



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24078

Owner Name: RAMOS LAWRENCE M & MARIE LOURDES OREO TRS

Case Planner: Katherine Wallace, Associate Planner

Date Posted: _____

Date Approved: 06/20/2024

Project Location: SW Corner of San Carlos & 2nd

APN #: 010125013000 **BLOCK/LOT:** 29/1 & 3

Applicant: Nick Hovick

Project Description: This approval of Design Study application DS 24078 (Ramos-Oreo) authorizes replacement of exterior doors and windows, in-kind replacement of wood siding, resurfacing the upper rear deck with Trex to mimic wood, and a new wood-and-cable railing at the upper rear deck, located at the southeast corner of San Carlos Street and 2nd Avenue in the Single-Family Residential (R-1) zoning district, as depicted on plans dated June 18, 2024, unless modified by the conditions of approval

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL

No.	Standard Conditions
1.	<p>Authorization. This approval of Design Study application DS 24078 (Ramos-Oreo) authorizes replacement of exterior doors and windows, in-kind replacement of wood siding, resurfacing the upper rear deck with Trex to mimic wood, and a new wood-and-cable railing at the upper rear deck, located at the southeast corner of San Carlos Street and 2nd Avenue in the Single-Family Residential (R-1) zoning district, as depicted on plans dated June 18, 2024, unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Community Planning and Building Department, the Planning Commission, and/or Historic Resources Board, as appropriate.</p>
3.	<p>Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>
4.	<p>Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).</p>
5.	<p>Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to final inspection.</p>
6.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.</p>
7.	<p>Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Planning and Building Department. Any modification incorporated into construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.</p>
8.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>

9.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>
10.	<p>Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.</p>
11.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none">● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.● Excavation within 6 feet of a tree trunk is not permitted.● No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5’ above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>
12.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully</p>

	in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
13.	Conditions of Approval. Prior to the issuance of a building permit, these signed Conditions of Approval shall be printed on a full-size sheet within the construction plan set submitted to the Building Division.
Special Conditions	
14.	Building Permit. The applicant shall obtain a Building Permit from the Planning and Building Department.
15.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor.
16.	Exterior Finishes. With the exception of copper gutters and downspouts, exterior finish materials shall match existing materials. If alternative materials are intended for use, they shall be submitted to the Community Planning & Building Department for review and approval prior to issuance of a building permit.
17.	Secondary Elevation Aluminum Windows and Sliding Doors. Aluminum has been found to be an appropriate material for the secondary elevations. Prior to the issuance of a building permit, the Applicant shall include the manufacturer’s specifications for the proposed aluminum windows and sliding doors.
18.	Deck Flooring Material. Prior to issuance of a building permit, the Applicant shall revise the plans to replace the membrane flooring proposed for the deck with a natural material, such as wood or stone, or a product approved by the project Planner that closely mimics the appearance of a natural material.
19.	Deck Lighting. Prior to issuance of a building permit, the Applicant shall revise the plans to replace the LED strip lighting as proposed for the deck with exterior light fixtures that comply with the City municipal code and residential design guidelines (see Standard Condition #9).

Acknowledgment and acceptance of conditions of approval:

 Property Owner Signature

 Printed Name

 Date

 Applicant Signature

 Printed Name

 Date



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)
 Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

Category	Best Management Practice
Erosion Control	1. Erosion Control Plan: Develop and implement an erosion control plan before construction begins.
	2. Sediment Control: Install sediment traps, silt fences, and other sediment control measures.
	3. Stormwater Management: Install stormwater management systems such as detention basins, infiltration basins, and rain gardens.
	4. Best Management Practices: Implement BMPs such as mulching, cover, and revegetation to prevent erosion.
Water Quality	5. Stormwater Pollution Prevention: Implement measures to prevent pollutants from entering stormwater.
	6. Stormwater Treatment: Install stormwater treatment systems such as bioretention basins and constructed wetlands.
	7. Stormwater Storage: Install stormwater storage systems to reduce peak flows.
	8. Stormwater Reuse: Implement measures to reuse stormwater for irrigation and other non-potable uses.
Air Quality	9. Dust Control: Implement measures to control dust during construction.
	10. Noise Control: Implement measures to control noise during construction.
	11. Vibration Control: Implement measures to control vibration during construction.
	12. Air Quality Monitoring: Monitor air quality during construction.

REVISIONS	BY
4/25/24	[Signature]
6/18/24	[Signature]

Line	Qty	Size	MILGARD	Description	NO ALLWEATHER
1	1	RO: 25 1/2" x 93"	3310U, PW, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, PW, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3/16" SunCoatMAX (Low-E) Tempered over 3/16" Clear with Gray Foam Spacer
2	2	RO: 59" x 99"	3310U, PW, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, PW, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3/16" SunCoatMAX (Low-E) Tempered over 3/16" Clear with Gray Foam Spacer
3	1	RO: 59" x 93"	3410U, DBA, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3410U, DBA, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3/16" SunCoatMAX (Low-E) Tempered over 3/16" Clear with Gray Foam Spacer
4	1	RO: 25 1/2" x 93"	3310U, PW, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, PW, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3/16" SunCoatMAX (Low-E) Tempered over 3/16" Clear with Gray Foam Spacer
12	1	RO: 72" x 24"	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer
13	1	RO: 48" x 36"	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer
14	1	RO: 60" x 52"	3310U, PWG4, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, PWG4, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3/16" SunCoatMAX (Low-E) over 3/16" Clear with Gray Foam Spacer
15	1	RO: 48" x 36"	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer
16	1	RO: 72" x 48"	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer
17	1	RO: 48" x 36"	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer
18	1	RO: 48" x 36"	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3310U, HV, 1 3/8" Setback, Ext Black Bean / Int Black Bean	1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer
19	1	RO: 60" x 96"	3626U, SD2, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3626U, SD2, 1 3/8" Setback, Ext Black Bean / Int Black Bean	5/32" SunCoatMAX (Low-E) Tempered over 3/16" 4th Surface HP Coating Tempered with Gray Foam Spacer
20	1	RO: 72" x 80"	3626U, SD2, 1 3/8" Setback, Ext Black Bean / Int Black Bean	3626U, SD2, 1 3/8" Setback, Ext Black Bean / Int Black Bean	1/8" SunCoatMAX (Low-E) Tempered over 3/16" 4th Surface HP Coating Tempered with Gray Foam Spacer

GENERAL NOTES

NOTE:
 ALL WORK TO COMPLY WITH THE 2022 CBC, 2022 CEC, 2022 CMC 2022 CPC, CA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2020 NEC & Carmel Muni Code.

--All users of these drawings agree by using these drawings to hold the architect harmless for any and all work that does not conform to requirements and minimum standards of the U.B.C., U.P.C., U.M.C. N.E.C., local ordinances, and acceptable standards. --The architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures or for any safety precautions or programs in connection with the work.

--The architect assumes no responsibility for the performance of products or materials not specified in these drawings. --Contractor shall verify all property lines and easements (public or private) including but not limited to; sewer, water, electrical, telephone, cable T.V., and gas prior to starting construction.

--Contractor to verify all existing dimensions, floor elevations, framing sizes and other conditions. Notify the architect of any discrepancies which affect the design or intent as shown in these drawings.

--Verify all utility data and locations prior to any work. Onsite utilities shall be coordinated with the appropriate agency or utility company. --All irregular structural conditions shall be reviewed and approved by a certified engineer.

DEMOLITION NOTES --Verify with owner about any materials, equipment, etc. which is to be salvaged and kept by owner. --All discarded materials shall be removed from the site and disposed of by contractor. --Verify condition of existing subfloor, floor framing, foundations, etc. remove and replace any damaged, decayed, or substandard materials.

--Before beginning any cutting or demolition work, the contractor shall carefully survey the existing work and examine the drawings and specs to determine the extent of work. --The contractor shall take all necessary precautions to insure against damage to existing work to remain in place or to be reused.

--The contractor shall carefully construct and maintain shoring, bracing, and supports as required. --The contractor shall insure that structural supports are not overloaded and be responsible for increasing the size of structural members or adding new members as may be required as a result of any cutting, removal, or demolition work performed under any part of this contract.

--Remove existing gypsum wallboard or cement plaster and trim back to face of existing 2x studs or blocking. --Remove existing plumbing, ducts, electrical wiring, etc. as required to prepare area for new work. --Remove all stud walls as required by new work only after shoring and bracing as noted above.

CONSTRUCTION NOTES --No wood to be closer than 6" to earth. --Nailing as per U.B.C 23-1-Q --All headers over openings in bearing walls shall consist of a solid member the width of the studs by the minimum nominal depth as given below unless otherwise noted.

Maximum span
 4'-0" 6'-0" 8'-0" 10'-0" 12'-0"

Minimum nominal depth
 4" 6" 8" 10" 12"

--Plywood grades shall conform with U.B.C 23-1-B --Glass and glazing to comply with U.B.C. Chapter 24. Glass and glazing subject to human impact shall be tempered and shall comply with U.B.C. section 2406. Glazing within 12" of any door, within 18" of any floor, or within 30" of tub or shower and less

than 60" above drain must comply. This requirement includes any glass doors or panels of shower and tub enclosures. --Toilets shall have a maximum of 1.28 gpf. Shower head flow shall not exceed 1.75 gpm at 40 psi, all lav. and sink faucets shall not exceed 2.0 gpm, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. Water pressure in building shall be limited to 50 psi or less. --All fixtures installed in wet or damp locations shall be so labelled. --All appliances shall be securely fastened in place. --Provide and install products of combustion detectors centrally located in corridor and in each sleeping room and connect to house primary wiring. When bedrooms are located on second floor, detector shall be located above the stairway. --Provide 1/2" moisture resistant GWB behind bath to ceiling and finish all shower area walls with a smooth non-absorbent surface to a height of 70" above drain inlet --Provide and install at least one fluorescent light in each bathroom where more than one light is installed. --Provide fluorescent task lighting in kitchen. --All habitable rooms or areas shall have a ceiling height of not less than 7'-6" except as otherwise permitted in U.B.C. 1207 (a). --Dryer shall be vented to exterior of building. --Bedroom window sill heights shall be a maximum of 44" above floor. --Provide 1-1/2" square feet of underfloor ventilation for every 25 lineal feet of wall. --Provide one square foot of attic ventilation for every 150 square feet of attic area or 2-3-1/2 x 22-1/2" eave vents for every 150 square feet of attic area.

METALS --Bolts shall conform to ASTM A307. Iron washers shall be used on all bolts where nuts are in contact with wood. Bolt holes in wood shall be 1/16" oversize, maximum. All nuts shall be tightened when placed and retightened at completion of job or immediately before finishing construction work which will make them inaccessible.

--Framing hardware shall be "Simpson Co.", "Strong Tie" connectors, as indicated on the drawings, or equal. --All bolts, nuts, washers, nails, and framing hardware shall be galvanized where exposed to weather. --Nailing shall be galvanized when exposed to the exterior. Subdrill where there is danger of splitting. Size and spacing of nails shall be as noted on drawings or as per table 23-1-Q of the U.B.C.

--Plywood sheathing nails shall be driven flush but shall not fracture the surface of the sheathing. --Hold-downs shall be "Simpson" or equal and shall be set accurately in relation to framing members per manufacturer's specifications. --Concrete anchors where specified or required shall be "phillips" "redhead" or approved equal. --Powder driven anchors shall be "hilti" or equal.

CARPENTRY --Wood in contact with concrete shall be pressure treated Douglas fir conforming to U.B.C. latest edition. --All wood in contact with earth shall be pressure treated. --All joists, beams, posts, plates, and ledgers shall be D.F. #2 U.O.N. Beams and posts 6X or larger shall be D.F. #1 I.O.N. All studs, blocking, and 4 x 4 posts shall be D.F. Standard or Better All sills shall be pressure treated D.F. #2 or better.

All nailing to be in compliance with U.B.C. table 23-1-Q. --Horizontal blocking shall be installed in all walls and partitions where studs are greater than ten feet in height. Stud walls supporting beams shall have posts under bearings U.O.N. --Wood sills shall be attached to slab or foundation with 5/8" x 0" anchor bolts at 4'-0" maximum spacing except as noted otherwise. There shall be a minimum of 10 fasteners per piece of sill. Embed anchor bolts 7" minimum into concrete or masonry. --Wall top plates shall lap a minimum of 4'-0" at butt joints, and shall have 8 16d nails both sides of joint. Top late shall overlap at corners and at intersections with other partitions. --Provide double joists under all arallel bearing partitions. --All Glu-Lam material shall be manufactured to the minimum stresses and amber as necessary and shall be with exterior glue U.O.N. --Glu-Lams shall be combination 24F-V4 or simple span conditions and 24F-V10 for continuous and cantilevered beams U.O.N. --Pre-bricated floor and roof trusses or joists. Manufacturer shall submit shop drawings and calculations repaired and signed by a licensed civil engineer. Contractor shall review and approve dimensions and details shown on shop drawings and send to the building official prior to fabrication.

Marina Camacho, County Assessor

Parcel Information

Parcel # (APN): 010-023-003-000
 City: San Jose
 County: Santa Clara
 Assessor's Parcel Number: 010-023-003-000

Assessment

Total Value: \$1,528,000
 Land Value: \$1,000,000
 Improvement Value: \$528,000

Property Characteristics

Area: 10,000 sq. ft.
 Zoning: R-1
 Use: Single-Family Residential

NEW BUILDING AREA = 1579 sq. ft. UNCHANGED

ADD GAS FIREPLACE - R-1

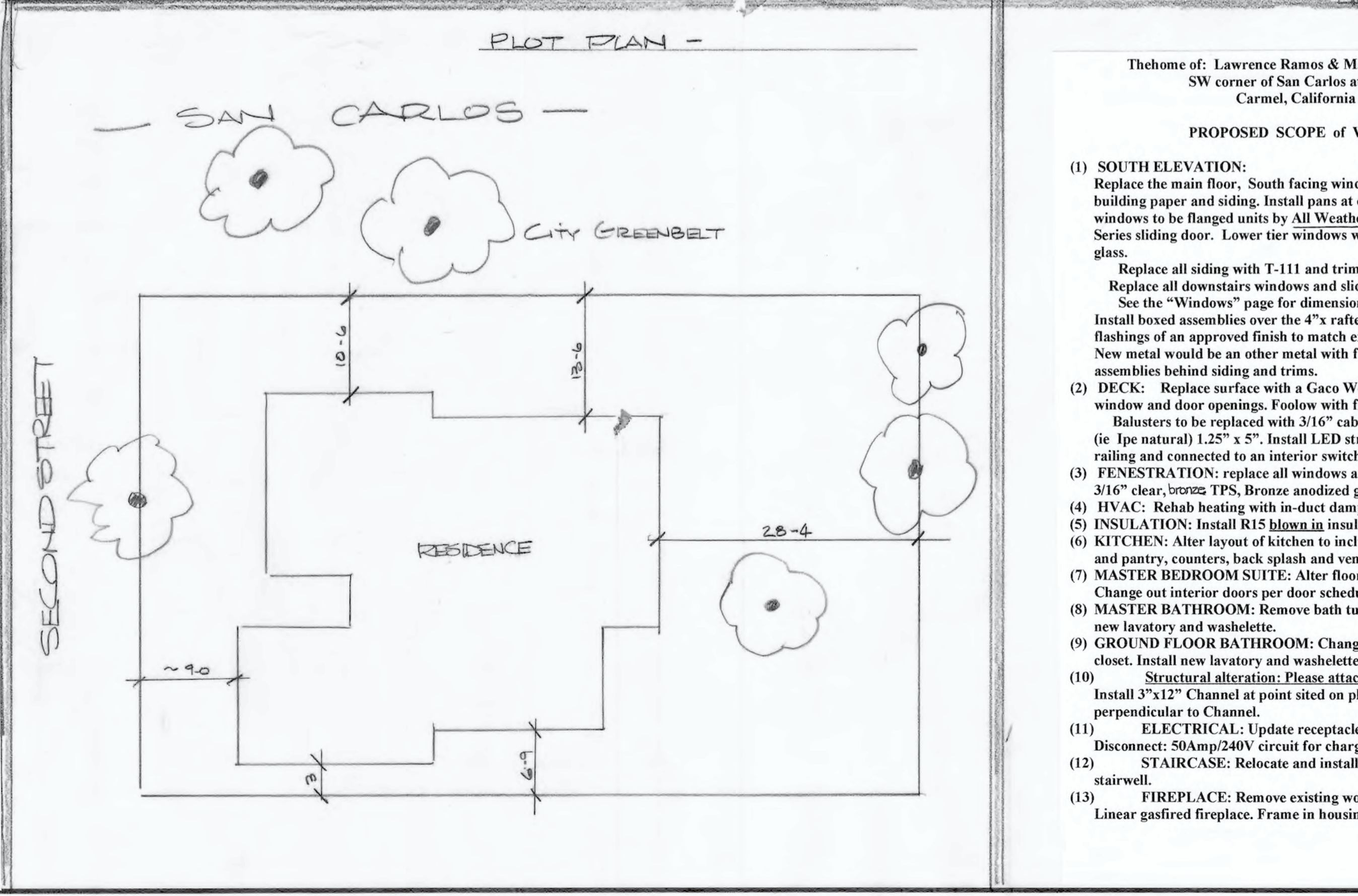
LINEAR WALL CALC - 46 LF.

CARMEL-BY-THE-SEA PLANNING DIVISION APPROVED

Permit #: DS 24-078 (Ramos-Oreo)

Date Approved: 6/20/2024

Planner: K. Wallace



- Thehome of: Lawrence Ramos & Marie Lourdes Oreo
 SW corner of San Carlos at 2nd St.
 Carmel, California 93923
- PROPOSED SCOPE of WORK**
- SOUTH ELEVATION:** Replace the main floor. South facing windows and sliding glass door. Replace surrounding trims, building paper and siding. Install pans at each door, and flash each opening. Lower tier of windows to be flanged units by All Weather Aluminum 5000 Series and one All Weather 8150 Series sliding door. Lower tier windows will be equipped with lower awning windows, below fixed glass. Replace all siding with T-111 and trim as previously done. Replace all downstairs windows and sliders with same except where noted. See the "Windows" page for dimensions. Install boxed assemblies over the 4"x rafter tails. Cap each upper surface with fitted sheet metal flashings of an approved finish to match existing exterior metal. (ie: Current gutters are copper. New metal would be an other metal with factory coating to match for appearance.) Flash assemblies behind siding and trims.
 - DECK:** Replace surface with a Gaco Western U-66 Deck Coating System. Roll up into the window and door openings. Foothold with flashing and installation above. Balusters to be replaced with 3/16" cable at 4" on center. The cap rail to be approved material (ie: 1pe natural) 1.25" x 5". Install LED strip lighting in a slot routed on the underside of the railing and connected to an interior switch to provide illumination on the deck.
 - FENESTRATION:** replace all windows and doors with identical sizes, dual glazed, Air 3/16" clear, bronze TPS, Bronze anodized glass. Flash per code. Replace entry door. (see "entry" page)
 - HVAC:** Rehab heating with in-duct dampers, new thermostat.
 - INSULATION:** Install R15 blown in insulation in all walls and ceiling of Master bedroom.
 - KITCHEN:** Alter layout of kitchen to include an island. Install new dishwasher, range cabinets and pantry, counters, back splash and vent fan. Install natural gas supply for new range.
 - MASTER BEDROOM SUITE:** Alter floorplan of the bedroom, entry hall closet, bedroom closets. Change out interior doors per door schedule.
 - MASTER BATHROOM:** Remove bath tub and install walk in shower with barndoor enclosure, new lavatory and washlet.
 - GROUND FLOOR BATHROOM:** Change floor plan to create a 5-0 walk in shower and new linen closet. Install new lavatory and washlet, with vent fan.
 - Structural alteration:** Please attached Structural calculations from Mayone Engineering. Install 3"x12" Channel at point sited on plans. Attach per instructions. Remove bearing wall perpendicular to Channel.
 - ELECTRICAL:** Update receptacles and lighting in bathrooms, kitchen, etc. Install a Disconnect: 50Amp/240V circuit for charging.
 - STAIRCASE:** Relocate and install a 66" diameter spiral staircase per plan. Close off old stairwell.
 - FIREPLACE:** Remove existing wood burning fireplace and replace with a VALOR L2 Linear gasfired fireplace. Frame in housing.

Design: Hovick Design & Construction
 Nick Hovick
 P.O. Box 1436
 Carmel, CA 93921
 nick@hovickdesign.com
 (831) 236-7181

Lawrence Ramos & Martu Oreo
 SW San Carlos @ 2nd St.
 Carmel, CA
 OreoRamos@yahoo.com
 raiderne@icloud.com
 (510) 517-4137

Date 3/1/24
 Scale 1/8"=1'
 Drawn [Signature]
 Job [Signature]
 Sheet 1
 Of 4 Sheets

