

NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24031
Owner Name: TIRRENO DANIEL L & KRISTEN S
Case Planner: Alec Barton, Contract Planner
Date Posted:
Date Approved:
Project Location: SE Corner of Perry Newberry & 5th
APN #: 009162026000 BLOCK/LOT: 3B/ALL LOT 4
Applicant: BRADLEY GREEN
Project Description: REMODEL OF EXISTING SINGLE FAMILY RESIDENCE CONSISTING OF ADDITION TO SECOND SOTRY OF RESIDENCE RESULTING IN ADDITIONAL 46 SQ FT
Can this project be appealed to the Coastal Commission? Yes □ No ✓
Upon completion of the 10 calendar-day appeal period, please return this form, along with the

	CONDITIONS OF APPROVAL								
No.	No. Standard Conditions								
1.	Authorization. This approval of Design Study application DS 24031 (Tirreno) finds the subject application consistent with the findings and requirements of CMC 17.10.030, and authorizes the remodel of an existing single-family residence, including a second-story addition of 31 square feet, at the southeast corner of Perry Newberry Way and 5th Avenue in the Single-Family Residential (R-1) zoning district, as depicted on plans dated March 22, 2024.								
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Community Planning and Building Department, the Planning Commission, and/or Historic Resources Board, as appropriate.								
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.								
4.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to final inspection.								
5.	Water Use . Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.								
6.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Planning and Building Department. Any modification incorporated into construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.								
7.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.								
	When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.								
8.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.								
9.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree								

protection measures on the construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.
- The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydrovac at low pressure, or another method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.

If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

- 10. **Indemnification.** The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
- 11. **Conditions of Approval.** Prior to the issuance of a building permit, these signed Conditions of Approval shall be printed on a full-size sheet within the construction plan set submitted to the Building Division.

Special Conditions

- 12. Building Permit. The applicant shall obtain a Building Permit from the Planning and Building Department.
- 13. **Conditions of Approval Acknowledgement**. Prior to the issuance of a building permit revision, a completed **Conditions of Approval Acknowledgment** form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
- 14. **Gutters & Downspouts.** As applicable, prior to issuance of a building permit, the applicant shall submit a revised plan for review and approval by the Planning Division identifying the material and color of any proposed gutters and downspouts. Copper gutters and downspouts are prohibited due to environmental impacts on Carmel Bay.

DS 24031 (Tirreno) Conditions of Approval April 8, 2024 Page 3 of 3

- 15. **Exterior Finishes**. Exterior finish materials shall match existing materials. If alternative materials are intended for use, they shall be submitted to the Community Planning & Building Department for review and approval prior to issuance of a building permit.
- 16. **Removed Site Coverage.** Unless otherwise expressly noted on the approved site plan, all areas where site coverage is proposed to be removed shall be replaced with woodchip or mulch. New or replacement improvements that would otherwise count as site coverage (gravel, decomposed granite, etc) shall not be authorized. All site coverage required to be removed shall be removed prior to final inspection. All new landscaping shall be installed prior to final inspection.

Acknowledgment and acceptance of conditions of approval:				
Property Owner Signature	Printed Name	 Date		
Applicant Signature	 Printed Name	 		

THIS PROJECT SHALL COMPLY WITH CALIFORNIA CODE OF REGULATIONS TITLE 24, BUILDING STANDARD CODE, 2022 EDITION:

CRC - CALIFORNIA RESIDENTIAL CODE, PART 2.5 CBC - CALIFORNIA BUILDING CODE, PART 2, VOL. 1 \$ 2

CEC - CALIFORNIA ELECTRICAL CODE, PART 3 CMC - CALIFORNIA MECHANICAL CODE, PART 4 CPC - CALIFORNIA PLUMBING CODE, PART 5

CENC - CALIFORNIA ENERGY CODE, PART 6

CFC - CALIFORNIA FIRE CODE, PART 9 CEBC - CALIFORNIA EXISTING BUILDING CODE, PART 10

CALGREEN - CALIFORNIA GREEN BUILDING REQUIREMENTS, PART 11

THIS PROJECT SHALL ADDITIONALLY COMPLY WITH APPLICABLE CODES AND ORDINANCE REQUIREMENTS SET FORTH BY THE PREVAILING GOVERNING BODY: CARMEL-BY-THE-SEA MUNICIPAL CODE (LATEST EDITION ADOPTED JULY 2023)

THESE DRAWINGS ARE PREPARED FOR USE BY A PROPERLY LICENSED AND CERTIFIED CONTRACTOR.

ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS.

DURING THE COURSE OF CONSTRUCTION, THE PREVAILING BEST MANAGEMENT PRACTICE (BMP'S) SHALL BE OBSERVED.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER OR OWNER PRIOR TO ORDERING MATERIALS.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL

EXISTING CONDITIONS ARE SHOWN, CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR TO VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL

CONTRACTOR TO PROTECT EXISTING CONDITIONS FROM DAMAGE, DUST, AND DEBRIS MATERIALS PLANNED TO BE REUSED ARE TO BE PROTECTED FROM DAMAGE THROUGHOUT THE DEMOLITION PROCESS.

ADDRESS IDENTIFICATION:

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AD THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

CARMEL-BY-THE-SEA PLANNING DEPARTMENT **APPROVED**

Permit #: DS 24031 (Tirreno)

Date Approved: April 8, 2024

Planner: A. Barton

ABBREVIATIONS

	<u> </u>				
A.B.	ANCHOR BOLT	F×	FIXED	PR.	PAIR
A.C.	ASPHALTIC CONCRETE				
A/C	AIR CONDITIONING	GΑ	GAUGE	R.A.	RETURN AIR
ALUM.	ALUMINUM	GALV.	GALYANIZED	RAD.	RADIUS
APPROX.	APPROXIMATE	G.I.	GALYANIZED IRON	RD.	ROUND
ARCH.	ARCHITECTURAL	GFI	GROUND FAULT INTERRUPTER	REC.	RECESSED
ANOD.	ANODIZED	GL	GLASS	REF.	REFRIGERATOR
ASPH.	ASPHALT	GND.	GROUND	RENF.	REINFORCED/ING
		GYP. BD.	GYPSUM BOARD	RES.	RESILIENT
BD.	BOARD			RM.	ROOM
	BUILDING	H.C.	HOLLOW CORE	R.O.	ROUGH OPENING
	BLOCKING	H.D.	HOLD DOWN	REQ.	REQUIRED
	BEAM	HDR.	HEADER	R/W	RIGHT OF WAY
	BOTTOM	HDWD.	HARDWOOD	RWD.	REDWOOD
5011.	DO11011	HORIZ.	HORIZONTAL	R.W.L.	RAINWATER LEADER
CAB.	CABINET	HR.	HOUR	N.W.L.	RAINWATER LEADER
	CEMENT	H.B.	HOSE BIBB	SCHED.	SCHEDULE
		HT.	HEIGHT		
G.T. G.I.	CERAMIC TILE CAST IRON	HC.	HANDICAP	S.C.	SOLID CORE SECTION
				SECT.	
CLR.	CLEAR	HVAC	HEATING VENTILATION \$	S.F.	SQUARE FOOT/FEET
CLST.	CLOSET		AIR CONDITIONING	SH	SINGLE HUNG
	COMPOSITION	HW	HOT WATER	SHT.	SHEET
	CONCRETE			SHWR.	SHOWER
CLG.		I.D.	INSIDE DIAMETER	SIM.	SIMILAR
C.M.U.	CONCRETE MASONRY UNIT	INS.	INSULATION	SLD	SLIDER
	CLEAN OUT	INT.	INTERIOR	SLD. GL. D	DR. SLIDING GLASS DOOR
	COLUMN			s\$₽	SHELF AND POLE
	CONNECTION	J.B.	JUNCTION BOX	SPECS.	SPECIFICATIONS
	CONSTRUCTION	JST.	JOIST	SQ.	SQUARE
CSMT.	CASEMENT			SQ.FT.	SQUARE FEET
C.W.	COLD WATER	KIT.	KITCHEN	STD.	STANDARD
		KP	KICKER POST	STL.	STEEL
DBL.	DOUBLE	KS	KING STUD	STOR.	STORAGE
DET.	DETAIL			STRUCT.	STRUCTURAL
DF.	DOUGLAS FIR	LAV	LAVATORIES	S.S.D.	SEE STRUCTURAL DRAWINGS
DIA. OR Ø	DIAMETER	LIN.	LINEN	55	STAINLESS STEEL
	DIMENSION	LT.	LIGHT	SYM.	SYMMETRICAL
D.S.	DOWNSPOUT			3 11 1.	STITIETRICAL
DRY	DRYER	MAT.	MATERIAL	TB	TOWEL BAR
DW	DISHWASHER	MAX.	MAXIMUM	TEL.	TELEPHONE
DWG	DRAWING	M.B.	MACHINE BOLT	TEMP.	TEMPERED
		MECH.	MECHANICAL	THRSH.	THRESHOLD
EA.	EACH	M.A.	MEDICINE CABINET		_
	ELECTRICAL	MFR.	MANUFACTURER	⊺\$G	TONGUE \$ GROOVE
	ELEVATION	MIN.	MINIMUM	T.O.F.	TOP OF FOOTING
	ENCLOSURE	MISC.	MISCELLANEOUS	T. <i>O</i> .	TOP OF
	EQUAL	MTD.	MOUNTED	T.O.P.	TOP OF PLATE
	EXHAUST			T.O.S.	TOP OF SLAB
	EXPANSION	(N)	NEW	T.O.W.	TOP OF WALL
	EXISTING	N.I.C.	NOT N CONTRACT	†P	TOILET PAPER
(E)		NO. OR #		TYP.	TYPICAL
	EXSITING				
EXT.	EXTERIOR	N.T.S.	NOT TO SCALE	U.N.O.	UNLESS NOTED OTHERWISE
		-1			
	FIBERGLASS	Ol _	OVER	VERT.	VERTICAL
	FLOOR DRAIN	O.C.	ON CENTER		
FND.	FOUNDATION	O.F.S.	OUTSIDE FACE OF STUD	w/	WITH
F. A .	FINISH FLOOR	OPP.	OPPOSITE .	WAINS	WAINSCOT
	FINISH GRADE	O.A.	OUTSIDE DIAMETER	WC	WATER CLOSET
FLR.	FLOOR			WD	WOOD
	FLUORESCENT	ዊ	PLATE	WDW	WINDOW
	FACE OF CONCRETE	P/L	PROPERTY	W/O	WITH OUT
F. <i>O</i> .S.	FACE OF STUD	PLAS.	PLASTER	wP	
FR. DR.	FRENCH DOOR	PLY.	PLYW00D		WATERPROOF
FT.	FOOT OR FEET	PNL.	PANEL	WWP	WELDED WIRE FABRIC
FTG.	FOOTING	PNM.	POINT		

PROJECT DIRECTORY

OWNER

DAN & KRISTEN TIRRENO SE CORNER PERRYNEWBERRY & 5TH CARMEL, CALIFORNIA 93921

CONTRACTOR

JUSTIN HASTINGS (HASTINGS CONSTRUCTION INC.) 11 THOMAS OWENS WAY, SUITE 201 MONTEREY, CALIFORNIA 93940 1-(831)-620-0920 justin@hastingsconstruction.com

DESIGNER

BRADLEY GREEN (HASTINGS CONSTRUCTION INC.) 11 THOMAS OWENS WAY, SUITE 201 MONTEREY, CALIFORNIA 93940 1-(831)-620-0920 ex. 708 bradley@hastingsconstruction.com

VIEW OF PROPERTY



VIEW FROM PERRY NEWBERRY WAY



VIEW FROM 5TH AVENUE

PROPERTY LOCATION



DRAWING INDEX

Title Sheet

GENERAL

ARCHITECTURAL

Existing and Proposed Site Plan Existing Floor Plans and Demo Plan

Proposed Floor Plans

ARCHITECTURAL CONTINUED

Existing and Proposed North and South

Existing and Proposed West Elevations Existing and Proposed East Elevations

Existing and Proposed Roof Plans

SCOPE OF WORK

Remodel of existing single family residence consisting of addition to second story of residence resulting in additional 31 sq. ft.

Remodel and addition to include:

- Additional bedroom on second story with new windows, flooring, doors and updated electrical.
- Update of second story bathroom with new flooring, vanity, faucet, toilet and shower fixtures.
- Update of first story bathroom with new flooring, vanity, faucet, toilet and shower fixtures.
- Update of first story laundry room with new flooring, cabinetry and appliances.

PROJECT DATA

LOT DATA:

SE Corner of Perry Newberry & 5th Project Address: Carmel-by-the-Sea, California, 93921

009-162-026-000

R-1 Zoning:

1950 **Built:**

AREA;

Existing Floor Area:

2077 sq. ft. First Floor: Second Floor: 337 sq. ft. TOTAL BASE FLOOR AREA: 2414 sq. ft.

Proposed Floor Area:

2077 sq. ft. First Floor: 368 sq. ft. Second Floor: TOTAL BASE FLOOR AREA: 2445 sq. ft.

Note: 2445 sq. ft. maximum base floor area allowed

SETBACKS:

Existing & Proposed:

Front along Perry Newberry: 20'-0" (15'-0" allowed) Front along 5th Avenue:

16'-9" (15'-0" allowed) 10'-0" at garage (with 5'-0"

> encroachment variance permit DS 95-42)

East Side: 3'-0" (3'-0" allowed) South Side: 21'-0" (3'-0" allowed)

Note: No changes proposed to existing footprint and existing setbacks.

HEIGHT:

Allowed:

1 Story Ridge: 18'-0" 2 Story Ridge: 24'-0"

1 Story Ridge: <18'-0" (No Change Proposed) 2 Story Ridge: ±23'-0" (No Change Proposed)

1 Story Ridge: <18'-0" (No Change Proposed) 2 Story Ridge: ±23'-0" (No Change Proposed)

BUILDING CODE DATA:

R-3 Occupancy:

VB Construction Type:

Fire Sprinklers: No (See calculations on sheet A3)

SITE COVERAGE:

5951 sq. ft. (0.14 AC) Parcel Size:

Existing Impermeable:

Walkways: 31 sq. ft. Stairs: 4 sq. ft.

Existing Permeable:

549 sq. ft. Walkways: 162 sq. ft. Driveway: 293 sq. ft. Deck:

EXISTING TOTAL SITE COVERAGE: 1039 sq. ft.

Note: Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site. 62 sq. ft. reduction required due to 31 sq. ft. increase in base floor area.

Proposed Impermeable:

31 sq. ft. Walkways: 4 sq. ft. Stairs:

Proposed Permeable:

479 sq. ft. Walkways: 162 sq. ft. Driveway: 293 sq. ft. Deck:

PROPOSED TOTAL SITE COVERAGE: 969 sq. ft.

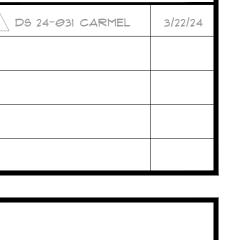
Note: Removal of 70 sq. ft. brick walkway to reduce site coverage at a rate equal to two times the amount of floor area added to the site.

TREE REMOVAL AND/OR PRUNING:

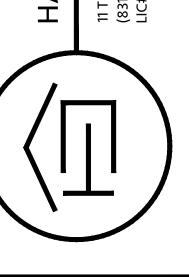
All existing trees and large shrubs to be preserved.

DS 24-031 CARMEL

Revision/Issue



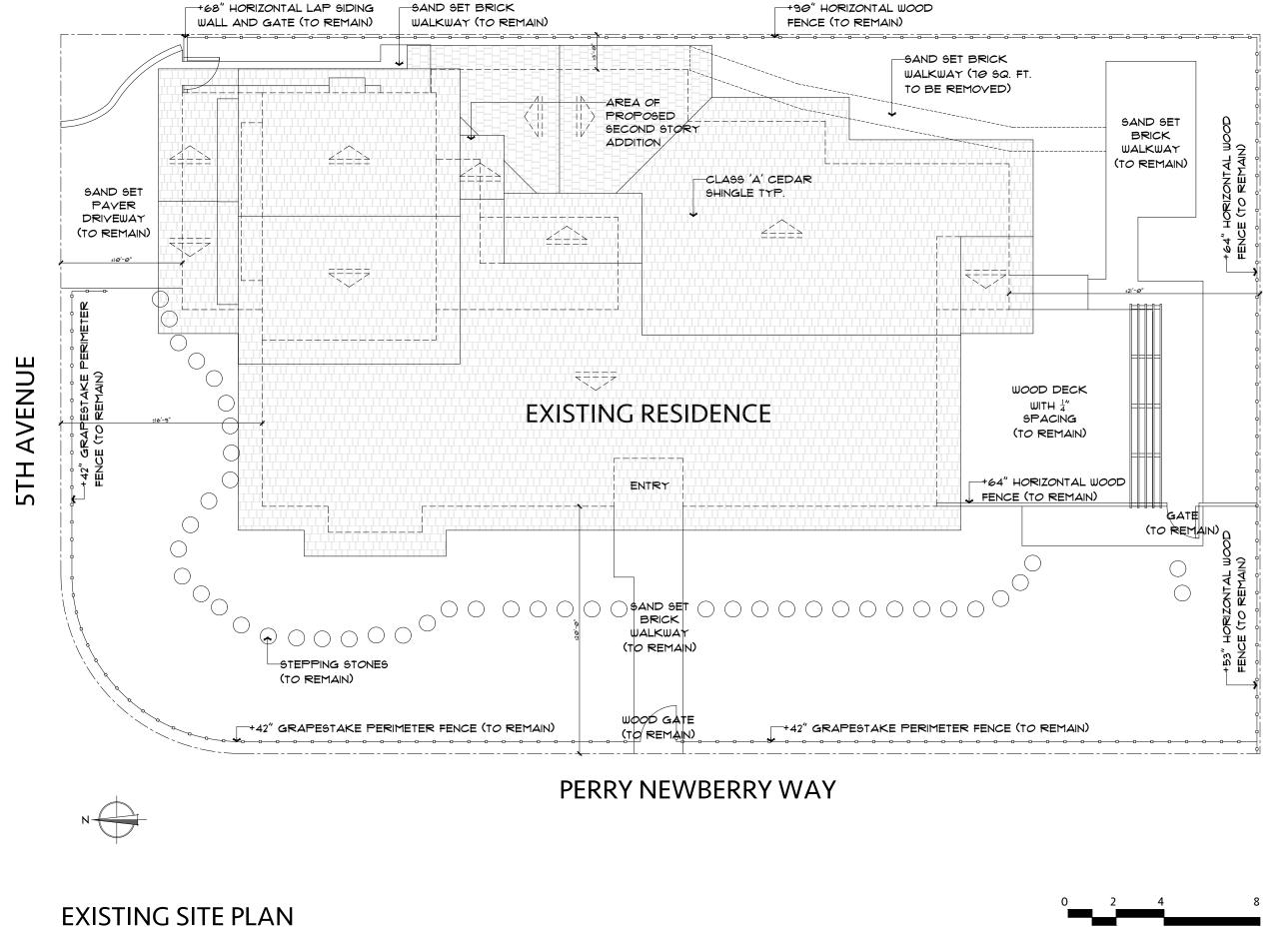




Ž 93 5th,

BGREEN

1/2" = 1'-0"



NOTE: REMOVAL OF 10 SQ. FT. BRICK WALKWAY TO REDUCE SITE COVERAGE AT A RATE EQUAL TO TWO TIMES

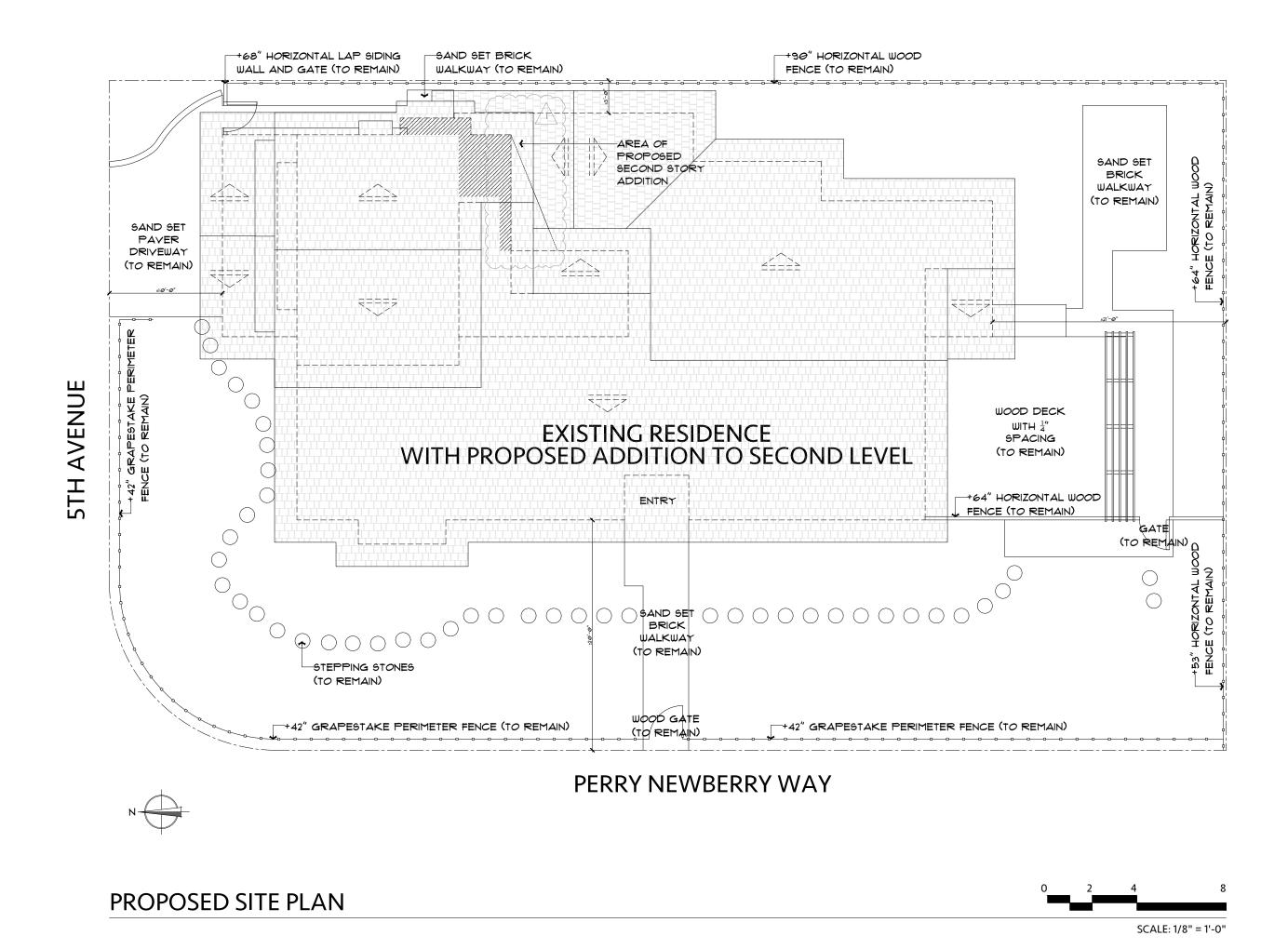
THE AMOUNT OF FLOOR AREA ADDED TO THE SITE (SEE SITE COVERAGE ON TITLE SHEET TI). ALL OTHER SITE

COVERAGE (DRIVEWAY, WALKWAYS, ETC) ARE TO REMAIN. ALL PERIMETER FENCES TO REMAIN. ALL EXISTING

TREES, AND LARGE SHRUBS TO BE PRESERVED. NO PROPOSED CHANGES TO BUILDING FOOTPRINTS AT FIRST

LEVEL.

SCALE: 1/8" = 1'-0"



CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit <u>#:</u> DS 24031 (Tirreno)

Date Approved: April 8, 2024

Planner: A. Barton

Revision/Issue Date

1 DS 24-031 CARMEL 3/22/24

HASTINGS CONSTRUCTION, INC

INTRENO RESIDENCE

Project Address & APN:

SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921

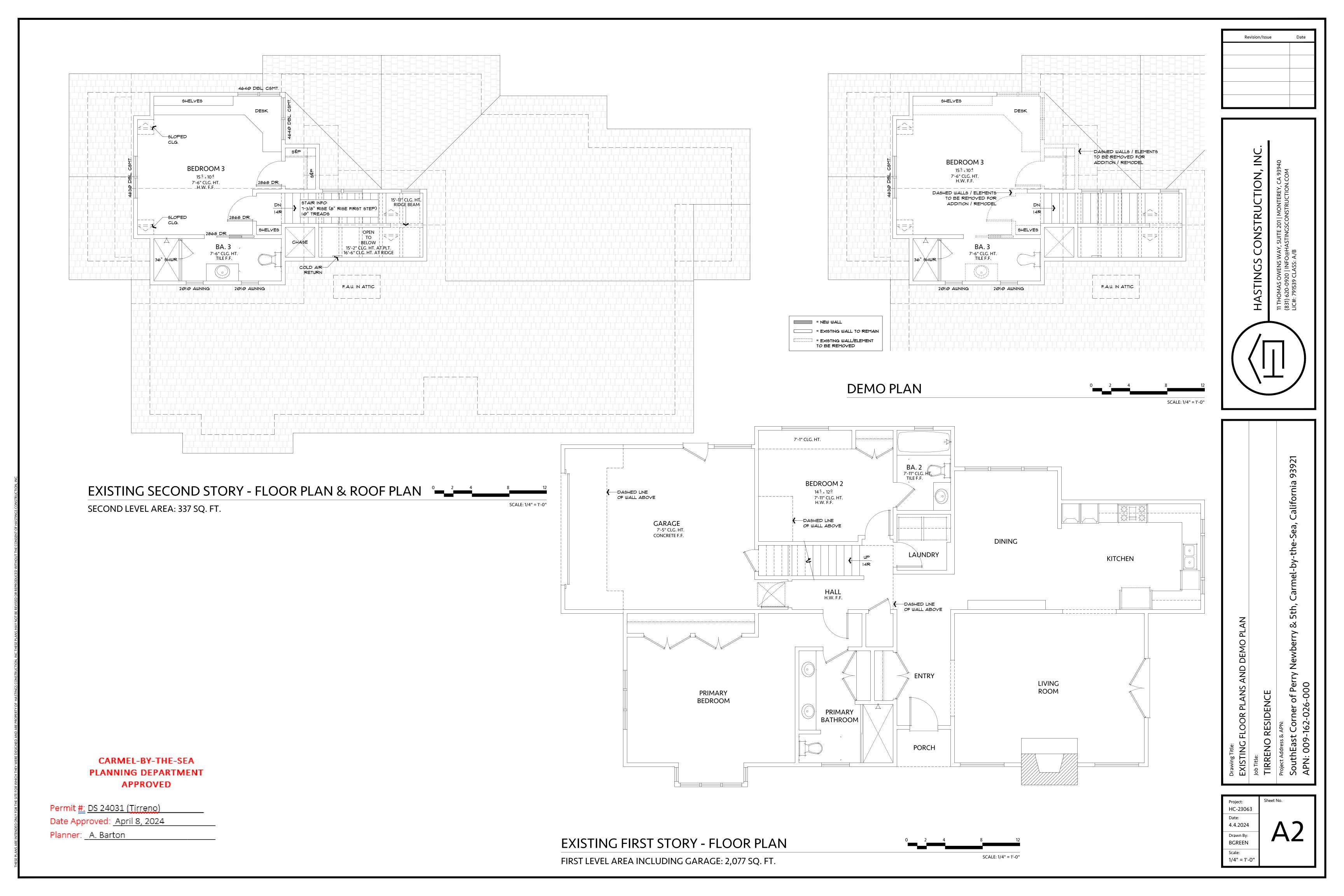
APN: 009-162-026-000

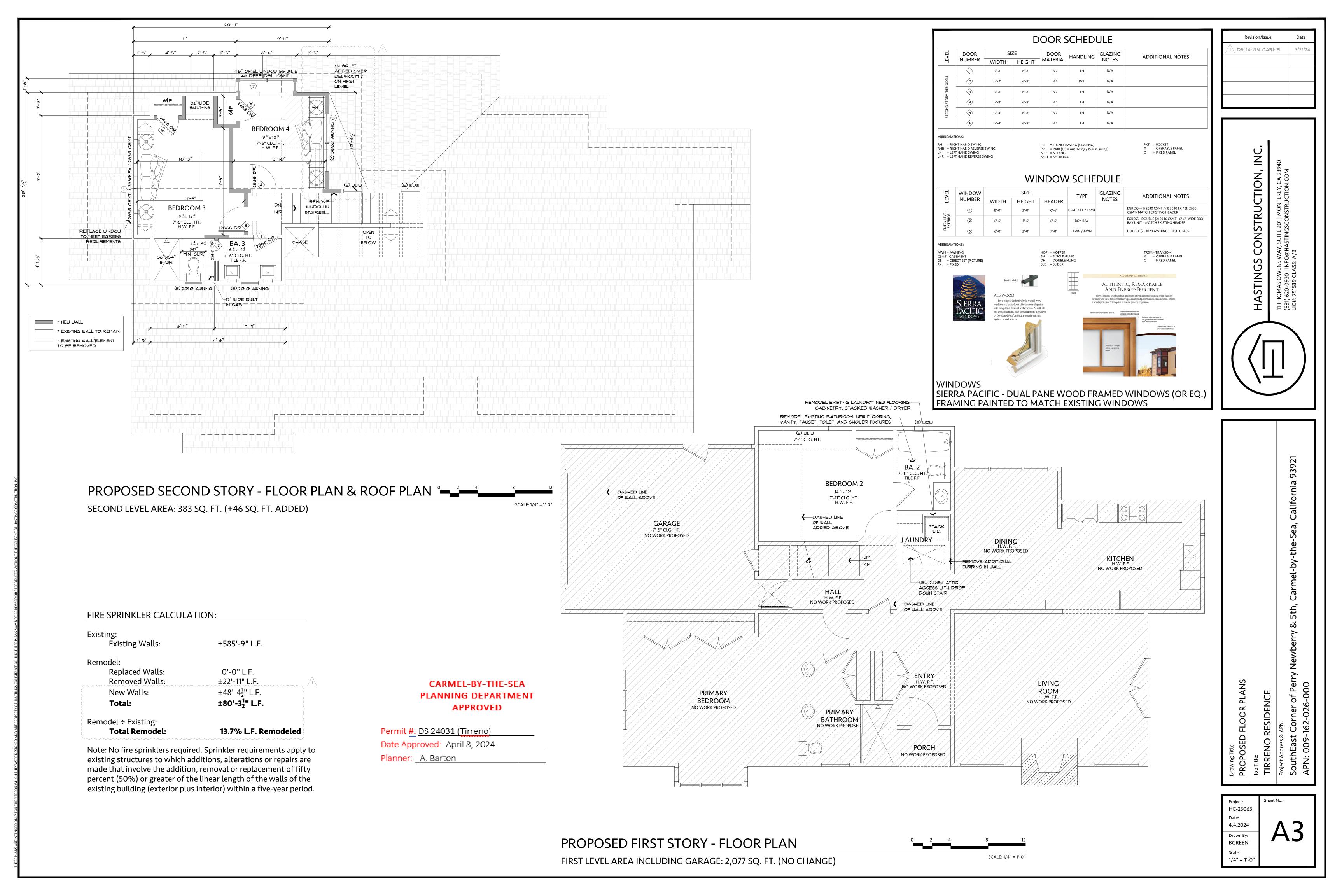
Project:
HC-23063

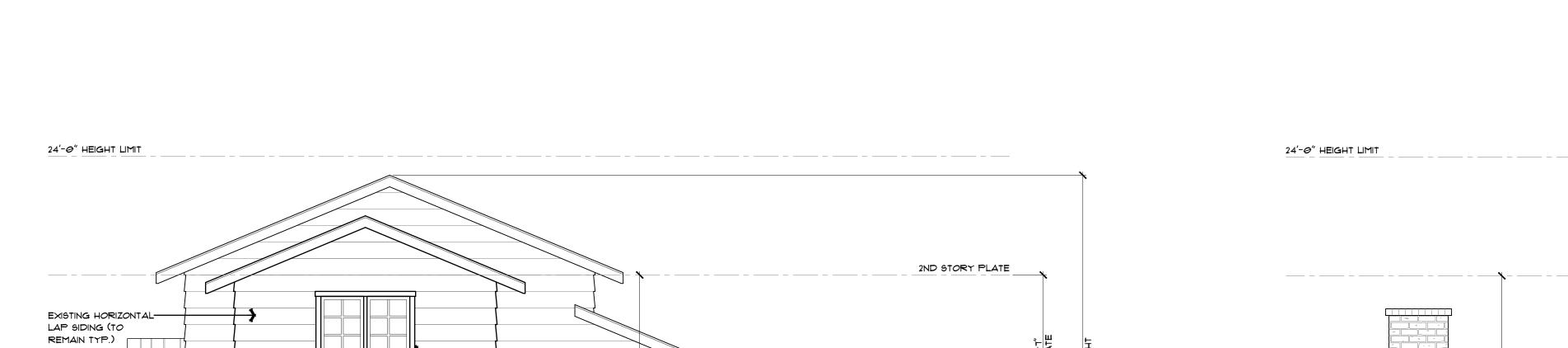
Date:
4.4.2024

Drawn By:
BGREEN

Scale:
1/8" = 1'-0"





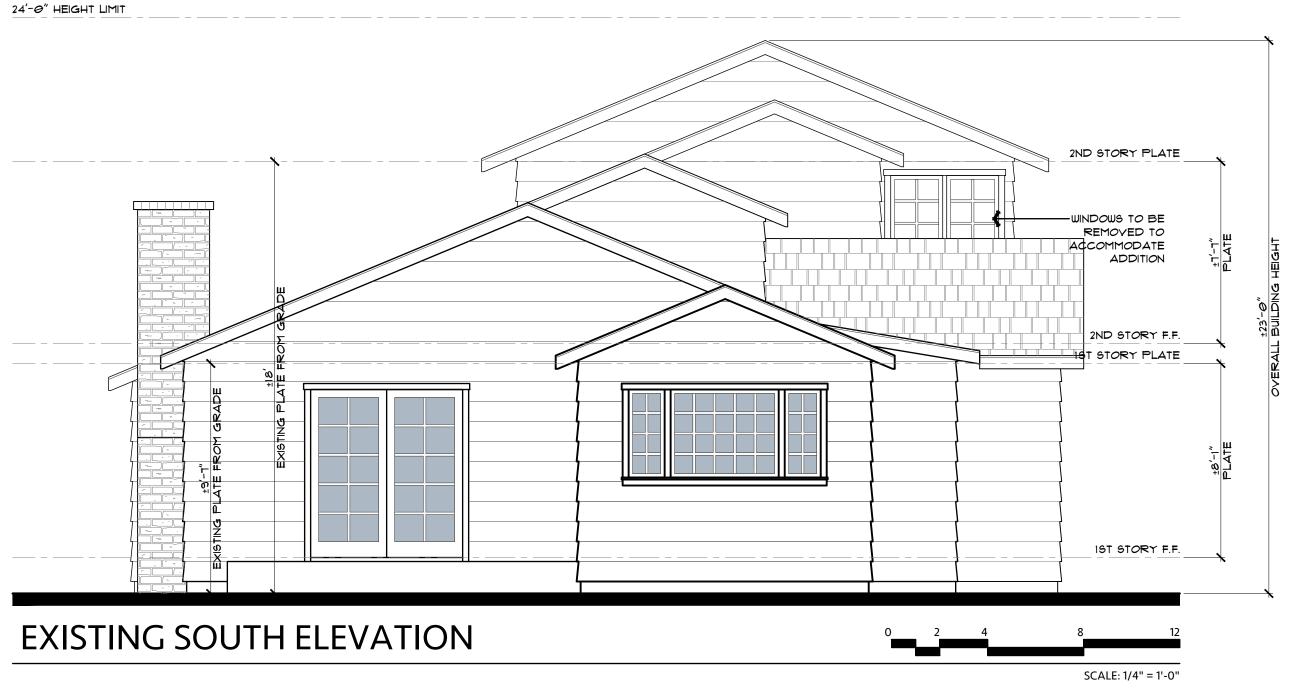


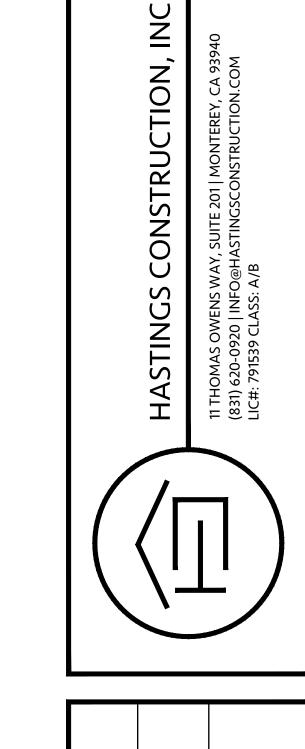
2ND STORY F.F.

1ST STORY F.F.

SCALE: 1/4" = 1'-0"

1ST STORY PLATE





921

939

, California

-Se

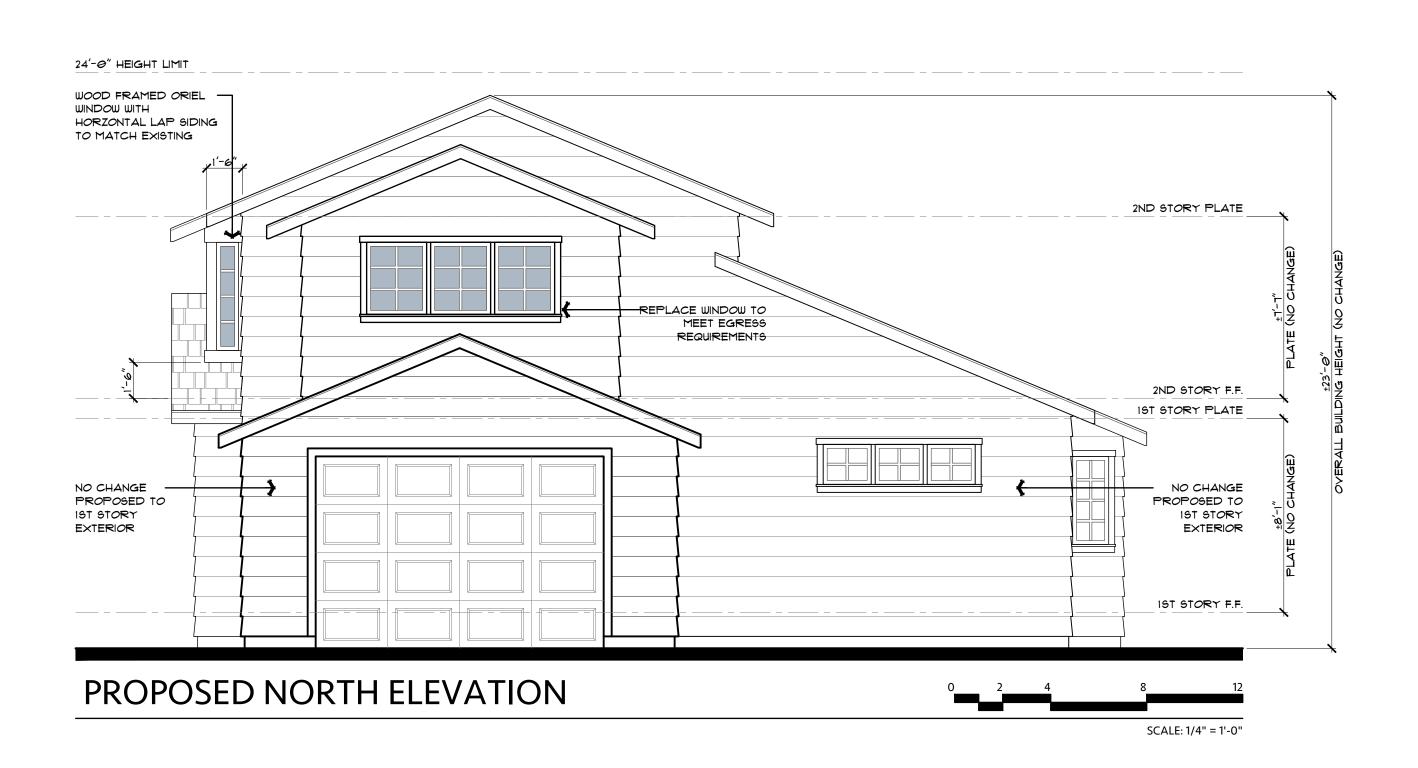
Carmel-by-the

5th,

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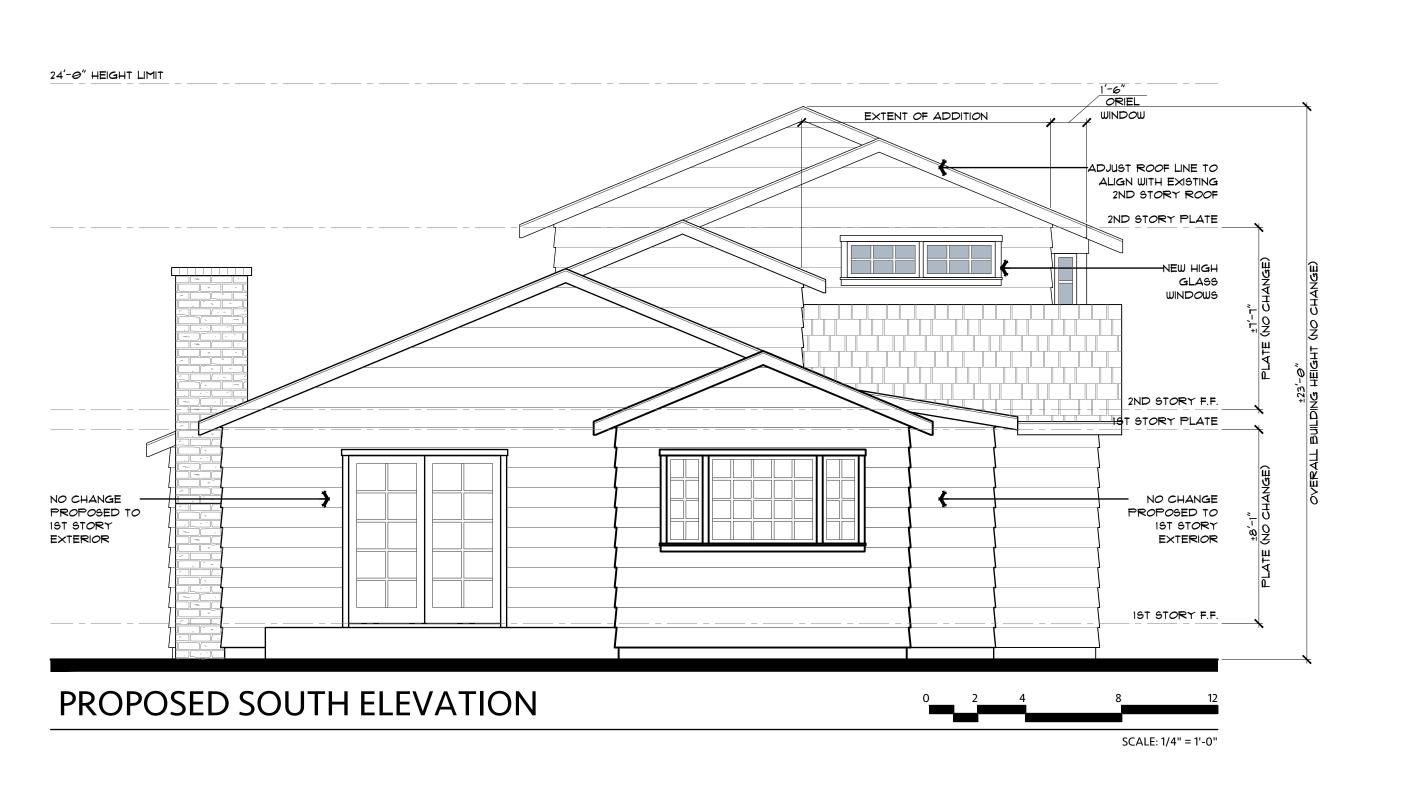
Corner of Perry Newberry -162-026-000

SouthEast (APN: 009-1



REPLACE WINDOW TO
MEET EGRESS
REQUIREMENTS

EXISTING NORTH ELEVATION



CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit <u>#:</u> DS 24031 (Tirreno)

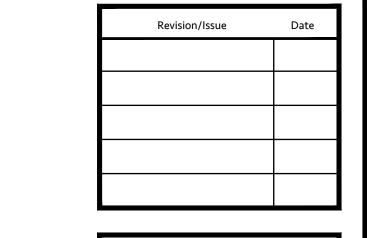
Date Approved: April 8, 2024

Planner: _A. Barton

Project: HC-23063	Sheet No.
Date: 4.4.2024	Λ 1
Drawn By: BGREEN	A4
Scale: 1/4" = 1'-0"	

Job Title:
TIRRENO RESIDENCE

AND PROPOSED NORTH



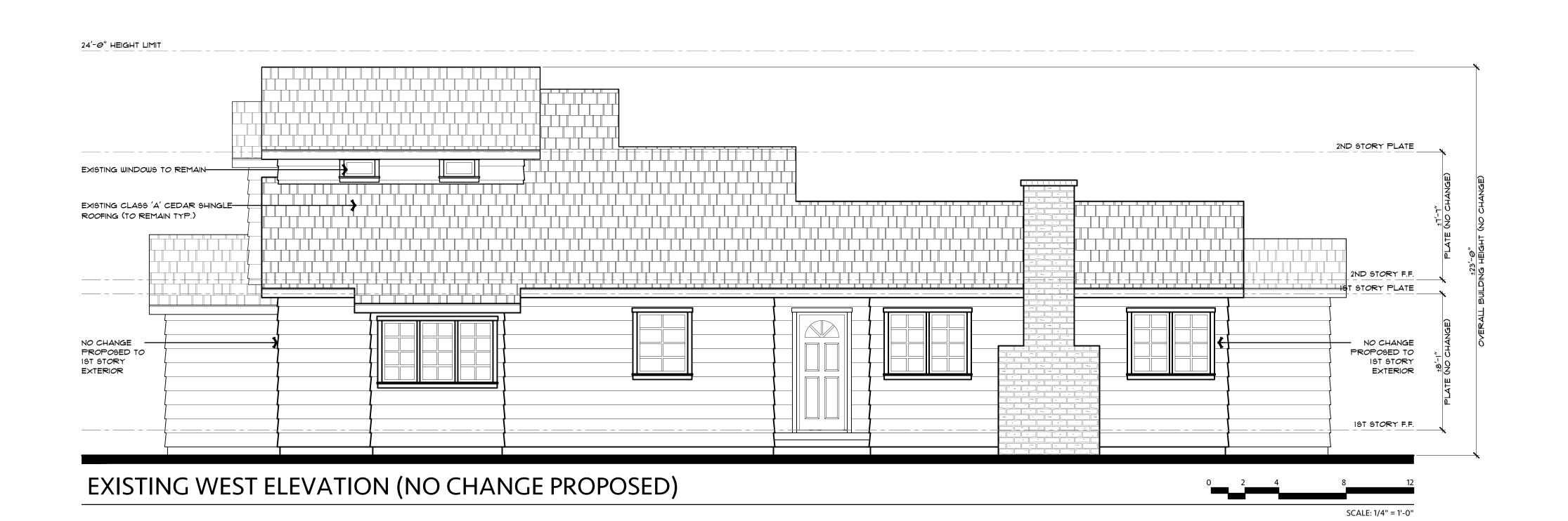
921

California 93 Carmel-by-the 5th, ∞ Corner of Perry Newberry 162-026-000

Project: HC-23063

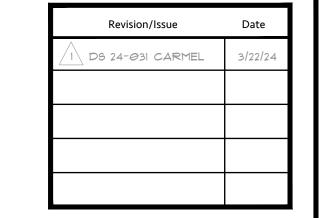
Date: 4.4.2024 Drawn By: BGREEN Scale: 1/4" = 1'-0"

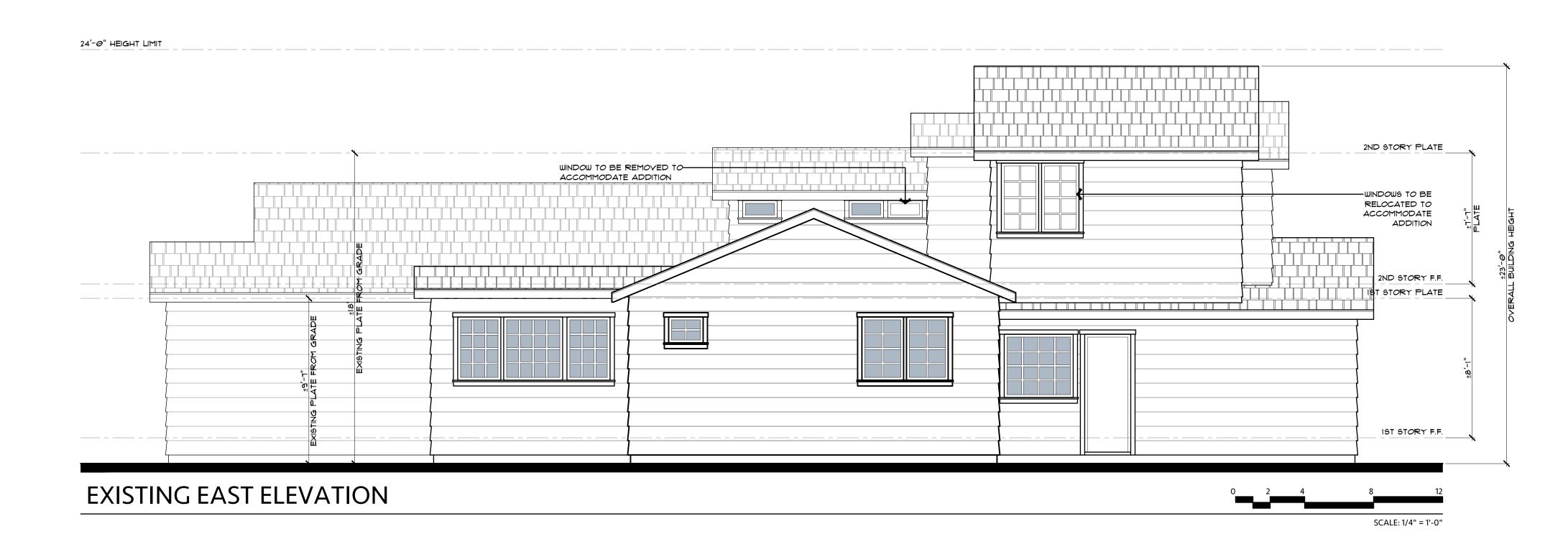
24'-0" HEIGHT LIMIT 2ND STORY PLATE EXISTING CLASS 'A' CEDAR SHINGLE— ROOFING (TO REMAIN TYP.) 2ND STORY F.F. STORY PLATE IST STORY F.F. **EXISTING WEST ELEVATION** SCALE: 1/4" = 1'-0"

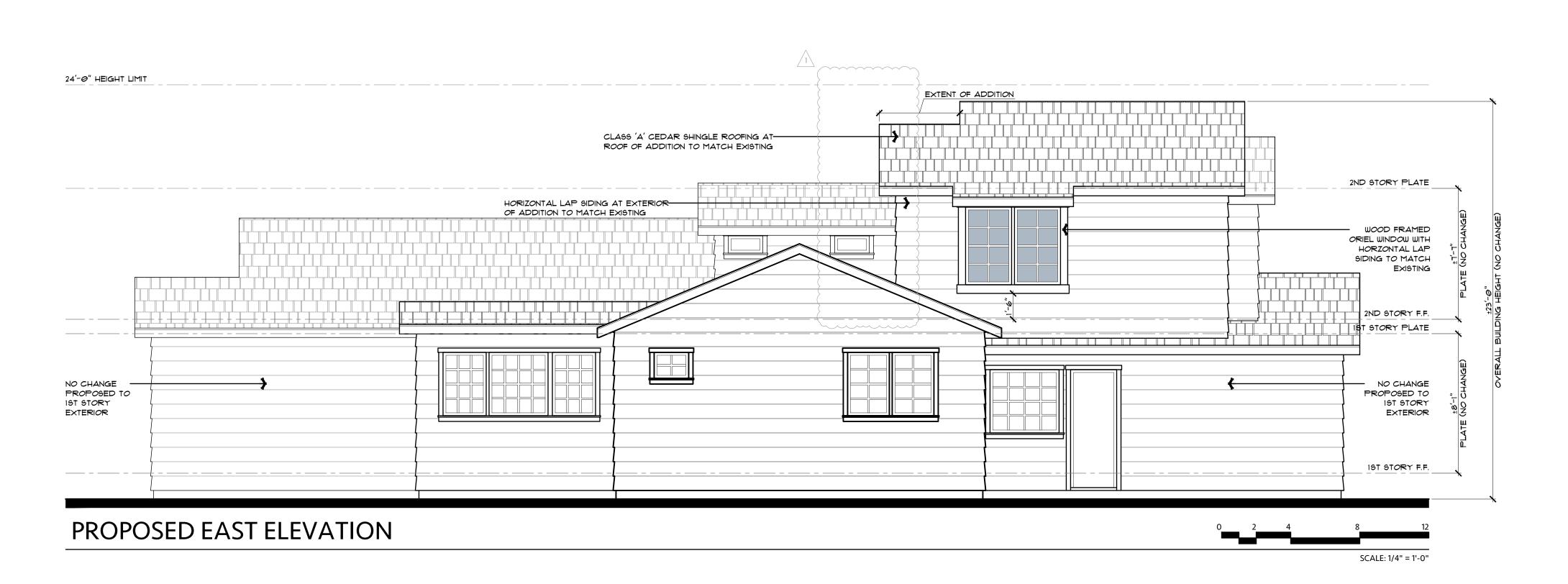


CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 24031 (Tirreno) Date Approved: April 8, 2024 Planner: A. Barton







CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit <u>#:</u> DS 24031 (Tirreno)

Date Approved: April 8, 2024

Planner: A. Barton



Drawing Title:

EXISTING AND PROPOSED EAST ELEVATIONS

Job Title:

TIRRENO RESIDENCE

Project Address & APN:

SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921

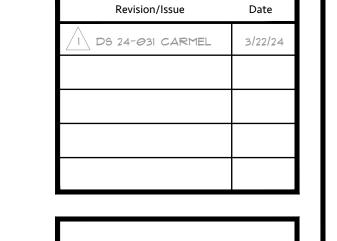
APN: 009-162-026-000

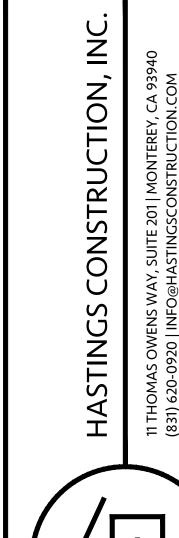
Project:
HC-23063

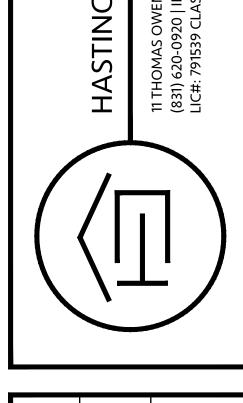
Date:
4.4.2024

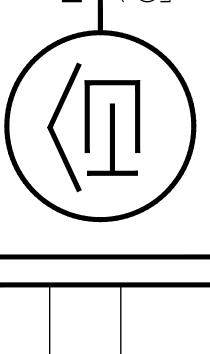
Drawn By:
BGREEN

Scale:
1/4" = 1'-0"





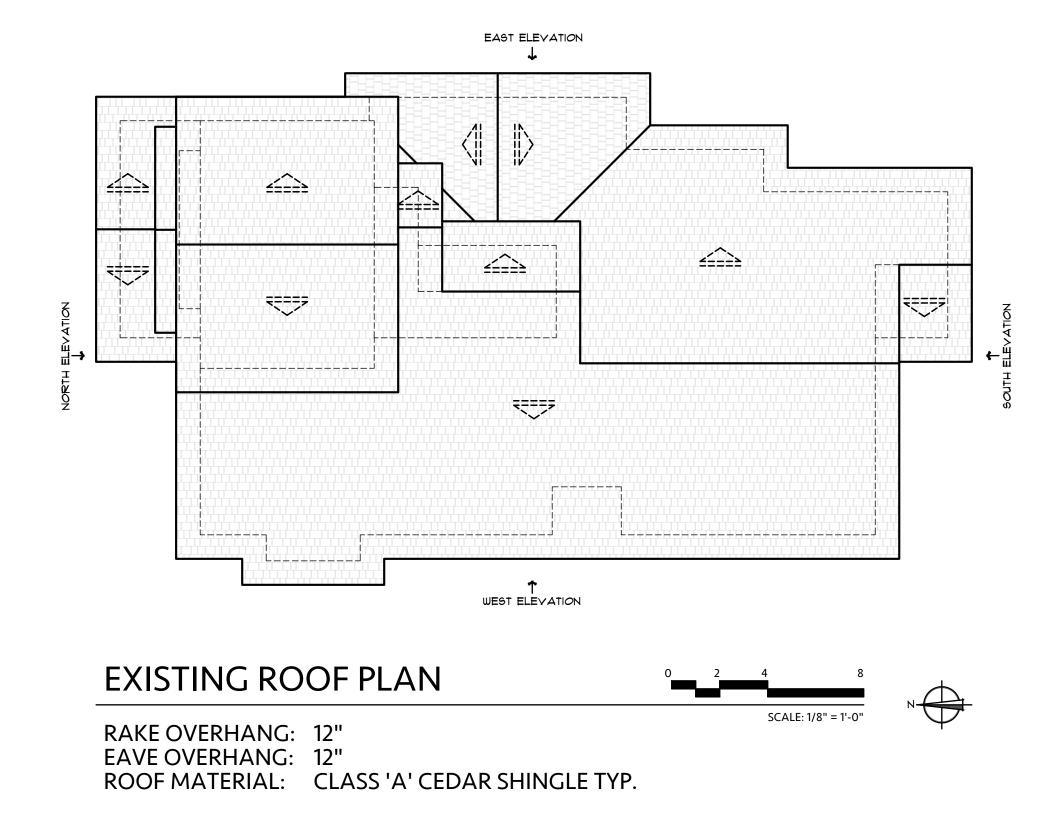


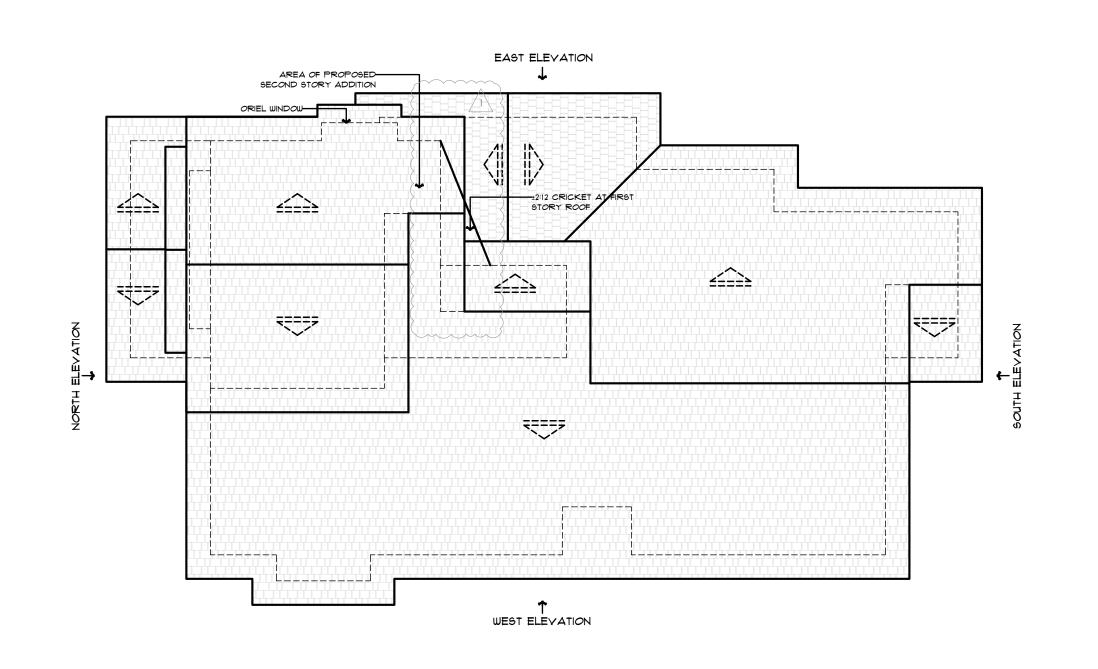


Carmel-by-the-Sea, California 93921 SouthEast Corner of Perry Newberry & 5th, APN: 009-162-026-000

Project: HC-23063 Date: 4.4.2024 Drawn By: BGREEN

Scale: 1/4" = 1'-0"





PROPOSED ROOF PLAN

RAKE OVERHANG: 12"
EAVE OVERHANG: 12"
ROOF MATERIAL: CLASS 'A' CEDAR SHINGLE TYP.

CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 24031 (Tirreno) Date Approved: April 8, 2024

Planner: A. Barton