



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 24126

**Owner Name:** FORDHAM STANFORD LP

**Case Planner:** Marnie R. Waffle, AICP, Principal Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 06/26/2024

**Project Location:** San Antonio 4 NE of 4th

**APN #:** 010242012000      **BLOCK/LOT:** NN/LOTS 8 AND 10

**Applicant:** Kumaresh Sekaran, Architect

**Project Description:** This approval of Design Study application DS 24126 (Hoang-Nguyen) re-authorizes window modifications approved under Design Study DS 22-097 and subsequently omitted from Building Permit BP 23-075 and the installation of an additional skylight on the rear (east) roof plane for a single-family residence currently being remodeled at San Antonio 4 NE of 4th Avenue in the Single-Family Residential (R-1) District. All work shall be performed as depicted in the plans prepared by Studio Schicketanz, stamped approved, and on file in the Community Planning & Building Department unless modified by the conditions of approval. \*Associated Design Study approvals include DS 22-097 and DS 23-271.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

<b>CONDITIONS OF APPROVAL</b>	
<b>No.</b>	<b>Standard Conditions</b>
1.	<p><b>Authorization.</b> This approval of Design Study application DS 24126 (Hoang-Nguyen) re-authorizes window modifications approved under Design Study DS 22-097 and subsequently omitted from Building Permit BP 23-075 and the installation of an additional skylight on the rear (east) roof plane for a single-family residence currently being remodeled at San Antonio 4 NE of 4<sup>th</sup> Avenue in the Single-Family Residential (R-1) District. All work shall be performed as depicted in the plans prepared by Studio Schicketanz, stamped approved, and on file in the Community Planning &amp; Building Department unless modified by the conditions of approval contained herein.</p> <p>*Associated Design Study approvals include DS 22-097 and DS 23-271.</p>
2.	<p><b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to when preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional review and subsequent approval by the Director.</p>
3.	<p><b>Permit Validity.</b> In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>
4.	<p><b>Fire Sprinklers - Residential.</b> Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).</p>
5.	<p><b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.</p>
6.	<p><b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions</p>

	to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
7.	<p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning &amp; Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
8.	<p><b>Skylights &amp; Skylight Shades.</b> Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications for all skylights and skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.</p>
9.	<p><b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>
10.	<p><b>Conditions of Approval.</b> Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.</p>
<b>Landscape Conditions</b>	

11.	<p><b>Tree Removal Prohibited.</b> Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.</p>
12.	<p><b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.</li> <li>• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> <li>• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.</li> </ul>
<b>Special Conditions</b>	
13.	<p><b>Conditions of Approval Acknowledgement.</b> Prior to the issuance of a building permit revision, a completed <b>Conditions of Approval Acknowledgment</b> form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.</p>



14.	<b>Building Permit Required.</b> Prior to commencing work on-site, the applicant shall apply for and obtain a building permit from the Community Planning & Building Department.
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Acknowledgment and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date



SCALE: CHECK HERE FOR MORE INFORMATION

### MATERIALS LEGEND

Table listing materials for Earth, Concrete, Metals, Woods, Gypsum, Glass, Insulation, and Masonry with corresponding hatching patterns.

### SYMBOLS LEGEND

Table defining symbols for North Arrow, Section Reference, Detail Reference, Elevation Reference, Enlarged Plan Reference, Room Name, Elevation Symbol, Flooring Transition, Existing Contour, New Contour, Datum Point, Grid, Revision Number, Door Number, Window Type, Keyed Note, Wall/Floor Types, Ceiling & Roof Types, Wall Type Callouts, Cabinet, Plumbing Fixture, Appliance, Stud Sizes, and New Construction.

### ARCHITECTURAL ABBREVIATIONS

Large table of architectural abbreviations and their full names, organized in columns.

### PROJECT DATA

Table containing project information: Client Name (NGUYEN - HOANG), Architect (Studio Schickeltanz), Structural (UYEDA and ASSOCIATES), Mechanical Engineer (MONTEREY ENERGY GROUP), Electrical/Lighting Designer (LIGHT IDEAS), Property Address (SAN ANTONIO - 4 NE OF 4TH), APN/LOT SIZE, Zoning (R-1), Block/Lot (NN / 8 & 10), Planning Permit (DS 22-097), Building Permit (BP 23-075), Utilities, Sewer, Electricity Provider, Building Code Data, Occupancy Group, Type of Construction, Sprinklers, Setbacks, Building Height, Building Site Coverage, Site Coverage Existing/Proposed, Proposed Impermeable Site Coverage, Trees to be Removed, and Grading Estimates.

### SCOPE OF WORK

ADDITION OF (1) NEW SKYLIGHT AND (4) NEW WINDOWS TO THE APPROVED PERMIT # DS 23-271 AND # BP 23-075. ADDITION OF (N) KITCHEN SINK AND DISHWASHER IN HOME THEATER. ADDITION OF ONE (N) SHOWER HEAD IN BATHROOM ADJACENT TO HOME THEATER. NO FURTHER CHANGES TO THE ORIGINAL SCOPE OF WORK. INTERIOR REMODEL OF A SINGLE-FAMILY RESIDENCE OF 6372SFT. INCL REPLACEMENT OF DOORS & DEMOLITION OF CHIMNEYS. EXISTING FOOTPRINT & BLDG HT. SHALL REMAIN THE SAME. SCOPE OF WORK ENTAILS 1388 SF & IS LESS THAN 50% OF (E) STRUCTURE. NO ALTERATIONS TO EXISTING SITE PLAN/LANDSCAPE & FENCE. NO TREES TO BE REMOVED. LOT SIZE IS 10,873 SFT (0.25 ACRES) AND EXISTING NON-CONFORMING LOT COVERAGE SHALL REMAIN THE SAME. EXISTING NON-CONFORMING IMPERMEABLE COVERAGE SHALL REMAIN THE SAME WITH NO CHANGES TO EXISTING LANDSCAPE. EXISTING 2 STORIES SHALL REMAIN THE SAME AND NO CHANGE IN BLDG HEIGHT. EXISTING LENGTH AND HEIGHT OF WOODEN FENCE ON LEFT/RIGHT/REAR SIDES SHALL REMAIN THE SAME. NO FENCE ON THE FRONT SIDE. EXISTING ARCHITECTURAL STYLE OF STONE CLADDING/STUCCO WALLS WITH COMBINATION OF SLOPED/FLAT ROOFS SHALL REMAIN THE SAME. NEW DOORS/WINDOWS BEING ADDED TO MATCH THE EXISTING WINDOWS. NO INCREASE IN WATER FIXTURES COUNT. PROJECT SHALL COMPLY WITH 2022 CA RESIDENTIAL CODE.

NOTE: FINAL DOCUMENTATION FOR VALUATION OF CONSTRUCTION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION.

### FIRE SPRINKLER CALCULATION FORM

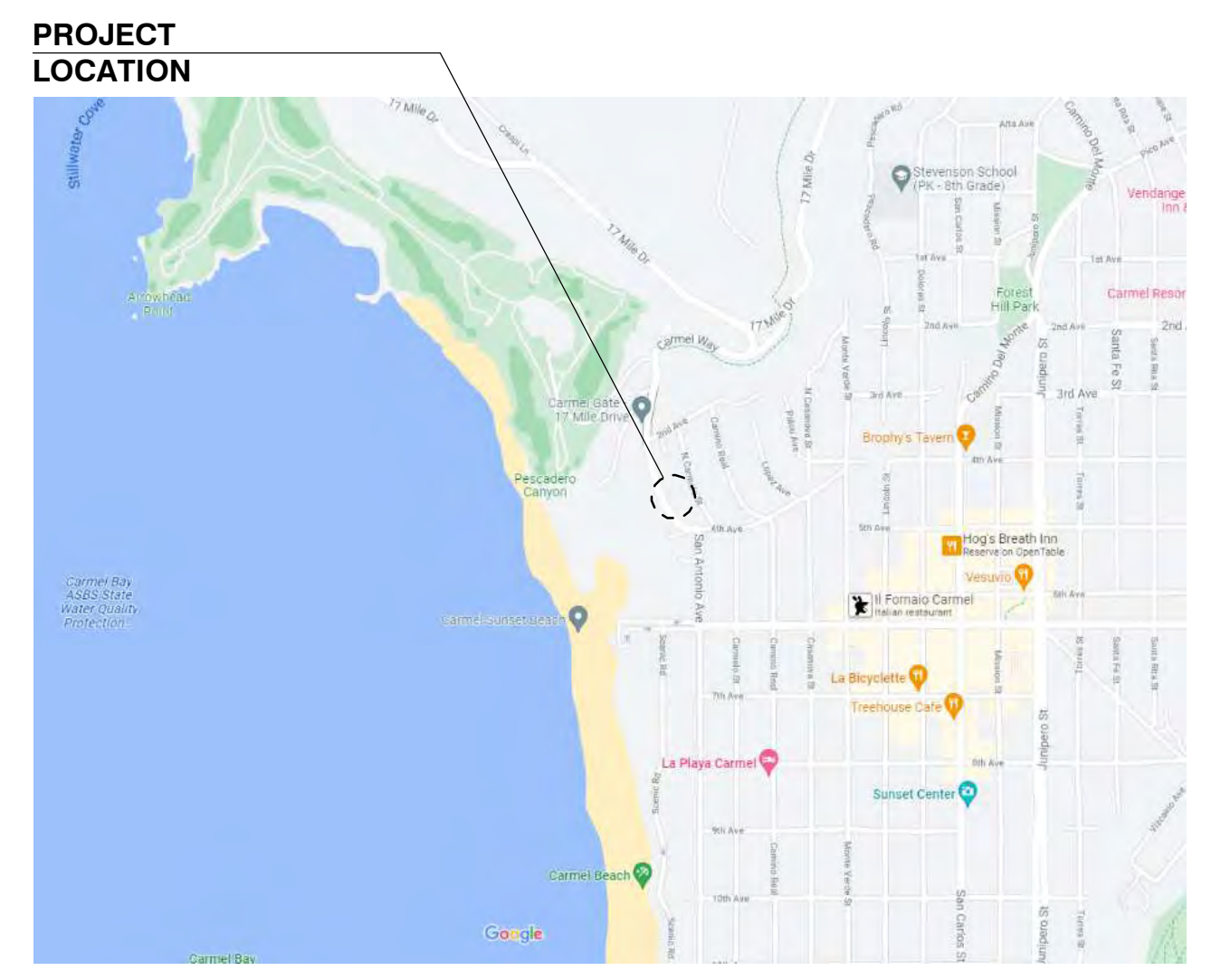
Table with 5 columns: Item, Description, and Value. Total length of all walls to be replaced during remodel is 44.57. Total length of all walls to be removed and not replaced during remodel is 88.42. Total length of all proposed walls that have not been already counted is 30.75. Total length of walls getting remodel (add step 2, 3 & 4) is 163.74. Percentage of remodel (divide step 5 total by step 1 and multiply value by 100) is 12.30%.

### DRAWING INDEX

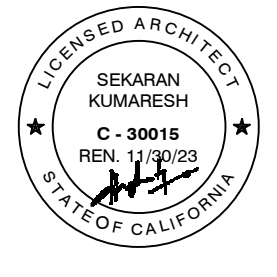
Table showing drawing index with columns for Current Revision, Drawing Number, and Drawing Title. Includes Architecture (Cover Sheet, CAL GREEN, Project Planning, Survey, Site Plan, Construction Management, Floor Plans, Roof Plan, Exterior Elevations, Door Schedules, Plumbing Schedule, Wall & Floor Types) and Structural (General Notes, Foundation, Ceiling Framing, Roof Framing, Roof Framing Details) and Mechanical (Energy Compliance, Low-rise Residential Measures Summary).

CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 24126 (Hoang-Nguyen) Date Approved: June 26, 2024 Planner: M. Waffle \*Skylight



VICINITY MAP



NGUYEN HOANG RESIDENCE NGUYEN - HOANG CARMEL BY THE SEA CA 93923 SAN ANTONIO - 4 NE OF 4TH A.P.N. : 010-242-012

STUDIO SCHICKELTANZ P.O. Box 2704, Carmel, CA 93927 831.962.9600

Table with columns: REV., DESCRIPTION, DATE. Shows revision history for the drawing.

ARCHITECTURAL COVER SHEET Scale: Drawn By: AN Job: 2120

A0.1

4/30/2024 9:51:09 AM Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



- catch basin-drain
- control point
- electric meter or pull box
- fire hydrant
- gas meter or pull box
- gas valve
- guy anchor
- irrigation pull box
- irrigation control valve
- light standard
- manhole
- point on line
- sewer clean out
- sign(pole)
- storm drain manhole
- sewer manhole
- telephone manhole
- telephone pull box
- traffic signal box
- cable television pull box
- unmarked pull box
- utility pole
- water meter
- water valve
- well

Basis of Bearings: The calculated bearing of S06° 34' 17"E between the southwesterly corner of Lot 4 and the southwesterly corner of Lot 17 in Block NN as said lots are shown on the Map of Addition No. 3 Carmel-by-the-Sea (2-C&T-5) and as found monumented is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.  
Site Benchmark: Control Point 18 as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

**Record Map References:**

- R1: Map of Addition No. 3 to Carmel-by-the-Sea filed in Volume 2 of Cities & Towns at Page 5, in the Monterey County Recorder's Office, State of California.
- R2: Record of Survey filed in Volume 15 of Surveys at Page 180, in the Monterey County Recorder's Office, State of California.
- R3: Record of Survey for Lot Line Adjustment filed in Volume 20 of Surveys at Page 45, in the Monterey County Recorder's Office, State of California.
- R4: Record of Survey for Lot Line Adjustment filed in Volume 22 of Surveys at Page 61, in the Monterey County Recorder's Office, State of California.

**Surveyor's Notes:**

This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines, sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and tree canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed. **Survey monuments of record located within the southerly portion of Block NN (south of the 6' wide lane) and were used to locate the subject parcel boundary as no survey markers were recovered on the subject parcel. For this reason, it is recommended that additional boundary search be performed to further confirm the boundary location should it become necessary to set the parcel corners or if new construction is proposed in close proximity to the parcel boundary or zoning setbacks.**

Typical tree notation. Indicates an elevation of 301.26' at the trunk of a cypress tree with a 36" trunk diameter (inner circle) and a 40' diameter canopy (outer free symbol). Multi-trunk trees denoted with an overall trunk diameter with clarifying notes following / symbol.

Finished surface elevation shot

Natural grade elevation shot

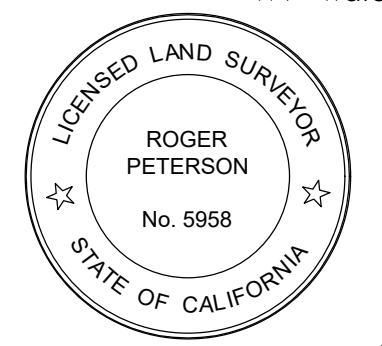
Indicates monument found as noted.

- Subject Parcel Boundary
- Original Lot Line
- Parcel Boundary
- Right of Way

NORTH SAN ANTONIO AVE. (A 40' WIDE CITY STREET)

**Nguyen**  
San Antonio, 4 NW of 4th  
APN: 010-242-012  
Doc. No. 2021033061  
Calculated Lot Area:  
10,873 s.f. / .250 acres

- Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.
- Boundary Legend**
- A.G.S. - above ground surface
  - A.S.O. - as shown on
  - AP - angle point
  - BC - brass cap or begin curve
  - BFP - backflow preventer
  - B.G.S. - below ground surface
  - BOC - back of curb
  - COR - corner
  - CP - control point
  - CTL - CONTROL
  - DOC - document
  - ENG/ENGR - engineer
  - FD/FND - found
  - F.T.C. - from true corner
  - I.P. - iron pipe
  - L&T - lead & tag
  - LS - land surveyor
  - M-T - MAG NAIL & tag
  - MAG - MAG NAIL
  - MKD - marked
  - MON - monument
  - N-T - nail & tag
  - N.R.F. - no reference found
  - N.S.F. - not searched for
  - O.R. - Official Records, Monterey County
  - O.U. - origin unknown
  - POL - point on line
  - RCE - registered civil engineer
  - ROW - right of way
  - S.F.N.F. - searched for, not found
  - SPK - spike
  - STA - station(control point)
  - TBM - temporary benchmark
- Topography Legend**
- AC - asphalt concrete
  - AD - area drain
  - AL - area light
  - BLD/BLDG - building
  - BLDR(S) - boulder(s)
  - BOC - back of curb
  - BRK - brick
  - BTM/BOT - bottom
  - BW - back of sidewalk
  - CF - curb face
  - CHIM - chimney
  - CL - cantefline
  - CLM - column
  - CONC - concrete
  - D - dirt
  - DG - decomposed granite
  - DK - deck
  - DW - driveway
  - EA - exposed aggregate concrete
  - ENCL - enclosure
  - EP - edge of paving
  - FF - finished floor
  - FF-THRESH - finished floor threshold
  - FH - fire hydrant
  - FL - flow line
  - FL-NG - flow line natural grade
  - FNC - fence
  - FNC-BRD - board fence
  - FNC-BW - barbed wire fence
  - FNC-CL - chain-link fence
  - FNC-GS - grapestake fence
  - FNC-HW - hogwire fence
  - FNC-I - iron fence
  - FNC-LAT - lattice fence
  - FNC-PR - post & rail fence
  - FNC-WD - wood fence
  - FNC-WI - wrought iron fence
  - FNC-WR - wire fence
  - FOB - face of building
  - FOW - face of wall
  - FS - finished surface
  - FTG - footing
  - FW - front of sidewalk
  - GAR - garage
  - GB - grade break
  - GUT - edge of gutter
  - GUYA - guy anchor
  - GUYP - guy pole
  - GVL - gravel
  - HC - handicap
  - HDG - hedge
- Utility Legend**
- CATV - cable tv
  - COMM - communications
  - CO or C/O - clean out
  - DDCV - double detector check valve
  - ELEC - electric
  - EM - electric meter
  - EO - electric outlet
  - GM - gas meter
  - GV - gas valve
  - HB - hose bib
  - ICV - irrigation control valve
  - IRR - irrigation
  - JP - joint utility pole
  - LT - light
  - LT-STD - light standard/pole
  - PB - utility pull box
  - PB-? - unmarked pull box
  - PF-PIN FLAG
  - PF-B - blue pin flag
  - PF-G - green pin flag
  - PF-O - orange pin flag
  - PF-P - pink pin flag
  - PF-PL - purple pin flag
  - PF-R - red pin flag
  - PF-W - white pin flag
  - PF-Y - yellow pin flag
  - PM - paint mark
  - PM-B - blue PM (water)
  - PM-G - green PM (sewer)
  - PM-O - orange PM (catv/comm)
  - PM-P - pink PM (unknown facilities)
  - PM-PL - purple PM (reclaimed water/irr)
  - PM-R - red PM (elec)
  - PM-W - white paint mark
  - PM-Y - yellow PM (gas)
  - PP - power pole
  - PVR - paver
  - SDMH - storm drain manhole
  - SSMH - sanitary sewer manhole
  - ST LT - street light
  - STN - stone
  - TELECO - telephone
  - TG - top of drain grate
  - UP - utility pole
  - UTIL - utility
  - VLT - vault
  - VLT-GTE - GTE vault
  - VLT-PB - PacBell vault
  - VLT-PGE - PG&E vault
  - VLT-TECOM - telecommunications vault
  - VLT-? - unmarked vault
  - VLT-VRZ - Verizon vault
  - WD-wood
  - WL - water line
  - WM - water meter
  - WV - water valve



**Topographic Survey**

San Antonio, 4 NW of 4th, APN: 010-242-012  
Located in Carmel-by-the-Sea, Monterey County, State of California

Prepared For: Lucy Nguyen  
Requested By: Jonas Santiago, Studio Schickentanz

November 2021

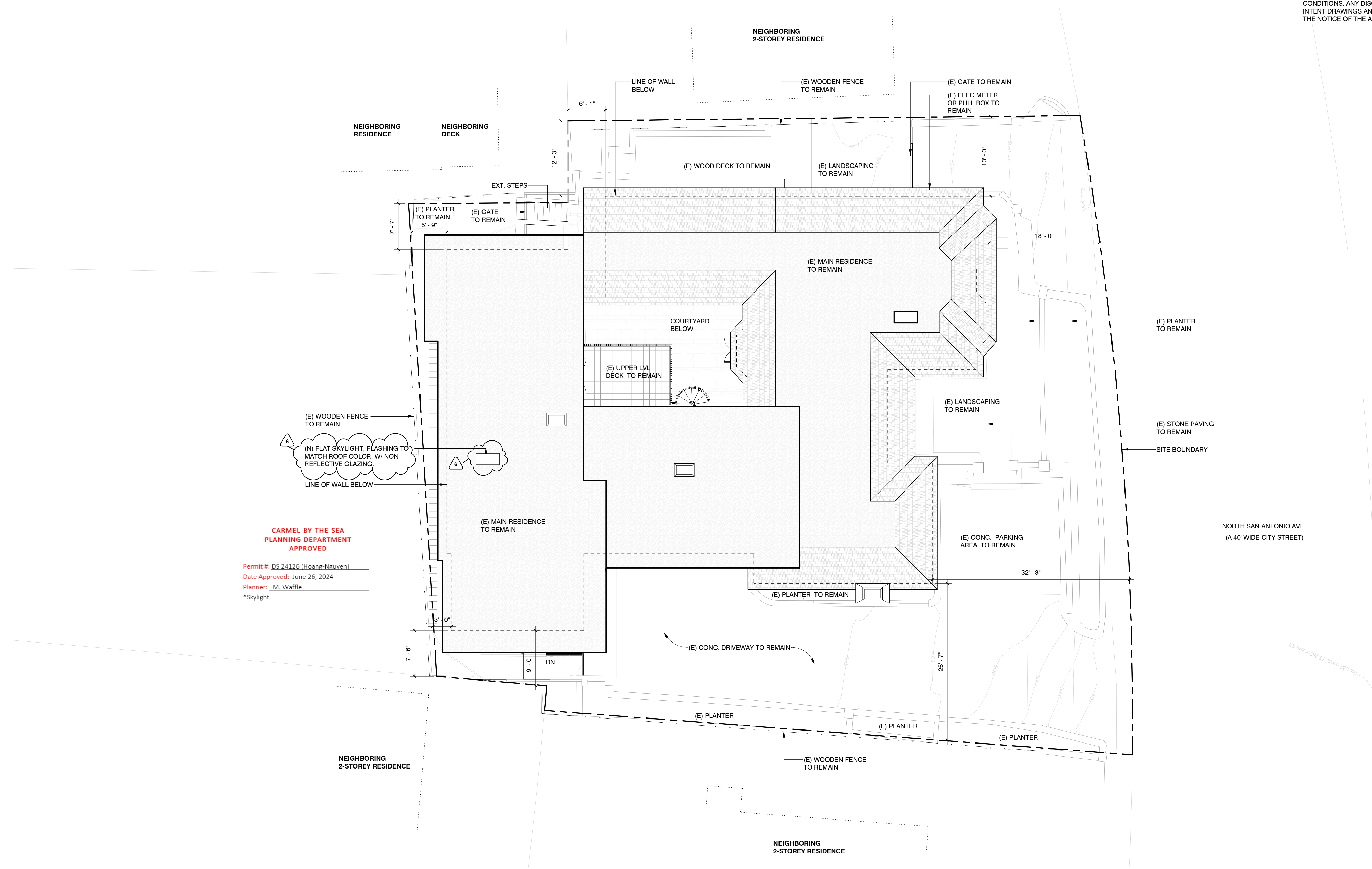
**Rasmussen Land Surveying, Inc.**  
2150 Garden Road, Suite A-3, Monterey, California 93942  
P: 831.375.7240 F: 831.375.2545

RLS W.O. # 2021-098 Nguyen

Sheet 1 of 1



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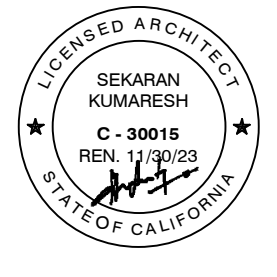


CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 24126 (Hoang-Nguyen)  
Date Approved: June 26, 2024  
Planner: M. Waffle  
\*Skylight

**DISCLAIMER**

THIS EXISTING FACILITY DRAWING HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS AND MAY HAVE INACCURACIES. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL FIELD VERIFY THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCORRECT INFORMATION PROVIDED TO THE ARCHITECT. INDICATED FLOOR/WALL/ROOF ASSEMBLIES ARE EXISTING/UNKNOWN CONDITIONS. ANY DISCREPANCIES FOUND BETWEEN THE DESIGN INTENT DRAWINGS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT IMMEDIATELY.



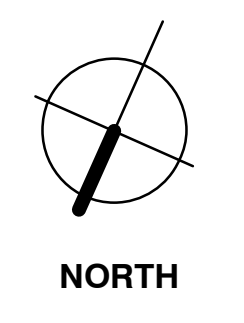
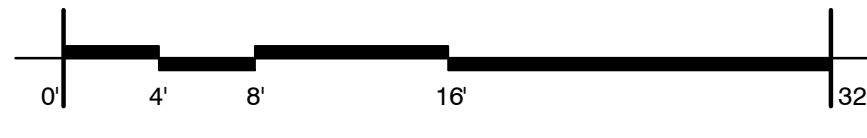
**NGUYEN HOANG RESIDENCE**  
NGUYEN - HOANG  
NGUYEN BY THE SEA CA 93923  
A.P.N. : 010-242-012

**STUDIO SCHICKETIANZ**  
P.O. Box 2704, Carmel, CA 93921 831.962.9008

REV.	DESCRIPTION	DATE
6	REV#5 WINDOW & SKYLIGHT ADDITION	04/22/24

ARCHITECTURAL  
**PROPOSED SITE PLAN**

Scale: As indicated  
Drawn By: AN  
Job: 2120



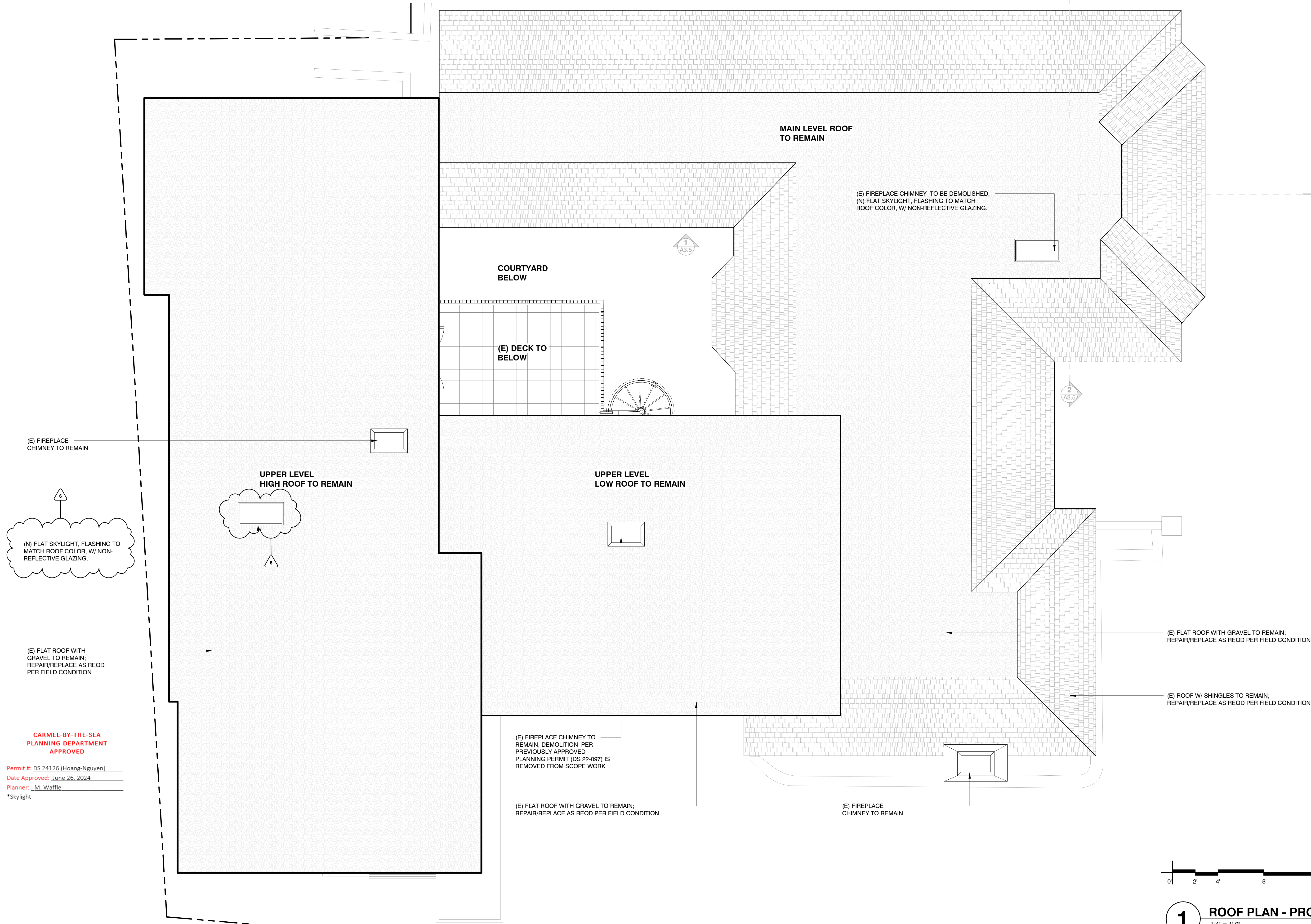
**1** PROPOSED SITE PLAN  
1/8" = 1'-0"

**A1.1**

02/08/2023



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(E) FIREPLACE CHIMNEY TO REMAIN

(E) FLAT ROOF WITH GRAVEL TO REMAIN: REPAIR/REPLACE AS REQD PER FIELD CONDITION

CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 24126 (Hoang-Nguyen)  
Date Approved: June 26, 2024  
Planner: M. Waffle  
\*Skylight

UPPER LEVEL HIGH ROOF TO REMAIN

UPPER LEVEL LOW ROOF TO REMAIN

MAIN LEVEL ROOF TO REMAIN

COURTYARD BELOW

(E) DECK TO BELOW

(E) FIREPLACE CHIMNEY TO BE DEMOLISHED; (N) FLAT SKYLIGHT, FLASHING TO MATCH ROOF COLOR, W/ NON-REFLECTIVE GLAZING.

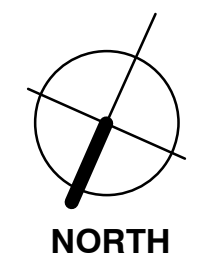
(E) FIREPLACE CHIMNEY TO REMAIN; DEMOLITION PER PREVIOUSLY APPROVED PLANNING PERMIT (DS 22-097) IS REMOVED FROM SCOPE WORK

(E) FLAT ROOF WITH GRAVEL TO REMAIN: REPAIR/REPLACE AS REQD PER FIELD CONDITION

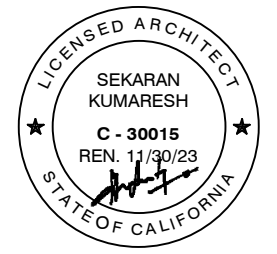
(E) FIREPLACE CHIMNEY TO REMAIN

(E) FLAT ROOF WITH GRAVEL TO REMAIN: REPAIR/REPLACE AS REQD PER FIELD CONDITION

(E) ROOF W/ SHINGLES TO REMAIN; REPAIR/REPLACE AS REQD PER FIELD CONDITION



1 ROOF PLAN - PROPOSED  
1/4" = 1'-0"



NGUYEN HOANG RESIDENCE  
NGUYEN - HOANG  
CARMEL BY THE SEA CA 93923  
A.P.N. : 010-242-012  
SAN ANTONIO - 4 NE OF 4TH

STUDIO SCHICKFIANZ  
P.O. Box 2704, Carmel, CA, 93921 831.922.9600

REV.	DESCRIPTION	DATE
1	RF#1	04/25/23
3	REV#2 SKYLIGHT ADDITION	08/28/23
6	REV#5 WINDOW & SKYLIGHT ADDITION	04/22/24

ARCHITECTURAL  
ROOF PLAN

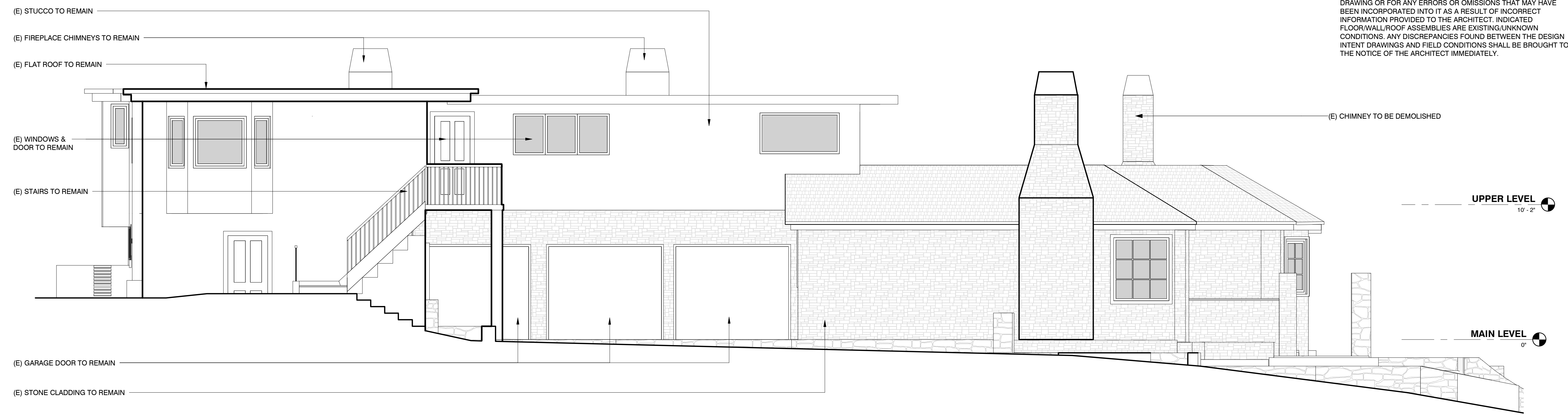
Scale: 1/4" = 1'-0"  
Drawn By: AN  
Job: 2120

A2.3

02/08/2023

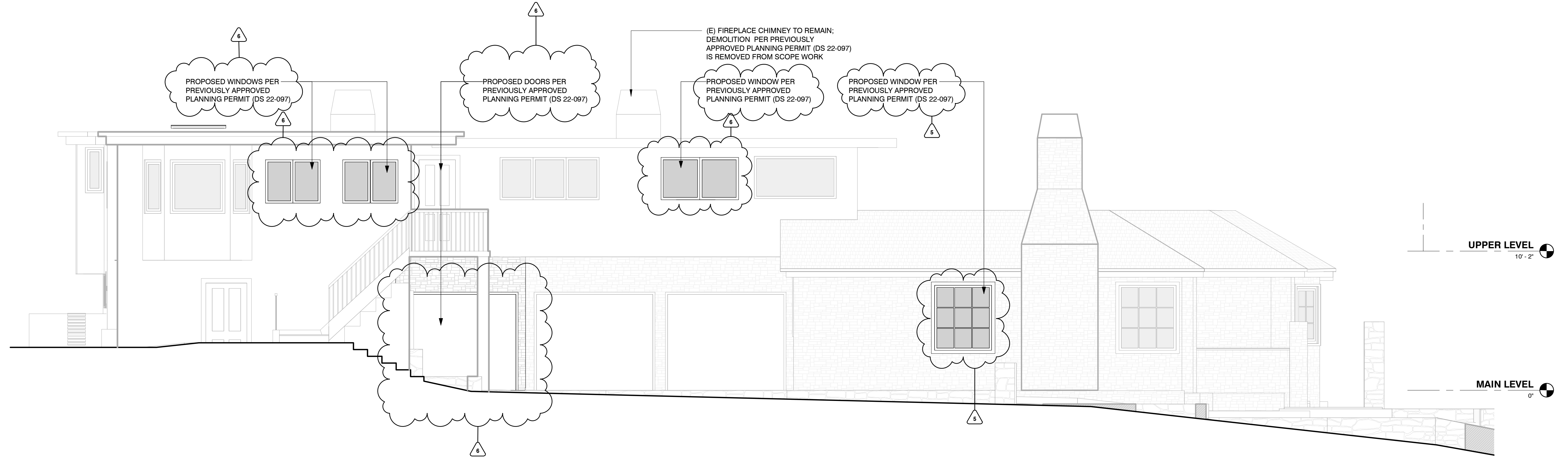


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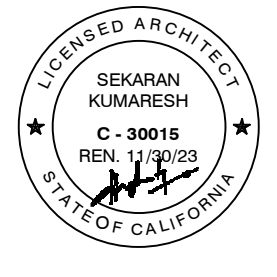


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**1** EXISTING NORTH ELEVATION  
 1/4" = 1'-0"



**2** PROPOSED NORTH ELEVATION  
 1/4" = 1'-0"



**NGUYEN HOANG RESIDENCE**  
 NGUYEN - HOANG  
 4 NE OF 4TH CARMEL BY THE SEA CA 93923  
 A.P.N. : 010-242-012

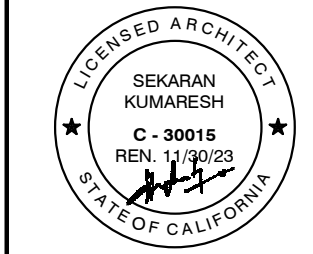
**STUDIO SCHICKELTANZ**  
 P.O. Box 2704, Carmel, CA 93921 831.922.9600

REV.	DESCRIPTION	DATE
1	RFI#1	04/25/24
5	REV#4 WINDOW ADDITION	02/12/24
6	REV#5 WINDOW & SKYLIGHT ADDITION	04/22/24

ARCHITECTURAL  
 NORTH EXTERIOR ELEVATIONS  
 Scale: 1/4" = 1'-0"  
 Drawn By: AN  
 Job: 2120

**A3.0**  
 02/08/2023





**NGUYEN HOANG RESIDENCE**  
 NGUYEN - HOANG  
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REV.	DESCRIPTION	DATE
1	RF#1	04/25/23
5	REV#4 WINDOW ADDITION	02/12/24

ARCHITECTURAL  
**DOOR SCHEDULES AND TYPES**  
 Scale: As indicated  
 Drawn By: AN  
 Job: 2120

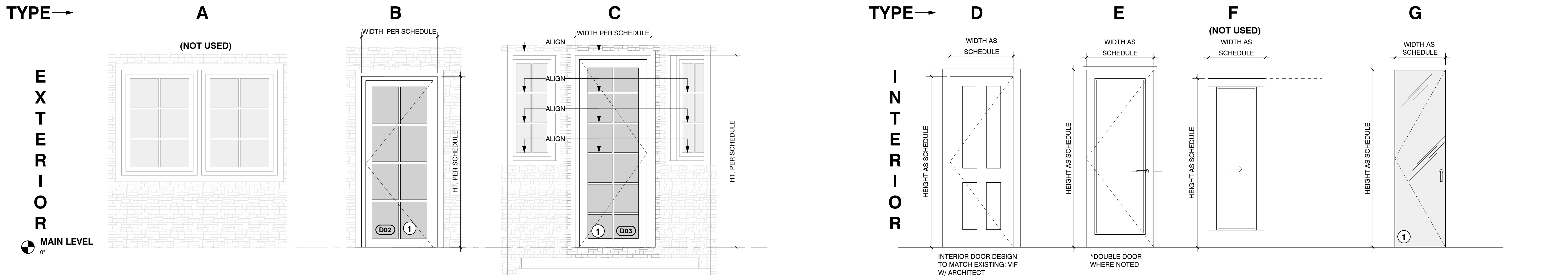
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Hardware Group Schedule <b>DRAFT</b>					
Appliance-Revision	Key Name	Manufacturer	Model/Specs	Finish	Comments
1	- - -		Existing hardware to be stored for re-use		Utilize Hardware from Specified Existing Door
2	TBD	N/A		Bronze	Glass enclosure hinges and pulls
3	TBD	N/A		Bronze	Exterior Door Lock set
4					

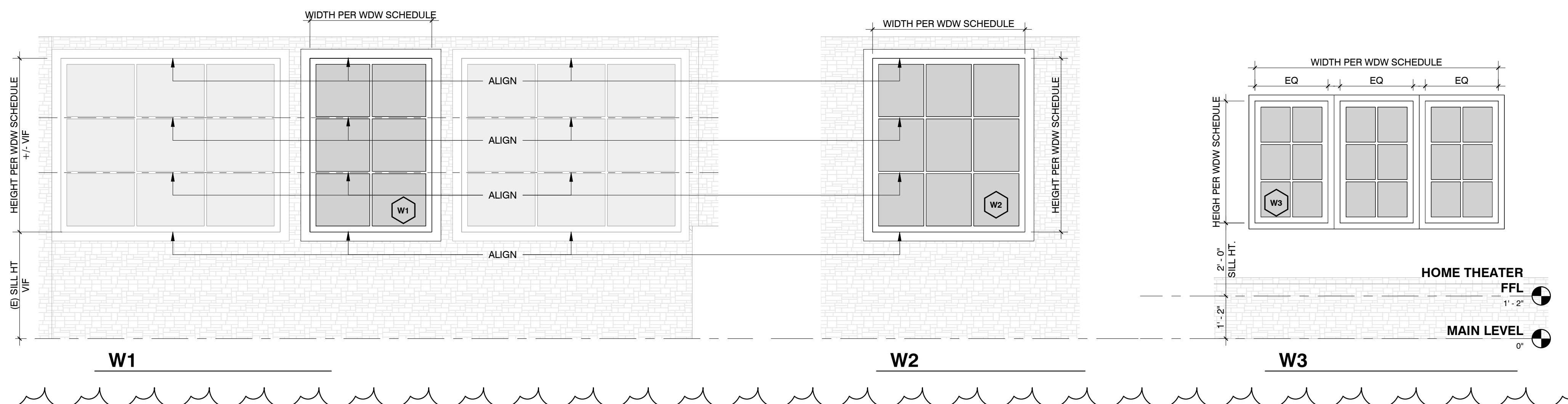
Revision	Door Number	LOCATION	Size		Exterior. Frame & Sash Material	Interior. Frame & Sash Material	Door Type	Hardware Group (See Schedule)	Screens	Glass Type	Head	Jamb	Sill	Manufacturer		Numbered notes/ Remarks	
			Width	Height										Brand	Model		
	D02	PRIMARY BATH	3'-0"	6'-9"	MTL	MTL	B								MARVIN DOORS AND WINDOWS OR APPROVED EQUAL		FINISH/COLOR TO MATCH EXISTING
	D03	KITCHEN	3'-0"	7'-7"	MTL	MTL	C								MARVIN DOORS AND WINDOWS OR APPROVED EQUAL		FINISH/COLOR TO MATCH EXISTING
	D08	PRIMARY BEDROOM	2'-6"	7'-0"	WD	WD	D										
	D09	PRIMARY BATH	2'-6"	6'-9"	WD	WD	E										
	D10	PRIMARY BATH W.C.	2'-3"	7'-0"	WD	WD	E										
	D11	PRIMARY BATH SHOWER	2'-3"	8'-10"	GL	GL	G										

NOTE: COORDINATE W/ ARCHITECT & FIELD VERIFY DOOR HEAD ALIGNMENTS OF DOORS, MULLIONS & WINDOWS  
 REV 1 : D01 IS REMOVED FROM SCOPE OF WORK.

**DOOR ELEVATION TYPES**



**WINDOW ELEVATIONS**



Window Schedule										
Revision	Number	Window Size			Hardware	Frame Material	Screen	Manufacturer		Numbered Notes/ Remarks
		Width	Height	Sill Height				Brand	Model	
	W1	3'-4"	4'-9"				No	MARVIN DOORS AND WINDOWS		FINISH / COLOR TO MATCH EXISTING
	W2	4'-2"	4'-9"				No	MARVIN DOORS AND WINDOWS		FINISH / COLOR TO MATCH EXISTING
	W3	6'-8"	3'-4"				No	MARVIN DOORS AND WINDOWS		FINISH / COLOR TO MATCH EXISTING

**SAFETY GLAZING NOTES:**

- Provide required safety glazing [Hurricane rated] conforming to the human impact loads per CRC Sections R308.3 & R308.4 and listed below.
  - Fixed and operable panels of swinging, sliding and bi-fold door assemblies.
  - Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.
  - Glazing in an individual fixed or operable panel that meets all of the following conditions:
    - Exposed area of an individual pane greater than 9 square feet.
    - Bottom edge less than 18 inches above the floor.
    - Top edge greater than 36 inches above the floor.
    - One or more walking surfaces within 36 inches horizontally of the glazing.
  - Glazing in enclosures or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
  - Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the surface of the glazing is less than 60 inches above the plane of the adjacent walking surface.

**DOOR - WINDOW SCHEDULE GENERAL NOTES**

- G1 SEE ELEVATIONS FOR LOCATION AND OPERATION OF WINDOWS
- G2 ALL DIMENSIONS ARE CLEAR OPENING SIZE AND NOMINAL, FINAL SIZE IS TO BE CONFIRMED IN THE SHOP DRAWING
- G3 CONTRACTOR WILL COORDINATE TO ENSURE SWING AND SLIDING DOOR HEAD ALIGNMENT FOR WINDOW FINISH SEE FINISH SCHEDULE
- G4 ALL GLASS WITHIN 18" OF FLOOR OR WALKING SURFACE TO BE TEMPERED
- G5 CONTRACTOR TO VERIFY ALL WINDOW DIMENSIONS, FINAL DIMENSION MAY BE DEPENDENT ON FIELD CONDITIONS
- G6 SEE SPECS FOR GLASS INFO
- G7 POCKET DOOR HARDWARE TO BE VERIFIED FOR POCKET SIZE
- G8 **PROVIDE SHOP DRAWINGS FOR ARCHITECTS REVIEW AND COMMENT PRIOR TO STARTING FABRICATION OF WINDOWS**
- G9 **CONTRACTOR, WINDOW & DOOR MANUFACTURER SHALL SUBMIT BID THAT INCLUDES ALL REQUIRED ITEMS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO: STRUCTURAL SUPPORT SYSTEMS, BREAK METAL SHAPES, METAL TUBING, SCREENS, GLASS ASSEMBLIES.**
- G10 **DESIGN BASIS FOR EXTERIOR DOORS AND WINDOWS:**
  - THERMALLY BROKEN ALUMINUM MARVIN WINDOWS AND DOORS
  - FINISH TO MATCH EXISTING DOORS AND WINDOWS

**NUMBER NOTES**

- 1. TEMPERED GLASS
- 2. PROVIDE SCREENS

**HIGH FIRE HAZARD NOTE:**

EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPLAN GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R337.8.2.1]

**SPECIAL CONDITIONS**

ALL NEW OR REPLACED WINDOWS SHALL BE CONSISTENT IN STYLE AND MATERIAL WITH EXISTING WINDOWS TO MAINTAIN UNIFORMITY THROUGHOUT THE RESIDENCE. SEE DOOR SCHEDULE THIS SHEET.

**DISCLAIMER**

DOOR/WINDOW OPENING SIZES INDICATED REPRESENTS ARCHITECTS DESIGN INTENT ONLY & DOES NOT REPRESENT ACTUAL MANUFACTURED DOOR/WINDOW NET FRAME SIZES. THIS SCHEDULE DOES NOT CONSTITUTE AS AN ORDER LIST AND DOES NOT AUTHORIZE ANY EXPLICIT APPROVAL OF FABRICATION DIMENSIONS FOR PRODUCTION. IT SHALL BE THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR/MFR TO VERIFY ALL QUANTITIES/NET DIMENSIONS/SPECIFICATIONS PRIOR TO COMMENCEMENT OF ORDER/PRODUCTION. SINCE ROUGH OPENINGS MIGHT NOT BE IN PLACE AND FIELD VERIFICATION OF DIMENSIONS MIGHT NOT BE POSSIBLE IF BEING PRE-ORDERED, IT SHALL BE THE RESPONSIBILITY OF GC TO COMPLY WITH WORK PER THE REQUIRED ACCURACY / TOLERANCE LEVELS.

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