

CONDITIONS OF APPROVAL

No.	Standard Conditions
1.	<p>Authorization. This approval of Design Study (DS 24128) authorizes amendment to Design Study DS 22-315 for the alterations to an existing single-family residence located at Dolores Street 4 SW of 10th Avenue in the Single-Family Residential (R-1) District, APN: 010-158-005-000. The alterations approved under this Design Study include:</p> <ol style="list-style-type: none">1. The reconfiguration of the driveway to create tire tracks with landscaping in the same location;2. The addition of site coverage (BBQ, Fire Pit, Stairs, AC Condenser, and Porch);3. The interior changes throughout the house;4. The installation of three skylights;5. The changes to proposed windows and doors;6. And other site improvements. <p>Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans prepared by Claudio Ortiz Design Group Inc. as approved by City of Carmel-by-the-Sea Planning Division on July 25, 2024 unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Division.</p>
3.	<p>Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>
4.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.</p>
5.	<p>Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change,</p>

	<p>or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.</p>
6.	<p>Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.</p>
7.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
8.	<p>Skylights & Skylight Shades. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications for all skylights (new and/or replaced) and skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.</p>
9.	<p>Aluminum-Clad Wood Frame Windows and Doors. Prior to the issuance of a building permit, the Applicant shall include the manufacturer’s specifications for the approved aluminum-clad wood windows and doors. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light, including the use of internal and external mullions and muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied, are not permitted. The painted finish shall be matte or low gloss.</p>
10.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense.</p>

	The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
11.	Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.
12.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) and applicant on a full-size sheet within the construction plan set submitted to the Building Safety Division.
Landscape Conditions	
13.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
Special Conditions	
14.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
15.	Building Permit Revision. The applicant shall revise Building Permit BP 22-067 prior to commencement of work.
16.	Prior Conditions of Approval. All conditions of approval of the previous Design Study, DS 22-315, approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.

Acknowledgment and acceptance of conditions of approval:

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24128

Owner Name: DEARBORN JOHN T & DANIELLE P TRS

Case Planner: Jacob Olander, Assistant Planner

Date Posted: _____

Date Approved: 07/25/2024

Project Location: Dolores 4 SW of 10th

APN #: 010158005000 **BLOCK/LOT:** 115/ALL LOT 9

Applicant: Claudio Ortiz Design Group Inc. - Franshisca Delgado

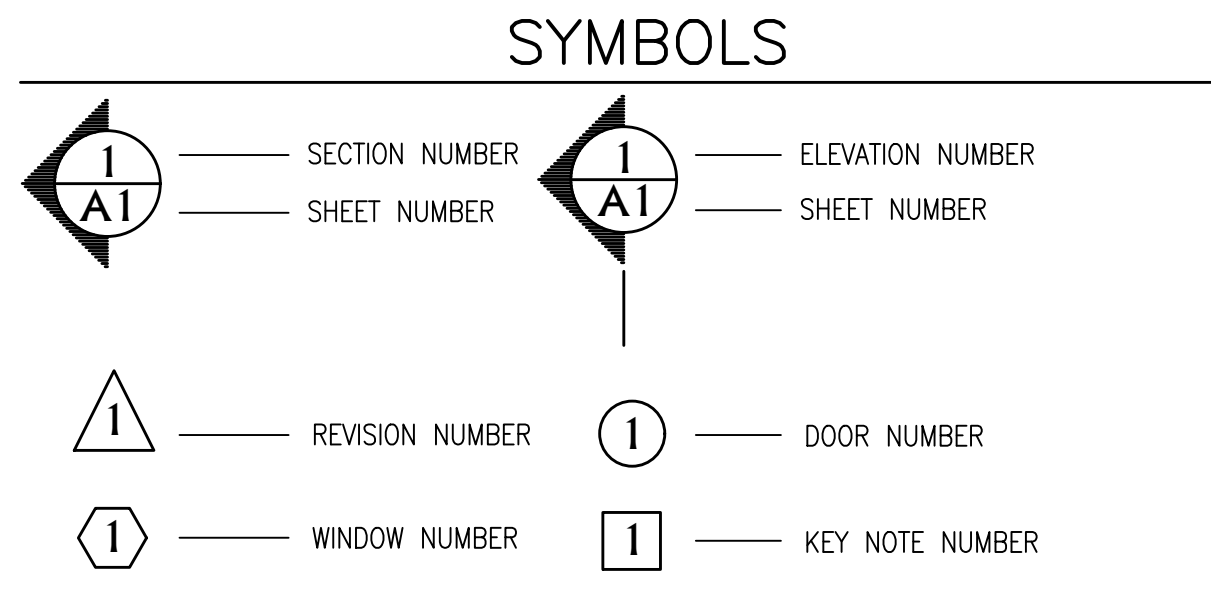
Project Description: This approval of Design Study (DS 24128) authorizes amendment to Design Study DS 22-315 for the alterations to an existing single-family residence located at Dolores Street 4 SW of 10th Avenue in the Single-Family Residential (R-1) District, APN: 010-158-005-000. The alterations approved under this Design Study include: 1. The reconfiguration of the driveway to create tire tracks with landscaping in the same location; 2. The addition of site coverage (BBQ, Fire Pit, Stairs, AC Condenser, and Porch); 3. The interior changes throughout the house; 4. The installation of three skylights; 5. The changes to proposed windows and doors; 6. And other site improvements. Alterations not expressly listed in this authorization are not permitted. The project shall be consistent with the plans prepared by Claudio Ortiz Design Group Inc. as approved by City of Carmel-by-the-Sea Planning Division on July 25, 2024 unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

Approved 7/25/2022
DS 24128 (Dearborn)
Carmel-by-the-Sea Community Planning and Building
Jacob Olander, Assistant Planner

AB	ANCHOR BOLTS	NTS	NOT TO SCALE
ADJNL	ADDITIONAL	(N)	NEW
AFF	APPROXIMATE	OC	ON CENTER
AGG	AGGREGATE	OD	OUTSIDE DIAMETER
ALT	ALTERNATE	OP	OPENING
ALUM	ALUMINUM	OPH	OPPOSITE HAND
APPROX	APPROXIMATE	PCC	PRECAST CONCRETE
ARCH	ARCHITECTURAL	PERP	PERPENDICULAR
BLDG	BUILDING	PL	PLATE
BLK	BLOCK	PLYWD	PLYWOOD
BLKG	BLOCKING	PSF	POUNDS PER SQUARE FOOT
BM	BEAM	PSI	POUNDS PER SQUARE INCH
BN	BOUNDARY NAILING	PT	PRESSURE TREATED
BOC	BOTTOM OF CONCRETE	PT	PRESSURE TREATED
BOF	BOTTOM OF FOOTING	R	RADIUS
BP	BUTTON PUNCH	REINF	REINFORCING
BRG	BEARING	REQ'D	REQUIRED
BRG PL	BEARING PLATE	SAD	SEE ARCHITECTURAL DRAWINGS
BTW	BETWEEN	SM	SIMILAR
CCJ	CRACK CONTROL JOINT	SJ	SHRINKAGE JOINT
CC	CENTER TO CENTER	SLH	SHORT LEG HORIZONTAL
CIP	CAST IN PLACE	SLV	SHORT LEG VERTICAL
CJ	CONSTRUCTION JOINT	SM	SHEET METAL
CTR	CENTER	SOB	SLAB ON GRADE
CL	CENTER LINE	SO	SQUARE
CLG	CEILING	SS	STAINLESS STEEL
CLR	CLEAR	STD	STANDARD
CMU	CONCRETE MASONRY UNIT	STL	STEEL
COL	COLUMN	SWS	SHEAR WALL SCHEDULE
CONC	CONCRETE	SYM	SYMMETRIC
CONN	CONNECTION	T 24	TITLE 24 CALIFORNIA CODE
CONSTR	CONSTRUCTION JOINT	TK	TYPICAL EDGE NAILING
CONT	CONTINUOUS	TOC	TOP OF CONCRETE
CSK	COUNTER SINK	TOF	TOP OF FOOTING
DBL	DOUBLE	TOS	TOP OF SLAB
DEPR	DEPRESSED	TOW	TOP OF WALL
DF	DOUBLE FUR	TS	TUBE STEEL
DIA	DIAMETER	TYP	TYPICAL
DIAG	DIAGONAL	T&B	TOP AND BOTTOM
DN	DOWN	TN	TIE NAIL
DWG	DRAWING	UNG	UNDISTURBED NATURAL GRADE
EG	EXISTING	UN	UNLESS OTHERWISE NOTED
EA	EACH	UN	UNLESS OTHERWISE NOTED
EF	EACH FACE	UN	UNLESS OTHERWISE NOTED
EN	EDGE NAILING	UN	UNLESS OTHERWISE NOTED



PROVIDE A COPY OF THE OPERATION & MAINTENANCE MANUAL TO HOME OWNERS

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts.
 - Spooce conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30 & 60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspection verifications required by the enforcing agency or this code.

CONTRACTOR NOTES

- CONTRACTOR SHALL OBTAIN A 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND THE TICKET SHALL BE KEPT ACTIVE THROUGHOUT THE PROJECT AND SHALL BE ON-SITE AT ALL INSPECTIONS.
- A STATE LICENSED SURVEYOR SHALL CERTIFY THAT THE LOCATION OF THE NEW FOUNDATION ELEMENTS IS IN CONFORMANCE WITH THE APPROVED PLANS PRIOR TO FOOTING INSPECTION AND SHALL CERTIFY THE ROOF HEIGHT IS IN CONFORMANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. WRITTEN CERTIFICATIONS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTION
- "TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT."
- ALL NEW CONSTRUCTION INVOLVING EXCAVATION SHALL IMMEDIATELY CEASE IF CULTURAL RESOURCES ARE DISCOVERED ON THE SITE, AND THE APPLICANT SHALL NOTIFY THE COMMUNITY PLANNING & BUILDING DEPARTMENT WITHIN 24 HOURS. WORK SHALL NOT BE PERMITTED TO RECOMMENCE UNTIL SUCH RESOURCES ARE PROPERLY EVALUATED FOR SIGNIFICANCE BY A QUALIFIED ARCHAEOLOGIST. IF THE RESOURCES ARE DETERMINED TO BE SIGNIFICANT, PRIOR TO RESUMPTION OF WORK, A MITIGATION AND MONITORING PLAN SHALL BE PREPARED BY A QUALIFIED ARCHAEOLOGIST AND REVIEWED AND APPROVED BY THE COMMUNITY PLANNING AND BUILDING DIRECTOR. IN ADDITION, IF HUMAN REMAINS ARE UNEARTHED DURING EXCAVATION, NO FURTHER DISTURBANCE SHALL OCCUR UNTIL THE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN AND DISTRIBUTION PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODE (PRC) SECTION 5097.98

SHEET INDEX

ARCHITECTURAL

- A1.0 COVER SHEET & GENERAL NOTES
 A1.1 SITE PLAN EXISTING
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 A2.1 MAIN LEVEL FLOOR PLAN (PROPOSED)
 A2.2 UPPER FLOOR PLAN (EXISTING)
 A2.3 UPPER FLOOR PLAN (PROPOSED)
 A3.0 ELEVATIONS (EXISTING)
 A3.1 ELEVATIONS (PROPOSED)
 A3.2 ROOF PLAN (EXISTING)
 A3.3 ROOF PLAN (PROPOSED)
 A4.0 WINDOW & DOOR SCHEDULE (EXISTING)
 A4.1 WINDOW & DOOR SCHEDULE (PROPOSED)
 A5.0 MATERIALS (EXISTING)
 A5.1 MATERIALS (PROPOSED)
 A6.0 LANDSCAPE (EXISTING)
 A6.1 LANDSCAPE (PROPOSED)

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO BEGINNING WORK. THE FOLLOWING TRADES ARE DEFERRED:

- FIRE SPRINKLER CONTRACTOR TO SUBMIT FIRE SPRINKLER LAYOUT PLAN TO THE FIRE MARSHALL DEFERRED SUBMITTAL SHALL BE APPROVED PRIOR TO BEGINNING THE WORK.

GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:**
- 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA GREEN BUILDING STANDARD
- All construction, workmanship and materials shall conform with the requirements of the 2022 California Code Edition, and the Carmel by the Sea municipal code.
 - The contractor shall verify all dimensions, elevations and site conditions and shall become completely familiar with the construction documents prior to starting construction.
 - CODG, Inc. and Engineer shall be notified of any omissions or discrepancies in the working drawing and/or specifications before proceeding with any work so involved.
 - All dimensions take precedence over scale shown on plans, sections and details.
 - Specific notes and details take precedence over structural notes and typical details.
 - Where specific details are not provided, construction can follow details for similar conditions, unless conflicts occur.
 - The contractor shall be responsible for the design, installation and maintenance of all bracing and shoring required during construction until all construction is finalized.
 - Job site safety is the sole responsibility of the contractor.
 - See architectural drawings for the size and location of all door and window openings, location of nonbearing partitions, roof on floor elevations, roof slopes, architectural finishes, and other related information not indicated on the structural drawings.
 - See mechanical, electrical and/or architectural drawing for the size and location of pipes, conduits, floor drains, vents, ducts, and other similar penetrations not indicated on the structural drawings.
 - Fire Sprinklers- Provide Sprinkler Drawings to the Fire Marshal for Review & Approval prior to installation.
 - EPOXY AND ANCHOR BOLTS:
 Especial Inspection required for epoxy set anchor bolts.

HEIGHT LIMITS AND SETBACKS

HEIGHT	EXISTING	PROPOSED
MAIN DWELLING		
ONE STORY RIDGE HEIGHT	60.5'	58.8'
TWO STORY RIDGE HEIGHT	N/A	65.9'
LOWER LEVEL PLATES	11.6'	11.6'
UPPER LEVEL PLATES	N/A	18.0'

GARAGE/CARPORT	EXISTING	PROPOSED
ONE STORY RIDGE HEIGHT	58.2'	58.2'
LOWER LEVEL PLATES	8'-0"	8'-0"

SETBACKS	EXISTING	PROPOSED
MAIN DWELLING		
NORTH SIDE	3'-2"	3'-2"
SOUTH SIDE	3'-0"	3'-0"
WEST SIDE	3'-0"	3'-0"
EAST SIDE	38'-1"	38'-1"

GARAGE/CARPORT	EXISTING	PROPOSED
NORTH SIDE	25'-0"	26'-2"
SOUTH SIDE	3'-6"	3'-6"
WEST SIDE	65'-3"	64'-6"
EAST SIDE	15'-6"	15'-6"

Dearborn Residence

Remodel

Carmel-Bv-The-Sea, California



PROJECT TEAM

DESIGN: CLAUDIO ORTIZ DESIGN GROUP INC. 26615 CARMEL CENTER PLACE #102 CARMEL, CA. 93923 TEL. (831) 626-4146	OWNER: JOHN & DANIELLE DEARBORN Dolores 4 SW of 10th CARMEL, CA. 93921
STRUCTURAL ENGINEER: WILLIAMSON CHAVEZ DESIGN 14741 KIT CARSON DRIVE EAST GARRISON, CA. 93933 TEL. (661) 910-3977 WILLIAMSONCHAVEZ@YAHOO.COM	MECHANICAL ENGINEER: MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD. Suite 8 CARMEL, CA. 93923 TEL. (831) 372-8328

FLOOR AREA	EXISTING	PROPOSED
FAR ALLOWED	1,800.0 SQ.FT.	45.0%
MAIN HOUSE	1,336.0 SQ.FT.	1,290.0 SQ.FT.
UPPER LEVEL	0.0 SQ.FT.	310.0 SQ.FT.
DETACHED CARPORT	216.0 SQ.FT.	N/A
DETACHED GARAGE	N/A	200.0 SQ.FT.
TOTAL GROSS FLOOR AREA:	1,552.0 SQ.FT. 38.9%	1,800.0 SQ.FT. 45.0%

SITE COVERAGE	EXISTING	PROPOSED
LAND COVERAGE ALLOWED	396.0 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	160.0 SQ.FT.	4.0% of SITE
TOTAL COVERAGE ALLOWED	556.0 SQ.FT.	13.9 %

IMPERVIOUS COVERAGE:	EXISTING	PROPOSED
FAU CONCRETE PAD	N/A	10.0 SQ.FT.
WEST TILE UPPER DECK	N/A	0.0 SQ.FT.
BRICK STEP	55.0 SQ.FT.	0.0 SQ.FT.
EAST STONE WALKWAY	75.0 SQ.FT.	0.0 SQ.FT.
EAST BRICK ENTRY WALKWAY	153.0 SQ.FT.	78.0 SQ.FT.
ENTRY PORCH	N/A	55.0 SQ.FT.
BBQ	N/A	26.0 SQ.FT.
GAS FIRE PIT	N/A	8.0 SQ.FT.
SOUTH STEPS	N/A	7.0 SQ.FT.
TOTAL IMPERVIOUS COVERAGE	283.0 SQ.FT. 5.4%	184.0 SQ.FT. 3.8%

PERVIOUS COVERAGE:	EXISTING	PROPOSED
WEST WD STAIRS & LANDING	9.0 SQ.FT.	19.0 SQ.FT.
WEST WD DECK	240.0 SQ.FT.	232.0 SQ.FT.
TRASH AREA	21.0 SQ.FT.	0.0 SQ.FT.
SOUTH PATIO	229.0 SQ.FT.	0.0 SQ.FT.
DRIVEWAY	148.0 SQ.FT.	119.0 SQ.FT.
TOTAL PERVIOUS COVERAGE	647.0 SQ.FT. 16.2%	370.0 SQ.FT. 9.9%

TOTAL SITE COVERAGE	EXISTING	PROPOSED
	930.0 SQ.FT. 21.6%	554.0 SQ.FT. 13.8%

VOLUME ANALYSIS

MAIN DWELLING	EXISTING	PROPOSED
ONE STORY PITCHED ROOF	1,240.0 SQ.FT. X12	14,880.0 CU.FT.
ONE STORY FLAT ROOF	50.0 SQ.FT. X11	550.0 CU.FT.
TWO STORY PITCHED ROOF	310.0 SQ.FT. X11	3,410.0 CU.FT.
TOTAL ALLOWED		18,840.0 CU.FT. 100.0%
VOLUME PROPOSED		18,529.1 CU.FT. 98.3%

GARAGE (DETACHED)	EXISTING	PROPOSED
ONE STORY PITCHED ROOF	200.0 SQ.FT. X12	2,400.0 CU.FT.
TOTAL ALLOWED		2,400.0 CU.FT. 100.0%
VOLUME PROPOSED		1,872.9 CU.FT. 78.0%

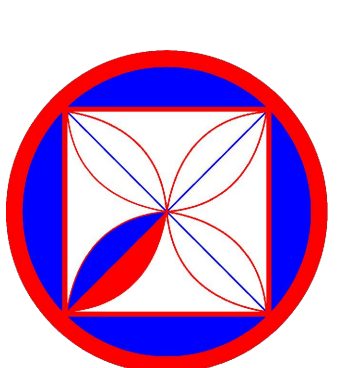
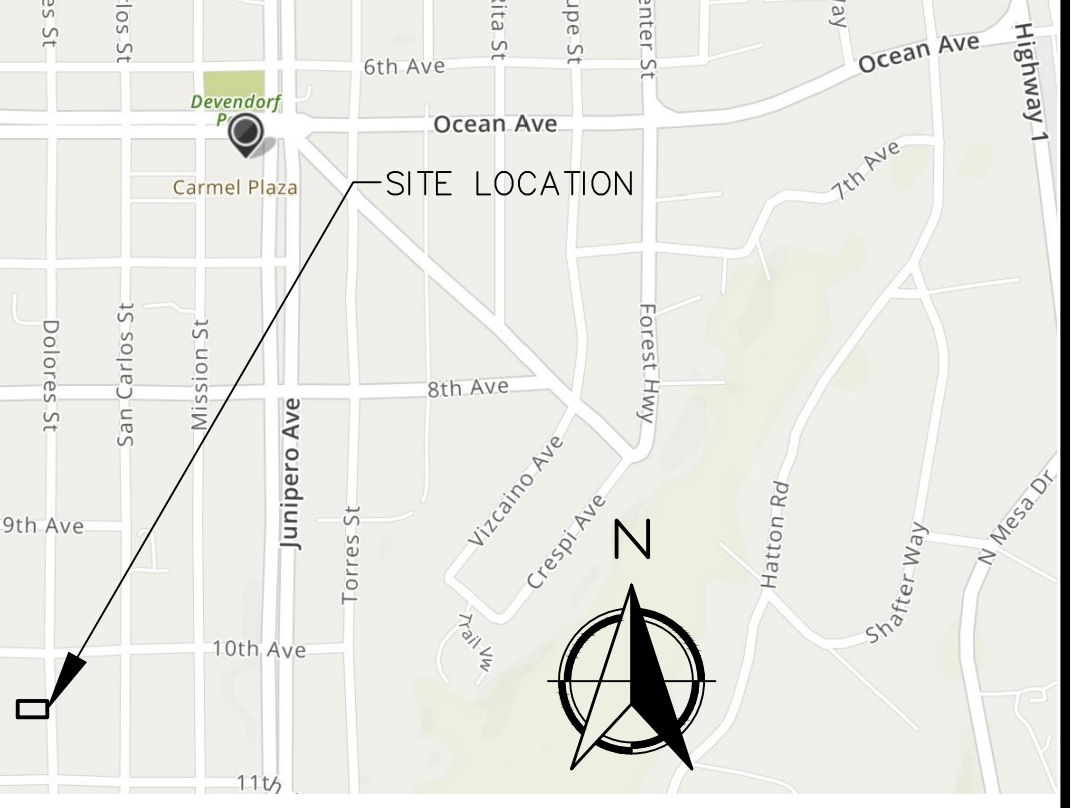
PROJECT INFORMATION

LOT SIZE	(0.92 Acres) 4,000.0 S.F.
A.P.N.	010-158-005-000
LEGAL DESCRIPTION	BLOCK: 158 LOT: 9
ZONING	R-1
SETBACKS (MIN. ALLOWED)	FRONT:15FT, SIDE 3FT. REAR 3FT
BLDG. OCCUPANCY	R-3/U
CONST. TYPE	V-B
HEIGHT (MAX. ALLOWED)	24FT
STORIES: 2	

SCOPE OF WORK

- TO REMODEL AN EXISTING ONE STORY SINGLE FAMILY DWELLING, MODIFY EXISTING DETACHED CARPORT AND ADDING A 310.0 SQ.FT. SECOND STORY ADDITION AND REDUCING THE MAIN LEVEL BY 46.0 SQ.FT..
- PROJECT INCLUDES THE EXTERIOR AND INTERIOR MODIFICATIONS AS SHOWN ON THE PLANS, AND CONVERTING EXISTING CARPORT INTO A 200SQ.FT. DETACHED GARAGE.
- THE PROJECT WILL CONSIST OF CHANGES TO THE REAR DECKS, AND FRONT PORCH ENTRANCE.
- NEW WOOD-CLAD WINDOWS & EXTERIOR DOORS TO MATCH EXISTING.
- NO EXCAVATION.
- ONE TREE REMOVAL, UNKNOWN SPECIE.
- REMOVE HEDGE AT NORTH SIDE OF PROPERTY LINE

VICINITY MAP



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 26615 CARMEL CENTER PLACE #102
 CARMEL, CA. 93921
 OFFICE: 831.626.4146
 CLAUDIO@CODG.CA
 WWW.CODG.CA

THE SERVICES, REPRESENTATIONS, WARRANTIES AND OPINIONS CONTAINED HEREIN ARE LIMITED TO THE PROJECT AND THE INFORMATION PROVIDED TO THE ENGINEER BY THE CLIENT. THE ENGINEER HAS NO LIABILITY FOR ANY OMISSIONS OR ERRORS IN THE INFORMATION PROVIDED TO THE ENGINEER BY THE CLIENT. THE ENGINEER HAS NO LIABILITY FOR ANY OMISSIONS OR ERRORS IN THE INFORMATION PROVIDED TO THE ENGINEER BY THE CLIENT. THE ENGINEER HAS NO LIABILITY FOR ANY OMISSIONS OR ERRORS IN THE INFORMATION PROVIDED TO THE ENGINEER BY THE CLIENT.

REVISIONS:
 CLIENT REV. 23-09-28/A
 *CLIENT REV. 23-11-07/A
 PLNG REV. 24-07-19

PROJECT:
 DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO. 21-06

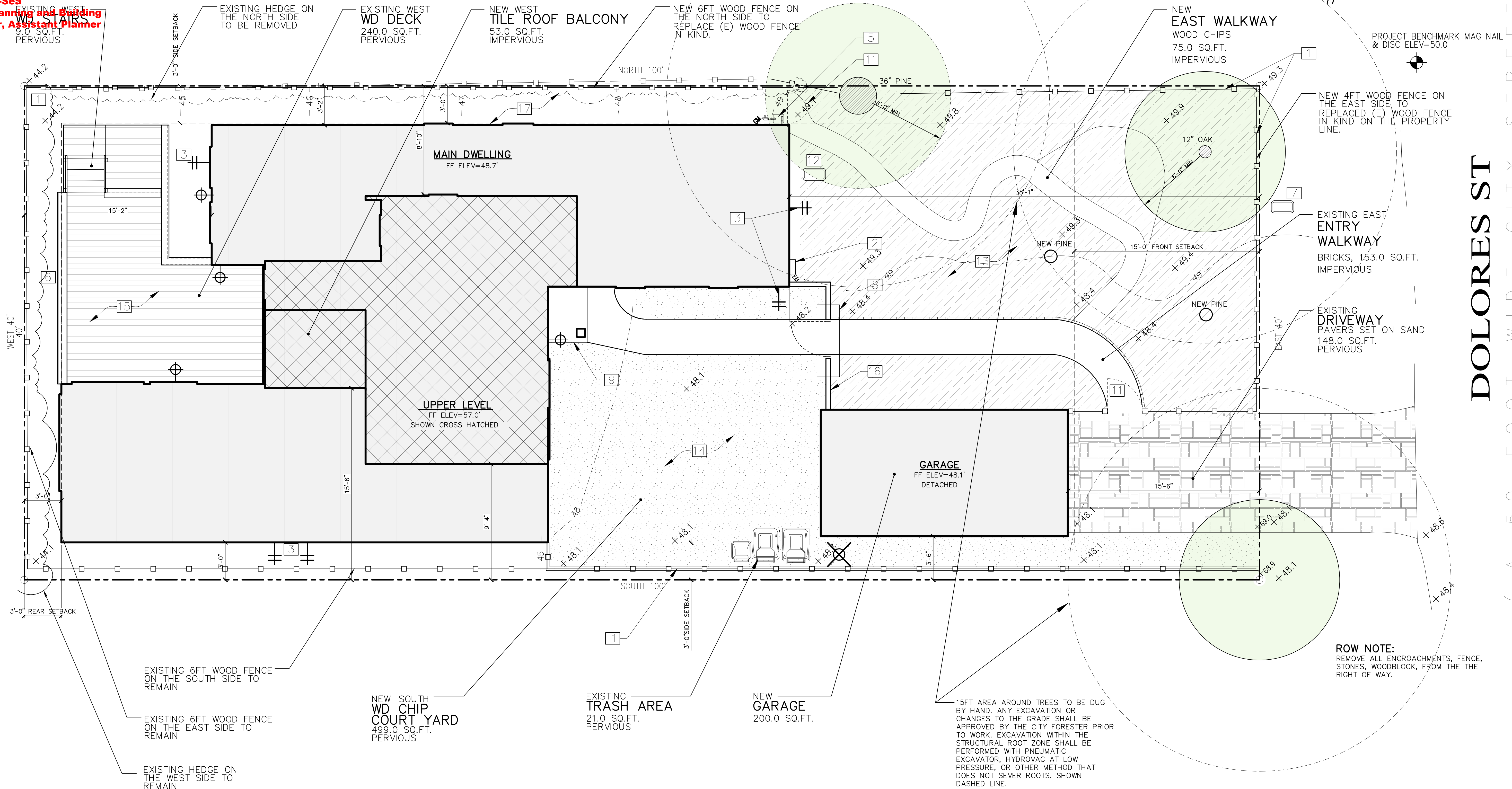
ISSUE:
 04-25-23

DRAWN BY:
 D.Santana

COVER SHEET

SCALE: 1/4" = 1'

A1.0



CITY FORESTER REQUIREMENT:

- 6FT SETBACK FROM TREE TO BUILDING FOOTPRINT AND STRUCTURE.
- 15FT AREA AROUND TREES TO BE DUG BY HAND.
- ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
- ALL MEASUREMENTS OF THE SETBACK TO PROPERTY BOUNDARY IS FROM THE FINISHED EXTERIOR SURFACE.

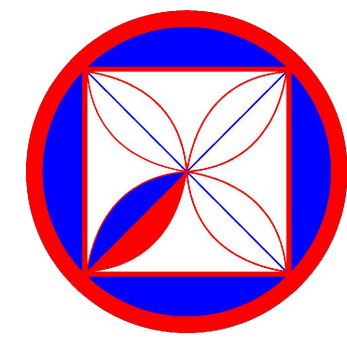
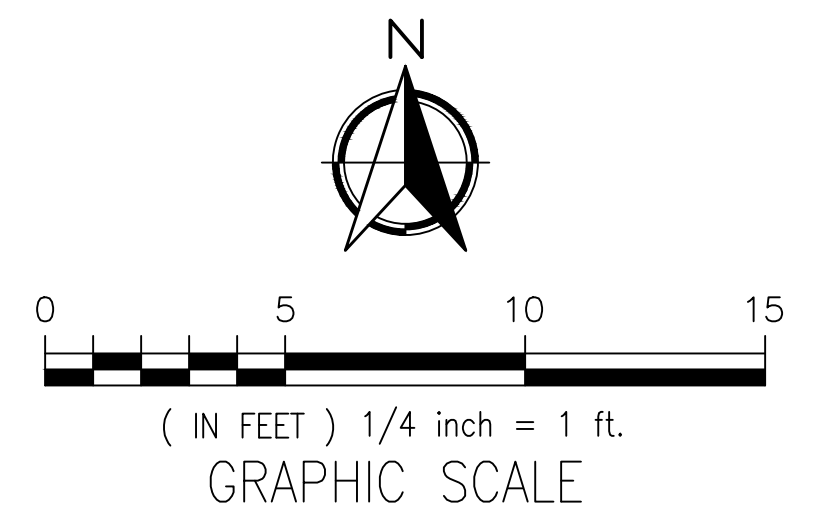
KEY NOTES

- (E) WD FENCE 4 FT WOOD PICKET
- (E) 100 AMP ELEC.SERVICE ENTRANCE
- (E) WATER SPIGOT
- (E) SEWER CLEAN OUT
- (E) GAS METER
- (E) WD 38" H. GUARDRAIL
- (E) WATER METER
- (E) TRELIS TO REMAIN
- (N) STEP
- OMITTED
- (E) GATE
- (E) IRRIGATION CONTROL VALVE
- (E) LANDSCAPING TO REMAIN
- (N) WD CHIPS
- (E) WD DECK TO REMAIN
- NEW STONE VENEER WALL, 4-FT TALL
- (E) GRAVEL

LEGEND

- MAIN LEVEL
- (E) WD DECKING TO REMAIN
- UPPER LEVEL
- (E) LANDSCAPING TO REMAIN
- PROPERTY LINE
- MIN. SETBACKS
- LIGHT FIXTURE, SEE SHEET A9.0 FOR SPECS
- HOSE BIB
- GAS VALVE
- EXISTING TREE
- NEW TREES
- TREES TO BE REMOVED

****NO EASEMENTS****



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REVISIONS:
 BLDG 23-06-29

PROJECT:
 DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO.
 21-06

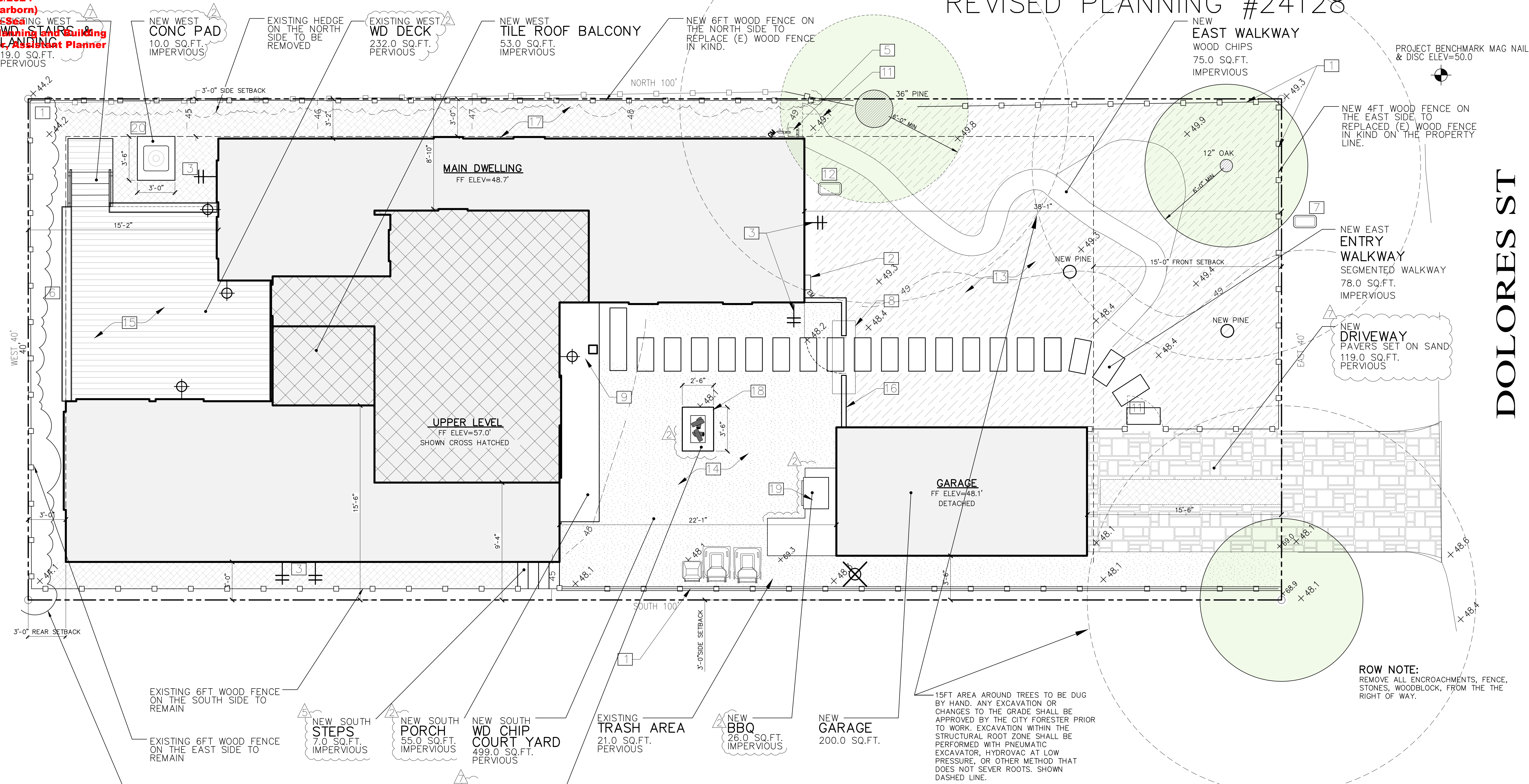
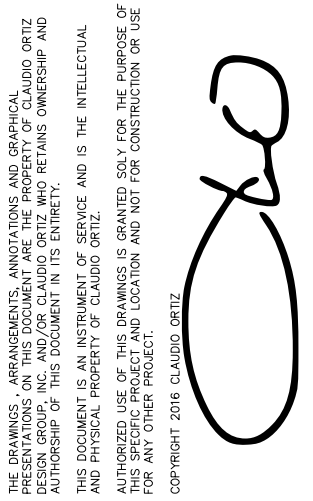
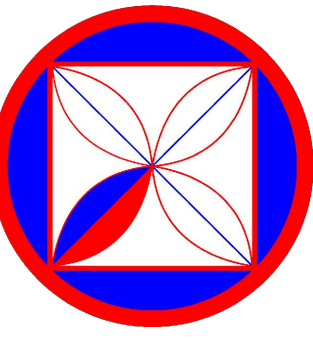
ISSUE:
 04-25-23

DRAWN BY:
 D.Santana

SITE PLAN
 (EXISTING)
 PREVIOUSLY
 APPROVED PLANNING
 #22315

SCALE: 1" = 1/4"

A1.1



CITY FORESTER REQUIREMENT:

- 6FT SETBACK FROM TREE TO BUILDING FOOTPRINT AND STRUCTURE.
- 15FT AREA AROUND TREES TO BE DUG BY HAND.
- ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
- ALL MEASUREMENTS OF THE SETBACK TO PROPERTY BOUNDARY IS FROM THE FINISHED EXTERIOR SURFACE.

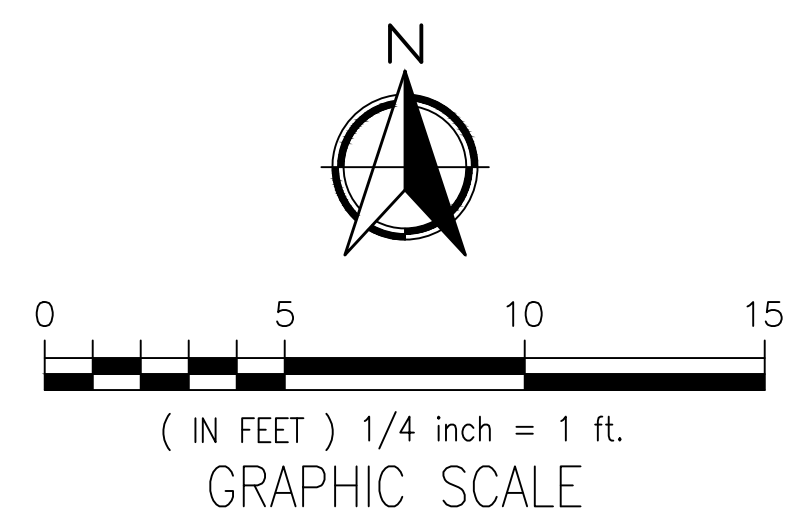
KEY NOTES

- 1 (E) WD FENCE 4 FT WOOD PICKET
- 2 (E) 100 AMP ELEC.SERVICE ENTRANCE
- 3 (E) WATER SPIGOT
- 4 (E) SEWER CLEAN OUT
- 5 (E) GAS METER
- 6 (E) WD 38" H. GUARDRAIL
- 7 (E) WATER METER
- 8 (E) TRELLIS TO REMAIN
- 9 (N) PORCH
- 10 OMITTED
- 11 (E) GATE
- 12 (E) IRRIGATION CONTROL VALVE
- 13 (E) LANDSCAPING TO REMAIN
- 14 (N) WD CHIPS
- 15 (E) WD DECK TO REMAIN
- 16 (N) STONE VENEER WALL, 4-FT TALL
- 17 (E) GRAVEL
- 18 (N) FIRE PIT
- 19 (N) BBQ AREA
- 20 (N) CONDENSER UNIT & CONC PLATFORM

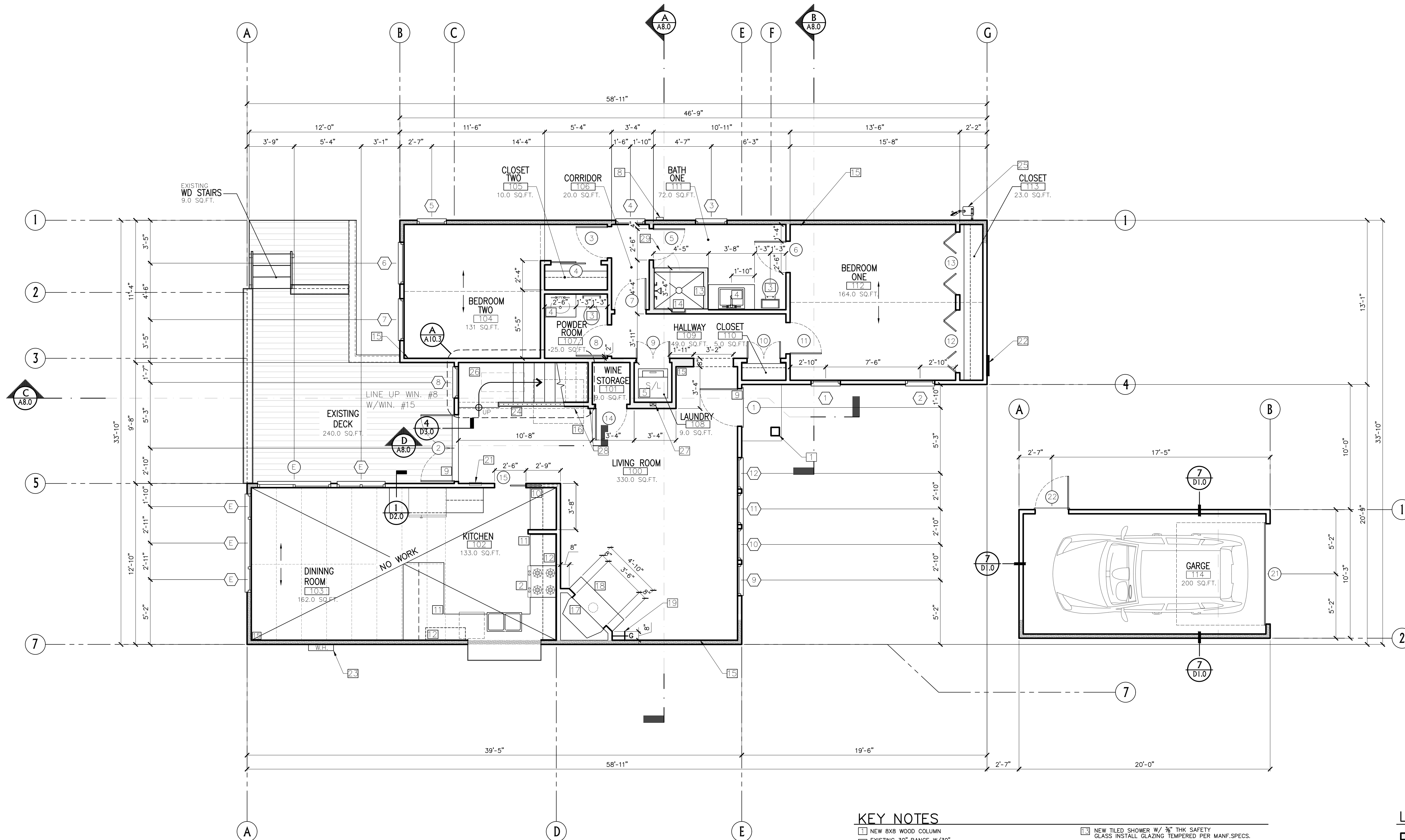
LEGEND

- [Solid Grey] MAIN LEVEL
- [Hatched] (E) WD DECKING TO REMAIN
- [Cross-hatched] UPPER LEVEL
- [Dotted] EXISTING SOIL TO REMAIN
- [Diagonal Lines] (E) LANDSCAPING TO REMAIN
- [Dashed Line] PROPERTY LINE
- [Dotted Line] MIN. SETBACKS
- [Circle with X] LIGHT FIXTURE, SEE SHEET A9.0 FOR SPECS
- [Circle with HB] HOSE BIB
- [Circle with GAS] GAS VALVE
- [Circle with Dotted] EXISTING TREE
- [Circle with Solid] NEW TREES
- [Circle with X] TREES TO BE REMOVED

****NO EASEMENTS****



PREVIOUSLY APPROVED PLANNING #22315

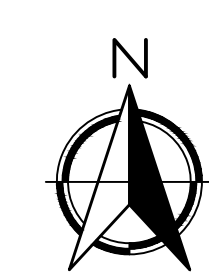


KEY NOTES

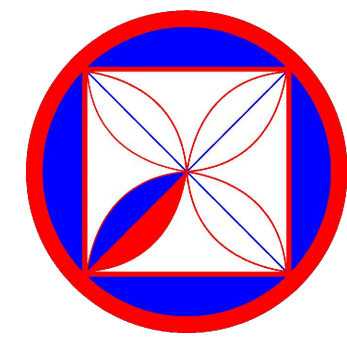
- NEW 8X8 WOOD COLUMN
- EXISTING 30" RANGE W/30" MICROWAVE ABOVE
- NEW WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 411.2
- NEW BATHROOM SINK 36-INCH HIGH W/ OR W/O VANITY WITH STONE TOP AND BACKSPASH
- NEW ELECTRIC STACKED WASHER AND DRYER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. PROVIDE VENT TO EXTERIOR (SEE NOTE 8)
- NEW GUARDRAILS: WOOD HANDRAIL OVER WOOD PICKETS @ 4-INCHES ON CENTER MAX.
 - GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD
 - GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT
 - INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES TO THE TOP RAIL.
- OMITTED
- CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2'-FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM 4"-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. (CMC 504.4.2)
- 1/2" THRESHOLD AT ALL ENTRY DOORS
- NEW BUILT IN CABINETS
- EXISTING 36-INCH HIGH COUNTER TOP WITH BACKSPASH TO REMAIN
- EXISTING UPPER CABINETS TO REMAIN
- NEW TILED SHOWER W/ 3/4" THK SAFETY GLASS INSTALL. GLAZING TEMPERED PER MANF.SPECS.
- NICHE
- NEW BASE BOARD IS TO BE INSTALLED THROUGHOUT THE WHOLE HOUSE
- STORAGE DRAWERS
- NEW FIREPLACE #DVCC42BP72N UL#MH30033
- STONE HEARTH, FLUSH, 12" SIDE MIN., & 20" EXTENDED AT FRONT
- GAS SHUT OFF VALVE
- REAR DIRECT VENT
- (E) SUB PANEL
- (E) 200 AMP ELEC. METER
- NEW NAVIEN 240NG TANKLESS WATER HEATER
- NEW OPEN IRON GUARDRAIL
- EXISTING GAS METER
- NEW F.A.U. BELOW
- LINE UP POST WITH WALL AT UPPER LEVEL
- LINE UP PLANE OF WALL WITH BEAM (5-1/2"x11-1/4" PSL) AT STAIRWELL
- DRYER MOISTURE EXHAUST DUCTS UNDER FLOORING

LEGEND

- (N) WALL
- EXISTING WALLS TO REMAIN
- (N) DECKING
- FIRE WALL ASSEMBLY
- GAS VALVE



(IN FEET) 1/4 inch = 1 ft.
 GRAPHIC SCALE



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REVISIONS:

PROJECT: DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO. 21-06

ISSUE: 04-23-25

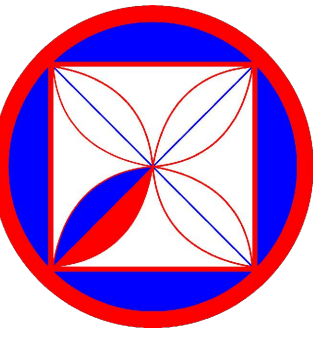
MAIN FLOOR PLAN
 (EXISTING) PREVIOUSLY
 APPROVED PLANNING #22315

DRAWN BY: D. Santana

SCALE: 1" = 1/4"

A2.0

REVISED PLANNING #24128



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REVISIONS:
 CLIENT REV. 23-09-28/2
 *CLIENT REV. 23-11-07/3
 CLIENT REV. 24-01-09/4
 CLIENT REV. 24-03-26/5

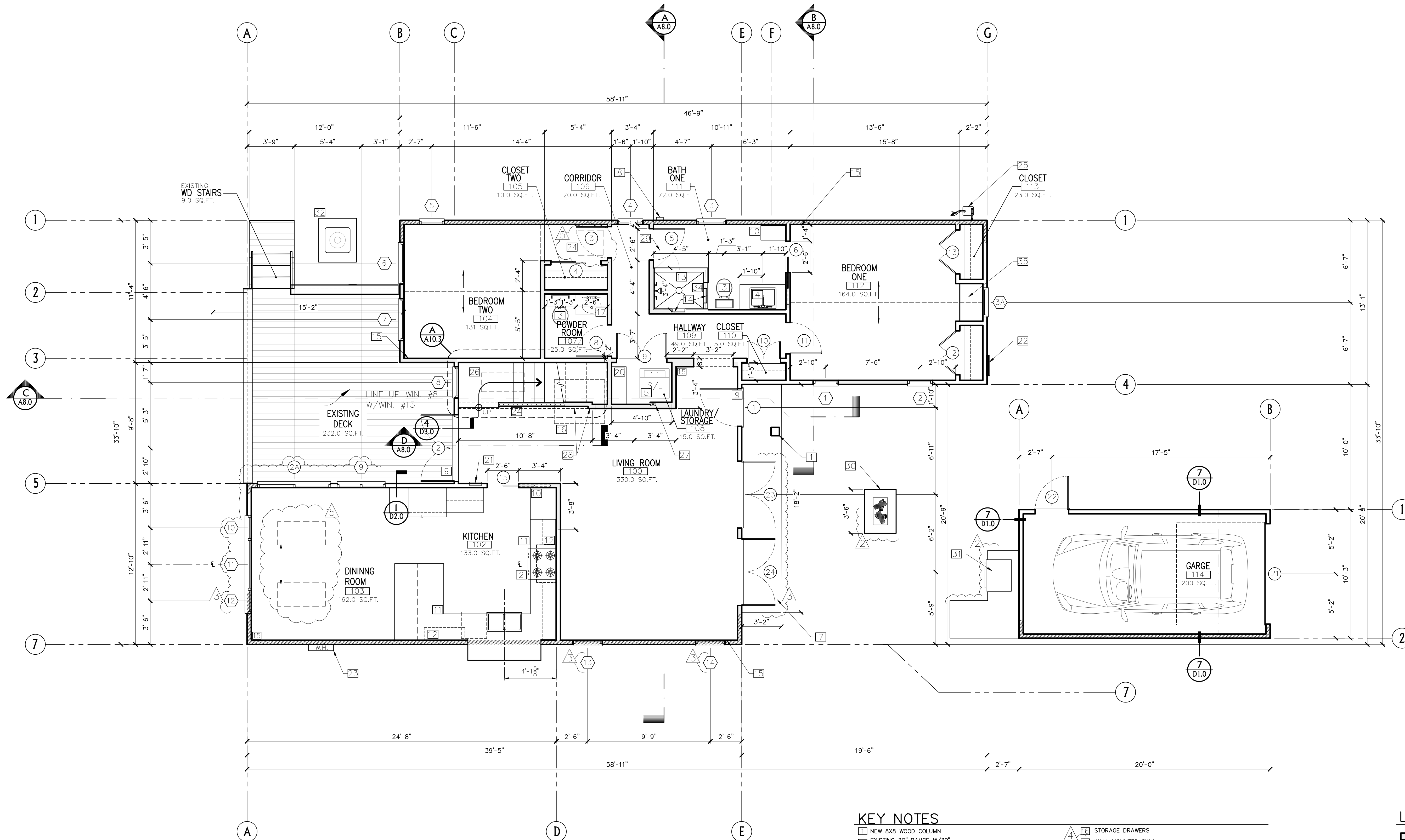
PROJECT:
 DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
PROJECT NO.
 21-06

ISSUE:
 04-23-25
DRAWN BY:
 D. Santana

**MAIN FLOOR PLAN
 (PROPOSED)
 REVISED PLANNING #24128**

SCALE: 1" = 1/4"

A2.1

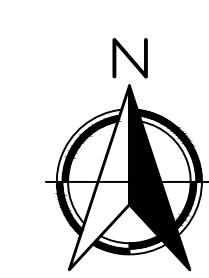


KEY NOTES

- 1 NEW 8X8 WOOD COLUMN
- 2 EXISTING 30" RANGE W/30" MICROWAVE ABOVE
- 3 NEW WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.F.P. 411.2
- 4 NEW BATHROOM SINK 36-INCH HIGH W/ OR W/O VANITY WITH STONE TOP AND BACKSPLASH
- 5 NEW ELECTRIC STACKED WASHER AND DRYER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. PROVIDE VENT TO EXTERIOR. (SEE NOTE 8)
- 6 NEW GUARDRAILS: WOOD HANDRAIL OVER WOOD PICKETS @ 4-INCHES ON CENTER MAX.
 1. GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD
 2. GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT
 3. INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES TO THE TOP RAIL.
- 7 NEW CONC PORCH
- 8 CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14-FEET WITH TWO ELBOWS. THIS SHALL BE REDUCED 2-FEET FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM 4-INCHES DIAMETER, SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. (CMC 504.4.2)
- 9 1/2" THRESHOLD AT ALL ENTRY DOORS
- 10 NEW BUILT IN CABINETS
- 11 EXISTING 36-INCH HIGH COUNTER TOP WITH BACKSPLASH TO REMAIN
- 12 EXISTING UPPER CABINETS TO REMAIN
- 13 NEW TILED SHOWER W/ 3/8" THK SAFETY GLASS INSTALL GLAZING TEMPERED PER MANF.SPECS. NICHE
- 14 NEW BASE BOARD IS TO BE INSTALLED THROUGHOUT THE WHOLE HOUSE
- 15 STORAGE DRAWERS
- 16 WALL MOUNTED SINK
- 17 STONE HEARTH, FLUSH, 12" SIDE MIN., & 20" EXTENDED AT FRONT
- 18 GAS SHUT OFF VALVE
- 19 NEW BUILT IN CABINET
- 20 (E) SUB PANEL
- 21 (E) 200 AMP ELEC. METER
- 22 NEW NAVIEN 240NG TANKLESS WATER HEATER
- 23 NEW OPEN IRON GUARDRAIL
- 24 EXISTING GAS METER
- 25 NEW F.A.U. BELOW
- 26 LINE UP POST WITH WALL AT UPPER LEVEL
- 27 LINE UP PLANE OF WALL WITH BEAM (5-1/2"x11-1/4" PSL) AT STAIRWELL
- 28 DRYER MOISTURE EXHAUST DUCTS UNDER FLOORING
- 29 NEW FIRE PIT
- 30 NEW OUTSIDE GRILL & COUNTERTOP
- 31 NEW CONDENSER UNIT & CONC PLATFORM
- 32 NEW WALL MOUNTED FAUCET 40" HIGH
- 33 NEW 40" HIGH PONY WALL
- 34 NEW 36" WIDE WINDOW SEAT
- 35 NEW 24X24 SKYLIGHT
- 36 NEW 36" WIDE WINDOW SEAT

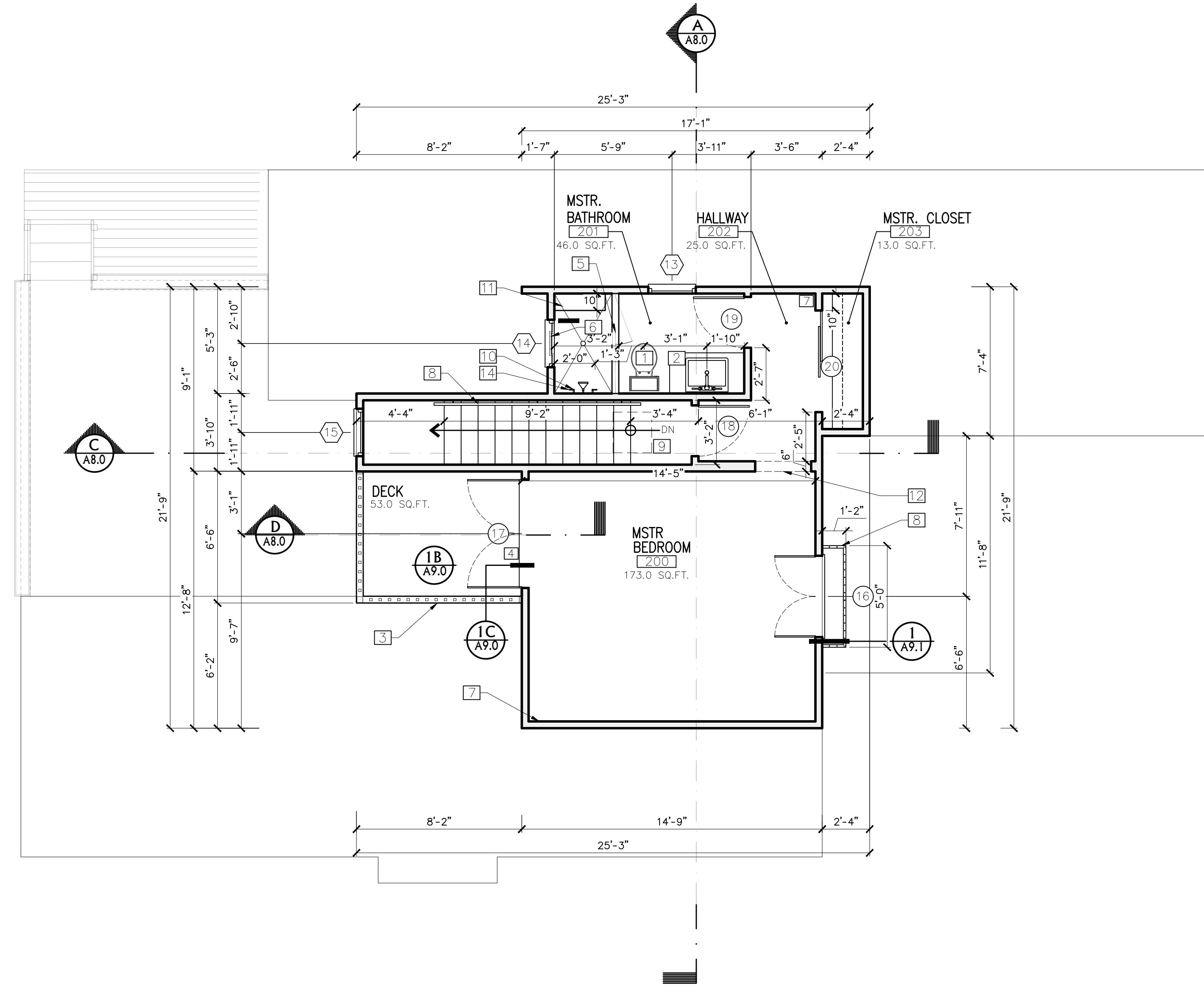
LEGEND

- (N) WALL
- EXISTING WALLS TO REMAIN
- (N) DECKING
- FIRE WALL ASSEMBLY
- GAS VALVE



(IN FEET) 1/4 inch = 1 ft.
 GRAPHIC SCALE

PREVIOUSLY APPROVED PLANNING #22315

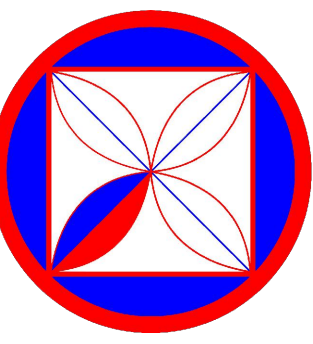
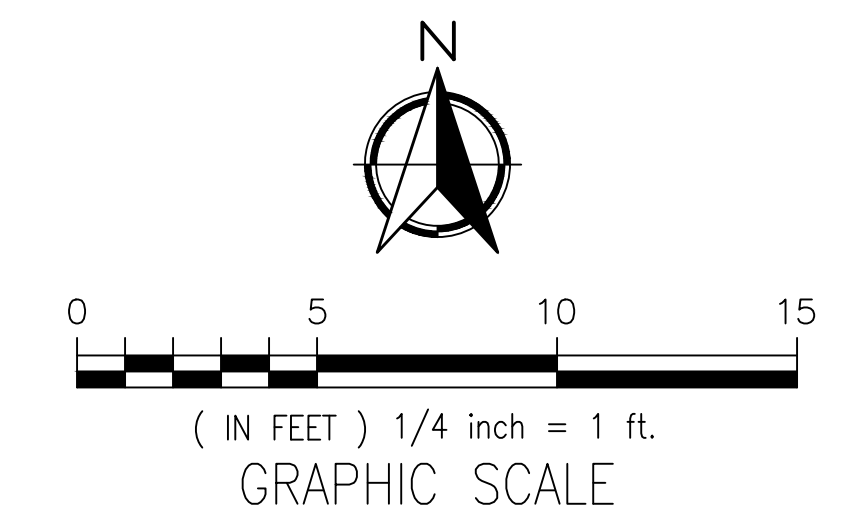


KEY NOTES

- 1 NEW WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 411.2
- 2 NEW BATHROOM SINK 36-INCH HIGH W/ OR W/O VANITY WITH STONE TOP AND BACKSLASH.
- 3 NEW MD GUARDRAILS OVER WOOD PICKETS @ 4-INCHES ON CENTER MAX.
- 4 GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD
- 5 GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT
- 6 INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES ANGLES TO THE TOP RAIL.
- 7 1/2" THRESHOLD AT ALL ENTRY DOORS
- 8 NEW 3/8" THK SAFETY GLASS INSTALL PER MANF. SPECS.
- 9 NICHE BELOW WINDOW
- 10 NEW BASE BOARD IS TO BE INSTALLED THROUGHOUT THE WHOLE HOUSE
- 11 NEW IRON GUARDRAIL & HAND RAIL
- 12 SKYLIGHT 24X24, SHOWN DASHED LINE
- 13 NEW 32" TRENCH DRAIN
- 14 NEW BENCH SEAT
- 15 NEW ARCHWAY
- 16 OMITTED
- 17 NEW SHOWER VALVES

LEGEND

- (N) WALL
- EXISTING WALLS TO REMAIN
- (N) DECKING



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REVISIONS:
 CLIENT REV. 23-09-28/2
 *CLIENT REV. 23-11-07/3

PROJECT:
 DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO.
 21-06

ISSUE:
 02-08-2021
 10-06-2022

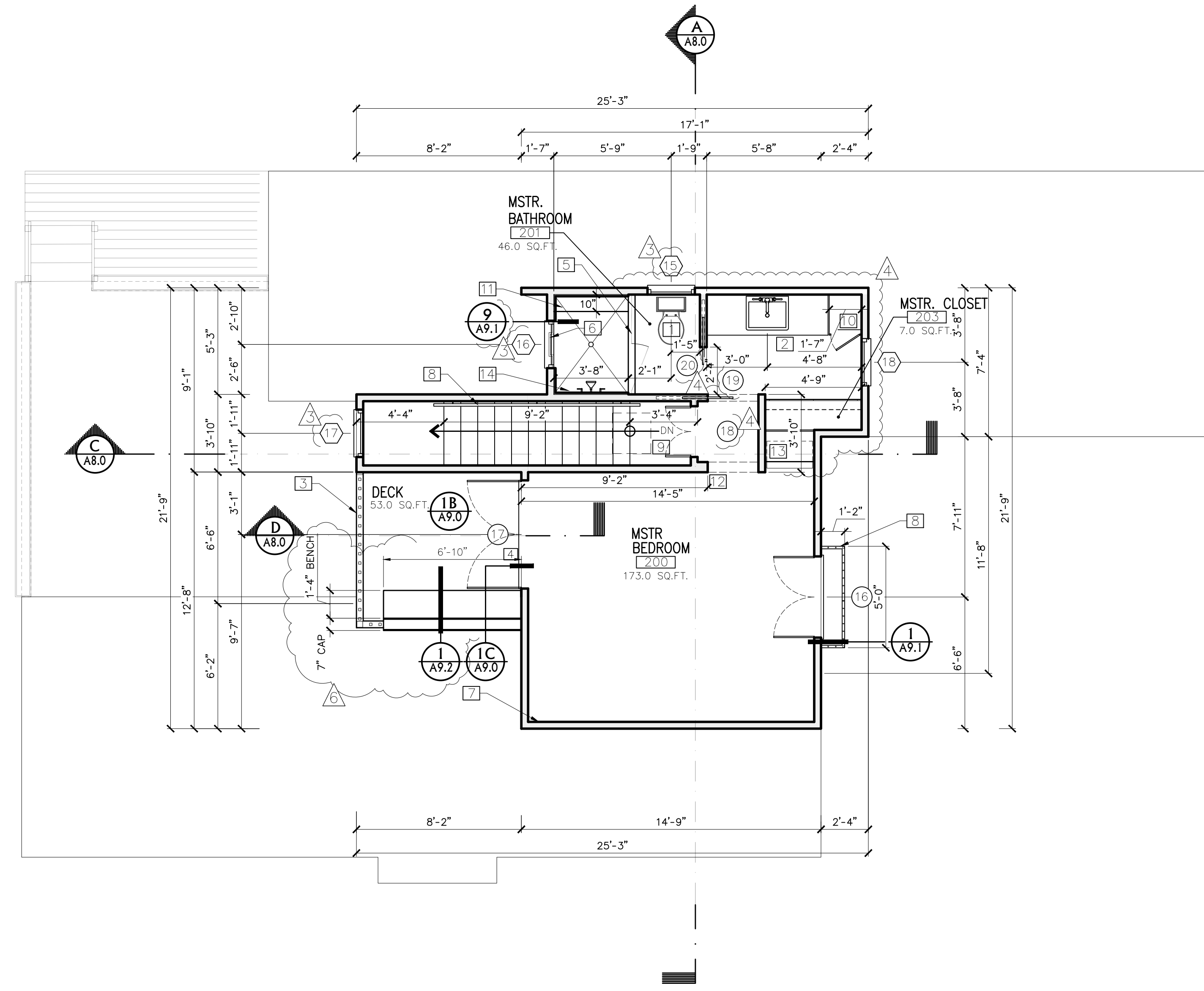
DRAWN BY:
 D. Santona

UPPER FLOOR PLAN (EXISTING) PREVIOUSLY APPROVED PLANNING #22315

SCALE: 1" = 1/4"

A2.2

REVISED PLANNING #24128



KEY NOTES

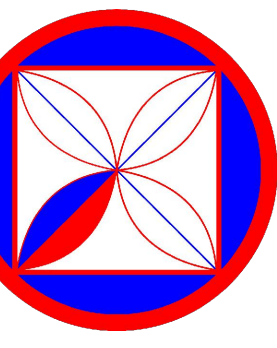
- 1 NEW WATER CLOSET. TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 411.2
- 2 NEW BATHROOM SINK 36-INCH HIGH W/ OR W/O VANITY WITH STONE TOP AND BACKSPLASH.
- 3 NEW WD GUARDRAILS OVER WOOD PICKETS @ 4-INCHES ON CENTER MAX.
- 1. GUARDRAILS TO WITHSTAND 50 LB. LATERAL LOAD PER LINEAL FOOT WHEN APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL-200 LB. CONCENTRATED LOAD
- 2. GUARDRAILS MINIMUM OF 42"-INCHES IN HEIGHT
- 3. INTERMEDIATE RAILING SPACED SO THAT 4"-INCH IN DIAMETER CANNOT PASS THROUGH AT RIGHT ANGLES TO THE TOP RAIL.
- 4 1/2" THRESHOLD AT ALL ENTRY DOORS
- 5 NEW 3/8" THK SAFETY GLASS INSTALL PER MANF. SPECS.
- 6 NICHE BELOW WINDOW
- 7 NEW BASE BOARD IS TO BE INSTALLED THROUGHOUT THE WHOLE HOUSE
- 8 NEW IRON GUARDRAIL & HAND RAIL
- 9 SKYLIGHT 24X24, SHOWN DASHED LINE
- 10 BUILT IN CABINET
- 11 NEW BENCH SEAT
- 12 NEW ARCHWAY
- 13 BUILT IN DRESSER
- 14 NEW SHOWER VALVES

LEGEND

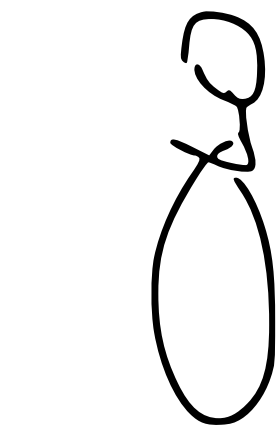
- (N) WALL
- EXISTING WALLS TO REMAIN
- (N) DECKING



(IN FEET) 1/4 inch = 1 ft.
 GRAPHIC SCALE



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REVISIONS:
 A CLIENT REV. 23-09-28
 B CLIENT REV. 23-11-07
 C CLIENT REV. 24-01-09
 D CLIENT REV. 24-04-13

PROJECT:
 DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO. 21-06

ISSUE:
 02-08-2021
 10-06-2022

DRAWN BY:
 D.Santana

UPPER
 FLOOR PLAN
 (PROPOSED)
 PLANNING #24128
 REVISED

SCALE: 1" = 1/4"

A2.3

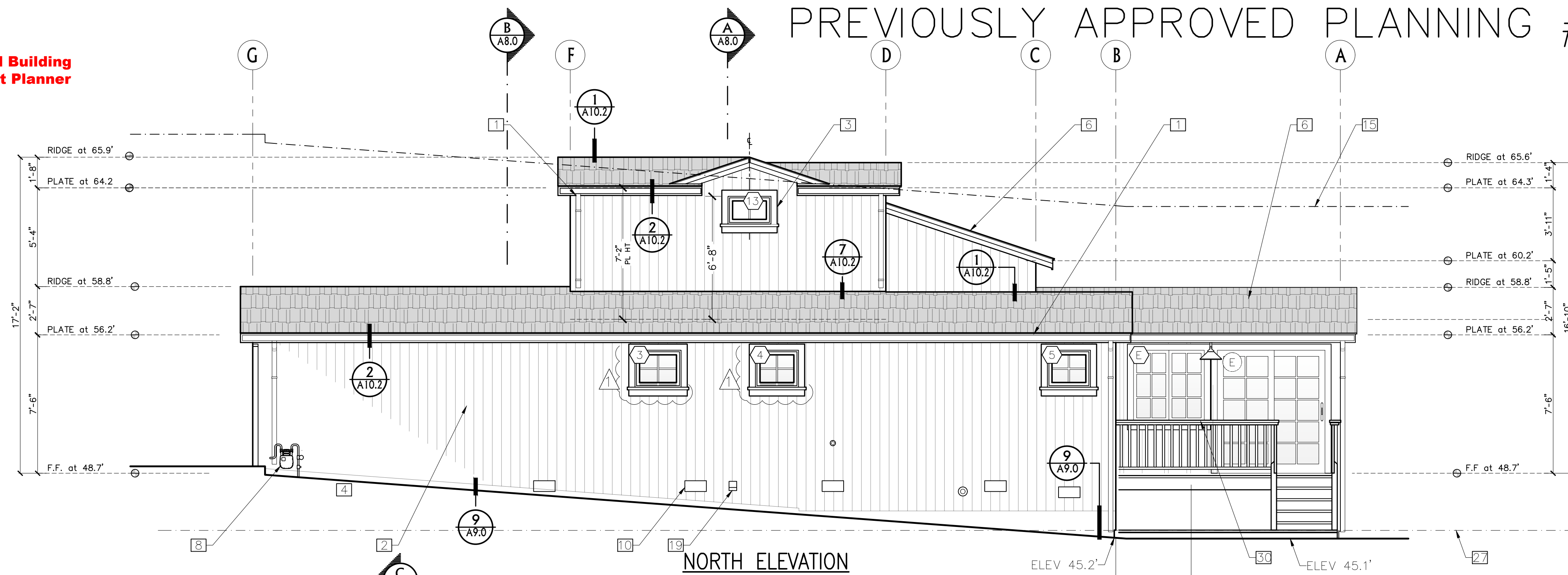
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PREVIOUSLY APPROVED PLANNING #22315

KEY NOTES

- | | |
|--|---------------------------------|
| 1 NEW ALUMINUM DOWNSPOUTS & GUTTERS | 21 EXISTING CRAWL SPACE ACCESS |
| 2 NEW VERTICAL CEDAR WOOD SIDING | 22 NEW CRAWL SPACE ACCESS |
| 3 NEW DOOR & WINDOWS (WOOD CLAD) | 23 EXISTING 125 VOLT RECEPTACLE |
| 4 EXISTING GRADE WHERE OCCURS | 24 NEW DECORATIVE WOOD SHUTTER |
| 5 EXISTING WATER SPIGOT | 25 NEW DECORATIVE FLOWER BOX |
| 6 ROOF: 4:12 PITCH, CERTAINTED, PRESIDENTIAL TL | 26 OMITTED |
| 7 NEW EXTENDED WOOD DECK TO MATCH EXISTING | 27 AVERAGE NATURAL GRADE 45.6FT |
| 8 EXISTING GAS METER | 28 NEW 24X24 SKYLIGHT |
| 9 EXISTING MAIN ELEC. PANEL | 29 NEW WROUGHT IRON GUARDRAIL |
| 10 EXISTING CRAWL SPACE VENTS | 30 EXISTING WD DECK & GUARDRAIL |
| 11 NEW WOOD GUARDRAIL-42" HIGH MIN. | |
| 12 EXISTING BRICK STEP | |
| 13 NEW 8X8 WOOD COLUMN | |
| 14 NEW DIRECT VENT 12" MIN TO BOTTOM OF VENT. CAP. | |
| 15 18-FT HEIGHT LIMIT SHOWN DASH-DOT LINE | |
| 16 EXISTING CRAWL SPACE VENTS | |
| 17 EXISTING SKYLIGHT | |
| 18 EXISTING TANKLESS WATER HEATER | |
| 19 NEW DRYER VENT | |
| 20 EXISTING CLEAN OUT | |

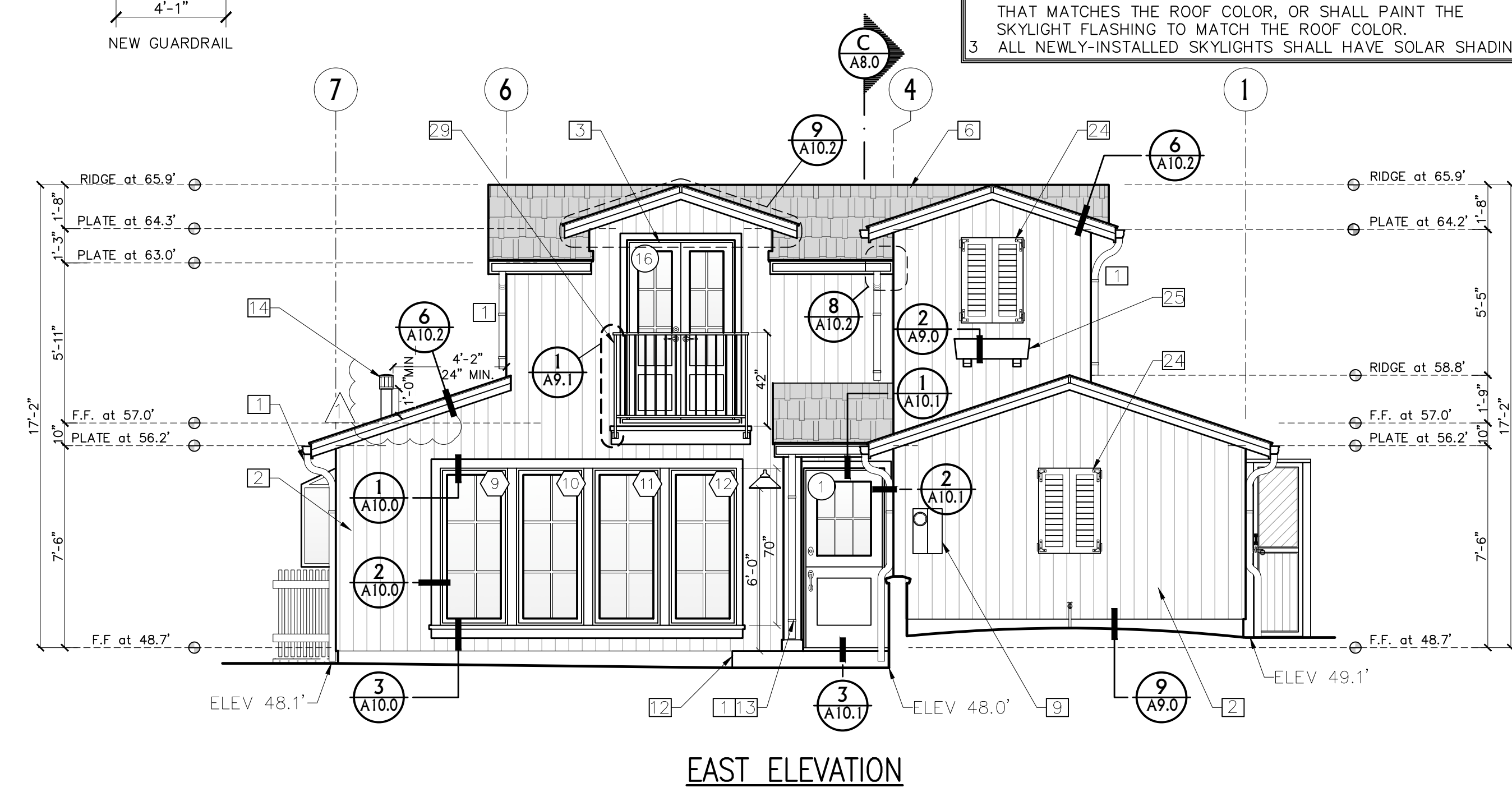
NOTE:
 1 ALL NEW SKYLIGHTS SHALL USE NON-REFLECTIVE GLASS TO MINIMIZE THE AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES.
 2 THE APPLICANT SHALL INSTALL SKYLIGHTS WITH FLASHING THAT MATCHES THE ROOF COLOR, OR SHALL PAINT THE SKYLIGHT FLASHING TO MATCH THE ROOF COLOR.
 3 ALL NEWLY-INSTALLED SKYLIGHTS SHALL HAVE SOLAR SHADING



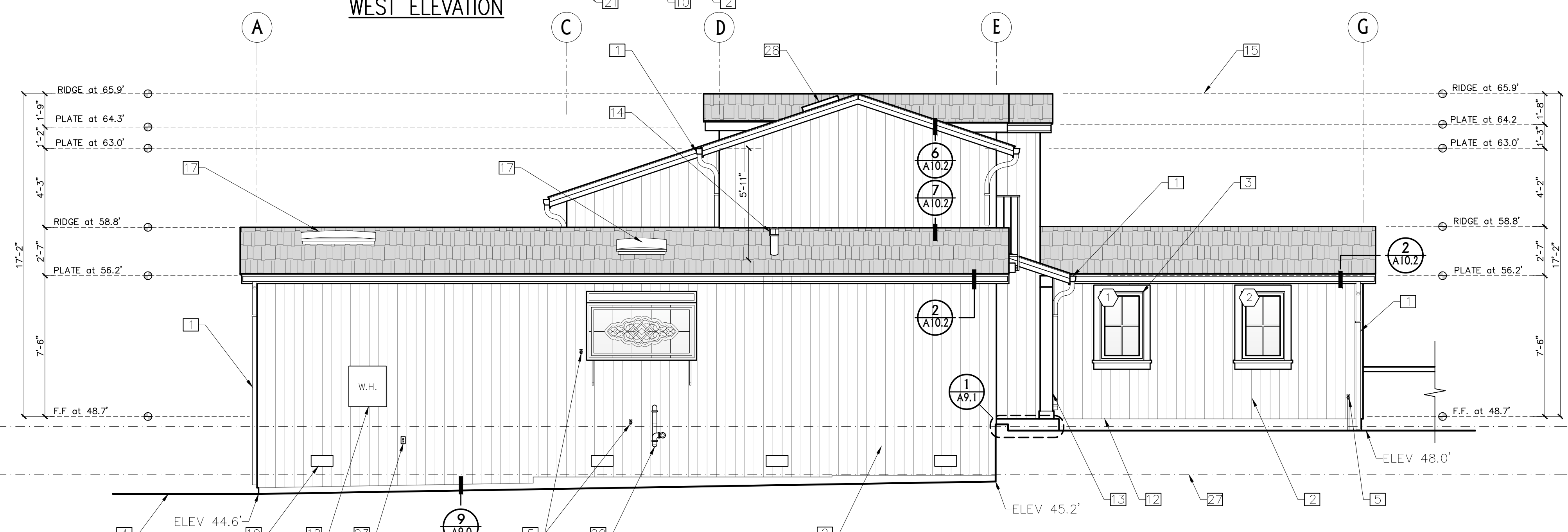
NORTH ELEVATION



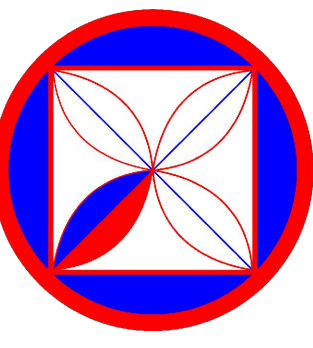
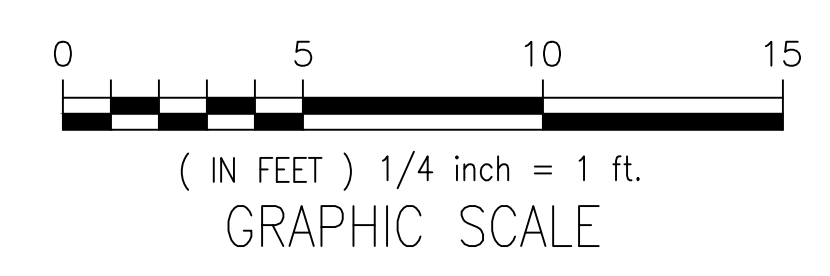
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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 WWW.CODGNC.COM

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REVISIONS:
 PLUNG 23-07-10

PROJECT:
 DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO.
 21-06

ISSUE:
 04-25-23
 DRAWN BY:
 D.Santana

ELEVATIONS
 (EXISTING)
 PREVIOUSLY
 APPROVED PLANNING #22315

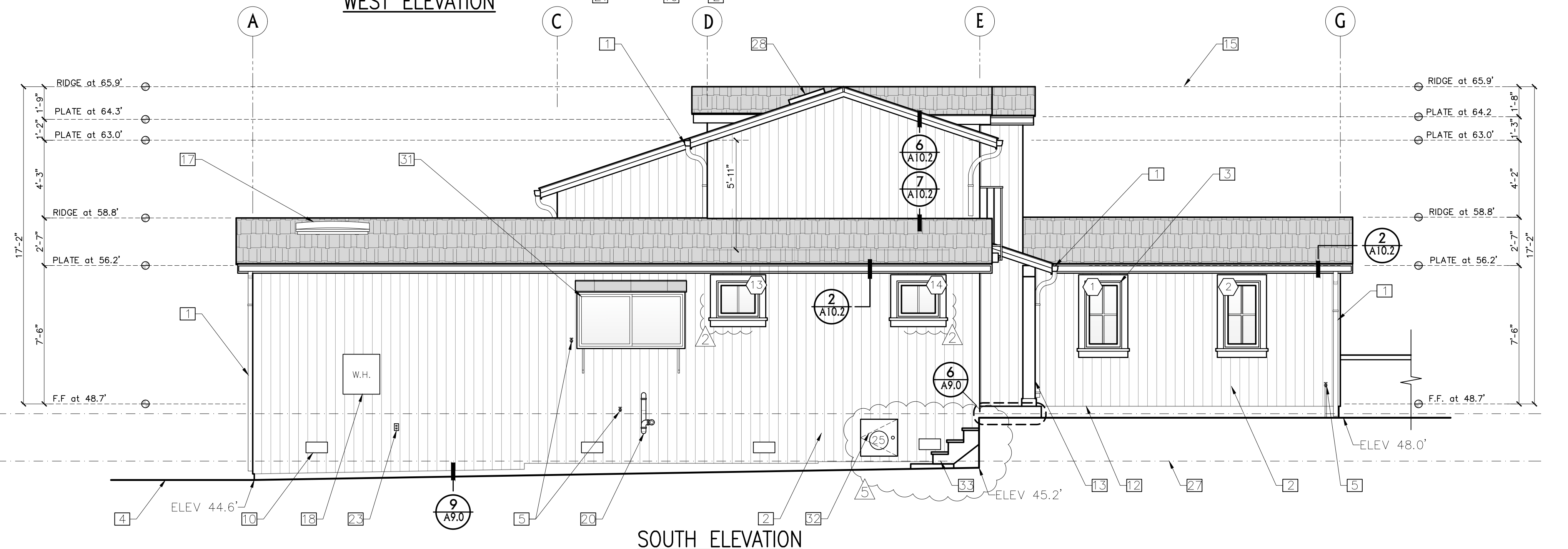
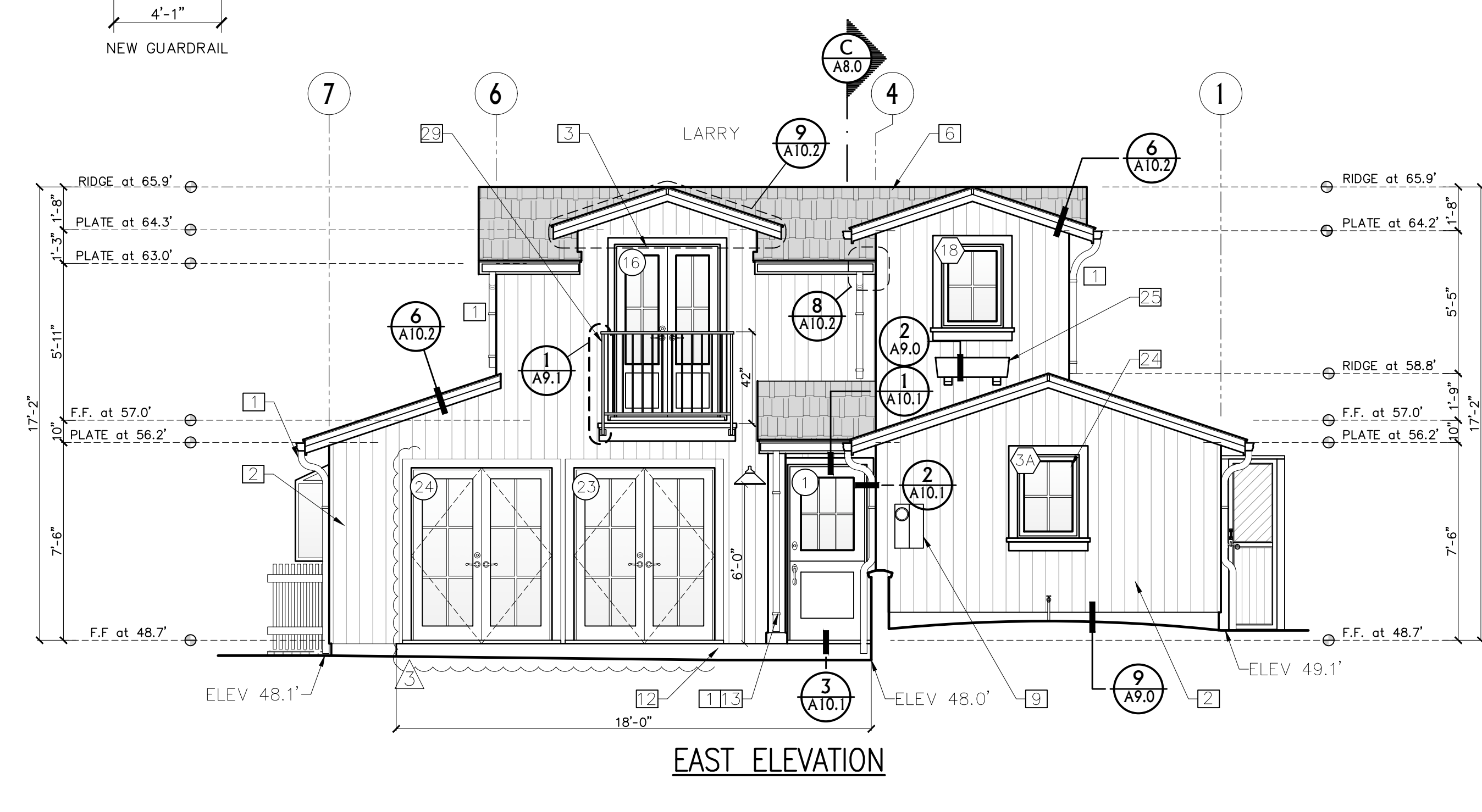
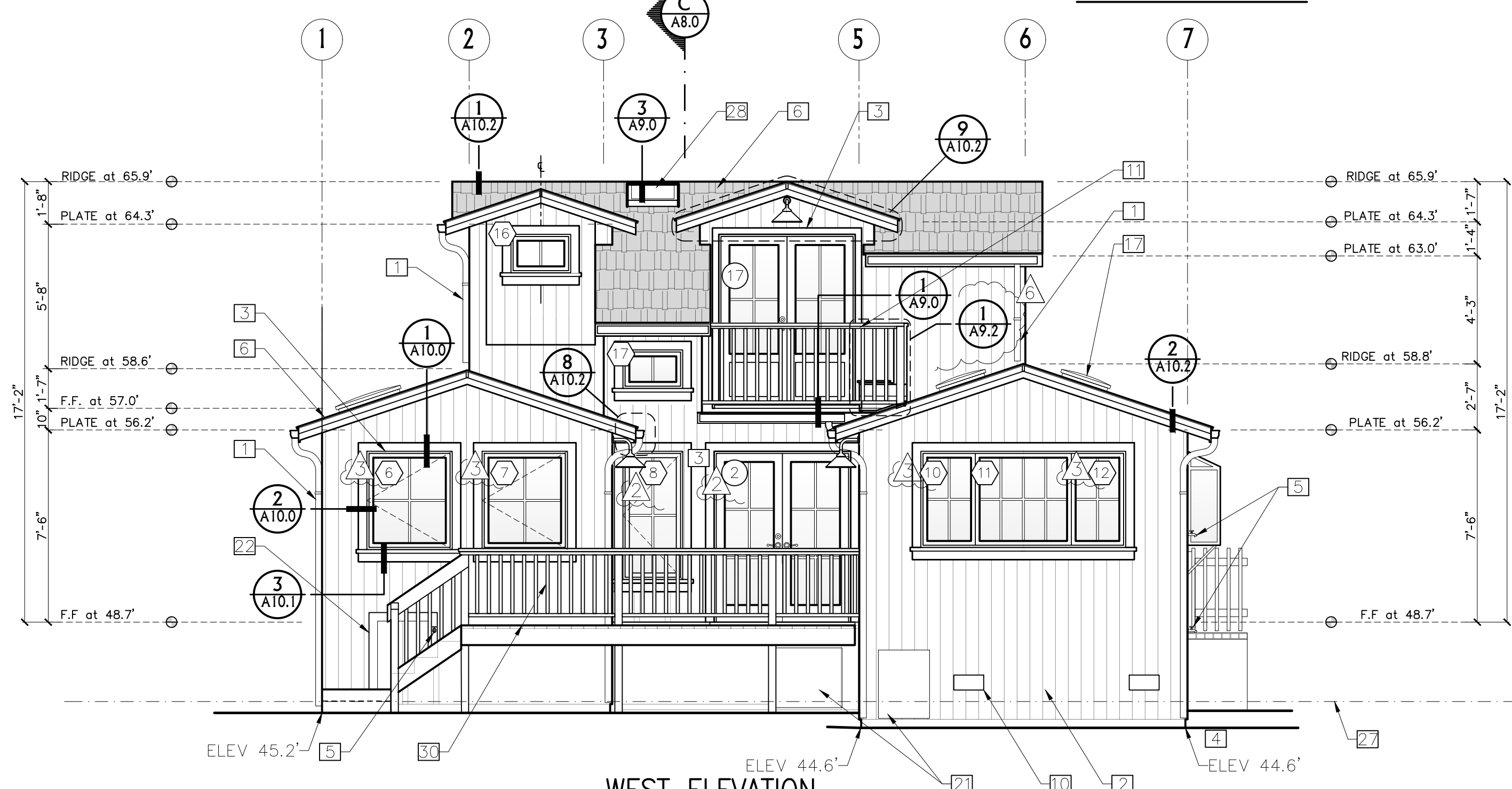
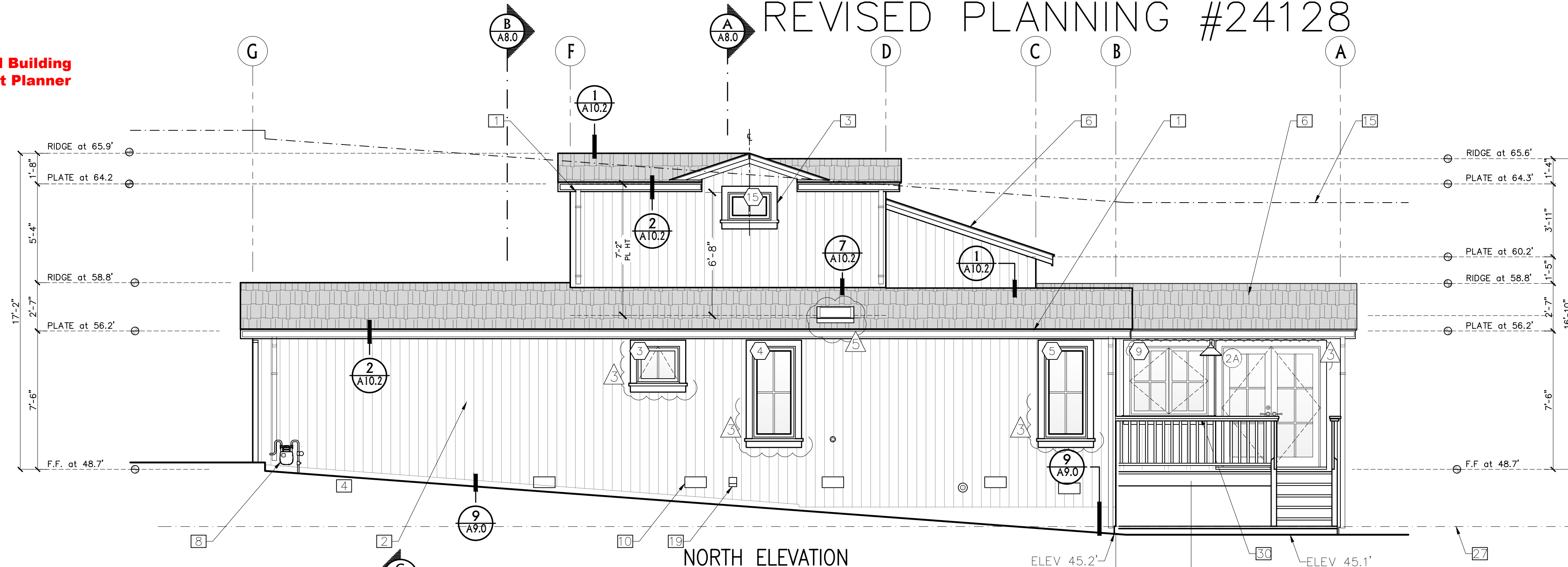
SCALE: 1" = 1/4"

A3.0

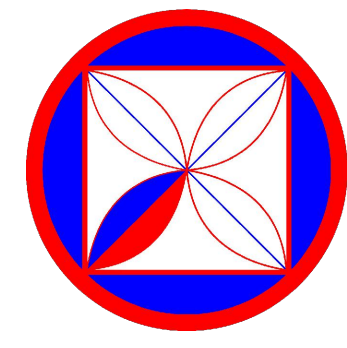
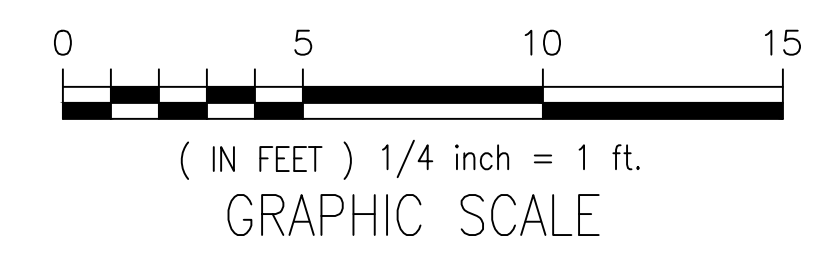
REVISED PLANNING #24128

KEY NOTES

- | | |
|---|--|
| 1 NEW ALUMINUM DOWNSPOUTS & GUTTERS | 21 EXISTING CRAWL SPACE ACCESS |
| 2 NEW VERTICAL CEDAR WOOD SIDING | 22 NEW CRAWL SPACE ACCESS |
| 3 NEW DOOR & WINDOWS (WOOD CLAD) | 23 EXISTING 125 VOLT RECEPTACLE |
| 4 EXISTING GRADE WHERE OCCURS | 24 OMITTED |
| 5 EXISTING WATER SPIGOT | 25 NEW DECORATIVE FLOWER BOX |
| 6 ROOF: 4:12 PITCH, CERTAINTED, PRESIDENTIAL TL | 26 OMITTED |
| 7 NEW EXTENDED WOOD DECK TO MATCH EXISTING | 27 AVERAGE NATURAL GRADE 45.6FT |
| 8 EXISTING GAS METER | 28 NEW 24X24 SKYLIGHT |
| 9 EXISTING MAIN ELEC. PANEL | 29 NEW WROUGHT IRON GUARDRAIL |
| 10 EXISTING CRAWL SPACE VENTS | 30 EXISTING WD DECK & GUARDRAIL |
| 11 NEW WOOD GUARDRAIL-42" HIGH MIN. | 31 NEW POP OUT WINDOW W/ COUNTRY GRAY ASPHALT ROOF |
| 12 NEW CONC STEP | 32 24" x24" CRAWL SPACE DOOR |
| 13 NEW 8X8 WOOD COLUMN | 33 NEW SOUTH STEPS- 7 SQ.FT. |
| 14 OMITTED | |
| 15 18-FT HEIGHT LIMIT SHOWN DASH-DOT LINE | |
| 16 EXISTING CRAWL SPACE VENTS | |
| 17 EXISTING SKYLIGHT | |
| 18 EXISTING TANKLESS WATER HEATER | |
| 19 NEW DRYER VENT | |
| 20 EXISTING CLEAN OUT | |



NOTE:
 1 ALL NEW SKYLIGHTS SHALL USE NON-REFLECTIVE GLASS TO MINIMIZE THE AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES.
 2 THE APPLICANT SHALL INSTALL SKYLIGHTS WITH FLASHING THAT MATCHES THE ROOF COLOR, OR SHALL PAINT THE SKYLIGHT FLASHING TO MATCH THE ROOF COLOR.
 3 ALL NEWLY-INSTALLED SKYLIGHTS SHALL HAVE SOLAR SHADING



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 CLIENT REV. 23-11-10
 CLIENT REV. 24-01-09
 CLIENT REV. 24-03-27

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ELEVATIONS (PROPOSED)
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SCALE: 1" = 1/4"
A3.1

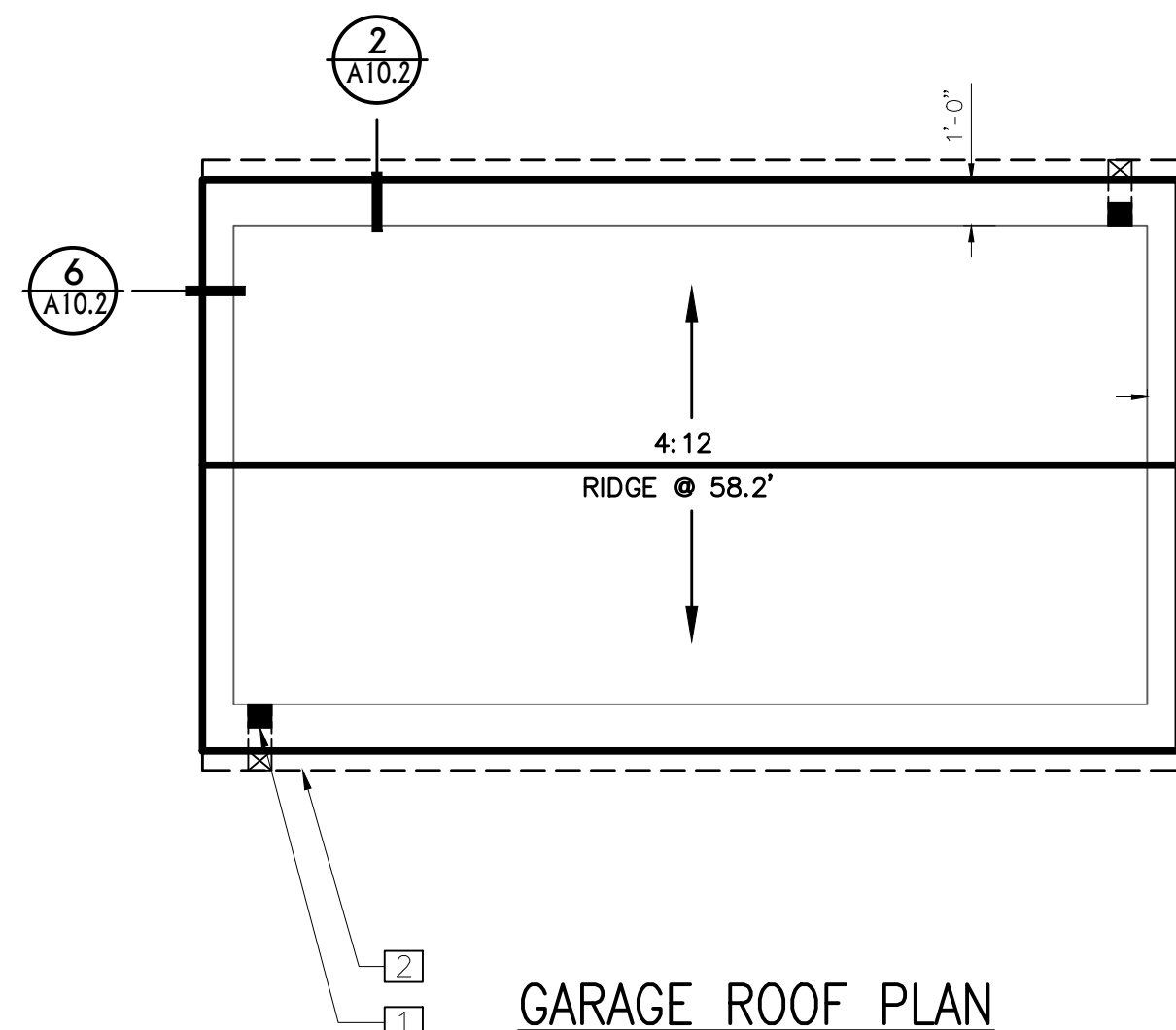
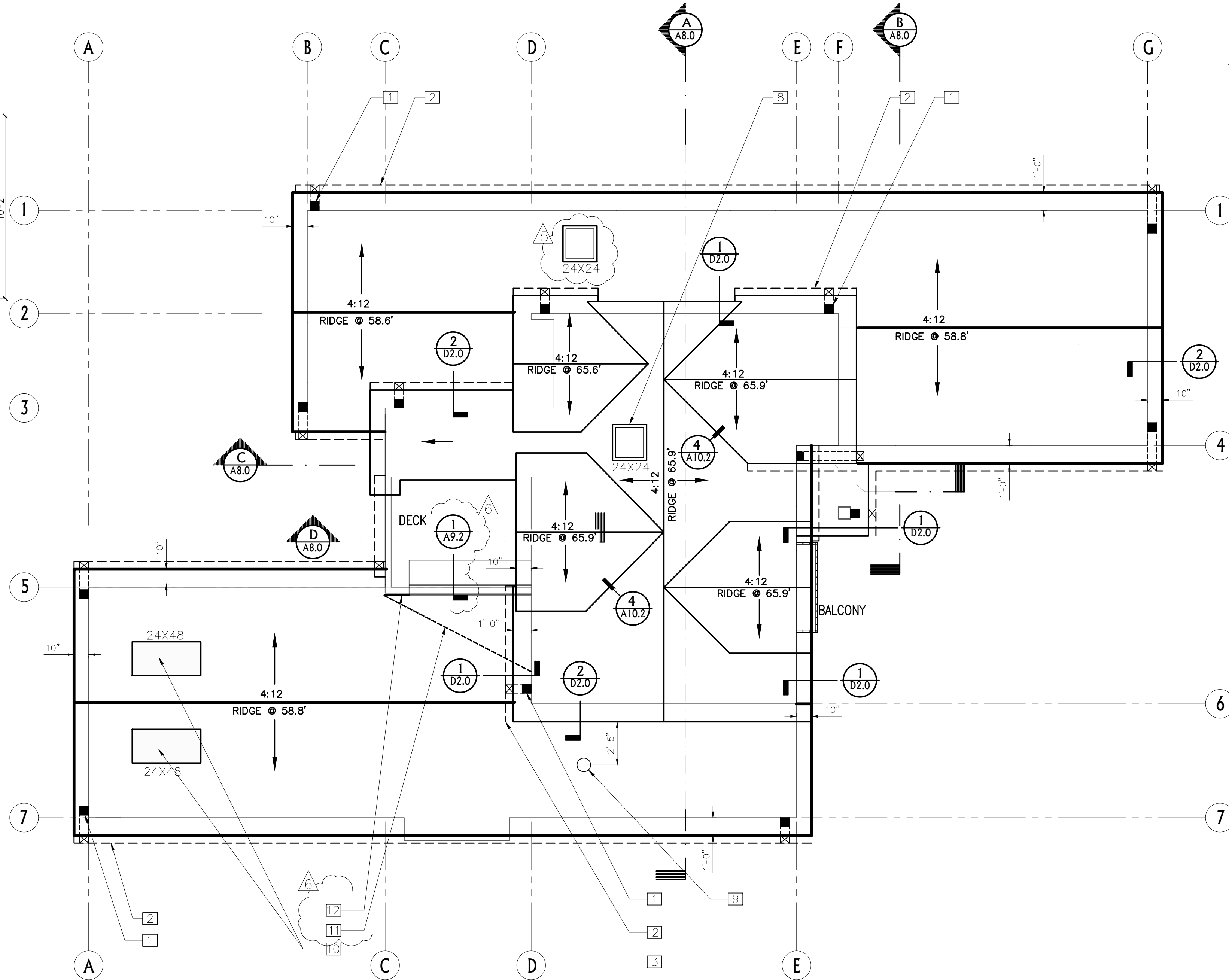
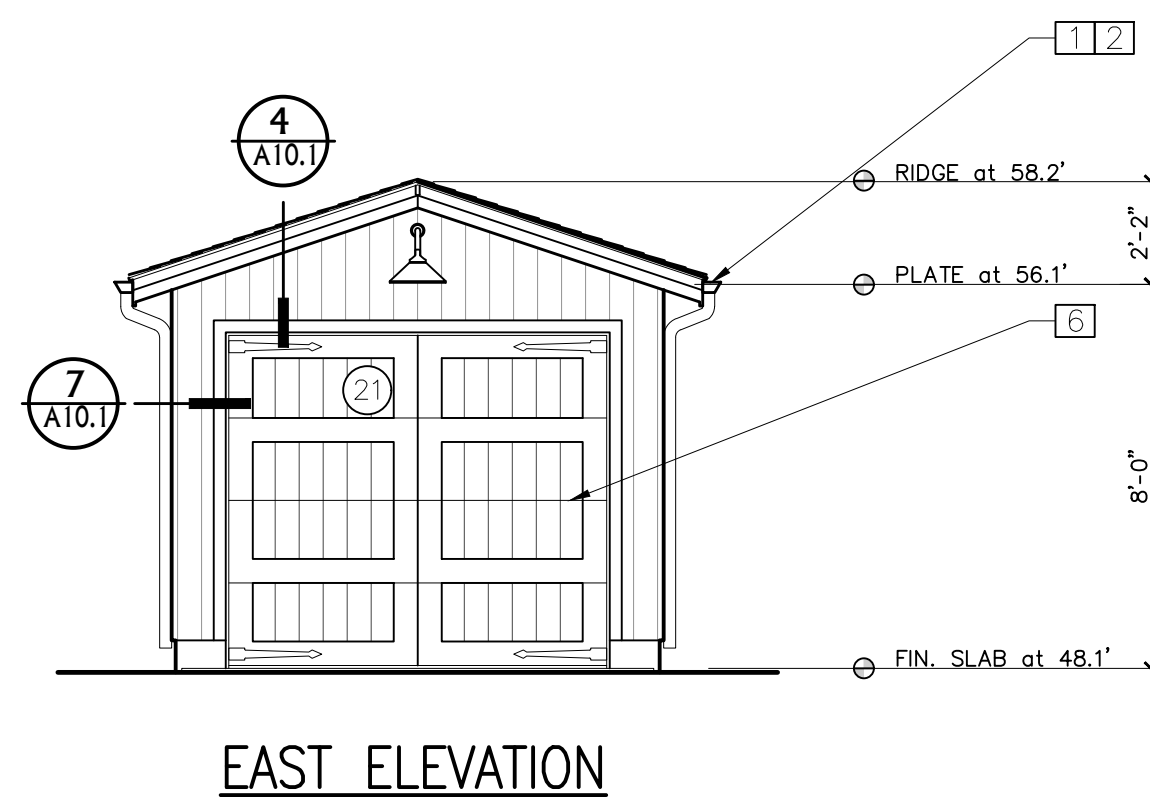
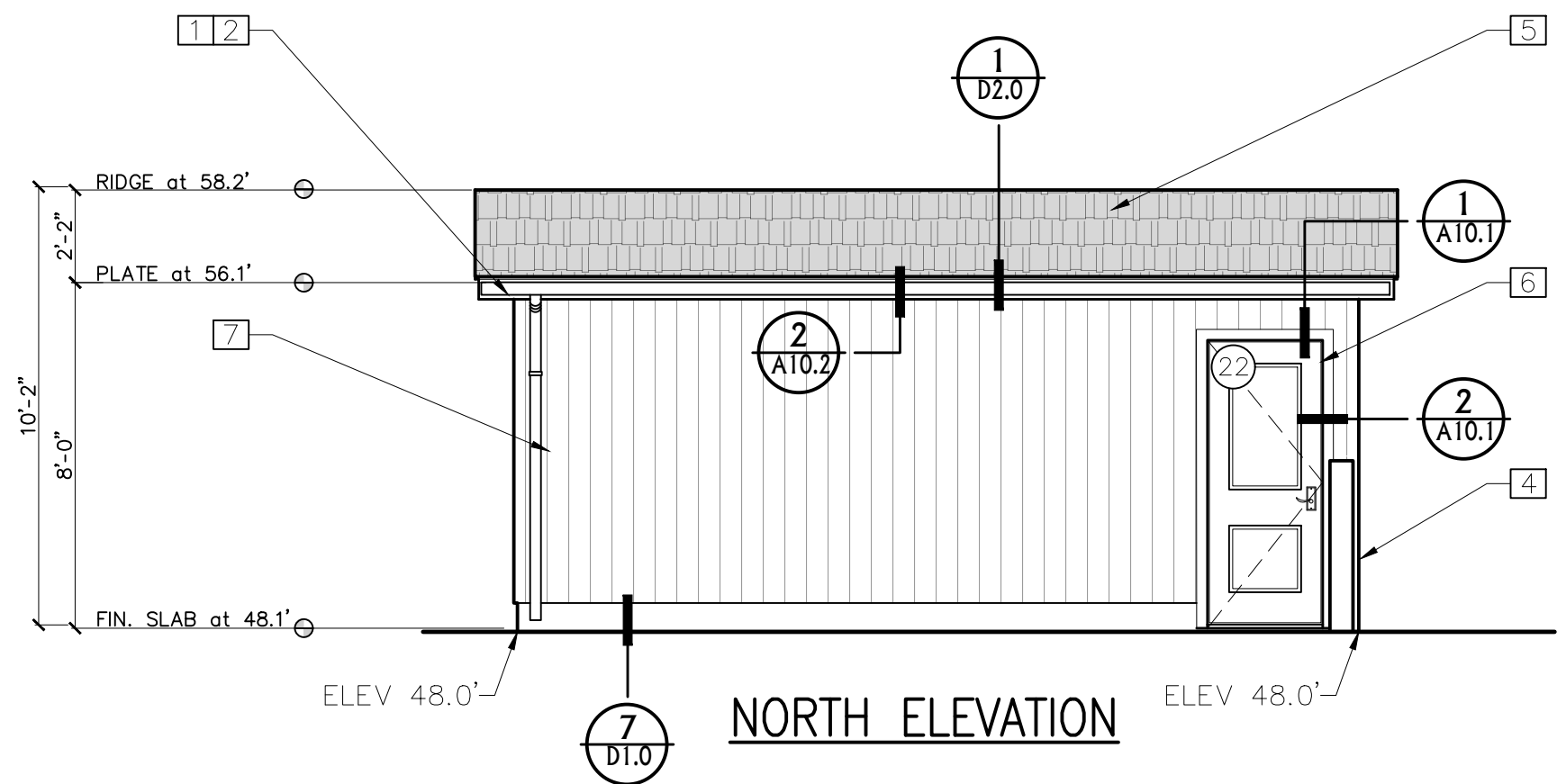
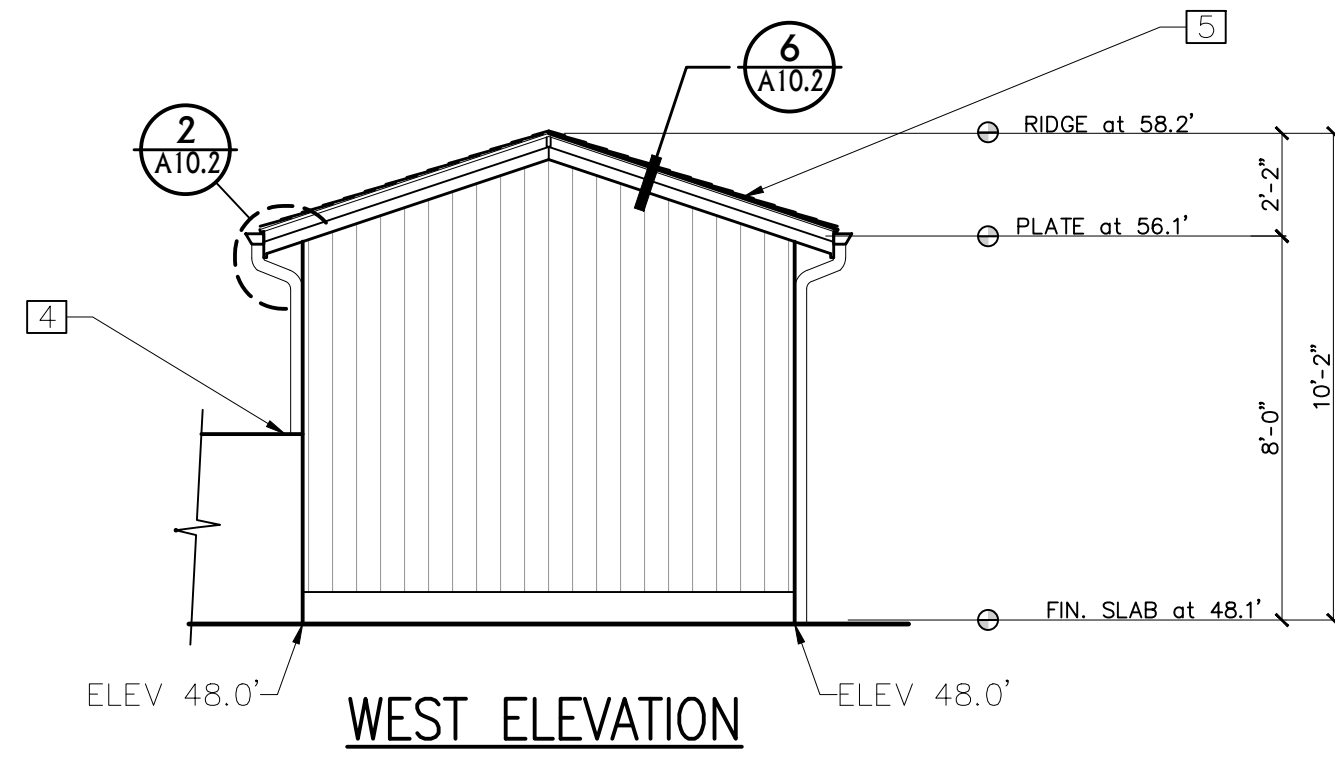
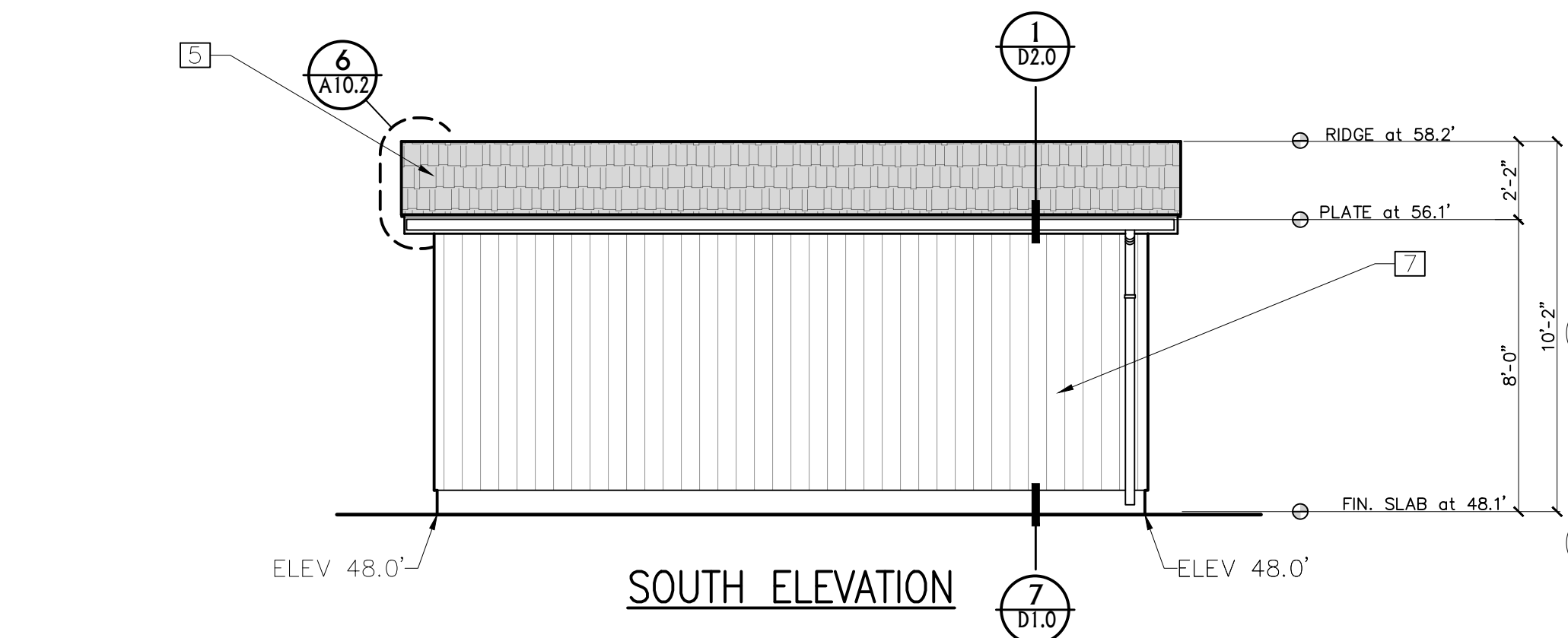
REVISED PLANNING #24128

KEY NOTES

- 1 NEW ALUMINUM DOWNSPOUTS
- 2 NEW ALUMINUM GUTTERS W/ 2% SLOPE
- 3 EXISTING SKYLIGHT
- 4 NEW STONE WALL
- 5 ROOFING: CERTAINTED, PRESIDENTIAL TL
- 6 NEW ROLL-UP WOOD CARRIAGE GARAGE DOOR
- 7 NEW WOOD SHINGLE SIDING
- 8 NEW 24X24 SKYLIGHT
- 9 NEW DIRECT VENT-24" MIN CLEARANCE TO COMBUSTIBLE MATERIAL
- 10 EXISTING 24X48 SKYLIGHT
- 11 COPPER CRICKET, 2% SLOPE TO GUTTERS
- 12 2-INCH FLANGE TO DIVERT WATER AWAY FROM ROOF BALCONY

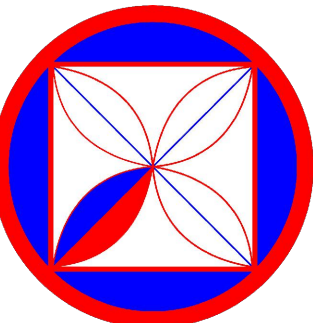
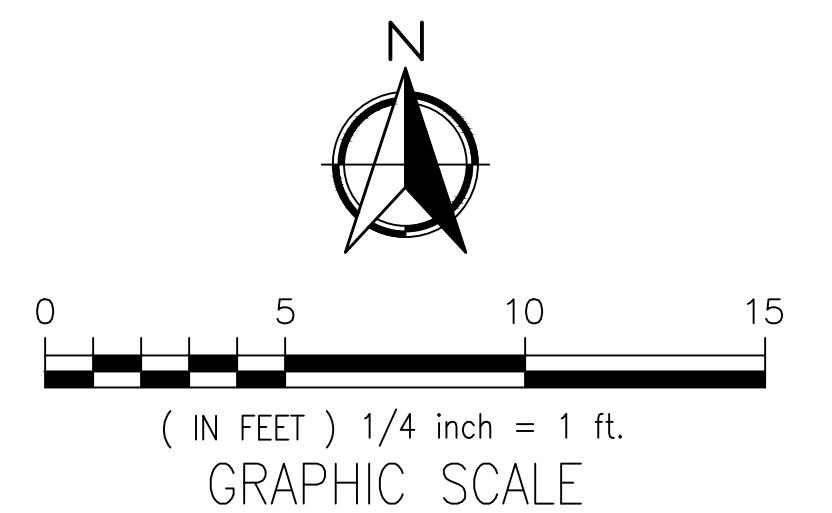
LEGEND

- SLOPE DIRECTION
- ROOF LINE: EXISTING
- BUILDING FOOTPRINT
- GUTTERS
- DOWNSPOUTS W/2% SLOPE
- SKYLIGHT

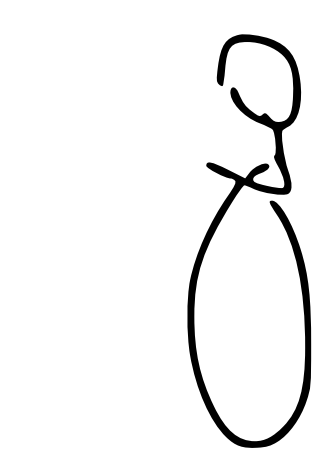


SKYLIGHT DETAIL

NOTE: SKYLIGHT SHOULD BE FLAT, AND THE FLASHING SHOULD MATCH THE ROOF COLOR; THEY SHOULD HAVE NON-REFLECTIVE GLASS AND BE EQUIPPED WITH AN INTERIOR SHADE THAT CAN BE PULLED ACROSS THE SKYLIGHT TO PREVENT GLARE TO NEIGHBORING PROPERTIES.



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REVISIONS:
 1 P.LING 23-07-10
 2 CLIENT REV. 24-03-27
 3 CLIENT REV. 24-04-13

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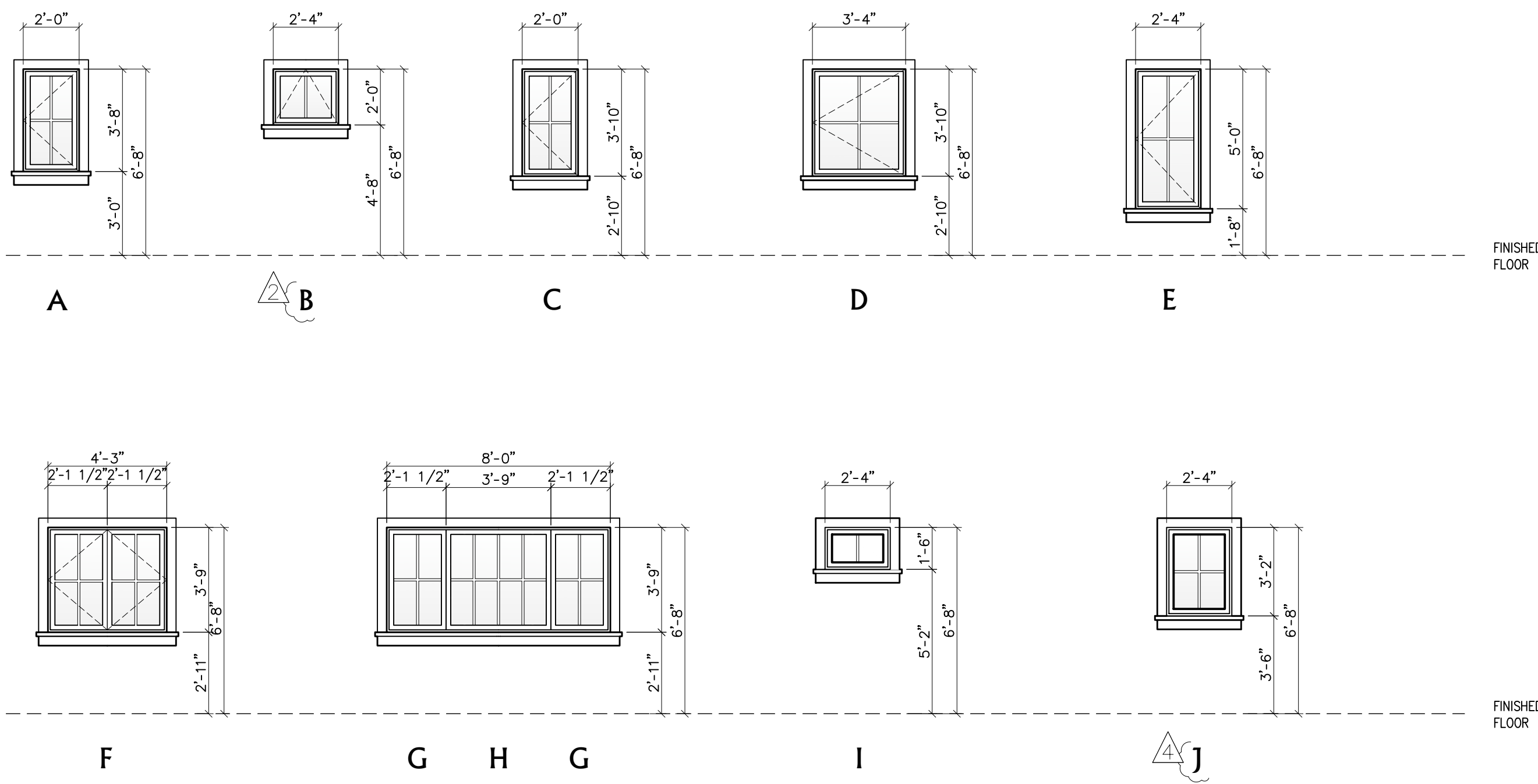
ISSUE:
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DRAWN BY:
 D.Santana

ROOF PLANS & GARAGE ELEVATIONS (PROPOSED) REVISED PLANNING #24128

SCALE: 1" = 1/4"

A3.2

Window Elevation Types



Door Elevation Types



Window Schedule

	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
MAIN LEVEL	1	BEDROOM ONE	A	2'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	NO	YES	YES	YES
	2	BEDROOM ONE	A	2'-0" X 3'-8"	FF	CASEMENT	WOOD-CLAD	NO	YES	YES	YES
	3	BATH ONE	B	2'-4" X 2'-0"	FF	AWNING	WOOD-CLAD	YES	YES	YES	NO
	3A	BEDROOM ONE	J	2'-4" X 3'-2"	FF	AWNING	WOOD-CLAD	YES	YES	YES	NO
	4	CORRIDOR	C	2'-0" X 3'-10"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	5	BEDROOM TWO	C	2'-0" X 3'-10"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	6	BEDROOM TWO	D	3'-4" X 3'-10"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	7	BEDROOM TWO	D	3'-4" X 3'-10"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	8	STAIRS	E	2'-4" X 5'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	9	DINING	F	(2) PER 2'-1 1/2" X 3'-9"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	10	DINING	G	2'-1 1/2" X 3'-9"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	11	DINING	H	3'-9" X 3'-9"	FF	FIXED	WOOD-CLAD	YES	YES	NO	NO
	12	DINING	G	2'-1 1/2" X 3'-9"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	13	LIVING ROOM	B	2'-4" X 2'-0"	FF	AWNING	WOOD-CLAD	NO	YES	YES	NO
14	LIVING ROOM	B	2'-4" X 2'-0"	FF	AWNING	WOOD-CLAD	NO	YES	YES	NO	
UPPER LEVEL	15	MASTER BATH	I	2'-4" X 1'-6"	FF	AWNING	WOOD-CLAD	YES	YES	YES	NO
	16	MASTER BATH	I	2'-4" X 1'-6"	FF	AWNING	WOOD-CLAD	YES	YES	YES	NO
	17	STAIRS	I	2'-4" X 1'-6"	FF	AWNING	WOOD-CLAD	YES	YES	YES	NO
	18	MASTER BATH	J	2'-4" X 3'-2"	FF	AWNING	WOOD-CLAD	YES	YES	YES	NO

FOYER

GLASS / paneled FRENCH DOOR

Door Schedule

	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
MAIN LEVEL	1	ENTRY	A	3'-0" X 6'-8"	P	GLASS / paneled	WOOD	NO	YES
	2	LIVING ROOM	B	(2) PER- 2'-8" X 6'-8"	FF	GLASS / paneled FRENCH DOOR	WOOD-CLAD	NO	YES
	2A	DINING ROOM	B1	(2) PER- 3'-0" X 6'-8"	FF	GLASS / SLIDER	WOOD	NO	NO
	3	BEDROOM TWO	C	2'-6" X 6'-8"	P	FLUSHED / paneled DOOR	WOOD	NO	NO
	4	CLOSET TWO	D	(2) PER- 2'-0" X 6'-8"	P	FLUSHED / SLIDER / paneled DOOR	WOOD	NO	NO
	5	BATH ONE	C	2'-6" X 6'-8"	P	FLUSHED / paneled DOOR 1-3/4" THK	WOOD	NO	NO
	6	BATH ONE (Pocket Door)	H	2'-6" X 6'-8"	P	FLUSHED / paneled DOOR / POCKET	WOOD	NO	NO
	7	OMITTED							
	8	POWDER ROOM	C	2'-6" X 6'-8"	P	FLUSHED / paneled DOOR 1-3/4" THK	WOOD	NO	NO
	9	LAUNDRY	E	(2) PER- 2'-0" X 6'-8"	P	LOUVERED DOOR	WOOD	NO	NO
	10	CLOSET	F	(2) PER- 1'-4" X 6'-8"	P	FLUSHED / paneled DOOR	WOOD	NO	NO
	11	BEDROOM ONE	C	2'-6" X 6'-8"	P	FLUSHED / paneled DOOR 1-3/4" THK	WOOD	NO	NO
	12	BEDROOM ONE	G	(2) PER- 1'-9" X 6'-8"	P	FLUSHED / paneled / BI-FOLDING DOOR	WOOD	NO	NO
	13	BEDROOM ONE	G	(2) PER- 1'-9" X 6'-8"	P	FLUSHED / paneled / BI-FOLDING DOOR	WOOD	NO	NO
14	OMITTED								
UPPER LEVEL	15	KITCHEN (Pocket Door)	H	2'-6" X 6'-8"	P	FLUSHED / paneled DOOR / POCKET	WOOD	NO	NO
	16	MASTER BEDROOM	I	(2) PER- 2'-0" X 6'-8"	FF	GLASS / paneled FRENCH DOOR	WOOD-CLAD	NO	NO
	17	MASTER BEDROOM	J	(2) PER- 2'-8" X 6'-8"	FF	GLASS / paneled FRENCH DOOR	WOOD-CLAD	NO	NO
	18	MASTER BEDROOM	F1	(2) PER 1'-3" X 6'-8"	P	FLUSHED / paneled DOOR	WOOD	NO	NO
	19	MASTER BATHROOM (Pocket Door)	H	2'-6" X 6'-8"	P	FLUSHED / paneled DOOR / POCKET	WOOD	NO	NO
	20	MASTER BATHROOM (Pocket Door)	H1	2'-4" X 6'-8"	P	FLUSHED / paneled DOOR / POCKET	WOOD	NO	NO
	21	GARAGE	N	8'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	WOOD	NO	NO
	22	GARAGE	L	2'-8" X 6'-8"	FF	FLUSHED / paneled DOOR	WOOD-CLAD	NO	NO
	23	LIVING ROOM	B	(2) PER- 2'-8" X 6'-8"	FF	GLASS / paneled FRENCH DOOR	WOOD-CLAD	NO	NO
	24	LIVING ROOM	B	(2) PER- 2'-8" X 6'-8"	FF	GLASS / paneled FRENCH DOOR	WOOD-CLAD	NO	NO
	25	CRAWL SPACE DOOR	O	2'-0" X 2'-0"	FF	FLUSHED / paneled DOOR	WOOD	NO	NO

Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5Hx4.5W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS SPECIFIED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS, AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED PER 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

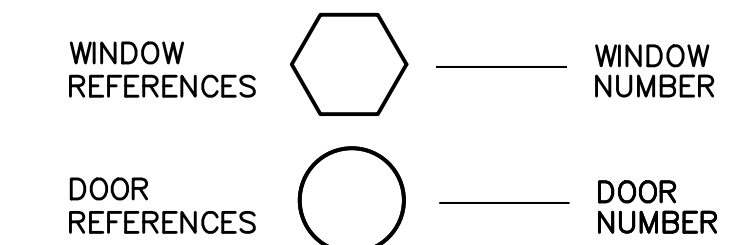
Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

Tempered Glass Note:

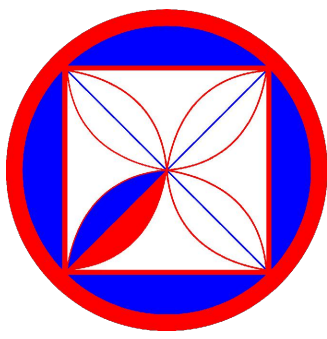
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - GLAZING IN GUARDS AND RAILINGS.
 - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - GLAZING ADJACENT TO STAIRS AND RAMPS.

Symbols



Abbreviations

- N/A NOT APPLICABLE
- G.C. GENERAL CONTRACTOR
- P PAINT
- ST STAIN
- FF FACTORY FINISH
- I.D. INTERIOR DESIGN
- S SEALED
- MFR. MANUFACTURER
- FIN. FINISH
- NAT. NATURAL



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 DRAWN BY:
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WINDOW & DOOR
 SCHEDULE
 (PROPOSED) REVISED
 PLANNING #24128

SCALE: 1/4" = 1'

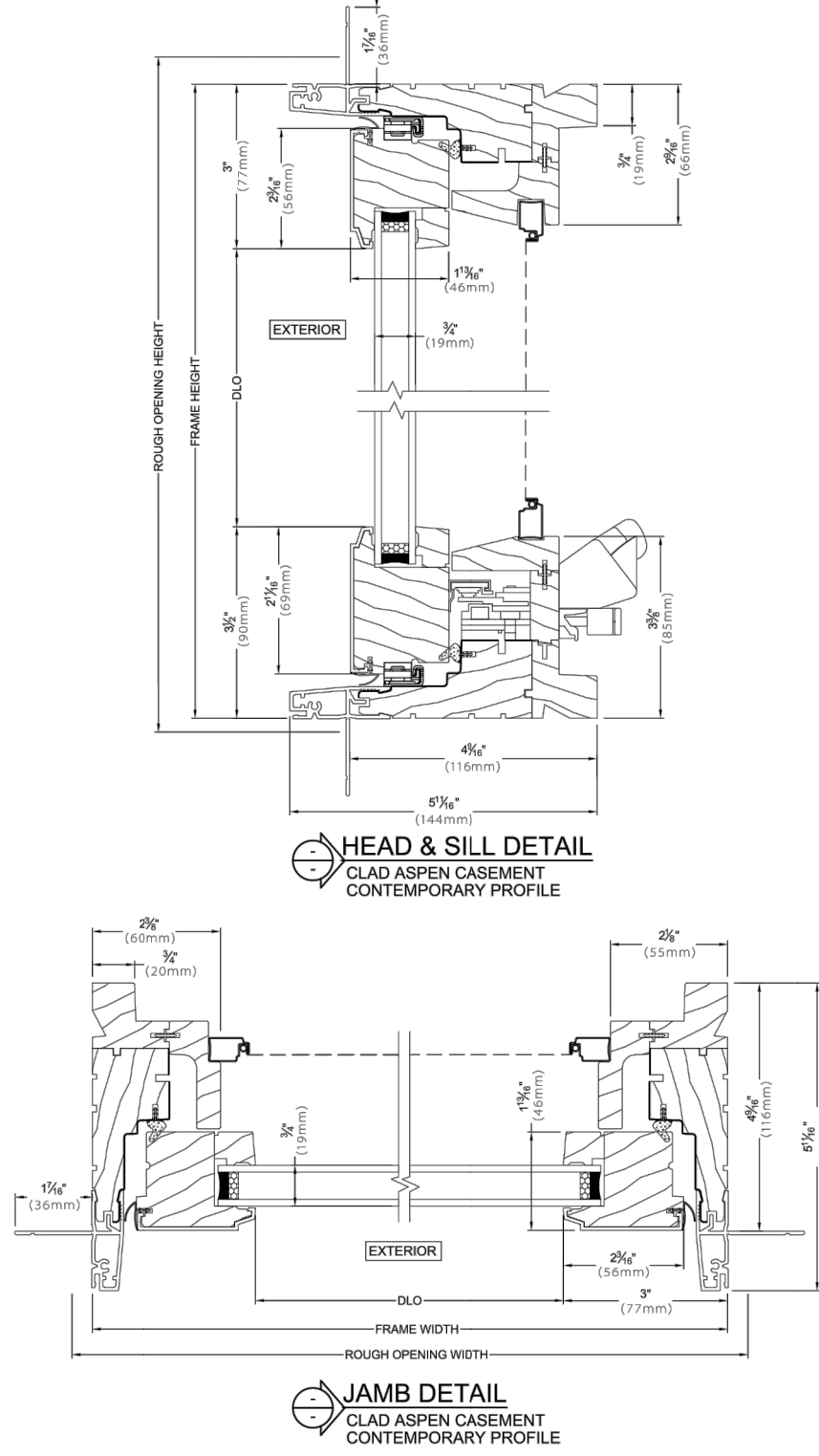
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PREVIOUSLY APPROVED PLANNING #22315

Clad Aspen Casement

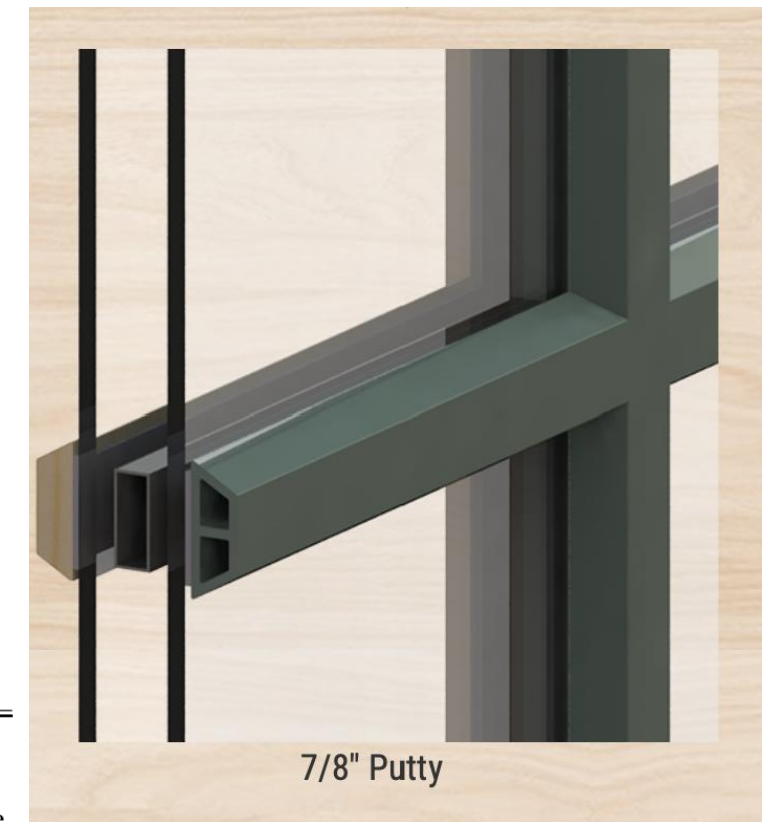
Scale: 4" = 1'

Operable
 4 9/16" JAMB



www.sierrapacificwindows.com
 800-824-7744

Updated: 11/18
 Note: Sierra Pacific Windows reserves the right to change specifications without notice.



WINDOW

MANUFACTURE: SIERRA PACIFIC
 MATERIAL: WOOD-CLAD
 MODEL: ASPEN
 MUNTIN: 7/8" PUTTY
 COLOR: DEEP TAUPE 077
 GLAZING: DOUBLE PANES



BULB

MANUFACTURE: PHILLIPS
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: B11 LED SOCKET



FIXTURE A

MANUFACTURE: HAMPTON BAY
 T24 COMPLIANT: YES
 COLOR: COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB
 DIMENSIONS: 16"H X 10.5"W X 11"



FIXTURE B

MANUFACTURE: WORLD IMPORTS
 T24 COMPLIANT: YES
 COLOR: ANTIQUE COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB
 DIMENSIONS: 16"H X 10.5"W

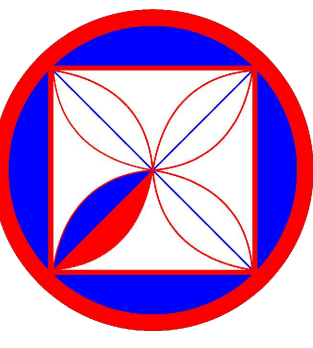


FIXTURE C

MANUFACTURE: WAC LEDme
 T24 COMPLIANT: N/A
 COLOR: BRONZE
 WATTS: 3.9 WATTS
 LUMENS: 68
 BULB TYPE: LED MODULE
 DIMENSIONS: 18"H X 8"W

EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
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CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 1000 S. GARDEN AVENUE, SUITE 100
 CARMEL, CA 93921
 OFFICE: 831.426.4144
 CLAUDIO@CODG.COM
 WWW.CODG.COM

THE SERVICES, SPECIFICATIONS, CONDITIONS AND SPECIAL PROVISIONS OF THIS CONTRACT SHALL BE GOVERNED BY THE STANDARD CONTRACT FOR ARCHITECTS AND INTERIORS DESIGNERS AND CONSULTANTS, ANY ADDENDUMS AND THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE INTELLECTUAL PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CLAUDIO ORTIZ DESIGN GROUP, INC. © 2018 CLAUDIO ORTIZ DESIGN GROUP, INC.



NEW GUARD RAIL

MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 40" MIN.



NEW GUARD RAIL

MANUFACTURE: TITAN BUILDING PRODUCTS
 MATERIAL: WROUGHT IRON
 FINISH: POWDER COATED BLACK
 HEIGHT: 32" MIN.



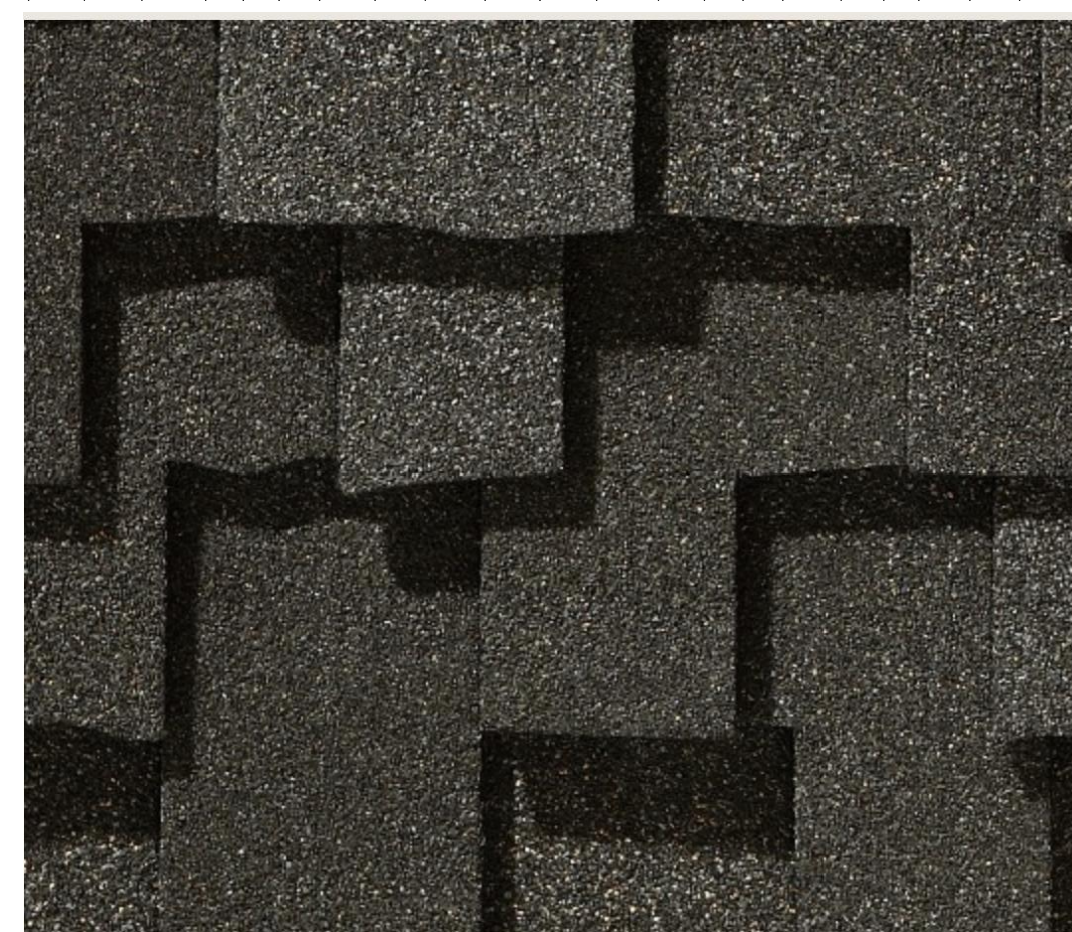
6-FT WOOD FENCE

MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 6 FEET



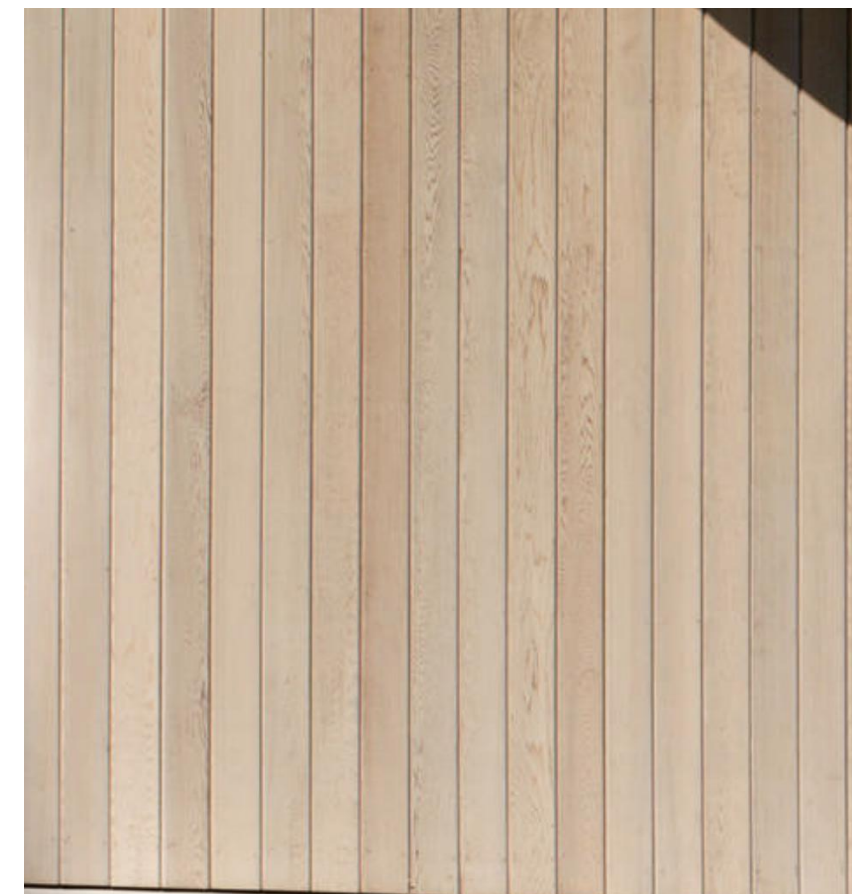
4-FT WOOD FENCE

MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 4 FEET



ROOF

MANUFACTURE: CERTAINTEED
 MATERIAL: COMPOSITE ASPHALT SHINGLE
 MODEL: PRESIDENTIAL TL
 COLOR: COUNTRY GRAY



WOOD SIDING

MATERIAL: CEDAR WOOD VERTICAL PLANKS
 SIZE: 1X6 T&G
 GRADE: SMOOTH, TIGHT KNOTS
 COLOR: STAINED



COLOR EXTERIOR

MANUFACTURE: CABOT
 COLOR: DRIFTWOOD GRAY
 OPACITY: SEMI-SOLID



GARAGE DOOR COLOR

MANUFACTURE: CABOT
 COLOR: DRIFTWOOD GRAY
 OPACITY: SOLID STAIN

REVISIONS:

PROJECT: DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO. 21-06

ISSUE: 021-08-2021

DRAWN BY: D.Santana

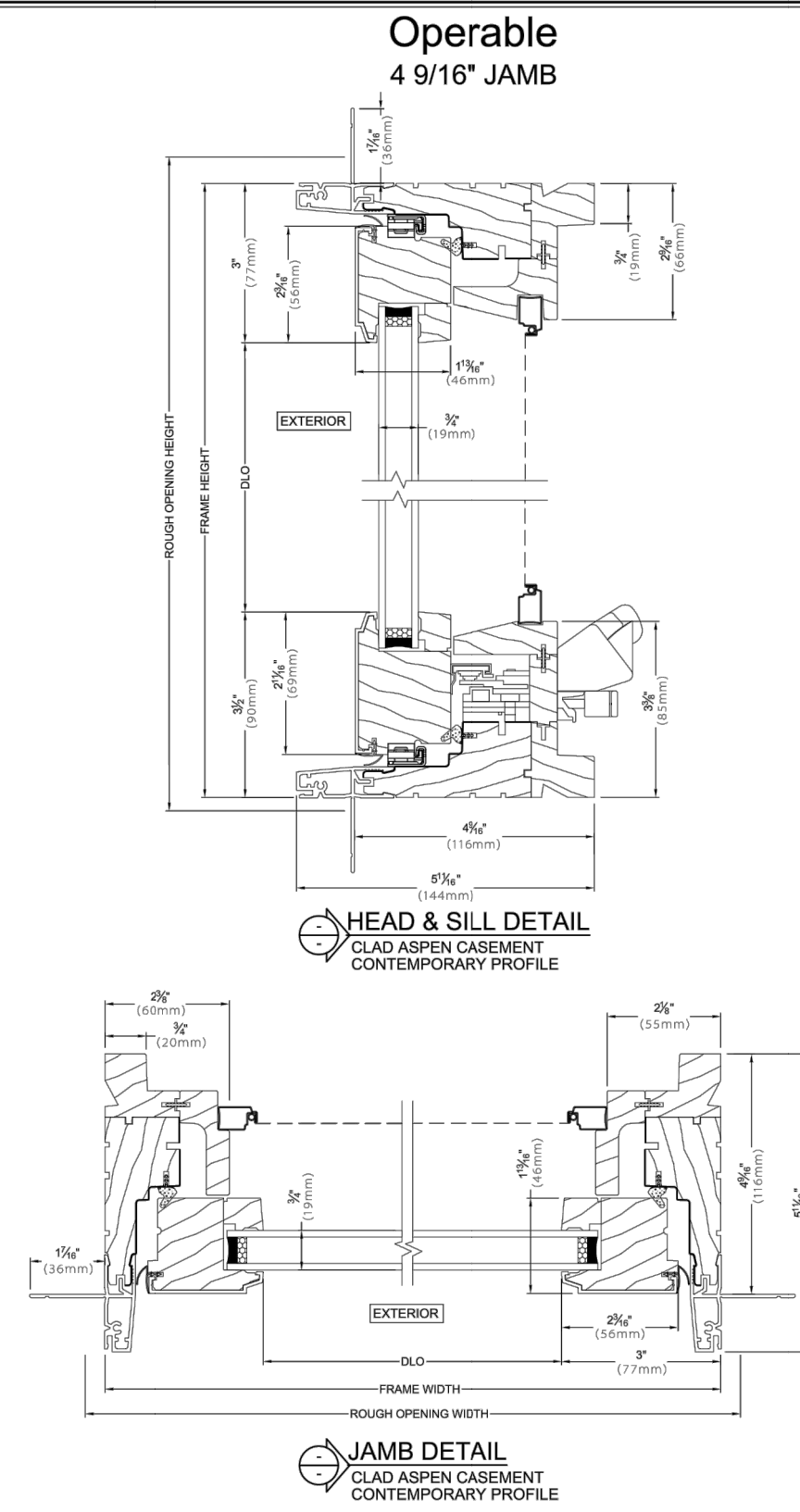
MATERIALS (EXISTING) PREVIOUSLY APPROVED PLANNING #22315

SCALE: 1/4" = 1'

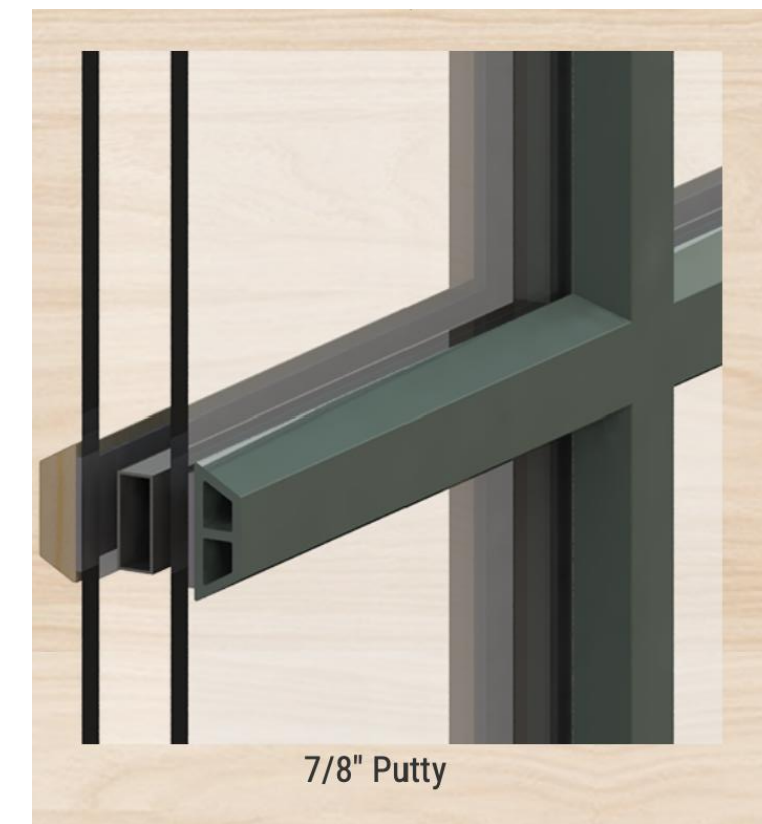
A5.0

REVISED PLANNING #24128

Clad Aspen Casement Scale: 4" = 1'



Updated: 11/18
 www.sierrapacificwindows.com
 800-824-7744
 Note: Sierra Pacific Windows reserves the right to change specifications without notice.



WINDOW

MANUFACTURE: SIERRA PACIFIC
 MATERIAL: WOOD-CLAD
 MODEL: ASPEN
 MUNTIN: 7/8"
 COLOR: GULL GRAY
 GLAZING: DOUBLE PANES



NEW GUARD RAIL

MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 40" MIN.



NEW GUARD RAIL

MANUFACTURE: TITAN BUILDING PRODUCTS
 MATERIAL: WROUGHT IRON
 FINISH: POWDER COATED BLACK
 HEIGHT: 32" MIN.



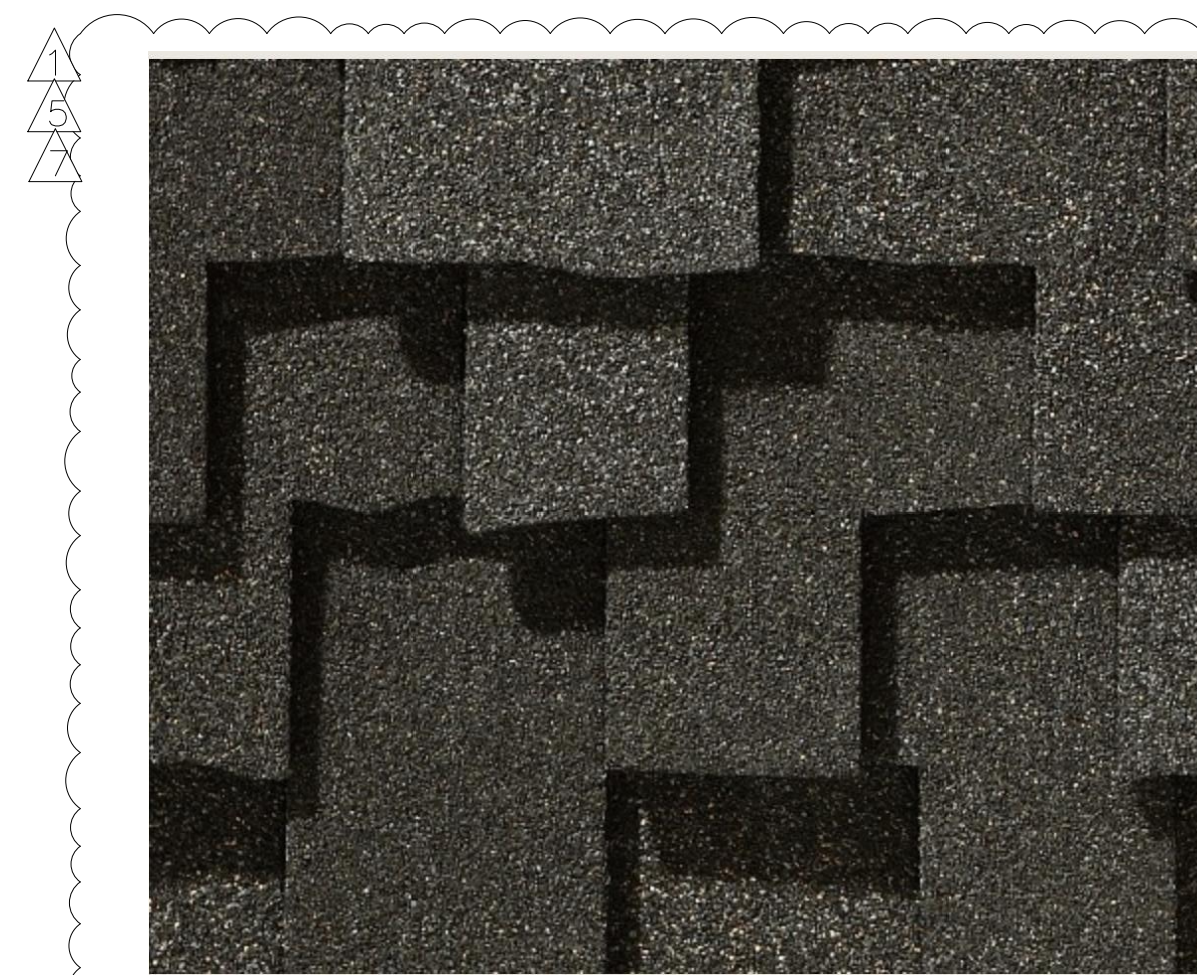
6-FT WOOD FENCE

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 FINISH: NATURAL
 HEIGHT: 6 FEET



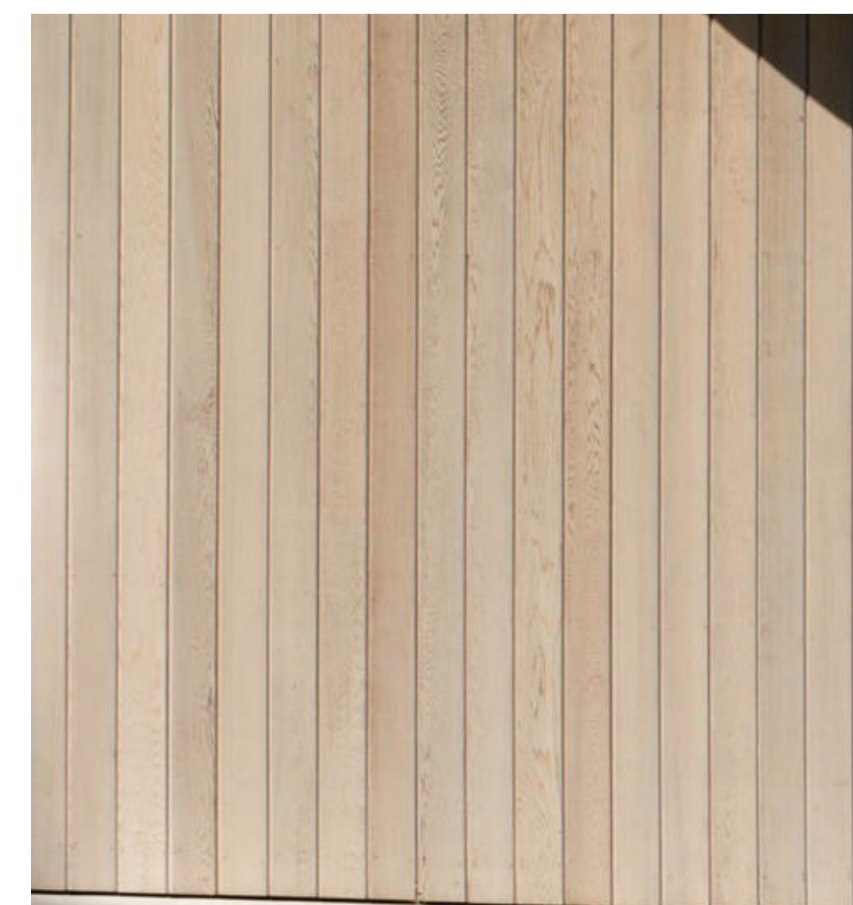
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 HEIGHT: 4 FEET



ROOF

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 MATERIAL: COMPOSITE ASPHALT SHINGLE
 MODEL: PRESIDENTIAL TL
 COLOR: COUNTRY GRAY



WOOD SIDING

MATERIAL: CEDAR WOOD VERTICAL PLANKS
 SIZE: 1X6 T&G
 GRADE: SMOOTH, TIGHT KNOTS
 COLOR: STAINED



COLOR EXTERIOR

MANUFACTURE: SHERWIN WILLIAMS
 COLOR: SEA SERPENT
 OPACITY: SEMI-SOLID



GARAGE DOOR COLOR

MANUFACTURE: SHERWIN WILLIAMS
 COLOR: SEA SERPENT
 OPACITY: SOLID STAIN



BULB

MANUFACTURE: PHILLIPS
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: B11 LED SOCKET



FIXTURE A

MANUFACTURE: HAMPTON BAY
 T24 COMPLIANT: YES
 COLOR: COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB
 DIMENSIONS: 16"H X 10.5"W X 11"



FIXTURE B

MANUFACTURE: WORLD IMPORTS
 T24 COMPLIANT: YES
 COLOR: ANTIQUE COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB
 DIMENSIONS: 16"H X 10.5"W

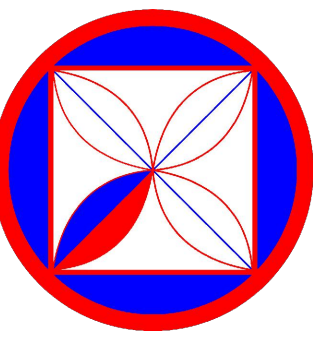


FIXTURE C

MANUFACTURE: WAC LEDme
 T24 COMPLIANT: N/A
 COLOR: BRONZE
 WATTS: 3.9 WATTS
 LUMENS: 68
 BULB TYPE: LED MODULE
 DIMENSIONS: 18"H X 8"W

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REVISIONS:
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 PLNG 23-07-21
 CLIENT REV. 24-03-27
 PLNG REV. 24-07-19

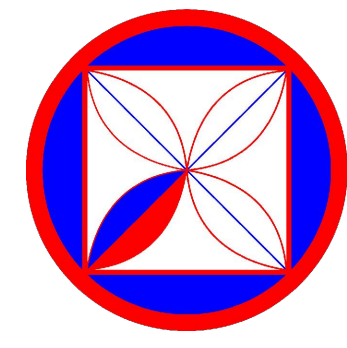
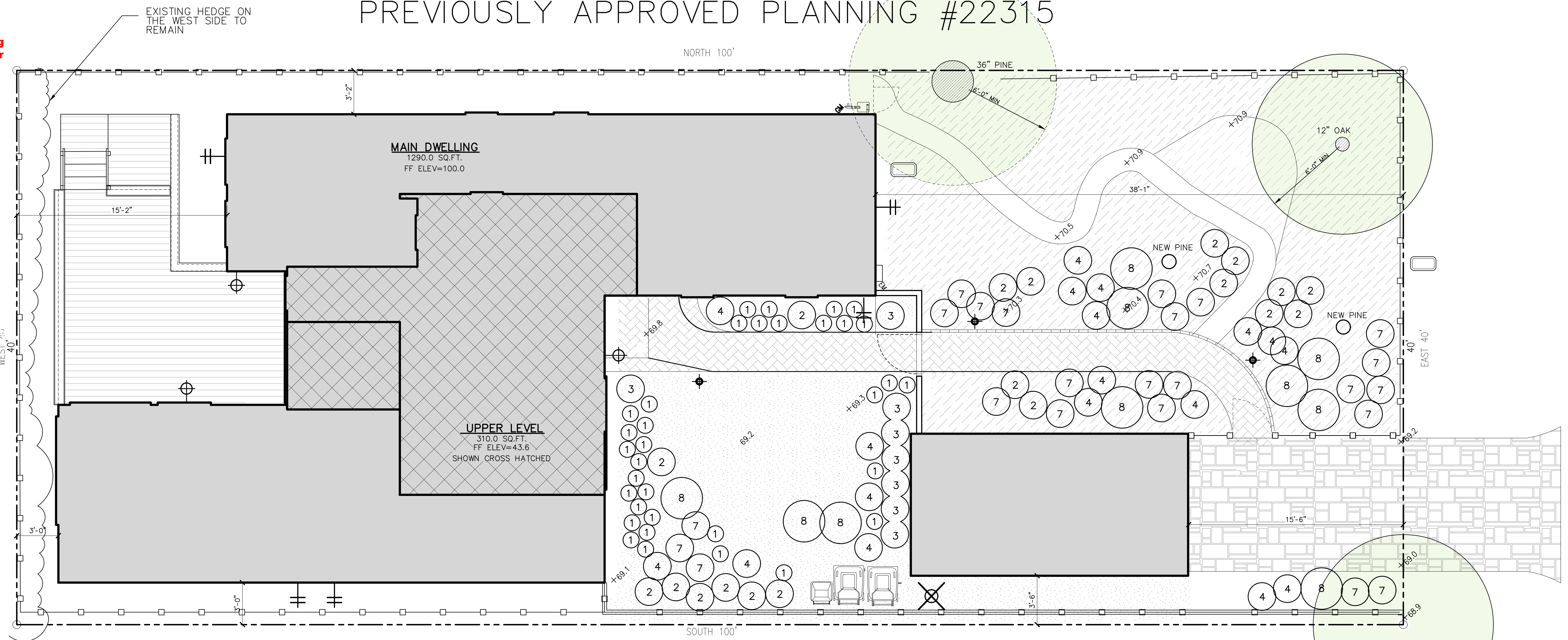
PROJECT:
 DEARBORN RESIDENCE
 DOLORES 4 SW OF 10TH, CARMEL, CALIF.
 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
 PROJECT NO.
 21-06

ISSUE:
 021-08-2021
 DRAWN BY:
 D.Santana

MATERIALS
 (PROPOSED) REVISED PLANNING
 #24128

SCALE: 1/4" = 1'

PREVIOUSLY APPROVED PLANNING #22315



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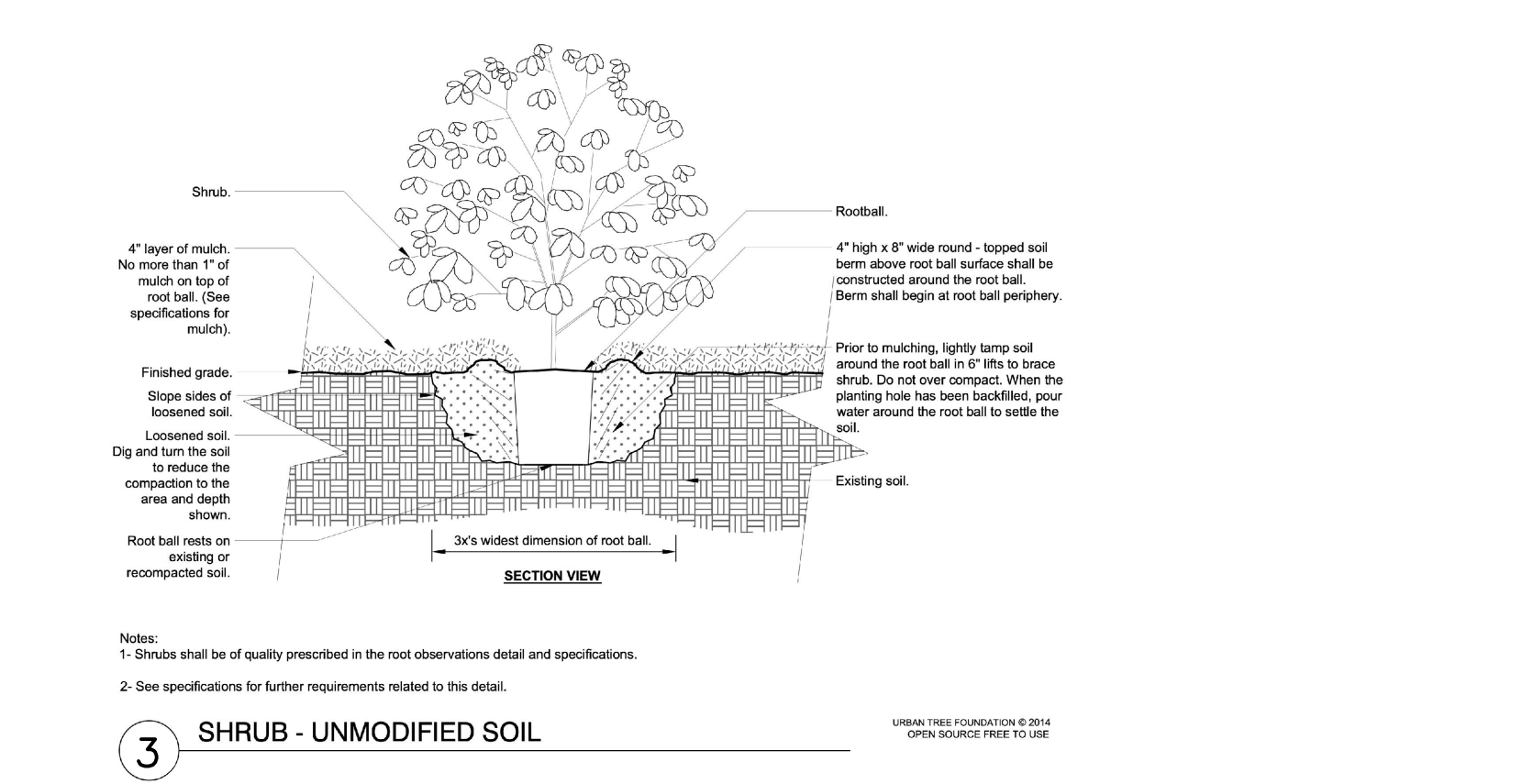
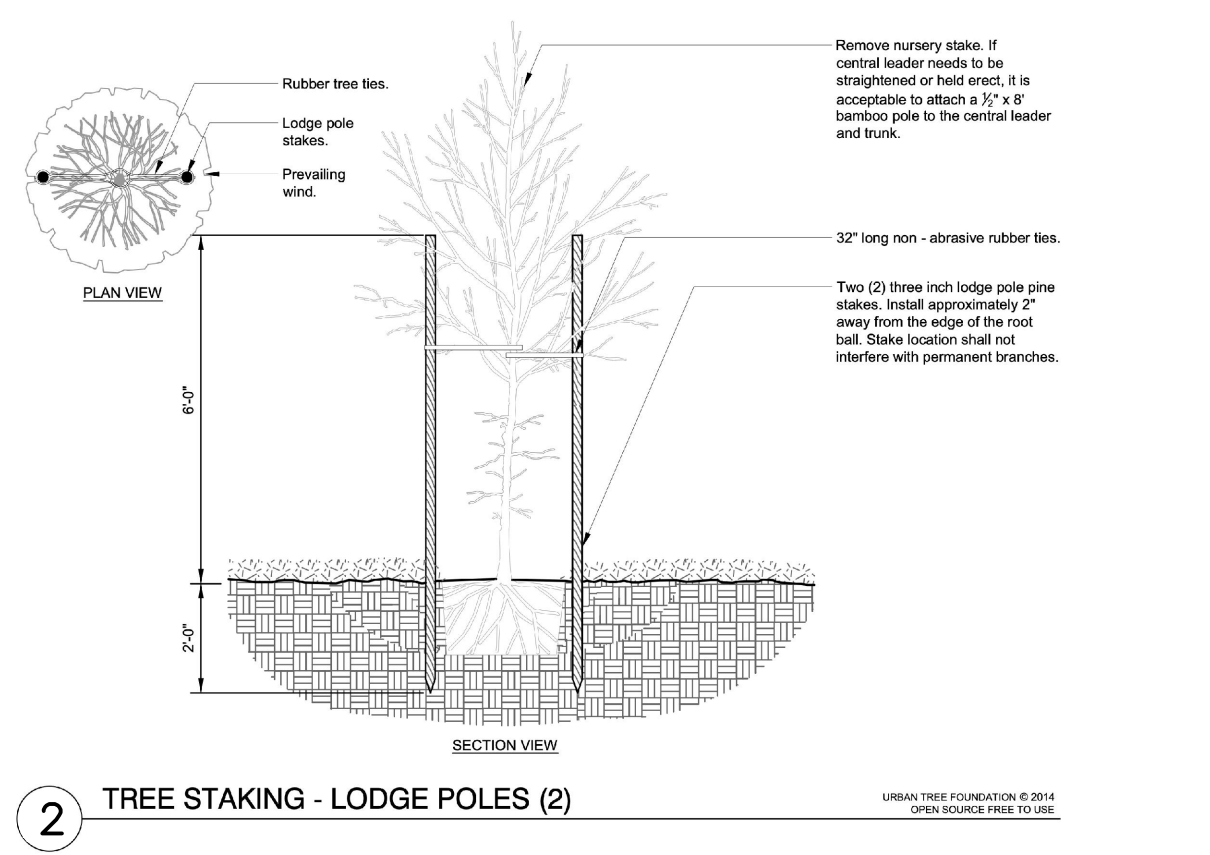
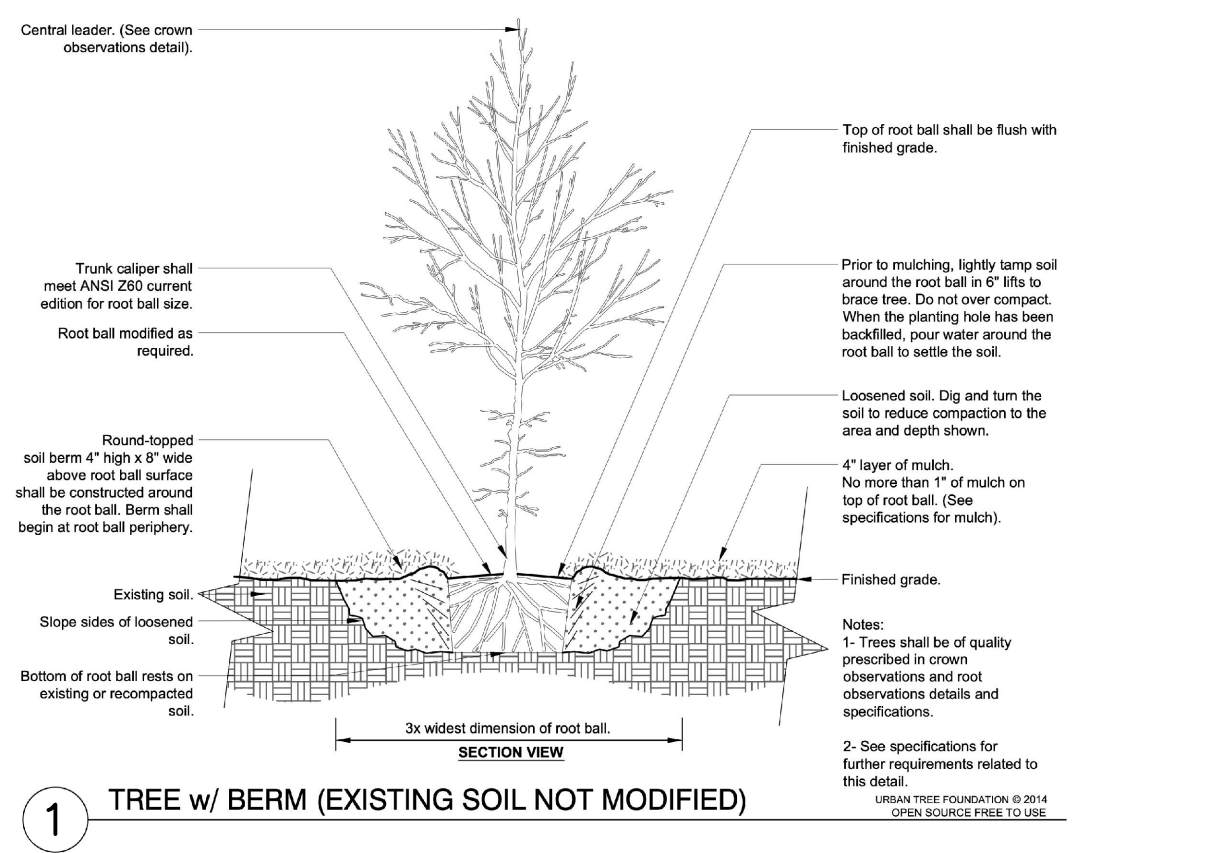
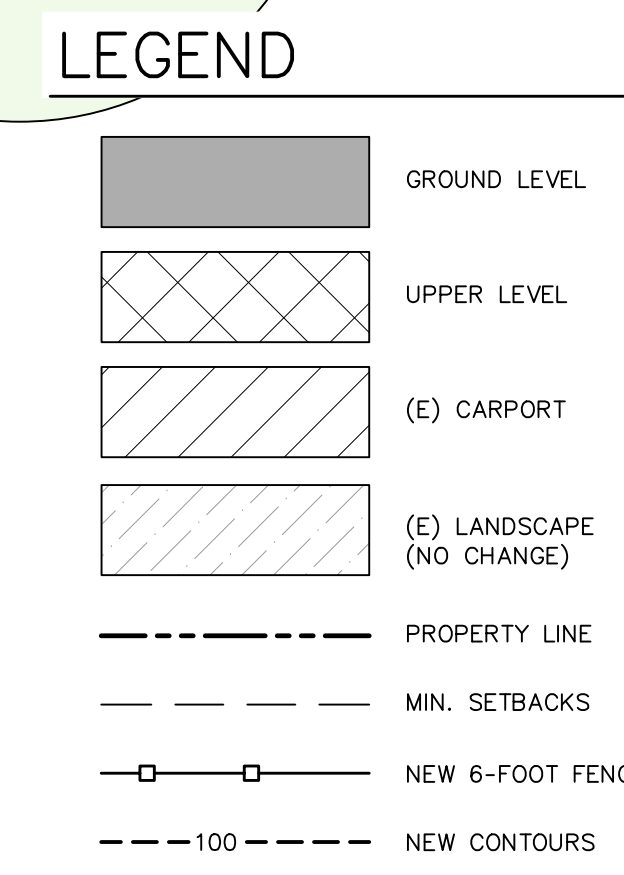
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PLANT INDEX

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7	RHAMNUS CALIFORNIA	RHAMNUS CALIFORNIA "EVE CASE"	5 GAL
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PATH LIGHT, 3 WATTS LED, SEE FIXTURE "C" ON SHEET 6.0
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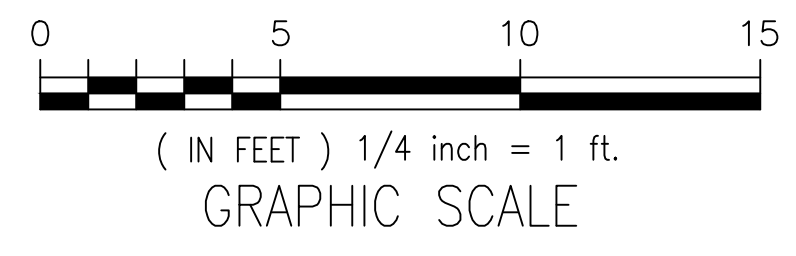


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- ALL MEASUREMENTS FROM THE SETBACK LINE TO PROPERTY BOUNDARY LINE SHALL BE MEASURE FROM THE FINISHED EXTERIOR SURFACE OF THE STRUCTURE.
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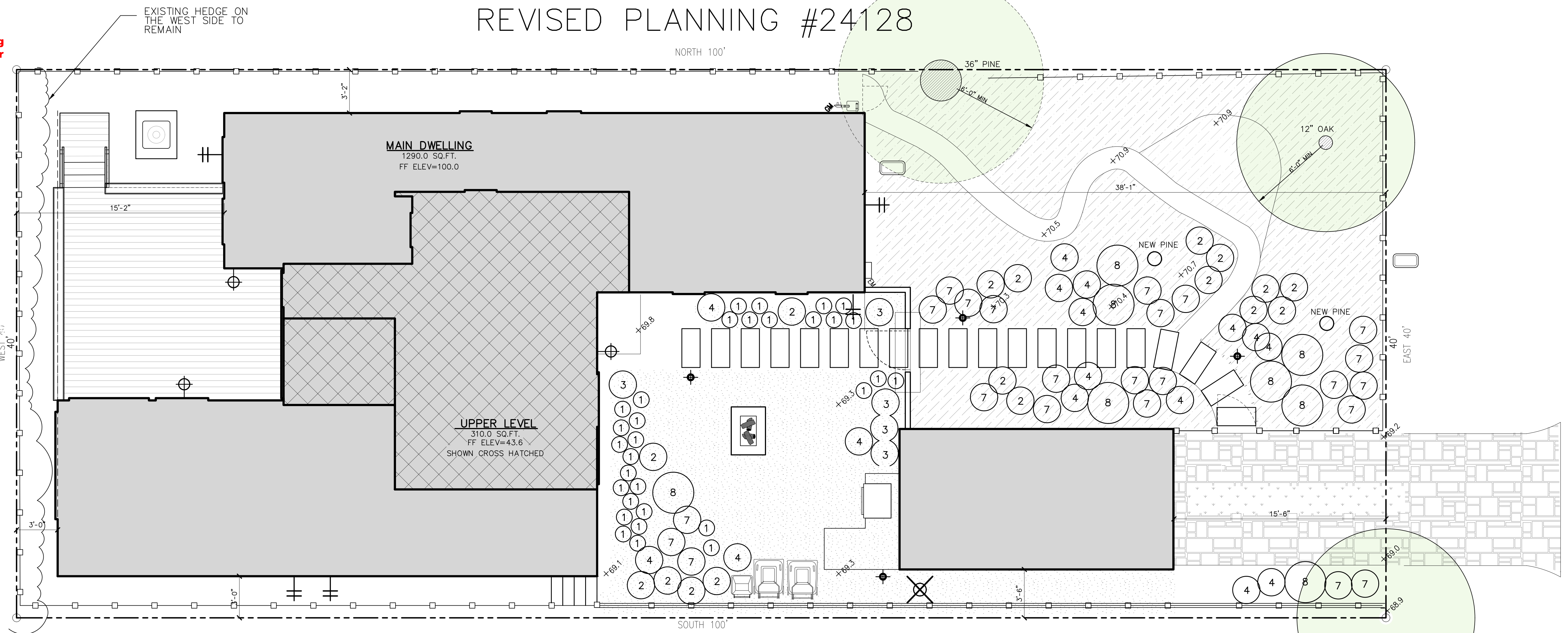
REVISIONS:

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 BLOCK: 158 LOT: 9
 APN: 010-158-005-000
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DRAWN BY: D.Santana

REVISED PLANNING #24128



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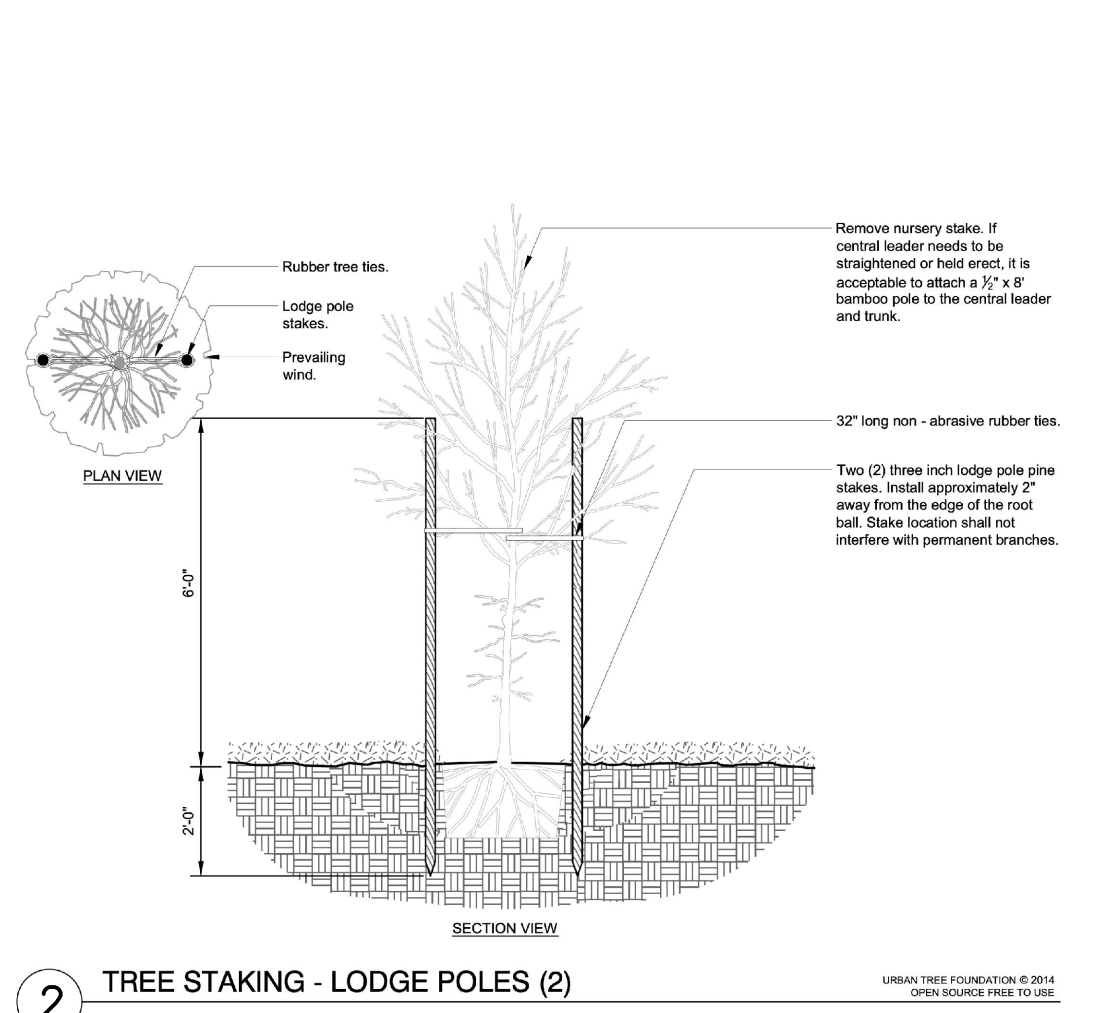
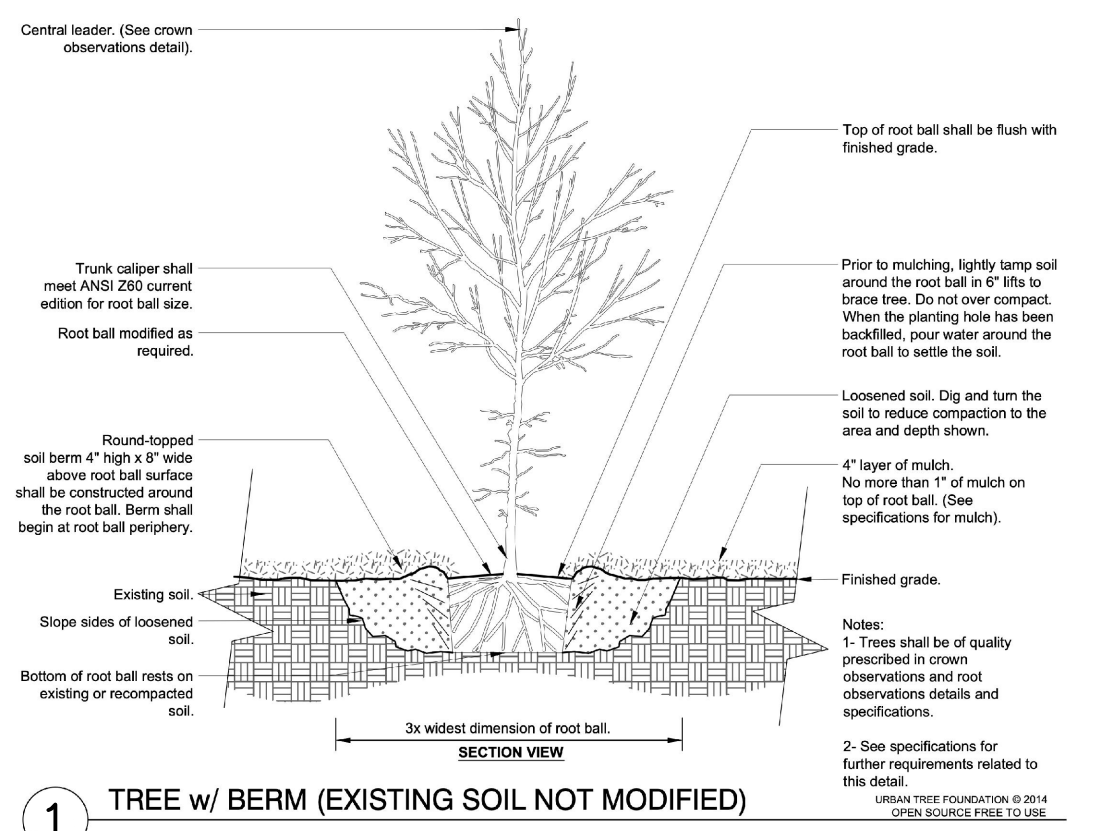
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LEGEND

- GROUND LEVEL
- UPPER LEVEL
- (E) CARPORT
- (E) LANDSCAPE (NO CHANGE)
- PROPERTY LINE
- MIN. SETBACKS
- NEW 6-FOOT FENCE
- NEW CONTOURS
- LIGHT FIXTURE
- HOSE BIB
- GAS VALVE
- (E) TREE TO REMAIN
- (N) TREES
- TREES TO BE REMOVED

SCALE: 1/4" = 1'
 GRAPHIC SCALE (IN FEET) 1/4 inch = 1 ft.