

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24140			
Owner Name: ATILA YAVUZ V & NURTEN B			
Case Planner: Jacob Olander, Assistant Planner			
Date Posted:			
Date Approved: 09/06/2024			
Project Location: Dolores 4 SW of 1st			
APN #: 010127012000 BLOCK/LOT: /			
Applicant: Adrian Lopez - Forma Design Studio			

Project Description: This approval of Design Study (DS 24140) authorizes alterations to an existing single-family residence located at Dolores 4 SW of 1st in the Single-Family Residential (R-1) District, APN: 010-127-012-000. The alterations approved under this Design Study include the construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans prepared by Adrian Lopez - Forma Design Studio as approved by City of Carmel-by-the-Sea Planning Division on September 6, 2024 unless modified by the conditions of approval contained herein. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.

Can this project be appealed to the Coastal Commission? Yes \square No \checkmark

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



FINDINGS AND CONDITIONS

Project: DS 24140 (Atila)

Location: Dolores 4 SW of 1st; 010-127-012-000

Date of Action: September 6, 2024

Project Description:

DS 24140 (Atila) authorizes amendments to previously approved Design Study Applications (DS 24140, Atila) located at Dolores 4 SW of 1st in the Single-Family (R-1) District. APN: 010-127-012-000.

The proposed changes include:

• Construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL

The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.

For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate staff's decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).

CMC 17.58.060.B Findings for Design Review Approval	YES	NO
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	√	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
Additional Staff Analysis / Discussion		

Additional Staff Analysis/Discussion:

No additional staff analysis.

ENVIRONMENTAL REVIEW

The California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, et seq., the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.

Finding: The Community Planning and Building Department finds that pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (Class 3) – New Construction or Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.

Additional Staff Analysis/Discussion: Construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.

	CONDITIONS OF APPROVAL			
No.	No. Standard Conditions			
1.	Authorization. This approval of Design Study (DS 24140) authorizes alterations to an existing single-family residence located at Dolores 4 SW of 1st in the Single-Family Residential (R-1) District, APN: 010-127-012-000. The alterations approved under this Design Study include the construction of an upper level deck at the rear of the property, replacing two windows with French Doors, and associated site improvements. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans prepared by Adrian Lopez - Forma Design Studio as approved by City of Carmel-by-the-Sea Planning Division on September 6, 2024 unless modified by the conditions of approval contained herein. The project also includes a first-story with a 575-square-foot Accessory Dwelling Unit (ADU), which is exempt from discretionary review.			
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Division.			
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.			
4.	Water Use . Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.			
5.	Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).			
6.	Utility Meter Locations. The placement of all utility meters shall consistent with the locations identified in the approved plans. Changes to the location of any utility meter location shall require written approval of the Community Planning and Building Department prior to the change of the location.			
7.	Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length			

- of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).
- 8. **Modifications.** The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
- 9. **Exterior Revisions to Planning Approval Form.** All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
- 10. **Conflicts Between Planning Approvals and Construction Plans.** It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.

When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.

11. **Exterior Lighting.** Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.

Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.

Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than

- 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.
- 12. **Wood Frame Windows and Doors.** Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for the approved wood windows and doors. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light, including the use of internal and external mullions and muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied, are not permitted. The painted finish shall be matte or low gloss.
- 13. Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
- 14. **Driveway.** Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.
- 15. **Hazardous Materials Waste Survey.** Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.
- 16. **Cultural Resources.** Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.

- 17. **Truck Haul Route.** Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.
- 18. **USA North 811.** Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
- 19. **Conditions of Approval.** Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) and applicant on a full-size sheet within the construction plan set submitted to the Building Safety Division.

Landscape Conditions

- 20. **Tree Removal Prohibited.** Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
- 21. **Tree Protection Measures.** Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.
 - Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
 - Excavation within 6 feet of a tree trunk is not permitted.
 - No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.
 - Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.
 - Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.
 - Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or

- 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
- 22. **Foundation Work Near Significant Trees.** All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.

Environmental Compliance Conditions

- 23. **Drainage Plan.** Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.
- 24. **BMP Tracking Form.** Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.
- 25. **Semi-Permeable Surfaces.** Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces.
- 26. **Erosion and Sediment Control Plan.** Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.

Special Conditions			
27.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit		
	revision, a completed Conditions of Approval Acknowledgment form shall be included		
	in the construction drawings. The form shall be signed by the Property Owner, Applicant,		
	and Contractor prior to the issuance of a building permit.		
28.	Construction Management Plan. Prior to the issuance of a building permit, the Applicant		
	shall submit a Construction Management Plan for review and approval by the Community		
	Planning & Building Director.		
29.	Building Permit. The applicant shall obtain a Building Permit from the Building Safety		
	Division prior to commencement of work.		
30.	Annotated Plans. The applicant shall keep annotation by the Planning Department on		
	the approved plans in the set of plans submitted to the Building Department for the		
	Building Permit application.		

Acknowledgment and acceptance of conditions of approval:			
Applicant Signature	Printed Name	 Date	
Property Owner Signature	Printed Name	 Date	

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH
- a, THESE NOTES AND DRAWINGS. b ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE c. WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE DESIGNER'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS
- d. INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS. e. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.
- 1.2 SITE VERIFICATION EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.
- 1.3 CONSTRUCTION DOCUMENTS a. THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER. b. THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS. AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK. c. THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS. d. THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER e. THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING
- 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK
- 1.5 ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.
- 1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.
- 1.7 ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
- 1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.
- 1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS. EXISTING CONSTRUCTION. AND ADJACENT PROPERTY. AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.
- 1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.
- 1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

TREE PROTECTION NOTES

- 1. ESTABLISHMENT OF A TREE PRESERVATION ZONE (TPZ). CHAIN LINK OR ORANGE NETTING FENCING, WITH STAKES IN THE GROUND, NO LESS THAN 48 INCHES IN HEIGHT, SHALL BE INSTALLED AT THE DRIPLINE (THE PERIMETER OF THE FOLIAR CANOPY) OF THE TREE. THE INSTALLATION WILL BE DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING WILL NOT BE REMOVED WITHOUT THE CONSENT OF THE CONSULTING ARBORIST.
- 2. NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS OR LIQUIDS OF ANY TYPE SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
- 3. SOIL COMPACTION SHALL BE MINIMIZED WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 6" LAYER OF MULCH. TREE CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE.
- 4. NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT. IF TREES ROOTS ARE UNEARTHED DURING THE CONSTRUCTION PROCESS THE CONSULTING ARBORIST WILL BE NOTIFIED IMMEDIATELY. EXPOSED ROOTS WILL BE COVERED WITH MOISTENED BURLAP UNTIL A DETERMINATION IS MADE BY THE ON SITE
- 5. ANY AREAS OF PROPOSED TRENCHING WILL BE EVALUATED WITH THE CONSULTING ARBORIST AND THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL TRENCHING IN THE TPZ ON THIS SITE WILL BE APPROVED BY THE ARBORIST. TRENCHING WITHIN A TREE'S DRIPLINE WILL BE PERFORMED BY HAND. TREE ROOTS ENCOUNTERED WILL BE AVOIDED OR PROPERLY PRUNED UNDER GUIDANCE OF THE CONSULTING

DECONSTRUCTION NOTES

- 1. PRIOR TO COMMENCING DECONSTRUCTION OR DEMOLITION CONTRACTOR SHALL REMOVE ALL ITEMS SUITABLE FOR SALE OR SALVAGE. THESE ITEMS SHALL BE DESIGNATED DURING A COMPREHENSIVE WALK-THROUGH WITH THE PROJECT MANAGER AS OWNER'S REPRESENTATIVE.
- 2. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING AS REQUIRED AT ALL AREAS WHERE EXISTING FOOTINGS, WALLS BEAMS AND HEADERS ARE DESIGNATED TO BE REMOVED. CONTRACTOR SHALL VERIFY THESE REQUIREMENTS WITH THE PROJECT ENGINEER PRIOR TO COMMENCING
- 3. DEMOLITION AND DECONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTEREY BAY UNIFIED AIR POLLUTION CONTROL DISTRICT RULE 439.
- a. SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING DURING THE ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REMOVAL PROCESS. b. DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT
- THEY FALL INWARD AND NOT AWAY FROM THE BUILDING. c. COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR.
- 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT STRUCT, ENGINEER OF ANY CONDITION DISCOVERED DURING DEMOLITION OR DECONSTRUCTION WHICH MAY REQUIRE REVISION OF THE PROJECT DRAWINGS AND DETAILS OR WHICH MAY AFFECT PROJECT TIME LINE OR COSTS.

ATILA RESIDENCE

DOLORES St. 4SW of 1St. AVENUE CARMEL by-the SEA, CALIFORNIA



SCOPE OF WORK:		

Proposed ADU (575 s.f.) with a Roof Top (161 s.f.) accessible from the Single Family Dwelling.

OWNER: Yavuz & Nurten Atila PO Box 1965 Monterey, California 93942 yvatila@gmail.com

SITE INFORMATION:

Dolores 4SW of 1St. Avenue Carmel By The Sea, California 93933

A.P.N: 010-127-012-000 Occupancy: R1 Constr. Type: VN

Zoning Designation: Single Family Residential Property Area: 4,000 s.f.

BUILDING DATA: RESIDENCE **EXISTING PROPOSED ADU Addition** 1,172 s.f. Main Residence _1,172 s.f. 285 s.f. 285 s.f. ADU Roof Top > ADU 575 s.f. 1,457 s.f. 2,032 s.f. Base Floor Area (1,800) 1,457 s.f. = 36.4% 1,956 s.f. = 48.9%**Building Coverage**

SITE SURFACE COVERAGE - Permeable/Semi-permeable

South Deck No Changes No Changes Driveway Pavers on Sand Walks (Pavers on Sand) No Changes Trash Enclosure (Pavers on Sand) 29 s.f. No Changes West Concrete Patio Front Patio (Flagstone on Sand) 160 s.f. To Be Removed ADU Entry Stepping Stone Walk 154 s.f. 721 s.f. 715 s.f.

Total Site Coverage

SITE INFORMATION

ENERGY COMPLIANCE

BUILDING STORIES:....(1) ONE APPROX. INT. REMODEL:......--- S.F. FIRE SPRINKLERS SYSTEM:....NO FIRE ALARM SYSTEM:.....NO TREES TO BE REMOVED:.....NONE

2) ELECTRICAL PANEL LOAD CALCULATIONS

....MONTEREY ONE WATER SEWER SERVICE:.....

GAS AND ELECTRICITY:.....PACIFIC GAS & ELECTRIC

APPLICABLE CODES FOR THIS PROJECT:

2022 California Building Code (CBC)

2022 California Plumbing Code (CPC)

2022 California Electrical Code (CEC)

2022 California Energy Code (CEnC)

2022 California Mechanical Code (CMC)

2022 California Green Building Code (CGB)

NOTED AT THE COVER SHEET FOR THE FOLLOWING ITEMS:

REVIEW AND APPROVAL PRIOR TO CALLING FOR INSPECTION.

• 2022 City of Monterey & State Regulatory Requirements

1) PLUMBING LINE DIAGRAM -WATER, WASTE, VENTING AND GAS LINE

DEFERRED SUBMITTALS REQUIRING SEPARATE SUBMITTAL, PERMIT, REVIEW, AND APPROVAL ARE

SINGLE LINE INSTALLATION DIAGRAM SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR

• 2022 California Fire Code (CFC)

2022 California Residential Code (CRC)

THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS,

STRUCTURAL PLANS

SHEET G-1.1 PROJECT INFORMATION - PLOT PLAN - NOTES

NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

SHEET G-1.2 GENERAL NOTES

PROPOSED PLANS

FIRE SAFETY NOTES

MAINTAINED THEREAFTER.

FIRE011 - ADDRESSES FOR BUILDINGS

SHEET G-1.3.1 CGBC RESIDENTIAL MANDATORY MEASURES

SHEET G-1.3.2 CGBC RESIDENTIAL MANDATORY MEASURES

SHEET G-1.4 CONSTRUCTION BEST MANAGEMENT PRACTICE NOTES

ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY

ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE

ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN

A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY

LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH

HEIGHT, 1/2-INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN,

AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF

A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY

ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND

LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE

ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE

ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF

TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY

SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY

TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS

NOTE: OWNER SHALL SCHEDULE THE MANDATORY PRE-CONSTRUCTION

SITE INSPECTION IF ISSUING THE PERMIT BETWEEN OCT 15 AND APRIL 15.

SHEET C-1.1 PROPOSED SITE PLAN

SHEET A-1.0 EXISTING FLOOR & ROOF PLAN

SHEET A-1.1 PROPOSED FLOOR

SHEET A-1.2 PROPOSED ROOF PLAN

SHEET A-2.1 PROPOSED EXTERIOR ELEVATIONS

SHEET E-1.1 ADU - ELECTRICAL PLAN

SHEET A-3.1 BUILDING SECTION & DETAILS

DESIGN TEAM ASSOCIATED WITH THIS PROJECT

Forma Design Studio: Engineer of Record: T.B.D. PO Box 2094 Carmel, CA 93921 formadesignstudio.com |Phone: 831.521.5924

Energy Compliance: T.B.D. General Contractor: T.B.D.

TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

2023-30 07-24-24 Revision Drawn By **FDS**

Sheet Number

DATE

REVISION

P.O. Box 2094. Carmel. CA. 93921

Ph. 831. 521. 5924

formadesignstudio.com

Sheets

SHEET INDEX | 2

PROJECT INFORMATION

Community Planting and Building

Jacob Olander, Assistant Planner CBC, CRC, CFC, CMC, CPC, CEC, CGBC, CA ENERGY CODE AND LOCAL ORDINANCES.

PROVIDE INSTALLATION OF CARBON MONOXIDE IN ALL OF THE FOLLOWING AREAS PER [CRC R315.2 AND R314.3]

A) ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.

B) IN EACH ROOM USED FOR SLEEPING PURPOSES WHERE FUEL BURNING APPLIANCES ARE INSTALLED. C) IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LOWER LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

D) CARBON MONOXIDE SENSORS MAY BE COMBINED CARBON MONOXIDE/SMOKE DETECTORS [CRC 315.4]

A. FOUNDATIONS AND UNDERFLOOR

1. CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS AND SHALL BE COMPOSED OF 1 PART CEMENT, 3 PARTS SAND, 4 PARTS OF 1" MAXIMUM SIZE ROCK, AND NOT MORE THAN 7 1/2 GALLONS OF WATER PER SACK OF CEMENT. (U.O.N BY ENGINEER OF RECORD)

2. CONCRETE SLABS: SLABS ON A GRADE SHALL BE AT LEAST 5" THICK (SEC. R506.1). WITH A MIN. 15-MIL VAPOR BARRIER BENEATH SLAB. (U.O.N BY GEOTECHNICAL REPORT)

3. WOOD AND EARTH SEPARATION: FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 8" ABOVE THE ADJACENT FINISH GRADE (SEC. R317.1). PROVIDE 18" CLEARANCE UNDER WOOD JOISTS AND 12" CLEARANCE UNDER WOOD GIRDERS (SEC. R317.1).

4. FOUNDATION REINFORCEMENT: FOUNDATIONS WITH STEM WALLS SHALL BE PROVIDED WITH A MINIMUM OF ONE NO. 4 BAR WITHIN 12" OF THE TOP OF THE WALL AND ONE NO. 4 BAR LOCATED 3 INCHES TO 4 INCHES FROM THE BOTTOM OF THE FOOTING, SLAB ON GRADE CAST MONOLITHICALLY WITH THE FOOTING MAY HAVE ONE NO. 5 BAR OR TWO NO. 4 BAR IN THE MIDDLE THIRD OF THE FOOTING DEPTH (R403.1.3.1). (U.O.N BY ENGINEER OF RECORD)

5. TREATED WOOD: ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, IN DIRECT CONTACT WITH EARTH. AND SILLS WHICH REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM THE EXPOSED GROUND. AND WOOD JOISTS CLOSER THAN 18". OR WOOD GIRDERS OR SUPPORTS CLOSER THAN 12" TO THE GROUND, SHALL BE PRESERVATIVE—TREATED WOOD IN ACCORDANCE WITH AWPA U1 OR PPROVED WOOD OF NATURAL RESISTANCE TO DECAY (R317.1).

6. ANCHOR BOLTS AND FOOTING SILLS: FOUNDATION PLATES AND SILLS SHALL HAVE FULL BEARING ON THE FOOTING WALL OR SLAB AND SHALL BE BOLTED TO THE FOUNDATION WITH 1/2" X 10" STEEL BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE OR MASONRY AND SPACED NOT MORE THAN 6'APART; NOT LESS THAN TWO BOLTS PER PIECE WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE, NOT CLOSER THAN 7 BOLT DIAMETERS FROM EACH END (R403.1.6.) PLATE WASHERS 3" X 3" X 0.229" THICK SHALL BE USED ON EACH BOLT. (U.O.N BY ENGINEER OF RECORD)

7. UNDER-FLOOR VENTILATION: UNDER-FLOOR AREAS SHALL BE VENTILATED BY OPENINGS IN FOUNDATION WALLS. VENT OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN ONE SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL-SPACE AREA. THE OPENINGS SHALL BE ARRANGED TO PROVIDE CROSS VENTILATION AT EACH WALLLINE CONTAINING VENTS, AT LEAST ONE VENT SHOULD BE LOCATED WITHIN 3'OF EACH CORNER OF THE BUILDING (R408.2).

8. VENTS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION BEING 1/8" THICK.

9. UNDERFLOOR ACCESS: UNDERFLOOR ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18" X 24". OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16" X 24" (R408.4).

B. WOOD FRAMING

1. LUMBER: ALL JOISTS, RAFTERS, BEAMS, AND POSTS 2" TO 4" THICK SHALL BE NO. 2 GRADE DOUGLAS FIR-LARCH OR BETTER. ALL POSTS AND BEAMS 5" AND THICKER SHALL BE NO. 1 GRADE DOUGLAS FIR-LARCH OR BETTER (SEE ITEM B.15. FOR GRADE REQUIREMENTS FOR STUDS).

2. WALL BRACING: BUILDINGS SHALL BE PROVIDED WITH EXTERIOR AND INTERIOR BRACED WALL LINES. SPACING SHALL NOT EXCEED 25' ON CENTER IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IN EACH STORY. (SEC.R602.10)

3. CROSS BRIDGING: JOISTS EXCEEDING 2X12 SHALL BE SUPPORTED LATERALLY BY DIAGONAL BRIDGING, FULL-DEPTH BLOCKING OR A CONTINUOUS 1-INCH-BY-3-INCH STRIP NAILED ACROSS THE BOTTOM OF THE JOIST NOT EXCEEDIJNG 8', (R502.7.1).

4. PROVIDE BLOCKING AT THE ENDS AND AT THE SUPPORTS OF FLOOR JOISTS (SEC. R502.7).

5. DOUBLE JOISTS: FLOOR JOISTS SHALL BE DOUBLED UNDER BEARING PARTITIONS RUNNING PARALLEL WITH THE JOISTS. BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH (SEC. R502.4).

6. RAFTER PURLIN BRACES ARE TO BE NOT LESS THAN 45° TO THE HORIZONTAL. THE UNBRACED LENGTH OF PURLIN BRACES SHALL NOT EXCEED 8'. THE MAXIMUM SPAN OF 2" X 4" PURLINS SHALL BE 4 FEET; 2" X 6" PURLINS SHALL BE 6 FEET. IN NO CASE SHALL PURLINS BE SMALLER THAN THE SUPPORTED RAFTERS (SEC. R802.5.1)

7. RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER AT THE RIDGE. RIDGE BOARDS SHALL NOT BE LESS THAN "NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE END CUT OF THE RAFTERS. VALLEY'S AND HIPS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS THAN THE END CUT OF THE RAFTER (SEC. R802.3).

8. RAFTER TIES: RAFTER TIES SHALL BE SPACED NOT MORE THAN 4' ON CENTER WHERE RAFTERS AND CEILING JOISTS ARE OT PARALLEL. RAFTER TIES SHALL BE NOT MORE THAN 24" ON CENTER WITH TILE ROOFING. RAFTER TIES SHALL BE

9. PROVIDE 1/2" MINIMUM CLEARANCE BETWEEN TOP PLATES OF INTERIOR PARTITIONS AND BOTTOM CHORDS OF TRUSSES.

10. PROVIDE DOUBLE 2" X 4" TOP PLATES WITH THE END JOINTS OFFSET AT LEAST 24" (SEC. R602.3.2.).

11. NAILING/FASTENING SHALL BE IN COMPLIANCE WITH TABLE R602.3.(1) OF THE CRC (SEE SHEET 7 OF THIS FORM).

12. FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: (SECTION R302.11)

A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT TO EXCEDD 10'. B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.

D. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS [WITH NON-COMBUSTIBLE MATERIALS].

E. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

13. FIRE BLOCK CONSTRUCTION: EXCEPT AS PROVIDED IN SECT R302.11, ITEM 4 FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS.

A. 2" NOMINAL LUMBER.

B. TWO THICKNESSES OF 1" NOMINAL LUMBER WITH BROKEN LAP JOINTS.

PROVIDED AS LOW AS POSSIBLE ON EACH RAFTER PAIR (SEC. R802.3.1).

C. ONE THICKNESS OF 23/32" WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32" WOOD STRUCTURAL PANELS.

D. ONE THICKNESS OF 3" PARTICLE BOARD WITH JOINTS BACKED BY 3" PARTICLE BOARD. . ONE— HALF INCH GYPSUM BOARD.

F. ONE-QUARTER INCH CEMENT BASED MILLBOARD.

G. BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.

14. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON RIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT HORIZONTAL FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS (SECTION R302.11.1.1).

15. STUDS: IN ONE STORY BUILDINGS SUPPORTING ONLY A ROOF ASSEMBLY, STUDS FOR EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE NOT LESS THAN 2" X 4" AT NO MORE THAN 24" ON CENTER, WHEN SUPPORTING A FLOOR AND ROOF THE MAXIMUM SPACING SHALL BE 16" FOR 2"X4" STUDS. STUDS FOR INTERIOR NON-BEARING PARTITIONS MAY BE 2" X 3" AT 16" ON CENTER. STUDS NOT MORE THAN 8' LONG MAY BE UTILITY GRADE DOUGLAS FIR-LARCH OR BETTER WHEN SUPPORTING NOT MORE THAN A ROOF AND A CEILING AND 10' FOR INTERIOR NONLOAD BEARING WALLS. STUDS LONGER THAN 8' LONG SHALL BE IN ACCORDANCE WITH TABLE R602.3(5).

16. AN A.I.T.C. CERTIFICATE OF CONFORMANCE FOR GLUED LAMINATED WOOD MEMBERS SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.

17. FRAMING AROUND OPENINGS. TRIMMER AND HEADER RAFTERS SHALL BE DOUBLED, OR OF LUMBER OF EQUIVALENT CROSS-SECTION, WHEN THE SPAN OF THE HEADER EXCEEDS 4'. THE ENDS OF HEADER RAFTERS MORE THAN 6' LONG SHALL BE SUPPORTED BY APPROVED RAFTER HANGERS UNLESS BEARING ON A BEAM, PARTITION OR WALL (SEC. R502.10).

C. GENERAL MATERIAL SPECIFICATIONS

1. MORTAR MIX: MORTAR TO BE USED ON CONSTRUCTION OF MASONRY WALLS, SHALL CONFORM TO ASTM C 270 TYPE S OR M.

2. GROUT MIX: GROUT SHALL COMPLY WITH ARTICLE 2.2 OF TMS 602/ACI 530.1/ASCE6.

3. MASONRY: THE MASONRY UNITS SHALL COMPLY WITH ASTM C55 FOR CONCRETE BRICK; ASTM C 73 FOR CALCIUM SILICATE FACE BRICK; ASTM C 90 FOR LOAD BEARING CONCRETE MASONRY UNITS OR ASTM C 74 FOR PREFACED CONCRETE AND CALCIUM SILICATE MASONRY UNITS.

4. REINFORCING STEEL: THE REINFORCING STEEL USED IN CONSTRUCTION OF REINFORCED MASONRY OR CONCRETE STRUCTURES SHALL CONFORM TO ARTICLE 2.4 OF TMS 602/ACI 530.1/ASCE6.

5. STRUCTURAL STEEL: STEEL USED AS STRUCTURAL SHAPES SUCH AS WIDE FLANGE SECTIONS, CHANNELS, PLATES, ANGLES SHALL COMPLY WITH THE SPECIFIED ASTM STANDARD OR SPECIFICATION AND THE PROVISIONS OF CHAPTER 22 OF THE CBC.

D. ROOFING AND WEATHERPROOFING

1. ALL WEATHER-EXPOSED SURFACES REQUIRE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR SURFACES COMPLYING WITH ASTM D 226, ONE LAYER NO. 15 FELT. SEE EXCEPTIONS. (SEC. R703.2).

2. FLASHING AND COUNTERFLASHING. EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. ALL PARAPETS SHALL BE PROVIDED WITH COPING OF APPROVED MATERIALS. ALL FLASHING, COUNTERFLASHING AND COPING, WHEN OF METAL, SHALL NOT BE OF LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL (SEC. R 903.2.1).

3. WATERPROOFING WEATHER—EXPOSED AREAS. BALCONIES, LANDINGS, EXTERIOR STAIRWAYS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) FOR DRAINAGE. AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES. FLASHING AND COUNTERFLASHING SHALL BE PROVIDED AS REQUIRED IN SEC. R903.

4. DAMPPROOFING FOUNDATION WALLS. FOUNDATION WALLS ENCLOSING A BASEMENT BELOW FINISHED GRADE SHALL BE DAMPPROOFED OUTSIDE BY APPROVED METHODS AND MATERIALS (SEC. R406.1).

5. WINDOW WELLS: SHALL BE A MINIMUM OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

6. ROOF COVERING: ASPHALT SHINGLE, WOOD SHINGLE OR SHAKE, TILE AND MINERAL SURFACED, BUILT-UP ROOFING SHALL BE INSTALLED PER APPLICABLE REQUIREMENTS OF CRC CHAPTER 9.

RETARDANCY MEETING A MINIMUM OF CLASS C RATING. 8. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES OR ARE DESIGNED TO SUPPORT ACCUMULATED WATER, ROOF DRAINS

7. WOOD SHINGLE AND WOOD SHAKE ROOFS: WOOD ROOF COVERING MATERIAL SHALL BE PRESSURE TREATED FOR FIRE

SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF, ROOF DRAINS SHALL BE ADEQUATE IN SIZE TO CONVEY THE WATER TRIBUTARY TO THE ROOF DRAINS. WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS MAY BE INSTALLED IN ADJACENT PARAPET WALLS WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ADJACENT ROOF AND HAVING A MINIMUM OPENING HEIGHT OF 4". OVERFLOW DRAINS SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT FROM THE ROOF DRAINS. ROOF DRAINS AND OVERFLOW DRAINS, WHEN CONCEALED WITHIN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

9. ATTIC VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300 PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION (SEC. R806.1). PROVIDE 1" OF AIR SPACE BETWEEN INSULATION AND THE ROOF SHEATHING AT EAVE OR CORNICE VENTS.

10. WEEP SCREED: ASTM C 926. A WEEP SCREED WITH A MINIMUM 3½" VERTICAL ATTACHING FLANGE SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE FOR ALL EXTERIOR STUD WALLS FINISHED ON THE EXTERIOR WITH STUCCO. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS (SEC. R703.6.2.1).

11. TWO LAYERS OF GRADE D PAPER ARE REQUIRED OVER WOOD BASE SHEATHING WHEN STUCCO IS USED. (SEC. R703.6.3).

E. GENERAL

1. ATTIC ACCESS: ATTIC AREAS SHALL BE ACCESSIBLE BY AN OPENING NO LESS THAN 22" X 30". WITH A FURNACE IN THE ATTIC THE OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. THE ATTIC ACCESS LOCATION SHALL BE IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION (SEC R807.1). 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.

2. SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 72" ABOVE THE DRAIN INLET WITH SMOOTH, HARD, NONABSORBENT SURFACES. GLAZING USED IN WALLS, DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED.

3. ELECTRIC METER ENCLOSURE: CONTACT PACIFIC GAS & ELECTRIC COMPANY, CUSTOMER EXTENSION PLANNING DEPARTMENT, FOR METER LOCATION. ALL WIRING MUST COMPLY WITH THE CURRENTLY ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE.

4. FIRE WARNING SYSTEMS:

4.1. GENERAL. DWELLING UNITS, CONGREGATE RESIDENCES AND HOTEL OR LODGING HOUSE GUEST ROOMS THAT ARE USED FOR SLEEPING PURPOSES SHALL BE PROVIDED WITH SMOKE ALARMS. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTRUCTIONS.

4.2. ADDITIONS, ALTERATIONS OR REPAIRS. WHEN THE VALUATION OF AN ADDITION, ALTERATION OR REPAIR TO A GROUP R OCCUPANCY EXCEEDS \$1,000 AND A PERMIT IS REQUIRED, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN **EXISTING**

GROUP R OCCUPANCIES, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SEC.R314. 4.3. POWER SOURCE. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE SMOKE ALARM SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS; OR IN BUILDINGS WITHOUT COMMERCIAL POWER; OR IN BUILDINGS WHICH UNDERGO NON-STRUCTURAL ALTERATIONS OR REPAIRS. (SEC. R314.4.).

4.4. LOCATION WITHIN DWELLING UNITS. IN DWELLING UNITS, A SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS, A SMOKE ALARM SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT. IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS, THE SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL, EXCEPT WHEN AN INTERVENING DOOR IS PLACED BETWEEN THE LEVELS A SMOKE ALARM SHALL BE INSTALLED ON EACH LEVEL. WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, THE SMOKE ALARM SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY. SMOKE ALARMS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED (SEC.R314.3).

5. EMERGENCY ESCAPE OR RESCUE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS MAY BE 5.0 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR (SEC. R310). ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN COMPLIANCE WITH THE FOLLOWING: •THE CLEAR HORIZONTAL DIMENSIONS SHALL ALLOW THE WINDOW TO BE FULLY OPENED AND PROVIDE A MINIMUM ACCESSIBLE NET

CLEAR OPENING OF 9 SF, WITH A MINIMUM DIMENSION OF 36". · WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPPED WITH AN APPROVED PERMANENTLY AFFIXED LADDER OR STEPS THAT ARE ACCESSIBLE WITH THE WINDOW IN THE FULLY OPEN POSITION. THE LADDER OR STEPS SHALL NOT ENCROACH INTO THE PROVED PLASTIC (SEC. 2406.3). THRESHOLDS TO BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22" DOOR (CPC 408.5).

REQUIRED DIMENSIONS OF THE WINDOW WELL BY MORE THAN 6". RUNGS SHALL HAVE A CLEAR INSIDE WIDTH OF 12", SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL NOT EXCEED 18" O.C. THE LADDER OR STEPS SHALL NOT BE OBSTRUCTED BY THE EMERGENCY ESCAPE AND RESCUE OPENING.

6. GLASS AND GLAZING: GLASS AND GLAZING SHALL SATISFY THE PROVISION OF CHAPTER 24. FEDERAL SPECIFICATIONS MAY TAKE PRECEDENCE. SEE YOUR GLAZING CONTRACTOR.

7. COMPACTION REPORTS ARE REQUIRED FOR ALL FILL SOILS OVER 12" DEEP.

8. IF THERE ARE CUTS MORE THAN TWO FEET, OR FILLS MORE THAN ONE FOOT IN HEIGHT, OR IF MORE THAN 200 CUBIC YARDS OF EARTH IS MOVED, A GRADING PERMIT IS REQUIRED.

9. NATURAL DRAINAGE PATTERNS SHALL NOT BE ALTERED IN SUCH A WAY AS TO CONCENTRATE OR ALTER THE POINT OF DISCHARGE FOR DRAINAGE FLOWS.

10. ALL PIPING PASSING THROUGH MASONRY OR CONCRETE WALLS SHALL BE SLEEVED IN AN APPROVED MANNER 313.10 CPC.

11. ABS DWV SYSTEMS ARE LIMITED TO 2-STORIES IN HEIGHT OF RESIDENTIAL CONSTRUCTION.

12. THE DISCHARGE LINE FROM AN EJECTOR PUMP OR OTHER MECHANICAL DEVICE SHALL BE EQUIPPED WITH AN ACCESSIBLE BACKWATER VALVE OR SWING CHECK VALVE AND GATE OR BALL VALVE. REFER TO SECTION 710.4 CPC FOR VALVE LOCATION.

13. DRAINAGE PIPING SERVING FIXTURES LOCATED ON FLOORS BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.

14. PERMANENT VACUUM BREAKERS MUST BE INSTALLED ON ALL HOSE BIBBS.

15. IN SHOWERS AND TUB—SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING

16. DUCTS FOR DOMESTIC KITCHEN RANGE VENTILATION SHALL BE OF METAL AND HAVE SMOOTH INTERIOR SURFACES AND HAVE A MINIMUM EXHAUST RATE OF 100 CFM.

17. DUCTS FOR DOMESTIC KITCHEN DOWNDRAFT GRILL-RANGE VENTILATION INSTALLED UNDER A CONCRETE SLAB MAY BE OF APPROVED SCHEDULE 40 PVC WHEN INSTALLED PER THE REQUIREMENTS LISTED IN SECTION 504.2 CMC AND THE MANUFACTURER'S SPECIFICATIONS.

18. DOMESTIC CLOTHES DRYER VENTS SHALL BE A MINIMUM OF 4" DIAMETER, MUST TERMINATE OUTSIDE THE BUILDING AND BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCT MUST BE OF METAL WITH SMOOTH INTERIOR SURFACES. SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW OF AIR ARE PROHIBITED, 504.3 CMC

19. TERMINATION OF ENVIRONMENTAL EXHAUST AIR SHALL NOT BE CLOSER THAN 3'-0" TO A PROPERTY LINE OR OPENING INTO THE BUILDING.

20 ROOMS CONTAINING A BATHTUB, SHOWER, SPA AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED PER THE CALIFORNIA MECHANICAL CODE. CBC SECTION 1203.4.2.1. WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: HAVE A MIN. VENTILATION RATE OF 50 CMF, BE ENERGY STAR COMPLIANT AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FAN OR, IF FAN IS INTEGRAL WITH THE LIGHTING IT SHALL BE POSSIBLE FOR THE LIGHTING TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.

21. FAN ASSISTED APPLIANCES MUST BE VENTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE CMC. CATEGORIES II, III AND IV MUST BE VENTED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

22. WARM-AIR FURNACES INSTALLED IN BEDROOMS AND/OR BATHROOMS SHALL COMPLY WITH CHAPTER 9 CMC.

23. DOMESTIC FREE-STANDING OR BUILT-IN RANGES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKTOP OF NOT LESS THAN 30" TO UNPROTECTED COMBUSTIBLE MATERIAL, SEC.916 CMC.

24. ALL 125-VOLT SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN BEDROOMS, KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, DENS, LIBRARIES, PARLORS, SUN ROOMS, RECREATION ROOMS, HALLWAYS, CLOSETS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT-CIRCUIT-INTERRUPTER(S), (AFCI)

25. ALL TABLES NOT REFERENCED ABOVE BUT SHOWN ON PAGES 7-10 ARE HEREBY INCORPORATED IN THE APPROVED PLANS.

26. GUARDS/GUARDRAILS: GUARDS SHALL BE LOCATED ALONG OPENSIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 42" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. (SEC R312) EXCEPTION: FOR OCCUPANCIES IN R-3, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2, GUARDS WHOSE TOP RAIL ALSO SERVES AS A (STAIRWAY) HANDRAIL SHALL HAVE A HEIGHT OF NOT LESS THAN 34" NOR MORE THAN 38" MEASURED VERTICALLY FROM THE LEADING EDGE OF THE STAIR TREAD NOSING, OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH (SEC. R312.1.3).

EXCEPTIONS: THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE THAT A SPHERE 6" IN DIAMETER CANNOT PASS THROUGH (SEC.R 312.1.3 EXC. 1).

27. WITHIN INDIVIDUAL DWELLING UNITS AND SLEEPING UNITS IN GROUP R-2 AND R-3 OCCUPANCIES. OPENINGS FOR REQUIRED GUARDS ON SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE OF 4 3/8" INCHES TO PASS THROUGH. (SEC. R312.3 EXC.

28. ALL WATER FIXTURE FLOW RATE REQUIRED PER CALIFORNIA GREEN BUILDING CODE (CGBG).

29. ALL HOT WATER LINES SHALL BE INSULATED WITH ONE INCH PIPE WRAP.

30. SOLDER OF WATER LINES WILL CONTAIN LESS THAN 0.2% LEAD. 31. PROVIDE A NON REMOVABLE BACK FLOW PREVENTION DEVICE AT ALL HOSEBIBBS

32. HEATING AND COOLING EQUIPMENT LOCATED IN GARAGE, WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH PILOTS. SWITCHES AND BURNERS OR HEATING ELEMENTS AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL. SEC. 303.1.3, CMC AND CPC, CHP 5.

33. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SEC. 308, CMC.

A REMOVABLE PANEL OF SUFFICIENT DIMENSION SHALL BE PROVIDED TO ACCESS THE PUMP THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP. THE PUMP AND THE CIRCULATION PIPING SHALL BE SELF-DRAINING TO MINIMIZE WATER RETENTION IN ACCORDANCE WITH

STANDARDS REFERENCED IN CPC TABLE 14-1 SUCTION FITTING ON WHIRLPOOL BATH SHALL COMPLY WITH THE LISTED STANDARDS. (CPC SECT. 415.0-415.4) PROVIDE 12 INCHES SQUARE MINIMUM ACCESS PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES WITH SLIP-JOIN CONNECTIONS. SEC. 405.2, CPC.

35. PROVIDE A SEISMIC ANCHORAGE OR STRAPPING FOR WATER HEATERS. SEC. 510.5, CPC.

36. HOT WATER FAUCETS WITH MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER SOURCE SHALL HAVE A RECIRCULATION SYSTEM PER MONTEREY COUNTY REQUIREMENTS.

37. DWV AND WATER SUPPLY PIPING MATERIALS AND INSTALLATIONS SHALL CONFORM TO THE CPC.

38. TUB & SHOWER VALVES TO BE SINGLE CONTROL PRESSURE BALANCING ANTI-SCOLD TYPE.

39. WATER CLOSETS REQUIRE MIN. SPACE 30" WIDE BY 24" IN FRONT.

40. SHOWER CONTROLS SHALL BE ACCESSIBLE WITHOUT GETTING WET.

WATER CLOSETS: THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH, TANK -TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. (NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. SECTION 4.303.1.1

41. WATER CONSERVING PLUMBING FIXTURES (WATER CLOSETS & URINALS) SHALL COMPLY WITH THE FOLLOWING:

URINALS: THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH. SECTION 4.303.1.2. WATER CONSERVING PLUMBING FITTINGS (FAUCETS AND SHOWER HEADS) SHALL COMPLY WITH THE FOLLOWING:

SHOWER HEADS: SINGLE SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. SECTION 4.303.1.3.1

MULTIPLE SHOWERHEADS SERVING ONE SHOWER: THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A AND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD. SECTION 4.303.1.3.2.

WHEN SHOWER IS SERVED BY MORE THAN ONE SHOWER-HEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE OF 1.8 GPM@80 PSI. CAL GREEN 4.303..1.3.2

FAUCETS: THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS: THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN

COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI. METERING FAUCETS: METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25

MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTES AT 60 PSI.

GALLONS PER CYCLE. KITCHEN FAUCETS: THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE. BUT NOT TO EXCEED 2.2 GALLONS PER DATE REVISION



P.O. Box 2094 . Carmel . CA . 93921 Ph. 831. 521. 5924 formadesignstudio.com

Job Number 2023-30 Date 07-24-24 Revision Drawn By

Sheet Number

GENERAL NOTES

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

> Swales 2. Water collection and disposal systems

French drains 4. Water retention gardens

5. Other water measures which keep surface water away from buildings and aid in groundwater

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate

1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of 4.106.4.2.4 Identification. Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking

space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all

The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this

required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions: 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

than 20 sleeping units or guest rooms.

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more

sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

a. Construction documents shall show locations of future EV spaces.

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or quests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).

Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:

1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).

2. The minimum width of each EV space shall be 9 feet (2743 mm).

installation of a branch circuit overcurrent protective device.

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements. 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing

When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. DIVISION 4.2 ENERGY EFFICIENCY

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

buildings affected and other important enactment dates.

4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve

4.303.1.4.5 Pre-rinse spray valves.

When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUEACTURED ON OR AFTER JANUARY 29, 2010

VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019		
PRODUCT CLASS [spray force in ounce force (ozf)] MAXIMUM FLOW RATE (gpm)		
Product Class 1 (≤ 5.0 ozf)	1.00	
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20	
Product Class 3 (> 8.0 ozf)	1 28	

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial

Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section

4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

Exceptions:

management ordinance.

Excavated soil and land-clearing debris.

2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the iobsite

3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or

bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be

4. Identify construction methods employed to reduce the amount of construction and demolition generated.

5. Specify that the amount of construction and demolition waste materials diverted shall be

by weight or volume, but not by both. calculated **4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction

and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste

materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in

documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the Department of Resources Recycling and Recovery (CalRecycle).

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of

the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the

life cycle of the structure. 2. Operation and maintenance instructions for the following:

a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.

b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters.

4.410 BUILDING MAINTENANCE AND OPERATION

d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60

and what methods an occupant may use to maintain the relative humidity level in that

6. Information about water-conserving landscape and irrigation design and controllers which conserve 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least

feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available.

10. A copy of all special inspections verifications required by the enforcing agency or this code.

building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper,

corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling

11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a

ordinance, if more restrictive. **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

portion of

4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers,

occupants and neighbors.

SECTION 4.502 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

P.O. Box 2094. Carmel. CA. 93921 Ph. 831. 521. 5924 formadesignstudio.com

2023-30 07-24-24 Revision Drawn By

Sheet Number

CGBC RESIDENTIAL MEASURES

Y N/A RESPON. PARTY

4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC) Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR. Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17. Section 94508(a).

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification
- 2. Field verification of on-site product containers.

QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in Gran	ns per Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80
1. IF AN ADHESIVE IS USED TO BOND DISSIMI THE ADHESIVE WITH THE HIGHEST VOC CON	

TABLE 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter) **VOC LIMIT** SEALANTS 250 ARCHITECTURAL 760 MARINE DECK 300 NONMEMBRANE ROOF 250 ROADWAY 450 SINGLE-PLY ROOF MEMBRANE 420 OTHER **SEALANT PRIMERS** ARCHITECTURAL 250 NON-POROUS 775 POROUS 500 MODIFIED BITUMINOUS 760 MARINE DECK 750 OTHER

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

VOC LIMIT

ARCHITECTURAL COATINGS2.3

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	400
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340
1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS	ICLUDING WATER &
2. THE SPECIFIED LIMITS REMAIN IN EFFECT ARE LISTED IN SUBSEQUENT COLUMNS IN TH	

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS

AVAILABLE FROM THE AIR RESOURCES BOARD.

MAXIMUM FORMALDEHYDE EMISSIONS IN PAR	RTS PER MILLION	
PRODUCT	CURRENT LIMIT	
HARDWOOD PLYWOOD VENEER CORE	0.05	
HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
PARTICLE BOARD	0.09	
MEDIUM DENSITY FIBERBOARD	0.11	
THIN MEDIUM DENSITY FIBERBOARD2	0.13	
1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.		

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- 1. Product certifications and specifications. 2. Chain of custody certifications.
- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA
- 0121, CSA 0151, CSA 0153 and CSA 0325 standards 5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent
- moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation
- acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST **4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the following:

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
 - b. A humidity control may be a separate component to the exhaust fan and is not required to be
 - integral (i.e., built-in)
 - 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
 - 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- 2. Duct systems are sized according to ANSI/ACCA 1 Manual D 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods
- 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. State certified apprenticeship programs. 2. Public utility training programs.
- 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall

employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



P.O. Box 2094 . Carmel . CA . 93921 Ph. 831. 521. 5924 formadesignstudio.com

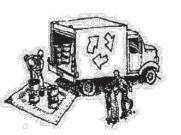
Job Number	2023-30
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number

CGBC RESIDENTIAL MEASURES

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days. ☐ Use (but don't overuse) reclaimed water for dust

Hazardous Materials

control.

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous

MANAGEMENT & SPILL CONTROL

Waste Management containers securely with tarps at the end of every work day and during wet weather.

☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction ☐ Clean or replace portable

toilets, and inspect them frequently for leaks and spills. ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base

materials, wood, gyp board, pipe, etc.) ☐ Dispose of liquid residues from paints thinners solvents glues, and cleaning fluids as

hazardous waste. Construction Entrances and Perimeter

☐ Establish and maintain

effective perimeter controls

and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site. ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Neve hose down streets to clean up



Spill Prevention and Control

(rags, absorbents, etc.)

site at all times.

available at the construction

EQUIPMENT

Maintenance and Parking ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and

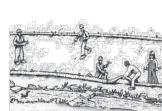
☐ Perform major maintenance, ☐ Inspect vehicles and equipment frequently for and repair leaks repair jobs, and vehicle and equipment washing off site. promptly. Use drip pans to catch leaks until repairs are ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area ☐ Clean up spills or leaks away from storm drains and immediately and dispose of

over a drip pan big enough cleanup materials properly. to collect fluids. Recycle or ☐ Do not hose down surfaces dispose of fluids as hazardous where fluids have spilled. Use dry cleanup methods \square If vehicle or equipment (absorbent materials, cat litter, cleaning must be done onsite, and/or rags). ☐ Sweep up spilled dry materials

clean with water only in a bermed area that will not allow immediately. Do not try to rinse water to run into gutters, wash them away with water, or streets, storm drains, or surface

☐ Clean up spills on dirt areas ☐ Do not clean vehicle or by digging up and properly equipment onsite using soaps, disposing of contaminated soil. solvents, degreasers, steam ☐ Report significant spills cleaning equipment, etc.

immediately. You are required by law to report all significant releases of hazardous materials. including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24



EARTHWORK & CONTAMINATED SOILS

Erosion Control ☐ Schedule grading and excavation work for dry weather only. ☐ Stabilize all denuded areas,

seal, etc. erosion control fabric or bonded fiber matrix) until vegetation is established. ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

pavement. ☐ Protect storm drain inlets gutters, ditches, and drainage

courses with appropriate ☐ Completely cover or barricade BMPs, such as gravel bags,

☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt ☐ Shovel, abosorb, or vacuum fences, or sediment basins. Keep excavated soil on the site

all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!). basin, clean it up immediately.



PAVING/ASPHALT WORK

☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. □ Cover storm drain inlets and ☐ Wash out concrete equipment/

appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into

coat, tack coat, slurry seal, fog

☐ Collect the wash water from

cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.

☐ If sawcut slurry enters a catch

☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control

· Unusual soil conditions, discoloration, or odor. · Abandoned underground tanks Abandoned wells · Buried barrels, debris, or trash.



manholes when applying seal install and maintain temporary

erosion controls (such as ☐ Collect and recycle or

☐ Do not use water to wash down fresh asphalt concrete

Sawcutting & Asphalt/Concrete

storm drain inlets when saw fiber rolls, berms, etc.

saw-cut slurry and dispose of where it will not collect into ☐ Transfer excavated materials to dump trucks on the site, not in

☐ Contaminated Soils



CONCRETE, GROUT &

MORTAR APPLICATION

from drainage areas. These

materials must never reach a

trucks offsite or in a contained

area, so there is no discharge

into the underlying soil or

onto surrounding areas. Let

washing exposed aggregate

appropriate disposal offsite.

concrete and remove it for

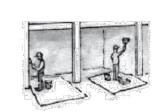
as garbage.

concrete harden and dispose of

being used. ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or

tarps when they are not actively

☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

☐ Store concrete, grout and mortar Painting cleanup under cover, on pallets and away paint containers into a street, gutter, storm drain, or surface

> ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority Never pour paint down a drain. ☐ For oil-based paints, paint out

brushes to the extent possible and clean with thinner or solvent in a proper container Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste. Paint chips and dust from

non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program



DEWATERING

Effectively manage all run-on,

all runoff within the site, and all

runoff that discharges from the

offsite away from all disturbed

site. Divert run-on water from

areas or otherwise ensure

When dewatering, notify and

obtain approval from the local

municipality before discharging

water to a street gutter or storm

drain. Filtration or diversion

sediment trap may be required

through a basin, tank, or

contamination, testing is

equired prior to reuse or

Consult with the Engineer to

determine whether testing is

groundwater must be treated

or hauled off-site for proper

results. Contaminated

discharge of groundwater.

DATE

REVISION

P.O. Box 2094 . Carmel . CA . 9392 Ph. 831. 521. 5924 formadesignstudio.com

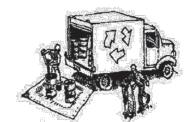
2023-30 07-24-24

Sheet Number

LAS MEJORES PRÁCTICAS DE CONSTRUCCIÓN

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

Los proyectos de construcción deben implementar las Mejores Prácticas de Construcción dadas en esta página, ya que son pertinentes a su proyecto todo el año.



MANEJO DE MATERIALES Y RESIDUOS

☐ Chequee los contenedores

de residuos. Nunca use una

portátiles e inspecciónelos con

frecuencia para controlar pérdidas

todos los residuos y de la basura.

manguera para lavar un

☐ Deshágase correctamente de

y líquidos de limpieza

sitios de construcción

considerándolos como residuos

Entradas y perímetros de los

☐ Establezca y mantenga control

efectivo de los perímetros y

estabilice todas las entradas y

salidas del sitio de construcción

para controlar suficientemente

sedimentos del sitio para que no

la erosión y la descarga de

☐ Barra o aspire inmediatamente

lo que haya pasado a la calle y

controle la fuente de origen para

construcción.

o derrames.

Materiales no peligrosos ☐ Haga un borde alrededor y cubra con lonas impermeables las pilas de arena, tierra u otros materiales de construcción cuando hava pronóstico de lluvia o si no van a ser usados activamente en los próximos 14 días.

☐ Use (pero no abuse) agua reclamada para controlar el polvo.

Materiales peligrosos

Recicle los materiales v residuos que puedan ser reciclados (como Póngales etiqueta con nombre asfalto, concreto, materiales a todos los materiales y agregados de base como grava y residuos peligrosos (como pesticidas, pintura, diluyentes, caños, etc.). solventes, gasolina, aceite y □ Deshágase de los residuos anticongelante) de acuerdo con las reglamentaciones de la ciudad, del líquidos como pinturas, diluyentes, solventes, colas

condado, del estado y federales. ☐ Ponga los materiales y residuos peligrosos en contenedores que no pierdan, póngalos luego en contenedores secundarios apropiados y cúbralos después de cada día de trabajo, o durante la temporada lluviosa, o cuando se haya pronosticado lluvia.

☐ Al aplicar los materiales peligrosos, siga las instrucciones del fabricante y tenga cuidado de no usar más de lo necesario. No aplique productos químicos en el exterior cuando se haya pronosticado lluvia en las próximas 24 horas.

residuos peligrosos.

Manejo de residuos

Cubra bien con lonas

con residuos peligrosos al

terminar cada día de trabajo, y

durante la temporada de lluvias

☐ Asegúrese de deshacerse prevenir que siga sucediendo. apropiadamente de todos los Nunca lave con manguera las calles para limpiar lo que haya sido acarreado o llevado del sitio impermeables los contenedore



MANEJO DEL EQUIPO Y CONTROL DE DERRAMES

Mantenimiento y ☐ Designe un área especial, usando ☐ Mantenga a mano en el sitio de contenedor de basura en el sitio de técnicas apropiadas de control de polución, para estacionar los ☐ Limpie o reemplace los excusados vehículos y el equipo, y para

> ☐ Inspeccione frecuentemente ☐ Realice las tareas mayores de los vehículos y equipos para mantenimiento, los trabajos descubrir pérdidas de fluidos y de reparación y el lavado de vehículos y equipos fuera del sitio de construcción. el líquido que pierda hasta que pueda hacer las reparaciones. ☐ Si es necesario ponerle gasolina a

un vehículo o hacer reparaciones en el sitio, trabaje en un área arena, madera, tablones de yeso, bordeada, alejada de los desagües pluviales v sobre una bandeja de goteo de tamaño suficiente para contener los líquidos peligrosos que se derramen.

> ☐ Si es necesario lavar los vehículos o equipos en el sitio de construcción, límpielos sólo con agua, en un área contenida que no permita que el agua de enjuague llegue a cunetas, calles, desagües de aguas pluviales o superficies

acuáticas (lagos, arroyos, etc.). ☐ No lave vehículos o equipos en el sitio de construcción usando jabones, solventes, desgrasadores, equipo de limpieza en seco, etc.

☐ Limpie los derrames en la tierra excavando la tierra contaminada y deshaciéndose correctamente ☐ Comunique inmediatamente cualquier derrame significativo.

(trapos, absorbentes, etc.).

Limpie los derrames o pérdida

de limpieza.

inmediatamente y deshágase

SUELOS CONTAMINADOS PAVIMENTO/ASFALTO CEMENTO Y MORTERO

Control de erosión construcción, y en todo momento, los materiales para limpiar derrames ☐ Estabilice todas las áreas desnudas,

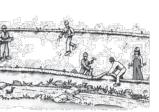
> control de erosión o matriz de tejido pegado) hasta que se haya establecido la vegetación. ☐ Plante semillas o plantas para control de erosión en superficies en declive o donde no se planee la construcción inmediata.

apropiadamente de los materiales ☐ No lave con manguera las superficies donde se hayan volcado líquidos. Use métodos en seco (materiales absorbentes,

rollos de fibras, bordes, etc. aserrín de cajas sanitarias para ☐ Barra inmediatamente los materiales secos que se havan desparramado. No trate de deshacerse de ellos usando agua, ni de enterrarlos.

> excavado en el sitio de construcción acarreada a la calle.

La ley obliga comunicar todos los



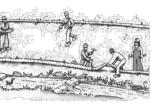
instale y mantenga control de erosión provisorio (como tela de

apropiadas técnicas de control de polución, como bolsas con grava,

☐ Prevenga que los sedimentos y manteniendo controles de sedimentos, como rollos de fibra, sedimentos.

para transportarlos.

derrames de materiales peligrosos. incluyendo el petróleo. Para comunicar un derrame: 1) Marque el 9-1-1 o su número local de emergencias; 2) llame al Centro de Emergencias y Servicios de Prevención de la Oficina del Gobernador, (800) 852-7550, las 24 horas del día.



TRABAJO EN LA TIERRA Y

☐ Planee trabajo de nivelación y excavación sólo cuando no vaya a

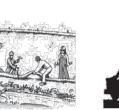
repárelas inmediatamente. Use bandejas de goteo para recoger

> Control de sedimento ☐ Proteja las rejillas de los desagües de aguas pluviales, las cunetas, canales y cursos de drenaje, usando

admisión, o bolsas de grava para ☐ Mantenga la tierra que se haya

> en un lugar donde no pueda ser ☐ Transfiera a los camiones, en el sitio mismo de construcción y no en la calle, los materiales excavados,

☐ Suelos contaminados ☐ Si se observan cualquiera de las siguientes condiciones, analice la tierra para descubrir contaminación y comuníquese con la Junta Regional de Control de Calidad del Agua · Condiciones inusuales en la tierra, descoloramiento u olor. · Tanques enterrados abandonados Pozos de agua abandonados. Barriles, basuras o residuos



☐ Evite pavimentar o recubrir pavimento en tiempo de lluvias, o cuando se hava pronosticado lluvia antes que el nuevo pavimento haya tenido tiempo de

> ☐ Cubra las rejillas de los desagües de aguas pluviales y las bocas de sumideros antes de aplicar la capa de sellado, capa ligante, capa de lechada (slurry seal), capa final fluida, etc.

TRABAJO CON

apropiadamente del exceso de grava v arena abrasivas. NO las barra ni las empuje con agua a los desagües de aguas pluviales. ☐ No use agua para lavar pavimento de concreto y asfalto fresco.

☐ Junte y recicle o deshágase

Cortando con sierra y removiendo asfalto/concreto ☐ Cubra completamente o erija una barrera alrededor de las rejillas de desagües de aguas pluviales cuando corte con sierra. Use tela de filtro, filtros en las bocas de

evitar que la lechada entre en el sistema de desagües pluviales. ☐ Levante con pala, absorba o aspire la lechada producida por la sierra v deshágase de todos los residuos

tan pronto como haya finalizado en un sitio, o al terminar cada día de trabajo (¡lo que sea antes!). ☐ Si la lechada producida por la sierra entra en un sumidero,



APLICACIÓN DE CONCRETO, LECHADA DE

pluviales.

☐ Guarde el concreto, la lechada de cemento y el mortero cubiertos, ☐ Nunca lave los pinceles ni en paletas y alejados de las áreas de desagüe. Estos materiales nunca deben llegar a los desagües pluviales o superficies de aguas

☐ Lave el concreto del equipo y de los camiones fuera del sitio de construcción o en un área en la tierra subyacente o en las áreas alrededor. Deje secar el concreto y deshágase de él como

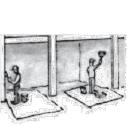
Junte el agua con la que lavó el concreto de agregado expuesto y deshágase de ella apropiadamente fuera del sitio de construcción.



JARDINERÍA de jardinería ya apilados manteniéndolos cubiertos con lonas impermeable cuando no estén en uso activo. ☐ Ponga sobre paletas los materiales

de jardinería que puedan sufrir

erosión. Cubra o guarde estos materiales cuando no sean activamente usados o aplicados. ☐ No continúe aplicando cualquier material de jardinería que pueda sufrir erosión por lo menos dos días antes de una lluvia pronosticada o durante tiempo



REMOVIENDO

(arroyos, lagos, etc.).

al terminar, pinte lo más que

pueda con la última pintura en

de las autoridades locales del

☐ Usando pinturas a base de

aceite, pinte lo más que pueda

con la última pintura en el

pincel y limpie el pincel con

usar los diluyentes y solventes.

Deshágase del residuo y del

peligrosos.

Removiendo pintura

■ Los residuos de productos

y los trozos y polvo de pinturas

marinas o de pinturas que

contienen plomo o tributylin

deben ser desechados como

de productos no peligrosos y

juntados en tela de plástico y

removidos en seco o con ráfaga

residuos peligrosos.

echados a la basura.

EXTRACCIÓN DEL

☐ Controle efectivamente toda el sitio v la que corra hacia afuera enjuague los tarros de pintura en originada en el sitio. Desvíe toda el agua que venga hacia el sitio para que no llegue a las áreas disturbadas o de alguna otra manera asegúrese de cumplir con

las ordenanzas. Al extraer el agua, notifique el pincel. Enjuague los pinceles y obtenga el permiso de la en un desagüe a las cloacas una municipalidad local antes de vez que haya obtenido el permiso descargar agua en la cuneta de una calle o en un desagüe de aguas sistema de tratamiento de aguas pluviales. Puede que se requiera negras. Nunca eche pintura en un filtración, o desvío a través de un depósito, tanque o entrampe de

☐ En las áreas que se saben contaminadas, se requiere análisis antes de volver a usar o descargar diluvente o solvente en un envase el agua subterránea. Consulte con el ingeniero para determinar si es necesario el análisis y cómo interpretar los resultados. El agua diluyente/solvente como desechos tratada o acarreada fuera del sitio para su eliminación apropiada.

Drawn By

¡QUIENES CONTAMINEN LOS DESAGÜES DE AGUAS PLUVIALES PUEDEN RECIBIR MULTAS DE HASTA \$10.000 POR DÍA!

* Adoptado con el permiso del Programa de Prevención de Polución del Agua del Condado

BMP's NOTES

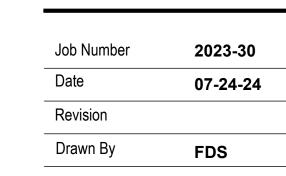
DATE REVISION

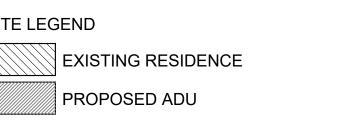


P.O. Box 2094 . Carmel . CA . 93921 Ph . 831. 521. 5924 formadesignstudio.com

ATILA RESIDENCE

DOLORES 45W of 1ST AVENUE





26'-10"



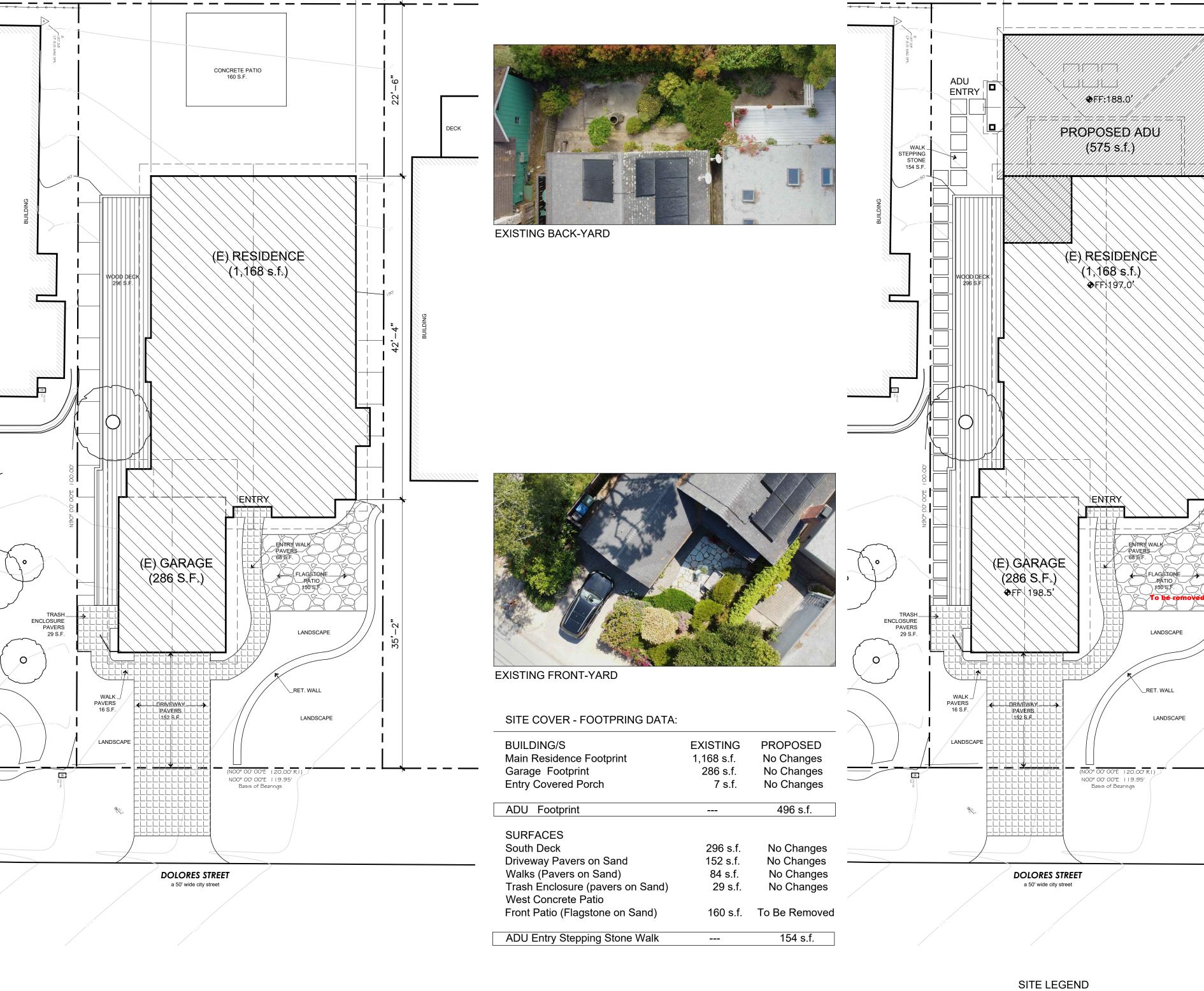
Sheet Number

C-1.1

of: She

PROPOSED SITE PLAN

| Scale | 1/8"=1'-0" | 2 | SITE PLAN



EXISTING SITE PLAN

26**'**-10"

Scale 1/8"=1'-0"

THE SITE PLAN IS FOR REFERENCE PURPOSE ONLY.
THE SITE PLAN WAS CREATED FROM PUBLIC CITY RECORDS AND EXISTING MAP SOURCES, NOT DIRECTLY FROM FIELD SURVEY. FORMA DESIGN STUDIO MAKES NO WARRANTY AND ASSUMES NO LIABILITY FOR EITHER ANY ERRORS, OMISSIONS, OR INACCURACIES IN THE INFORMATION PROVIDED.

OWNER & CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ANY CONSTRUCTION.



P.O. Box 2094 . Carmel . CA . 93921 Ph . 831. 521. 5924 formadesignstudio.com

2024-02
07-24-24
FDS

Sheet Number

(E) FRAMED WALL

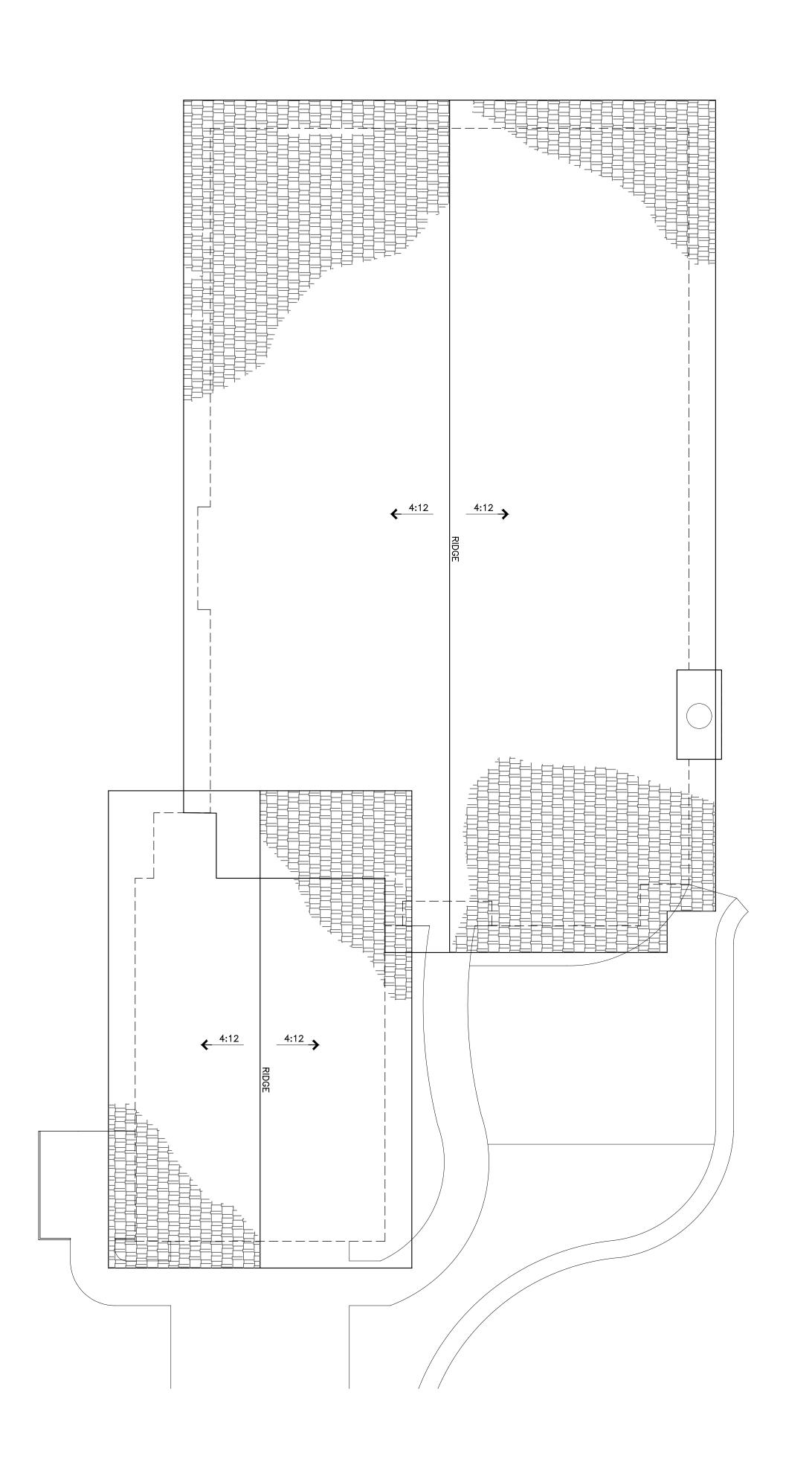
EXISTING FLOOR PLAN

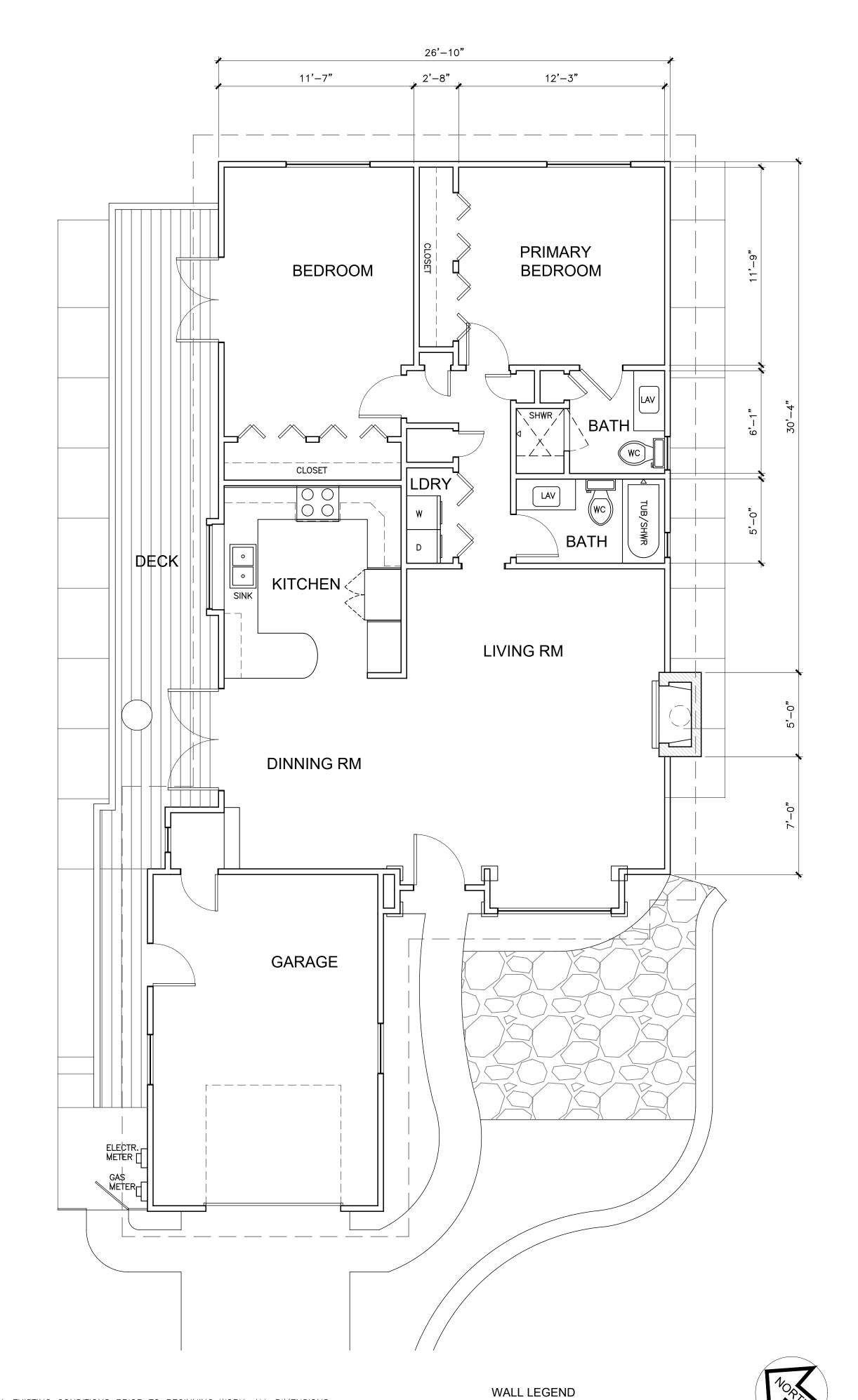
| Scale | 1/4"=1'-0" |

(E) MASONRY WALL

A-1.0

AS-BUILT FLOOR & ROOF PLAN





NOTE:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. ALL DIMENSIONS SHOWN RELATING TO EXISTING CONSTRUCTION ARE APPROXIMATE (EXISTING WALLS MAY NOT BE PLUM AND WALLS MAY NOT BE EXACTLY PARALLEL). THE CONTRACTOR SHALL FIELD VERIFY ALL ACTUAL DIMENSIONS AND CONTACT THE DESIGNER TO ADDRESS ANY DISCREPANCIES. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE DESIGNER, UNLESS NOTED +/- OR VIF (VERIFY IN FIELD). EXACT LOCATIONS, DISTANCES, ELEVATIONS AND SIMILAR DATA SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND BY THEIR DESIGNER INSTRUCTIONS.

EXISTING ROOF PLAN Scale 1/4"=1'-0" 2

PRIMARY

SKYLIGHT

SKYLIGHT

SKYLIGHT

18**'**-7"

TERRACE

BEDROOM

BEDROOM

REVISION

DATE



P.O. Box 2094 . Carmel . CA . 93921 Ph . 831. 521. 5924

formadesignstudio.com

PROPOSED MAIN RESIDENCE FLOOR PLAN Scale 1/4"=1'-0" 2

CONCRETE SLAB

LIVING RM

KITCHEN

(E) DECK

DINNING RM

GARAGE

Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS

Sheet Number **A-1.1**

PROPOSED ADU FLOOR PLAN Scale 1/4"=1'-0" 1

NEW FRAMED WALL

(E) FRAMED WALL

WALL LEGEND

PROPOSED FLOOR PLAN

DOOR & WINDOW NOTES:

1. ALL WINDOW/DOOR SPECIFICATIONS TO COMPLY WITH CURRENT STATE AND COUNTY BUILDING CODES. REFER TO GENERAL NOTES FOR MORE INFORMATION.

2. DOOR AND WINDOW SIZE: $2-8/7-0=2'-8" \times 7'-0"$

3. (T) = TEMPERED GLASS

4. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS CONFORMING TO CURRENT BUILDING CODES. SUCH AREAS SHALL INCLUDE BUT ARE NOT LIMITED TO SLIDING GLASS DOORS, TUB & SHOWER ENCLOSURES & STEAM ROOMS. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS (U.B.C. 2406.3 AND 2406.4);

a. GLAZING WITHIN A 24" RADIUS OF THE VERTICAL JAMB OF ANY DOOR AND LESS THAN 60"
 ABOVE THE WALKING SURFACE.
 b. GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE

c. GLAZING WITH AN AREA MORE THAN 9SQ.FT., LESS THAN 18" ABOVE THE FLOOR AND WITH

b. GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.

ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.
d. GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE.

5. COMBUSTION AIR: VENT OPENINGS WITHIN DOOR SHALL BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM ENCLOSURE.

6. WINDOWS FOR NATURAL LIGHT & VENTILATION SHALL BE SIZED IN COMPLIANCE WITH CURRENT BUILDING CODE.

7. EMERGENCY ESCAPE OR RESCUE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS MAY BE 5.0 S.F.

THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR (SEC. R310).

ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN COMPLIANCE WITH THE FOLLOWING:

a. ALL GLAZING AT CONDITIONED SPACES SHALL BE DUAL—PANE.
b. ALL THRESHOLDS ARE TO COMPLY WITH CRC REQUIREMENTS, W/ MAX. RISE OF 1/2".

DOOR SCHEDULE EXTERIOR DOORS MATERIAL : TO MATCH EXISTING				WINDOW SCHEDULE WINDOWS MATERIAL: TO MATCH EXISTING										
NUMBER	ROOM NUMBER	ADU	SIZE	CONF.	TYPE	HDW.	REMARKS	NUMBER	ROOM NUMBER	ADU	SIZE	CONF. TYPE	GLAZING	REMARKS
D-01		LIVING ROOM	3'-0"/6'-8"				PLANK	W-01		NOOK	4'-8"/3'-6"	xx	DBL-LE	CSMNT
D-02		BEDROOM	2'-8"/6'-8"				POCKET DOOR	W-02		LIVING ROOM	4'-8"/3'-6"	XX	DBL-LE	CSMNT
D-03		BATH	2'-8"/6'-8"				POCKET DOOR	W-03		LIVING ROOM	4'-8"/3'-6"	XX	DBL-LE	CSMNT
D-04		BEDROOM (CLOSET)	4'-0"/6'-8"				BIFOLD - PLANK	W-04		LIVING ROOM	5'-0"/3'-6"	XX	DBL-LE	CSMNT
D-05		NOOK	2'-8"/6'-8"				PLANK	W-05		BEDROOM	5'-0"/3'-6"	XX	DBL-LE	CSMNT - EGRESS
								W-06		BEDROOM	8'-0"/1'-8"	хох	DBL-LE	FIXED
								W-07		BATHROOM	2'-6"/1'-8"	Х	DBL-LE	AWING - TEMP. GLASS
NUMBER		MAIN HOUSE												
D-06		MECH. ROOM	2'-8"/6'-8"				PLANK	SKYLIGHTS		LIVING ROOM	2'-0"/3'-0"	0	DBL-LE	TEMP. GLASS
D-07		BEDROOM	PR 5'-0"/6'-8"				FRENCH DOOR - TEMP. GLASS			BEDROOM	2'-0"/3'-0"	0	DBL-LE	TEMP. GLASS
D-08		BEDROOM	PR 5'-0"/6'-8"				FRENCH DOOR - TEMP. GLASS							

REVISION

DATE



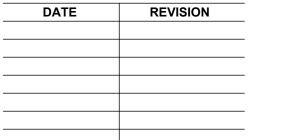
P.O. Box 2094 . Carmel . CA . 93921 Ph . 831. 521. 5924 formadesignstudio.com

PROPOSED CLASS 'A' ASPHALT SHINGLES COLOR: TO MATCH EXISTING SKYLIGHT	EXISTING ASPHALT SHINGLES COLOR: CHARCOAL GRAY EXISTING RIDGE EXISTING RIDGE	EXISTING ASPHALT SHINGLES COLOR: CHARCOAL GRAY EXISTING RIDGE EXISTING RIDGE
ण ण	(E) DECK	

ATILA RESIDENCE

Job Number	2024-02
Date	07-24-24
Revision	
Drawn By	FDS











ADU - PROPOSED EAST ELEVATION Scale | E |

	AD0 - 1	JED EAGT	1/4"
INDOW TO_	NEW FRENCH	EXISTING WINDOW TO_	



TERRACE F.F. 9'0"

ADU TOP PLATE 8'0"

◆ ADU F.F. 188'0"

4'-0"

Finish Materials	Existing Residence	Proposed ADU colors: To MATCH EXISTING
ROOF	ASPHALT SHINGLES	ASPHALT SHINGLES - TO MATCH EXISTING
EXTERIOR WALLS MAIN LEVEL	BATTEN & BOARD	N/A
EXTERIOR WALLS LOWER LEVEL	CEMENT PLASTER	CEMENT PLASTER - TO MATCH EXISTING
BEAMS-POSTS-RAILING -BALLUSTERS	PAINTED WOOD	PAINTED WOOD - TO MATCH EXISTING
WINDOWS AND DOORS	WOOD	WOOD - TO MATCH EXISTING
DRIVEWAY	PAVERS	N/A
FRONT PATIO	FLAGSTONE	DECOMPOSED GRANITE
DECK	WOOD	N/A
GUTTERS AND DOWNSPOTS	COPPER	COPPER - TO MATCH EXISTING
FIREPLACE EXTERIOR	BRICKS	N/A

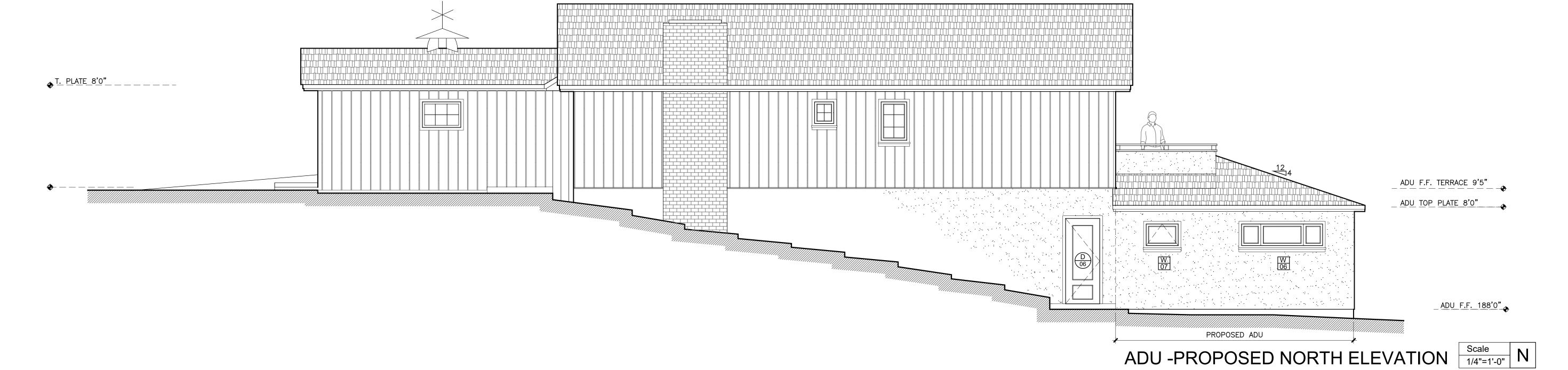
PROPOSED ADU



ADU- PROPOSED WEST ELEVATION

Scale	۱۸/
1/4"=1'-0"	VV

______T. PLATE_8'0"



Drawn By

Sheet Number **A-2.1**

PROPOSED ELEVATIONS

ADU - SCOPE OF WORK

ADU TOP PLATE 8'0"

◆ ADU F.F. 0'0"

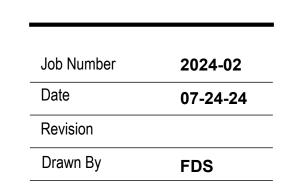
ADU

BED RM.

MECHANICAL ROOM

CRAWL SPACE

HALLWAY



Sheet Number

A-3.1

of: Sheets



VAULTED CEILING

NATURAL GRADE ___

LIVING RM.

Jacob Olander, FASSIStant Planner 10V) SHALL BE INSTALLED IN ALL HABITABLE ROOMS NOT MORE THAN 12 FEET ON CENTER NOT MORE THAN 6 FEET FROM OPENINGS AND ON ALL WALLS 2 FEET OR WIDER AND WALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.

> 3. OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12 INCHES IN KITCHEN AND DINING AREAS, IN ADDITION TO OUTLETS RENDERED INACCESSIBLE BY STATIONERY APPLIANCES.

4. ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.

- 5. LIGHTS IN CLOTHES CLOSETS SHALL COMPLY WITH ART. 410-8, CEC. MIN. CLEARANCE TO STORAGE 6"/12".
- 6. A DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS. (CEC ART. 210-52(d)
- 7. A MIN. OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUIT SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING RM, PANTRY, OR SIMILAR AREAS. (CEC ART. 210-11(c)(1)).
- 8. A MIN. OF ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC ART. 210-11(c)(2)).

9. SMOKE ALARMS (DETECTORS) SHALL BE INSTALLED IN EACH FLOOR INCLUDING BASEMENTS, BEDROOMS, HALLWAYS, ADJACENT ROOMS WITH VAULTED CEILINGS OF MORE THAN 24" ABOVE BEDROOM HALLWAY, AND UPPER AND LOWER FLOORS. SMOKE ALARMS TO BE HARD-WIRED AND PROVIDED WITH BATTERY BACKUP. INTERCONNECT ALL ALARMS.

SMOKE ALARMS SHALL BE INSTALLED IN ALL BEDROOMS, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH LEVEL PER CRC R314.3".

10. ELECTRIC SERVICE REQUIRES MINIMUM 100 AMP PANEL WITH CIRCUITS AND DISCONNECTS PERMANENTLY LABELED. 11. GFCI TYPE OUTLETS ARE REQUIRED IN BATHROOMS, LAUNDRY ROOMS, KITCHENS, ON SERVING COUNTERTOPS,

PRIVATE GARAGE & EXTERIOR. 12. CONVENIENCE OUTLETS SHALL BE LOCATED AND SPACED PER CEC 210-52.

13. ALL BRANCH CIRCUITS SUPPLYING OUTLETS (INCLUDING LUMINARIES) INSTALLED IN BEDROOMS, LIVING ROOM KITCHENS, HALLWAY, LAUNDRY ROOMS, SHALL BE PROTECTED BY AN ARC—FAULT CIRCUIT INTERRUPTERS (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC 210-12(b)

14. 125 AND 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WATERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. (CEC ART. 406.8(b)(1)).

15. ALL 15 AND 20-AMP ELECTRICAL RECEPTACLES SHALL BE TAMPER RESISTANT.

16. "RECESSED LIGHTING SHALL BE LISTED AS IC (ZERO CLEARANCE TO INSULATION) AND AT (AIR TIGHT), BE SEALED/CAULKED BETWEEN THE FIXTURE HOUSING AND CEILING, SHALL NOT CONTAIN A SCREW BASE SOCKET, AND CONTAIN BULBS MARKED WITH JA8-2016-E EFFICIENCY LABEL". [CENC 150.0(K)1C]

17. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINARIES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8 (INCLUDING CEILING RECESSED DOWNLIGHT LUMINARIES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(D) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON POSITION.

EXEMPTIONS: LUMINARIES IN CLOSETS LESS THAN 70 SQUARE FEET; LUMINARIES IN HALLWAYS.

18. SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING: A) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX JA8; AND B) THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2016 OR JA8-2016-E.

19. RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.

20. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS".

21. TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE THAN 5-1/2 FEET ABOVE THE FLOOR, OUTLETS THAT ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.

23. RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.

24. OUTLET BOXES INSTALLED FOR CEILING SUSPENDED FAN SHALL BE LISTED AND MARKED AS SUITABLE FOR THIS PURPOSE AND SHALL NOT SUPPORT FANS WEIGHING MORE THAN 70 POUNDS. BOXES SUPPORTING FANS WEIGHING MORE THAN 35 POUNDS MUST BE MARKED INSIDE THE BOX TO INCLUDE THE MAXIMUM WEIGHT TO BE SUPPORTED.

25. ELECTRIC SERVICE REQUIRES MINIMUM 100 AMP PANEL WITH CIRCUITS AND DISCONNECTS PERMANENTLY LABELED.

26. AT LEAST ONE LUMINAIRE IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 19(D).

KITCHEN ELECTRICAL NOTES:

ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. [CEC 210.8(A)(6)]

WHEN ADDING OR REPLACING 6'OR MORE OF A 120-VOLT, SINGLE PHASE 15 OR 20 AMPERE CIRCUIT SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS THE CIRCUITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LOCATED IN A READILY ACCESSIBLE LOCATION. [CEC 210.12(D)] [CEC 210.12(A)]

ALL 15 & 20 AMPERE 125 & 250-VOLT NON- LOCKING TYPE RECEPTACLE OUTLETS SHALL BE LISTED AS TAMPER RESISTANT. [CEC 406.12]

- 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. [CEC 210.52(C)(1)]
- OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. [CEC 210.52(C)(1)]
- □ KITCHEN OUTLETS POSITIONED A MAXIMUM 20" ABOVE COUNTERTOP. [CEC 210.52(C)(5)]

KITCHEN RECEPTACLES SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS: ELECTRIC STOVES AND OVENS SHALL BE SUPPLIED WITH A 40- OR 50- AMP BRANCH CIRCUIT. CEC 210.23.

- APPLIANCE OUTLETS ARE NOT COUNTED AS REQUIRED COUNTERTOP OUTLETS. [CEC 210.52(C)(5)]
- APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIREMENT EACH SIDE TO COMPLY INDIVIDUALLY. [CEC 210.52(C)(4)]

THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACKSPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE-TYPE RECEPTACLE. [CEC 210.52(C)(2),(3),(4)]

TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. [CEC 210.52(B)(1),(2)]

INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES, THE RATING OF AN INDIVIDUAL BRANCH CIRCUIT SHALL NOT BE LESS THAN THE MARKED RATING OF THE APPLIANCE OR THE MARKED RATING OF AN APPLIANCE HAVING COMBINED LOADS AS PROVIDED IN [CEC 422.62][CEC 210.11(C)][CEC 422.10(A)]

GARBAGE DISPOSAL CORD AND PLUG CONNECTION TO BE 18" TO 36" LONG. [CEC 422.16(B)(1)]

BASE TYPE INCANDESCENT SCREW TYPE BASE IS NOT APPROVED. [CENC (TBL 150.0-A)]

DISHWASHER CORD 36"TO 78"LONG. ROMEX INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD. [CEC 422.16(B)(2)]

MINIMUM 15 AMP GFCI PROTECTED CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL [CEC 210.23(A)][CEC 210.8(D)]

□ IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT THE PANEL. [CEC 210.7]

ALL INSTALLED LUMINAIRES IN RESIDENTIAL KITCHENS SHALL MEET THE REQUIREMENTS OF TABLE 150.0-A OF THE

CENC. IC RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING. [CEC 410.116(A)(2)] FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS. [CEC 410.115(B)] FLORESCENT RECESSED LIGHTING, WHEN USED TO COMPLY WITH THE LIGHTING REQUIREMENTS, MUST BE OF A PIN

KITCHEN RECEPTACLES SHALL MEET THE FOLLOWING REQUIREMENTS: CEC 210.8, 210.12, 210.23, 210.52(C)(1), AND (C)(3), 406.12 ELECTRIC STOVES AND OVENS SHALL BE SUPPLIED WITH A 40- OR 50- AMP BRANCH CIRCUIT. CEC 210.23.

GENERAL NOTES:

THE ELECTRICAL PLANS ARE DIAGRAMMATIC ONLY. COORDINATE ELECTRICAL EQUIPMENT LOCATION AND INSTALLATION WITH EQUIPMENT BEING SERVED.

LOCATION OF THE LIGHT FIXTURES, POWER OUTLETS AND LIGHT SWITCHES ARE SHOWN DIAGRAMMATICALLY. VERIFY EXACT LOCATION AND SPACING WITH PLANS AND THE DESIGNER AT THE SITE DURING INSTALLATION F REQUIRED. NOTIFY THE DESIGNER ABOUT FIELD CONDITIONS AT VARIANCE WITH PLANS BEFORE COMMENCING INSTALLATION.

ELECTRICAL CONTRACTOR TO COORDINATE WITH MECHANICAL, PLUMBING AND OTHER TRADES TO PROVIDE ALL EQUIPMENT ASSOCIATED WITH THEIR RESPECTIVE TRADES WITH NECESSARY WIRING AND CONDUIT INFRASTRUCTURE FOR ALL SENSORS, AND CONTROL SYSTEMS AS REQUIRED.

INSTALLATION OF EQUIPMENT. COMPONENTS AND WIRING FOR ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF EQUIPMENT MANUFACTURER.

CARBON MONOXIDE ALARMS

R315.1 CARBON MONOXIDE ALARMS. FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL— BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

R315.2 WHERE REQUIRED IN EXISTING DWELLINGS. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL- BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARM SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

ELECTRICAL SYMBOLS AND NOTES

SWITCHES

- SINGLE POLE SWITCH THREE WAY SWITCH
- FOUR WAY SWITCH
- WP WEATHER PROOF SWITCH
- D DIMMER SWITCH

- K KEY OPERATED SWITCH
- L LOW VOLTAGE SWITCH
- T TIME SWITCH s OCCUPANT SENSOR

OUTLETS

- DUPLEX CONVENIENCE OUTLET
- SPLIT WIRED OUTLET (1/2 HOT SWITCHED) DUPLEX CONVENIENCE OUTLET WITH

WGFI GROUND FAULT CIRCUIT INTERRUPTER

- WEATHER PROOF CONVENIENCE OUTLET
- FLOOR OUTLET
- QUADRUPLEX OUTLET
- (TELEPHONE, AUDIO, TV, FIBEROPTIC)

- LIGHTING CEILING MOUNTED HIGH EFFICACY LIGHT FIXTURE
- WALL MOUNTED HIGH EFFICACY LIGHT FIXTURE
- RECESSED 2" LED LIGHT FIXTURE
- RECESSED 4" LED LIGHT FIXTURE
- RECESSED WATERPROOF LIGHT FIXTURE WITH NON-METALLIC TRIM AND G.F.I.C. PROTECTION.
- (J) JUNCTION BOX
- FLUORESCENT LIGHT STRIP W/ ELECTRONIC BALLAST HEAT LAMP
- RECESSED EXHAUST FAN W/ HIGH EFFICACY LIGHT ✓ ✓ ✓ CEILING MOUNTED LED TRACK LIGHT
- HIGH EFFICACY WALL SCONCE WALL WASHER / FOCUSED SPOT LIGHT
- WP OUTDOOR LED WELL LIGHT
- - ффф LED LIGHT STRIP

- MISCELLANEOUS - HO PUSH BUTTON DOOR BELL
- 110V SMOKE DETECTOR. DIRECT WIRE TO HOUSE CURRENT WITH BATTERY BACK-UP
- 110V CARBON MONOXIDE. DIRECT WIRE TO HOUSE CURRENT WITH BATTERY BACK-UP

ELECTRIC METER SUB PANEL

S EXHAUST FAN W/ 5 AIR CHANGES PER HOUR. ENERGY STAR RATED AND HAVE HUMIDISTAT CONTROLS

FUEL GAS

X LOOSE KEY VALVE

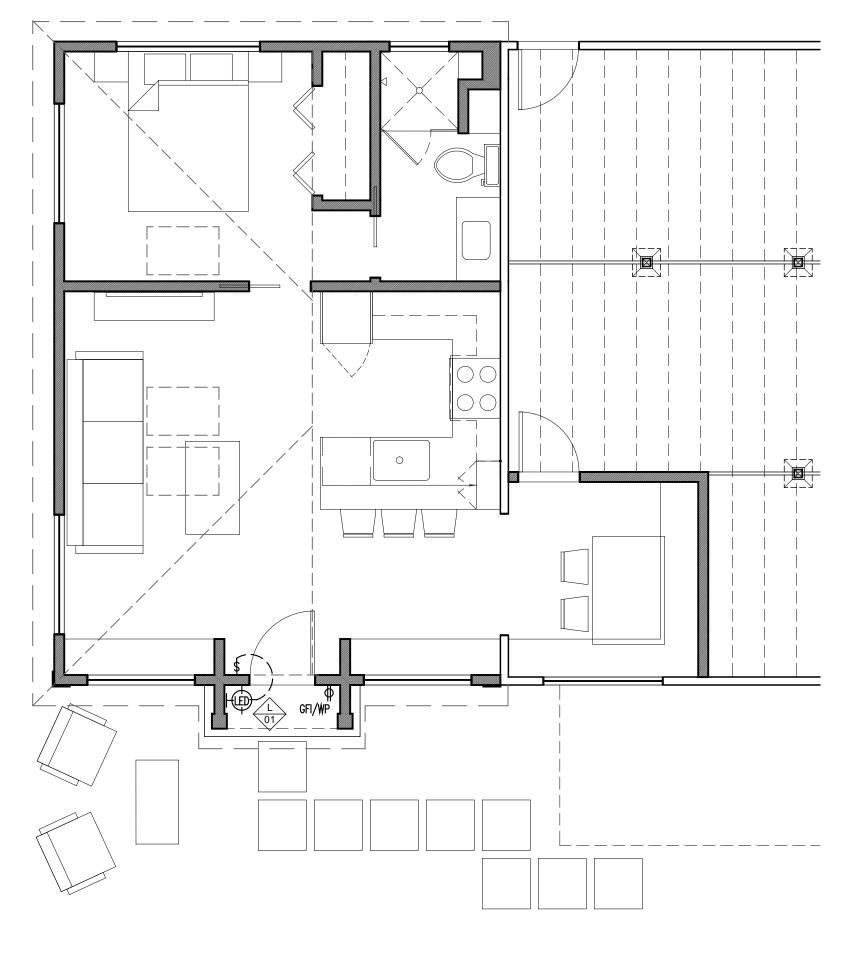
+ HOSE BIB WITH ANTISYPHON DEVICE

K KEY PAD ALARM SYSTEM

P.O. Box 2094. Carmel. CA. 93921 Ph. 831. 521. 5924 formadesignstudio.com

DATE

REVISION



Job Number 2024-02 07-24-24 Revision Drawn By **FDS**

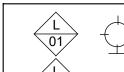


EXTERIOR LIGHTING: <

PARK HARBOR WOODBERRY 11" TALL SINGLE LIGHT LED OUTDOOR WALL SCONCE WITH SEEDED GLASS SHADE 200 LUMENS MODEL:PHEL3100CHBRLED

SEEDED GLASS SHADES REPLICATE THE LOOK OF COLONIAL GLASS LANTERN STYLE SHADES LED FIXTURE INCLUDES: (1) 9W LED BULB HEIGHT: 10.5"

OR SIMMILAR



WALL MOUNTED LIGHT FIXURE



SITE LIGHTING, SEE SPECIFICATIONS

TIMED, 6" RECESSED DOWN LIGHT

Sheet Number

ELECTRICAL

ELECTRICAL FLOOR PLAN 1/4"=1'-0"