



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 24084

**Owner Name:** TSN JUNIPERO INVESTORS LLC

**Case Planner:** Evan Kort, Associate Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 07/26/2024

**Project Location:** Junipero 6 NE of 8th

**APN #:** 010084018000      **BLOCK/LOT:** 88/S 1/2 of 20 N 1/2 of 22

**Applicant:** John Moore

**Project Description:** Approval of Design Study application DS 24084 (TSN Junipero Investors) authorizes amendments to previously approved Design Study Applications (DS 22-077, Junipero Investors) located on Junipero Avenue 6 northeast of 8th Avenue in the Single-Family (R-1) District. The proposed changes include: • The addition of three (3) 2'x2' skylights. One located at the kitchen, one located at the primary bedroom closet, and one located in the primary bathroom. The project shall be constructed as depicted in the plans prepared by Moore Design as approved by the Community Planning and Building Department on July 26, 2025 unless modified by the Conditions of Approval contained herein.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*



## FINDINGS AND CONDITIONS

**Project:** DS 24084 (TSN Junipero Investors)  
**Location:** Junipero 6 NE 8<sup>th</sup>; 010-084-018  
**Date of Action:** July 26, 2024

**Project Description:**

**DS 24084 (TSN Junipero Investors)** authorizes amendments to previously approved Design Study Applications (DS 22-077, Junipero Investors) located on Junipero Avenue 6 northeast of 8<sup>th</sup> Avenue in the Single-Family (R-1) District. APN: 010-084-018

The proposed changes include:

- The addition of three (3) 2’x2’ skylights. One located at the kitchen, one located at the primary bedroom closet, and one located in the primary bathroom.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
The Director shall have the authority to approve, approve with modifications and/or conditions, or deny an application for design review based on written findings stating the reasons for the action. Findings shall be based on information in the record. CMC 17.58.060.A.		
For each of the required findings listed below, the staff has indicated whether the application, either as proposed or with conditions, supports adopting the findings. For all findings checked "no," staff discusses the issues to facilitate the Planning Commission’s decision-making. Findings checked "yes" may or may not be discussed depending on the issue(s).		
<b>CMC 17.58.060.B Findings for Design Review Approval</b>	<b>YES</b>	<b>NO</b>
Before approving an application for design review in any district, the Director shall find that the final design plans:		
1. Conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. Comply with all applicable provisions of this code; and	✓	
3. Are consistent with applicable adopted design review guidelines.	✓	
<b>Additional Staff Analysis/Discussion:</b>		
None required. The project meets the findings as proposed with the associated conditions.		

ENVIRONMENTAL REVIEW
The California Environmental Quality Act (California Public Resources Code §§ 21000, <i>et seq.</i> , “CEQA”), together with State Guidelines (14 California Code Regulations §§ 15000, <i>et seq.</i> , the “CEQA Guidelines”) and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared.
<b>Finding:</b> The Community Planning and Building Department found that pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (Class 3) – New Construction and Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.
<b>Additional Staff Analysis/Discussion:</b> The project consists of an amendment to a previously approved Design Study (DS 22-077) for the addition of three (3) new skylights on a new single-family residence that is currently under construction. The new single family dwelling, project number DS 22-077 was Categorically Exempt under Class 3, New Construction or Conversion of Small Structures, by the Planning Commission (Resolution 2023-01-PC). The addition of three (3) new skylights amends the initial approval and does alter or change the project of the construction of a new single-family dwelling, which is currently under construction.

<b>CONDITIONS OF APPROVAL</b>	
<b>No.</b>	<b>Standard Conditions</b>
1.	<p><b>Authorization.</b> Approval of Design Study application DS 24084 (TSN Junipero Investors) authorizes amendments to previously approved Design Study Applications (DS 22-077, Junipero Investors) located on Junipero Avenue 6 northeast of 8<sup>th</sup> Avenue in the Single-Family (R-1) District.</p> <p>The proposed changes include:</p> <ul style="list-style-type: none"> <li>The addition of three (3) 2’x2’skylights. One located at the kitchen, one located at the primary bedroom closet, and one located in the primary bathroom.</li> </ul> <p>The project shall be constructed as depicted in the plans prepared by Moore Design as approved by the Community Planning and Building Department on July 26, 2025 unless modified by the Conditions of Approval contained herein.</p>
2.	<p><b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.</p>
3.	<p><b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>
4.	<p><b>Modifications.</b> The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to final inspection.</p>
5.	<p><b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that are not listed on this form, shall not be deemed approved upon issuance of a building permit.</p>
6.	<p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning &amp; Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
7.	<p><b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City</p>

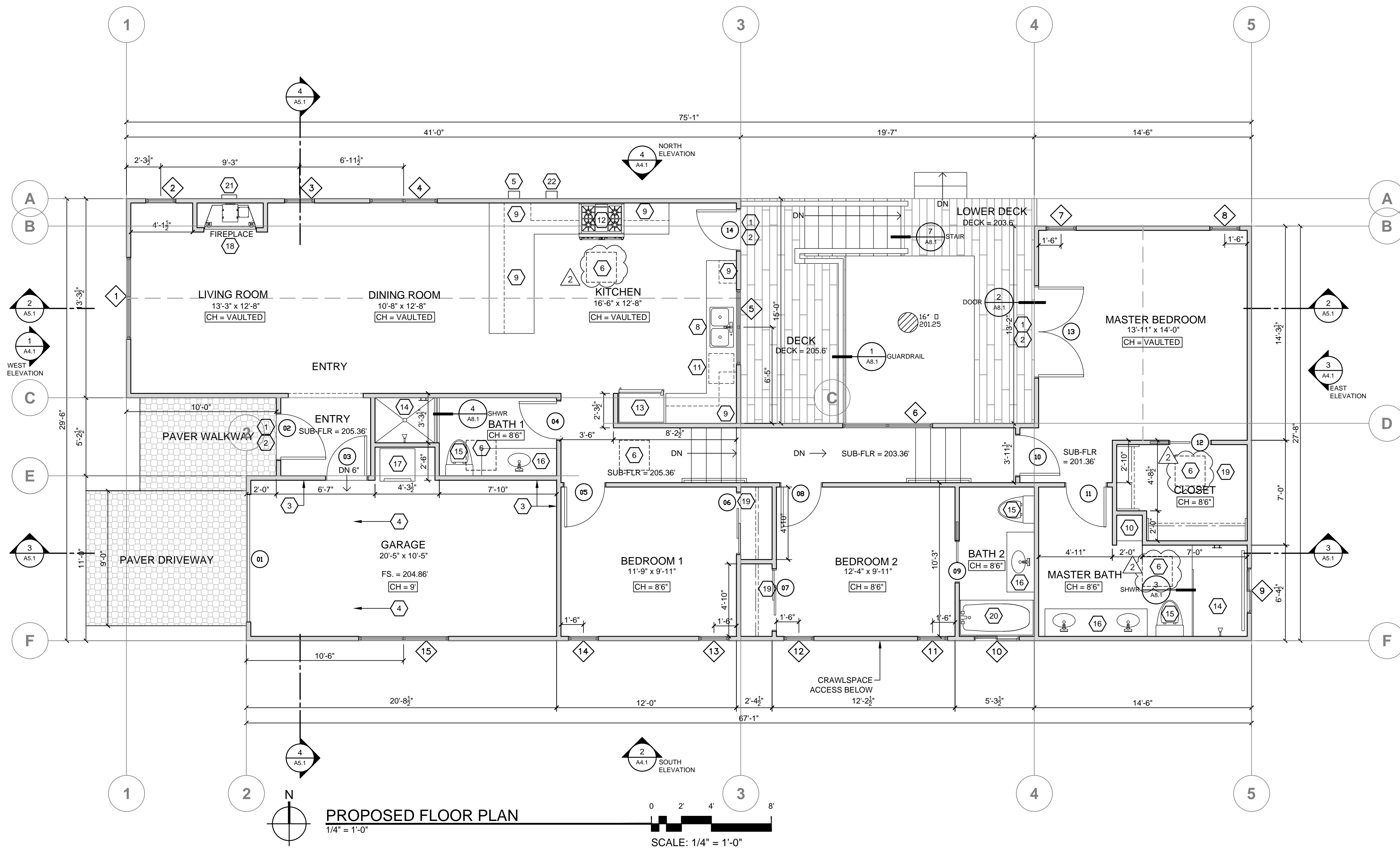
	for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.
8.	<b>Conditions of Approval.</b> All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.
<b>Special Condition</b>	
9.	<b>Building Permit Revision.</b> The applicant shall apply for and obtain a building permit revision to building permit BP 21-425 prior to commencing work on the approved Design Study Amendment (DS 23-300).
10.	<b>Skylights &amp; Skylight Shades.</b> The Applicant shall submit product information for the skylights and skylight shades prior to the issuance of a building permit. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.
11.	<b>Prior Conditions of Approval.</b> All conditions of approval of the previous Design Study approvals, DS 22-077, Junipero Investors, shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.

Acknowledgement and acceptance of conditions of approval:

Property Owner Signature	Printed Name	Date
Applicant Signature	Printed Name	Date

**Once signed, please email to [ekort@ci.carmel.ca.us](mailto:ekort@ci.carmel.ca.us).**





**SHEET NOTES**

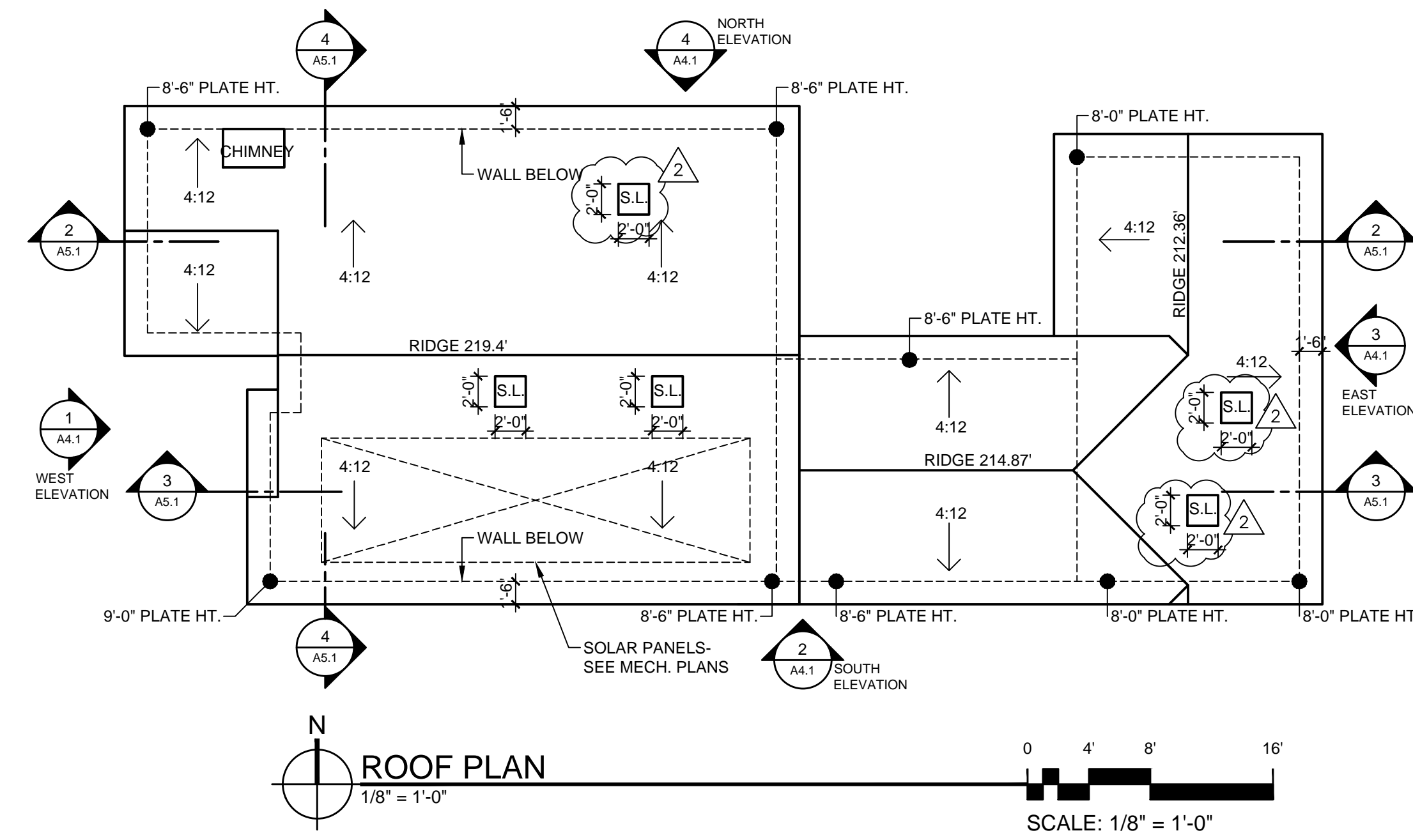
- Floor elevations at the required Egress Door (1 required) (CRC R311.3.1) landings or floors at the required egress door shall not be more than 1'-1/2" lower than the top of the threshold for outswing doors and 7'-3/4" for inswing or sliding doors. Non-egress doors (CRC R311.3.2) - landings or floors shall be not more than 7'-3/4" lower than the top of the threshold for inswing, outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
- Landing at doors (CRC R311.3) - min. depth 36" min. width shall be not less than the width of the door served. landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).
- Fire separation wall (CRC R202.6) - provide 5/8 type "x" gyp. bd. over framing at walls and ceiling
- Garage Floor - Provide:
  - concrete slab & control joints per structural drawings
  - seal concrete with concrete sealer
  - slope toward garage doors for drainage (min. 2")
  - 3/8" curb at all walls for termite and water protection
  - protect finish slab during construction with protection board
- On demand water heater
- Skylight - see roof plan for size and detail location
- Attic space and access (CRC R807.1) attic opening shall be min. 22"x30" with 30" min. head clearance and is required when an attic area exceed 30 sq ft and has a vertical height of 30" or greater.
- Kitchen sink with garbage disposal - owner to select make and model
- Casework - 24" base cabinet with 14" upper cabinet. owner to select finish, countertop & layout.
- Casework - full height linen cabinet with adjustable shelves
- 24" dishwasher - low flow per standards - owner to select make & model
- Range top - 36" wide with drawers below. owner to select make & model
- Refrigerator - 36" wide, provide recessed plumbing for ice maker - owner to select make & model
- Shower - provide:
  - 24" wide minimum (outswing) tempered glass door, door optional
  - 24" shampoo recess, soap shelf & seat per owner's specifications
  - impervious surface to 72" minimum above drain inlet
  - 2"x8" wall for thermostatic valve
  - Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. [CPC 408.9]
- Toilet - 1.28 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (cpc 2904)
- Provide sink(s), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
- Stacking washing machine and dryer - verify make and model with owner (provide plumbing connections recessed in wall, clothes dryer to vent to exterior with 4" smooth metal pipe and shall include a back-draft damper, 14'-0" maximum horizontal run with (2) 90° bends maximum. Vent discharge location shall be a minimum 3' away from any opening into the building per CMC 504.3.1
- Fireplace - direct vent with metalbestos flue. owner to select model
- Provide a shelf and closet pole system at all wardrobe closets. owner to specify locations for double pole and/or additional shelving/drawer systems
- Cast iron rectangular skirted tub under 55 gallons with showerhead above - owner to select color and verify if glass enclosure is needed
- Electrical meter
- Gas meter

**WALL LEGEND**

- NEW 2x4 WALLS**
- EXTERIOR WALLS - 2x4 STUDS @ 16" OC U.O.N. BOARD AND BATT ON EXTERIOR FACE WITH 5/8" TYPE X GWB ON THE INTERIOR
  - INTERIOR WALL - 2x4 STUDS @ 16" OC WITH 5/8" TYPE X GWB ON BOTH SIDES.
  - SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
  - ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
  - SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
  - PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

**GENERAL ROOF & CHIMNEY NOTES**

- Roof Material = Custom Built charcoal metal roof
- Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
- Roof Slope = 4/12 unless otherwise noted
- Overhang = 18" unless otherwise noted
- Aluminum half round gutters with round downspouts
- Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
- SPARK ARRESTER: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves. arrester screen shall have heat and corrosion resistance equal to 12 gage wire, 19 gage galvanized steel or 24 gage stainless steel (CRC R1003.9.1).
- CHIMNEY TERMINATION: Chimneys shall extend a least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 3' above the highest point where the chimney passes through the roof (CRC R1003.9).
- Masonry or concrete chimneys shall be anchored at each floor, ceiling or roof line more than 6' above grade with (2) 3/16" x 1" metal straps hooked around the outer bars and extend 6" beyond the bend. Each strap shall be fastened to not less than four floor ceiling or floor joists or rafters with two 1/2-inch bolts per CRC R1001.4.1



**APPROVED**

**07/26/2024**

**City of Carmel-by-the-Sea  
Planning & Building Dept.**

PROJECT NAME:  
**NEW RESIDENCE  
AT JUNIPERO 6  
NE OF 8TH**

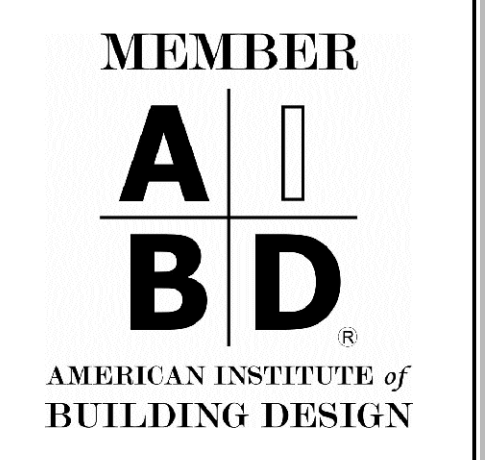
JUNIPERO 6 NE OF 8TH  
CARMEL, CA 93923

APN: 010-084-018



**DRAWING RECORD**

DESCRIPTION	ISSUED
TRACK 2 SUBMITTAL	3-4-2022
TRACK 2 RE-SUBMITTAL	5-9-2022
VOLUME STUDY	7-11-2022
TRACK 2 RE-SUBMITTAL	11-1-2022
BLDG SUBMITTAL	2-8-2023
PC#1	4-10-2023
BLDG REVISION	3-28-2024
PRINT DATE:	3/27/2024



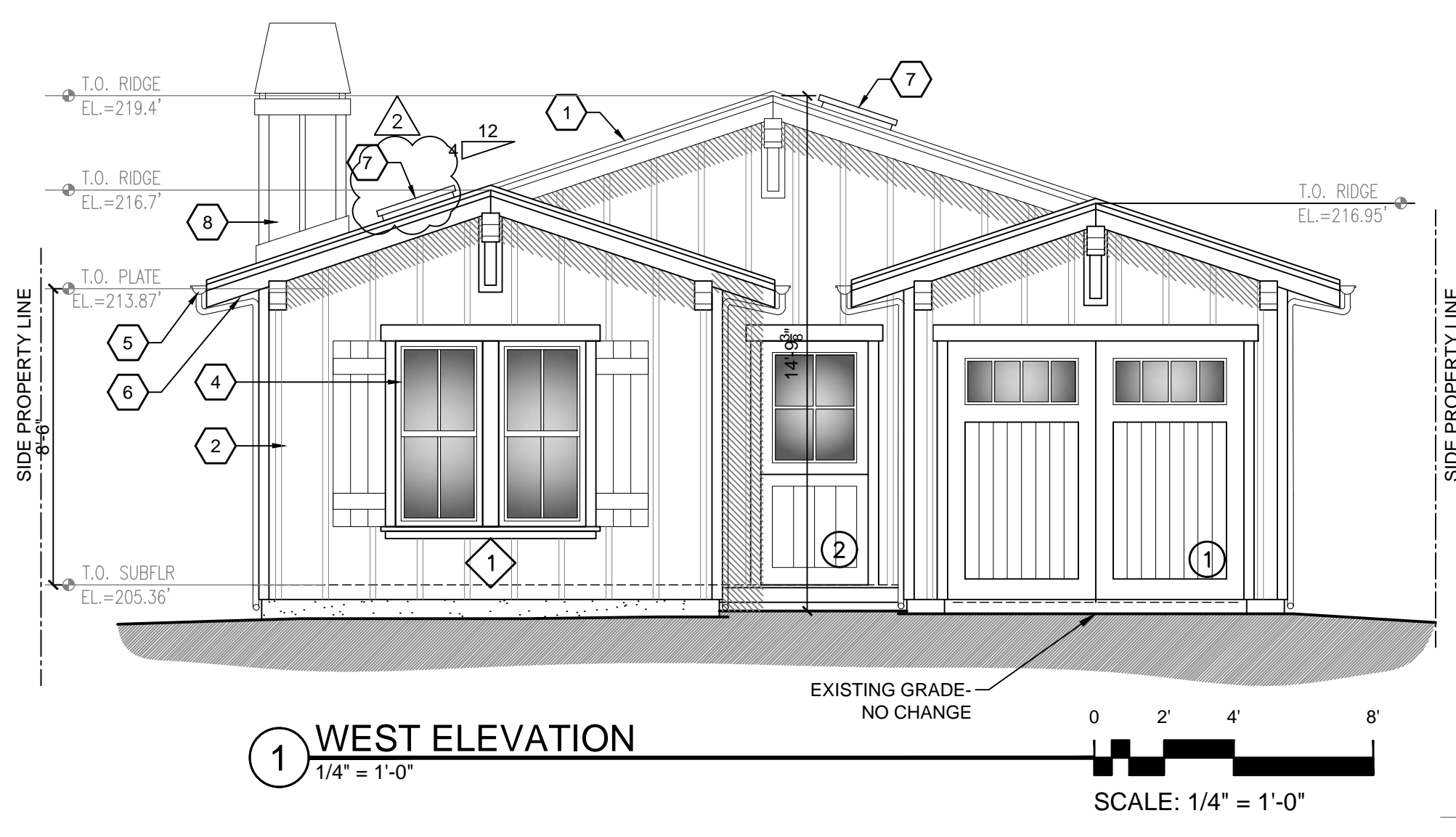
All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of MOORE DESIGN INC. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with MOORE DESIGN INC., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

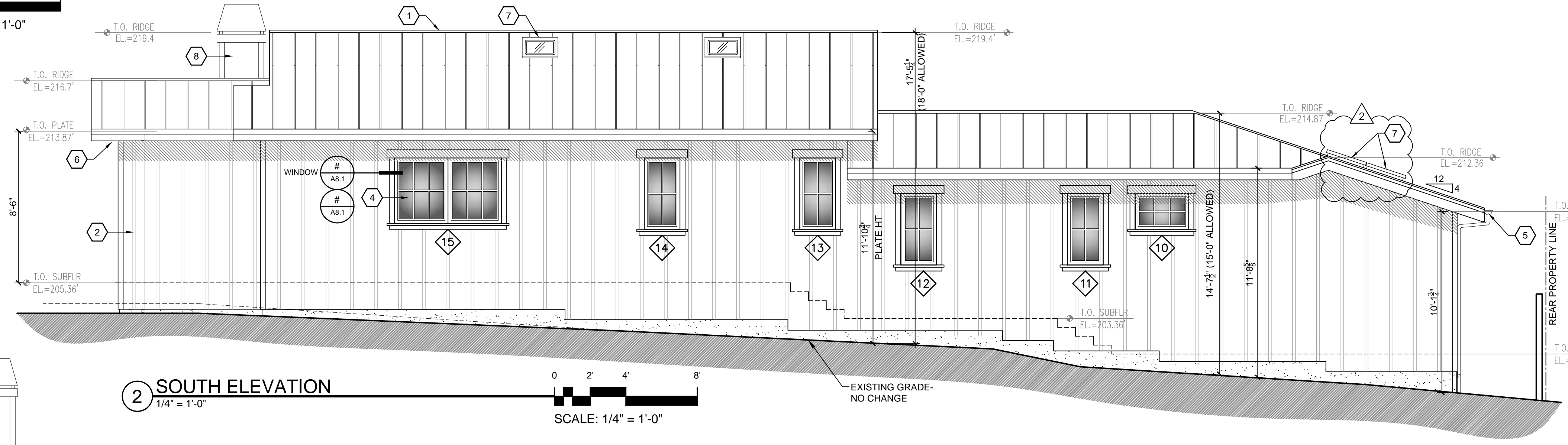
SHEET TITLE:  
**FLOOR PLAN**

SHEET NUMBER:  
**A2.1**

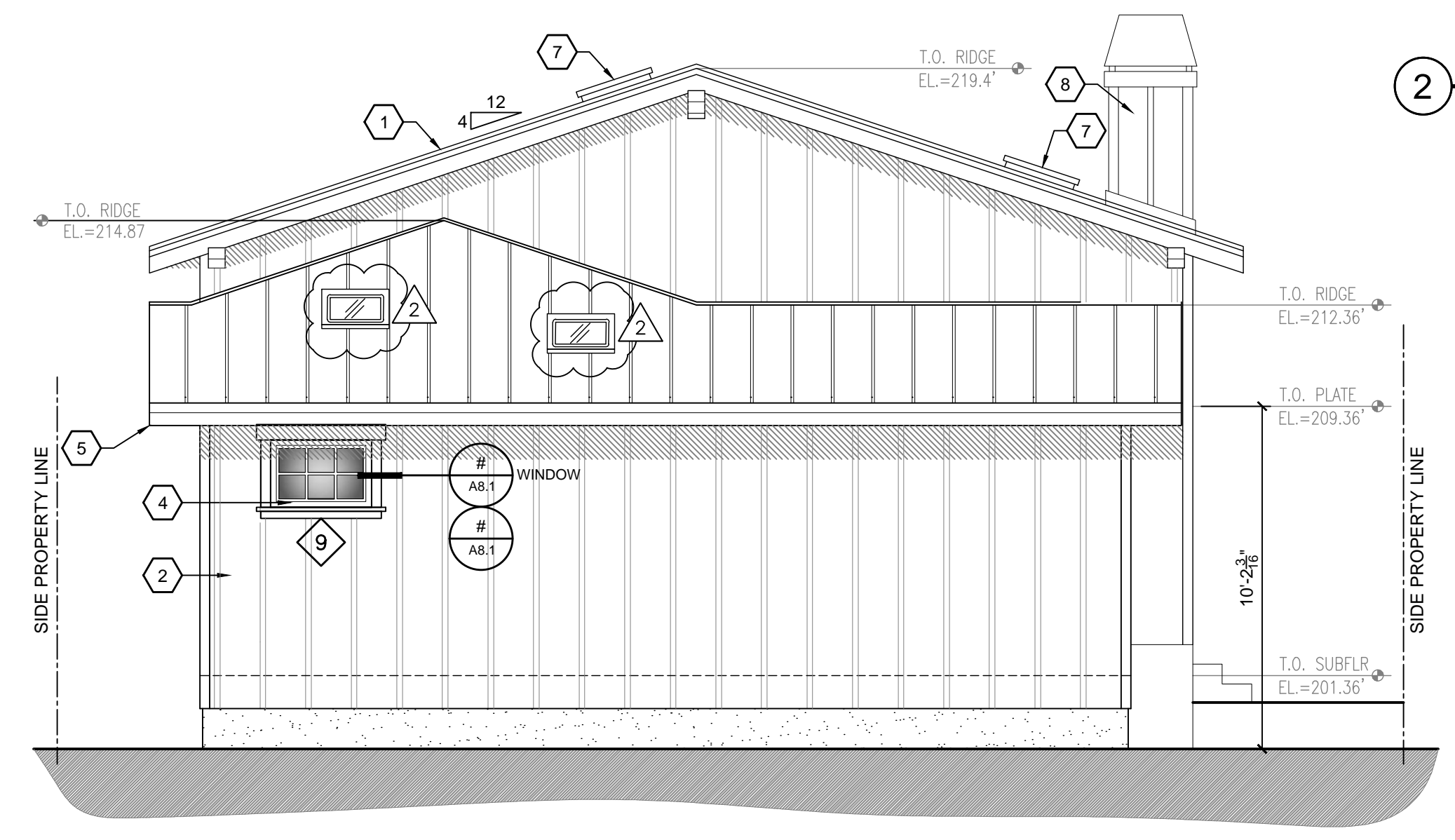




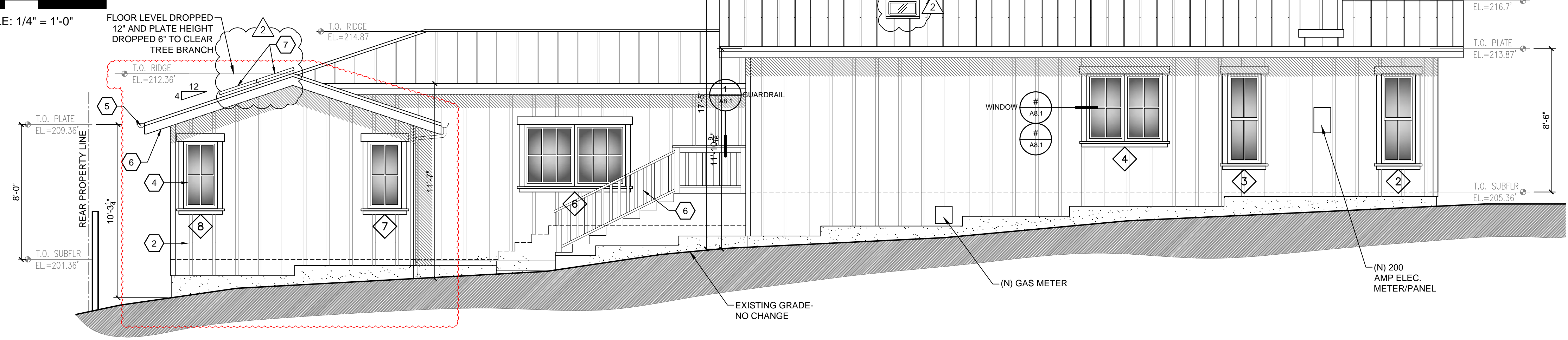
1 WEST ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"



3 EAST ELEVATION  
1/4" = 1'-0"



4 NORTH ELEVATION  
1/4" = 1'-0"

**SHEET NOTES**

1. ROOF - CUSTOM BUILTS METAL ROOF. COLOR MIDNIGHT BRONZE
2. WALLS - BOARD & BATT. EXTERIOR PAINT COLOR BENJAMIN MOORE - PALE OAK OC-20. TRIM PAINT COLOR BENJAMIN MOORE - GARDENIA AF-10. FRONT DOOR AND SHUTTERS COLOR BENJAMIN MOORE - SYLVAN MIST CSP-740
3. EAVE DETAIL - PAINTED FASCAI BOARD AND EXPOSED RAFTER TAILS. PAINTED 1x6 ON UNDERSIDE OF EAVE T&G.
4. WINDOWS - LOEWEN WOOD CLAD DOUBLE PANE WINDOWS. COLOR - WHITE. WOOD TRIM SURROUND. COLOR KMW44 PEARLY WHITE.
5. GUTTERS - ALUMINUM HALF ROUND GUTTERS WITH 3" ROUND DOWNSPOUTS.
6. REAR DECK AND RAILING - STAINED REDWOOD.
7. SKYLIGHTS - FLAT DARK ANODIZED ON LOW CURB.
8. CHIMNEY - PAINTED BOARD AND BATT WITH PAINTED METAL SHROUD.

PROJECT NAME:  
**NEW RESIDENCE  
AT JUNIPERO 6  
NE OF 8TH**

JUNIPERO 6 NE OF 8TH  
CARMEL, CA 93923

APN: 010-084-018

**MOORE DESIGN INC.**  
RESIDENTIAL PLANNING &  
CONSTRUCTION ADMINISTRATION

550 FIGUEROA ST., SUITE B  
MONTEREY CA. 93940  
831.642.9732 FAX 831.401.3292  
john@mooredesign.org

**DRAWING RECORD**

DESCRIPTION	ISSUED
TRACK 2 SUBMITTAL	3-4-2022
TRACK 2 RE-SUBMITTAL	5-9-2022
VOLUME STUDY	7-11-2022
TRACK 2 RE-SUBMITTAL	11-1-2022
BLDG SUBMITTAL	2-8-2023
PC#1	4-10-2023
BLDG REVISION	3-28-2024
PRINT DATE:	3/27/2024

MEMBER

**AIBD**  
AMERICAN INSTITUTE of  
BUILDING DESIGN

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of MOORE DESIGN Inc. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with MOORE DESIGN Inc., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:  
**ELEVATIONS**

SHEET NUMBER:  
**A4.1**