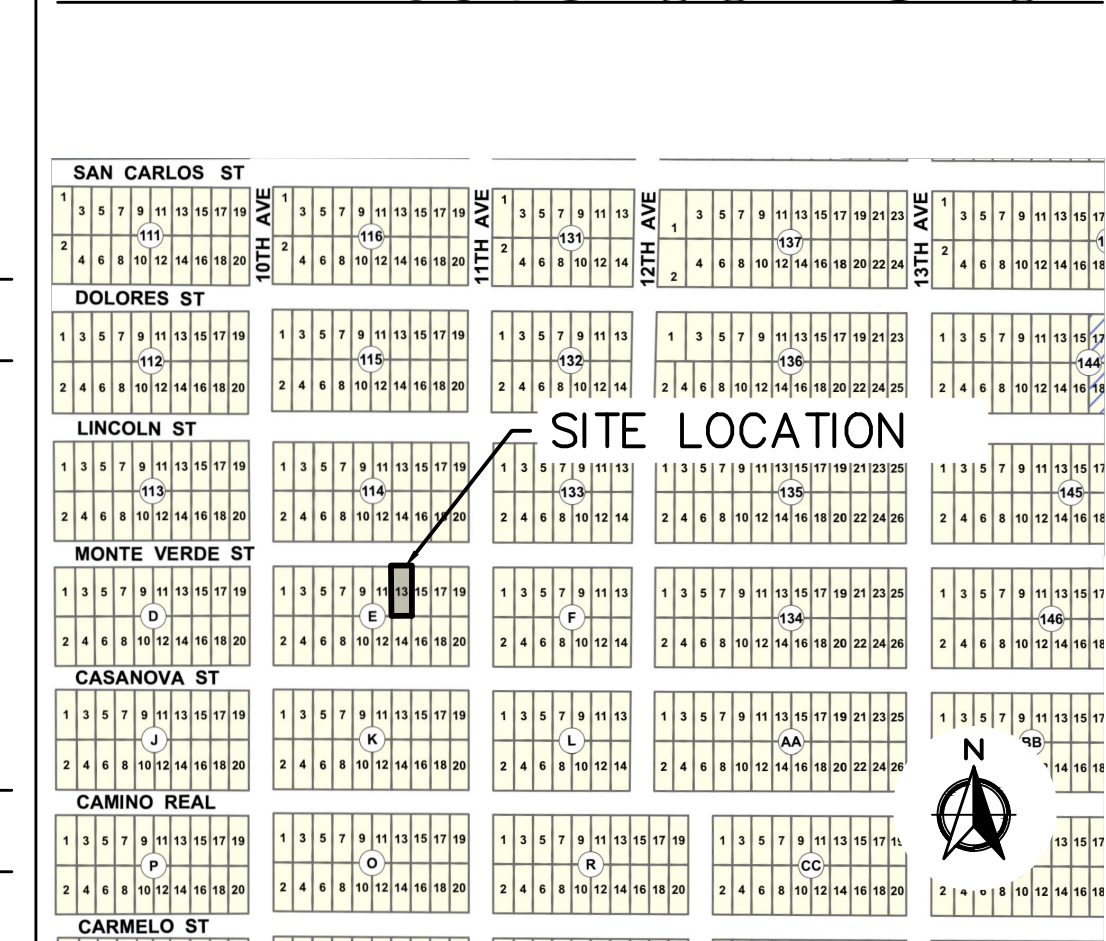
SCOPE OF WORK

- REMODEL AN EXISTING ONE-STORY SINGLE-FAMILY DWELLING WITH A NEW ONE-STORY ADDITION, NEW SIDING, NEW WINDOWS AND DOORS.
- NEW ONE-CAR DETACHED CARPORT.
- INTERIOR REMODEL REPLACING EXISTING MATERIALS AND MODIFYING WALLS.
- TREE REMOVAL: ONE DEAD TREE REMOVAL, ONE STUMP REMOVAL ON THE FRONT YARD, AND TWO SMALL TREES ON THE REAR YARD.

SCOPE OF WORK- PLNG REVISION

- REVISION TO PREVIOUSLY APPROVED PLANNING #230298 & BUILDING #240022
- CHANGE DOORS #4, 5A, 6 TO DOUBLE FRENCH DOORS.
- CHANGE DOOR #12 FROM WINDOW TO DOUBLE FRENCH DOOR
- CHANGE DOOR #7 TO NEW WINDOW

VICINITY MAP



REVISIONS:
 03/04/24 PLANNING Δ

PROJECT:
 CRUZ RESIDENCE
 MONTE VERDE 3 NW OF 11TH CARMEL CA
 BLOCK: E LOT: 13
 APN: 010-185-007-000
 PROJECT NO:
 23-09

ISSUE:
 01-13-2024

COVER PAGE

SCALE: 1" = 1/4"

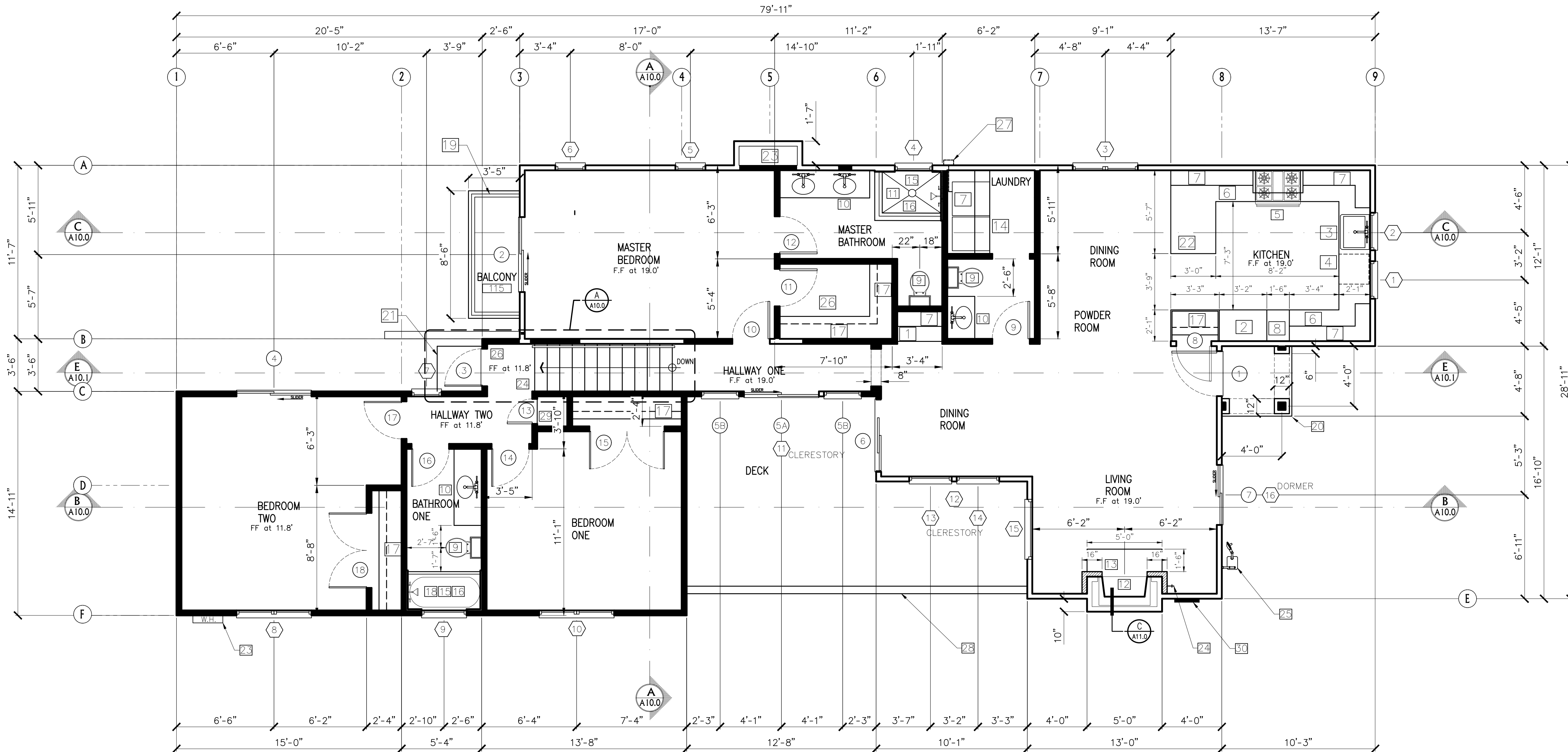
CN

PREVIOUSLY APPROVED ON PLANNING #230298

Approved 8/30/2024
 DS 24214 (Cruz)
 Carmel-by-the-Sea

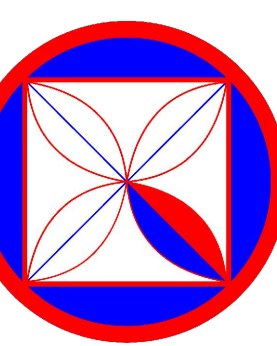
KEY NOTES

- 1 WINE BAR CABINET, 24" W/ UPPER CAB.
- 2 36" BUILT-IN ALL REFRIGERATOR, PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 3 KITCHEN SINK W/GARBAGE DISPOSAL SINGLE FAUCET WITH PULL OUT
- 4 24" DISHWASHER SPACE
- 5 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD ABOVE.
- 6 NEW 36-INCH HIGH COUNTERTOP, WITH STONE COUNTERTOP AND TILED BACKSPASH.
- 7 UPPER CABINETS, 18-IN ABOVE COUNTERTOP.
- 8 BUILT IN PANTRY W/ PULL OUT SHELVES, AND ADJUSTABLE SHELVES.
- 9 WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.2.1
- 10 BATHROOM SINK 36-INCH HIGH VANITY WITH STONE TOP AND BACKSPASH.
- 11 SHOWER: TILED WALLS FULL HEIGHT, WITH 3/8" THK SAFETY GLASS, FRAMELESS. INSTALL GLAZING PER MANUF. SPECS.
- 12 GAS FIREPLACE: HEAT-N-GLO, MODEL: 6K-KL-KX, 36" OPENING, NATURAL GAS, DIRECT VENT, STANDARD: CSA/ANSI Z21.88-2019 • CSA2.33-2019
- 13 STONE HEARTH, RAISED 15-IN, 60"X18"
- 14 NEW ELECTRIC STACKED WASHER AND DRYER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. PROVIDE VENT TO EXTERIOR. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14- FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2- FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM 4-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. (CMC 504.4.2)
- 15 PLUMBING FIXTURES AT SHOWER OR TUBS: SHOWER HEAD 7'-0" FROM THE FLOOR. PROVIDE ANTI-SCALDING VALVES. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 411.10). SHOWER-CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. PER CPC 420. DO NOT USE MORE THAN 2.5 GALLONS PER MINUTE PER CPC 402.8.
- 16 NICHE: AT SHOWER OR TUB, TILED, VERIFY WITH OWNER LOCATION AND SIZE.
- 17 ONE STEEL 2" ROD, AND ONE SHELF
- 18 BATHTUB: 60-IN SPACE, TILED WALLS FULL HEIGHT, WITH 3/8" THICK SAFETY GLASS, FRAMELESS. INSTALL PER MANUF. SPECS'S.
- 19 GUARDRAIL: WROUGHT IRON 42-IN HIGH
 1. GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD
 2. GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT
 3. INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES ANGLES TO THE TOP RAIL.
- 20 THIN STONE VENEER COLUMNS & WALLS, UNCOURSED AND ROUGHLY SQUARED PATTERN.
- 21 STONE STOOP AT EXTERIOR DOORS, 36-IN MIN. DEPTH
- 22 MICROWAVE DRAWER SPACE
- 23 EXISTING NAVEN 240NG TANKLESS WATER HEATER TO REMAIN
- 24 GAS SHUT-OFF VALVE
- 25 EXISTING GAS METER
- 26 EXISTING F.A.U. AT CRAWL SPACE
- 27 DRYER EXHAUST VENT TERMINATE AT EXTERIOR OF THE BUILDING.(CMC 504.4.2)
- 28 EXISTING WOOD GUARDRAIL TO REMAIN AND REFURBISH.
- 29 BUILT-IN LINEN CABINET, WITH ADJUSTABLE SHELVES.
- 30 EXISTING 100 AMP ELECTRICAL PANEL TO REMAIN



WALL LEGEND

- 2x4 NEW WALLS
- 2x4 EXISTING WALLS
- STONE VENEER
- WINDOW SCHEDULE
- DOOR SCHEDULE
- KEY NOTES



CODG
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REVISIONS:
 03/04/24 PLANNING
 03/18/24 BUILDING

PROJECT:
 CRUZ RESIDENCE
 MONTE VERDE 3 NW OF 11TH CARMEL CA
 BLOCK: E LOT: 13
 APN: 010-185-007-000
 PROJECT NO.
 23-09

ISSUE:
 01-13-2024

FLOOR PLAN
 (EXISTING)
 PREVIOUSLY APPROVED ON
 PLANNING #230298

SCALE: 1" = 1/4"

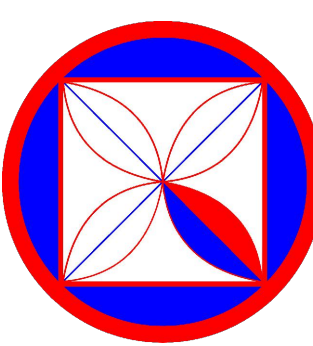
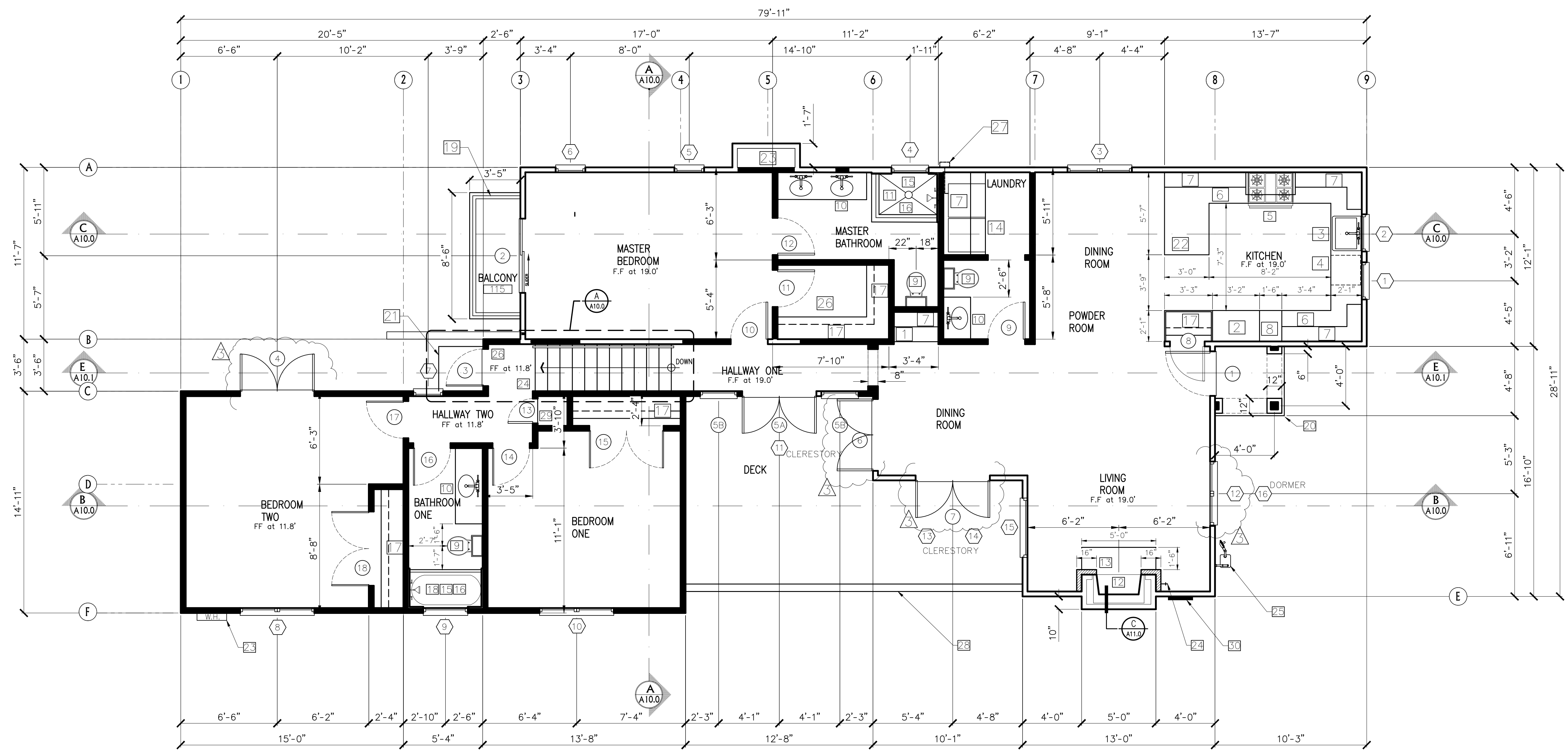
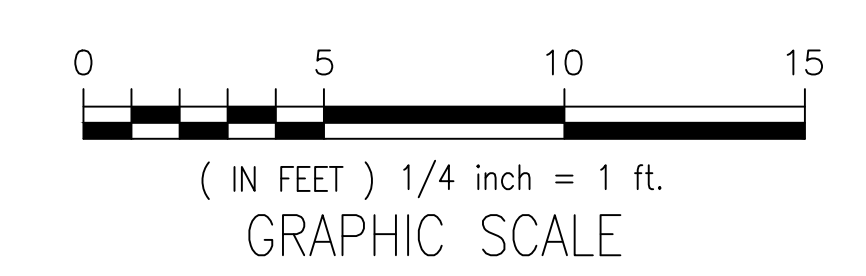
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KEY NOTES

- 1 WINE BAR CABINE 24" W/ UPPER CAB.
- 2 36" BUILT-IN ALL REFRIGERATOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 3 KITCHEN SINK W/GARBAGE DISPOSAL SINGLE FAUCET WITH PULL OUT
- 4 24" DISHWASHER SPACE
- 5 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD ABOVE.
- 6 NEW 36-INCH HIGH COUNTERTOP. WITH STONE COUNTERTOP AND TILED BACKSPASH.
- 7 UPPER CABINETS, 18-IN ABOVE COUNTERTOP.
- 8 BUILT IN PANTRY W/ PULL OUT SHELVES, AND ADJUSTABLE SHELVES.
- 9 WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.2.1
- 10 BATHROOM SINK 36-INCH HIGH VANITY WITH STONE TOP AND BACKSPASH.
- 11 SHOWER: TILED WALLS FULL HEIGHT, WITH 3/8" THK SAFETY GLASS, FRAMELESS. INSTALL GLAZING PER MANUF. SPECS.
- 12 GAS FIREPLACE: HEAT-N-GLO, MODEL: 6K-KL-KX, 36" OPENING, NATURAL GAS, DIRECT VENT, STANDARD: CSA/ANSI Z21.88-2019 •CSA2.33-2019
- 13 STONE HEARTH, RAISED 15-IN, 60"X18"
- 14 NEW ELECTRIC STACKED WASHER AND DRYER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. PROVIDE VENT TO EXTERIOR. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14- FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2- FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM 4-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. (CMC 504.4.2)
- 15 PLUMBING FIXTURES AT SHOWER OR TUBS: SHOWER HEAD 7'-0" FROM THE FLOOR. PROVIDE ANTI-SCALDING VALVES. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 411.10). SHOWER-CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PER CPC 420. DO NOT USE MORE THAN 2.5 GALLONS PER MINUTE PER CPC 402.8.
- 16 NICHE: AT SHOWER OR TUB, TILED, VERIFY WITH OWNER LOCATION AND SIZE.
- 17 ONE STEEL 2" ROD, AND ONE SHELF
- 18 BATHTUB: 60-IN SPACE, TILED WALLS FULL HEIGHT, WITH 3/8" THICK SAFETY GLASS, FRAMELESS. INSTALL PER MANUF. SPECS'S.
- 19 GUARDRAIL: WROUGHT IRON 42-IN HIGH
 1. GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD
 2. GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT
 3. INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES ANGLES TO THE TOP RAIL.
- 20 THIN STONE VENEER COLUMNS & WALLS, UNCOURSED AND ROUGHLY SQUARED PATTERN.
- 21 STONE STOOP AT EXTERIOR DOORS, 36-IN MIN. DEPTH
- 22 MICROWAVE DRAWER SPACE
- 23 EXISTING NAVEN 240NG TANKLESS WATER HEATER TO REMAIN
- 24 GAS SHUT-OFF VALVE
- 25 EXISTING GAS METER
- 26 EXISTING F.A.U. AT CRAWL SPACE
- 27 DRYER EXHAUST VENT TERMINATE AT EXTERIOR OF THE BUILDING.(CMC 504.4.2)
- 28 EXISTING WOOD GUARDRAIL TO REMAIN AND REFURBISH.
- 29 BUILT-IN LINEN CABINET, WITH ADJUSTABLE SHELVES.
- 30 EXISTING 100 AMP ELECTRICAL PANEL TO REMAIN

WALL LEGEND

- 2x4 NEW WALLS
- 2x4 EXISTING WALLS
- STONE VENEER
- WINDOW SCHEDULE
- DOOR SCHEDULE
- KEY NOTES



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REVISIONS:
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 06/25/24 CLIENT

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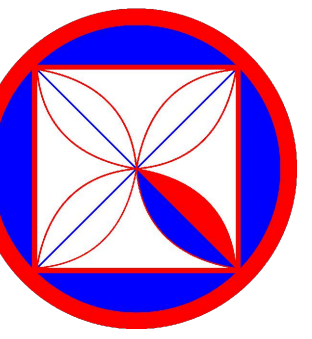
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FLOOR PLAN
 (PROPOSED)
 A1.1

PREVIOUSLY APPROVED ON PLANNING #230298

Approved 8/30/2024
 DS 24214 (Cruz)
 Carmel-by-the-Sea
 Community Planning and Building
 Jacob Olander, Assistant Planner



CODG
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REVISIONS:
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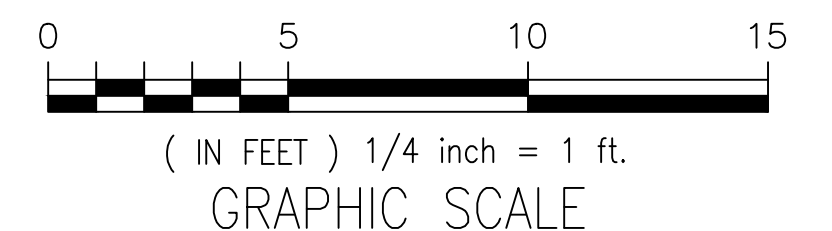
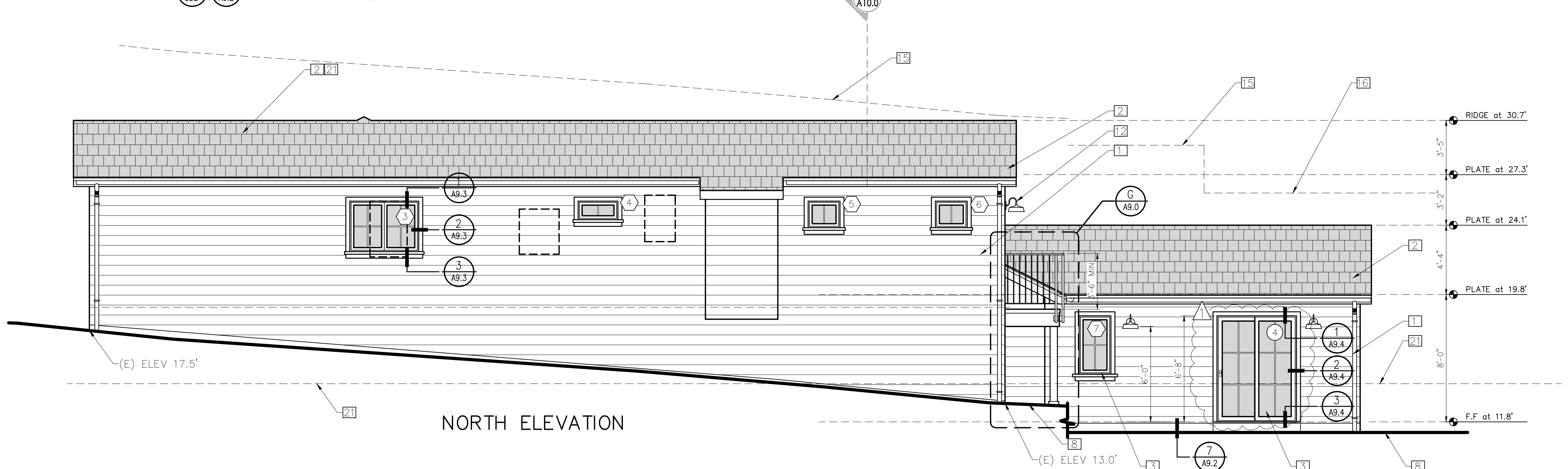
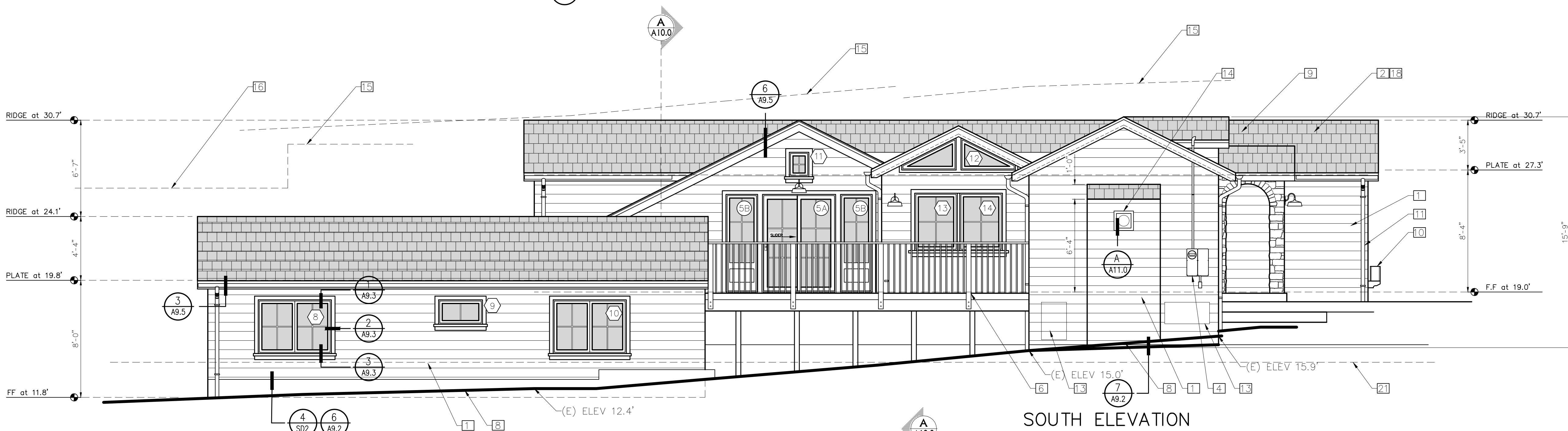
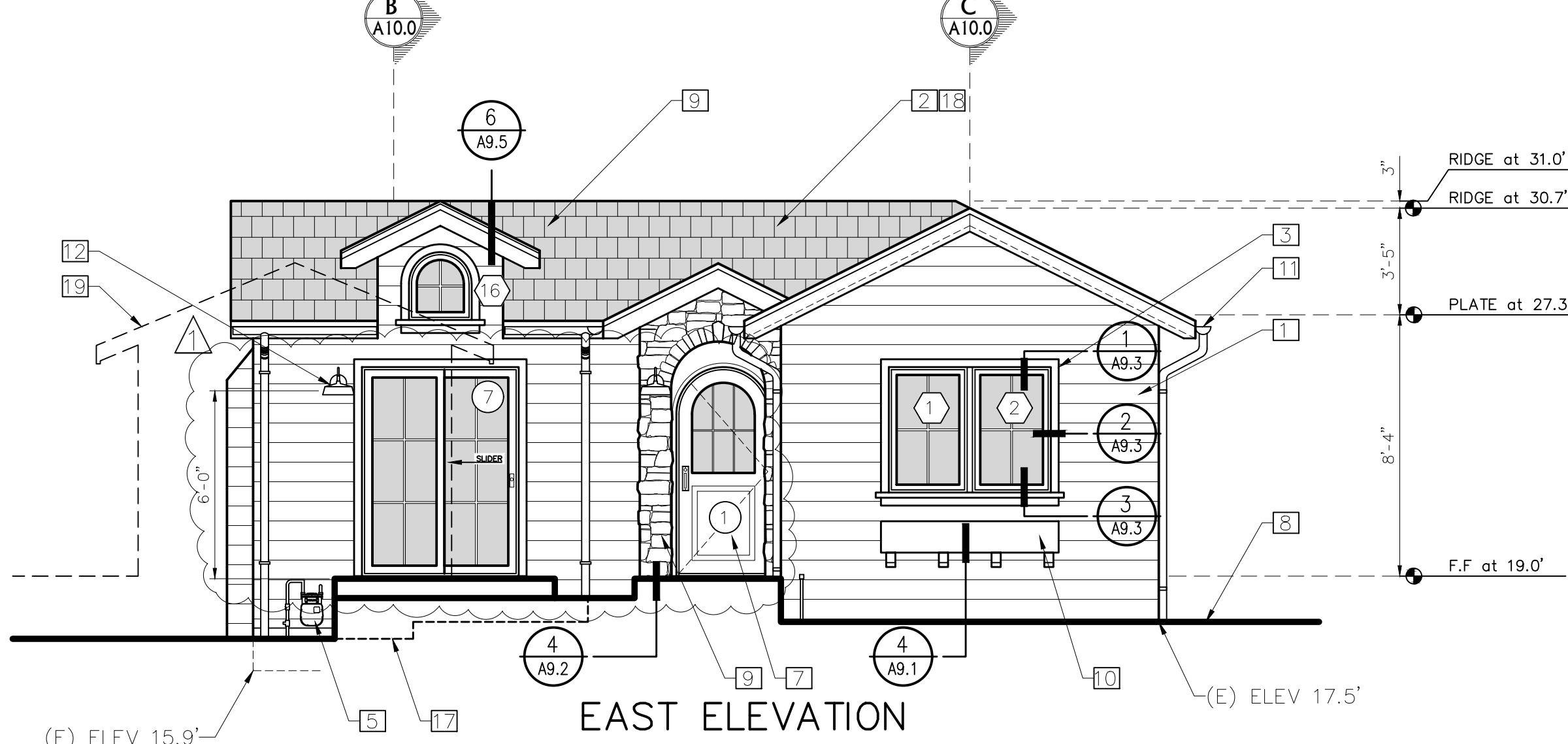
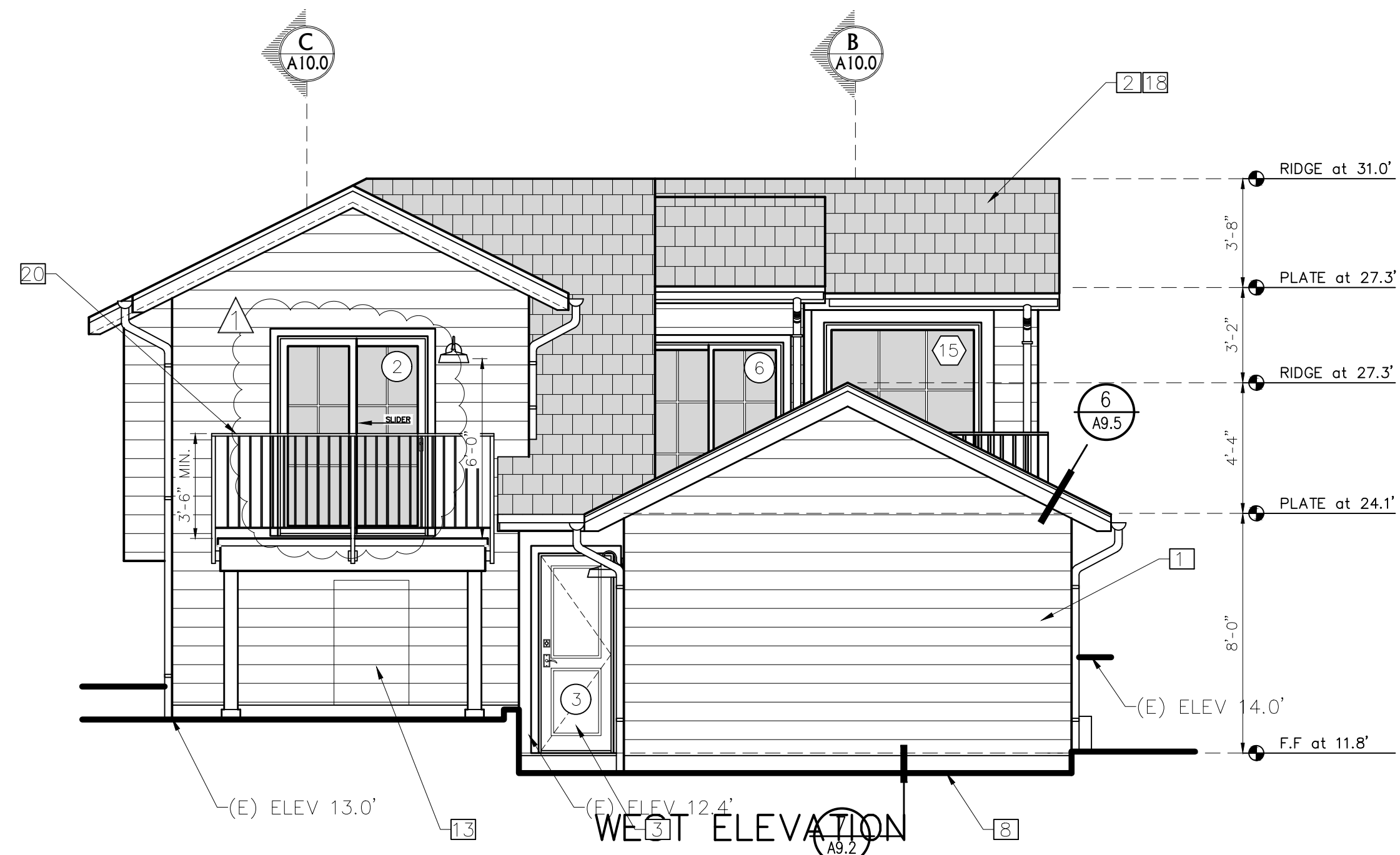
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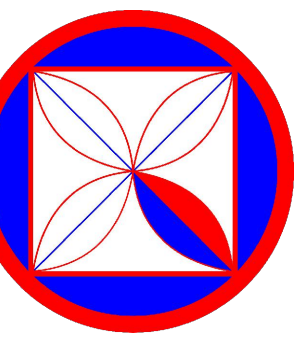
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ELEVATIONS
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SCALE: 1" = 1/4"

A2.0





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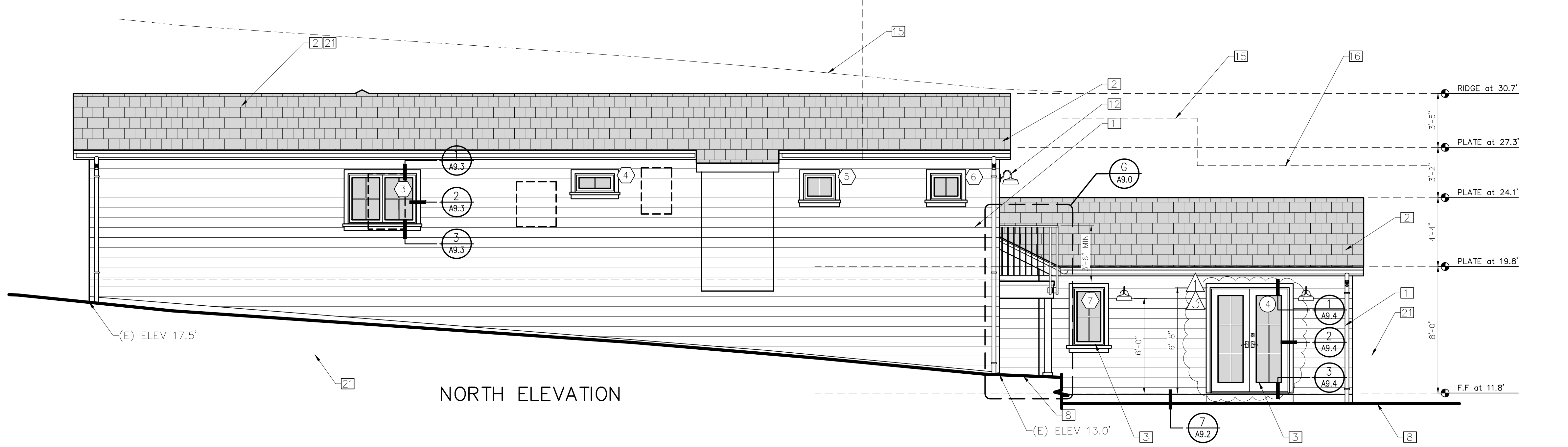
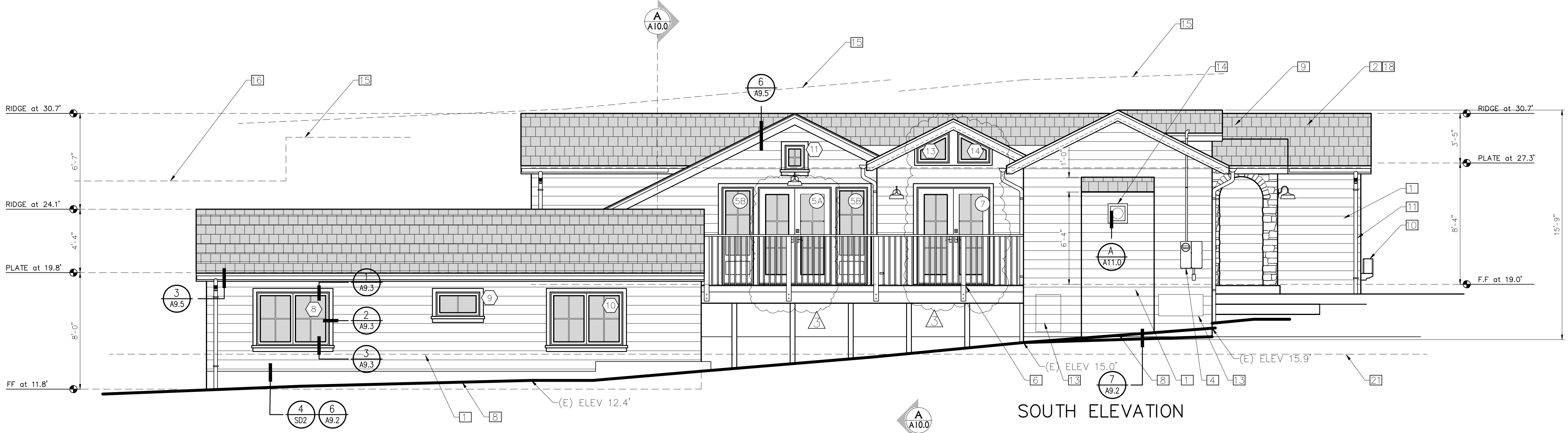
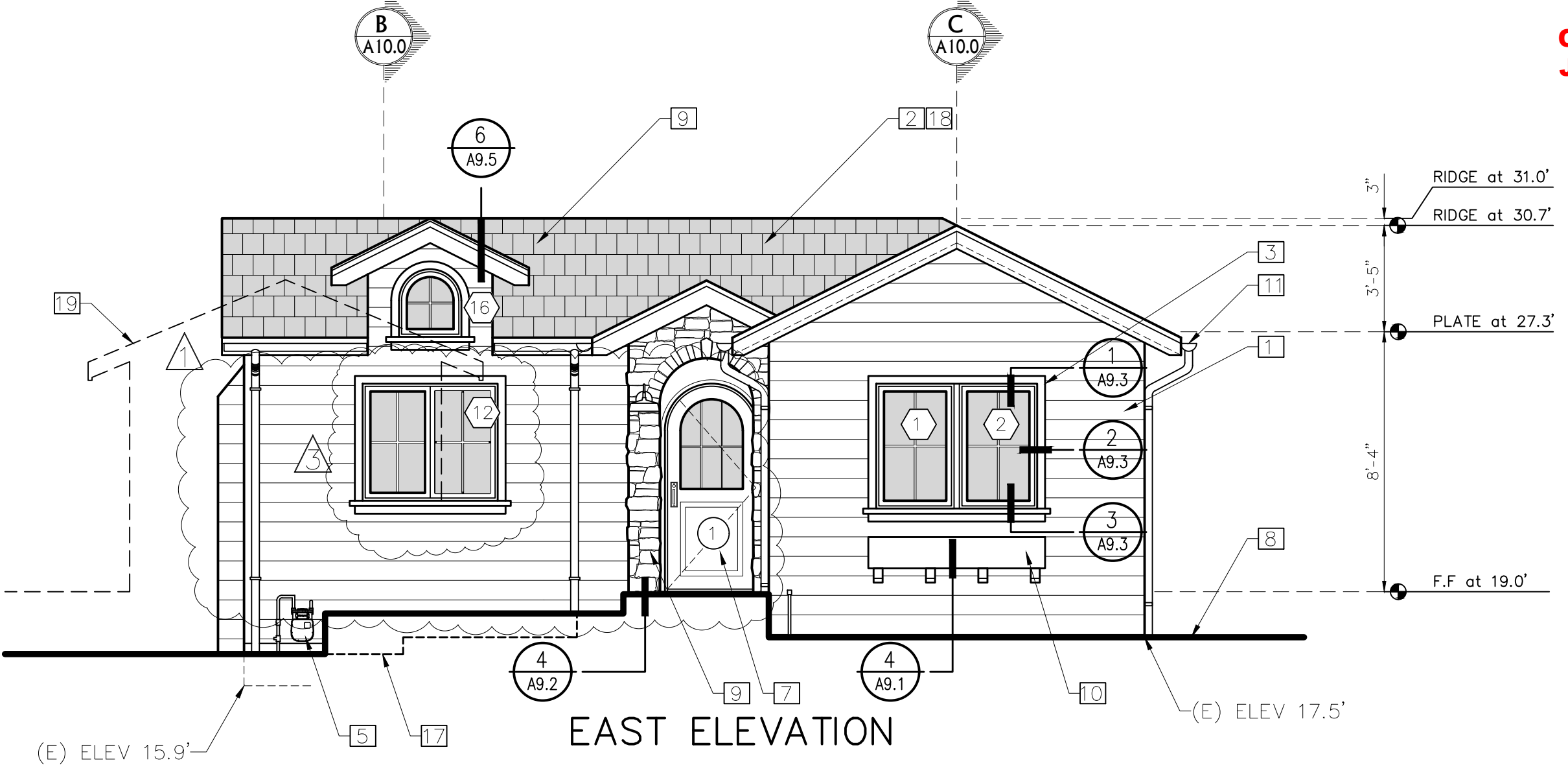
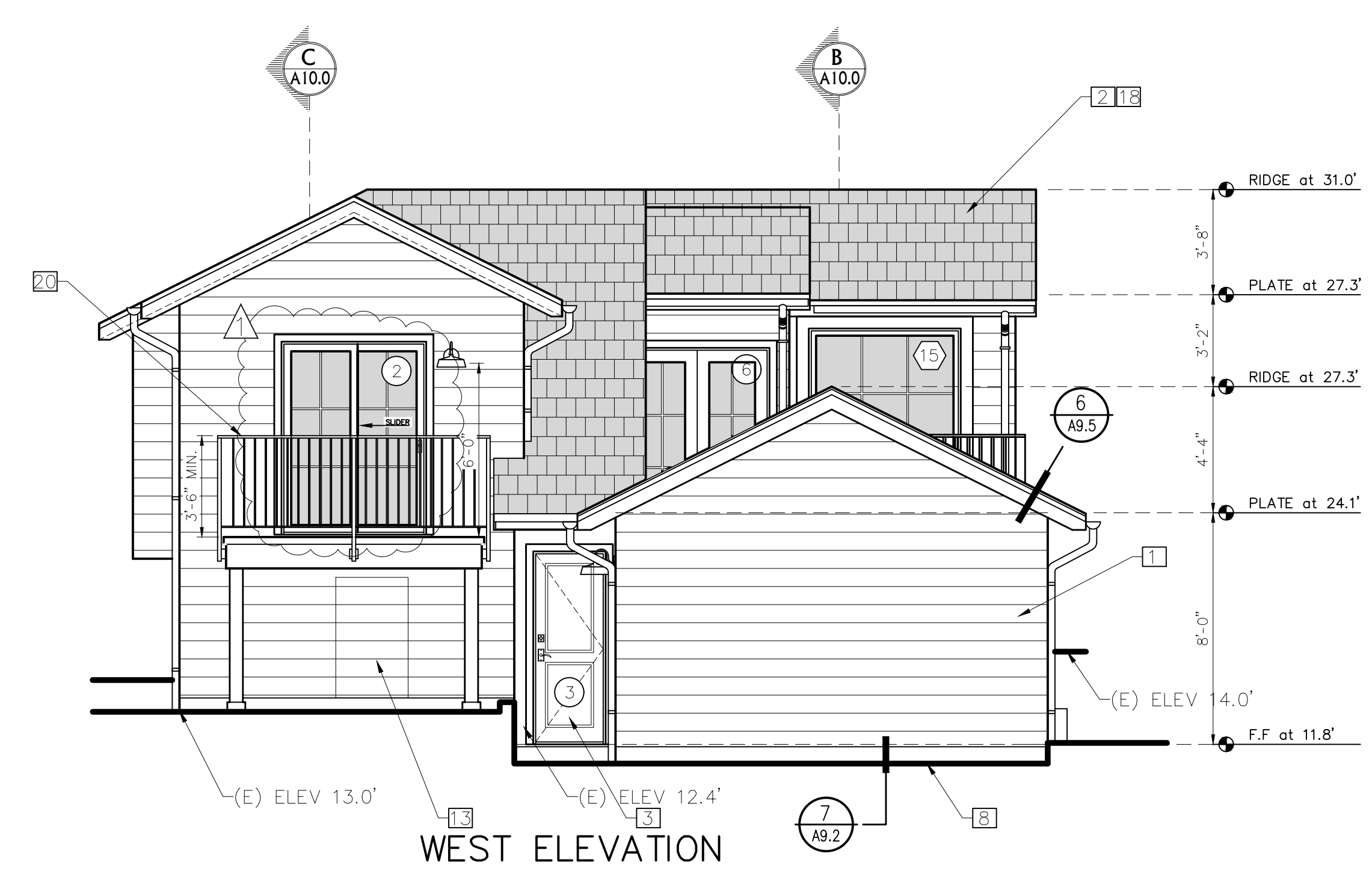
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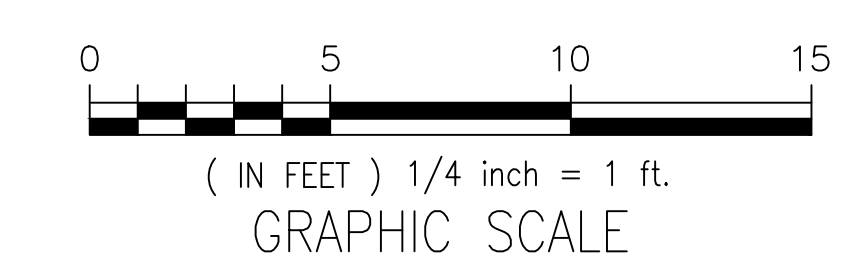
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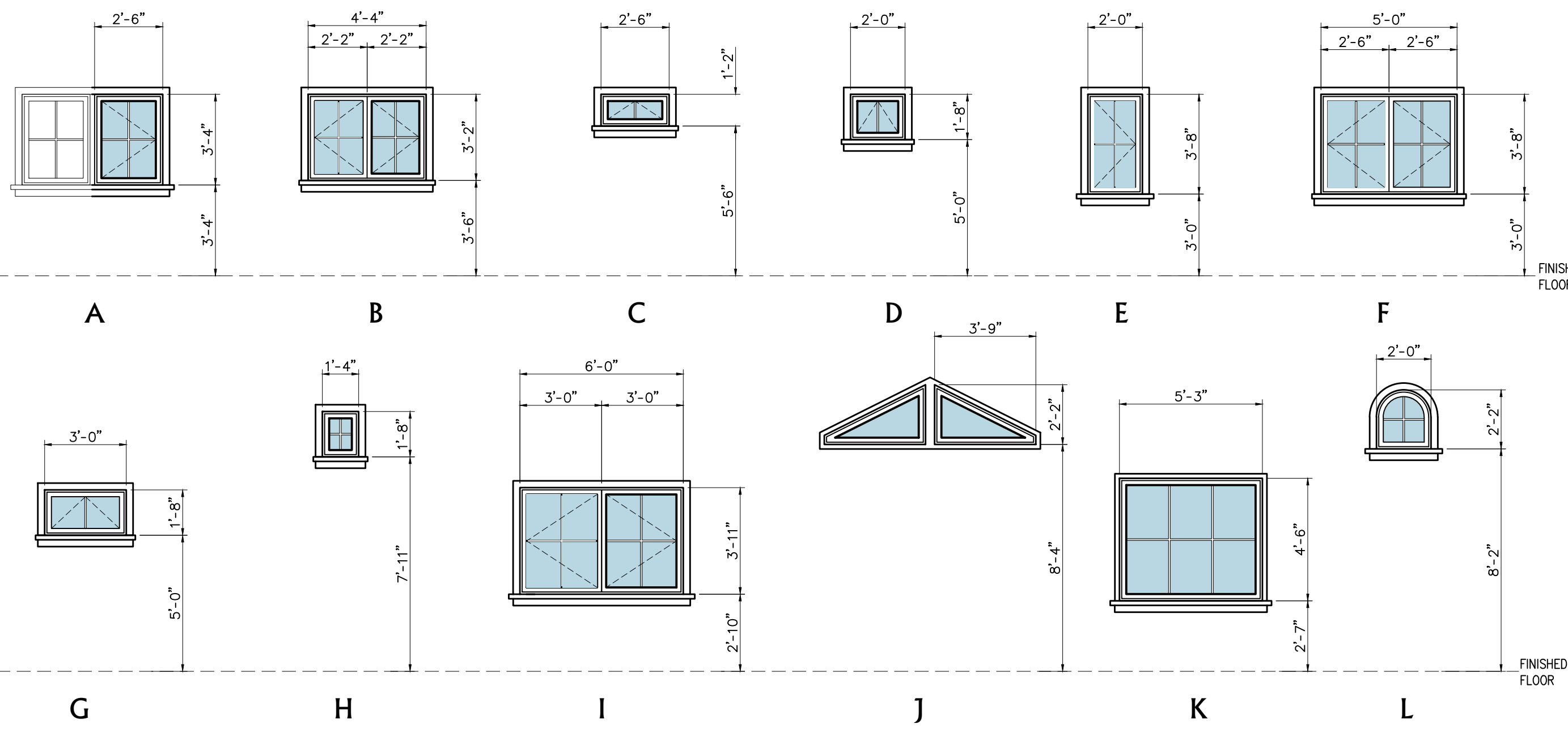
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- 1 SIDING: WOOD SHIP LAP SIDING TO REMAIN AT EXISTING STRUCTURE. AT NEW ADDITION TO MATCH EXISTING SIDING.
- 2 ROOF: NEW COMPOSITION ASPHALT SHINGLE, PITCH 6:12. ROOF AT NEW ADDITION TO MATCH EXISTING ROOF PITCH.
- 3 WOOD-GLAD DOORS AND WINDOWS, TYP.
- 4 EXISTING 100 AMP ELECTRICAL MAIN METER PANEL TO REMAIN: 66" HIGH (75" MAX, 48" MIN.), PROVIDE A CLEAR WORKING AREA MIN. 30"x36"x75".
- 5 GAS METER: MAINTAIN PROPER DISTANCES TO BUILDING CORNERS, OPENINGS, AND THE ELECTRICAL MAIN METER PANEL.
- 6 GUARDRAIL: EXISTING WOOD BALUSTRADES AND HANDRAIL TO REMAIN
- 7 ENTRY DOOR: NEW, SOLID ARCHED WOOD WITH GLAZING.
- 8 GRADE WHERE OCCURS
- 9 PORCH: STONE VENEER WITH A ROMAN ARCHED, KEYSTONE, AND VOISSOIRS.
- 10 FLOWER BOX: WOOD FINISH OVER SHAPED WOOD CORBELS.
- 11 GUTTERS AND DOWNSPOUTS: GALVANIZED PAINTED, CONNECTED TO A DRAINAGE SYSTEM. SEE CIVIL PLANS FOR DETAILS.
- 12 LIGHT FIXTURES: SEE SPECIFICATIONS ON SHEET A8.0. VERIFY LOCATION OF MOUNTING PLATE TO KEEP FIXTURE 6'-0" OFF THE FINISH FLOOR.
- 13 CRAWLSPACE ACCESS DOORS: EXISTING
- 14 FIREPLACE DIRECT VENT EXHAUST
- 15 18-FT HEIGHT LIMIT SHOWN DASHED LINE
- 16 15-FT HEIGHT LIMIT FROM REAR YARD SHOWN DASHED LINE
- 17 EXISTING GRADE SHOWN DASHED LINE
- 18 EXISTING ROOF STRUCTURE TO REMAIN.
- 19 CARPORT OUTLINED SHOWN DASHED LINE. SEE SHEET A5.0 FOR THE ELEVATIONS
- 20 GUARDRAIL: ROUGH IRON, DARK BRONZE FINISH
- 21 AVERAGE NATURAL GRADE 14.2 FT



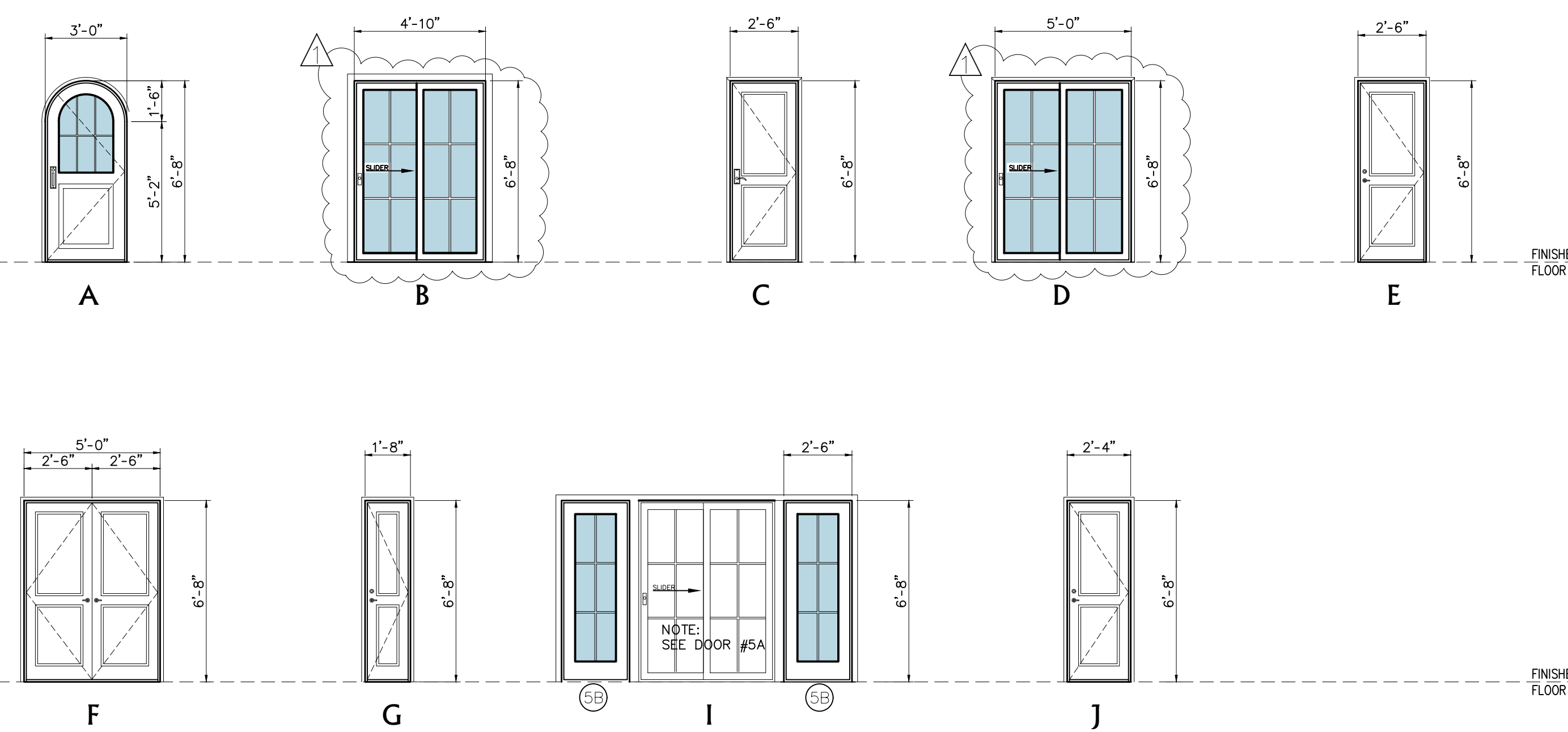
Window Elevation Types



Window Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
1	KITCHEN	A	2'-6" X 3'-4"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
2	KITCHEN	A	2'-6" X 3'-4"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
3	DINING ROOM	B	4'-4" X 3'-2"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
4	MASTER BATHROOM	C	2'-6" X 1'-2"	FF	AWNING	WOOD-CLAD	YES	YES	NO	NO
5	MASTER BEDROOM	D	2'-0" X 1'-8"	FF	AWNING	WOOD-CLAD	YES	NO	NO	NO
6	MASTER BEDROOM	D	2'-0" X 1'-8"	FF	AWNING	WOOD-CLAD	YES	NO	NO	NO
7	HALLWAY	E	2'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
8	BEDROOM TWO	F	5'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
9	BATHROOM ONE	G	3'-0" X 1'-8"	FF	AWNING	WOOD-CLAD	YES	NO	NO	NO
10	BEDROOM ONE	F	5'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	YES
11	HALLWAY	H	1'-4" X 1'-8"	FF	FIXED, CLERESTORY	WOOD-CLAD	YES	NO	NO	NO
12	DINING ROOM	J	3'-0" X 3'-11"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
13	DINING ROOM	I	3'-9" X 2'-2"	FF	FIXED, CLERESTORY	WOOD-CLAD	YES	NO	NO	NO
14	DINING ROOM	I	3'-9" X 2'-2"	FF	FIXED, CLERESTORY	WOOD-CLAD	YES	NO	NO	NO
15	LIVING ROOM	K	5'-3" X 4'-6"	FF	FIXED	WOOD-CLAD	YES	NO	NO	NO
16	LIVING ROOM	L	2'-0" X 2'-2"	FF	FIXED, DORMER	WOOD-CLAD	YES	NO	NO	NO

Door Elevation Types



Door Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
1	ENTRY DOOR	A	3'-0" X 6'-8"	FF	GLASS / FLUSHED paneled arched top	WOOD	YES	YES
2	BALCONY	D	5'-0" X 6'-8"	FF	GLASS / FLUSHED paneled door	WOOD-CLAD	YES	YES
3	HALLWAY	C	2'-6" X 6'-8"	FF	SOLID WOOD / FLUSHED paneled door	WOOD-CLAD	YES	YES
4	BEDROOM TWO	D	5'-0" X 6'-8"	FF	GLASS / FLUSHED slider door	WOOD-CLAD	YES	YES
5A	HALLWAY	D	5'-0" X 6'-8"	FF	GLASS / FLUSHED slider door	WOOD-CLAD	YES	YES
5B	HALLWAY	I	2'-6" X 6'-8"	FF	GLASS / FLUSHED fixed panel	WOOD-CLAD	YES	YES
6	DINING ROOM	B	4'-10" X 6'-8"	FF	GLASS / SLIDER door	WOOD-CLAD	YES	YES
7	LIVING ROOM	D	5'-0" X 6'-8"	FF	GLASS / FLUSHED paneled door	WOOD-CLAD	YES	YES
8	COATS CLOSET	J	2'-4" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
9	POWDER ROOM	E	2'-6" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
10	MASTER BEDROOM	E	2'-6" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
11	MASTER CLOSET	E	2'-6" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
12	MASTER BATHROOM	E	2'-6" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
13	HALLWAY CLOSET	G	1'-8" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
14	BEDROOM ONE	E	2'-6" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
15	BEDROOM ONE CLOSET	F	5'-0" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
16	BATHROOM ONE	E	2'-6" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
17	BEDROOM TWO	E	2'-6" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO
18	BEDROOM TWO CLOSET	F	5'-0" X 6'-8"	P	1-3/4" THK / paneled door	WOOD	NO	NO

Door Notes:

Approved 8/30/2024
DS 24214 (Cruz)

- PROVIDE DEAD BOLT LOCKS
- PROVIDE PRIVATE HARDWARE FOR ALL BEDROOM AND BATHROOM DOORS
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5"x4.5" W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, Inc.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENINGS WITH G.E. SILICONE ACRYLIC, POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O.)

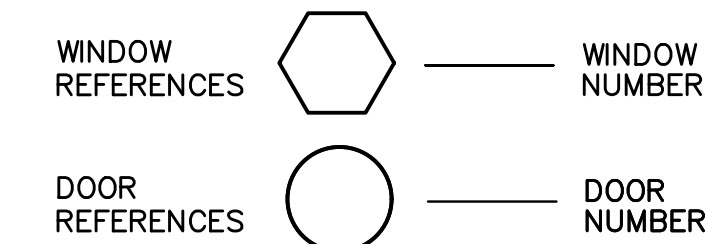
Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

Tempered Glass Note:

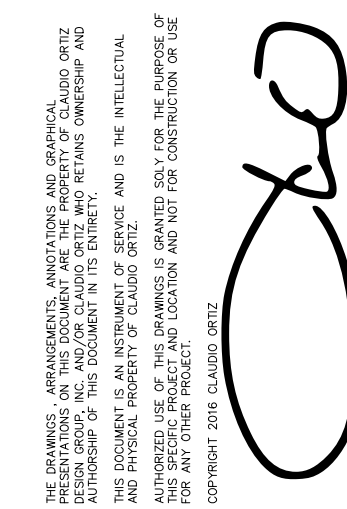
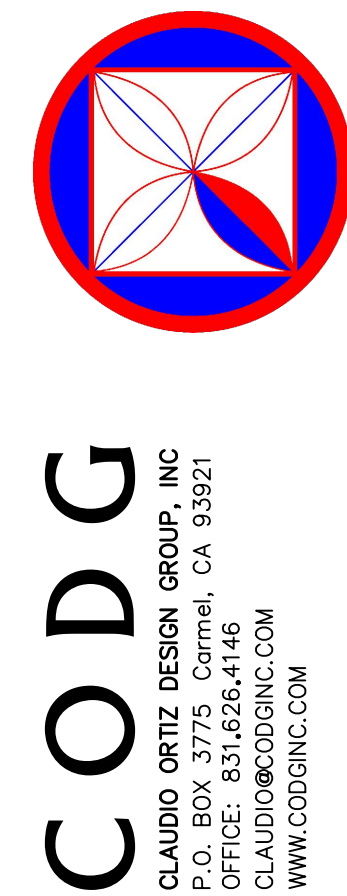
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - GLAZING IN GUARDS AND RAILINGS.
 - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - GLAZING ADJACENT TO STAIRS AND RAMP.

Symbols



Abbreviations

- N/A NOT APPLICABLE
- G.C. GENERAL CONTRACTOR
- P PAINT
- ST STAIN
- FF FACTORY FINISH
- I.D. INTERIOR DESIGN
- S SEALED
- MFR. MANUFACTURER
- FIN. FINISH
- NAT. NATURAL



REVISIONS: 03/04/24 PLANNING

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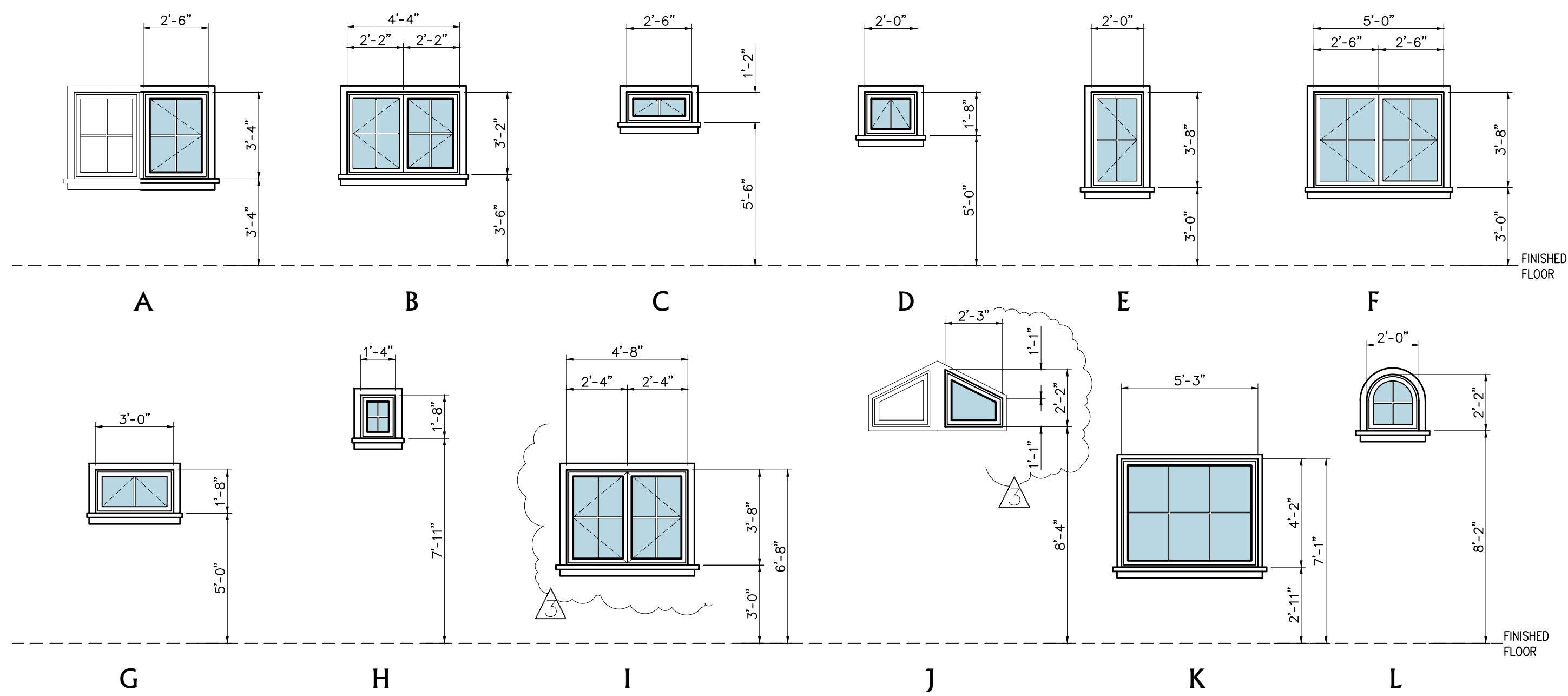
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WINDOW & DOOR SCHEDULES (EXISTING) PREVIOUSLY APPROVED ON PLANNING #230298

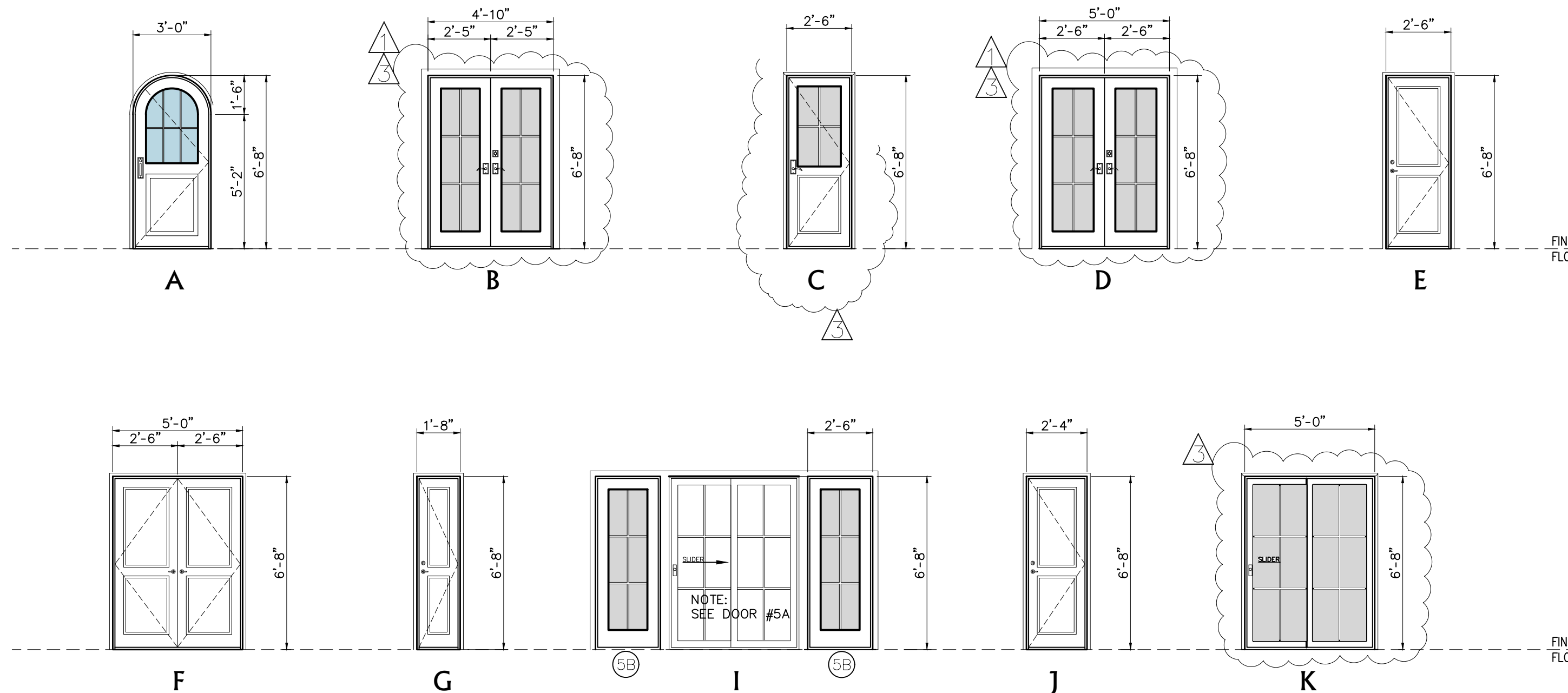
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Window Elevation Types



Door Elevation Types



Window Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
1	KITCHEN	A	2'-6" X 3'-4"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
2	KITCHEN	A	2'-6" X 3'-4"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
3	DINING ROOM	B	4'-4" X 3'-2"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
4	MASTER BATHROOM	C	2'-6" X 1'-2"	FF	AWNING	WOOD-CLAD	YES	YES	NO	NO
5	MASTER BEDROOM	D	2'-0" X 1'-8"	FF	AWNING	WOOD-CLAD	YES	NO	NO	NO
6	MASTER BEDROOM	D	2'-0" X 1'-8"	FF	AWNING	WOOD-CLAD	YES	NO	NO	NO
7	HALLWAY	E	2'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
8	BEDROOM TWO	F	5'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
9	BATHROOM ONE	G	3'-0" X 1'-8"	FF	AWNING	WOOD-CLAD	YES	NO	NO	NO
10	BEDROOM ONE	F	5'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	YES
11	HALLWAY	H	1'-4" X 1'-8"	FF	FIXED, CLERESTORY	WOOD-CLAD	YES	NO	NO	NO
12	LIVING ROOM	I	4'-8" X 3'-8"	FF	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
13	DINING ROOM	J	3'-9" X 2'-2"	FF	FIXED, CLERESTORY	WOOD-CLAD	YES	NO	NO	NO
14	DINING ROOM	J	3'-9" X 2'-2"	FF	FIXED, CLERESTORY	WOOD-CLAD	YES	NO	NO	NO
15	LIVING ROOM	K	5'-3" X 4'-2"	FF	FIXED	WOOD-CLAD	YES	NO	NO	NO
16	LIVING ROOM	L	2'-0" X 2'-2"	FF	FIXED, DORMER	WOOD-CLAD	YES	NO	NO	NO

Door Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
1	ENTRY DOOR	A	3'-0" X 6'-8"	FF	GLASS / FLUSHED PANELED ARCH TOP	OUTSIDE	WOOD	YES
2	BALCONY	K	PAIR 2'-6" X 6'-8"	FF	GLASS / FLUSHED PANELED DOOR	OUTSIDE	WOOD-CLAD	YES
3	HALLWAY	C	2'-6" X 6'-8"	FF	GLASS / FLUSHED PANELED DOOR	OUTSIDE	WOOD-CLAD	YES
4	BEDROOM TWO	D	PAIR 2'-6" X 6'-8"	FF	GLASS / FLUSHED SLIDER DOOR	OUTSIDE	WOOD-CLAD	YES
5A	HALLWAY	D	PAIR 2'-6" X 6'-8"	FF	GLASS / FLUSHED SLIDER DOOR	OUTSIDE	WOOD-CLAD	YES
5B	HALLWAY	I	2'-6" X 6'-8"	FF	GLASS / FLUSHED FIXED PANEL	OUTSIDE	WOOD-CLAD	YES
6	DINING ROOM	B	PAIR 2'-5" X 6'-8"	FF	GLASS / SLIDER DOOR	OUTSIDE	WOOD-CLAD	YES
7	DINING ROOM	D	PAIR 2'-6" X 6'-8"	FF	GLASS / FLUSHED PANELED DOOR	OUTSIDE	WOOD-CLAD	YES
8	COATS CLOSET	J	2'-4" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
9	POWDER ROOM	E	2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
10	MASTER BEDROOM	E	2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
11	MASTER CLOSET	E	2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
12	MASTER BATHROOM	E	2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
13	HALLWAY CLOSET	G	1'-8" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
14	BEDROOM ONE	E	2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
15	BEDROOM ONE CLOSET	F	PAIR 2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
16	BATHROOM ONE	E	2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
17	BEDROOM TWO	E	2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO
18	BEDROOM TWO CLOSET	F	PAIR 2'-6" X 6'-8"	P	1-3/4" THK / PANELED DOOR	INSIDE	WOOD	NO

Door Notes:

- PROVIDE DEAD BOLT LOCKS
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM DOORS
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5"x4.5"x5" W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS :
- SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC, POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS. AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

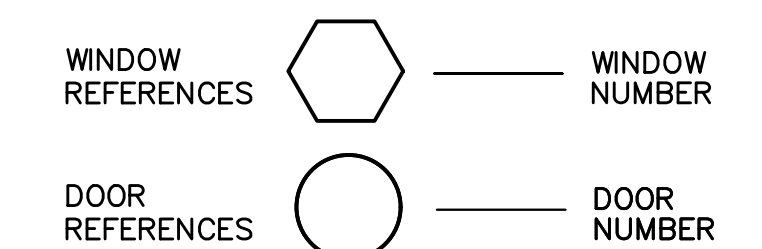
Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

Tempered Glass Note:

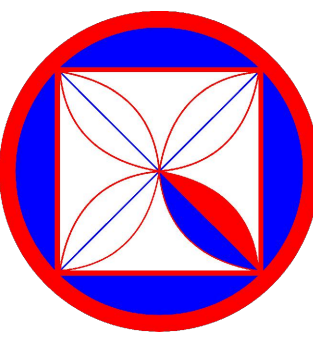
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - GLAZING ADJACENT TO STAIRS AND RAMPS.

Symbols

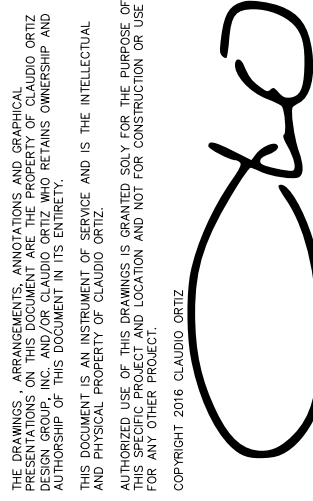


Abbreviations

- N/A NOT APPLICABLE
 G.C. GENERAL CONTRACTOR
 P PAINT
 ST STAIN
 FF FACTORY FINISH
 I.D. INTERIOR DESIGN
 S SEALED
 MFR. MANUFACTURER
 FIN. FINISH
 NAT. NATURAL



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 8001 E. 15th Ave., Suite 206
 Denver, CO 80231
 WWW.CODG.COM



REVISIONS:
 03/04/24 PLANNING
 06/25/24 CLIENT

PROJECT:
 CRUZ RESIDENCE
 MONTE VERDE 3 NW OF 11TH CARMEL CA
 BLOCK: E LOT: 13
 APN: 010-185-007-000
 PROJECT NO:
 23-09

ISSUE:
 01-13-2024

WINDOW & DOOR
 SCHEDULES
 (PROPOSED)

SCALE: 1" = 1/4"

A3.1

C.O