



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 24162

**Owner Name:** TURNER JOHN EDWARD & ELIZABETH ANN

**Case Planner:** Jacob Olander, Assistant Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 08/20/2024

**Project Location:** Mission 5 NW of Santa Lucia

**APN #:** 010162009000      **BLOCK/LOT:** 142/19

**Applicant:** Franshisca Delgado- Claudio Ortiz Design Group Inc.

**Project Description:** This approval of Design Study (DS 24162 (Turner)) authorizes amendments to existing Design Study Approvals (DS 20-196) for alterations to an existing single-family residence located at Mission 5 NW of Santa Lucia in the Single Family Residential (R-1) District. The modifications approved under this Design Study include: 1. The addition of a new stone veneer to the East and North Elevations of the property; 2. The relocation of a window from the North side of the property to the South side; 3. The addition of a window to the upper level of the South side of the property; 4. The replacement of the proposed horizontal picket and plaster column fencing with vertical wood picket fencing; 5. The replacement of the proposed standing seam metal roof with composite shingles. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans dated approved by Community Planning & Building Department on August 20, 2024, unless modified by the conditions of approval contained herein.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*



## FINDINGS AND CONDITIONS

**Project:** DS 24162 (Turner)

**Location:** Mission 5 NW of Santa Lucia; 010-162-009-000

**Date of Action:** August 20, 2024

**Project Description:**

**DS 24162 (Turner)** authorizes amendments to previously approved Design Study Applications (DS 20-196, Turner) located at Mission 5 NW of Santa Lucia in the Single-Family (R-1) District. APN: 010-162-009-000

The proposed changes include:

- The addition of a new stone veneer to the East and North Elevations of the property, relocation of a window, addition of a window, replacing the front yard fence, and the replacement of the proposed standing seam metal roof with composite shingles.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
<p>The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.</p> <p>For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).</p>		
<b>CMC 17.58.060.B Findings for Design Review Approval</b>	<b>YES</b>	<b>NO</b>
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
<p><b>Additional Staff Analysis/Discussion:</b>            The approved plans contain annotations on the lighting detail and fencing call out on the proposed site plan. The fencing call out on the proposed site plan does not match the approved fencing detail. The lighting proposed in the plans is listed as 21" tall, while the maximum height for pathway lighting is 18". These annotations will be included in the building permit revision submittal to ensure the project is built according to the Planning Divisions standards and the approval conditions.</p>		

ENVIRONMENTAL REVIEW
<p>The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i>, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i>, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.</p>
<p><b>Finding:</b> The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (Class 3) – New Construction and Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.</p>
<p><b>Additional Staff Analysis/Discussion:</b> The project consists of an amendment to a previously approved Design Study (DS 20-196) for the addition of a new stone veneer to the East and North Elevations of the property, relocation of a window, addition of a window, replacing the front yard fence, and the replacement of the</p>

proposed standing seam metal roof with composite shingles on a new single-family residence. The application approved herein amends the initial approval.

<b>CONDITIONS OF APPROVAL</b>	
<b>No.</b>	
1.	<p><b>Authorization.</b> This approval of Design Study (DS 24162 (Turner)) authorizes amendments to existing Design Study Approvals (DS 20-196) for alterations to an existing single-family residence located at Mission 5 NW of Santa Lucia in the Single Family Residential (R-1) District. The modifications approved under this Design Study include:</p> <ol style="list-style-type: none"> <li>1. The addition of a new stone veneer to the East and North Elevations of the property;</li> <li>2. The relocation of a window from the North side of the property to the South side;</li> <li>3. The addition of a window to the upper level of the South side of the property;</li> <li>4. The replacement of the proposed horizontal picket and plaster column fencing with vertical wood picket fencing;</li> <li>5. The replacement of the proposed standing seam metal roof with composite shingles.</li> </ol> <p>Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans dated approved by Community Planning &amp; Building Department on August 20, 2024, unless modified by the conditions of approval contained herein.</p>
2.	<p><b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Department.</p>
3.	<p><b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>
4.	<p><b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>
5.	<p><b>Conditions of Approval.</b> These Conditions of Approval shall be signed and returned to the Community Planning and Building Department prior to the issuance of a Building Permit/Building Permit Revision. These signed conditions shall also be printed on a full-size plan sheet in the building plan set along with any prior conditions of approval of prior Design Study Applications.</p>
6.	<p><b>Building Permit Revision Required.</b> Prior to commencing work on-site, the applicant shall apply for and obtain a building permit revision from the Community Planning &amp; Building Department.</p>
7.	<p><b>Prior Conditions of Approval.</b> All conditions of approval of the previous Design Study approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.</p>
8.	<p><b>Annotated Plans.</b> The plan set stamped approved on August 20, 2024 shall be submitted to the building division as part of the building permit submittal including all redline annotations maintained for clarifying front fencing details and lighting requirements.</p>

Acknowledgement and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

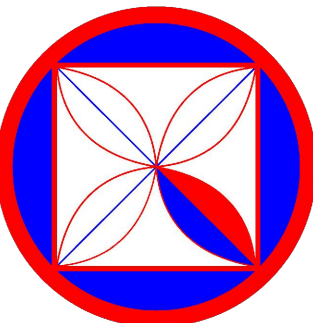
\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

***Once signed, please email to [jolander@ci.carmel.ca.us](mailto:jolander@ci.carmel.ca.us).***



BLNDG 05-19-2022  
 BLNDG 11-23-2021  
 BLNDG 02-08-2022  
 BLNDG 04-05-2022  
 BLNDG 04-19-2022

REVISIONS:  
 BLNDG 11-23-2021  
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PROJECT: RESIDENCE  
 TURNER 5 N/W OF SANTA LUCIA  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
 PROJECT NO:  
 19-02

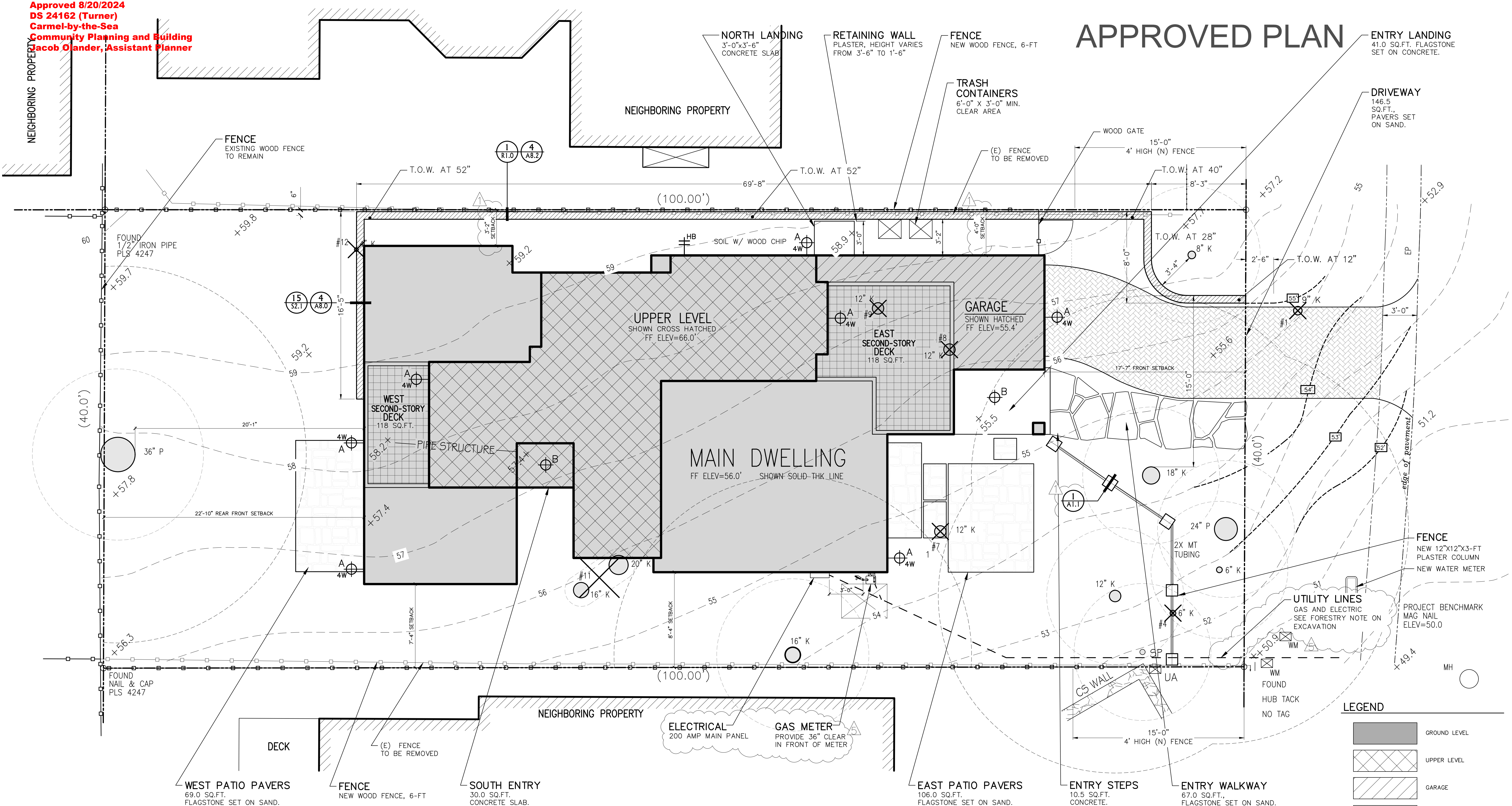
ISSUE:  
 05-12-2021  
 10-28-2021  
 12-13-2021  
 DRAWN BY:  
 C.C.O.

SITE PLAN  
 (PROPOSED)

SCALE: 1" = 1/4"

**A1.1**

# APPROVED PLAN



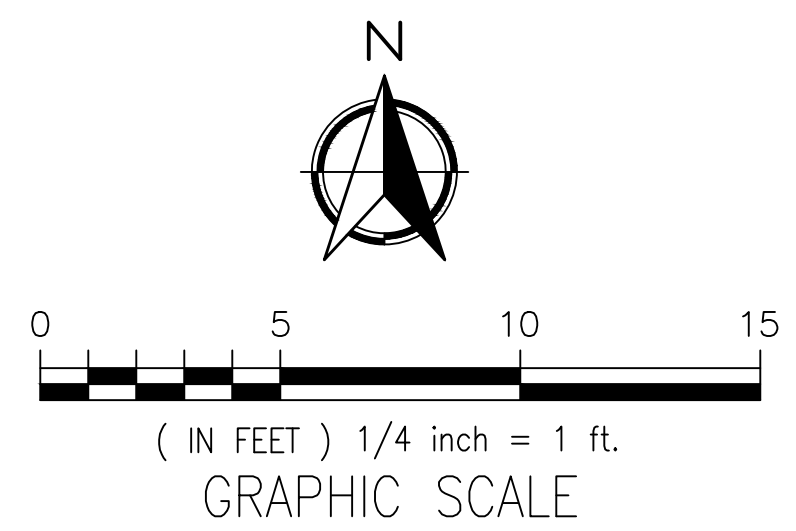
**FORESTRY NOTE:**  
 CITY FORESTER REQUIREMENT:  
 1. 6FT SETBACK FROM TREE TO BUILD FOOTPRINT AND STRUCTURE. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONES, 15FT AREA AROUND TREES MIN., SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.  
 2. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS. THE STORAGE AREA, CONCRETE WASHOUT AND PAINT AND SOLVENT CLEAN OUT AREA NEED TO BE MOVED.  
 3. ALL MEASUREMENTS FROM THE SETBACK LINE TO PROPERTY BOUNDARY LINE SHALL BE MEASURED FROM THE FINISHED EXTERIOR SURFACE OF THE STRUCTURE.

**PROPOSED FLOOR AREA**

MAIN LEVEL	1,188.0 SQ.FT.
UPPER LEVEL	412.0 SQ.FT.
ATTACHED GARAGE	200.0 SQ.FT.
<b>TOTAL</b>	<b>1,800.0 SQ.FT.</b>

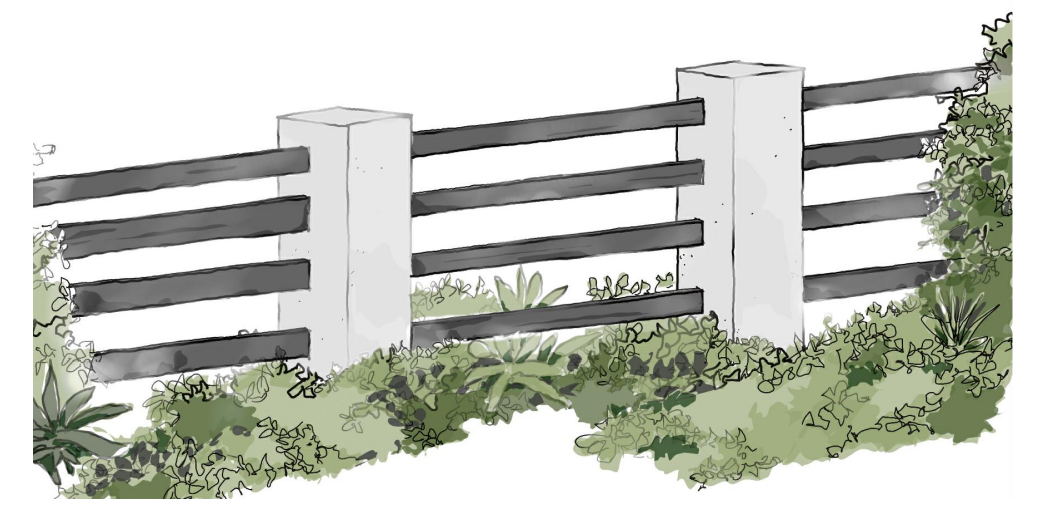
**SITE COVERAGE**

LAND COVERAGE ALLOWED	396.0 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	160.0 SQ.FT.	4.0% of SITE
<b>TOTAL COVERAGE ALLOWED</b>	<b>556.0 SQ.FT.</b>	<b>13.9 %</b>
<b>IMPERVIOUS COVERAGE</b>		
ENTRY LANDING	41.0 SQ.FT.	
ENTRY STEPS	10.5 SQ.FT.	
NORTH LANDING	10.5 SQ.FT.	
<b>TOTAL (P) IMPERVIOUS COVERAGE</b>	<b>62.0 SQ.FT.</b>	
<b>PERVIOUS COVERAGE</b>		
DRIVEWAY PAVERS	146.5 SQ.FT.	
ENTRY WALKWAY	67.0 SQ.FT.	
WEST PATIO	69.0 SQ.FT.	
EAST PATIO PAVERS	106.0 SQ.FT.	
<b>TOTAL (P) PERVIOUS COVERAGE</b>	<b>388.5 SQ.FT.</b>	
<b>TOTAL PROPOSED COVERAGE</b>	<b>450.5 SQ.FT.</b>	<b>12.6 %</b>

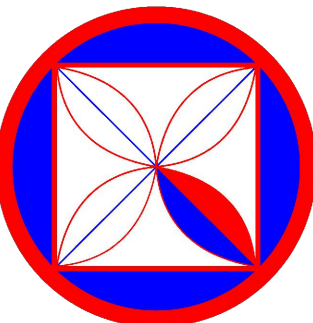


**LEGEND**

- GROUND LEVEL
- UPPER LEVEL
- GARAGE
- HARDSCAPE
- PROPERTY LINE
- MIN. SETBACKS
- NEW 6-FOOT FENCE
- NEW CONTOURS
- LIGHT FIXTURE, SEE SHEET A9.0 FOR SPEC'S
- HOSE BIB
- GAS VALVE
- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED
- RETAINING WALL



**1 - FRONT FENCE**  
 NEW 12"x12"x3-FT PLASTER COLUMN WITH HORIZONTAL WOOD SLATS



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1000 S. GARDEN AVENUE, SUITE 200  
 GARDEN CITY, CA 95921  
 OFFICE: 916.316.4144  
 WWW.CODGINC.COM

BLNDG 05-19-2022  
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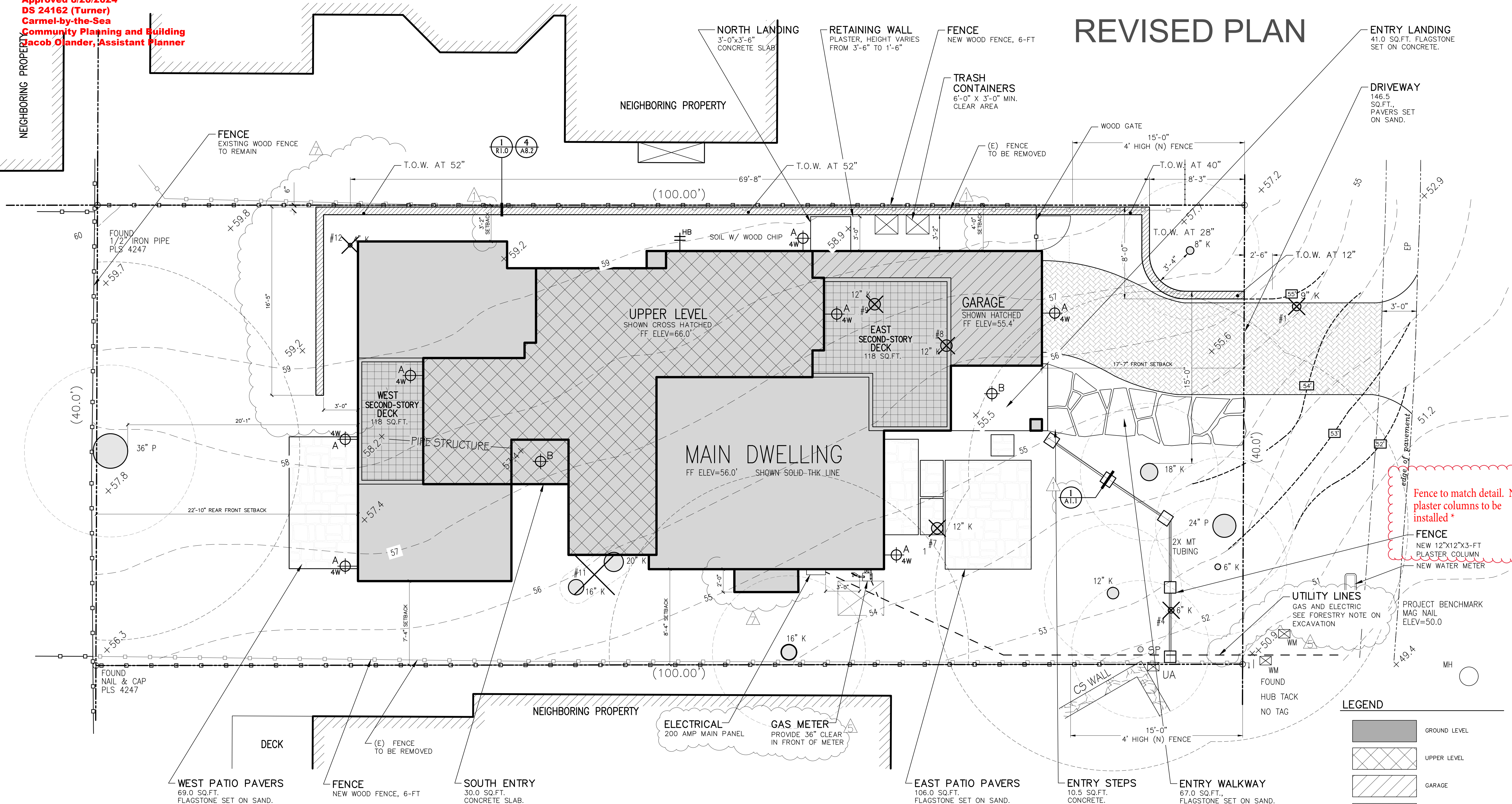
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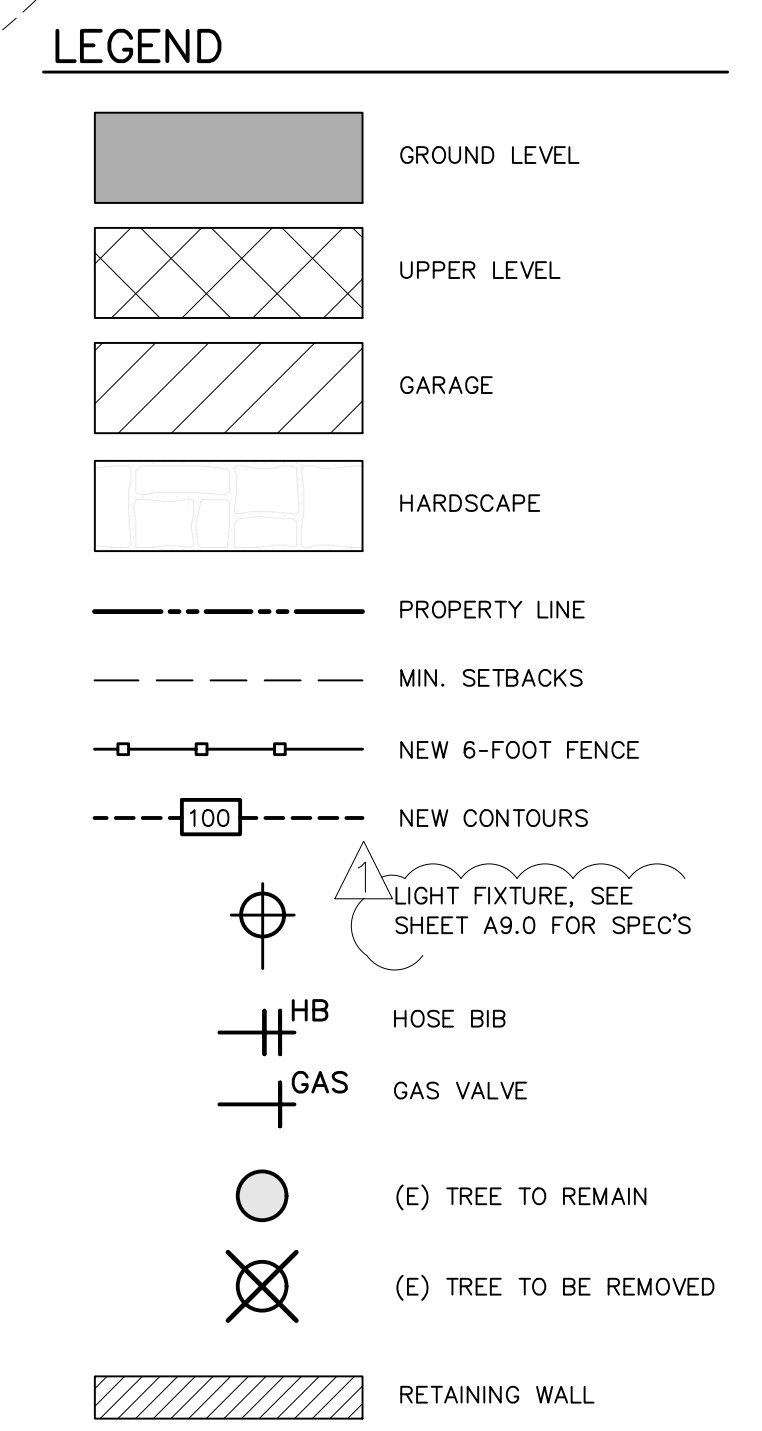
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A1.1

# REVISED PLAN



Fence to match detail. No plaster columns to be installed \*



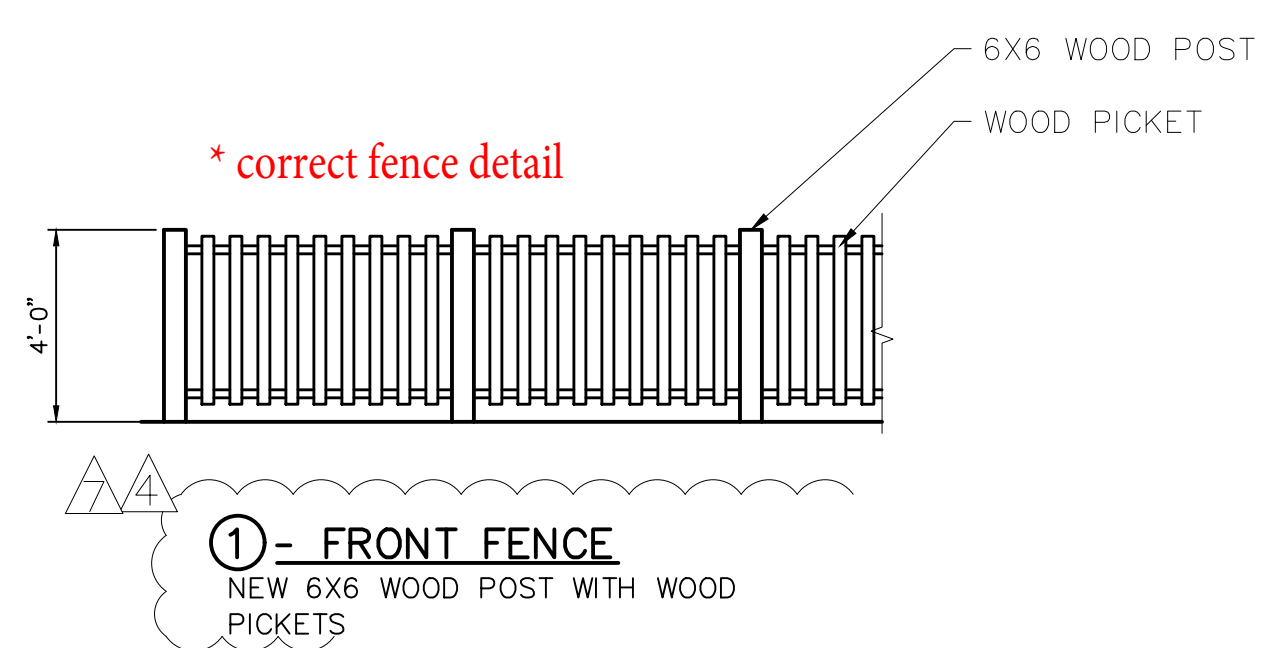
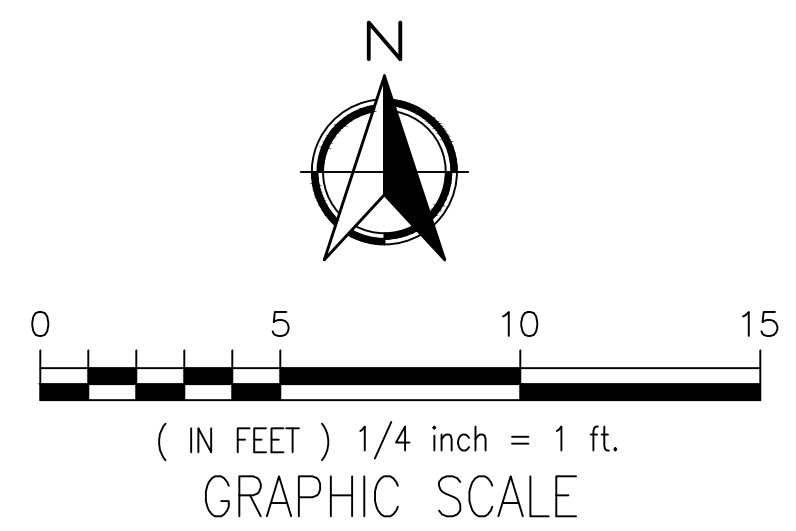
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# APPROVED PLAN

THIS PROJECT SHALL COMPLY WITH THE:

- 2019 CALIFORNIA RESIDENTIAL CODES
- 2019 CALIFORNIA PLUMBING CODES
- 2019 CALIFORNIA FIRE CODES
- 2019 CALIFORNIA ELECTRICAL CODES
- 2019 CALIFORNIA ENERGY CODES
- 2019 CALIFORNIA MECHANICAL CODES
- 2019 CALIFORNIA GREEN BUILDING CODES

## GENERAL NOTES:

1. All construction shall meet the requirements of the C.R.C. 2019 edition.
2. Insulation shall be installed in ceilings, all exterior walls, ground water heaters, walls around air conditioning plenums and between floor joists. Insulation contractor shall post a copy of the "Certificate of Compliance". Insulation shall conform to flame spread rating and smoke density requirements of CRC 2019 Edition.
3. Insulate areas as follows: Ceiling: R-30 average, Floor: R-19, Walls: R-23
4. All windows shall comply with the State of California energy conservation codes, Title 24. See Title 24 calculations included or attached to these plans.
5. Omitted
6. Water closet area shall be a min. of 30" width w/ 24" clear in front.
7. All gas burning equipment shall have combustion air within 12" of the floor and ceiling.
8. Slab edge insulation. Material used for slab edge insulation shall meet the following minimum specifications: Water absorption rate for the insulation material alone without facings no greater than 0.3 percent when tested in accordance with Test Method A-24-Hour-Immersion of ASTM C272. Water vapor permeance no greater than 2.0 perm/inch when tested in accordance with ASTM E96. Concrete slab perimeter insulation shall be protected from physical damage and ultraviolet light deterioration. Insulation for a heated slab floor shall meet the requirements of Section 110.8(g). (CEN 150.0(i))
9. All attic access openings shall be not less than 22"x30" & 30" of clear headroom provides above the access openings. (CRC R807.1)
10. Provide water-resistant cement backer board behind all ceramic tile or other wall finishes as per requirements. (CRC R702.4.2)
11. Garage to Dwelling Separation: Garages shall be separated from the dwelling unit and its attic area by minimum 1/2-inch gypsum board applied on the GARAGE side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch type X gypsum board or equivalent. (CRC R302.6 Table)
12. Doors from garage to dwelling units shall be solid wood door or solid or honeycomb core steel door not less than 1-3/8" thick; or 20-minute rated door. The door shall be self-closing and self-latching. (CRC R302.5.1)
13. Minimum Room Heights: Habitable space, hallways & portions of basements a ceiling height of not less than 7'. Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6'-8". (CRC R305.1)
14. Bath tub / shower floors & walls above bathtubs with installed shower heads shall be finished to the face and extend to a height of not less than 6 ft above the floor. (CRC R302.2)
15. The water supply to a bathtub and shower filler valve shall be protected by an air gap CPC 409.5)
16. All tub/shower shall be fitted with approved safety glass enclosure or a curtain rod.
17. OMITTED
18. OMITTED
19. Smoke alarms: Install smoke alarm inside each bedroom, outside each sleeping area, on every level of the home, including the basement. On levels without bedrooms, install alarms in living room / den/family room) or near the stair way to the upper level, or in both locations. Smoke alarms in the basement should be installed on the ceiling at the bottom of the stair landing. (CRC R314.3)
20. Alarm Power Supply: Smoke alarms to be hard-wired a provided with battery backup. (CRC R314). Smoke alarms should be interconnected where there is more than one smoke alarm, in a manner that will activate. (CRC R314.4.)
21. Combo Alarms: Carbon monoxide/smoke alarms shall be an acceptable alternative to CO alarms. Combination carbon monoxide/smoke alarm shall be listed in accordance with UL2034 and UL 217. (CRC R314.4.7)
22. Final inspection and approval from (MPWMD) Monterey Peninsula Water Management District required prior to municipality final approval.
23. Landings or finished floors at the required egress door shall be not more than 1/2 inches (38 mm) lower than the top of the threshold. Exception: The landing or floor on the exterior side shall be not more than 3/4 inches (19 mm) below the top of the threshold provided that the door does not swing over the landing or floor.
24. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7. (CRC R311.3)
25. Basements, habitable attics and every sleeping room shall have not less than one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room. Emergency escape and rescue openings shall open directly into a public way, to a yard or court that opens to a public way. (CRC R310.1)
26. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler shall be limited to 120°F (49°C) by a device that complies with ASSE 1070/ASSE A112.1070/ASSE A112.3. The water heater thermostat shall not be considered a control for meeting this provision. (CPC 409.4)
27. The vent terminal of a direct-vent appliance with an input of 10000 Btu/h (3 kW) or less shall be located at least 6 inches (152 mm) from any air opening into a building, an appliance with an input over 10000 Btu/h (3 kW) but not over 50000 Btu/h (14.7 kW) shall be installed with a 9 inch (229 mm) vent termination clearance, and an appliance with an input exceeding 50000 Btu/h (14.7 kW) shall have at least a 12 inch (305 mm) vent termination clearance. The bottom of the vent terminal and the air intake shall be located at least 12 inches (305 mm) above finished ground level. [NFPA 54:12.9.3] (CMC 802.8.2).
28. (1) Makeup air shall be provided for Type 1 clothes dryers in accordance with the manufacturer's instructions. [NFPA 54:10.4.3.1] Where a closet is designed for the installation of a clothes dryer, an opening of not less than 100 square inches (0.065 m<sup>2</sup>) for makeup air shall be provided in the door or by other approved means. (2) Provision for makeup air shall be provided for Type 2 clothes dryers, with a free area of not less than 1 square inch (0.006 m<sup>2</sup>) for each 1000 British thermal units per hour (Btu/h) (0.293 kW) total input rating of the dryer(s) installed. [NFPA 54:10.4.3.2] (CMC 504.4.1.)
29. OMITTED
30. All joints, penetrations and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather-stripped or otherwise sealed to limit infiltration and exfiltration. (CEN Sec. 110.7)
31. Water piping, solar water-heating system piping, and space conditioning system line insulation thickness and conductivity. Piping shall be insulated as follows: A) All domestic hot water piping shall be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions shall have a minimum insulation wall thickness of 1 inch or a minimum insulation R-value of 7.7: i) The first 5 feet of cold water pipes from the storage tank. ii) All hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than 1 inch. iii) All hot water piping with a nominal diameter less than 3/4 inch that is: a) Associated with a domestic hot water recirculation system; b) From the heating source to the kitchen fixtures; c) From the heating source to a storage tank or between storage tanks; or d) Buried below grade. (CEN 150.0(i)(2))
32. Installation of fireplaces: Factory-built fireplaces or masonry fireplace shall comply with the following: 1) Closeable metal or glass doors covering the entire opening of the firebox; and 2) A combustion air intake to draw air from the outside of the building, which is at least 6 sq.in area & is equipped with a readily accessible, operable and tight-fitting damper or combustion-air control device; 3) A flue damper with a readily accessible control. (CEN 150.0(e))
33. The horizontal area of the window well shall be not less than 9 square feet with a horizontal projection and width of not less than 36 inches. The area of the window well shall allow the emergency escape and rescue opening to be fully opened. (CRC R310.2.3)
34. Provide (2) copies of the waste and vent, water pipes and gas pipe line Schematics/isometrics showing the size of the different branches, the various load demands, & the location of the point of delivery.
35. Under stair Protection: Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch gypsum board. (CRC R302.7)
36. Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe for a pipe up to 2 inches in diameter. Insulation wall thickness shall be not less than 2 inches for a pipe of 2 inches or more in diameter. Exceptions: 1) Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. 2) Hot water piping between the fixture control valve or supply stop and the fixture or appliance shall not be required to be insulated. (CPC 609.11.2)

## ROOM NOTES

- 100 ENTRY PORCH 8'-0" X 5'-8"
- 101 FOYER 5'-10" X 5'-4"
- 102 COAT CLOSET 4'-8" X 1'-2"
- 103 LIVING ROOM 19'-9" X 16'-3"
- 104 KITCHEN 13'-9" X 10'-6"
- 105 DINING ROOM 10'-4" X 9'-8"
- 106 LAUNDRY 3'-2" X 3'-0"
- 107 HALLWAY ONE 4'-4" X 14'-2"
- 108 SOUTH ENTRY 5'-0" X 3'-11"
- 109 POWDER ROOM 5'-4" X 5'-0"
- 110 MASTER BEDROOM 12'-5" X 13'-0"
- 111 MASTER CLOSET 5'-2" X 6'-4"
- 112 VESTIBULE 3'-2" X 8'-1"
- 113 MASTER BATHROOM 8'-8" X 7'-6"
- 114 WATER CLOSET 3'-0" X 5'-4"
- 115 GARAGE 9'-0" X 19'-6"

## KEY NOTES

- 1 ISLAND 3'-6" X 7'-0"
- 2 36" BUILT-IN ALL REFRIGERATOR W/GLASS DOOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER. KITCHEN SINK W/GARBAGE DISPOSAL.
- 3 SINGLE SINK WITH PULL OUT
- 4 DISH WASHER SPACE
- 5 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD ABOVE.
- 6 48" WIDE W/ LANTER TOP WITH BACKSLASH.
- 7 UPPER CABINETS
- 8 BUILT IN PANTRY W/ PULL OUT SHELVES
- 9 WATER CLOSET. TO BE MAXIMUM 1.28 GPF
- 10 BATHROOM SINK W/36" HIGH VANITY WITH ARCH AND BACKSLASH.
- 11 ARCHWAY
- 12 SHOWER PER PLAN
- 13 SHOWER HEAD TO BE 7'-0" FROM FISHER FLOOR
- 14 ANTI-SCALDING VALVE AT SHOWER
- 15 CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOSE NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 408.9). SHOWER-CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PER CPC 408.3. DO NOT USE MORE THAN 2.0 GALLONS PER MINUTE PER CPC 408.2
- 16 FIREPLACE: HEAT & GLO. 36" RUTHERFORD
- 17 HEARTH 12" SIDE
- 18 1/2" SIDE OF OPENING
- 19 20" FRONT EXTENSION.
- 20 STACK WASHER & DRYER WASHER: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. DRYER: PROVIDE VENT TO EXTERIOR. CLOTHES DRYER: EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14-FEET WITH TWO 90° ELBOWS. THIS SHALL BE REDUCED 2'-FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM 4-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. (CMC 504.4.2)
- 21 BAR
- 22 STONE VENEER
- 23 HANDRAILS: SHALL HAVE A HEIGHT OF NOT LESS THAN 34" ON THE OPEN SIDE OF THE STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAMETER EXCEPT AT THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND LOWER RAIL OF THE GUARD.
- 24 ONE 2" ROD ONE SHELF
- 25 FLAGSTONES
- 26 VEGETABLE SINK SINGLE FAUCET WITH PULL OUT
- 27 ELECTRICAL MAIN PANEL 200 AMP
- 28 GAS METER
- 29 TANKLESS WATER HEATER SYSTEM PER 1-24 SEE SHEET 1/A&0
- 30 WIRELESS AIR UNIT SEE SHEET 2/A&0
- 31 AIR-RETURN PROVIDE 5/8-INCH TYPE "X" ON CEILING, WALL AND UNDER STAIRS SEE GENERAL NOTE #11 FOR CODES
- 32 DUCT AND DUCT ROUTE SHOWN ON PLAN.

## WALL LEGEND

- 2x ALL INTERIOR & EXTERIOR WALLS
- STONE VENEER

## Interior Environment

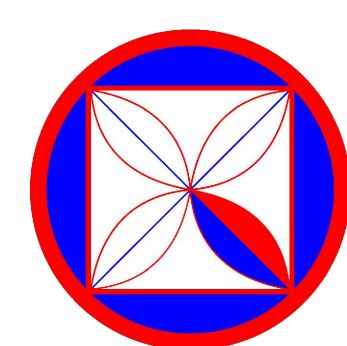
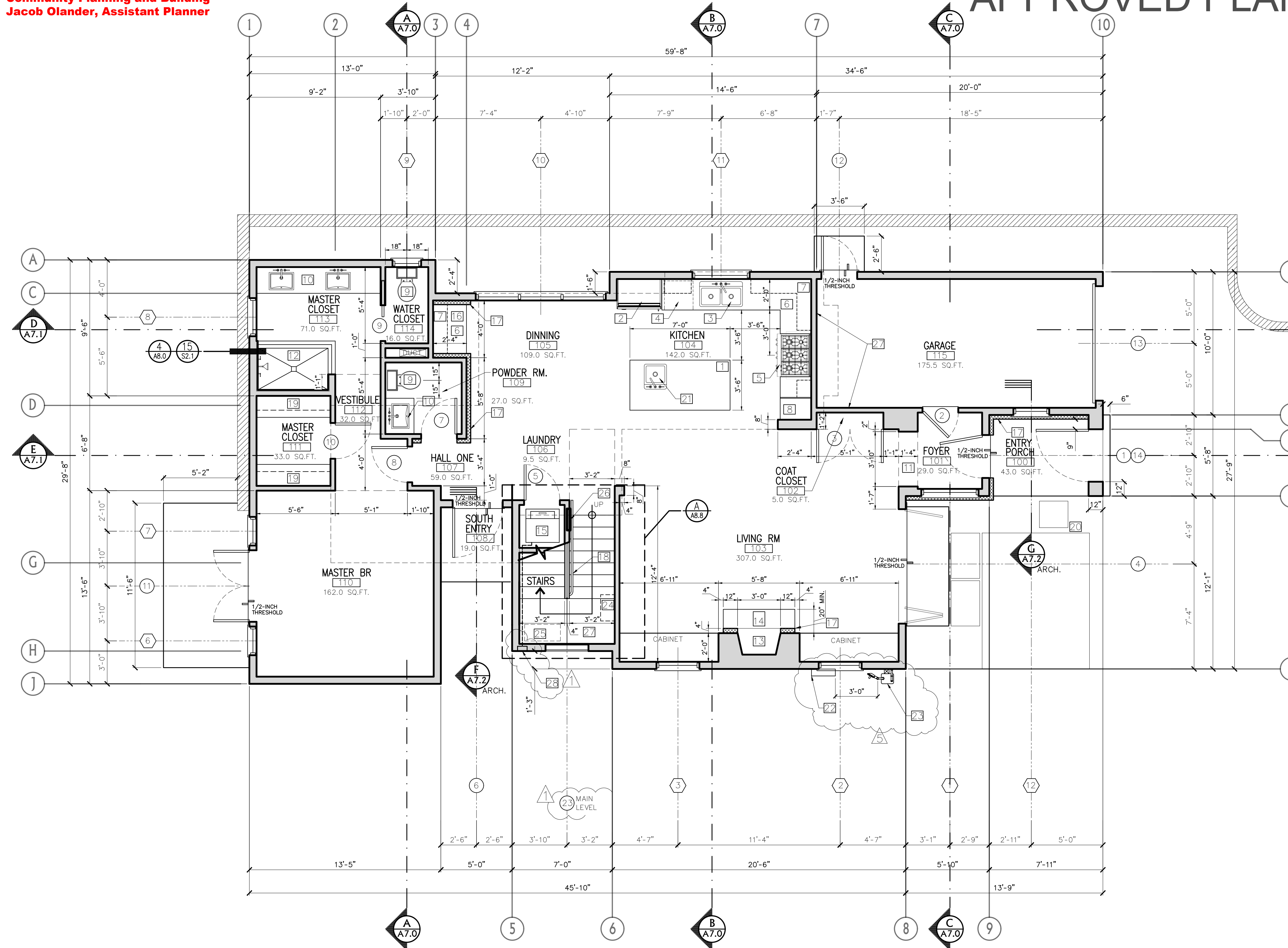
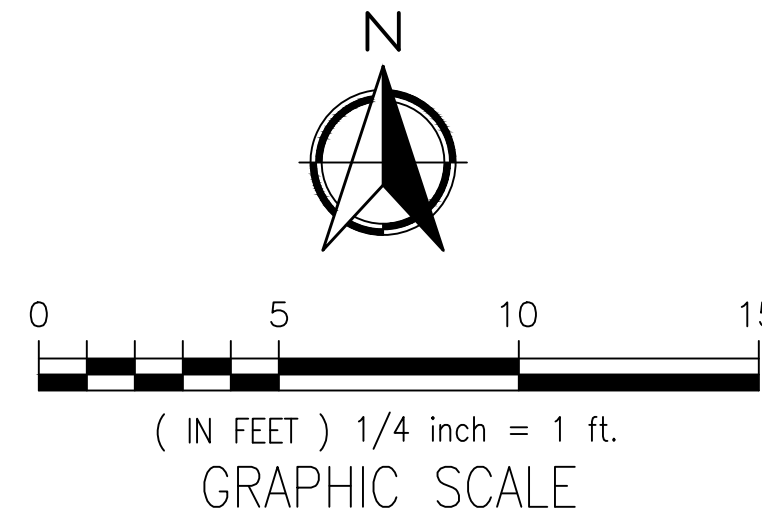
1. Provide minimum required square footage for escape and rescue window is reduced from 5.7 square feet to 5.0 square feet for grade floor opening, all other required dimension are the same as current code.
2. Unless an exterior door is provided, one window sill in each bedroom, shall have a finished height of not more than 44" above the floor. Such window shall have clear operable area not less than 5.7 sq. ft. with no dimension less than 24" inches height or 20" inches width.

## Proposed Floor Area

MAIN LEVEL	1,188.0 SQ.FT.
UPPER LEVEL	412.0 SQ.FT.
ATTACHED GARAGE	200.0 SQ.FT.
<b>TOATAL</b>	<b>1,800.0 SQ.FT.</b>

**Fireplace Horizontal Termination Cap Note.**  
 HEAT SHIELDS MUST OVERLAP BY A MINIMUM OF 1-1/2 IN. (38mm) THE HEAT SHIELD IS DESIGNED TO BE USED ON A WALL 4-INCH TO 7-1/4-INCH (102 mm to 184 mm) THICK. IF WALL THICKNESS IS LESS THAN 4-INCH (102 mm) THE EXISTING HEAT SHIELDS MUST BE FIELD TRIMMED. IF WALL THICKNESS IS GREATER THAN 7-1/4-INCH (184 mm)

**Effective January 1, 2010, the State of California Lead Free Plumbing Law, Health and Safety Code Section 116875 becomes effective.**  
 A. IN PERT, THIS CODE SECTION STATES THAT NO PERSON SHALL USE ANY PIPE, PIPE OR PLUMBING FITTING OR FIXTURE, OR SOLDER OR FLUX THAT IS NOT LEAD FREE. LEAD FREE MEANS LEAD-FREE PLUMBING SYSTEMS CONVEYING POTABLE WATER FOR HUMAN CONSUMPTION (I.E. PIPING, FITTINGS AND FIXTURES TO A KITCHEN AND BATHROOM SINK).  
 B. PLUMBING CONTRACTOR SHALL PROVIDE THE TESTING AND LISTING DOCUMENTATION TO THE MONTEREY COUNTY INSPECTION STAFF FOR ALL PLUMBING PRODUCTS CONVEYING POTABLE WATER SHOWING THAT EACH MEETS THE LEAD FREE TESTING REQUIREMENTS OF NSF/ANSI 61 ANNEX G.



**CODG**  
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 WWW.CODGINC.COM

REVISIONS:  
 BLNDG 11-23-2021  
 BLNDG 01-21-2022  
 BLNDG 04-19-2022

PROJECT:  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
 PROJECT NO:  
 19-02

ISSUE:  
 05-12-2021  
 10-28-2021  
 12-13-2021  
 DRAWN BY:  
 C.C.O.

MAIN LEVEL  
 FLOOR PLAN

SCALE: 1" = 1/4"

# A2.0

# REVISED PLAN

THIS PROJECT SHALL COMPLY WITH THE:

- 2019 CALIFORNIA RESIDENTIAL CODES
- 2019 CALIFORNIA PLUMBING CODES
- 2019 CALIFORNIA FIRE CODES
- 2019 CALIFORNIA ELECTRICAL CODES
- 2019 CALIFORNIA ENERGY CODES
- 2019 CALIFORNIA MECHANICAL CODES
- 2019 CALIFORNIA GREEN BUILDING CODES

## GENERAL NOTES:

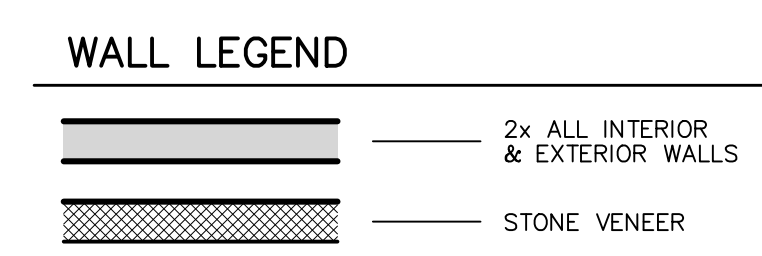
1. All construction shall meet the requirements of the C.R.C. 2019 edition.
2. Insulation shall be installed in ceilings, all exterior walls, ground water heaters, walls around air conditioning plenums and between floor joists. Insulation contractor shall post a copy of the "Certificate of Compliance". Insulation shall conform to flame spread rating and smoke density requirements of CRC 2019 Edition.
3. Insulate areas as follows: Ceiling: R-30 average, Floors: R-19, Walls: R-23
4. All windows shall comply with the State of California energy conservation codes, Title 24. See Title 24 calculations included or attached to these plans.
5. Omitted
6. Water closet area shall be a min. of 30" width w/ 24" clear in front.
7. All gas burning equipment shall have combustion air within 12" of the floor and ceiling.
8. Slab edge insulation. Material used for slab edge insulation shall meet the following minimum specifications: Water absorption rate for the insulation material alone without facings no greater than 0.3 percent when tested in accordance with Test Method A-24-Hour-Immersion of ASTM C272. Water vapor permeance no greater than 2.0 perm/inch when tested in accordance with ASTM E96. Concrete slab perimeter insulation shall be protected from physical damage and ultraviolet light deterioration. Insulation for a heated slab floor shall meet the requirements of Section 110.8(g). (CNC 150.0(i))
9. All attic access openings shall be not less than 22"x30" & 30" of clear headroom provides above the access openings. (CRC R807.1)
10. Provide water-resistant cement backer board behind all ceramic tile or other wall finishes as per requirements. (CRC R702.4.2)
11. Garage to Dwelling Separation: Garages shall be separated from the dwelling unit and its attic area by minimum 1/2-inch gypsum board applied on the GARAGE side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch type X gypsum board or equivalent. (CRC R302.6 Table)
12. Doors from garage to dwelling units shall be solid wood door or solid or honeycomb core steel door not less than 1-3/8" thick; or 20-minute rated door. The door shall be self-closing and self-latching. (CRC R302.5.1)
13. Basement Room Heights: Habitable space, hallways & portions of basements with finished ceilings shall have a ceiling height of not less than 7'. Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6'-8". (CRC R305.1)
14. Bath tub / shower floors & walls above bathtubs with installed shower heads shall be finished and sloped to drain and extend to a height of not less than 6" above the floor. (CRC R302.2)
15. The water supply to a bathtub and shower filler valve shall be protected by an air gap CPC 409.5)
16. All tub/shower shall be fitted with approved safety glass enclosure or a curtain rod.
17. OMITTED
18. OMITTED
19. Smoke alarms: Install smoke alarm inside each bedroom, outside each sleeping area, an every level of the home, including the basement. On levels without bedrooms, install alarms in living room / den/family room) or near the stair way to the upper level, or in both locations. Smoke alarms in the basement should be installed on the ceiling at the bottom of the stair landing. (CRC R314.3)
20. Alarm Power Supply: Smoke alarms to be hard-wired a provided with battery backup. (CRC R314). Smoke alarms shall be interconnected where there is more than one smoke alarm, in a manner that will activate. (CRC R314.4.)
21. Combo Alarms: Carbon monoxide/smoke alarms shall be an acceptable alternative to CO alarms. Combination carbon monoxide/smoke alarm shall be listed in accordance with UL2034 and UL 217. (CRC R314.4.7)
22. Final inspection and approval from (MPWMD) Monterey peninsula Water Management District required prior to municipality final approval.
23. Landings or finished floors at the required egress door shall be not more than 1/2 inches (38 mm) lower than the top of the threshold. Exception: The landing or floor on the exterior side shall be not more than 7/4 inches (196 mm) below the top of the threshold provided that the door does not swing over the landing or floor.
24. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7. (CRC R311.7)
25. Basements, habitable attics and every sleeping room shall have not less than one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way. (CRC R310.1)
26. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler shall be limited to 120°F (49°C) by a device that complies with ASSE 1070/ASSE A112.1070/ASSE A121.3. The water heater thermostat shall not be considered a control for meeting this provision. (CPC 409.4)
27. The vent terminal of a direct-vent appliance with an input of 10000 Btu/h (3 kW) or less shall be located at least 6 inches (152 mm) from any air opening into a building, an appliance with an input over 10000 Btu/h (3 kW) but not over 50000 Btu/h (14.7 kW) shall be installed with a 9 inch (229 mm) vent termination clearance, and an appliance with an input exceeding 50000 Btu/h (14.7 kW) shall have at least a 12 inch (305 mm) vent termination clearance. The bottom of the vent terminal and the air intake shall be located at least 12 inches (305 mm) above finished ground level. [NFPA 54:12.9.3] (CNC 802.8.2).
28. (1) Makeup air shall be provided for Type 1 clothes dryers in accordance with the manufacturer's instructions. [NFPA 54:10.4.3.1] Where a closet is designed for the installation of a clothes dryer, an opening of not less than 100 square inches (0.065 m<sup>2</sup>) for makeup air shall be provided in the door or by other approved means. (2) Provision for makeup air shall be provided for Type 2 clothes dryers, with a free area of not less than 1 square inch (0.006 m<sup>2</sup>) for each 1000 British thermal units per hour (Btu/h) (0.293 kW) total input rating of the dryer(s) installed. [NFPA 54:10.4.3.2] (CNC 504.4.1.)
29. OMITTED
30. All joints, penetrations and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather-stripped or otherwise sealed to limit infiltration and exfiltration. (CNC Sec. 110.7)
31. Water piping, solar water-heating system piping, and space conditioning system line insulation thickness and conductivity. Piping shall be insulated as follows: A) All domestic hot water piping shall be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions shall have a minimum insulation wall thickness of 1 inch or a minimum insulation R-value of 7.7: i) The first 5 feet of cold water pipes from the storage tank. ii) All hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than 1 inch. iii) All hot water piping with a nominal diameter less than 3/4 inch that is: a) Associated with a domestic hot water recirculation system; b) From the heating source to the kitchen fixtures; c) From the heating source to a storage tank or between storage tanks; or d) Buried below grade. (CNC (150.0)(2))
32. Installation of fireplaces: Factory-built fireplaces or masonry fireplace shall comply with the following: 1) Closeable metal or glass doors covering the entire opening of the firebox; and 2) A combustion air intake to draw air from the outside of the building, which is at least 6 sq.in area & is equipped with a readily accessible, operable and tight-fitting damper or combustion-air control device; 3) A flue damper with a readily accessible control. (CNC 150.0(e))
33. The horizontal area of the window well shall be not less than 9 square feet with a horizontal projection and width of not less than 36 inches. The area of the window well shall allow the emergency escape and rescue opening to be fully opened. (CRC R310.2.3)
34. Provide (2) copies of the waste and vent, water pipes and gas pipe line Schematics/isometrics showing the size of the different branches, the various load demands, & the location of the point of delivery.
35. Under stair Protection: Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch gypsum board. (CRC R302.7)
36. Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe for a pipe up to 2 inches in diameter. Insulation wall thickness shall be not less than 2 inches for a pipe of 2 inches or more in diameter. Exceptions: 1) Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. 2) Hot water piping between the fixture control valve or supply stop and the fixture or appliance shall not be required to be insulated. (CPC 609.11.2)

## ROOM NOTES

- |                                    |                                       |
|------------------------------------|---------------------------------------|
| 100 ENTRY PORCH<br>8'-0" X 5'-8"   | 108 SOUTH ENTRY<br>5'-0" X 3'-11"     |
| 101 FOYER<br>5'-10" X 5'-4"        | 109 POWDER ROOM<br>5'-4" X 5'-0"      |
| 102 COAT CLOSET<br>4'-8" X 1'-2"   | 110 MASTER BEDROOM<br>12'-5" X 13'-0" |
| 103 LIVING ROOM<br>19'-8" X 16'-3" | 111 MASTER CLOSET                     |
| 104 KITCHEN<br>13'-9" X 10'-6"     | 112 VESTIBULE<br>3'-2" X 8'-1"        |
| 105 DINING ROOM<br>10'-4" X 9'-8"  | 113 MASTER BATHROOM<br>8'-8" X 7'-6"  |
| 106 LAUNDRY<br>3'-2" X 3'-0"       | 114 WATER CLOSET<br>3'-0" X 5'-4"     |
| 107 HALLWAY ONE<br>4'-4" X 14'-2"  | 115 GARAGE<br>9'-0" X 19'-6"          |

## KEY NOTES

- 1 ISLAND 3'-6" X 7'-0"
- 2 36" BUILT-IN ALL REFRIGERATOR W/GLASS DOOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 3 KITCHEN SINK W/GARBAGE DISPOSAL
- 4 DISH WASHER SPACE
- 5 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD ABOVE.
- 6 48-INCH HIGH SINKER TOP WITH BACKSPLASH.
- 7 UPPER CABINETS
- 8 BUILT IN PANTRY W/ PULL OUT SHELVES
- 9 WATER CLOSET. TO BE MAXIMUM 1.28 GPF
- 10 BATHROOM SINK W/36-INCH HIGH VANITY WITH ANS I 22.88 STANDARD
- 11 ARCHWAY
- 12 SHOWER PER PLAN
- 13 SHOWER HEAD TO BE 7'-0" FROM FISHER FLOOR
- 14 ANTI-SCALDING VALVE AT SHOWER
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- 16 FIREPLACE, HEATILATOR, HEIRLOOM 42-INCH HEATER LISTED TO ANSI Z21.88 STANDARDS
- 17 HEARTH 12" SIDE OF OPENING
- 18 20" FRONT EXTENSION
- 19 STACK WASHER & DRYER W/ASHER: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. DRYER: PROVIDE VENT TO EXTERIOR. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14-FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2'-FEET FOR EVERY ELBOW IN EXCESS OF TWO SHOW MINIMUM 4-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN.
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- 31 DUCT AND DUCT ROUTE SHOWN ON PLAN.



### Interior Environment

1. Provide minimum required squared footage for escape and rescue window is reduced from 7 square feet to 5.0 square feet for grade floor opening, all other required dimension are the same as current code.
2. Unless an exterior door is provided, one window sill in each bedroom, shall have a finished height of not more than 44" above the floor. Such window shall have clear operable area not less than 5.7 square feet, with no dimension less than 24" inches height or 20" inches width.

### Proposed Floor Area

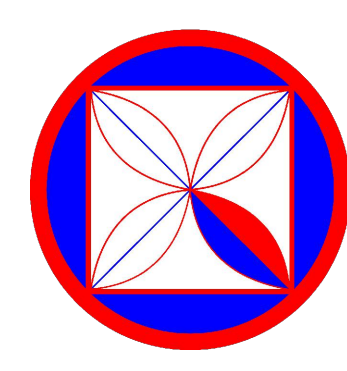
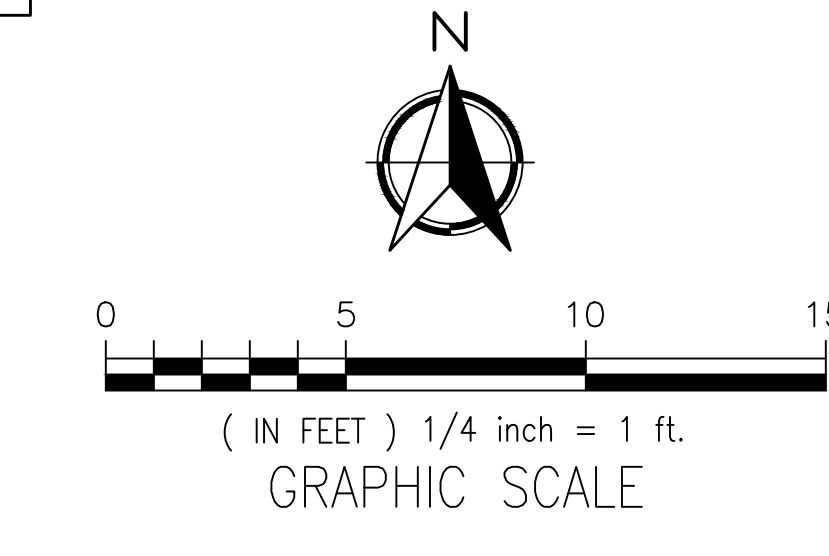
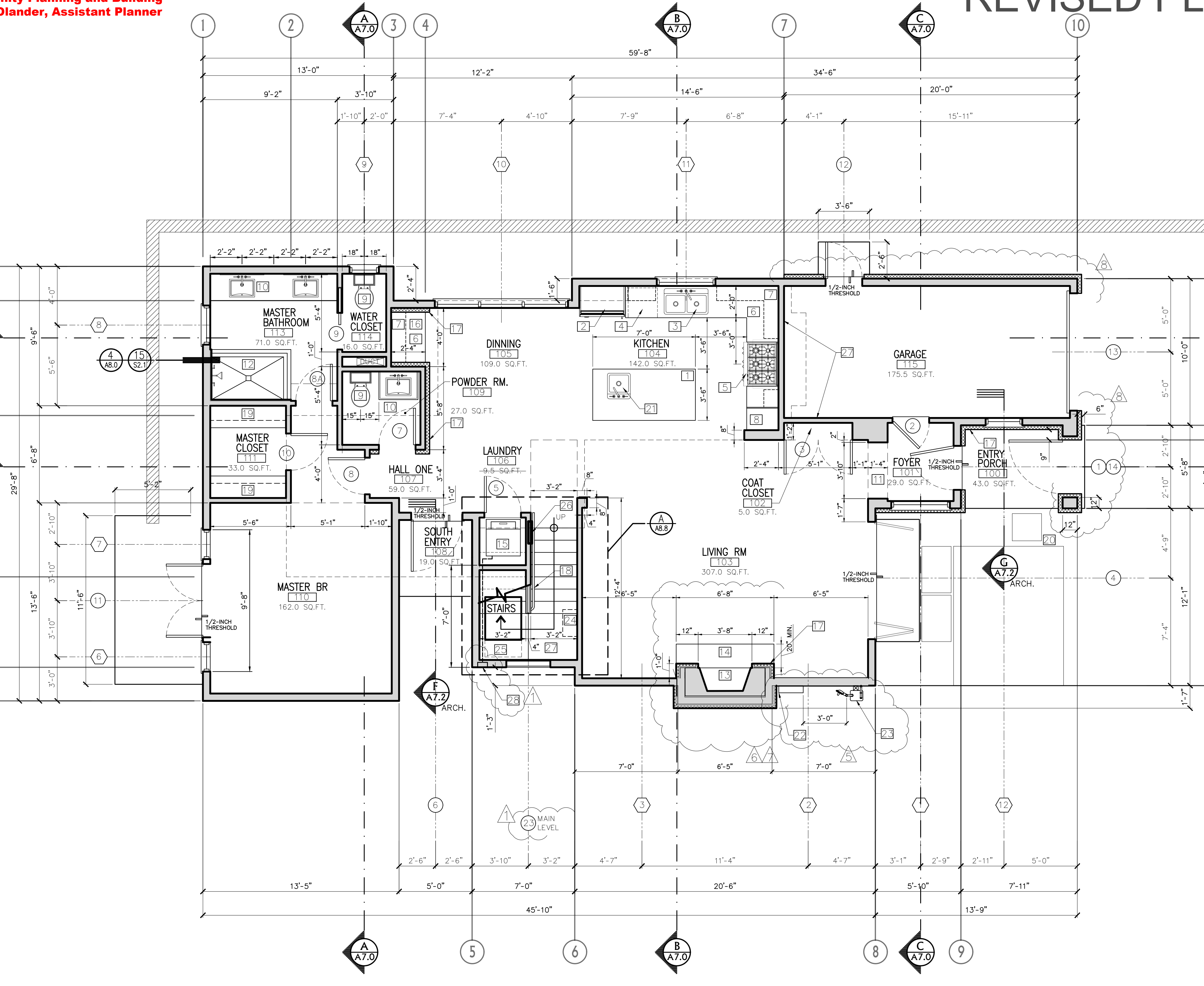
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ATTACHED GARAGE	200.0 SQ.FT.
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**Fireplace Horizontal Termination Cap Note.**  
 HEAT SHIELDS MUST OVERLAP BY A MINIMUM OF 1-1/2 IN. (38mm) THE HEAT SHIELD IS DESIGNED TO BE USED ON A WALL 4-INCH TO 7-1/4-INCH (102 mm to 184 mm) THICK. IF WALL THICKNESS IS LESS THAN 4-INCH (102 mm) THE EXISTING HEAT SHIELDS MUST BE FIELD TRIMMED. IF WALL THICKNESS IS GREATER THAN 7-1/4-INCH (184 mm)

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A. IN PERT, THIS CODE SECTION STATES THAT NO PERSON SHALL USE ANY PIPE, PIPE OR PLUMBING FITTING OR FIXTURE, OR SOLDER OR FLUX THAT IS NOT LEAD FREE. LEAD FREE PLUMBING SYSTEMS CONVEYING POTABLE WATER FOR HUMAN CONSUMPTION (I.E. PIPING, FITTINGS AND FIXTURES TO A KITCHEN AND BATHROOM SINK).

B. PLUMBING CONTRACTOR SHALL PROVIDE THE TESTING AND LISTING DOCUMENTATION TO THE MONTEREY COUNTY INSPECTION STAFF FOR ALL PLUMBING PRODUCTS CONVEYING POTABLE WATER SHOWING THAT EACH MEETS THE LEAD FREE TESTING REQUIREMENTS OF NSF/ANSI 61 ANNEX G.



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REVISIONS:  
 BLNDG 11-23-2021  
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 CLIENT 03-08-2024  
 CLIENT 05-25-2024

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 12-13-2021

DRAWN BY:  
 C.C.O.

SCALE: 1" = 1/4"

MAIN LEVEL  
 FLOOR PLAN

**A2.0**



# APPROVED PLAN

THIS PROJECT SHALL COMPLY WITH THE:

- 2019 CALIFORNIA RESIDENTIAL CODES
- 2019 CALIFORNIA PLUMBING CODES
- 2019 CALIFORNIA FIRE CODES
- 2019 CALIFORNIA ELECTRICAL CODES
- 2019 CALIFORNIA ENERGY CODES
- 2019 CALIFORNIA MECHANICAL CODES
- 2019 CALIFORNIA GREEN BUILDING CODES

GENERAL NOTES:

1. All construction shall meet the requirements of the C.R.C. 2019 edition.
2. Insulation shall be installed in ceilings, all exterior walls, around water heaters, walls around air conditioning plenums and between floor joists. Insulation contractor shall post a copy of the "Certificate of Compliance". Insulation shall conform to flame spread rating and smoke density requirements of CRC 2019 Edition.
3. Insulate areas as follows: Ceiling: R-19 average, Floors: R-19, Walls: R-13 & R-30 at cantilevered conditions
4. All windows shall comply with the State of California energy conservation codes, Title 24. See Title 24 calculations included or attached to these plans.
5. All interior wall finishes shall be rated flame spread, Class III.
6. Water closet compartment shall be a minimum of 30" width with 24" clear in front.
7. All gas burning equipment shall have combustion air within 12" of the floor and ceiling.
8. Slab edge insulation for underground HVAC unit. Material used for slab edge insulation shall meet the following minimum specifications: 1) Water absorption rate for the insulation material alone without facings no greater than 0.3 percent when tested in accordance with Test Method A - 24-Hour-Immersion of ASTM C272. 2.) Water vapor permeance no greater than 2.0 perm/inch when tested in accordance with ASTM E96. 3.) Concrete slab perimeter insulation shall be protected from physical damage and ultraviolet light deterioration. (CEnC 150.0(i))
9. All attic access openings shall be not less than 22"x30" & 30" of clear headroom provides above the access openings. (CRC R807.1)
10. Provide water-resistant cement backer board behind all ceramic tile or other wall finishes as per requirements. (CRC R702.4.2)
11. Garage to Dwelling Separation: Garages shall be separated from the dwelling unit and its attic area by minimum 1/2-inch gypsum board applied on the GARAGE side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8"-inch type X gypsum board or equivalent. (CRC R302.6 Table)
12. Doors from garage to dwelling units shall be solid wood door or solid or honeycomb core steel door not less than 1-3/8" thick; or 20-minute rated door. The door shall be self-closing and self-latching. (CRC R302.5.1)
13. Minimum Room Heights: Habitable space, hallways & portions of basements with ceiling heights shall be not less than 7'-0" and not less than 7'-0", Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6'-8". (CRC R305.1)
14. Bathtub/shower floors & walls above bathtubs with installed shower heads shall be finished with a nonabsorbent surface and extend to a height of not less than 6 feet above the floor. (CRC R307.2)
15. The water supply to a bathtub and shower filler valve shall be protected by an air gap CRC R490.5)
16. All tub/shower shall be fitted with approved safety glass enclosure or a curtain rod.
17. For all building alterations or improvements to a single family residential property, existing plumbing fixtures in the entire house that do not meet current flow rates will be upgraded. (CGBS 301.1)
18. Water closet with a flow rate excess of 1.6gpf will need to be replaced with water closet with a maximum flow rate of 1.28gpf. (CPC 411.2.4). Showers heads with a flow rate greater than 2.5gpm will need to be replaced with a maximum 1.8gpm shower head. (CPC 408.2)
19. Lavatory faucets with a flow rate greater than 2.2gpm will need to be replaced with a faucet with maximum flow rate of 1.2gpm for lavatory faucets. (CPC 407.2.2). Kitchen faucets shall have a maximum flow rate of not more than 1.8 gpm. (CPC 420.2.2)
20. Smoke alarms: Install smoke alarm inside each bedroom, outside each sleeping area, on every level of the home, including the basement. On levels without bedrooms, install alarms in living room, den (family room) or near the stair way to the upper level, or in both locations. Smoke alarms in the basement should be installed on the ceiling at the bottom of the stair landing. (CRC R314.2)
21. Alarm Power Supply: Smoke alarms to be hard-wired a provided with battery backup. (CRC R314). Smoke alarms should be interconnected where there is more than one smoke alarm, in a manner that all will activate. (CRC R314.4)
22. Combo Alarms: Carbon monoxide/smoke alarms shall be an acceptable alternative to CO alarms. Combination carbon monoxide/smoke alarm shall be listed in accordance with UL2034 and UL 217. (CRC R314.4)
23. Final inspection and approval from Water District required prior to municipally final approval.
24. Landings or finished floors at the required egress door shall be not more than 1-1/2" lower than the top of the threshold. Except when the landing or floor on the exterior side shall be not more than 7-3/4 inches below the top of the threshold provided that the door does not swing over the landing or floor. (CRC R311.3.1)
19. Anti-siphon devices at all exterior hose bibs
20. A gas pipe diagram showing sizes, run, layout and type shall be provided by the plumbing contractor prior to inspection.
21. Plumbing vents to terminate 6" above roof nor less than 1' from a vertical surface, and not less than 3 feet (914 mm) in every direction from a lot line, alley and street excepted. (CRC R906.0)
22. Basement shall have at least one operable window or door approved for emergency escape. 1. Basement with a ceiling height of less than 80-inches shall not be required to have emergency escape and rescue window. 2. Basement without habitable spaces and having no more than 200 square feet in floor area shall not be required to have emergency escape window. (CBC Section 1030.1)
24. The Maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for meeting this provision (CPC 409.4)
25. Through-the-wall vent termination will comply with the following. The vent terminal of direct-vent appliance with an input of 10,000 Btu/h or less shall be located at (6) inches from any air opening into a building, and such an appliance with an input over 10,000Btu/h but not over 50,000 Btu/h shall be installed with (9) inches of vent termination clearance, and an appliance with an over 50,000 Btu/h shall have at least a (12) inch vent termination clearance. The bottom of the vent terminal and the air intakes shall be located at least twelve (12) inches above grade (CCE 802.8.8).
26. Provide makeup air for the clothes dryer. When a closet is designed for the installation of clothes dryer, a minimum opening of 100-inches shall be provided in the door. (CCE 504.3.2)
27. Provide source of combustion air to furnace and water heater in compliance with CMC Chapter 7.
28. Joints and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasket, weather-stripped or otherwise sealed to limit infiltration and exfiltration. (CCE Sec. 117)
29. The first 5 feet of hot and cold water pipes from the storage tank for non-recirculating system shall be thermally insulated with a minimum of 1"(75") thick insulation for hot (cold) water pipes with a diameter less than or equal to 2-inches or 1.5"(1") for hot (cold) water pipes with a diameter greater than 2-inches. (CEnC (150)(j)(2))
30. Installation of fireplaces: Factory-built fireplaces or masonry fireplace shall comply with the following: 1) Closable metal or glass doors covering the entire opening of the firebox; and 2.) A combustion air intake to draw air from the outside of the building, which is at least 6 sq.in area & is equipped with a readily accessible, operable and tight-fitting damper or combustion-air control device; 3) A flue damper with a readily accessible control. (CEnC 150.0(i))
31. Window Well the minimum horizontal area of the window well shall be 9 sq.ft., with a minimum dimension of 36-inches. The area of the window well shall allow the emergency escape and rescue opening to be fully opened.
32. Provide (2) copies of the waste and vent, water pipes and gas pipe line Schematics/Isometrics showing the size of the different branches, the various load demands, & the location of the point of delivery. Under stair Protection: Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surface and dry soffits protected on the enclosed side with 1/2-inch gypsum board. (CRC R302.7)
33. The horizontal area of the window well shall be not less than 9 square feet, with horizontal projection & width of not less than 36". The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 6 inches into the required dimensions of the window well. (CRC R310.2.3.1) Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe for a pipe up to 2 inches in diameter. Insulation wall thickness shall be not less than 2 inches for a pipe of 2 inches or more in diameter. Exceptions: 1) Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. 2) Hot water piping between the fixture control valve or supply stop and the fixture or appliance shall not be required to be insulated. (CRC R609.11.2)

## ROOM NOTES

- 200 BEDROOM ONE, 10'-0" X 10'-0"
- 201 CLOSET ONE, 2'-0" X 6'-4"
- 202 CLOSET TWO, 2'-6" X 2'-2"
- 203 BATH TWO, 10'-4" X 5'-0"
- 204 BEDROOM TWO, 10'-0" X 10'-0"
- 205 CLOSET TWO, 2'-0" X 5'-0"
- 206 HALLWAY TWO, 3'-2" X 7'-6"

## KEY NOTES

- 1 WATER CLOSET: TO BE MAXIMUM 1.28 GPF WATER FLOW PER (CPC 411.2.4)
- 2 BATHROOM SINK 1/2-INCH HIGH VANITY WITH STONE TOP AND BACKPLASH
- 3 SHOWER/TUB PER PLAN
  - SHOWER HEAD TO BE 7'-0" FROM FISHED FLOOR
  - ANTI-SCALDING VALVE AT SHOWER
  - CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 408.9). SHOWER-CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, PER CPC 408.3. DO NOT USE MORE THAN 2.0 GALLONS PER MINUTE PER CPC 408.2
- 4 SKYLIGHT 24"x36"
- 5 16"x16"x44" PLASTER COLUMN
- 6 GUARDRAILS: WESTERN CEDAR, PAINTED, 42-IN HIGH W/WOOD POST, HANDRAIL, 1-5/8-IN THICK SQUARE BALUSTERS.
- 7 HANDRAIL: 42-IN. HIGH, WROUGHT IRON
- 8 42-INCH HIGH IRON GUARDRAIL
  - A. GUARDS ON AN OPEN SIDE OF STAIRS (HANDRAILS) SHALL HAVE A HEIGHT OF NOT LESS THAN 34" ON THE OPEN SIDE OF THE STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERER 4-3/8" IN DIAMETER EXCEPT AT THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND LOWER RAIL OF THE GUARD.
  - B. GUARDRAILS SHALL BE LOCATED ALONG OPEN-SIDE WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDING THAT ARE MORE THAN 30" ABOVE THE GROUND, REQUIRED GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT AND SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" SPHERE.
- 9 ONE 2" ROD ONE SHELF
- 10 MAIN LEVEL FOOTPRINT
- 11 HANDRAIL: 42-IN. HIGH, SOLID WALL
- 12 DUCT CHASE

## WALL LEGEND

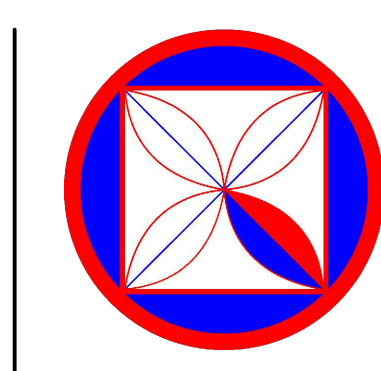
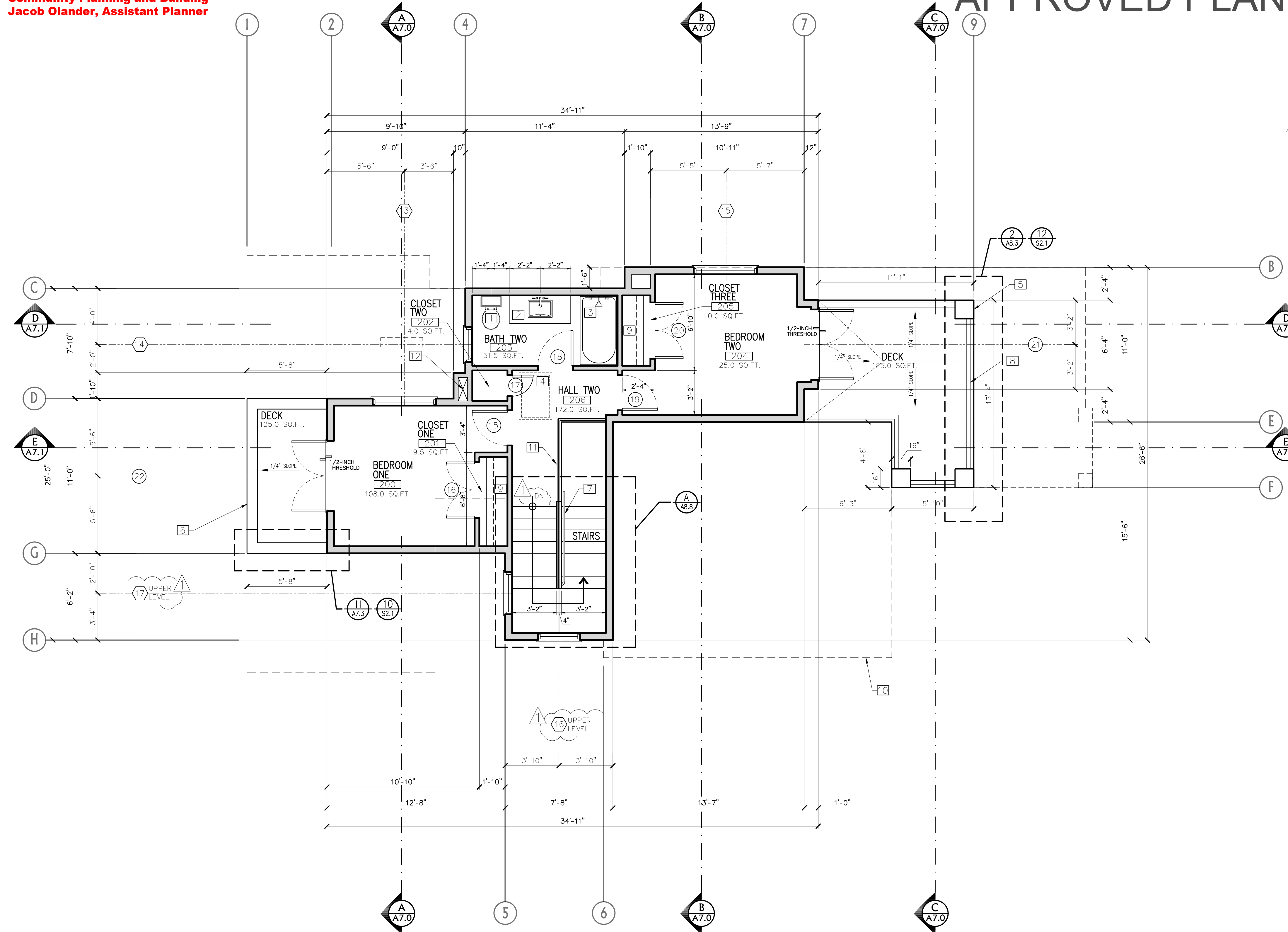
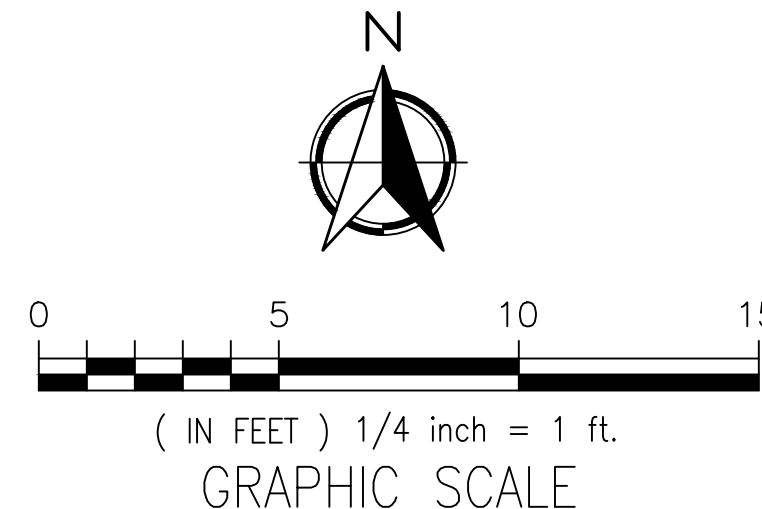
- 2x ALL INTERIOR & EXTERIOR WALLS
- STONE VENEER

## Interior Environment

1. Provide minimum required squared footage for escape and rescue window is reduced from 5.7 square feet to 5.0 square feet for grade floor opening, all other required dimension are the same as current code.
2. Unless an exterior door is provided, one window sill in each bedroom shall have a finished height of not more than 44" above the floor. Such window shall have a clear operable area of not less than 5.7 sq. ft. with no dimension less than 24" inches height or 20" inches width.

## Proposed Floor Area

MAIN LEVEL	1,188.0 SQ.FT.
UPPER LEVEL	412.0 SQ.FT.
ATTACHED GARAGE	200.0 SQ.FT.
TOATAL	1,800.0 SQ.FT.



**CODG**  
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 OFFICE: 831.626.4144  
 WWW.CODGINC.COM

REVISIONS:  
 BLNDG 11-23-2021

PROJECT:  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
 PROJECT NO:  
 19-02

ISSUE:  
 05-12-2021  
 10-28-2021  
 12-13-2021

DRAWN BY:  
 C.C.

UPPER LEVEL  
 FLOOR PLAN

SCALE: 1" = 1/4"  
**A2.1**

# REVISED PLAN

THIS PROJECT SHALL COMPLY WITH THE:

- 2019 CALIFORNIA RESIDENTIAL CODES
- 2019 CALIFORNIA PLUMBING CODES
- 2019 CALIFORNIA FIRE CODES
- 2019 CALIFORNIA ELECTRICAL CODES
- 2019 CALIFORNIA ENERGY CODES
- 2019 CALIFORNIA MECHANICAL CODES
- 2019 CALIFORNIA GREEN BUILDING CODES

GENERAL NOTES:

1. All construction shall meet the requirements of the C.R.C. 2019 edition.
2. Insulation shall be installed in ceilings, all exterior walls, around water heaters, walls around air conditioning plenums and between floor joists. Insulation contractor shall post a copy of the "Certificate of Compliance". Insulation shall conform to flame spread rating and smoke density requirements of CRC 2019 Edition.
3. Insulate areas as follows: Ceiling: R-30 average, Floors: R-19, Walls: R-23
4. All windows shall comply with the State of California energy conservation codes, Title 24. See Title 24 calculations included or attached to these plans.
5. Omitted
6. Water closet area shall be a min. of 30" width w/ 24" clear in front.
7. All gas burning equipment shall have combustion air within 12" of the floor and ceiling.
8. Slab edge insulation. Material used for slab edge insulation shall meet the following minimum specifications: Water absorption rate for the insulation material alone without facings no greater than 0.3 percent when tested in accordance with Test Method A-24-Hour-Immersion of ASTM C272. Water vapor permeance no greater than 2.0 perm/inch when tested in accordance with ASTM E96. Concrete slab perimeter insulation shall be protected from physical damage and ultraviolet light deterioration. Insulation for a heated slab floor shall meet the requirements of Section 110.8(g). (CEN 150.0(i))
9. All attic access openings shall be not less than 22"x30" & 30" of clear headroom provides above the access openings. (CRC R807.1)
10. Provide water-resistant cement backer board behind all ceramic tile or other wall finishes as per requirements. (CRC R702.4.2)
11. Garage to Dwelling Separation: Garages shall be separated from the dwelling unit and its attic area by minimum 1/2"-inch gypsum board applied on the GARAGE side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8"-inch type X gypsum board or equivalent. (CRC R302.6 Table)
12. Doors from garage to dwelling units shall be solid wood door or solid or honeycomb core steel door not less than 1-3/8" thick; or 20-minute rated door. The door shall be self-closing and self-latching. (CRC R302.5.1)
13. Minimum Room Heights: Habitable space, hallways & portions of basements containing these spaces shall have a ceiling height of not less than 7'. Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6'-8". (CRC R305.1)
14. Bath tub / shower floors & walls above bathtubs with installed shower head shall be finished with a minimum 1/2" slope and extend to a height of not less than 6 ft above the floor. (CRC R302.2)
15. The water supply to a bathtub and shower filler valve shall be protected by an air gap CPC 409.5)
16. All tub/shower shall be fitted with approved safety glass enclosure or a curtain rod.
17. OMITTED
18. OMITTED
19. Smoke alarms: Install smoke alarm inside each bedroom, outside each sleeping area, on every level of the home, including the basement. On levels without bedrooms, install alarms in living room / den/family room) or near the stair way to the upper level, or in both locations. Smoke alarms in the basement should be installed on the ceiling at the bottom of the stair landing. (CRC R314.3)
20. Alarm Power Supply: Smoke alarms to be hard-wired a provided with battery backup. (CRC R314). Smoke alarms should be interconnected where there is more than one smoke alarm, in a manner that will activate. (CRC R314.4)
21. Combo Alarms: Carbon monoxide/smoke alarms shall be an acceptable alternative to CO alarms. Combination carbon monoxide/smoke alarm shall be listed in accordance with UL2034 and UL 217. (CRC R314.7.4)
22. Final inspection and approval from (MPWMD) Monterey peninsula Water Management District required prior to municipality final approval.
23. Landings or finished floors at the required egress door shall be not more than 1/2 inches (38 mm) lower than the top of the threshold. Exception: The landing or floor on the exterior side shall be not more than 73/4 inches (196 mm) below the top of the threshold provided that the door does not swing over the landing or floor.
24. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7. (CRC R311.3.1)
25. Anti-siphon devices at all exterior hose bibs
26. A gas pipe diagram showing sizes, run, layout and type shall be provided by the plumbing contractor prior to inspection.
27. Each vent pipe or stack shall extend through its flashing and shall terminate vertically not less than 6 inches (152 mm) above the roof nor less than 1 foot (305 mm) from a vertical surface. ABS and PVC piping exposed to sunlight shall be protected by water based synthetic latex paints. (CPC 906.0)
28. Basements, habitable attics and every sleeping room shall have not less than one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way. (CRC R310.1)
29. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler shall be limited to 120°F (49°C) by a device that complies with ASSE 1070/ASSE A112.1070/ASSE A123.70. The water heater thermostat shall not be considered a control for meeting this provision. (CPC 409.4)
30. The vent terminal of a direct-vent appliance with an input of 10000 Btu/h (3 kW) or less shall be located at least 6 inches (152 mm) from any air opening into a building, an appliance with an input over 10000 Btu/h (3 kW) but not over 50000 Btu/h (14.7 kW) shall be installed with a 9 inch (229 mm) vent termination clearance, and an appliance with an input exceeding 50000 Btu/h (14.7 kW) shall have at least a 12 inch (305 mm) vent termination clearance. The bottom of the vent terminal and the air intake shall be located at least 12 inches (305 mm) above finished ground level. [NFPA 54:12.9.3] (CMC 802.8.2).
31. (1) Makeup air shall be provided for Type 1 clothes dryers in accordance with the manufacturer's instructions. [NFPA 54:10.4.3.1] Where a closet is designed for the installation of a clothes dryer, an opening of not less than 100 square inches (0.065 m<sup>2</sup>) for makeup air shall be provided in the door or by other approved means. (2) Provision for makeup air shall be provided for Type 2 clothes dryers, with a free area of not less than 1 square inch (0.0006 m<sup>2</sup>) for each 1000 British thermal units per hour (Btu/h) (0.293 kW) total input rating of the dryer(s) installed. [NFPA 54:10.4.3.2] (CMC 504.4.1.)
32. OMITTED
33. All joints, penetrations and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather-stripped or otherwise sealed to limit infiltration and exfiltration. (CEN Sec. 110.7)
34. Water piping, solar water-heating system piping, and space conditioning system line insulation thickness and conductivity. Piping shall be insulated as follows: A) All domestic hot water piping shall be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions shall have a minimum insulation wall thickness of 1 inch or a minimum insulation R-value of 7.7: i) The first 5 feet of cold water pipes from the storage tank. ii) All hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than 1 inch. iii) All hot water piping with a nominal diameter less than 3/4 inch that is: a) Associated with a domestic hot water recirculation system; b) From the heating source to the kitchen fixtures; c) From the heating source to a storage tank or between storage tanks; or d) Buried below grade. (CEN 150.0(j)(2))
35. Installation of fireplaces: Factory-built fireplaces or masonry fireplace shall comply with the following: 1) Closable metal or glass doors covering the entire opening of the fireplace; and 2) A combustion air intake to draw air from the outside of the building, which is at least 6 sq.in area & is equipped with a readily accessible, operable and tight-fitting damper or combustion-air control device; 3) A flue damper with a readily accessible control. (CEN 150.0(e))
36. The horizontal area of the window well shall be not less than 9 square feet with a horizontal projection and width of not less than 36 inches the area of the window well shall allow the emergency escape and rescue opening to be fully opened. (CRC R310.2.3)
37. Provide (2) copies of the waste and vent, water pipes and gas pipe line Schematics/isometrics showing the size of the different branches, the various load demands, & the location of the point of delivery.
38. Under stair Protection: Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch gypsum board. (CRC R302.7)
39. Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe for a pipe up to 2 inches in diameter. Insulation wall thickness shall be not less than 2 inches for a pipe of 2 inches or more in diameter. Exceptions: 1) Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. 2) Hot water piping between the fixture control valve or supply stop and the fixture or appliance shall not be required to be insulated. (CPC 609.11.2)

## ROOM NOTES

- 200 BEDROOM ONE, 10'-0" X 10'-0"
- 201 CLOSET TWO, 2'-0" X 6'-4"
- 202 CLOSET TWO, 2'-6" X 2'-2"
- 203 BATH TWO, 10'-4" X 5'-0"
- 204 BEDROOM TWO, 10'-0" X 10'-0"
- 205 CLOSET TWO, 2'-0" X 5'-0"
- 206 HALLWAY TWO, 3'-2" X 7'-6"

## KEY NOTES

- 1 WATER CLOSET: TO BE MAXIMUM 1.28 GPF WATER FLOW PER (CPC 411.2.4)
- 2 BATHROOM SINK W/ 26-INCH HIGH VANITY WITH STONE TOP AND BACKPLASH.
- 3 SHOWER/TUB PER PLAN
- 4 SHOWER HEAD TO BE 7'-0" FROM FISHED FLOOR
- 5 ANTI-SCALDING VALVE AT SHOWER
- 6 CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 406.9). SHOWER-CONTROL VALVES OF THE PRESSURE-BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 408.3. DO NOT USE MORE THAN 2.0 GALLONS PER MINUTE PER CPC 408.2
- 7 SKYLIGHT 24"x36" SEE SHEET 6/AB.2
- 8 16"x16"x44" T PLASTER COLUMN
- 9 GUARDRAILS: WESTERN CEDAR, PAINTED, 42-IN HIGH W/WOOD POST, HANDRAIL, 1-5/8-IN THICK SQUARE BALUSTERS.
- 10 HANDRAIL: 42-IN. HIGH, WROUGHT IRON
- 11 42-INCH HIGH IRON GUARDRAIL
- 12 A. GUARDS ON AN OPEN SIDE OF STAIRS (HANDRAILS) SHALL HAVE A HEIGHT OF NOT LESS THAN 34" ON THE OPEN SIDE OF THE STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERER 4-3/8" IN DIAMETER EXCEPT AT THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND LOWER RAIL OF THE GUARD.
- 13 B. GUARDRAILS SHALL BE LOCATED ALONG OPEN-SIDE WALKING SURFACES, INCLUDING STAIRS, RAMP AND LANDING THAT ARE MORE THAN 30" ABOVE THE GROUND. REQUIRED GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT AND SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" SPHERE.
- 14 9/16" 2" ROD ONE SHELF
- 15 MAIN LEVEL FOOTPRINT
- 16 HANDRAIL: 42-IN. HIGH, SOLID WALL
- 17 DUCT CHASE

## WALL LEGEND

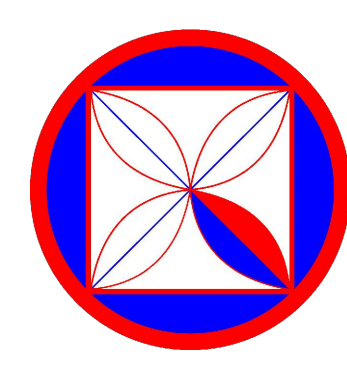
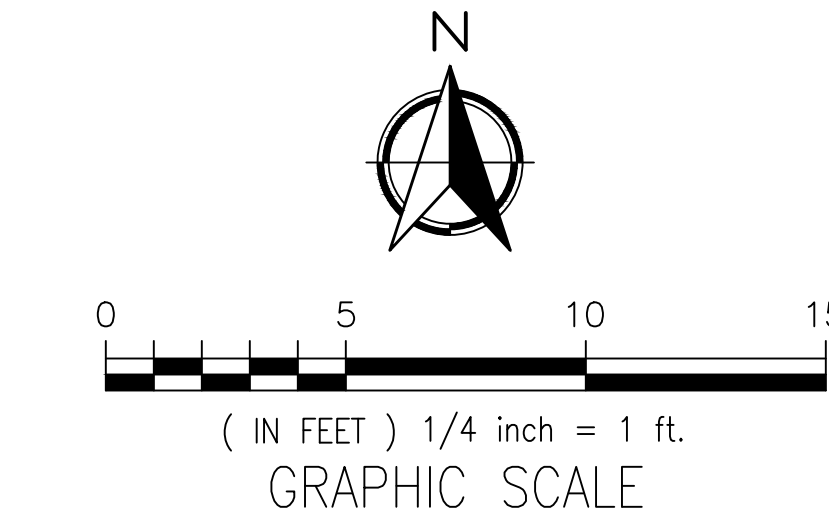
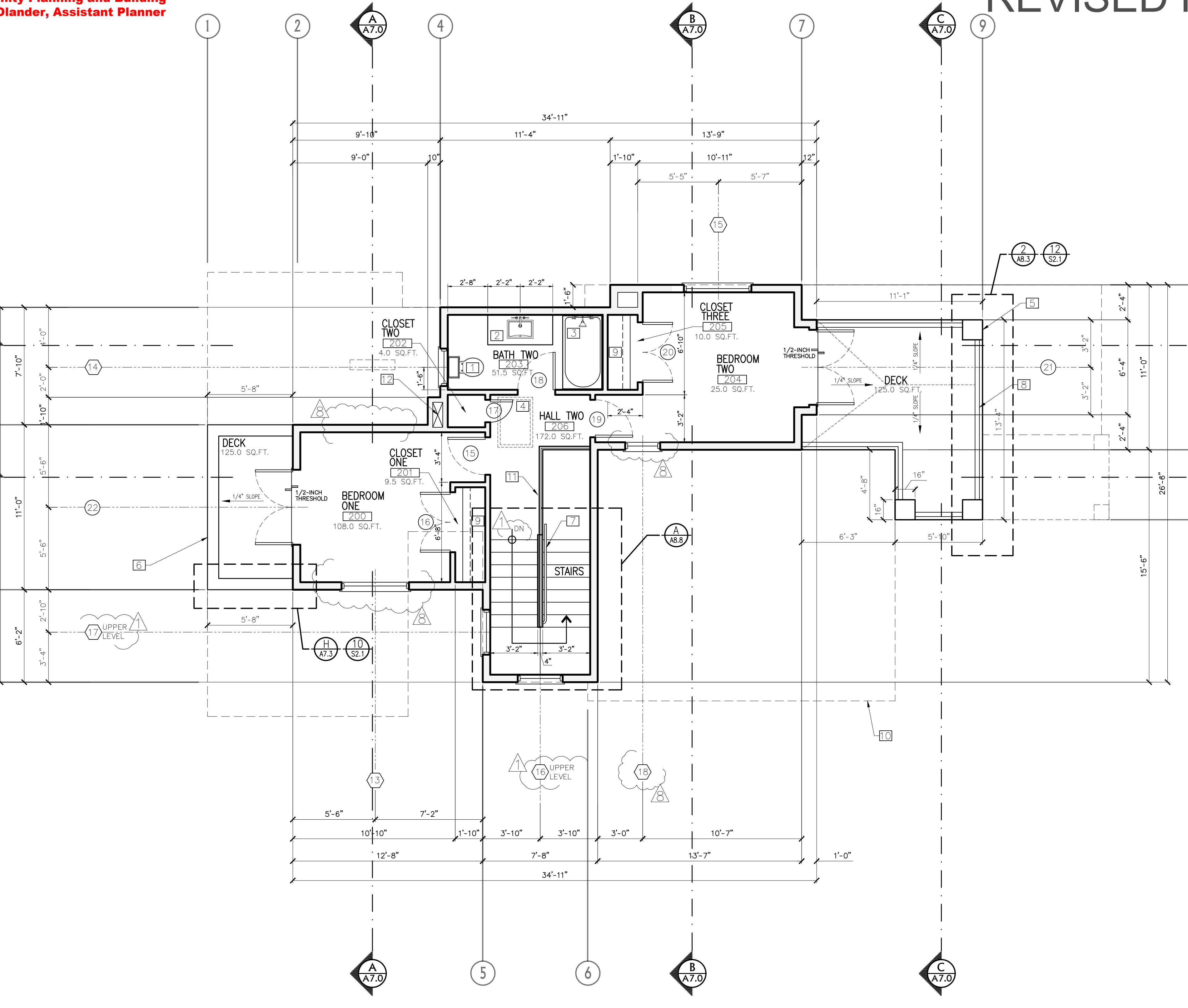
- 2x ALL INTERIOR & EXTERIOR WALLS
- STONE VENEER

## Interior Environment

1. Provide minimum required squared footage for escape and rescue window is reduced from 5.7 square feet to 5.0 square feet for grade floor opening, all other required dimension are the same as current code.
2. Unless an exterior door is provided, one window sill in each bedroom, shall have a finished height of not more than 44" above the floor. Such window shall have a clear opening area of not less than 5.7 sq. ft. with no dimension less than 24" inches height or 20" inches width.

## Proposed Floor Area

MAIN LEVEL	1,188.0 SQ.FT.
UPPER LEVEL	412.0 SQ.FT.
ATTACHED GARAGE	200.0 SQ.FT.
TOATAL	1,800.0 SQ.FT.



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REVISIONS:  
 BLNDG 11-23-2021  
 BLNDG 01-21-2022  
 CLIENT 05-25-2024

PROJECT:  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
 PROJECT NO:  
 19-02

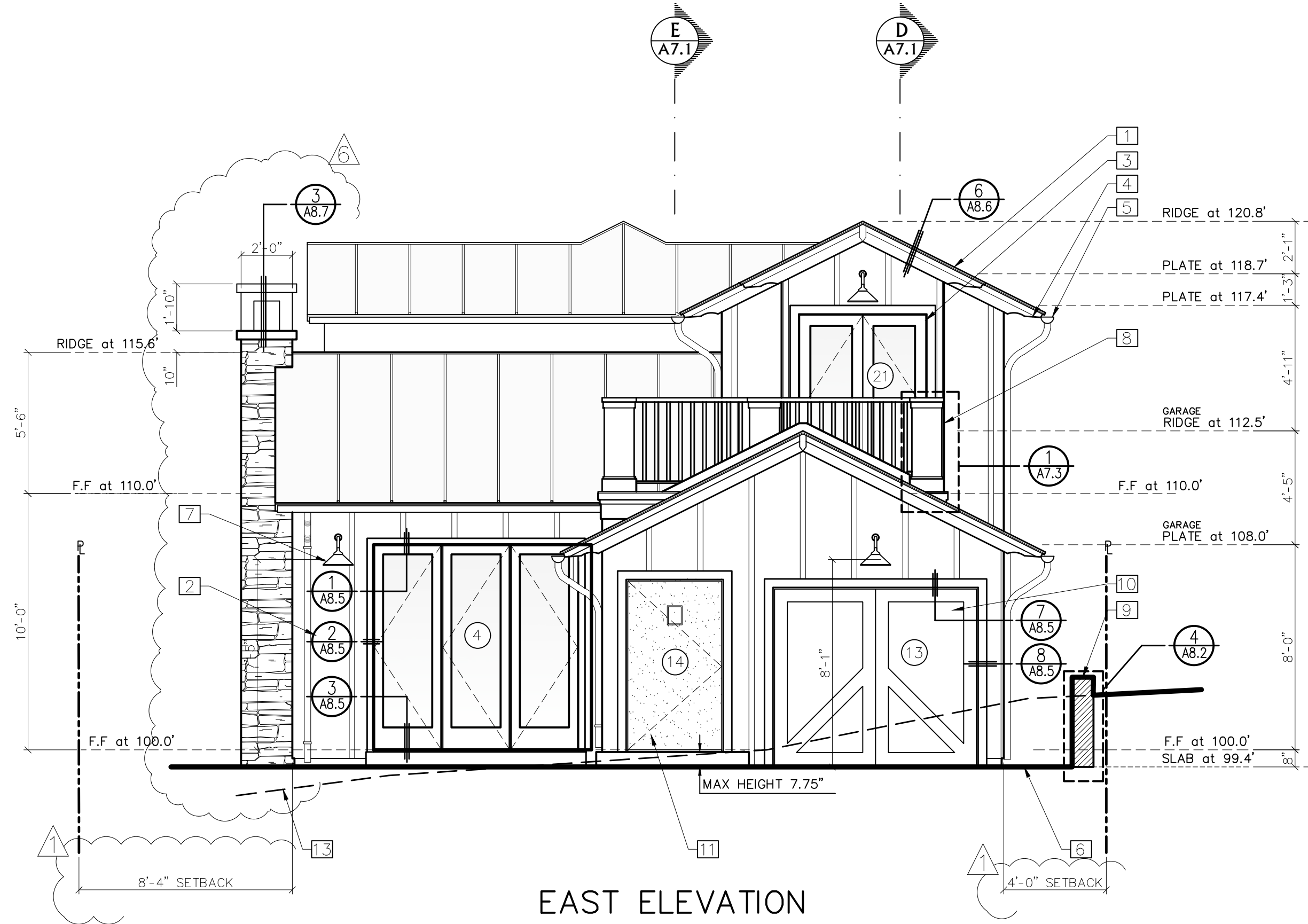
ISSUE:  
 05-12-2021  
 10-28-2021  
 12-13-2021

DRAWN BY:  
 C.C.O.

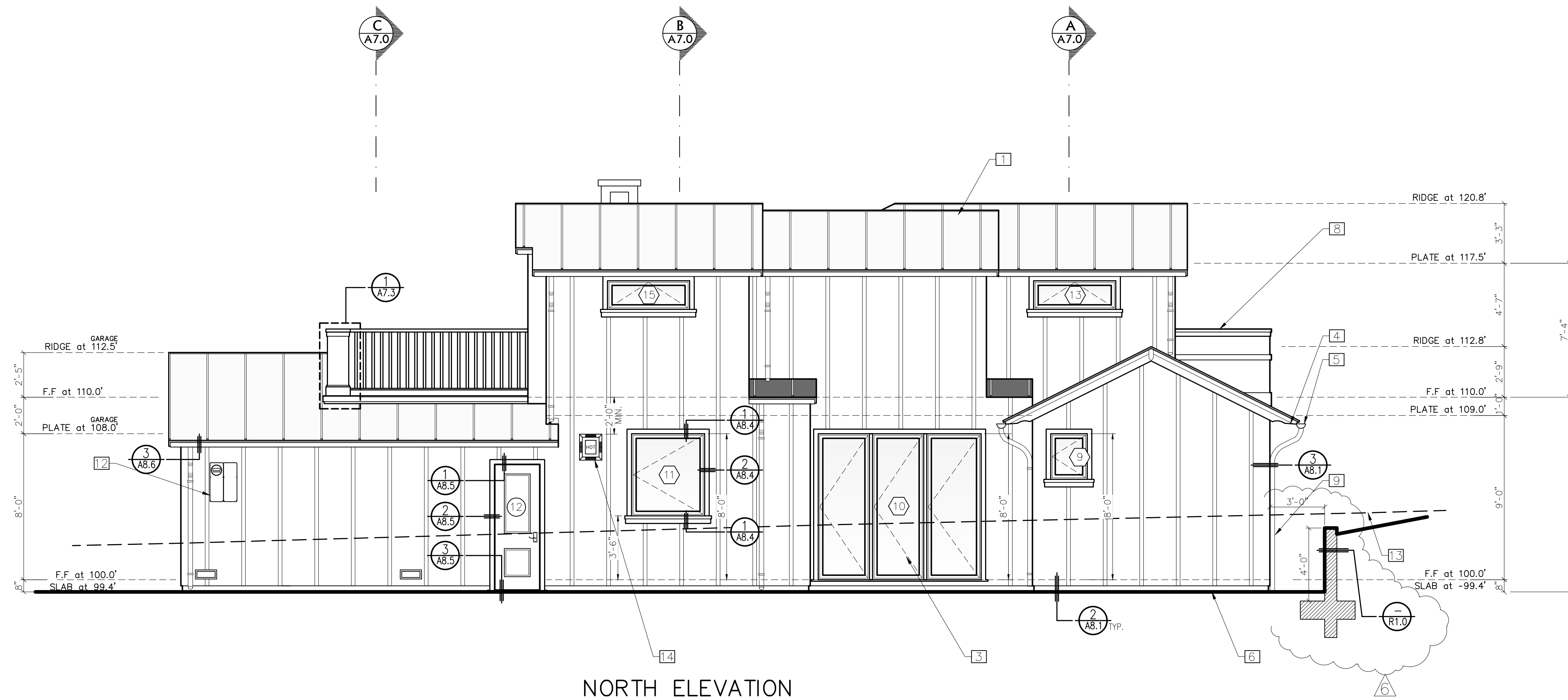
UPPER LEVEL  
 FLOOR PLAN

SCALE: 1" = 1/4"  
**A2.1**

# APPROVED PLAN



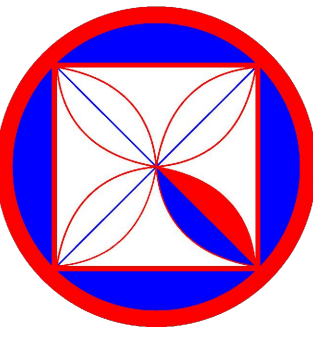
EAST ELEVATION



NORTH ELEVATION

## KEY NOTES

- 1 ROOF: PITCH 6:12, STANDING METAL SEAM
- 2 WOOD SIDING WITH VERTICAL SLATS
- 3 WINDOWS & DOORS, WITH NO GRIDS
- 4 BARGE AND RAFTER TAILS: 4X SHAPED
- 5 GUTTERS & DOWN SPOUT: 6-IN. ROUND COPPER GUTTERS AND 3-IN. DIA. DOWN SPOUT.
- 6 GRADE: WHERE OCCURS
- 7 LIGHT FIXTURES: COPPER 325 LUMENS MAX
- 8 GUARDRAILS: WESTERN CEDAR, PAINTED, 42-IN HIGH W/WOOD POST, HANDRAIL, 1-5/8-IN THICK SQUARE BALUSTERS.
  - A. GUARDS ON AN OPEN SIDE OF STAIRS (HANDRAILS) SHALL HAVE A HEIGHT OF NOT LESS THAN 34" ON THE OPEN SIDE OF THE STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAMETER EXCEPT AT THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND LOWER RAIL OF THE GUARD.
  - B. GUARDRAILS SHALL BE LOCATED ALONG OPEN-SIDE WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDING THAT ARE MORE THAN 30" ABOVE THE GROUND, REQUIRED GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT AND SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" SPHERE.
- 9 CMU RETAINING WALL
- 10 WOOD GARAGE DOOR
- 11 METAL DOOR
- 12 LEFT BLANK
- 13 EXISTING GRADE SHOWN DASHED LINE
- 14 KITCHEN WALL RANGE HOOD VENT



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**REVISIONS:**  
 BLNDG 11-23-2021  
 CLIENT 02-20-2024

## Stone Veneer Attachment

- MAISON MUST PROVIDE A 3'X3' VENEER SAMPLE TO C.O.D.G. BEFORE PROCEEDING.
1. IF ANCHORED, USE 22 GAGE GALVANIZED SHEET METAL ANCHOR TIES (WITH A LIP HOOK ON EXTENDED LEG ENGAGING No. 9 GAGE CONTINUOUS WIRE JOINT REINFORCEMENT) SPACED AT 24-INCHES O.C. MAX. HORIZONTALLY AND VERTICALLY THOUGH SPAICING SHOULD RESULT IN ONE ANCHOR PER MAX. 2 SQUARE FEET.
  2. ADHERED MASONRY VENEER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R703.12.

## Chimney Requirements

1. A chimney for a residential-type or low heat appliance shall extend not less than 3 feet above the highest point where it passes through a roof of a building and not less than 2 feet higher than a portion of a building with a horizontal distance of 10 feet. (C.M.C. 802.5.4)
2. Decorative shrouds shall not be installed at the termination of factory built chimneys except where such shrouds are listed and labeled for use with the specific factory built chimney system and are installed in accordance with the manufacturer's installation instructions. (CMC 802.5.4.3)

## Exterior Wall Requirements

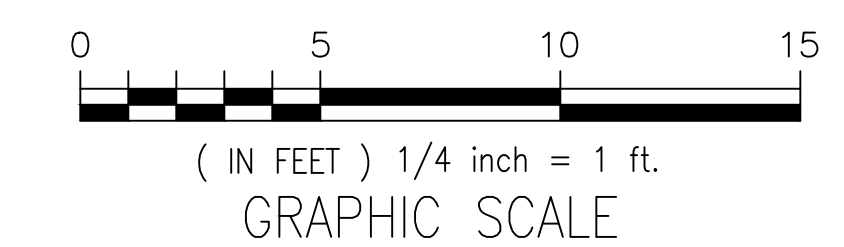
1. Provide approved building paper under the building siding and approved flashing at exterior openings. (CRC R703.2) Specify a minimum of 2 layers of Grade D paper under stucco and 2 layers of 15lb felt (or equivalent) under stone veneer.
2. Provide water-resistive barrier per CRC R703.2
3. Specify wood siding, sheathing and wall framing to be 6 inches above the ground or 2 inches above concrete; or specify material to be pressure treated or decay resistant. CRC R317.1

## Interior Environment

1. Provide minimum required squared footage for escape and rescue window is reduced from 5.7 square feet to 5.0 square feet for grade floor openings, all other required minimum dimension are the same as current code.
2. Unless an exterior door is provided, one window sill in each bedroom, shall have a finished height of not more than 44" above the floor. Such window shall have a clear operable area of not less than 5.7 sq. ft. with no dimension less than 24" inches height or 20" inches width.

## Symbols

- SEE SHEET A6.0 WINDOW REFERENCES WINDOW NUMBER
- SEE SHEET A6.0 DOOR REFERENCES DOOR NUMBER



**PROJECT:**  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
**PROJECT NO.:**  
 19-02

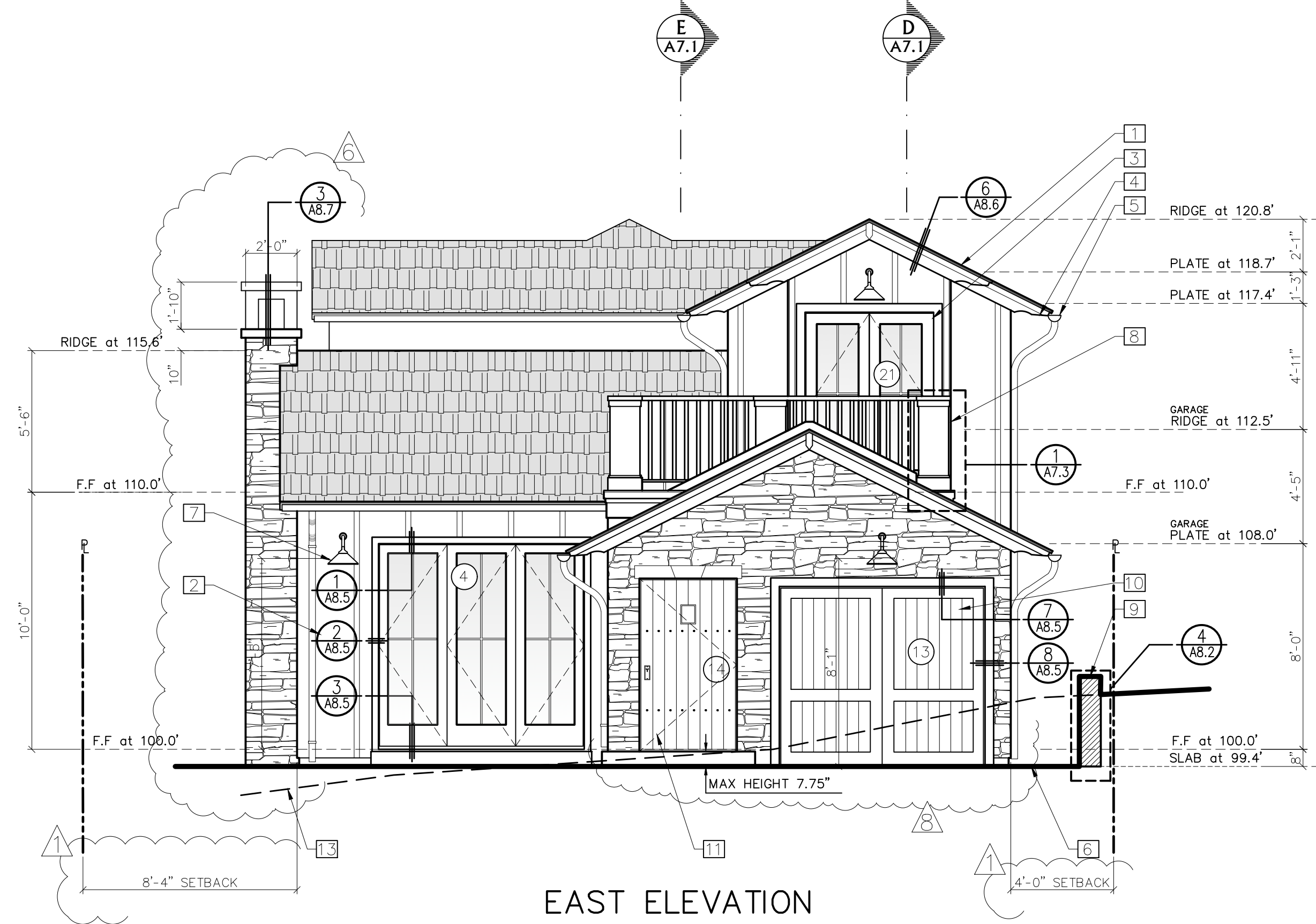
**ISSUE:**  
 05-12-2021  
 10-28-2021  
 12-13-2021  
**DRAWN BY:**  
 C.O.

ELEVATIONS

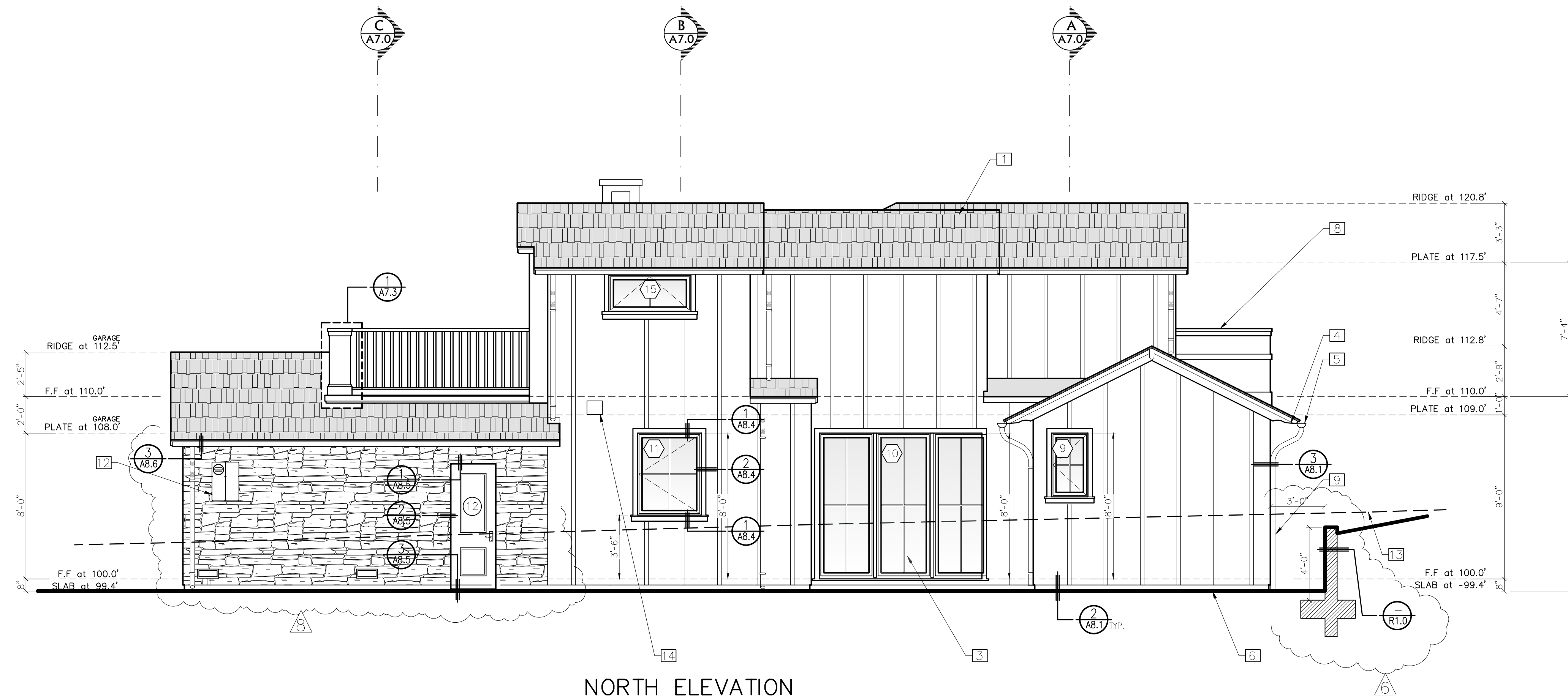
SCALE: 1" = 1/4"

**A3.0**

# REVISED PLAN



EAST ELEVATION



NORTH ELEVATION

## KEY NOTES

- 1 ROOF: PITCH 6:12; ASPHALT SHINGLES, CERTAINTEE PRESIDENTIAL TL
- 2 WOOD SIDING WITH VERTICAL SLATS
- 3 WINDOWS & DOORS, WITH NO GRIDS
- 4 BARGE AND RAFTER TAILS: 4X SHAPED
- 5 GUTTERS & DOWN SPOUT: 6-IN. ROUND COPPER GUTTERS AND 3-IN. DIA. DOWN SPOUT.
- 6 GRADE: WHERE OCCURS
- 7 LIGHT FIXTURES: COPPER 325 LUMENS MAX
- 8 GUARDRAILS: WESTERN CEDAR, PAINTED, 42-IN HIGH W/ WOOD POST, HANDRAIL, 1-5/8-IN THICK SQUARE BALUSTERS.
  - A. GUARDS ON AN OPEN SIDE OF STAIRS (HANDRAILS) SHALL HAVE A HEIGHT OF NOT LESS THAN 34" ON THE OPEN SIDE OF THE STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAMETER EXCEPT AT THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND LOWER RAIL OF THE GUARD.
  - B. GUARDRAILS SHALL BE LOCATED ALONG OPEN-SIDE WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDING THAT ARE MORE THAN 30" ABOVE THE GROUND, REQUIRED GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT AND SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4" SPHERE.
- 9 CMU RETAINING WALL
- 10 WOOD GARAGE DOOR
- 11 WOOD PLANK DOOR
- 12 LEFT BLANK
- 13 EXISTING GRADE SHOWN DASHED LINE
- 14 KITCHEN WALL RANGE HOOD VENT

REV 05/25/24  
 1. ADDED MUNTINS TO THE WINDOWS AND DOORS  
 2. ADDED STONE VENEER TO THE GARAGE

## Stone Veneer Attachment

- MAISON MUST PROVIDE A 3'X3' VENEER SAMPLE TO C.O.D.G. BEFORE PROCEEDING.
1. IF ANCHORED, USE 22 GAGE GALVANIZED SHEET METAL ANCHOR TIES (WITH A LIP HOOK ON EXTENDED LEG ENGAGING No. 9 GAGE CONTINUOUS WIRE JOINT REINFORCEMENT) SPACED AT 24-INCHES O.C. MAX. HORIZONTALLY AND VERTICALLY THOUGH SPAICING SHOULD RESULT IN ONE ANCHOR PER MAX. 2 SQUARE FEET.
  2. ADHERED MASONRY VENEER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R703.12.

## Chimney Requirements

1. A chimney for a residential-type or low heat appliance shall extend not less than 3 feet above the highest point where it passes through a roof of a building and not less than 2 feet higher than a portion of a building with a horizontal distance of 10 feet. (C.M.C. 802.5.4)
2. Decorative shrouds shall not be installed at the termination of factory built chimneys except where such shrouds are listed and labeled for use with the specific factory built chimney system and are installed in accordance with the manufacturer's installation instructions. (CMC 802.5.4.3)

## Exterior Wall Requirements

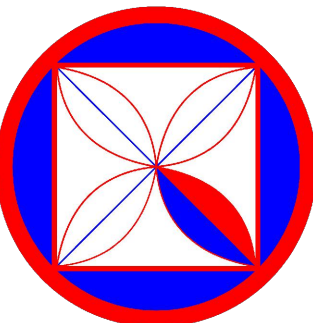
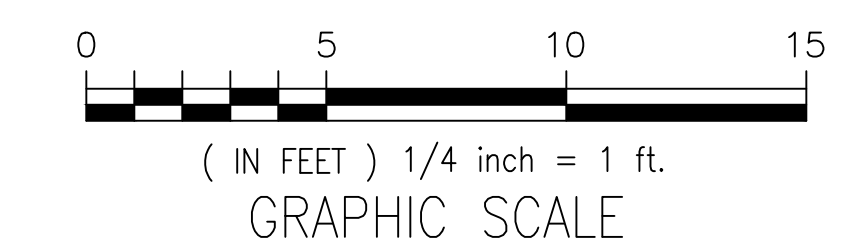
1. Provide approved building paper under the building siding and approved flashing at exterior openings. (CRC R703.2) Specify a minimum of 2 layers of Grade D paper under stucco and 2 layers of 15lb felt (or equivalent) under stone veneer.
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3. Specify wood siding, sheathing and wall framing to be 6 inches above the ground or 2 inches above concrete; or specify material to be pressure treated or decay resistant. CRC R317.1

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## Symbols

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- SEE SHEET A6.0 DOOR REFERENCES DOOR NUMBER



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REVISIONS:  
 BLDG 11-23-2021  
 CLIENT 02-20-2024  
 CLIENT 05-25-2024

PROJECT:  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
 PROJECT NO:  
 19-02

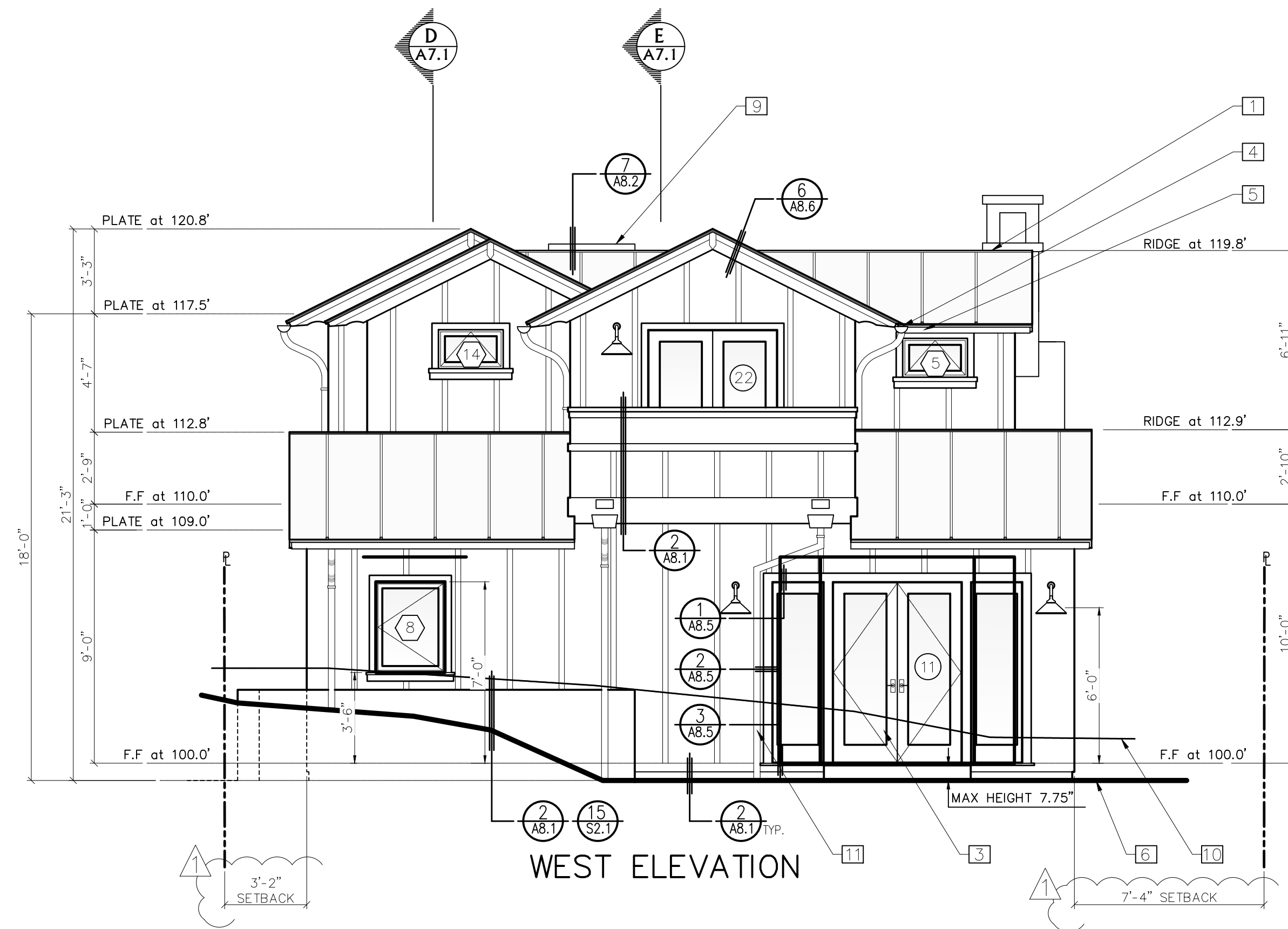
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 DRAWN BY:  
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ELEVATIONS

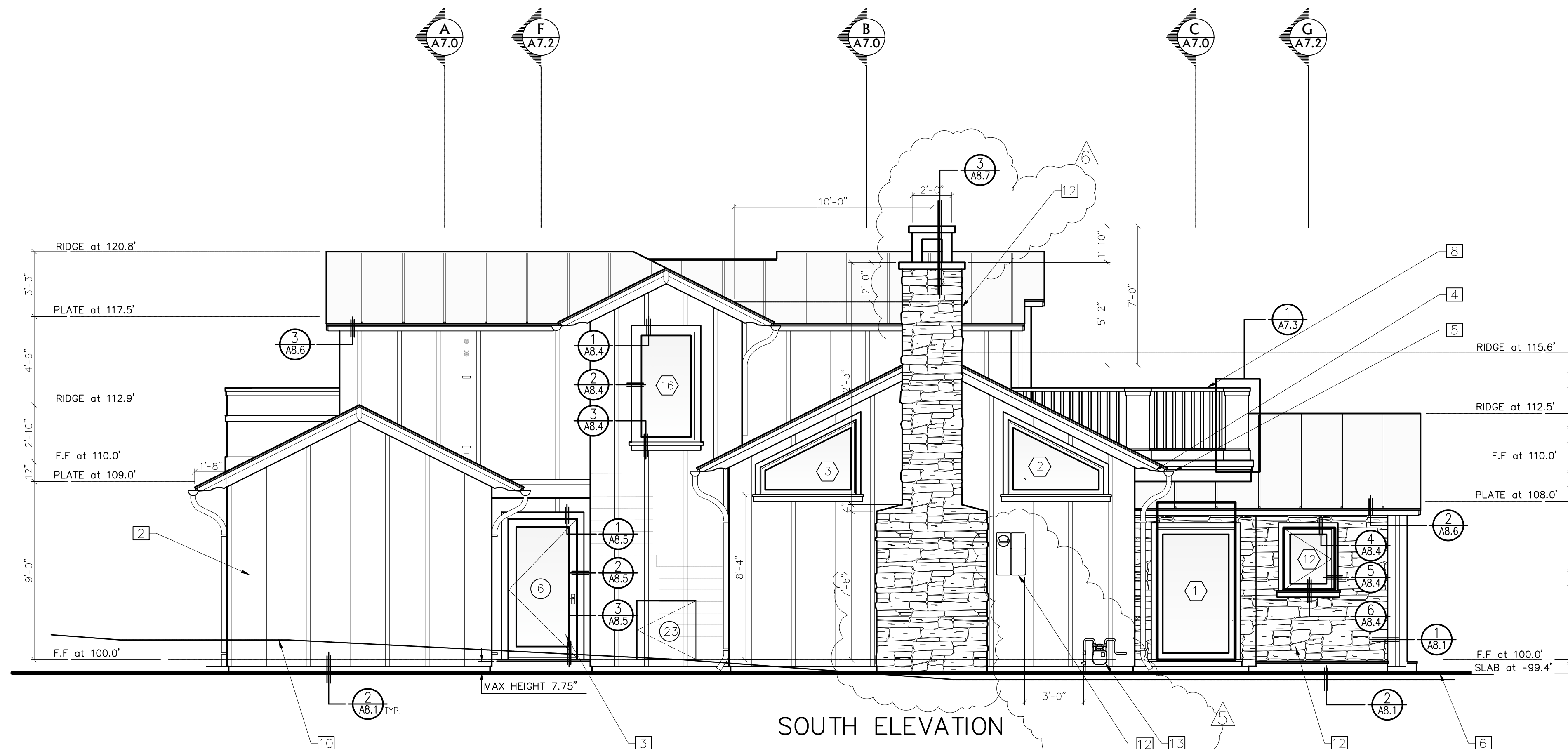
SCALE: 1" = 1/4"

**A3.0**

# APPROVED PLAN



WEST ELEVATION



SOUTH ELEVATION

## KEY NOTES

- 1 ROOF: PITCH 6:12, STANDING METAL SEAM
- 2 WOOD SIDING WITH VERTICAL SLATS
- 3 WINDOWS & DOORS, WITH NO GRIDS.
- 4 BARGE AND RAFTER TAILS: 4X SHAPED
- 5 GUTTERS & DOWN SPOUT: 6-IN. ROUND COPPER GUTTERS AND 3-IN.DIA. DOWN SPOUT.
- 6 GRADE: WHERE OCCURS
- 7 LIGHT FIXTURES: COPPER 325 LUMENS MAX
- 8 GUARDRAILS: WOOD PAINTED, 42-IN HIGH W/WOOD POST, HANDRAIL, 1-5/8-IN THICK SQUARE BALUSTERS.
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- 9 SKYLIGHT: 24"X 36", DARK BRONZE FINISH.
- 10 EXISTING GRADE SHOWN DASHED LINE
- 11 LEADER-HEAD W/3" DOWNSPOUT CONNECTED TO DRAIN SYSTEM
- 12 STONE VENEER, SEE DETAIL 2/A8.1

## Stone Veneer Attachment

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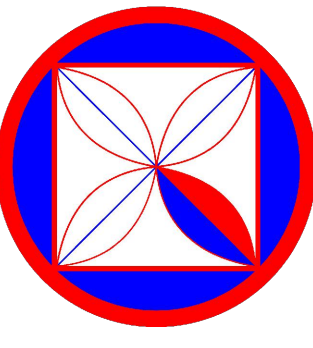
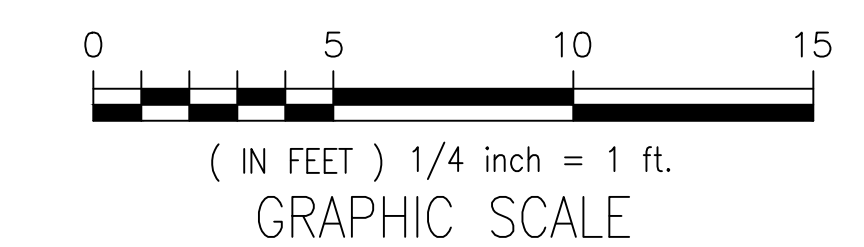
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**REVISIONS:**  
 BLNDG 11-23-2021/A  
 BLNDG 04-19-2022/A  
 CLIENT 02-20-2024/6

**PROJECT:**  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
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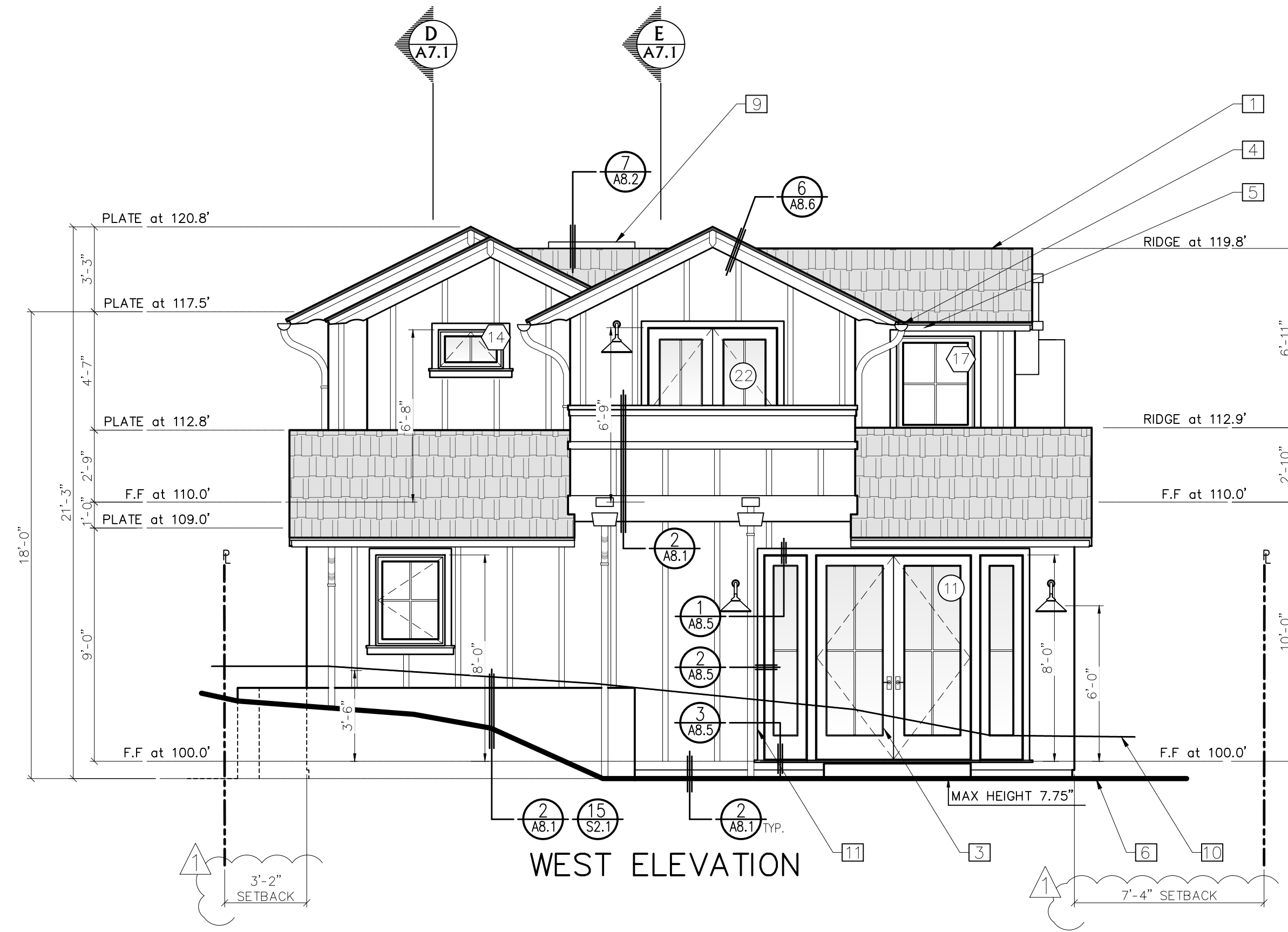
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ELEVATIONS

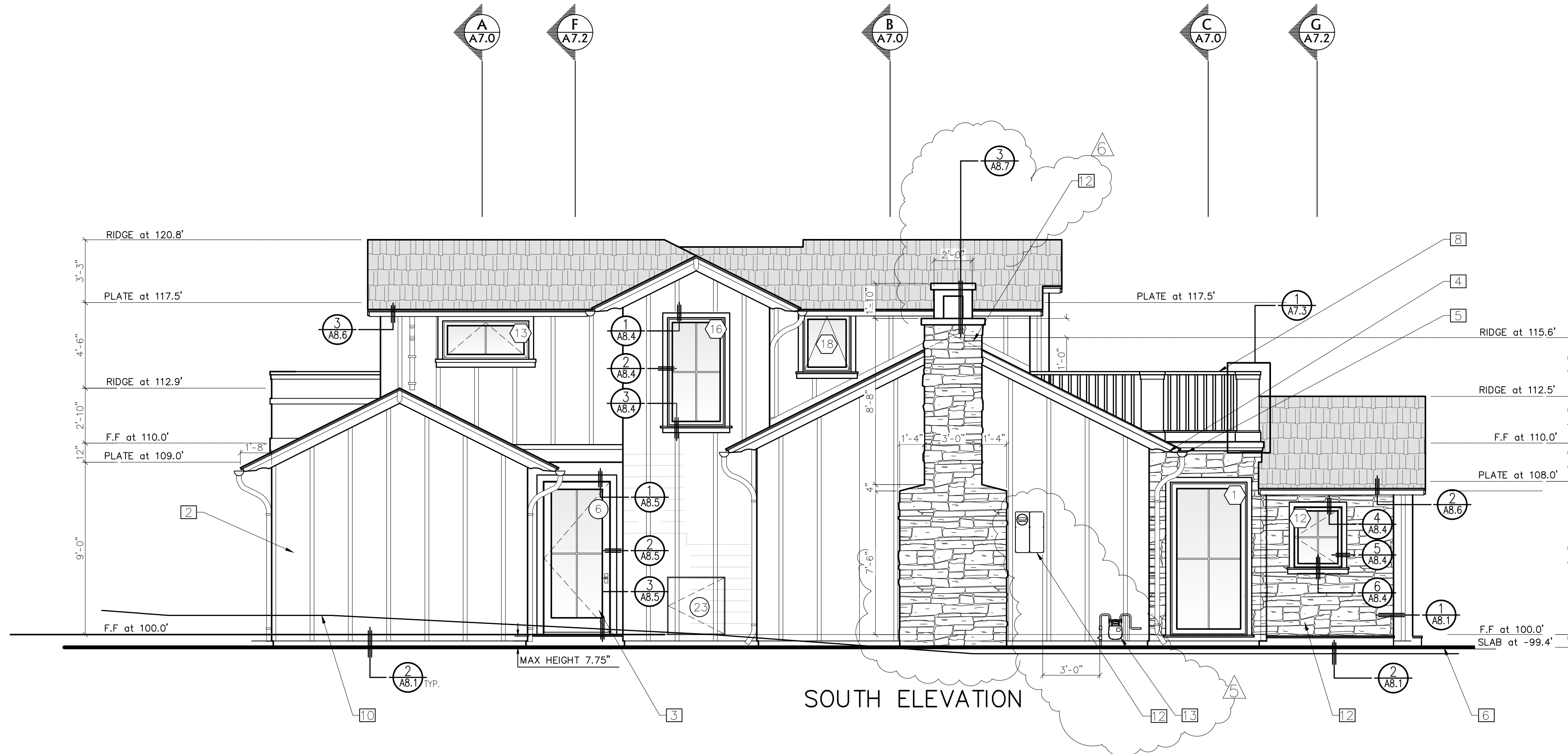
SCALE: 1" = 1/4"

**A3.1**

# REVISED PLAN



WEST ELEVATION



SOUTH ELEVATION

## KEY NOTES

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- REV 05/25/24
1. MOVED WINDOW #13 TO THE SOUTH ELEVATION
  2. ADDED WINDOW #18 TO THE SOUTH ELEVATION
  3. REMOVED WINDOWS #2 & 3 FROM THE SOUTH ELEVATION
  4. ADDED MUNTINS TO THE WINDOWS AND DOORS
  5. ADDED STONE VENEER TO THE GARAGE

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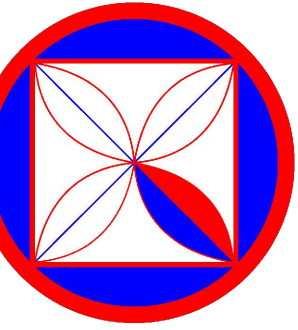
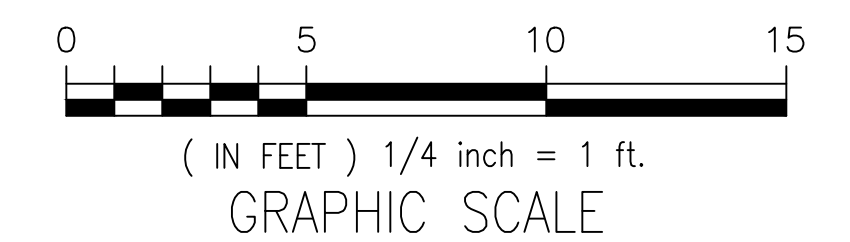
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REVISIONS:  
 BLNDG 11-23-2021/A  
 BLNDG 04-19-2022/A  
 CLIENT 02-20-2024/6

PROJECT:  
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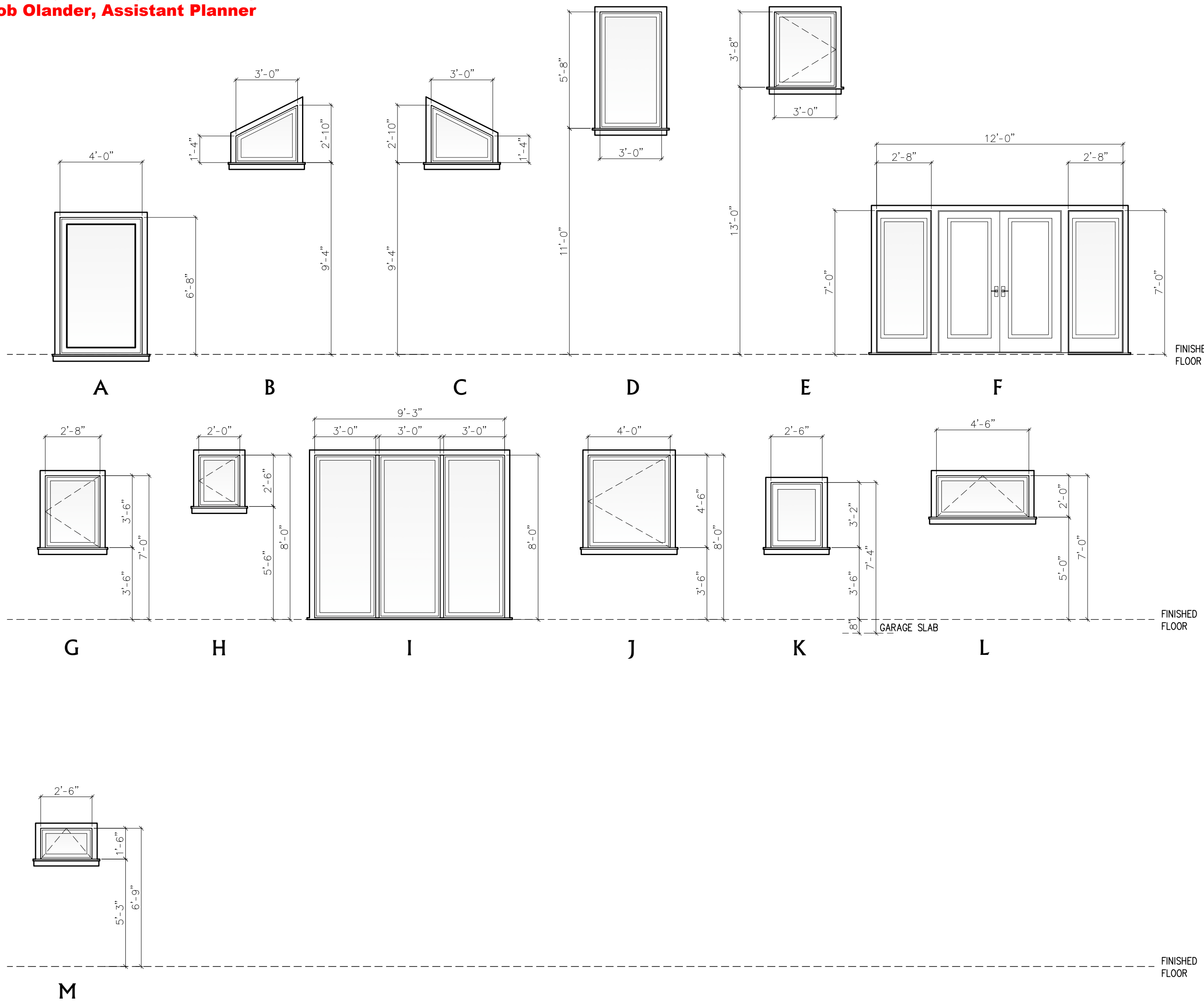
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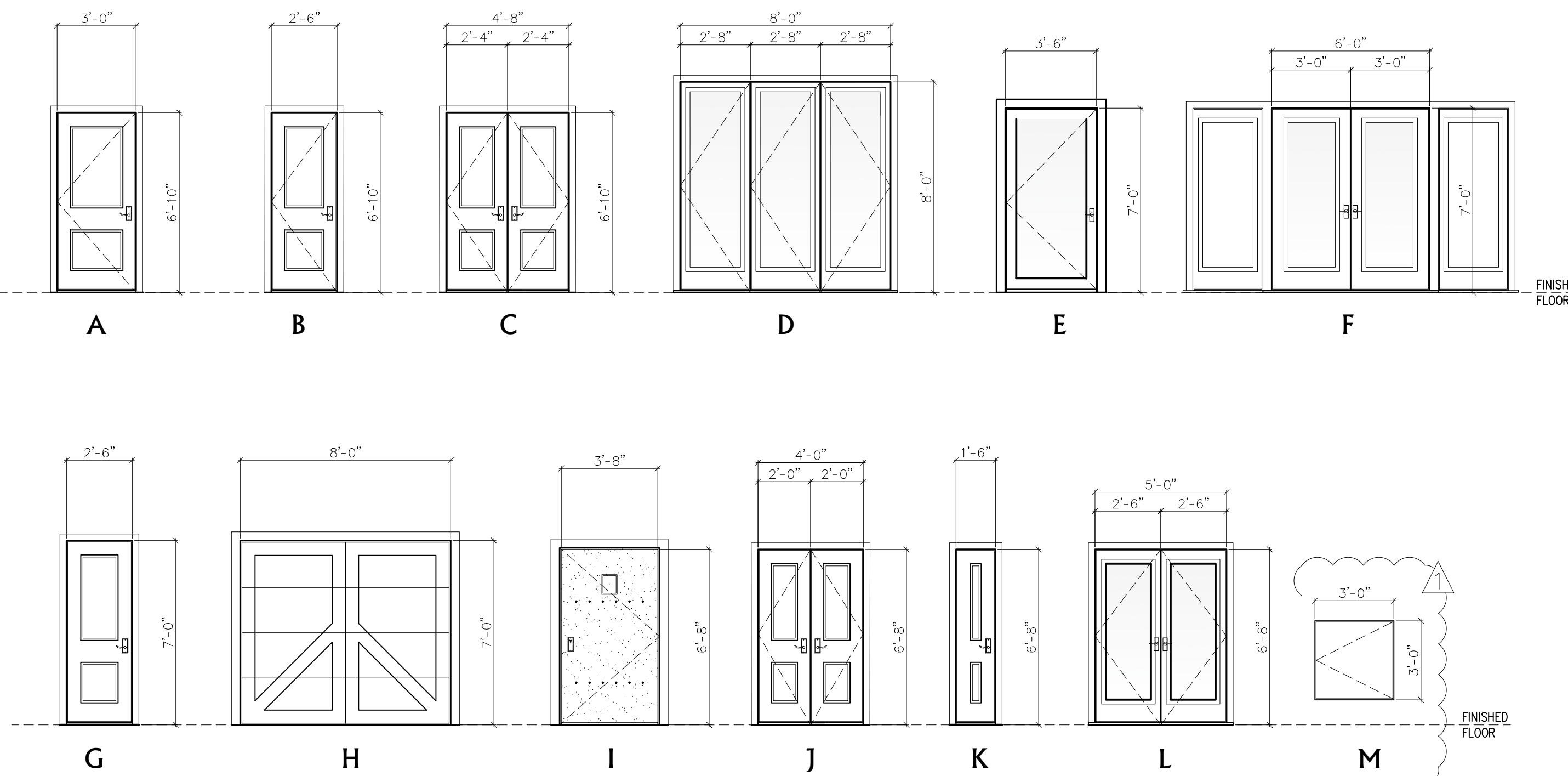
SCALE: 1" = 1/4"

A3.1

### Window Elevation Types



### Door Elevation Types



### Window Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
<b>MAIN LEVEL</b>										
1	FOYER	A	4'-0" X 6'-8"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
2	LIVING ROOM	B	1'-4" X 3'-0" X 2'-10"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
3	LIVING ROOM	C	2'-10" X 3'-0" X 1'-4"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
4	REMOVED									
5	REMOVED									
6	MASTER BEDROOM	F	2'-8" X 7'-0"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
7	MASTER BEDROOM	F	2'-8" X 7'-0"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
8	MASTER BATHROOM	G	2'-8" X 3'-6"	P	CASEMENT	WOOD-UNCLAD	YES	YES	YES	NO
9	MASTER BATHROOM	H	2'-0" X 3'-6"	P	CASEMENT	WOOD-UNCLAD	YES	YES	YES	NO
10	DINING ROOM	I	(3) 3'-0" X 8'-0"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
11	KITCHEN	J	4'-0" X 4'-6"	P	CASEMENT	WOOD-UNCLAD	YES	YES	YES	NO
12	GARAGE	K	2'-6" X 3'-2"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
<b>UPPER LEVEL</b>										
13	BEDROOM ONE	L	4'-6" X 2'-0"	P	AWNING	WOOD-UNCLAD	YES	YES	YES	NO
14	BATH TWO	M	2'-6" X 1'-6"	P	AWNING	WOOD-UNCLAD	YES	YES	YES	NO
15	BEDROOM TWO	L	4'-6" X 2'-0"	P	AWNING	WOOD-UNCLAD	YES	YES	YES	NO
16	STAIRS	D	3'-0" X 5'-8"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
17	STAIRS	E	3'-0" X 3'-8"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO

### Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5Hx4.5W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

### Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 110.6-B OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS. AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTESION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

### Note:

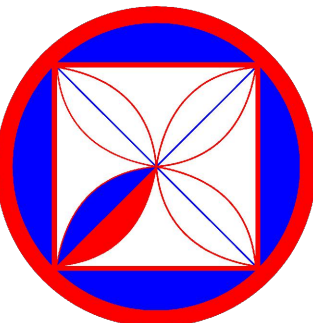
- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

### Tempered Glass Note:

- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
  - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
  - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
    - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
    - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
    - THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
    - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
  - GLAZING IN GUARDS AND RAILINGS.
  - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
  - GLAZING ADJACENT TO STAIRS AND RAMPS.

### Door Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
<b>MAIN LEVEL</b>								
1	FOYER	A	3'-0" X 6'-10"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
2	GARAGE	B	2'-6" X 6'-10" (SELF-CLOSING 2-HR RATED)	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
3	LIVING ROOM	C	(2) PER- 2'-4" X 6'-10"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
4	LIVING ROOM	D	(3) PER 2'-8" X 8'-0"	P	FULL GLASS SLIDER DOOR	WOOD	YES	YES
5	LAUNDRY	E	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
6	SOUTH ENTRY	F	3'-6" X 7'-0"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES
7	BATHROOM ONE	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
8	MASTER BEDROOM	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
9	MASTER BATH	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
10	MASTER CLOSET	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
11	MASTER BEDROOM	F	(2) PER- 3'-0" X 7'-0"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES
12	GARAGE	G	2'-6" X 7'-0" (SELF-CLOSING 2-HR RATED)	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
13	GARAGE	H	8'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	WOOD	NO	NO
14	PORCH ENTRY	I	3'-8" X 6'-8"	P	METAL DOOR WITH SPEAKEASY	WOOD	NO	NO
23	MECHANICAL ROOM	M	3'-0" X 3'-0"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
<b>UPPER LEVEL</b>								
15	BEDROOM ONE	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
16	CLOSET ONE	J	(2) PER- 2'-0" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
17	CLOSET TWO	K	1'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
18	BATHROOM TWO	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
19	BEDROOM TWO	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
20	CLOSET THREE	J	(2) PER- 2'-0" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
21	BEDROOM TWO	L	(2) PER- 2'-6" X 6'-8"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES
22	BEDROOM TWO	L	(2) PER- 2'-6" X 6'-8"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES



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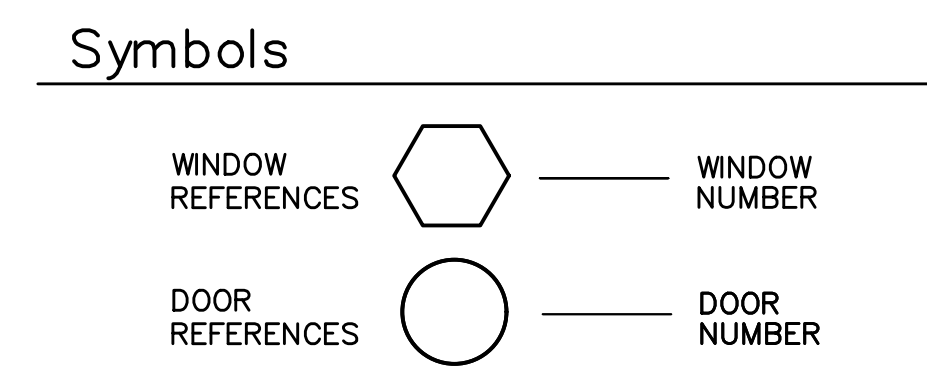
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REVISIONS:  
 BLNDG 11-23-2021/A

PROJECT: RESIDENCE  
 TURNER 5 N/W OF SANTA LUCIA  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
 PROJECT NO: 19-02

ISSUE:  
 05-12-2021  
 10-28-2021  
 12-13-2021  
 DRAWN BY: CO

# APPROVED PLAN



- Abbreviations**
- N/A NOT APPLICABLE
  - G.C. GENERAL CONTRACTOR
  - P PAINT
  - ST STAIN
  - FF FACTORY FINISH
  - I.D. INTERIOR DESIGN
  - S SEALED
  - MFR. MANUFACTURER
  - FIN. FINISH
  - NAT. NATURAL

### Window Elevation Types



### Window Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
1	FOYER	A	4'-0" X 8'-0"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
2	REMOVED									
3	REMOVED									
4	REMOVED									
5	REMOVED									
6	MASTER BEDROOM	F	1'-8" X 8'-0"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
7	MASTER BEDROOM	F	1'-8" X 8'-0"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
8	MASTER BATHROOM	G	2'-8" X 3'-6"	P	CASEMENT	WOOD-UNCLAD	YES	YES	YES	NO
9	MASTER BATHROOM	H	2'-0" X 3'-6"	P	CASEMENT	WOOD-UNCLAD	YES	YES	YES	NO
10	DINING ROOM	I	(3) 3'-0" X 8'-0"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
11	KITCHEN	J	3'-6" X 4'-6"	P	CASEMENT	WOOD-UNCLAD	YES	YES	YES	NO
12	GARAGE	K	2'-6" X 3'-2"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
13	BEDROOM ONE	L	4'-6" X 2'-0"	P	AWNING	WOOD-UNCLAD	YES	YES	YES	NO
14	BATH TWO	M	2'-6" X 1'-6"	P	AWNING	WOOD-UNCLAD	YES	YES	YES	NO
15	BEDROOM TWO	L	4'-6" X 2'-0"	P	AWNING	WOOD-UNCLAD	YES	YES	YES	NO
16	STAIRS	D	3'-0" X 5'-8"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
17	STAIRS	E	3'-0" X 3'-8"	P	FIXED	WOOD-UNCLAD	YES	YES	NO	NO
18	BEDROOM TWO	N	2'-6" X 3'-0"	P	AWNING	WOOD-UNCLAD	YES	NO	NO	NO

### Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5Hx4.5W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

### Window Notes:

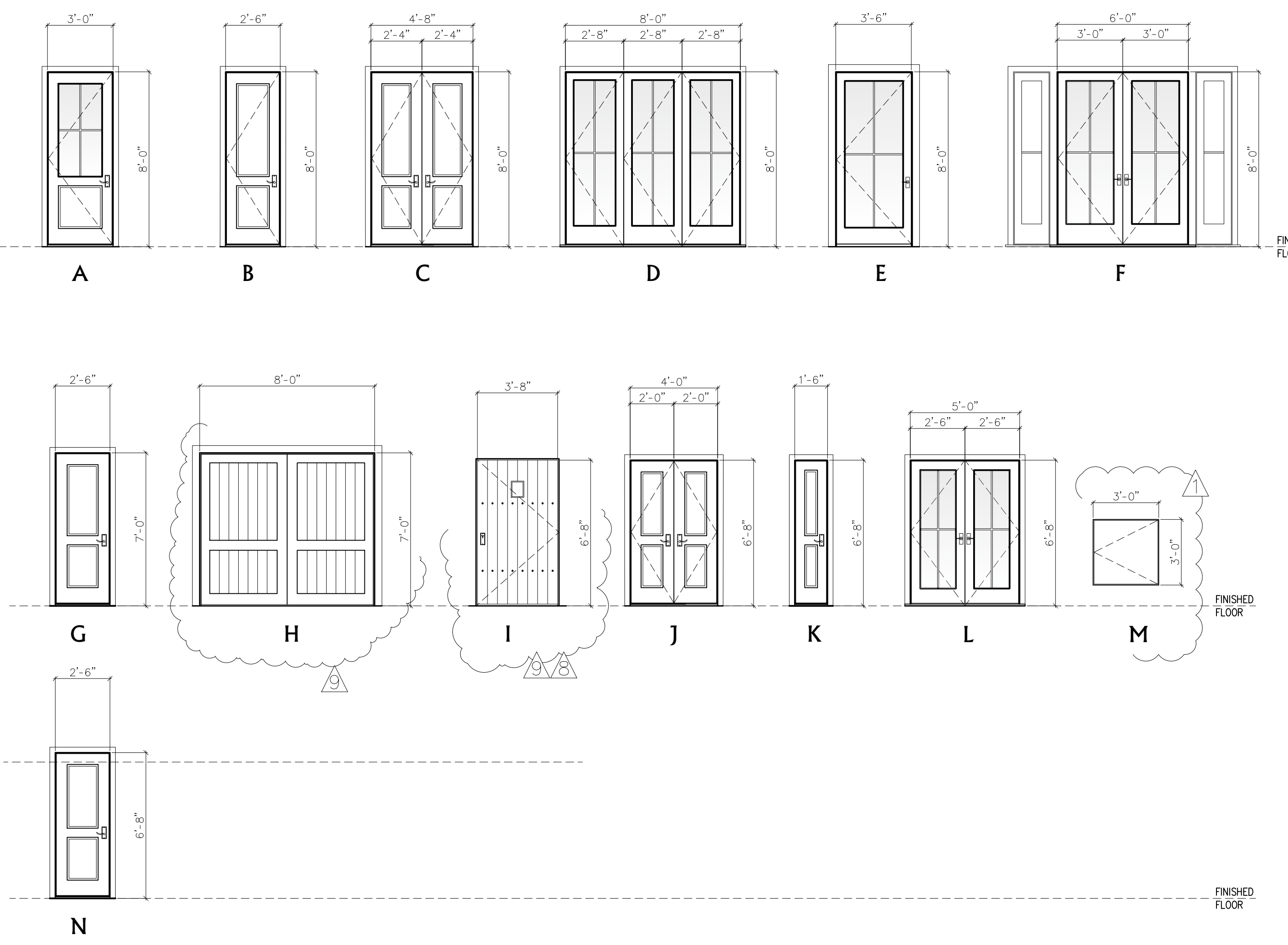
- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER U.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE,ETC.) FOR REVIEW BY CODG, Inc.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 110.6-B OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS, AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTESION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

REV 05/25/24  
 1. ADDED MUNTINS TO THE WINDOWS AND DOORS  
 2. ADDED WINDOW #18  
 3. REMOVED WINDOWS #2 & 3  
 4. RAISED THE HEIGHT OF THE DOORS AND WINDOW IN THE LOWER LEVEL TO 8'-0"

### Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

### Door Elevation Types



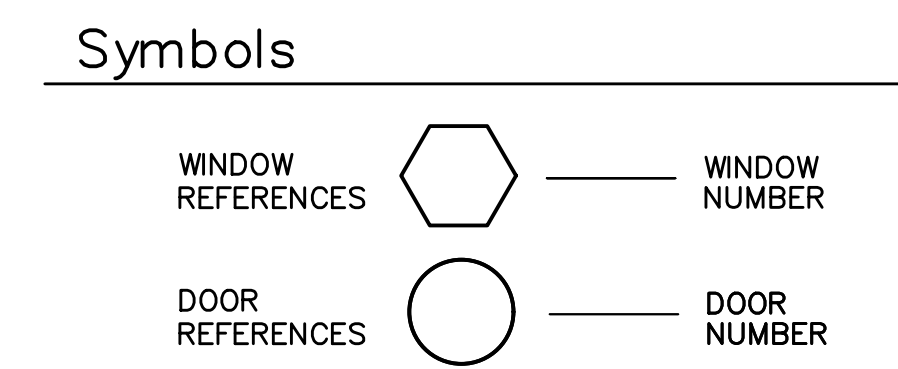
### Door Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
1	FOYER	A	3'-0" X 8'-0"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
2	GARAGE	B	2'-6" X 8'-0" (SELF-CLOSING 2-HR RATED)	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
3	LIVING ROOM	C	(2) PER- 2'-4" X 8'-0"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
4	LIVING ROOM	D	(3) PER 2'-8" X 8'-0"	P	FULL GLASS SLIDER DOOR	WOOD	YES	YES
5	LAUNDRY	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
6	SOUTH ENTRY	E	3'-6" X 8'-0"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES
7	BATHROOM ONE	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
8	MASTER BEDROOM	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
8A	MASTER BATHROOM	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
9	MASTER BATHROOM	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
10	MASTER CLOSET	B	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NDS
11	MASTER BEDROOM	F	(2) PER- 3'-0" X 8'-0"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES
12	GARAGE	G	2'-6" X 7'-0" (SELF-CLOSING 2-HR RATED)	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
13	GARAGE	H	8'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	WOOD	NO	NO
14	PORCH ENTRY	I	3'-6" X 3'-6"	P	WROUGHT IRON	METAL	NO	NO
23	MECHANICAL ROOM	M	3'-0" X 3'-0"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
15	BEDROOM ONE	N	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
16	CLOSET ONE	J	(2) PER- 2'-0" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
17	CLOSET TWO	K	1'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
18	BATHROOM TWO	N	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
19	BEDROOM TWO	N	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
20	CLOSET THREE	J	(2) PER- 2'-0" X 6'-8"	P	FLUSHED / PANELED DOOR	WOOD	NO	NO
21	BEDROOM TWO	L	(2) PER- 2'-6" X 6'-8"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES
22	BEDROOM TWO	L	(2) PER- 2'-6" X 6'-8"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES

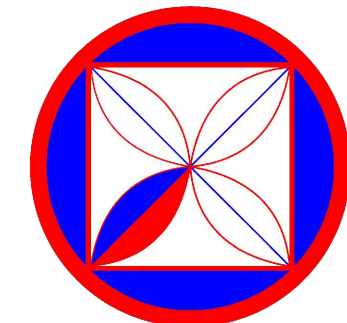
### Tempered Glass Note:

EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:  
 A) GLAZING IN DOORS.  
 B) GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.  
 C) GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:  
 1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.  
 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.  
 3. THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.  
 4. ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.  
 D) GLAZING IN GUARDS AND RAILINGS.  
 E) GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.  
 F) GLAZING ADJACENT TO STAIRS AND RAMPS.

# REVISED PLAN



- Abbreviations**
- N/A NOT APPLICABLE
  - G.C. GENERAL CONTRACTOR
  - P PAINT
  - ST STAIN
  - FF FACTORY FINISH
  - I.D. INTERIOR DESIGN
  - S SEALED
  - MFR. MANUFACTURER
  - FIN. FINISH
  - NAT. NATURAL



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**REVISIONS:**  
 BLNDG 11-23-2021  
 CLIENT 05-25-2024  
 PLN 08-05-2024

**PROJECT:**  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
 PROJECT NO. 19-02

**ISSUE:**  
 05-12-2021  
 10-28-2021  
 12-13-2021

**DRAWN BY:**  
 CO

**WINDOW & DOOR SCHEDULE (PROPOSED)**

SCALE: 1/4" = 1'

# A6.0





**BULB**  
 MANUFACTURE: PHILLIPS  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: B11 LED SOCKET



**FIXTURE A**  
 MANUFACTURE: HAMPTON BAY  
 T24 COMPLIANT: YES  
 COLOR: COPPER  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB  
 DIMENSIONS: 16"H X 10.5"W X 11"



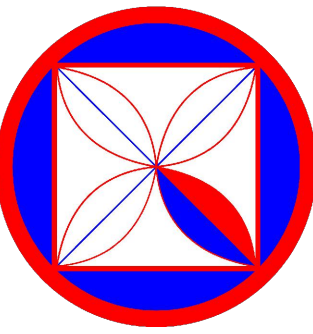
**FIXTURE B**  
 MANUFACTURE: WORLD IMPORTS  
 T24 COMPLIANT: YES  
 COLOR: ANTIQUE COPPER  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB  
 DIMENSIONS: 16"H X 10.5"W



**FIXTURE C**  
 MANUFACTURE: WAC LEDme  
 T24 COMPLIANT: N/A  
 COLOR: BRONZE  
 WATTS: 3.9 WATTS  
 LUMENS: 68  
 BULB TYPE: LED MODULE  
 DIMENSIONS: 21"H X 8"W

**EXTERIOR LIGHTING NOTES**  
 1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.  
 2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

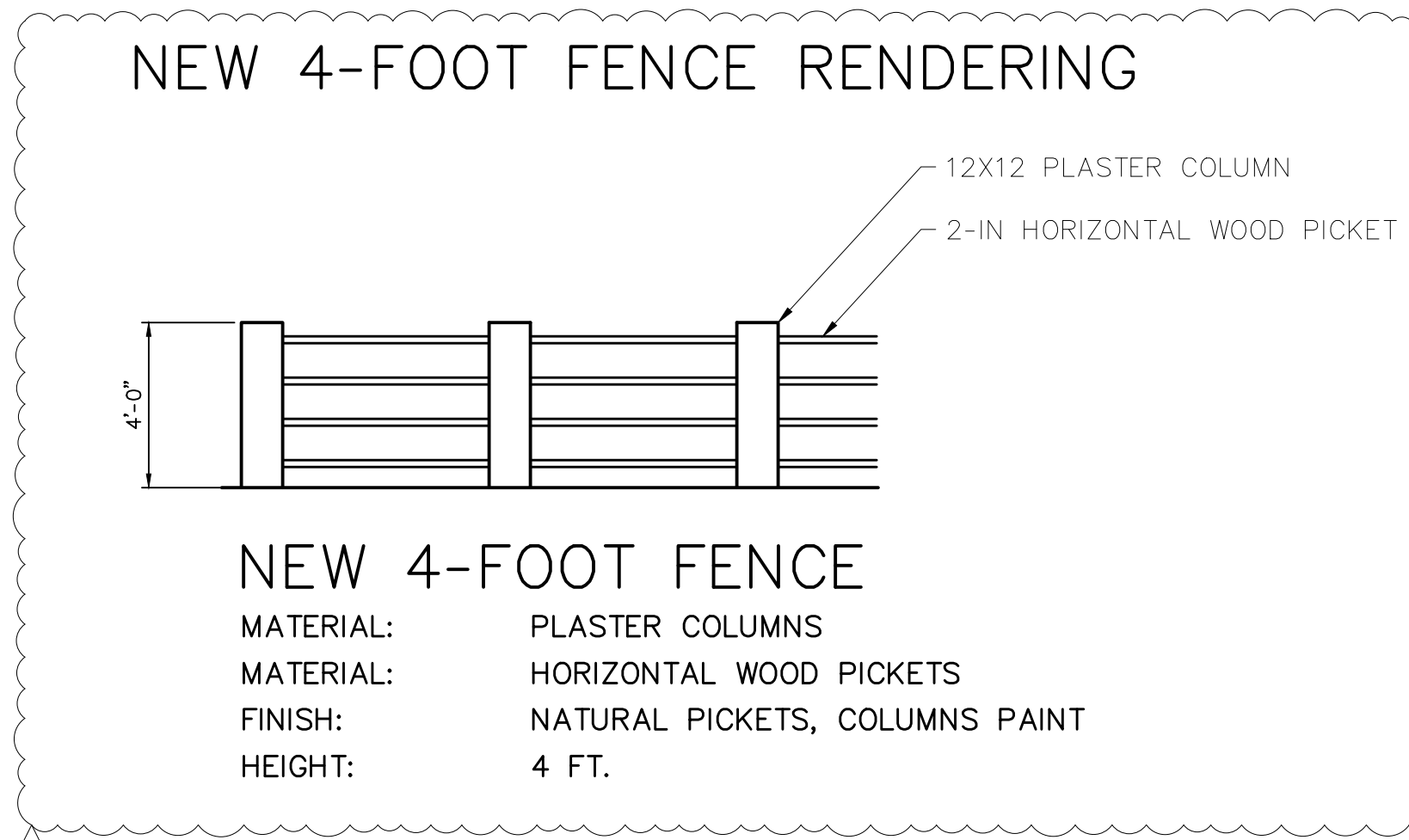
# APPROVED PLAN



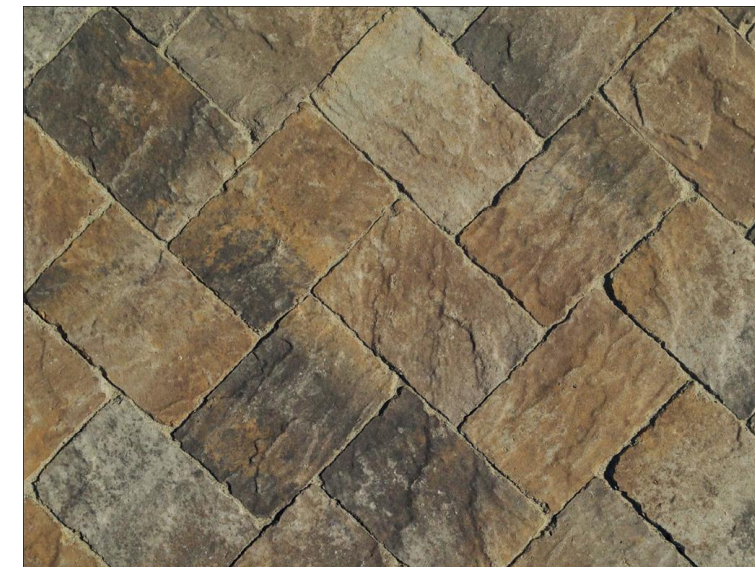
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**REVISIONS:**  
 BLNDG 02-08-2022



**BALUSTER**  
 MANUFACTURE: AMERICAN PORCH  
 COLOR: OFF-WHITE  
 MATERIAL: WESTERN CEDAR



**DRIVEWAY**  
 MANUFACTURE: CALSTONE  
 COLOR: OAK BARREL GRAY  
 INSTALLATION: SET ON SAND



**PATIO**  
 MANUFACTURE: CARMEL STONE  
 COLOR: NATURAL  
 INSTALLATION: SET ON SAND



**WALKWAY**  
 MANUFACTURE: CARMEL STONE  
 COLOR: NATURAL  
 INSTALLATION: SET ON SAND



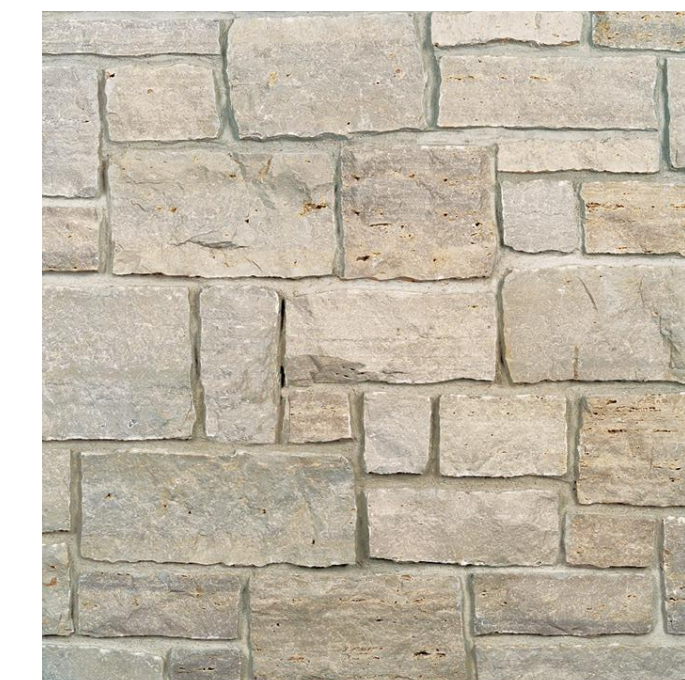
**NEW 6-FOOT FENCE**  
 MATERIAL: REDWOOD  
 FINISH: NATURAL  
 HEIGHT: 5-6 FT. VARIES



**STANDING METAL SEAM ROOF**  
 MANUFACTURE: TAYLOR METAL PRODUCTS  
 PANEL: EASY-LOCK  
 FINISH: CHARCOAL GREY SRI-25  
 GAUGE: 24  
 LRV: 12  
 WIDTH: 12-INCH



**COLOR EXTERIOR**  
 MANUFACTURE: BENJAMIN MOORE  
 COLOR: BALBOA MIST C-27  
 LOCATION: EXTERIOR



**STONE VENEER**  
 MATERIAL: NATURAL STONE  
 COLOR: NATURAL



**WINDOW FRAME COLOR EXTERIOR**  
 MANUFACTURE: SHERWIN-WILLIAMS  
 COLOR: GAUNTLET GRAY / SW 7019  
 LOCATION: EXTERIOR  
 LOCATOR NUMBER: 244-C6

**PROJECT:**  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
**PROJECT NO.:**  
 19-02

**ISSUE:**  
 05-12-2021  
 10-28-2021  
**DRAWN BY:**  
 C.O.

**MATERIALS**  
 (PROPOSED)

SCALE: 1/4" = 1'

# A9.0



**BULB**

MANUFACTURE: PHILLIPS  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: B11 LED SOCKET



**FIXTURE A**

MANUFACTURE: HAMPTON BAY  
 T24 COMPLIANT: YES  
 COLOR: COPPER  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB  
 DIMENSIONS: 16"H X 10.5"W X 11"



**FIXTURE B**

MANUFACTURE: WORLD IMPORTS  
 T24 COMPLIANT: YES  
 COLOR: ANTIQUE COPPER  
 WATTS: 4 WATTS  
 LUMENS: 150  
 BULB TYPE: SEE BULB  
 DIMENSIONS: 16"H X 10.5"W



**FIXTURE C**

MANUFACTURE: WAC LEDme  
 T24 COMPLIANT: N/A  
 COLOR: BRONZE  
 WATTS: 3.9 WATTS  
 LUMENS: 68  
 BULB TYPE: LED MODULE  
 DIMENSIONS: 21"H X 8"W

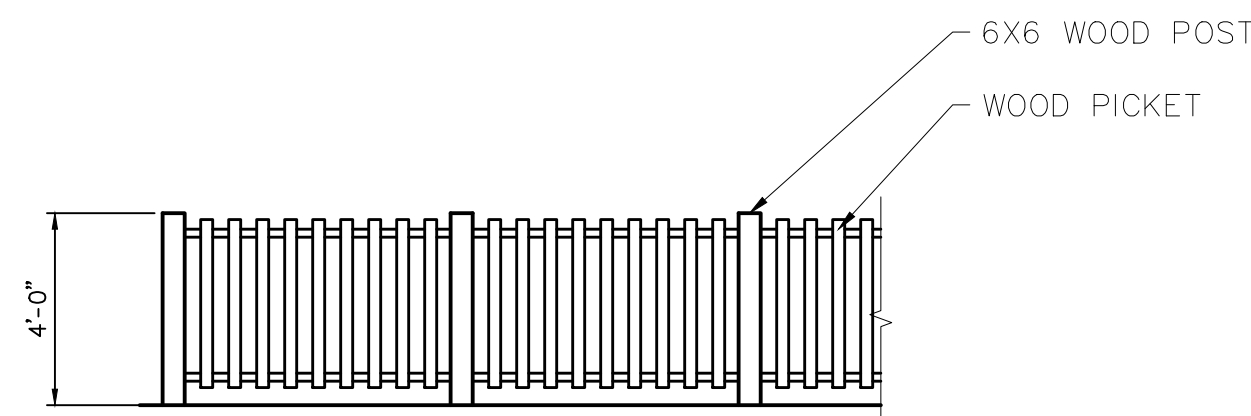
**EXTERIOR LIGHTING NOTES**

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

**REVISED PLAN**

Please see original conditions of approval regarding lighting

**NEW 4-FOOT FENCE RENDERING**



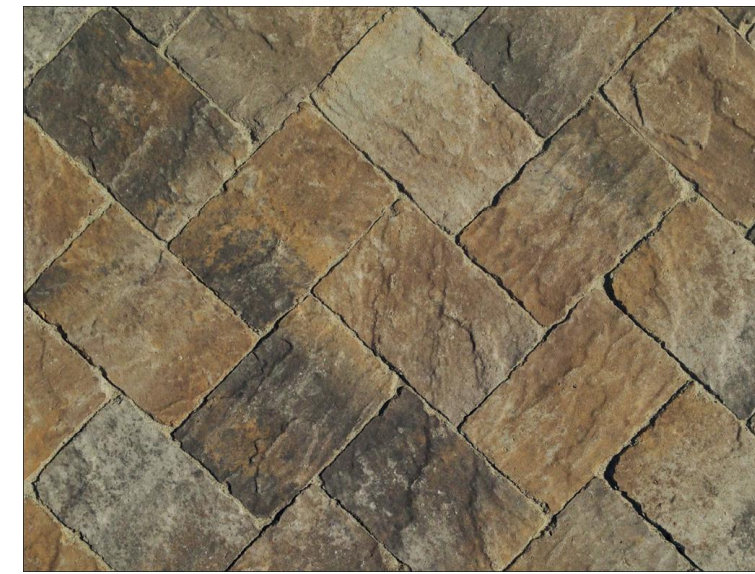
**NEW 4-FOOT FENCE**

MATERIAL: PLASTER COLUMNS  
 MATERIAL: HORIZONTAL WOOD PICKETS  
 FINISH: NATURAL PICKETS, COLUMNS PAINT  
 HEIGHT: 4 FT.



**BALUSTER**

MANUFACTURE: AMERICAN PORCH  
 COLOR: OFF-WHITE  
 MATERIAL: WESTERN CEDAR



**DRIVEWAY**

MANUFACTURE: CALSTONE  
 COLOR: OAK BARREL GRAY  
 INSTALLATION: SET ON SAND



**PATIO**

MANUFACTURE: CARMEL STONE  
 COLOR: NATURAL  
 INSTALLATION: SET ON SAND



**WALKWAY**

MANUFACTURE: CARMEL STONE  
 COLOR: NATURAL  
 INSTALLATION: SET ON SAND



**NEW 6-FOOT FENCE**

MATERIAL: REDWOOD  
 FINISH: NATURAL  
 HEIGHT: 5-6 FT. VARIES



Autumn Blend

**ROOF**

MANUFACTURE: CERTAINTEED  
 COLOR: AUTUMN BLEND  
 MODEL: PRESIDENTIAL SHAKE TL  
 MATERIAL: ASPHALT SHINGLE



Balboa Mist  
 OC-27

**COLOR EXTERIOR**

MANUFACTURE: BENJAMIN MOORE  
 COLOR: BALBOA MIST C-27  
 LOCATION: EXTERIOR



**STONE VENEER**

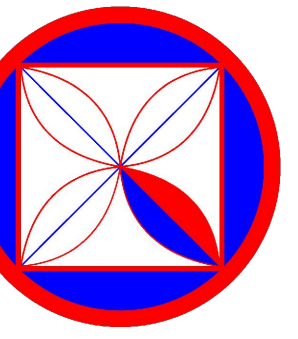
MATERIAL: NATURAL STONE  
 COLOR: NATURAL



Gauntlet Gray (7019)  
 Sherwin-Williams

**WINDOW FRAME COLOR EXTERIOR**

MANUFACTURE: SHERWIN-WILLIAMS  
 COLOR: GAUNTLET GRAY / SW 7019  
 LOCATION: EXTERIOR  
 LOCATOR NUMBER: 244-C6



**C O D G**  
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**REVISIONS:**  
 BLNDG 02-08-2022  
 CLIENT 05-25-2024  
 PLN 08-05-2024

**PROJECT:**  
 TURNER RESIDENCE  
 MISSION 5 N/W OF SANTA LUCIA  
 BLOCK: 142 LOT: 19  
 APN: 010-162-009  
**PROJECT NO.:**  
 19-02

**ISSUE:**  
 05-12-2021  
 10-28-2021  
**DRAWN BY:**  
 C.O.

**MATERIALS**  
 (PROPOSED)

SCALE: 1/4" = 1'

**A9.0**