



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24140

Owner Name: ATILA YAVUZ V & NURTEN B

Case Planner: Jacob Olander, Assistant Planner

Date Posted: _____

Date Approved: 09/06/2024

Project Location: Dolores 4 SW of 1st

APN #: 010127012000 **BLOCK/LOT:** /

Applicant: Adrian Lopez - Forma Design Studio

Project Description: This approval of Design Study (DS 24140) authorizes alterations to an existing single-family residence located at Dolores 4 SW of 1st in the Single-Family Residential (R-1) District, APN: 010-127-012-000. The alterations approved under this Design Study include the construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans prepared by Adrian Lopez - Forma Design Studio as approved by City of Carmel-by-the-Sea Planning Division on September 6, 2024 unless modified by the conditions of approval contained herein. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 24140 (Atila)

Location: Dolores 4 SW of 1st; 010-127-012-000

Date of Action: September 6, 2024

Project Description:

DS 24140 (Atila) authorizes amendments to previously approved Design Study Applications (DS 24140, Atila) located at Dolores 4 SW of 1st in the Single-Family (R-1) District. APN: 010-127-012-000.

The proposed changes include:

- Construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
<p>The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.</p> <p>For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).</p>		
CMC 17.58.060.B Findings for Design Review Approval	YES	NO
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
Additional Staff Analysis/Discussion:		
No additional staff analysis.		

ENVIRONMENTAL REVIEW
<p>The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i>, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i>, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.</p>
<p>Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (Class 3) – New Construction or Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.</p>
<p>Additional Staff Analysis/Discussion: Construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.</p>

CONDITIONS OF APPROVAL

No.	Standard Conditions
1.	Authorization. This approval of Design Study (DS 24140) authorizes alterations to an existing single-family residence located at Dolores 4 SW of 1st in the Single-Family Residential (R-1) District, APN: 010-127-012-000. The alterations approved under this Design Study include the construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans prepared by Adrian Lopez - Forma Design Studio as approved by City of Carmel-by-the-Sea Planning Division on September 6, 2024 unless modified by the conditions of approval contained herein. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Division.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.
5.	Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).
6.	Utility Meter Locations. The placement of all utility meters shall consistent with the locations identified in the approved plans. Changes to the location of any utility meter location shall require written approval of the Community Planning and Building Department prior to the change of the location.
7.	Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length

	of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).
8.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
9.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
10.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
11.	Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing. Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than

	10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.
12.	Wood Frame Windows and Doors. Prior to the issuance of a building permit, the Applicant shall include the manufacturer’s specifications for the approved wood windows and doors. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light, including the use of internal and external mullions and muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied, are not permitted. The painted finish shall be matte or low gloss.
13.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
14.	Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.
15.	Hazardous Materials Waste Survey. Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.
16.	Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.

17.	Truck Haul Route. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.
18.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
19.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) and applicant on a full-size sheet within the construction plan set submitted to the Building Safety Division.
Landscape Conditions	
20.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
21.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or

	<p>6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</p> <ul style="list-style-type: none"> • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. • If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
22.	<p>Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.</p>
Environmental Compliance Conditions	
23.	<p>Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.</p>
24.	<p>BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.</p>
25.	<p>Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces.</p>
26.	<p>Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.</p>

Special Conditions	
27.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
28.	Construction Management Plan. Prior to the issuance of a building permit, the Applicant shall submit a Construction Management Plan for review and approval by the Community Planning & Building Director.
29.	Building Permit. The applicant shall obtain a Building Permit from the Building Safety Division prior to commencement of work.
30.	Annotated Plans. The applicant shall keep annotation by the Planning Department on the approved plans in the set of plans submitted to the Building Department for the Building Permit application.

Acknowledgment and acceptance of conditions of approval:

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date

ATILA RESIDENCE

DOLORES St. 4SW of 1st. AVENUE

CARMEL by-the SEA, CALIFORNIA

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
- THESE NOTES AND DRAWINGS.
 - ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
 - WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE DESIGNER'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
 - INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
 - ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.

- 1.2 SITE VERIFICATION – EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.

- 1.3 CONSTRUCTION DOCUMENTS
- THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
 - THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.
 - THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER FIRST.
 - THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.

- 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

- 1.5 ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.

- 1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.

- 1.7 ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.

- 1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.

- 1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.

- 1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.

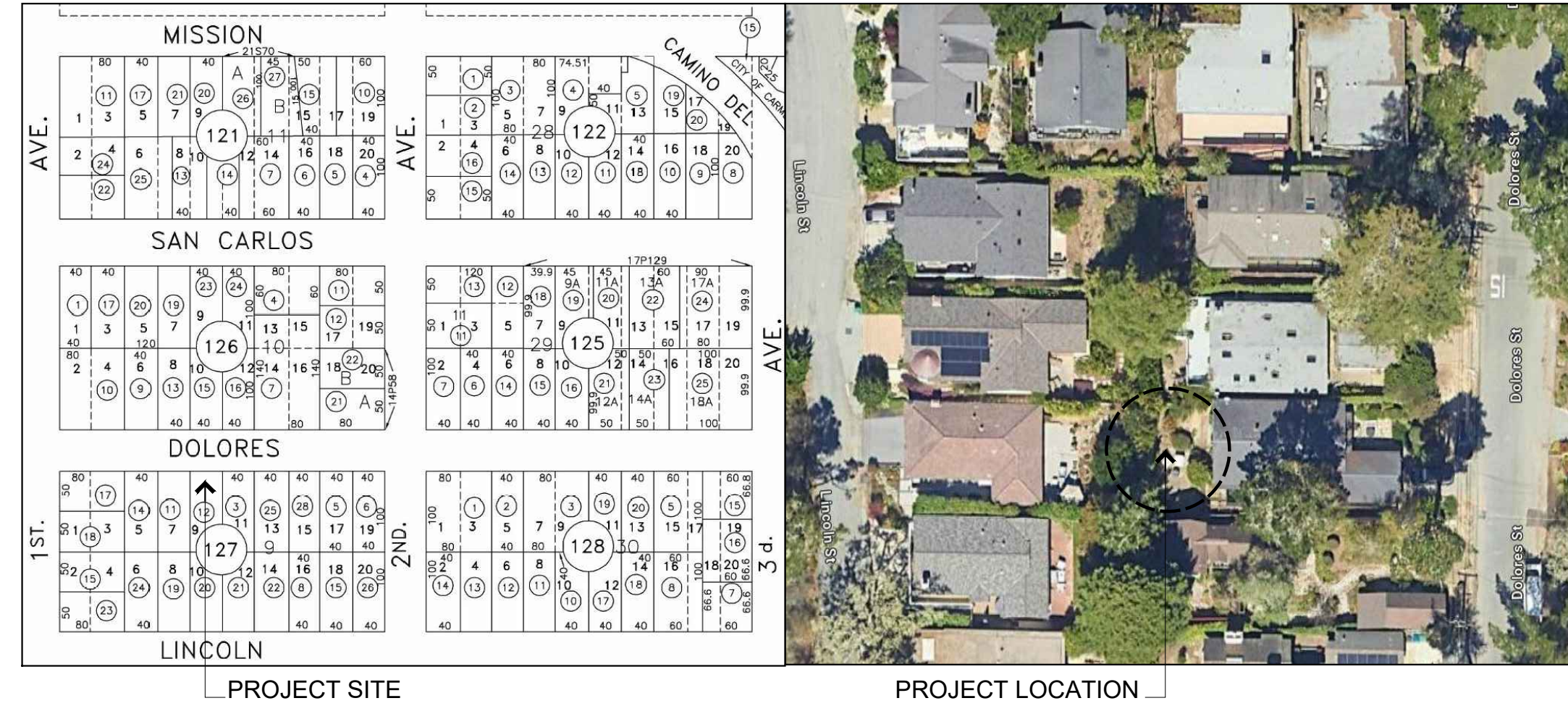
- 1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

TREE PROTECTION NOTES

- ESTABLISHMENT OF A TREE PRESERVATION ZONE (TPZ). CHAIN LINK OR ORANGE NETTING FENCING, WITH STAKES IN THE GROUND, NO LESS THAN 48 INCHES IN HEIGHT, SHALL BE INSTALLED AT THE DRIPLINE (THE PERIMETER OF THE FOLIAR CANOPY) OF THE TREE. THE INSTALLATION WILL BE DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING WILL NOT BE REMOVED WITHOUT THE CONSENT OF THE CONSULTING ARBORIST.
- NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS OR LIQUIDS OF ANY TYPE SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
- SOIL COMPACTION SHALL BE MINIMIZED WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 6" LAYER OF MULCH. TREE CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE.
- NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT. IF TREES ROOTS ARE UNEARTHED DURING THE CONSTRUCTION PROCESS THE CONSULTING ARBORIST WILL BE NOTIFIED IMMEDIATELY. EXPOSED ROOTS WILL BE COVERED WITH MOISTENED BURLAP UNTIL A DETERMINATION IS MADE BY THE ON SITE ARBORIST.
- ANY AREAS OF PROPOSED TRENCHING WILL BE EVALUATED WITH THE CONSULTING ARBORIST AND THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL TRENCHING IN THE TPZ ON THIS SITE WILL BE APPROVED BY THE ARBORIST. TRENCHING WITHIN A TREE'S DRIPLINE WILL BE PERFORMED BY HAND. TREE ROOTS ENCOUNTERED WILL BE AVOIDED OR PROPERLY PRUNED UNDER GUIDANCE OF THE CONSULTING ARBORIST.

DECONSTRUCTION NOTES

- PRIOR TO COMMENCING DECONSTRUCTION OR DEMOLITION CONTRACTOR SHALL REMOVE ALL ITEMS SUITABLE FOR SALE OR SALVAGE. THESE ITEMS SHALL BE DESIGNATED DURING A COMPREHENSIVE WALK-THROUGH WITH THE PROJECT MANAGER AS OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING AS REQUIRED AT ALL AREAS WHERE EXISTING FOOTINGS, WALLS, BEAMS AND HEADERS ARE DESIGNATED TO BE REMOVED. CONTRACTOR SHALL VERIFY THESE REQUIREMENTS WITH THE PROJECT ENGINEER PRIOR TO COMMENCING WORK.
- DEMOLITION AND DECONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTEREY BAY UNIFIED AIR POLLUTION CONTROL DISTRICT RULE 439.
- SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING DURING THE ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REMOVAL PROCESS.
 - DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
 - COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT STRUCT. ENGINEER OF ANY CONDITION DISCOVERED DURING DEMOLITION OR DECONSTRUCTION WHICH MAY REQUIRE REVISION OF THE PROJECT DRAWINGS AND DETAILS OR WHICH MAY AFFECT PROJECT TIME LINE OR COSTS.



FIRE SAFETY NOTES

FIRE011 – ADDRESSES FOR BUILDINGS

ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS.

LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 1/2-INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER.

ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

NOTE: OWNER SHALL SCHEDULE THE MANDATORY PRE-CONSTRUCTION SITE INSPECTION IF ISSUING THE PERMIT BETWEEN OCT 15 AND APRIL 15.

PROPOSED PLANS

- SHEET G-1.1 PROJECT INFORMATION - PLOT PLAN - NOTES
- SHEET G-1.2 GENERAL NOTES
- SHEET G-1.3.1 CGBC RESIDENTIAL MANDATORY MEASURES
- SHEET G-1.3.2 CGBC RESIDENTIAL MANDATORY MEASURES
- SHEET G-1.4 CONSTRUCTION BEST MANAGEMENT PRACTICE NOTES
- SHEET C-1.1 PROPOSED SITE PLAN
- SHEET A-1.0 EXISTING FLOOR & ROOF PLAN
- SHEET A-1.1 PROPOSED FLOOR
- SHEET A-1.2 PROPOSED ROOF PLAN
- SHEET A-2.1 PROPOSED EXTERIOR ELEVATIONS
- SHEET A-3.1 BUILDING SECTION & DETAILS
- SHEET E-1.1 ADU - ELECTRICAL PLAN

APPLICABLE CODES FOR THIS PROJECT:

- 2022 California Building Code (CBC)
- 2022 California Residential Code (CRC)
- 2022 California Fire Code (CFC)
- 2022 California Plumbing Code (CPC)
- 2022 California Mechanical Code (CMC)
- 2022 California Electrical Code (CEC)
- 2022 California Energy Code (CenC)
- 2022 California Green Building Code (CGB)
- 2022 City of Monterey & State Regulatory Requirements

DEFERRED SUBMITTALS REQUIRING SEPARATE SUBMITTAL, PERMIT, REVIEW, AND APPROVAL ARE NOTED AT THE COVER SHEET FOR THE FOLLOWING ITEMS:

- PLUMBING LINE DIAGRAM – WATER, WASTE, VENTING AND GAS LINE
- ELECTRICAL PANEL LOAD CALCULATIONS

SINGLE LINE INSTALLATION DIAGRAM SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CALLING FOR INSPECTION.

BUILDING STORIES:.....(1) ONE
 APPROX. INT. REMODEL:..... S.F.
 FIRE SPRINKLERS SYSTEM:.....NO
 FIRE ALARM SYSTEM:.....NO
 TREES TO BE REMOVED:.....NONE

WATER COMPANY:.....CALAM
 SEWER SERVICE:.....MONTEREY ONE WATER
 GAS AND ELECTRICITY:.....PACIFIC GAS & ELECTRIC

STRUCTURAL PLANS

SCOPE OF WORK:

Proposed ADU (575 s.f.) with a Roof Top (161 s.f.) accessible from the Single Family Dwelling.

OWNER:

Yavuz & Nurten Atila
 PO Box 1965
 Monterey, California 93942
 yvatila@gmail.com

SITE INFORMATION:

Dolores 4SW of 1st. Avenue
 Carmel By The Sea, California 93933

A.P.N : 010-127-012-000
 Occupancy: R1
 Constr. Type: VN
 Zoning Designation: Single Family Residential
 Property Area: 4,000 s.f.

BUILDING DATA:

RESIDENCE	EXISTING	PROPOSED
Main Residence	1,172 s.f.	1,172 s.f.
Garage	285 s.f.	285 s.f.
ADU Roof Top	---	---
ADU	---	575 s.f.
Base Floor Area (1,800)	1,457 s.f.	2,032 s.f.
Building Coverage	1,457 s.f. = 36.4%	1,956 s.f. = 48.9%

SITE SURFACE COVERAGE - Permeable/Semi-permeable

South Deck	296 s.f.	No Changes
Driveway Pavers on Sand	152 s.f.	No Changes
Walks (Pavers on Sand)	84 s.f.	No Changes
Trash Enclosure (Pavers on Sand)	29 s.f.	No Changes
West Concrete Patio		
Front Patio (Flagstone on Sand)	160 s.f.	To Be Removed
ADU Entry Stepping Stone Walk	---	154 s.f.
Total Site Coverage	721 s.f.	715 s.f.

SITE INFORMATION 1

DESIGN TEAM ASSOCIATED WITH THIS PROJECT

forma Design Studio: Engineer of Record: T.B.D.
 PO Box 2094
 Carmel, CA 93921
 formadesignstudio.com
 Phone: 831.521.5924

General Contractor: T.B.D. Energy Compliance: T.B.D.

THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

ENERGY COMPLIANCE

DATE	REVISION



P.O. Box 2094, Carmel, CA, 93921
 Ph. 831.521.5924
 formadesignstudio.com

ATILA RESIDENCE
 DOLORES 4SW OF 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2023-30
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number

G-1.1

of Sheets

SHEET INDEX 2

PROJECT INFORMATION

TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH DESIGNER UNLESS INDICATED OTHERWISE. VISUAL CONTENT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FINAL PREFERENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

TITLE TO THESE DRAWINGS AND SPECIFICATIONS IS RESERVED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION OR REPRODUCTION IN WHOLE OR IN PART, IS PROHIBITED.

DATE	REVISION



P.O. Box 2094, Carmel, CA. 93921
 Ph. 831.521.5924
 formadesignstudio.com

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.

MATERIALS & WASTE MANAGEMENT	EQUIPMENT MANAGEMENT & SPILL CONTROL	EARTHWORK & CONTAMINATED SOILS	PAVING/ASPHALT WORK	CONCRETE, GROUT & MORTAR APPLICATION	PAINTING & PAINT REMOVAL	DEWATERING
<p>Non-Hazardous Materials</p> <ul style="list-style-type: none"> □ Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days. □ Use (but don't overuse) reclaimed water for dust control. □ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations. □ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast. □ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours. □ Arrange for appropriate disposal of all hazardous wastes. <p>Hazardous Materials</p> <ul style="list-style-type: none"> □ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather. □ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site. □ Clean or replace portable toilets, and inspect them frequently for leaks and spills. □ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.) □ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste. □ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site. □ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking. <p>Waste Management</p> <ul style="list-style-type: none"> □ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage. □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site. □ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste. □ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters. □ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc. <p>Maintenance and Parking</p> <ul style="list-style-type: none"> □ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage. □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site. □ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste. □ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters. □ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc. <p>Spill Prevention and Control</p> <ul style="list-style-type: none"> □ Schedule spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times. □ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made. □ Clean up spills or leaks immediately and dispose of cleanup materials properly. □ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags). □ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them. □ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil. □ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours). <p>Erosion Control</p> <ul style="list-style-type: none"> □ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established. □ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned. <p>Sediment Control</p> <ul style="list-style-type: none"> □ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc. □ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins. □ Keep excavated soil on the site where it will not collect into the street. □ Transfer excavated materials to dump trucks on the site, not in the street. □ Contaminated Soils <ul style="list-style-type: none"> □ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board: <ul style="list-style-type: none"> • Unusual soil conditions, discoloration, or odor. • Abandoned underground tanks • Abandoned wells • Buried barrels, debris, or trash. 	<p>Sawcutting & Asphalt/Concrete Removal</p> <ul style="list-style-type: none"> □ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system. □ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!) □ If sawcut slurry enters a catch basin, clean it up immediately. 	<p>LANDSCAPE MATERIALS</p> <ul style="list-style-type: none"> □ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used. □ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied. □ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather. 				

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

LAS MEJORES PRÁCTICAS DE CONSTRUCCIÓN

Los proyectos de construcción deben implementar las Mejores Prácticas de Construcción dadas en esta página, ya que son pertinentes a su proyecto todo el año.

MANEJO DE MATERIALES Y RESIDUOS	MANEJO DEL EQUIPO Y CONTROL DE DERRAMES	TRABAJO EN LA TIERRA Y SUELOS CONTAMINADOS	TRABAJO CON PAVIMENTO/ASFALTO	APLICACIÓN DE CONCRETO, LECHADA DE CEMENTO Y MORTERO	REMOVIENDO PINTURA	EXTRACCIÓN DEL AGUA	
<p>Materiales no peligrosos</p> <ul style="list-style-type: none"> □ Haga un borde alrededor y cubra con lonas impermeables las pilas de arena, tierra u otros materiales de construcción cuando haya pronóstico de lluvia o si no van a ser usados activamente en los próximos 14 días. □ Use (pero no abuse) agua reclamada para controlar el polvo. <p>Materiales peligrosos</p> <ul style="list-style-type: none"> □ Póngales etiqueta con nombre a todos los materiales y residuos peligrosos (como pesticidas, pintura, diluyentes, solventes, gasolina, aceite y anticongelante) de acuerdo con las regulaciones de la ciudad, del condado, del estado y federales. □ Ponga los materiales y residuos peligrosos en contenedores que no puedan ser reutilizados en contenedores secundarios apropiados y etiquados después de cada día de trabajo, o durante la temporada lluviosa, o cuando se haya pronosticado lluvia. □ Al aplicar los materiales peligrosos, siga las instrucciones del fabricante y tenga cuidado de no usar más de lo necesario. No aplique productos químicos en el exterior cuando se haya pronosticado lluvia en las próximas 24 horas. □ Asegúrese de deshacerse apropiadamente de todos los residuos peligrosos. <p>Manejo de residuos</p> <ul style="list-style-type: none"> □ Cubra bien con lonas impermeables los contenedores con residuos peligrosos al terminar cada día de trabajo, y durante la temporada de lluvias. 	<p>Mantenimiento y estacionamiento</p> <ul style="list-style-type: none"> □ Designe un área especial, usando técnicas apropiadas de control de polución, para estacionar los vehículos y el equipo, y para almacenamiento. □ Realice las tareas mayores de mantenimiento, los trabajos de reparación y el lavado de vehículos y equipos fuera del sitio de construcción. □ Si es necesario ponerle gasolina a un vehículo o hacer reparaciones en el sitio, trabaje en un área bordada, alejada de los desagües pluviales y sobre una bandeja de goteo de tamaño suficiente para contener los líquidos peligrosos que se derramen. □ Si es necesario lavar los vehículos o equipos en el sitio de construcción, límpielos sólo con agua, en un área controlada que no permita que el agua de enjuague llegue a cunetas, calles, desagües de aguas pluviales o superficies acústicas (lagos, arroyos, etc.). □ No lave vehículos o equipos en el sitio de construcción usando jabones, solventes, desgrasadores, equipo de limpieza en seco, etc. <p>Prevención y control de derrames</p> <ul style="list-style-type: none"> □ Mantenga a mano en el sitio de construcción, en todo momento, los materiales para limpiar derrames (trapos, absorbentes, etc.). □ Inspeccione frecuentemente los vehículos y equipos para descubrir pérdidas de fluidos y repáralos inmediatamente. Use bandejas de goteo para recoger el líquido que pierda hasta que pueda hacer las reparaciones. □ Limpie los derrames o pérdidas inmediatamente y deshágase apropiadamente de los materiales de limpieza. □ No lave con manguera las superficies donde se hayan volcado líquidos. Use métodos en seco (materiales absorbentes, aspirín de cajas sanitarias para gatos o trapos). □ Barra inmediatamente los materiales secos que se hayan desparramado. No trate de deshacerse de ellos usando agua, ni de enterrarlos. □ Limpie los derrames en la tierra excavando la tierra contaminada y desahúcese correctamente de ella. □ Comunique inmediatamente cualquier derrame significativo. La ley obliga a comunicar todos los derrames de materiales peligrosos, incluyendo el petróleo. Para comunicar un derrame: 1) Marque el 911 o a su número local de emergencias; 2) llame al Centro de Emergencias y Servicios de Prevención de la Oficina del Gobernador, (800) 852-7550, las 24 horas del día. 	<p>Control de erosión</p> <ul style="list-style-type: none"> □ Planee trabajo de nivelación y excavación sólo cuando no vaya a llover. □ Establezca todas las áreas desnudas, instale y mantenga control de erosión provisorio (como tela de control de erosión o matriz de tejido pegado) hasta que se haya establecido la vegetación. □ Plante semillas o plantas para control de erosión en superficies en declive o donde no se planea la construcción inmediata. <p>Control de sedimento</p> <ul style="list-style-type: none"> □ Proteja las rejillas de los desagües de aguas pluviales, las cunetas, canales y cursos de drenaje, usando apropiadas técnicas de control de polución, como bollos con grava, rollos de fibras, bordes, etc. □ Prevenga que los sedimentos migren fuera del sitio instalando y manteniendo controles de sedimentos, como rollos de fibra, cerca de sedimentos o estaqueos de sedimentos. □ Mantenga la tierra que se haya excavado en el sitio de construcción en un lugar donde no pueda ser arrastrada a la calle. □ Transfiera a los camiones, en el sitio mismo de construcción y no en la calle, los materiales excavados, para transportarlos. □ Suelos contaminados <ul style="list-style-type: none"> □ Si se observan cualquiera de las siguientes condiciones, analice la tierra para descubrir contaminación y comuníquese con la Junta Regional de Control de Calidad del Agua <ul style="list-style-type: none"> • Condiciones inusuales en la tierra, descoloramiento u olor. • Tanques enterrados abandonados • Pozos de agua abandonados. • Barriles, buntas o residuos enterrados. 	<p>Cortando con sierra y removiendo asfalto/concreto</p> <ul style="list-style-type: none"> □ Cubra las rejillas de los desagües de aguas pluviales y las bocas de desagüe con lonas impermeables cuando corte con sierra. Use tela de filtro, filtros en las bocas de admisión, o bolsas de grava para evitar que la lechada entre en el sistema de desagües pluviales. □ Levante con pala, absorba o aspire la lechada producida por la sierra y deshágase de todos los residuos tan pronto como haya finalizado un sitio, o al terminar cada día de trabajo (lo que sea antes). □ Si la lechada producida por la sierra entra en un sumidero, límpielo inmediatamente. 	<p>Materiales de JARDINERÍA</p> <ul style="list-style-type: none"> □ Contenga los materiales de jardinería ya apilados mantenidos cubiertos con lonas impermeables cuando no estén en uso activo. □ Ponga sobre paletas los materiales de jardinería que puedan sufrir erosión. Cubra o gárdelos materiales cuando no estén en uso activo. □ No contine aplicado cualquier material de jardinería que pueda sufrir erosión por lo menos dos días antes de una lluvia pronosticada o durante tiempo lluvioso. 	<p>Limpieza después de pintar</p> <ul style="list-style-type: none"> □ Nunca lave los pinceles ni enjuague los tarros de pintura en la calle, en las cunetas, desagües pluviales o superficies de aguas (arroyos, lagos, etc.). □ Usando pinturas a base de agua, al terminar, pinte lo más que pueda con la última pintura en el pincel. Enjuague los pinceles en un desagüe a las cloacas una vez que haya obtenido el permiso de las autoridades locales del sistema de tratamiento de aguas negras. Nunca eche pintura en un desagüe. □ Usando pinturas a base de aceite, pinte lo más que pueda con la última pintura en el pincel y limpie el pincel con diluyente o solvente en un envase apropiado. Fíbre y vuelva a usar los diluyentes y solventes. Deshágase del residuo y del diluyente/solvente como desechos peligrosos. <p>Removiendo pintura</p> <ul style="list-style-type: none"> □ Los residuos de productos químicos para remover pintura y los trozos y polvo de pinturas marinas o de pinturas que contienen plomo o tributyltin, deben ser desechados como residuos peligrosos. □ Los trozos de pintura y el polvo de productos no peligrosos y removidos en seco o con ráfagas de arena pueden ser bariados o juntados en tela de plástico y echados a la basura. 	<p>Control de erosión</p> <ul style="list-style-type: none"> □ Evite pavimentar o recubrir pavimento en tiempo de lluvias, o cuando se haya pronosticado lluvia antes que el nuevo pavimento haya tenido tiempo de secarse. □ Cubra las rejillas de los desagües de aguas pluviales y las bocas de desagüe con lonas impermeables cuando corte con sierra. Use tela de selloado, capa ligante, capa de lechada (slurry seal), capa final fluida, etc. □ Junte y recicle o deshágase apropiadamente del exceso de grava y arena abrasivas. NO las barra ni las empuje con agua a los desagües de aguas pluviales. □ No use agua para lavar pavimento de concreto y asfalto fresco. 	<p>Guarde el concreto, la lechada de cemento y el mortero cubiertos, en paletas y alejados de las áreas de desagüe. Estos materiales nunca deben llegar a los desagües pluviales.</p> <p>□ Lave el concreto del equipo y de los camiones fuera del sitio de construcción o en un área controlada, para que no descarguen en la tierra subyacente. Deje secar el concreto y deshágase de él como basura.</p> <p>□ Junte el agua con la que lavó el concreto de agregado expuesto y deshágase de ella apropiadamente fuera del sitio de construcción.</p>

¡QUIENES CONTAMINEN LOS DESAGÜES DE AGUAS PLUVIALES PUEDEN RECIBIR MULTAS DE HASTA \$10.000 POR DÍA!

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

ATILA RESIDENCE
 DOLORES 45W OF 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2023-30
Date	07-24-24
Revision	
Drawn By	FDS

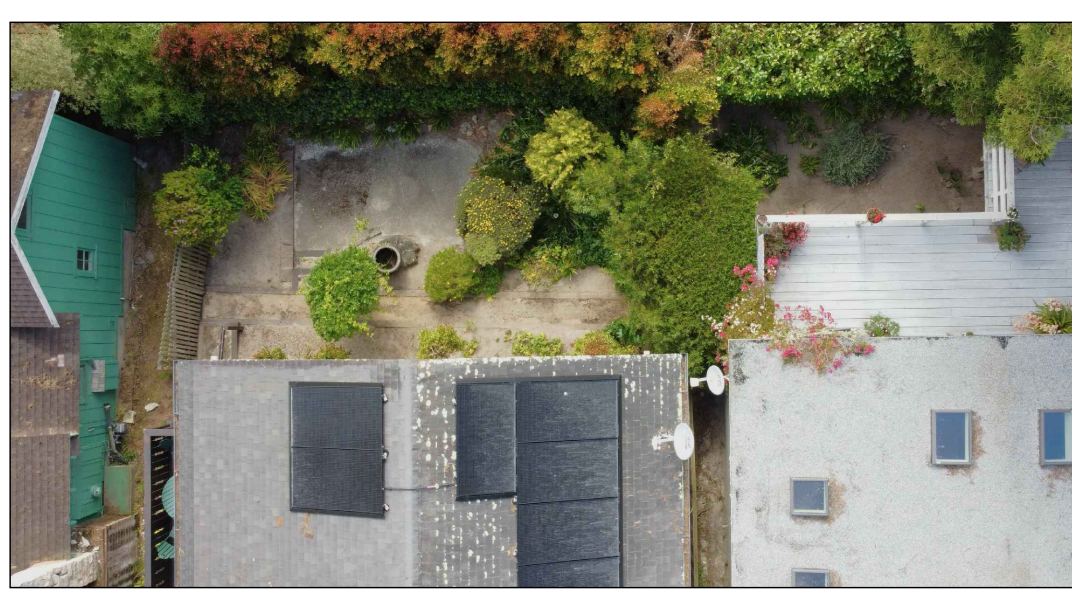
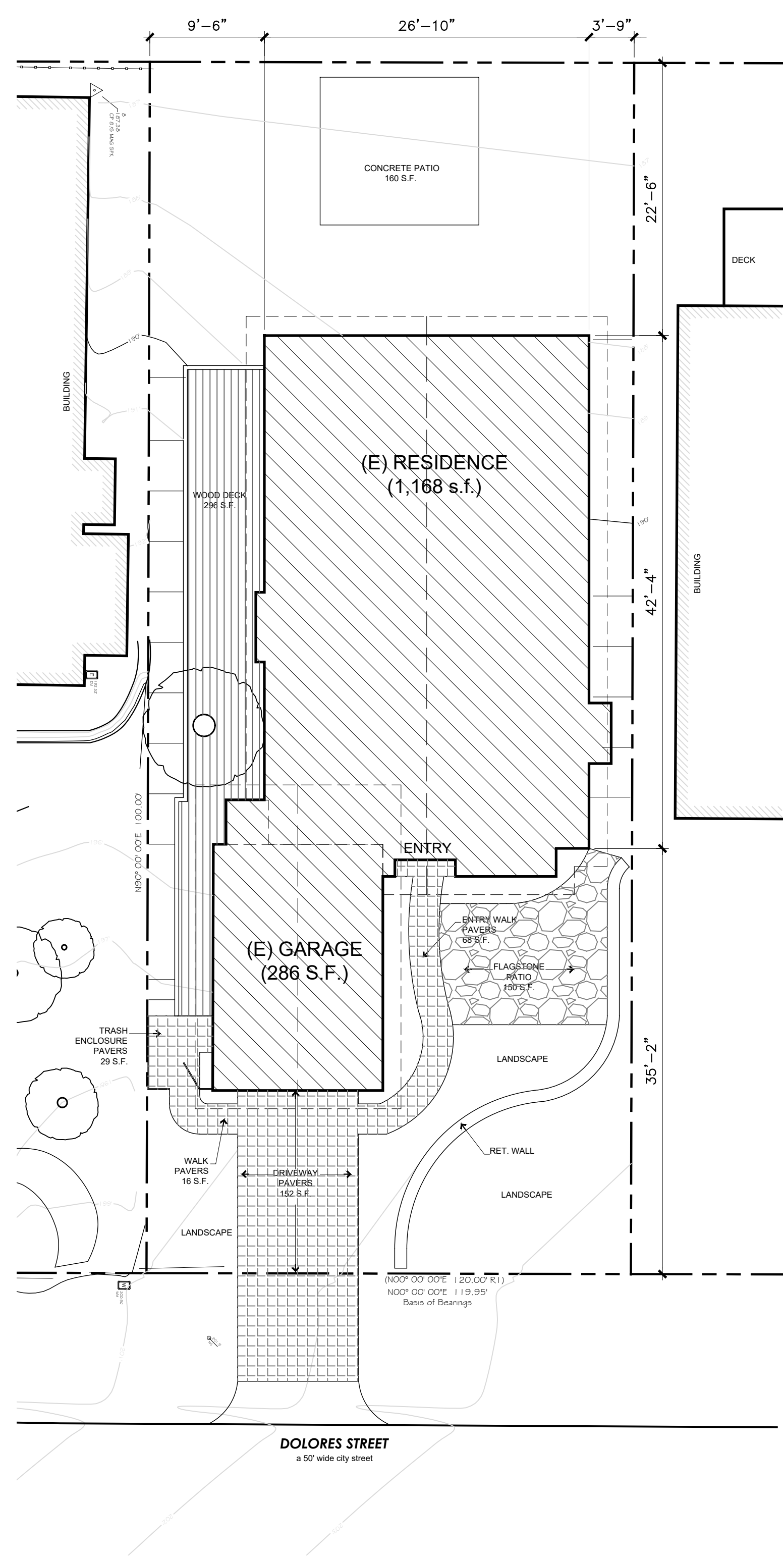
Sheet Number

G-1.2

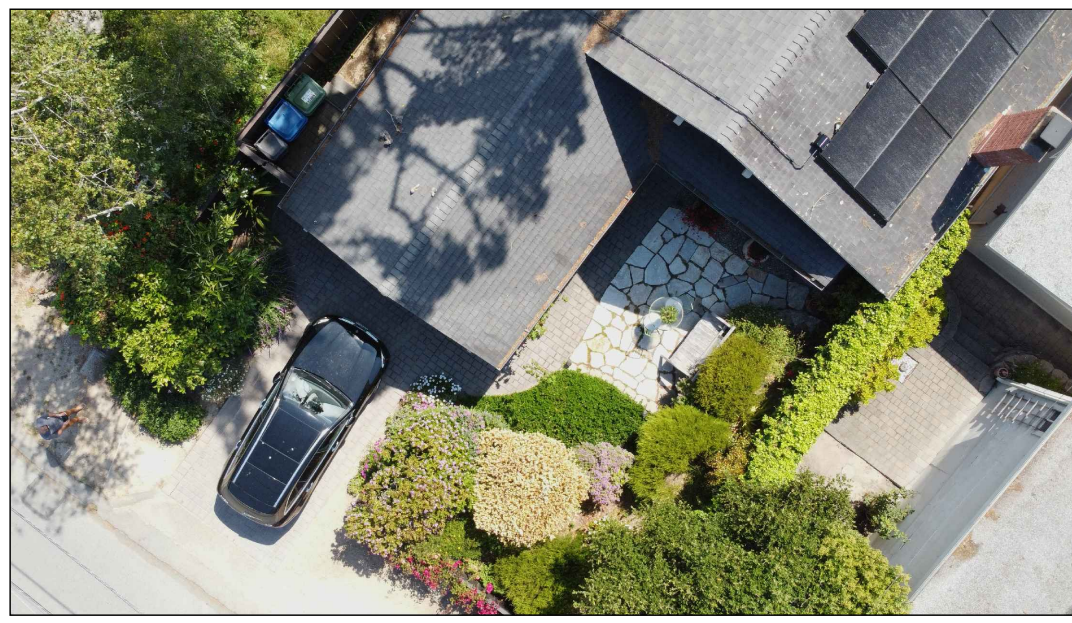
DATE	REVISION



P.O. Box 2094, Carmel, CA, 93921
 Ph. 831.521.5924
 formadesignstudio.com



EXISTING BACK-YARD



EXISTING FRONT-YARD

SITE COVER - FOOTPRINT DATA:

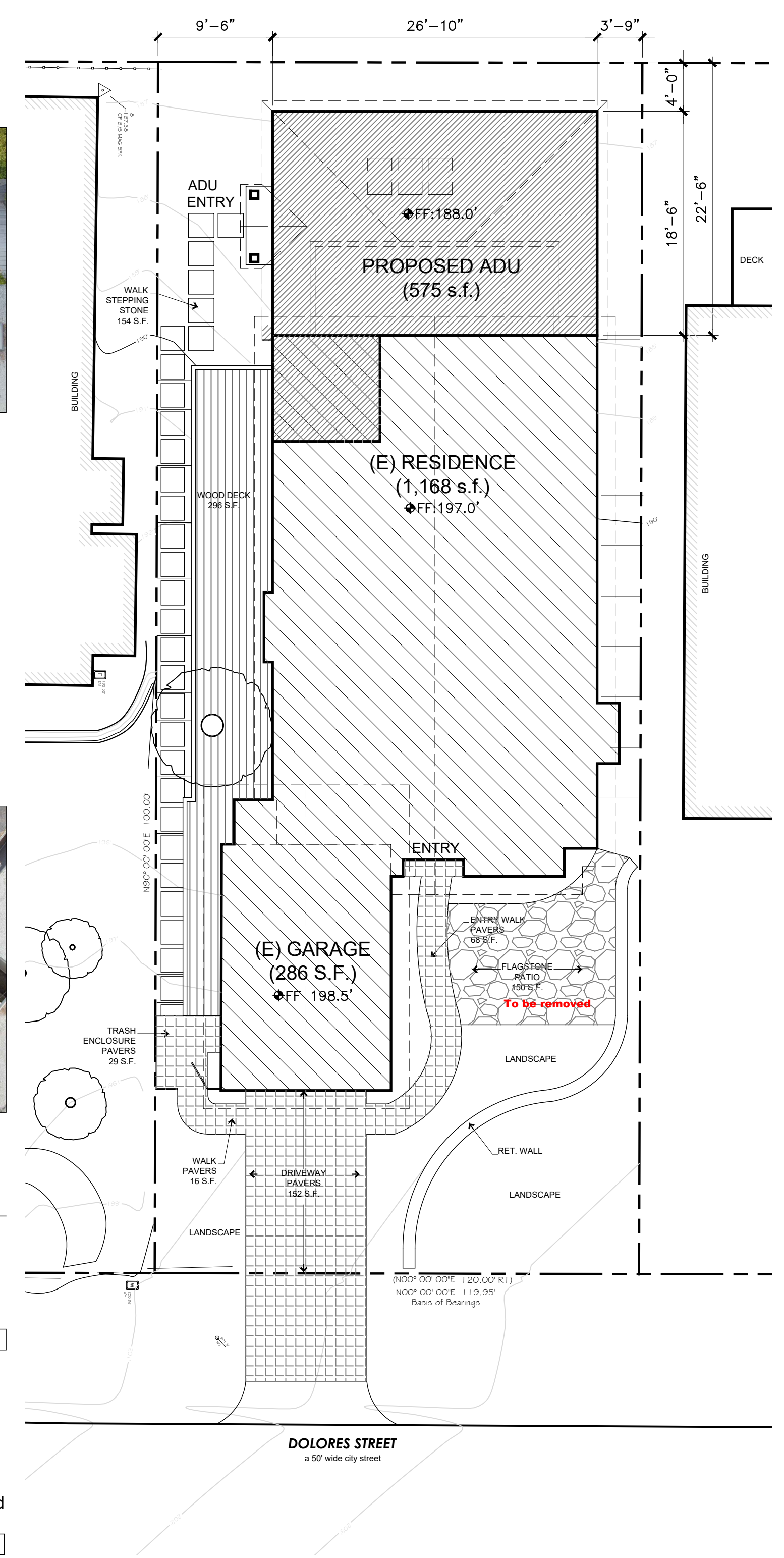
BUILDING/S	EXISTING	PROPOSED
Main Residence Footprint	1,168 s.f.	No Changes
Garage Footprint	286 s.f.	No Changes
Entry Covered Porch	7 s.f.	No Changes
ADU Footprint	---	496 s.f.

SURFACES	EXISTING	PROPOSED
South Deck	296 s.f.	No Changes
Driveway Pavers on Sand	152 s.f.	No Changes
Walks (Pavers on Sand)	84 s.f.	No Changes
Trash Enclosure (pavers on Sand)	29 s.f.	No Changes
West Concrete Patio	160 s.f.	To Be Removed
Front Patio (Flagstone on Sand)	160 s.f.	To Be Removed
ADU Entry Stepping Stone Walk	---	154 s.f.

NOTE:
 THE SITE PLAN IS FOR REFERENCE PURPOSE ONLY.
 THE SITE PLAN WAS CREATED FROM PUBLIC CITY RECORDS AND EXISTING MAP SOURCES, NOT DIRECTLY FROM FIELD SURVEY. FORMA DESIGN STUDIO MAKES NO WARRANTY AND ASSUMES NO LIABILITY FOR EITHER ANY ERRORS, OMISSIONS, OR INACCURACIES IN THE INFORMATION PROVIDED.
 OWNER & CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ANY CONSTRUCTION.

EXISTING SITE PLAN

Scale 1/8"=1'-0" 1



SITE LEGEND
 EXISTING RESIDENCE
 PROPOSED ADU



PROPOSED SITE PLAN

Scale 1/8"=1'-0" 2

ATILA RESIDENCE
 DOLORES 4SW of 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2023-30
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number	C-1.1
of	Sheets
SITE PLAN	

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF OR EXPRESS, IMPLIED OR INFERRED REPRODUCTION OR FABRICATION BY ANY MEANS, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE SPECIFIED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

DATE	REVISION



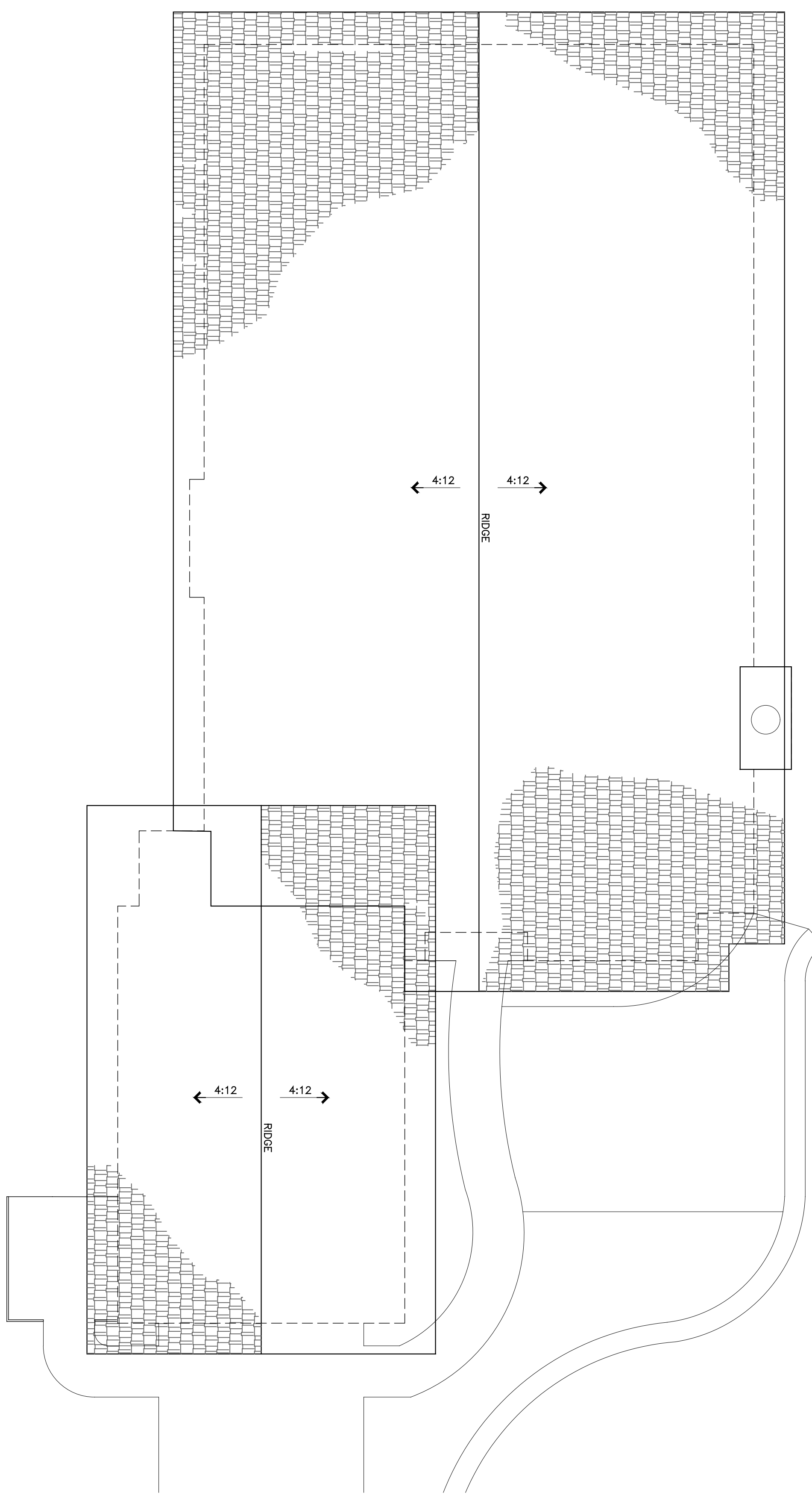
P.O. Box 2094, Carmel, CA 93921
 Ph. 831.521.5924
 formadesignstudio.com

ATILA RESIDENCE
 DOLORES 4SW of 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

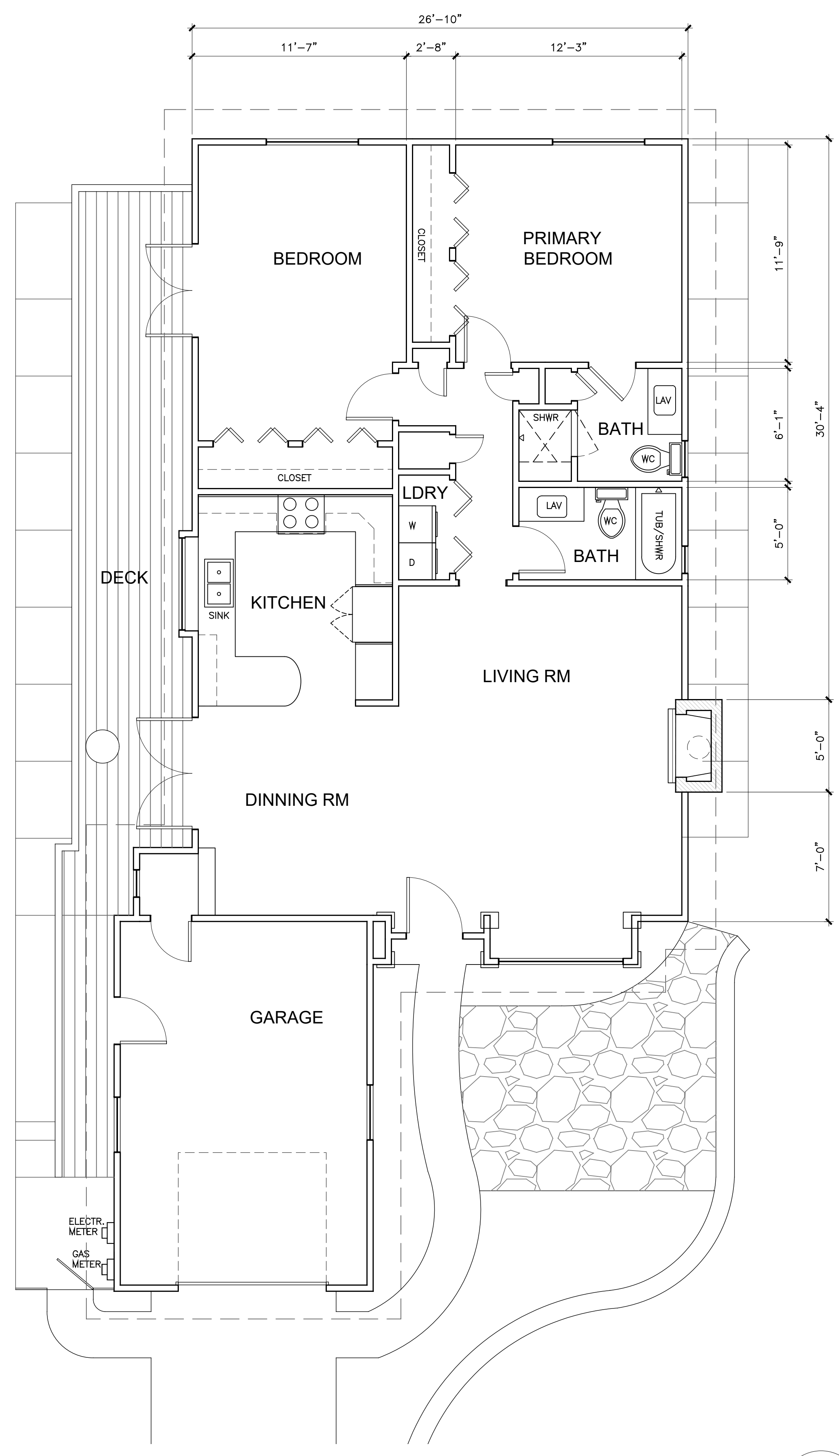
Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number	A-1.0
of	Sheets
AS-BUILT FLOOR & ROOF PLAN	

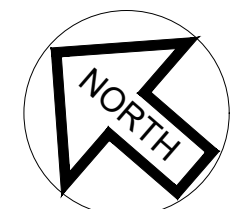
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY OTHER PARTY, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER, IS PROHIBITED.



EXISTING ROOF PLAN
 Scale 1/4"=1'-0" **2**



WALL LEGEND
 (E) FRAMED WALL
 (E) MASONRY WALL



EXISTING FLOOR PLAN
 Scale 1/4"=1'-0" **1**

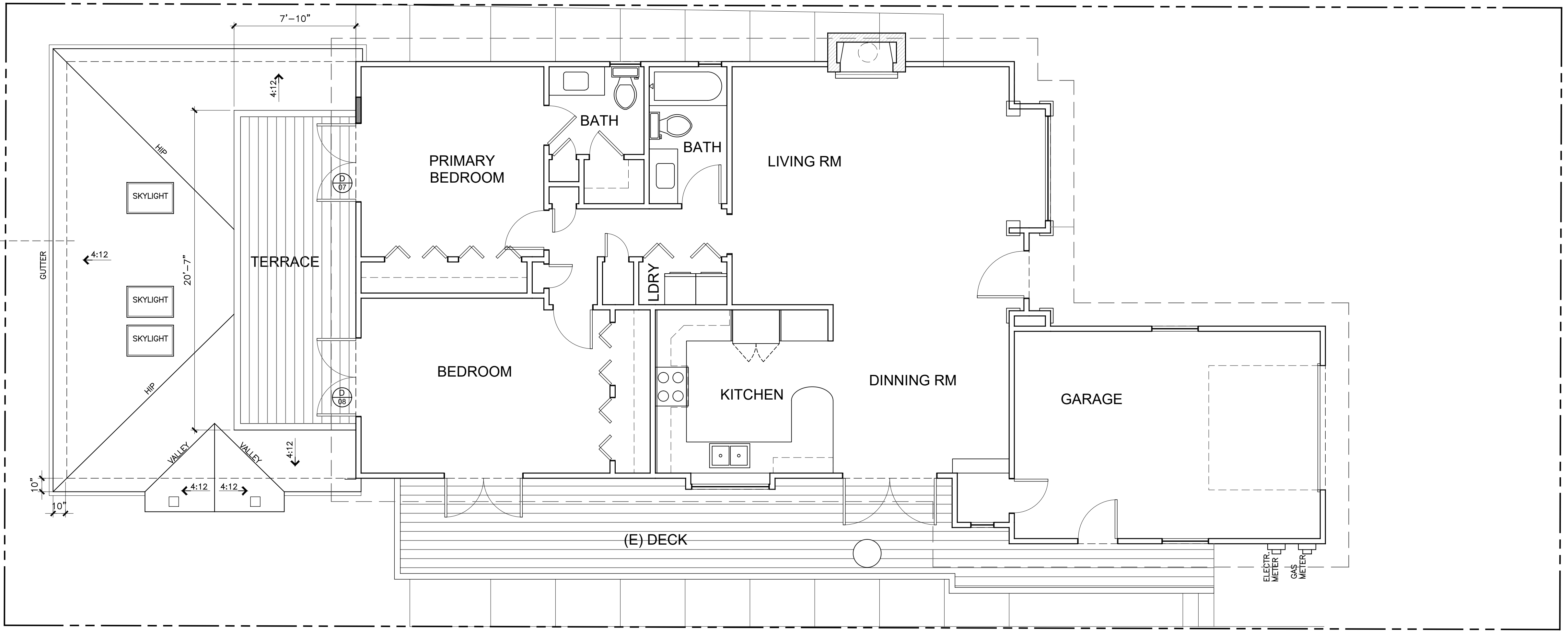
NOTE:
 CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. ALL DIMENSIONS SHOWN RELATING TO EXISTING CONSTRUCTION ARE APPROXIMATE (EXISTING WALLS MAY NOT BE PLUM AND WALLS MAY NOT BE EXACTLY PARALLEL). THE CONTRACTOR SHALL FIELD VERIFY ALL ACTUAL DIMENSIONS AND CONTACT THE DESIGNER TO ADDRESS ANY DISCREPANCIES. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE DESIGNER, UNLESS NOTED +/- OR VIF (VERIFY IN FIELD). EXACT LOCATIONS, DISTANCES, ELEVATIONS AND SIMILAR DATA SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND BY THEIR DESIGNER INSTRUCTIONS.

DATE	REVISION



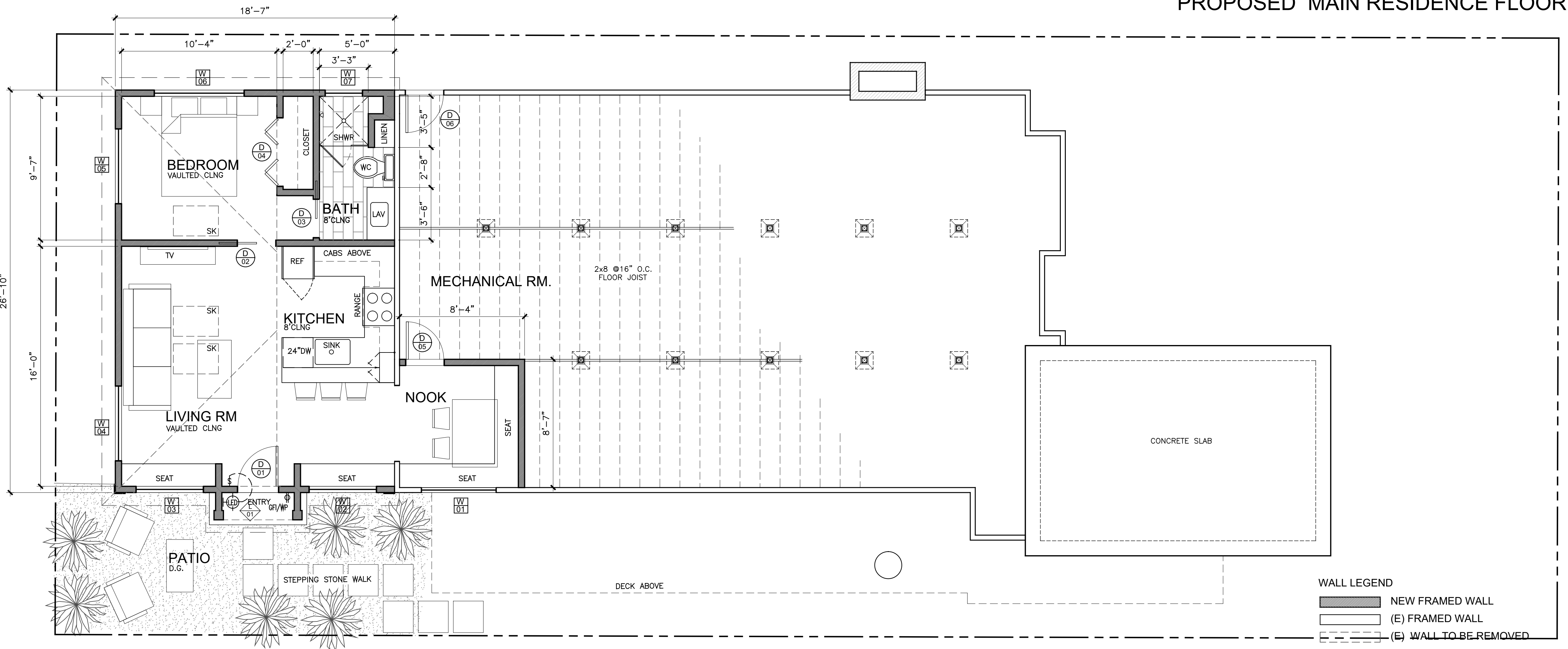
P.O. Box 2094, Carmel, CA 93921
 Ph. 831.521.5924
 formadesignstudio.com

ATILA RESIDENCE
 DOLORES 45W of 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA



PROPOSED MAIN RESIDENCE FLOOR PLAN

Scale	2
1/4"=1'-0"	



WALL LEGEND

	NEW FRAMED WALL
	(E) FRAMED WALL
	(E) WALL TO BE REMOVED



PROPOSED ADU FLOOR PLAN

Scale	1
1/4"=1'-0"	

Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS

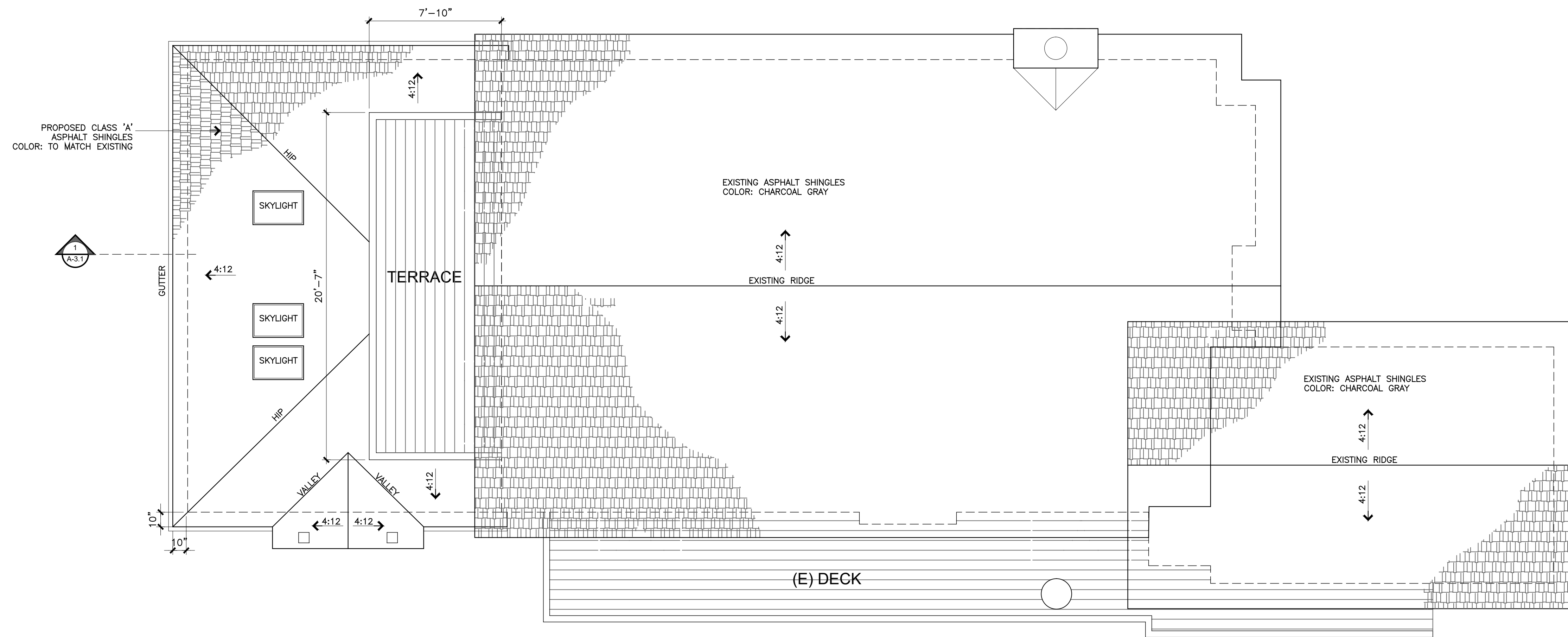
Sheet Number	A-1.1
of	Sheets
PROPOSED FLOOR PLAN	

TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE SPECIFIED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY PERSON, IN WHOLE OR IN PART, IS PROHIBITED.

DOOR & WINDOW NOTES:

- ALL WINDOW/DOOR SPECIFICATIONS TO COMPLY WITH CURRENT STATE AND COUNTY BUILDING CODES. REFER TO GENERAL NOTES FOR MORE INFORMATION.
- DOOR AND WINDOW SIZE: 2'-8/7-0"= 2'-8" x 7'-0"
- (T) = TEMPERED GLASS
- GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS CONFORMING TO CURRENT BUILDING CODES. SUCH AREAS SHALL INCLUDE BUT ARE NOT LIMITED TO SLIDING GLASS DOORS, TUB & SHOWER ENCLOSURES & STEAM ROOMS. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS (U.B.C. 2406.3 AND 2406.4):
 - GLAZING WITHIN A 24" RADIUS OF THE VERTICAL JAMB OF ANY DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE.
 - GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - GLAZING WITH AN AREA MORE THAN 9SQ.FT., LESS THAN 18" ABOVE THE FLOOR AND WITH ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.
 - GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE.
- COMBUSTION AIR: VENT OPENINGS WITHIN DOOR SHALL BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM ENCLOSURE.
- WINDOWS FOR NATURAL LIGHT & VENTILATION SHALL BE SIZED IN COMPLIANCE WITH CURRENT BUILDING CODE.
- EMERGENCY ESCAPE OR RESCUE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS MAY BE 5.0 S.F. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR (SEC. R310). ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN COMPLIANCE WITH THE FOLLOWING:
 - ALL GLAZING AT CONDITIONED SPACES SHALL BE DUAL-PANE.
 - ALL THRESHOLDS ARE TO COMPLY WITH CRC REQUIREMENTS, W/ MAX. RISE OF 1/2".

DOOR SCHEDULE								WINDOW SCHEDULE							
EXTERIOR DOORS MATERIAL : TO MATCH EXISTING								WINDOWS MATERIAL : TO MATCH EXISTING							
NUMBER	ROOM NUMBER	ADU	SIZE	CONF.	TYPE	HDW.	REMARKS	NUMBER	ROOM NUMBER	ADU	SIZE	CONF.	TYPE	GLAZING	REMARKS
D-01		LIVING ROOM	3'-0"6'-8"				PLANK	W-01		NOOK	4'-8"3'-6"	XX		DBL-LE	CSMNT
D-02		BEDROOM	2'-8"6'-8"				POCKET DOOR	W-02		LIVING ROOM	4'-8"3'-6"	XX		DBL-LE	CSMNT
D-03		BATH	2'-8"6'-8"				POCKET DOOR	W-03		LIVING ROOM	4'-8"3'-6"	XX		DBL-LE	CSMNT
D-04		BEDROOM (CLOSET)	4'-0"6'-8"				BIFOLD - PLANK	W-04		LIVING ROOM	5'-0"3'-6"	XX		DBL-LE	CSMNT
D-05		NOOK	2'-8"6'-8"				PLANK	W-05		BEDROOM	5'-0"3'-6"	XX		DBL-LE	CSMNT - EGRESS
								W-06		BEDROOM	8'-0"1'-8"	XOX		DBL-LE	FIXED
								W-07		BATHROOM	2'-6"1'-8"	X		DBL-LE	AWING - TEMP. GLASS
NUMBER	MAIN HOUSE														
D-06	MECH. ROOM		2'-8"6'-8"				PLANK	SKYLIGHTS		LIVING ROOM	2'-0"3'-0"	O		DBL-LE	TEMP. GLASS
D-07	BEDROOM		PR 5'-0"6'-8"				FRENCH DOOR - TEMP. GLASS			BEDROOM	2'-0"3'-0"	O		DBL-LE	TEMP. GLASS
D-08	BEDROOM		PR 5'-0"6'-8"				FRENCH DOOR - TEMP. GLASS								



DATE	REVISION



P.O. Box 2094, Carmel, CA 93921
 Ph. 831.521.5924
 formadesignstudio.com

ATILA RESIDENCE
 DOLORES 45W of 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number	A-1.2
of	Sheets
PROPOSED ROOF PLAN	



Scale	1
1/4"=1'-0"	

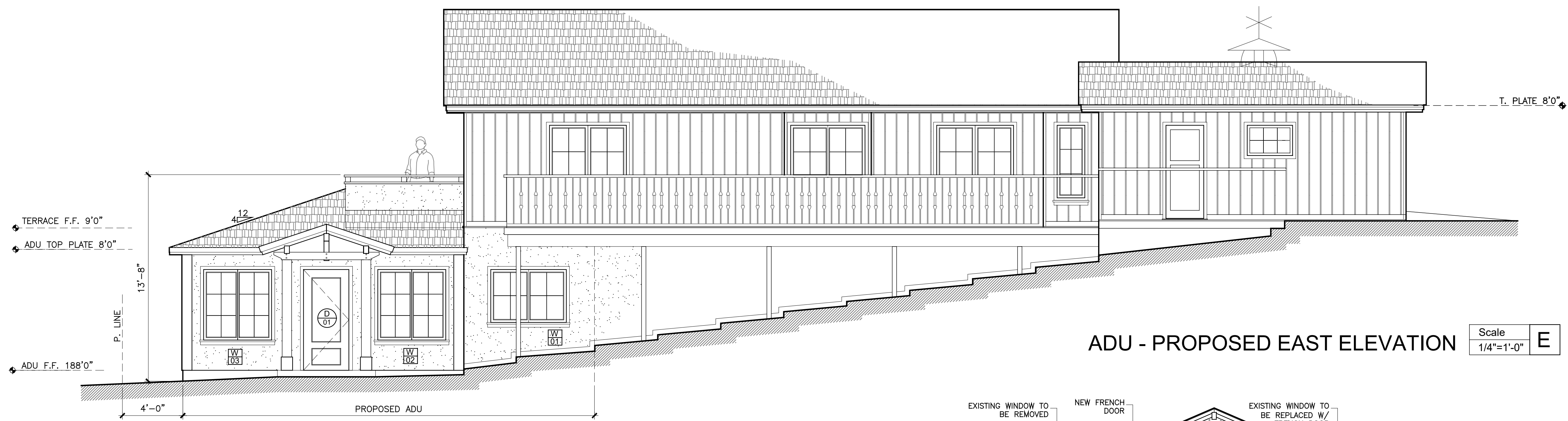
PROPOSED ROOF PLAN

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY PERSON, WITHOUT PERMISSION, IS PROHIBITED.

DATE	REVISION



P.O. Box 2094, Carmel, CA 93921
 Ph. 831.521.5924
 formadesignstudio.com

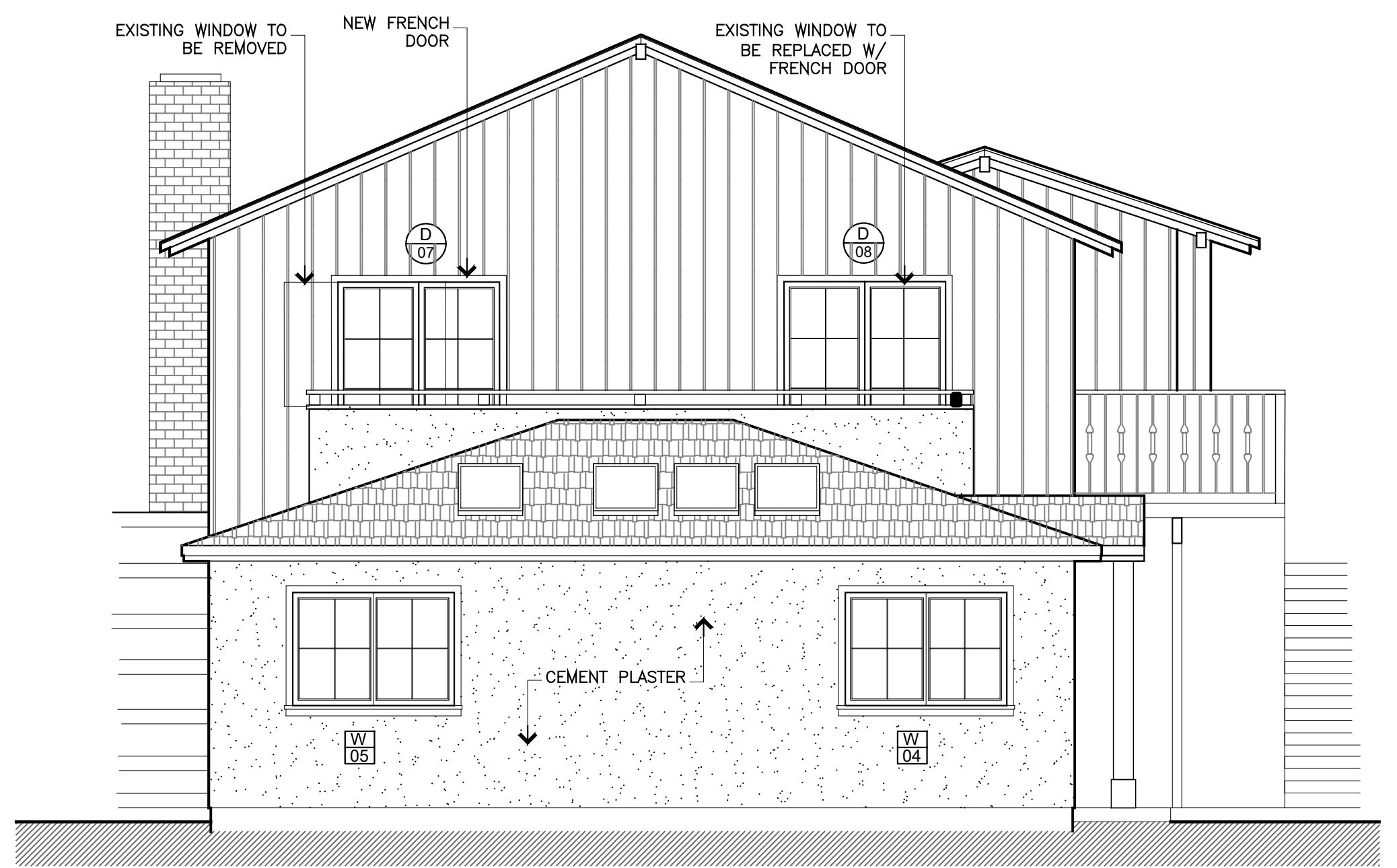


ADU - PROPOSED EAST ELEVATION

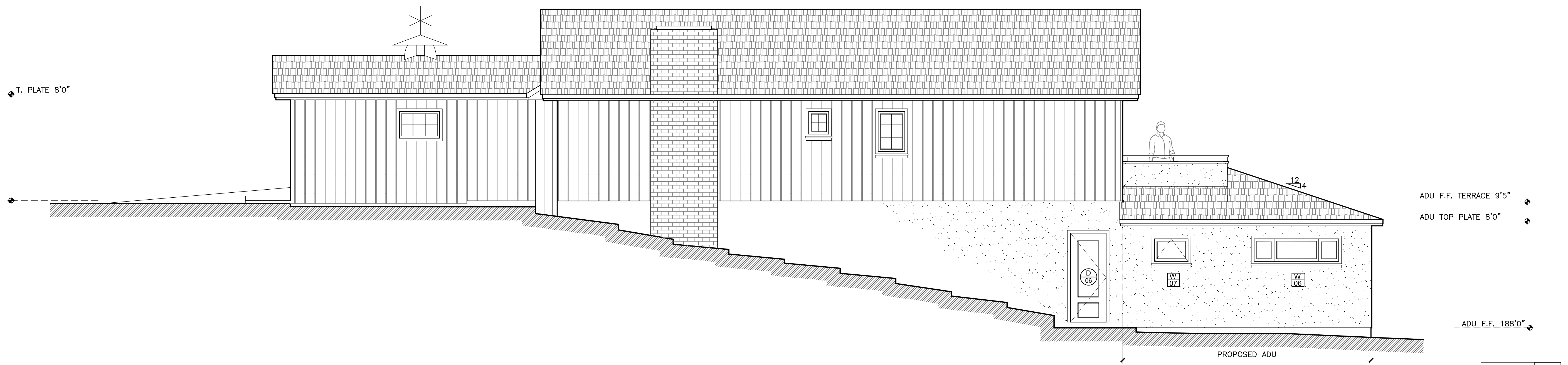


EXISTING RESIDENCE - MATERIALS & COLORS

EXTERIOR FINISH MATERIALS		
Finish Materials	Existing Residence	Proposed ADU COLORS: TO MATCH EXISTING
ROOF	ASPHALT SHINGLES	ASPHALT SHINGLES - TO MATCH EXISTING
EXTERIOR WALLS MAIN LEVEL	BATTEN & BOARD	N/A
EXTERIOR WALLS LOWER LEVEL	CEMENT PLASTER	CEMENT PLASTER - TO MATCH EXISTING
BEAMS-POSTS-RAILING-BALLUSTERS	PAINTED WOOD	PAINTED WOOD - TO MATCH EXISTING
WINDOWS AND DOORS	WOOD	WOOD - TO MATCH EXISTING
DRIVEWAY	PAVERS	N/A
FRONT PATIO	FLAGSTONE	DECOMPOSED GRANITE
DECK	WOOD	N/A
GUTTERS AND DOWNSPOTS	COPPER	COPPER - TO MATCH EXISTING
FIREPLACE EXTERIOR	BRICKS	N/A



ADU- PROPOSED WEST ELEVATION



ADU - PROPOSED NORTH ELEVATION

ATILA RESIDENCE
 DOLORES 45W of 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number
A-2.1
 of 2 Sheets
PROPOSED ELEVATIONS

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY OTHER INDIVIDUAL OR ENTITY IS PROHIBITED. VISUAL CONTENT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FINAL EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

DATE	REVISION

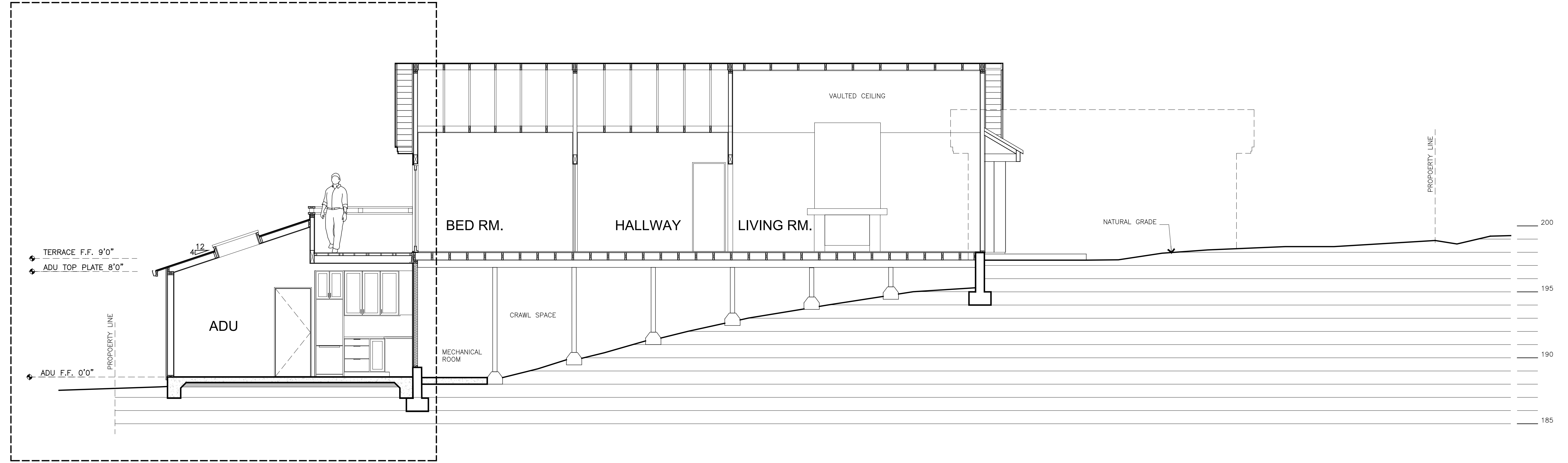


P.O. Box 2094, Carmel, CA, 93921
 Ph. 831.521.5924
 formadesignstudio.com

TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS OTHERWISE INDICATED. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER WITHOUT PERMISSION IS PROHIBITED.

ADU - SCOPE OF WORK



ATILA RESIDENCE
 DOLORES 4SW of 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number
A-3.1

of: Sheets

BUILDING SECTION
 Scale 1/4"=1'-0" 1

BUILDING SECTION - DETAILS

TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER UNLESS INDICATED OTHERWISE. VISUAL CONTENT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE FINAL EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION OR REPRODUCTION OF THESE DRAWINGS OR SPECIFICATIONS BY ANY PERSON, IN WHOLE OR IN PART, IS PROHIBITED.

- ELECTRICAL NOTES:**
- 10V SHALL BE INSTALLED IN ALL HABITABLE ROOMS NOT MORE THAN 12 FEET ON CENTER, NOT MORE THAN 6 FEET FROM OPENINGS AND ON ALL WALLS 2 FEET OR WIDER AND WALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.
 - OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12 INCHES IN KITCHEN AND DINING AREAS, IN ADDITION TO OUTLETS RENDERED INACCESSIBLE BY STATIONERY APPLIANCES.
 - ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.
 - LIGHTS IN CLOTHES CLOSETS SHALL COMPLY WITH ART. 410-8, CEC. MIN. CLEARANCE TO STORAGE 6"/12".
 - A DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS. (CEC ART. 210-52(d))
 - A MIN. OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUIT SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING RM, PANTRY, OR SIMILAR AREAS. (CEC ART. 210-11(c)(1)).
 - A MIN. OF ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC ART. 210-11(c)(2)).
 - SMOKE ALARMS (DETECTORS) SHALL BE INSTALLED IN EACH FLOOR INCLUDING BASEMENTS, BEDROOMS, HALLWAYS, ADJACENT ROOMS WITH VAULTED CEILINGS OF MORE THAN 24" ABOVE BEDROOM HALLWAY, AND UPPER AND LOWER FLOORS. SMOKE ALARMS TO BE HARD-WIRED AND PROVIDED WITH BATTERY BACKUP. INTERCONNECT ALL ALARMS.
 - SMOKE ALARMS SHALL BE INSTALLED IN ALL BEDROOMS, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH LEVEL PER CRC R314.3.
 - ELECTRIC SERVICE REQUIRES MINIMUM 100 AMP PANEL WITH CIRCUITS AND DISCONNECTS PERMANENTLY LABELED.
 - GFCI TYPE OUTLETS ARE REQUIRED IN BATHROOMS, LAUNDRY ROOMS, KITCHENS, ON SERVING COUNTERTOPS, PRIVATE GARAGE & EXTERIOR.
 - CONVENIENCE OUTLETS SHALL BE LOCATED AND SPACED PER CEC 210-52.
 - ALL BRANCH CIRCUITS SUPPLYING OUTLETS (INCLUDING LUMINAIRES) INSTALLED IN BEDROOMS, LIVING ROOM, KITCHENS, HALLWAY, LAUNDRY ROOMS, SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC 210-12(b).
 - 125 AND 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WATERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. (CEC ART. 406.8(b)(1)).
 - ALL 15 AND 20-AMP ELECTRICAL RECEPTACLES SHALL BE TAMPER RESISTANT.
 - *RECESSED LIGHTING SHALL BE LISTED AS IC (ZERO CLEARANCE TO INSULATION) AND AT (AIR TIGHT), BE SEALED/CAULKED BETWEEN THE FIXTURE HOUSING AND CEILING, SHALL NOT CONTAIN A SCREW BASE SOCKET, AND CONTAIN BULBS MARKED WITH JA8-2016-E EFFICIENCY LABEL. [CENC 150.0(k)1C]
 - DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8 (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(D) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON POSITION. EXEMPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET; LUMINAIRES IN HALLWAYS.
 - SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING: A) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX JA8; AND B) THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2016 OR JA8-2016-E.
 - RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.
 - LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS".
 - TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE THAN 5-1/2 FEET ABOVE THE FLOOR, OUTLETS THAT ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.
 - RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
 - OUTLET BOXES INSTALLED FOR CEILING SUSPENDED FAN SHALL BE LISTED AND MARKED AS SUITABLE FOR THIS PURPOSE AND SHALL NOT SUPPORT FANS WEIGHING MORE THAN 70 POUNDS. BOXES SUPPORTING FANS WEIGHING MORE THAN 35 POUNDS MUST BE MARKED INSIDE THE BOX TO INCLUDE THE MAXIMUM WEIGHT TO BE SUPPORTED.
 - ELECTRIC SERVICE REQUIRES MINIMUM 100 AMP PANEL WITH CIRCUITS AND DISCONNECTS PERMANENTLY LABELED.
 - AT LEAST ONE LUMINAIRE IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 19(D).

KITCHEN ELECTRICAL NOTES:

- ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. [CEC 210.8(A)(6)]
- WHEN ADDING OR REPLACING 6' OR MORE OF A 120-VOLT, SINGLE PHASE 15 OR 20 AMPERE CIRCUIT SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS THE CIRCUITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LOCATED IN A READILY ACCESSIBLE LOCATION.[CEC 210.12(D)][CEC 210.12(A)]
- ALL 15 & 20 AMPERE 125 & 250-VOLT NON- LOCKING TYPE RECEPTACLE OUTLETS SHALL BE LISTED AS TAMPER RESISTANT.[CEC 406.12]
- 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. [CEC 210.52(C)(1)]
- OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. [CEC 210.52(C)(1)]
- KITCHEN OUTLETS POSITIONED A MAXIMUM 20" ABOVE COUNTERTOP. [CEC 210.52(C)(5)]
- KITCHEN RECEPTACLES SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS: ELECTRIC STOVES AND OVENS SHALL BE SUPPLIED WITH A 40- OR 50- AMP BRANCH CIRCUIT. CEC 210.23.
- APPLIANCE OUTLETS ARE NOT COUNTED AS REQUIRED COUNTERTOP OUTLETS. [CEC 210.52(C)(5)]
- APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIREMENT EACH SIDE TO COMPLY INDIVIDUALLY. [CEC 210.52(C)(4)]
- THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS; A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACKSPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE-TYPE RECEPTACLE. [CEC 210.52(C)(2),(3),(4)]
- TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. [CEC 210.52(B)(1),(2)]
- INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES, THE RATING OF AN INDIVIDUAL BRANCH CIRCUIT SHALL NOT BE LESS THAN THE MARKED RATING OF THE APPLIANCE OR THE MARKED RATING OF AN APPLIANCE HAVING COMBINED LOADS AS PROVIDED IN [CEC 422.62][CEC 210.11(C)][CEC 422.10(A)]
- GARBAGE DISPOSAL CORD AND PLUG CONNECTION TO BE 18" TO 36" LONG. [CEC 422.16(B)(1)]
- DISHWASHER CORD 36" TO 78" LONG. ROMEX INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD. [CEC 422.16(B)(2)]
- MINIMUM 15 AMP GFCI PROTECTED CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL [CEC 210.23(A)][CEC 210.8(D)]
- IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT THE PANEL. [CEC 210.7]
- ALL INSTALLED LUMINAIRES IN RESIDENTIAL KITCHENS SHALL MEET THE REQUIREMENTS OF TABLE 150.0-A OF THE CEC. IC RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING. [CEC 410.116(A)(2)] FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS. [CEC 410.115(B)] FLORESCENT RECESSED LIGHTING, WHEN USED TO COMPLY WITH THE LIGHTING REQUIREMENTS, MUST BE OF A PIN BASE TYPE INCANDESCENT SCREW TYPE BASE IS NOT APPROVED.[CENC (TBL 150.0-A)]
- KITCHEN RECEPTACLES SHALL MEET THE FOLLOWING REQUIREMENTS: CEC 210.8, 210.12, 210.23, 210.52(C)(1), AND (C)(3), 406.12 ELECTRIC STOVES AND OVENS SHALL BE SUPPLIED WITH A 40- OR 50- AMP BRANCH CIRCUIT. CEC 210.23.

GENERAL NOTES:

THE ELECTRICAL PLANS ARE DIAGRAMMATIC ONLY. COORDINATE ELECTRICAL EQUIPMENT LOCATION AND INSTALLATION WITH EQUIPMENT BEING SERVED.

LOCATION OF THE LIGHT FIXTURES, POWER OUTLETS AND LIGHT SWITCHES ARE SHOWN DIAGRAMMATICALLY. VERIFY EXACT LOCATION AND SPACING WITH PLANS AND THE DESIGNER AT THE SITE DURING INSTALLATION IF REQUIRED. NOTIFY THE DESIGNER ABOUT FIELD CONDITIONS AT VARIANCE WITH PLANS BEFORE COMMENCING INSTALLATION.

ELECTRICAL CONTRACTOR TO COORDINATE WITH MECHANICAL, PLUMBING AND OTHER TRADES TO PROVIDE ALL EQUIPMENT ASSOCIATED WITH THEIR RESPECTIVE TRADES WITH NECESSARY WIRING AND CONDUIT INFRASTRUCTURE FOR ALL SENSORS, AND CONTROL SYSTEMS AS REQUIRED.

INSTALLATION OF EQUIPMENT, COMPONENTS AND WIRING FOR ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF EQUIPMENT MANUFACTURER.

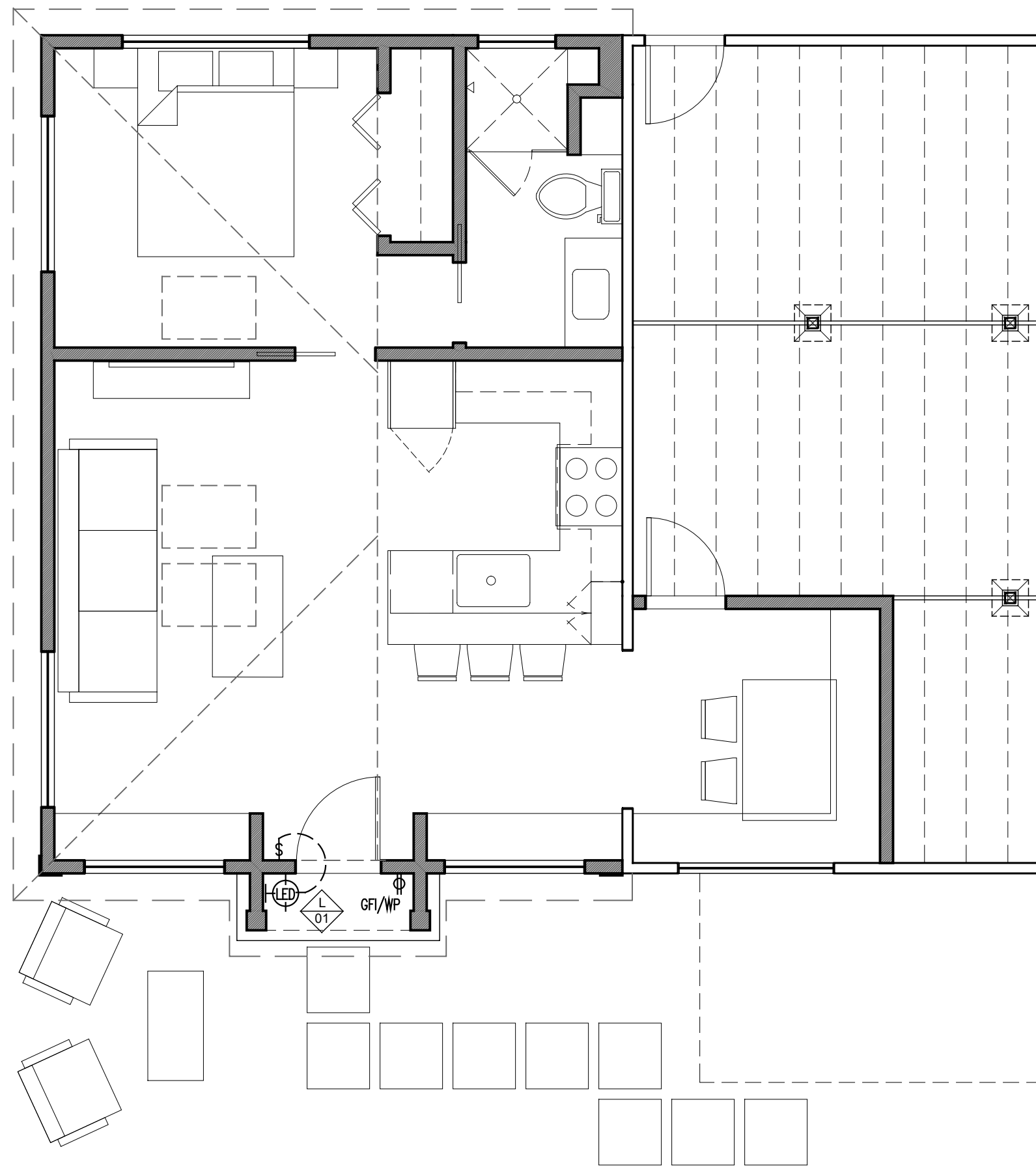
CARBON MONOXIDE ALARMS

R315.1 CARBON MONOXIDE ALARMS. FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL- BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

R315.2 WHERE REQUIRED IN EXISTING DWELLINGS, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL- BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARM SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

ELECTRICAL SYMBOLS AND NOTES

<p>SWITCHES</p> <ul style="list-style-type: none"> 3 SINGLE POLE SWITCH 4 THREE WAY SWITCH 4 FOUR WAY SWITCH WP WEATHER PROOF SWITCH D DIMMER SWITCH K KEY OPERATED SWITCH L LOW VOLTAGE SWITCH T TIME SWITCH S OCCUPANT SENSOR <p>OUTLETS</p> <ul style="list-style-type: none"> DUPLX CONVENIENCE OUTLET SPLIT WIRED OUTLET (1/2 HOT SWITCHED) DUPLX CONVENIENCE OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTER WEATHER PROOF CONVENIENCE OUTLET FLOOR OUTLET 220 VOLT OUTLET (4 - WIRE GROUNDED) QUADRUPLEX OUTLET SMART CABLE (TELEPHONE, AUDIO, TV, FIBEROPTIC) 	<p>LIGHTING</p> <ul style="list-style-type: none"> CEILING MOUNTED HIGH EFFICACY LIGHT FIXTURE WALL MOUNTED HIGH EFFICACY LIGHT FIXTURE RECESSED 2" LED LIGHT FIXTURE RECESSED 4" LED LIGHT FIXTURE RECESSED WATERPROOF LIGHT FIXTURE WITH NON-METALLIC TRIM AND G.F.I.C. PROTECTION. JUNCTION BOX FLUORESCENT LIGHT STRIP W/ ELECTRONIC BALLAST HEAT LAMP RECESSED EXHAUST FAN W/ HIGH EFFICACY LIGHT CEILING MOUNTED LED TRACK LIGHT HIGH EFFICACY WALL SCONCE WALL WASHER / FOCUSED SPOT LIGHT WP OUTDOOR LED WELL LIGHT LED LIGHT STRIP 	<p>MISCELLANEOUS</p> <ul style="list-style-type: none"> PUSH BUTTON DOOR BELL CHIMES 110V SMOKE DETECTOR. DIRECT WIRE TO HOUSE CURRENT WITH BATTERY BACK-UP 110V CARBON MONOXIDE. DIRECT WIRE TO HOUSE CURRENT WITH BATTERY BACK-UP ELECTRIC METER SUB PANEL EXHAUST FAN W/ 5 AIR CHANGES PER HOUR. ENERGY STAR RATED AND HAVE HUMIDISTAT CONTROLS FUEL GAS LOOSE KEY VALVE HOSE BIB WITH ANTISYPHON DEVICE KEY PAD ALARM SYSTEM
---	--	--



EXTERIOR LIGHTING:

PARK HARBOR WOODBERRY 11" TALL SINGLE LIGHT LED OUTDOOR WALL SCONCE WITH SEEDED GLASS SHADE
 200 LUMENS
 MODEL:PHL3100CHBRLED

SEEDED GLASS SHADES REPLICATE THE LOOK OF COLONIAL GLASS LANTERN STYLE SHADES
 LED FIXTURE
 INCLUDES: (1) 9W LED BULB
 HEIGHT: 10.5"

OR SIMILAR

		WALL MOUNTED LIGHT FIXTURE
		TIMED, 6" RECESSED DOWN LIGHT
		SITE LIGHTING, SEE SPECIFICATIONS

ELECTRICAL FLOOR PLAN

Scale
 1/4"=1'-0" 1

DATE	REVISION



P.O. Box 2094, Carmel, CA. 93921
 Ph. 831.521.5924
 formadesignstudio.com

ATILA RESIDENCE
 DOLORES 45W of 1ST AVENUE
 CARMEL BY THE SEA, CALIFORNIA

Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number	E-1.1
of	Sheets
ELECTRICAL	