



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24031

Owner Name: TIRRENO DANIEL L & KRISTEN S

Case Planner: Alec Barton, Contract Planner

Date Posted: _____

Date Approved:

Project Location: SE Corner of Perry Newberry & 5th

APN #: 009162026000 **BLOCK/LOT:** 3B/ALL LOT 4

Applicant: BRADLEY GREEN

Project Description: REMODEL OF EXISTING SINGLE FAMILY RESIDENCE CONSISTING OF ADDITION TO SECOND SOTRY OF RESIDENCE RESULTING IN ADDITIONAL 46 SQ FT

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

| CONDITIONS OF APPROVAL | |
|-------------------------------|---|
| No. | Standard Conditions |
| 1. | Authorization. This approval of Design Study application DS 24031 (Tirreno) finds the subject application consistent with the findings and requirements of CMC 17.10.030, and authorizes the remodel of an existing single-family residence, including a second-story addition of 31 square feet, at the southeast corner of Perry Newberry Way and 5th Avenue in the Single-Family Residential (R-1) zoning district, as depicted on plans dated March 22, 2024. |
| 2. | Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Community Planning and Building Department, the Planning Commission, and/or Historic Resources Board, as appropriate. |
| 3. | Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C. |
| 4. | Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to final inspection. |
| 5. | Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission. |
| 6. | Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Planning and Building Department. Any modification incorporated into construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit. |
| 7. | Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail. |
| 8. | Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester. |
| 9. | Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree |

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| | <p>protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p> |
| 10. | <p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p> |
| 11. | <p>Conditions of Approval. Prior to the issuance of a building permit, these signed Conditions of Approval shall be printed on a full-size sheet within the construction plan set submitted to the Building Division.</p> |
| Special Conditions | |
| 12. | <p>Building Permit. The applicant shall obtain a Building Permit from the Planning and Building Department.</p> |
| 13. | <p>Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.</p> |
| 14. | <p>Gutters & Downspouts. As applicable, prior to issuance of a building permit, the applicant shall submit a revised plan for review and approval by the Planning Division identifying the material and color of any proposed gutters and downspouts. Copper gutters and downspouts are prohibited due to environmental impacts on Carmel Bay.</p> |

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| 15. | Exterior Finishes. Exterior finish materials shall match existing materials. If alternative materials are intended for use, they shall be submitted to the Community Planning & Building Department for review and approval prior to issuance of a building permit. |
| 16. | Removed Site Coverage. Unless otherwise expressly noted on the approved site plan, all areas where site coverage is proposed to be removed shall be replaced with woodchip or mulch. New or replacement improvements that would otherwise count as site coverage (gravel, decomposed granite, etc) shall not be authorized. All site coverage required to be removed shall be removed prior to final inspection. All new landscaping shall be installed prior to final inspection. |

Acknowledgment and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

Applicant Signature

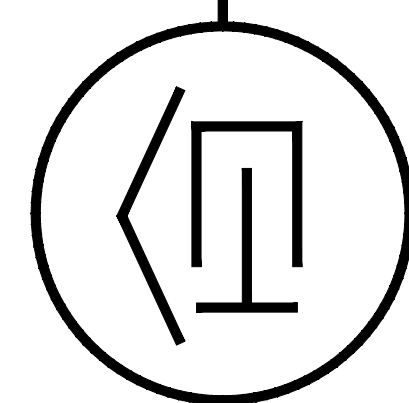
Printed Name

Date

| Revision/Issue | Date |
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| DS 24-031 CARMEL | 3/22/24 |
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HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC#: 791539 CLASS: A/B



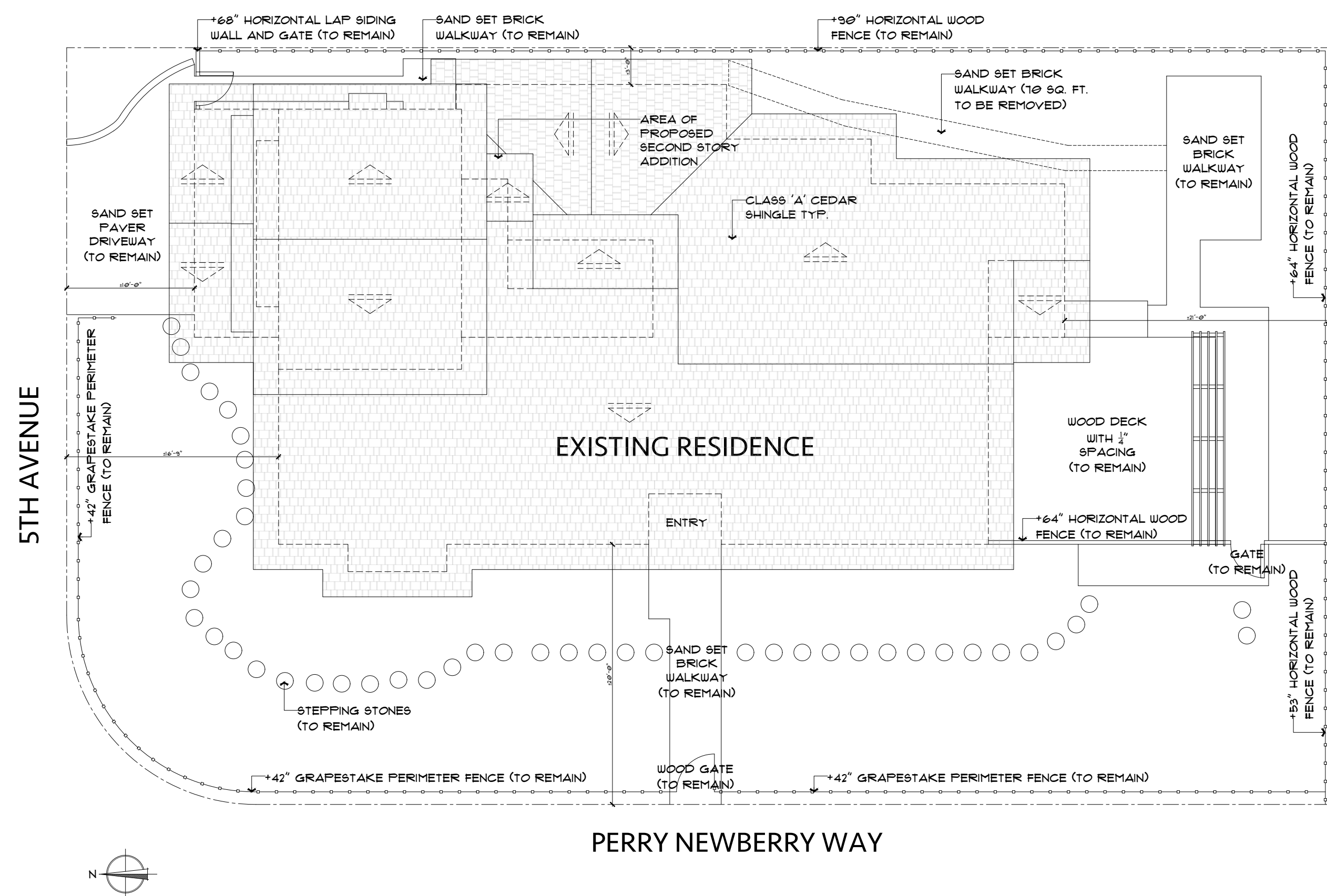
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EXISTING AND PROPOSED SITE PLANS

Job Title:
TIRRENO RESIDENCE

Project Address & APN:

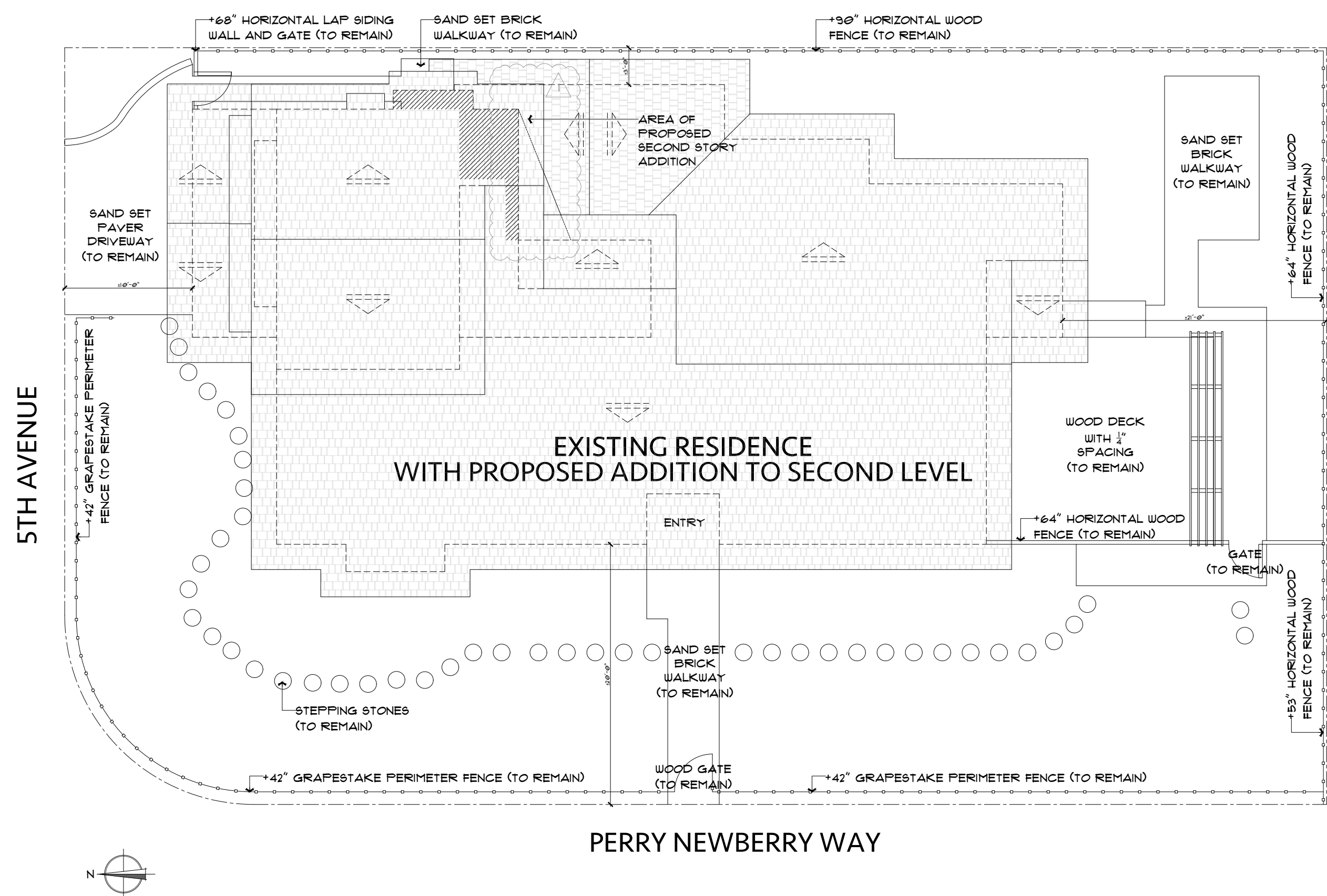
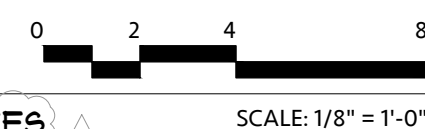
SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921
APN: 009-162-026-000

| Project: | Sheet No. |
|------------------------|-----------|
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| Date: 4.4.2024 | |
| Drawn By: BGREEN | |
| Scale: 1/8" = 1'-0" | |

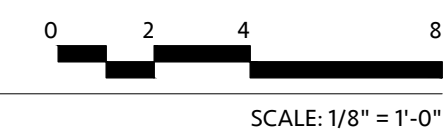


EXISTING SITE PLAN

NOTE: REMOVAL OF 10 SQ. FT. BRICK WALKWAY TO REDUCE SITE COVERAGE AT A RATE EQUAL TO TWO TIMES THE AMOUNT OF FLOOR AREA ADDED TO THE SITE (SEE SITE COVERAGE ON TITLE SHEET T1). ALL OTHER SITE COVERAGE (DRIVEWAY, WALKWAYS, ETC) ARE TO REMAIN. ALL PERIMETER FENCES TO REMAIN. ALL EXISTING TREES, AND LARGE SHRUBS TO BE PRESERVED. NO PROPOSED CHANGES TO BUILDING FOOTPRINTS AT FIRST LEVEL.



PROPOSED SITE PLAN



CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

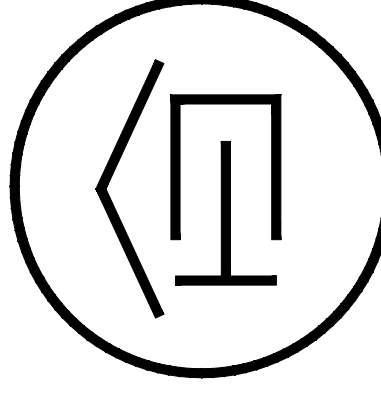
Permit #: DS 24031 (Tirreno)
Date Approved: April 8, 2024
Planner: A. Barton

THESE PLANS ARE INTENDED ONLY FOR THE SITE FOR WHICH THEY WERE DESIGNED AND ARE PROPERTY OF HASTINGS CONSTRUCTION. THESE PLANS MAY NOT BE REPRODUCED OR REPRODUCED WITHOUT THE CONSENT OF HASTINGS CONSTRUCTION, INC.

| Revision/Issue | Date |
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11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
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 LIC#: 791539 CLASS: A/B

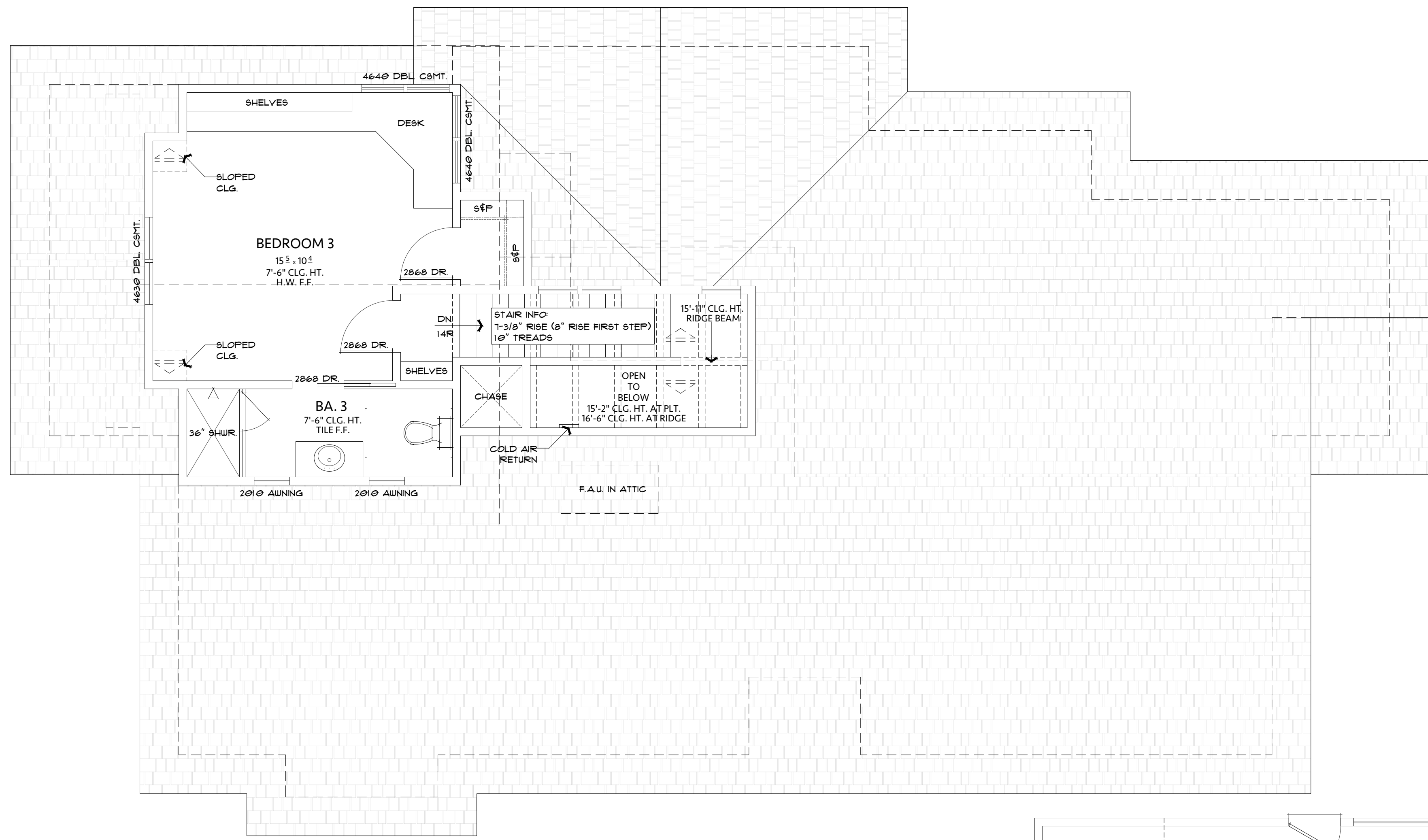


Drawing Title:
EXISTING FLOOR PLANS AND DEMO PLAN

Job Title:
TIRENO RESIDENCE

Project Address & APN:
**SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921
 APN: 009-162-026-000**

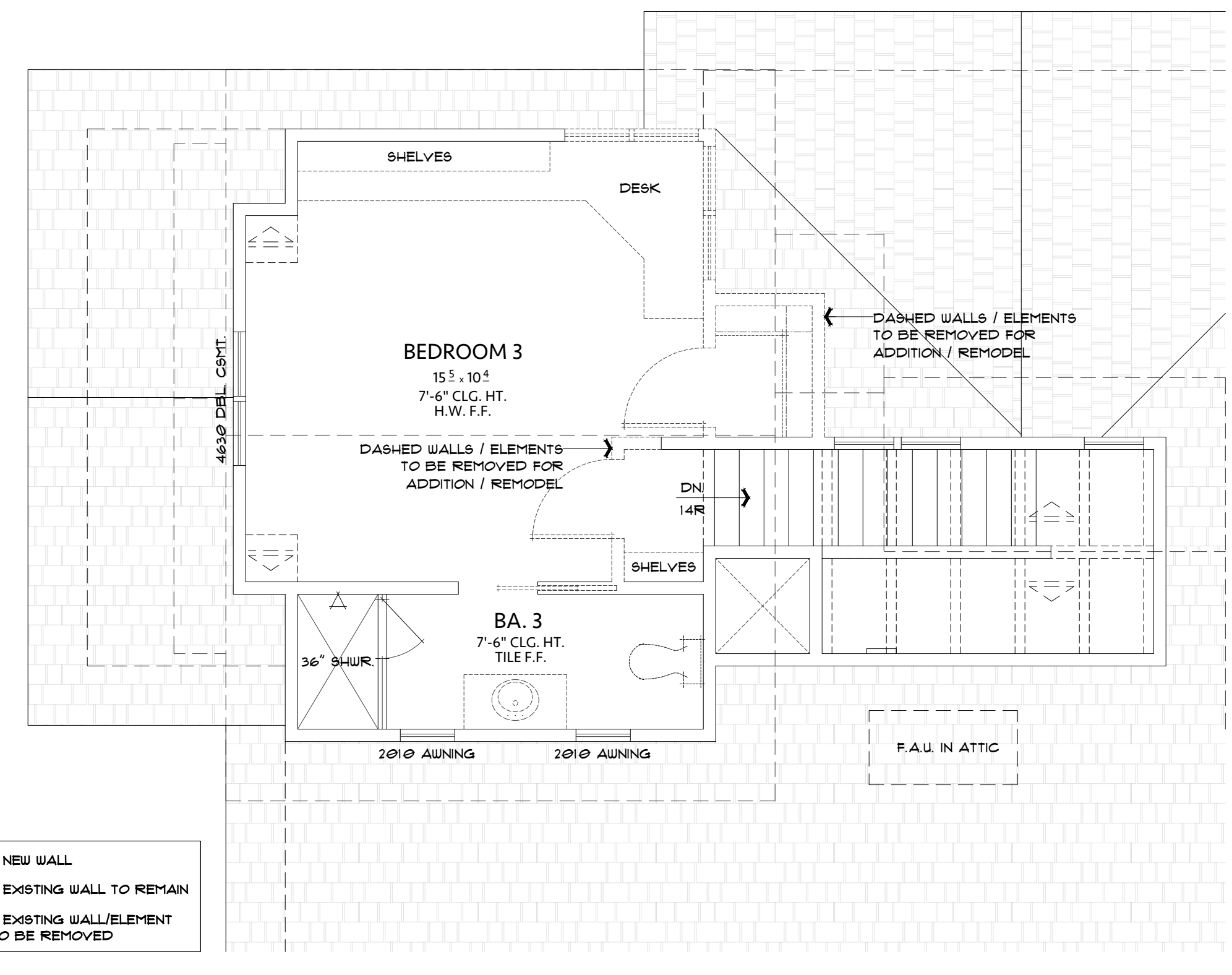
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| Project: HC-23063 | Sheet No. A2 |
| Date: 4.4.2024 | |
| Drawn By: BGREEN | |
| Scale: 1/4" = 1'-0" | |



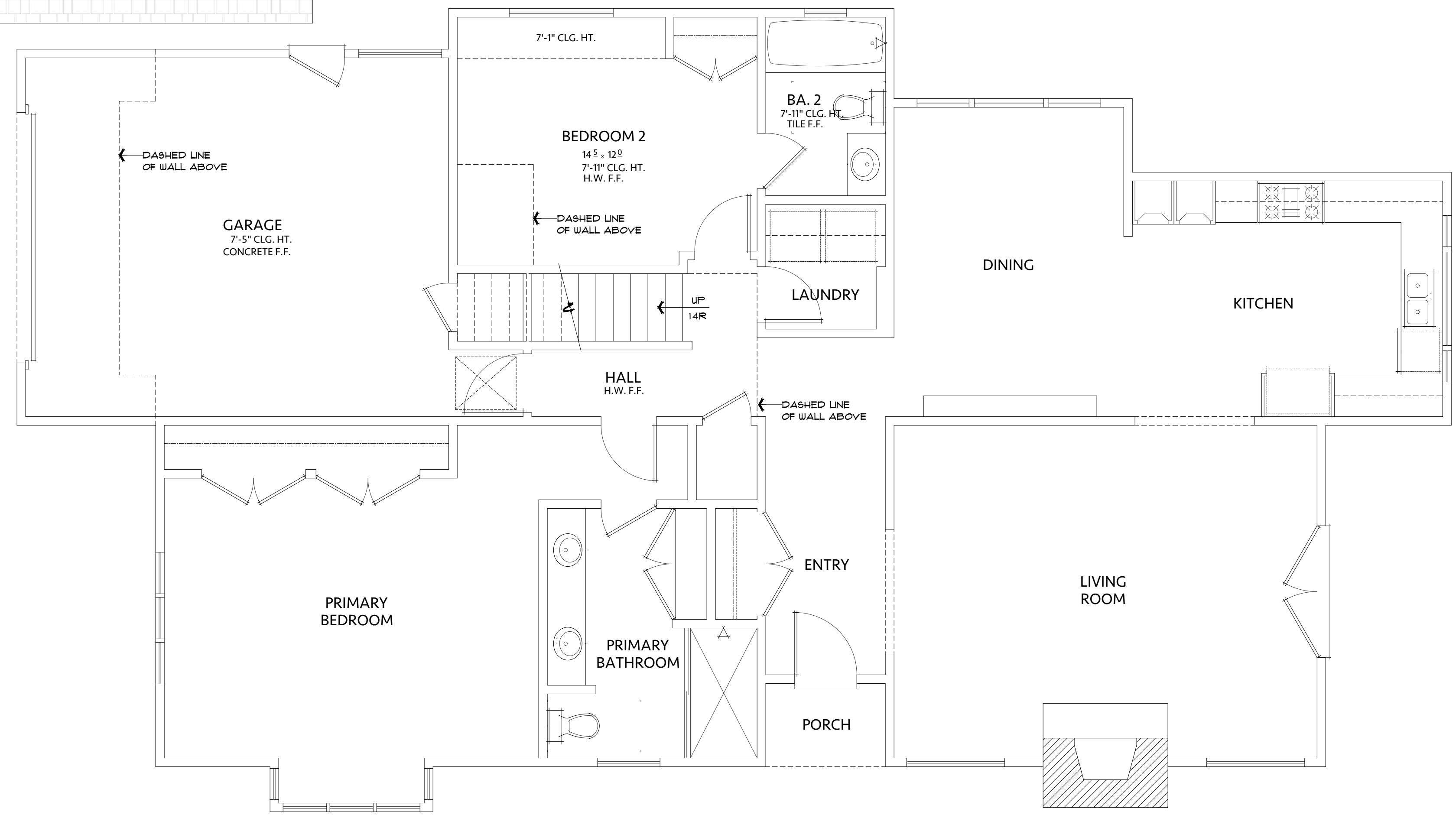
EXISTING SECOND STORY - FLOOR PLAN & ROOF PLAN
 SECOND LEVEL AREA: 337 SQ. FT.
 SCALE: 1/4" = 1'-0"

**CARMEL-BY-THE-SEA
 PLANNING DEPARTMENT
 APPROVED**

Permit #: DS 24031 (Tirreno)
 Date Approved: April 8, 2024
 Planner: A. Barton

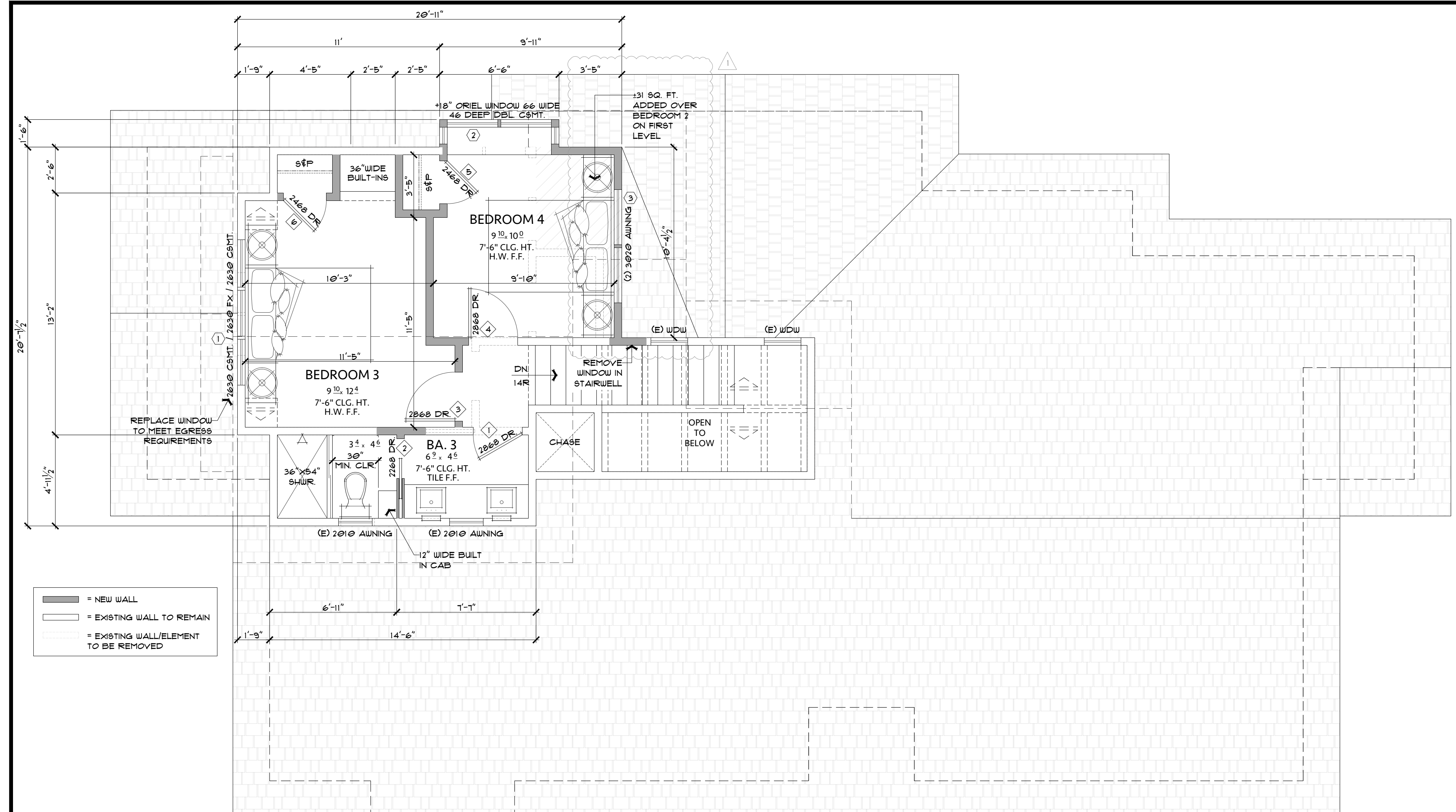


DEMO PLAN
 SCALE: 1/4" = 1'-0"



EXISTING FIRST STORY - FLOOR PLAN
 FIRST LEVEL AREA INCLUDING GARAGE: 2,077 SQ. FT.
 SCALE: 1/4" = 1'-0"

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DOOR SCHEDULE

| LEVEL | DOOR NUMBER | SIZE | DOOR MATERIAL | HANDLING | GLAZING NOTES | ADDITIONAL NOTES |
|------------------------|-------------|-------|---------------|----------|---------------|------------------|
| SECOND STORY (REMODEL) | 1 | 2'-8" | 6'-8" | TBD | LH | N/A |
| | 2 | 2'-2" | 6'-8" | TBD | PKT | N/A |
| | 3 | 2'-8" | 6'-8" | TBD | LH | N/A |
| | 4 | 2'-8" | 6'-8" | TBD | LH | N/A |
| | 5 | 2'-4" | 6'-8" | TBD | LH | N/A |
| | 6 | 2'-4" | 6'-8" | TBD | LH | N/A |

ABBREVIATIONS:
 RH = RIGHT HAND SWING
 RHR = RIGHT HAND REVERSE SWING
 LH = LEFT HAND SWING
 LHR = LEFT HAND REVERSE SWING
 FR = FRENCH SWING (GLAZING)
 PR = PAIR (OS = out-swing / IS = in-swing)
 SLD = SLIDING
 SECT = SECTIONAL
 PKT = POCKET
 X = OPERABLE PANEL
 O = FIXED PANEL

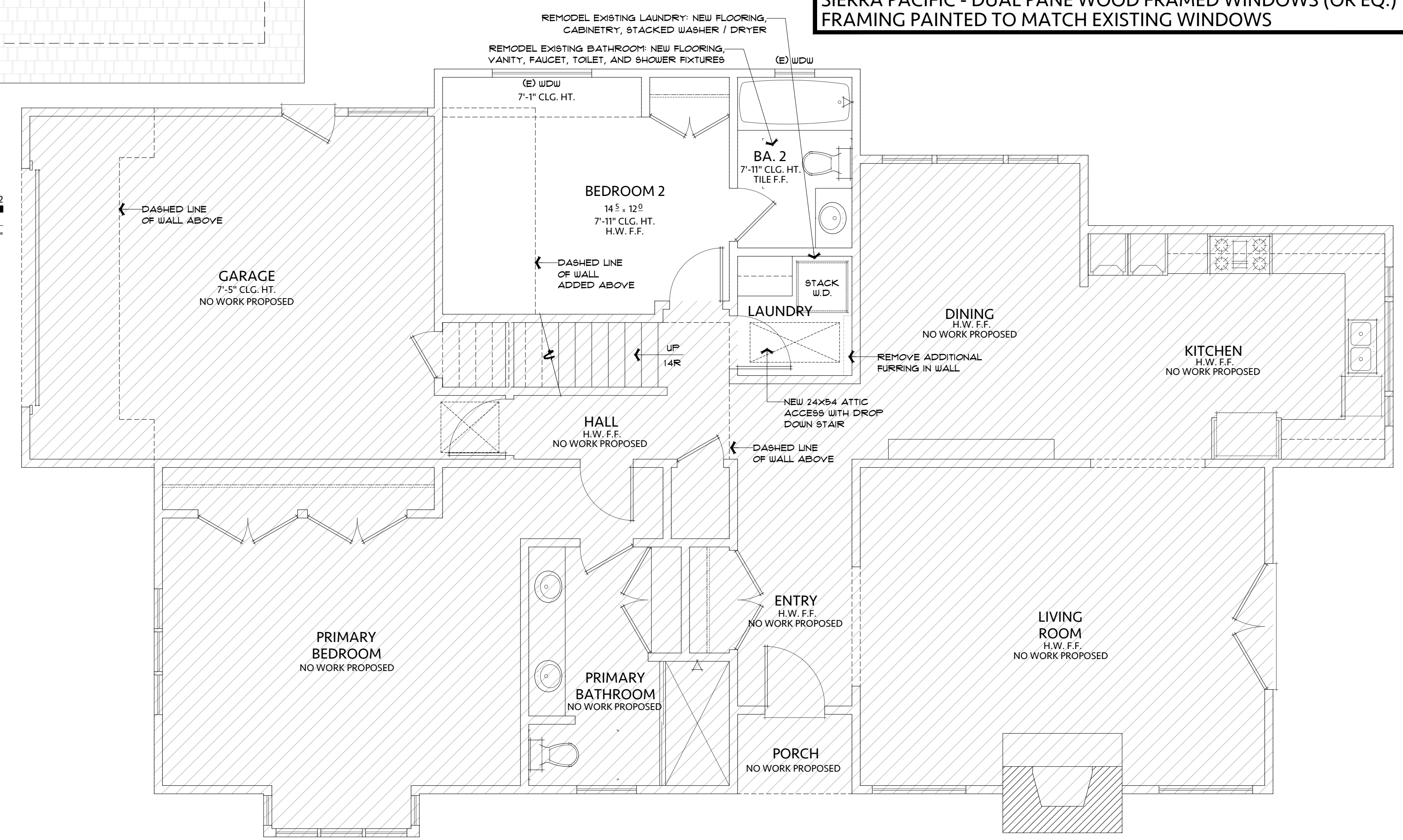
WINDOW SCHEDULE

| LEVEL | WINDOW NUMBER | WIDTH | HEIGHT | HEADER | TYPE | GLAZING NOTES | ADDITIONAL NOTES |
|----------------------|---------------|-------|--------|--------|------------------|---------------|---|
| ENTRY LEVEL EXTERIOR | 1 | 8'-0" | 3'-0" | 6'-6" | CSMT / FX / CSMT | | EGRESS - (1) 2630 CSMT / (1) 2630 FX / (1) 2630 CSMT-MATCH EXISTING HEADER |
| | 2 | 6'-6" | 4'-6" | 6'-6" | BOX BAY | | EGRESS - DOUBLE (2) 2946 CSMT - 6'-6" WIDE BOX BAY UNIT - MATCH EXISTING HEADER |
| | 3 | 6'-0" | 2'-0" | 7'-0" | AWN / AWN | | DOUBLE (2) 3020 AWNING - HIGH GLASS |

ABBREVIATIONS:
 AWIN = AWNING
 CSMT = CASEMENT
 DS = DIRECT SET (PICTURE)
 FX = FIXED
 HOP = HOPPER
 SH = SINGLE HUNG
 DH = DOUBLE HUNG
 SLD = SLIDER
 TRSM = TRANSOM
 X = OPERABLE PANEL
 O = FIXED PANEL

SIERRA PACIFIC WINDOWS
 AUTHENTIC, REMARKABLE AND ENERGY-EFFICIENT.

WINDOWS SIERRA PACIFIC - DUAL PANE WOOD FRAMED WINDOWS (OR EQ.) FRAMING PAINTED TO MATCH EXISTING WINDOWS



PROPOSED SECOND STORY - FLOOR PLAN & ROOF PLAN
 SECOND LEVEL AREA: 383 SQ. FT. (+46 SQ. FT. ADDED)
 SCALE: 1/4" = 1'-0"

FIRE SPRINKLER CALCULATION:

| | |
|-----------------------|-----------------------------|
| Existing: | |
| Existing Walls: | ±585'-9" L.F. |
| Remodel: | |
| Replaced Walls: | 0'-0" L.F. |
| Removed Walls: | ±22'-11" L.F. |
| New Walls: | ±48'-4 1/2" L.F. |
| Total: | ±80'-3 1/2" L.F. |
| Remodel ÷ Existing: | |
| Total Remodel: | 13.7% L.F. Remodeled |

Note: No fire sprinklers required. Sprinkler requirements apply to existing structures to which additions, alterations or repairs are made that involve the addition, removal or replacement of fifty percent (50%) or greater of the linear length of the walls of the existing building (exterior plus interior) within a five-year period.

**CARMEL-BY-THE-SEA
 PLANNING DEPARTMENT
 APPROVED**

Permit #: DS 24031 (Tirreno)
 Date Approved: April 8, 2024
 Planner: A. Barton

PROPOSED FIRST STORY - FLOOR PLAN
 FIRST LEVEL AREA INCLUDING GARAGE: 2,077 SQ. FT. (NO CHANGE)
 SCALE: 1/4" = 1'-0"

| Revision/Issue | Date |
|------------------|---------|
| DS 24-031 CARMEL | 3/22/24 |

HASTINGS CONSTRUCTION, INC.
 11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
 (831) 620-0920 | INFO@HASTINGS-CONSTRUCTION.COM
 LIC#: 791939 CLASS: A/B

Drawing Title: **PROPOSED FLOOR PLANS**
 Job Title: **TIRRENO RESIDENCE**
 Project Address & APN: **SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921**
 APN: 009-162-026-000

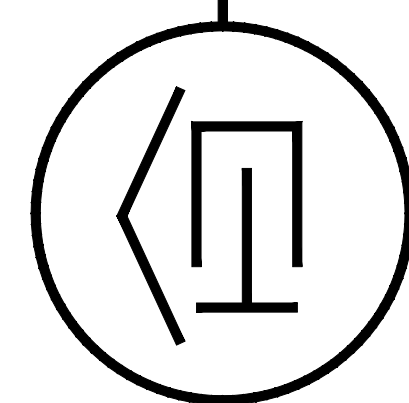
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| Project: | HC-23063 | Sheet No. | A3 |
| Date: | 4.4.2024 | | |
| Drawn By: | BGREEN | | |
| Scale: | 1/4" = 1'-0" | | |

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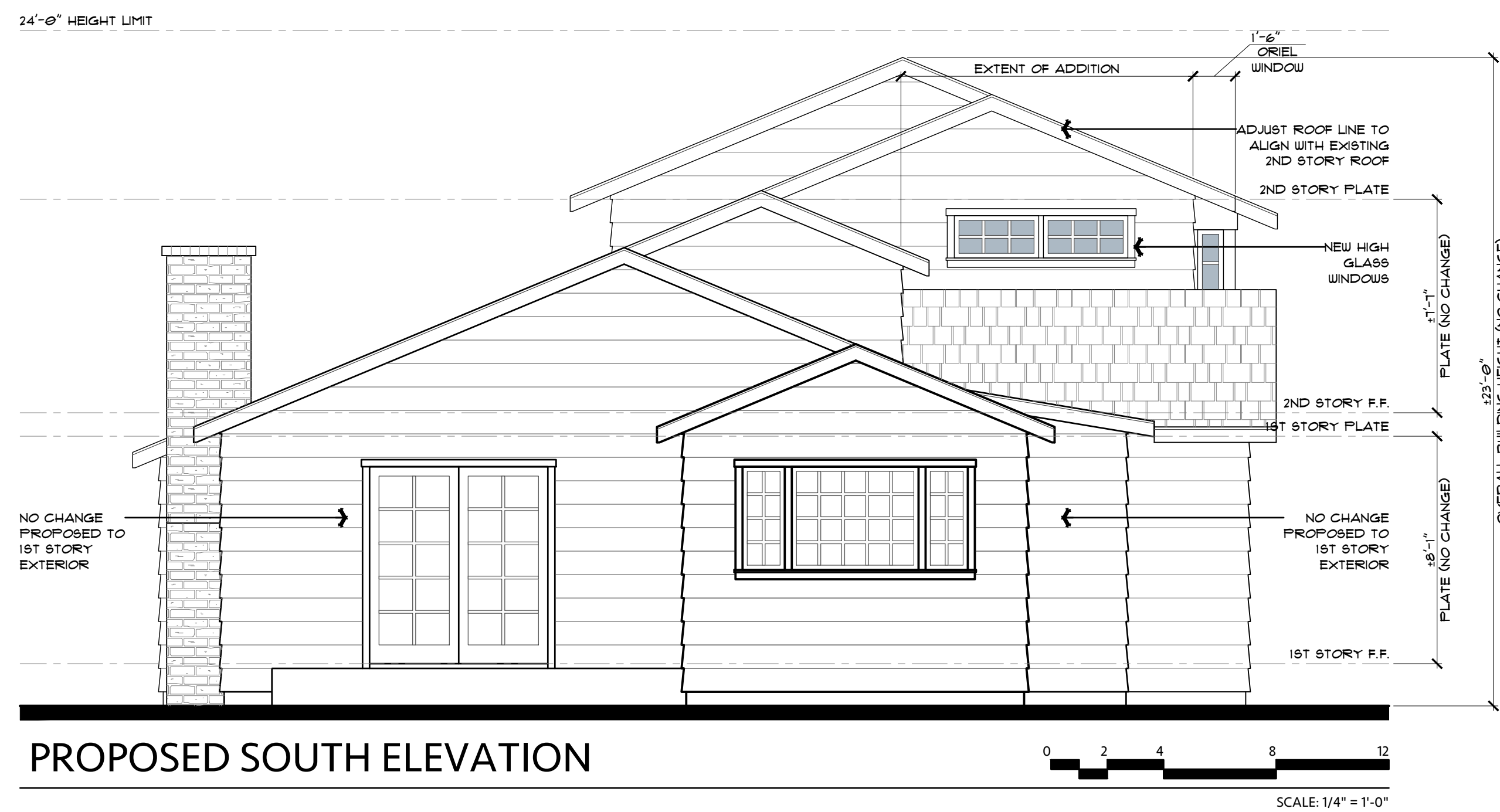
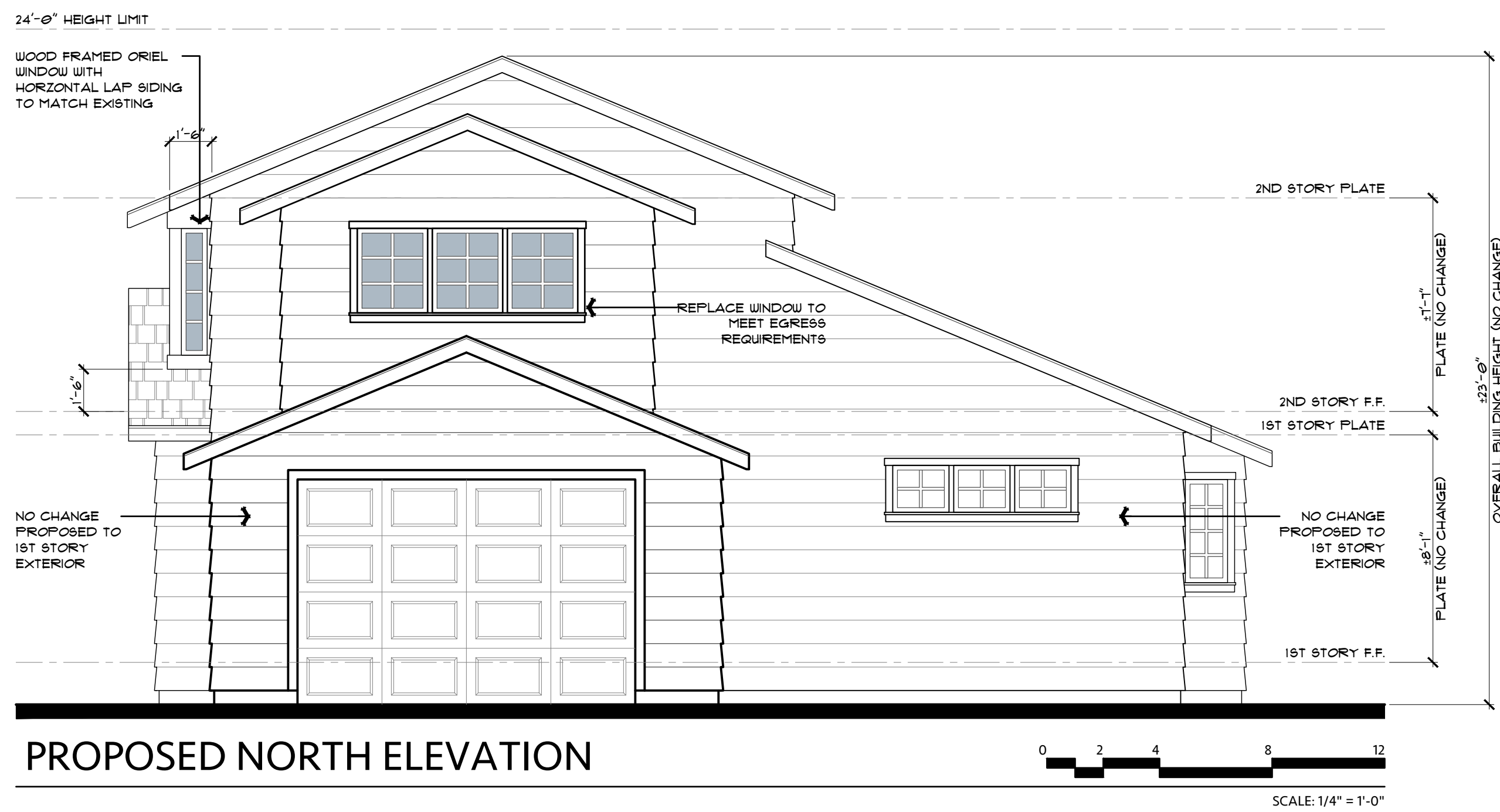
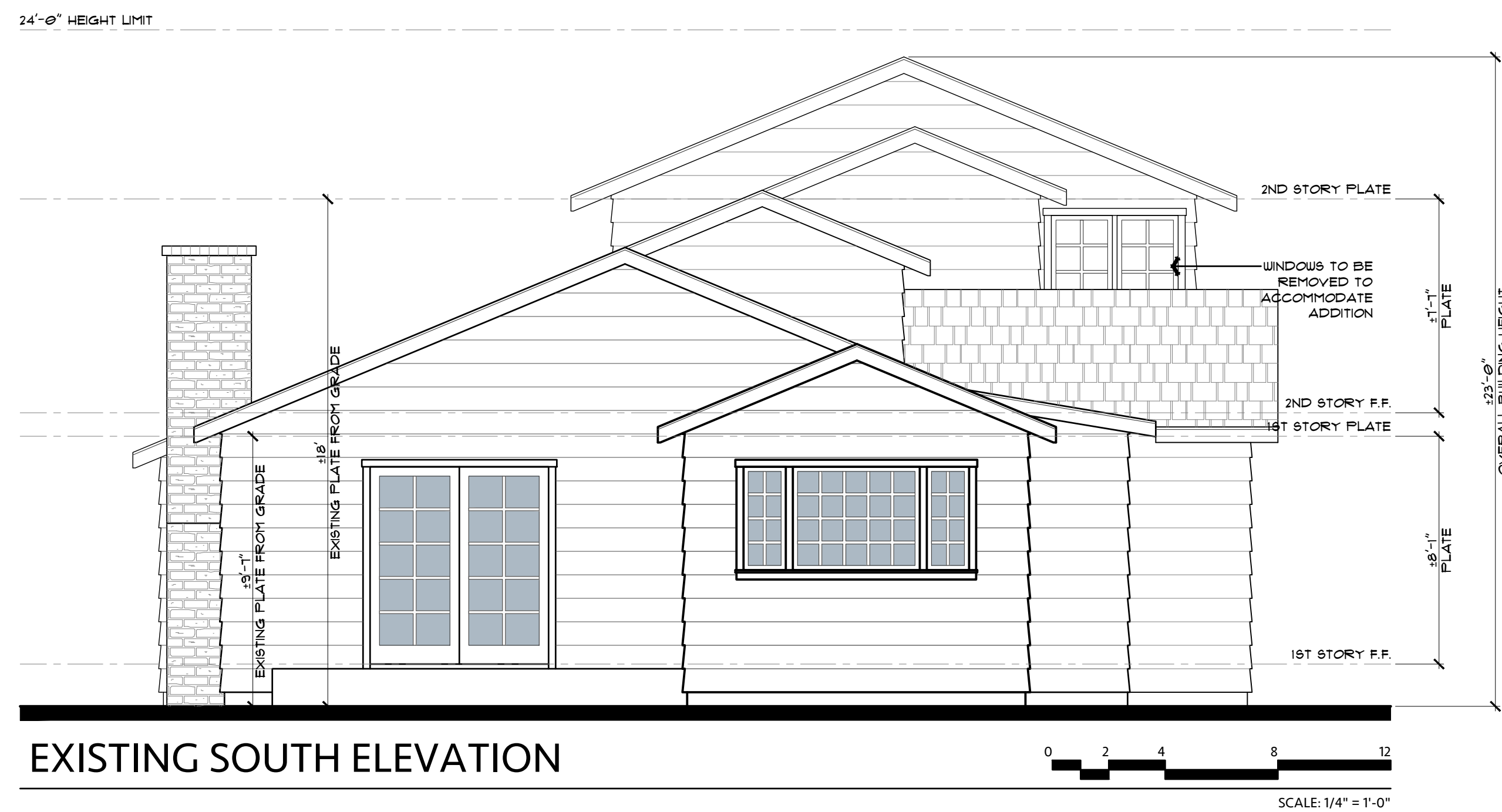
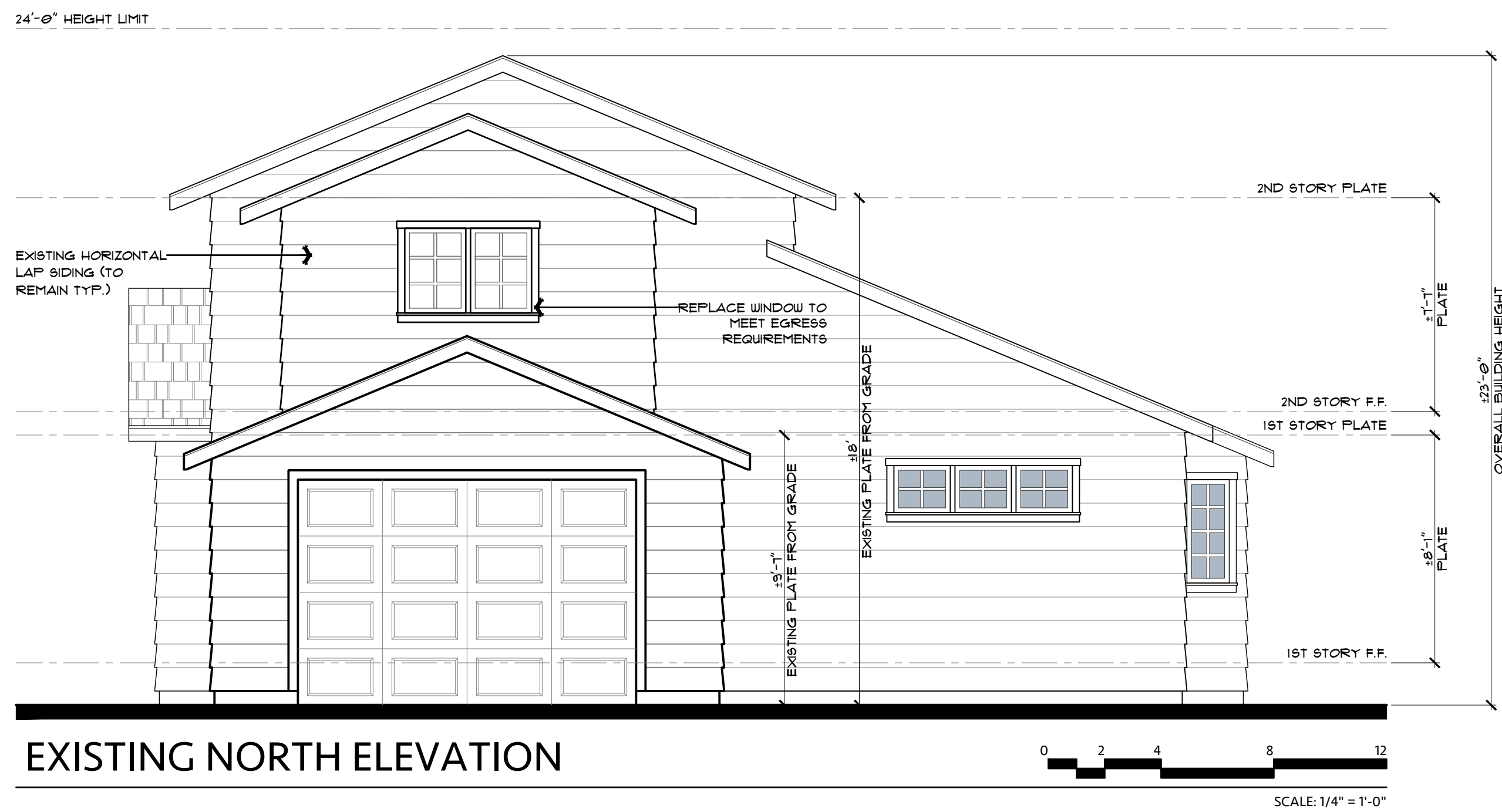


Drawing Title:
EXISTING AND PROPOSED NORTH AND SOUTH ELEVATIONS

Job Title:
TIRRENO RESIDENCE

Project Address & APN:
SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921
 APN: 009-162-026-000

| Project: | Sheet No. |
|------------------------|-----------|
| HC-23063 | A4 |
| Date: 4.4.2024 | |
| Drawn By: BGREEN | |
| Scale: 1/4" = 1'-0" | |



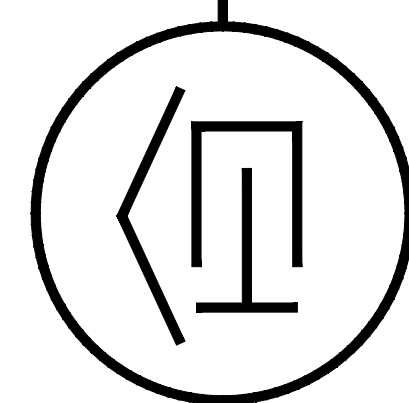
**CARMEL-BY-THE-SEA
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Permit #: DS 24031 (Tirreno)
 Date Approved: April 8, 2024
 Planner: A. Barton

| Revision/Issue | Date |
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 LIC#: 791539 CLASS: A/B



Drawing Title:
EXISTING AND PROPOSED WEST ELEVATIONS

Job Title:
TIRRENO RESIDENCE

Project Address & APN:
**SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921
 APN: 009-162-026-000**

Project:
 HC-23063

Date:
 4.4.2024

Drawn By:
 BGREEN

Scale:
 1/4" = 1'-0"

Sheet No.
A5



EXISTING WEST ELEVATION



EXISTING WEST ELEVATION (NO CHANGE PROPOSED)

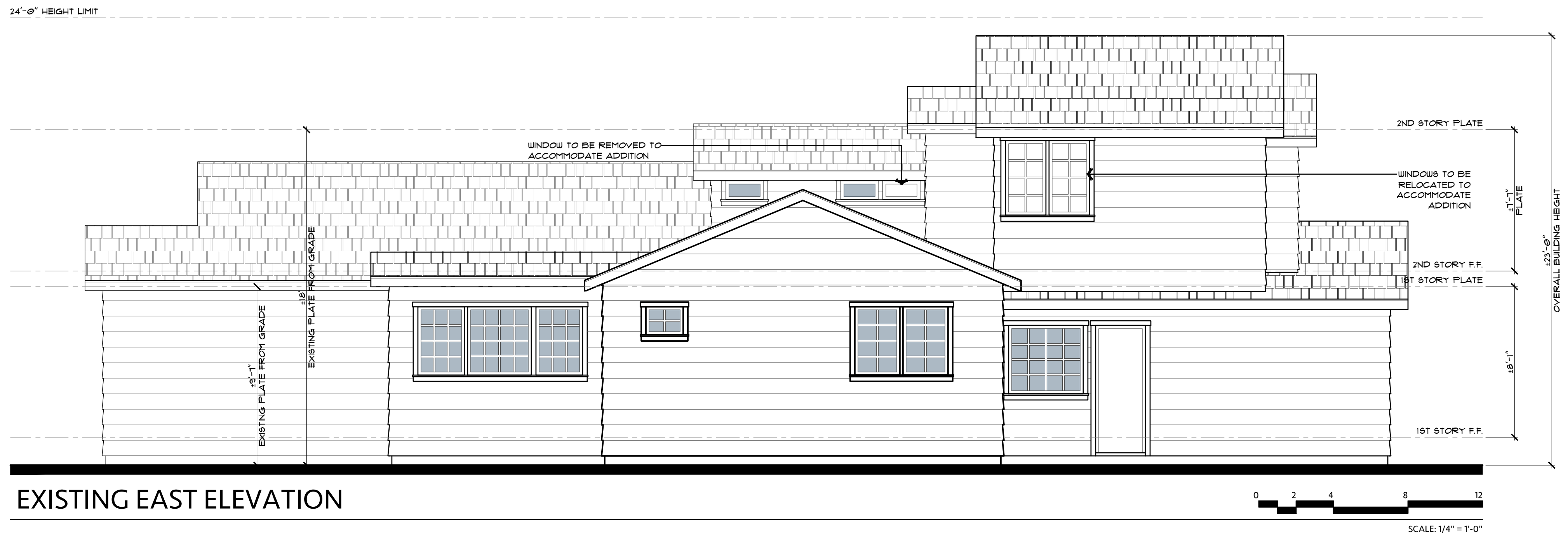
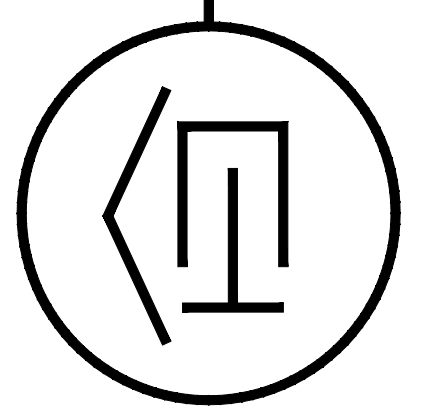
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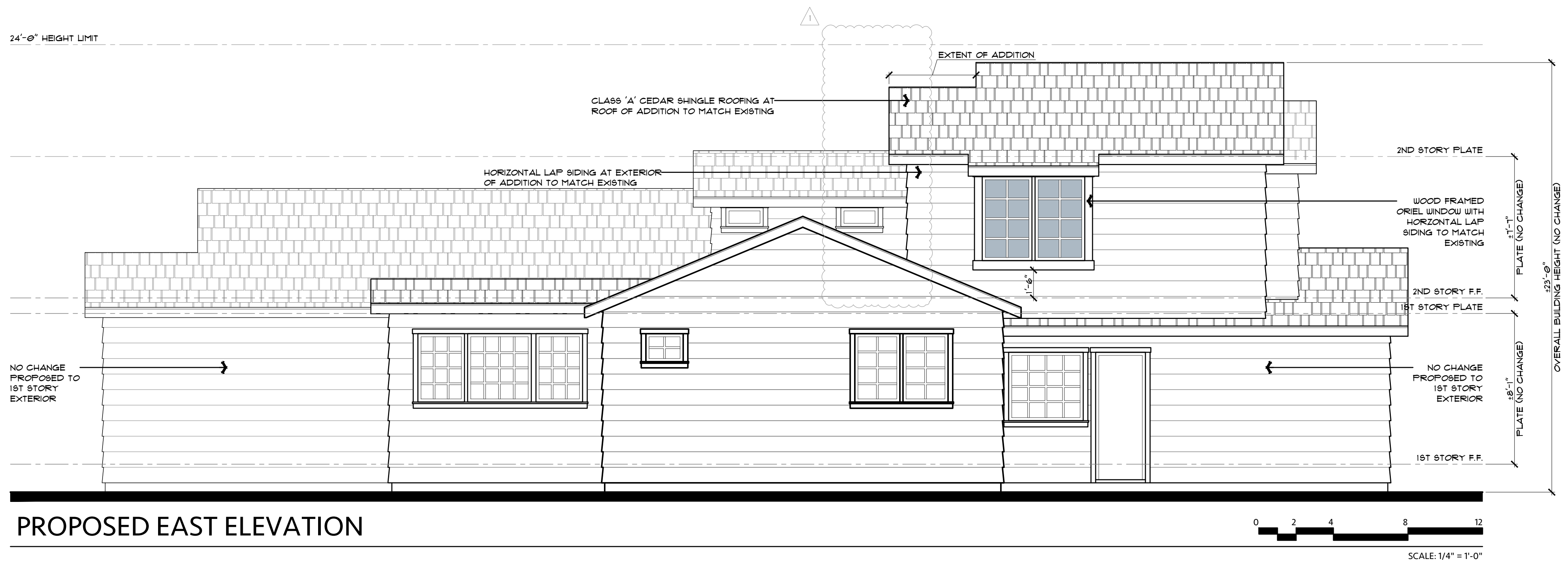
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 LIC#: 791539 CLASS: A/B



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

**CARMEL-BY-THE-SEA
 PLANNING DEPARTMENT
 APPROVED**

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 Date Approved: April 8, 2024
 Planner: A. Barton

Drawing Title:
EXISTING AND PROPOSED EAST ELEVATIONS

Job Title:
TIRRENO RESIDENCE

Project Address & APN:
**SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921
 APN: 009-162-026-000**

Project:
 HC-23063

Date:
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Drawn By:
 BGREEN

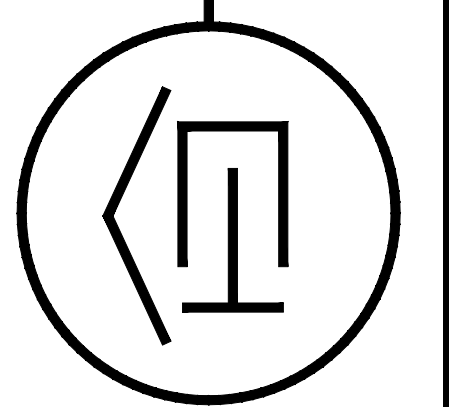
Scale:
 1/4" = 1'-0"

Sheet No.
A6

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 LIC#: 791539 CLASS: A/B



Drawing Title:
EXISTING AND PROPOSED ROOF PLANS

Job Title:
TIRRENO RESIDENCE

Project Address & APN:
SouthEast Corner of Perry Newberry & 5th, Carmel-by-the-Sea, California 93921
APN: 009-162-026-000

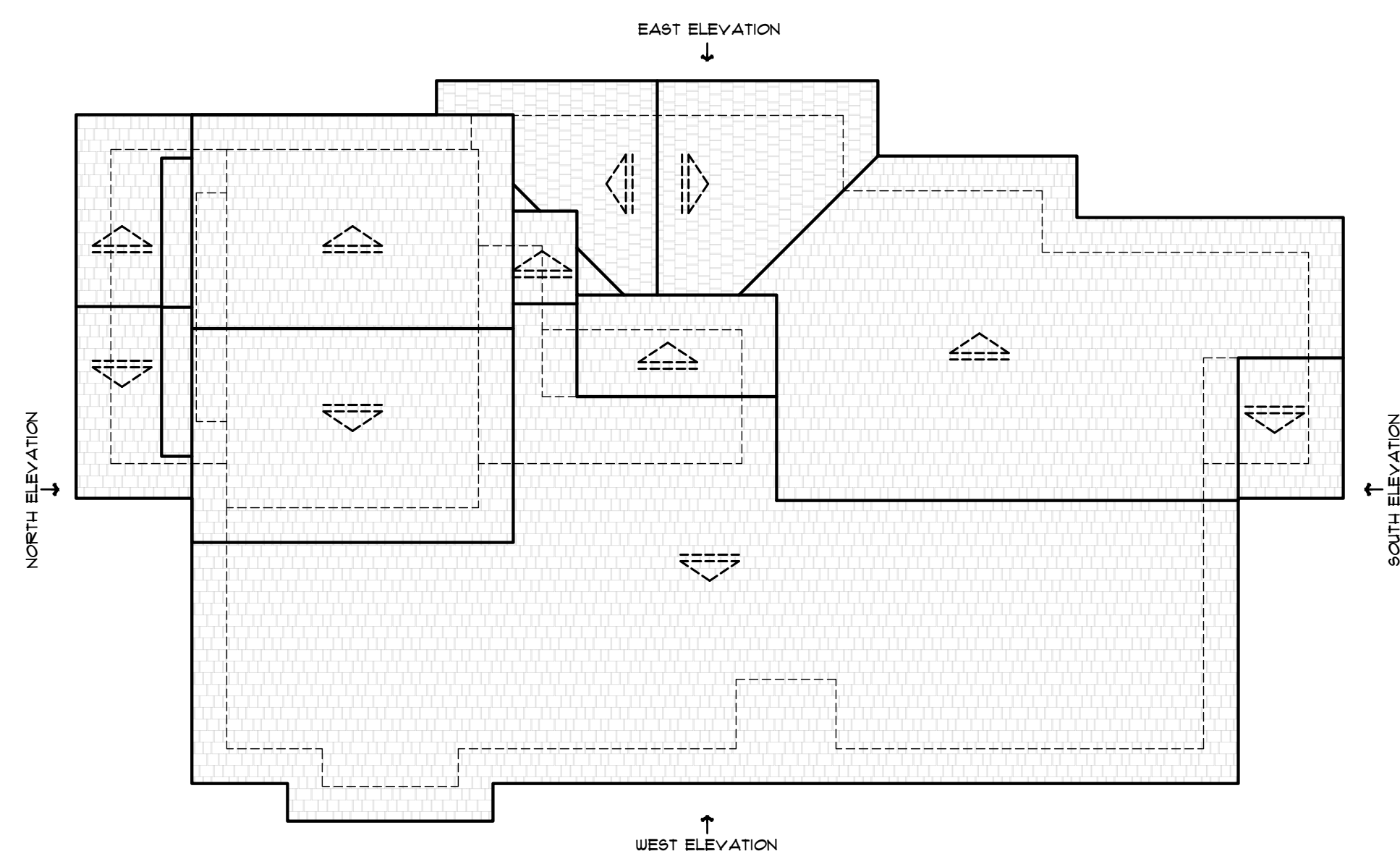
Project:
 HC-23063

Date:
 4.4.2024

Drawn By:
 BGREEN

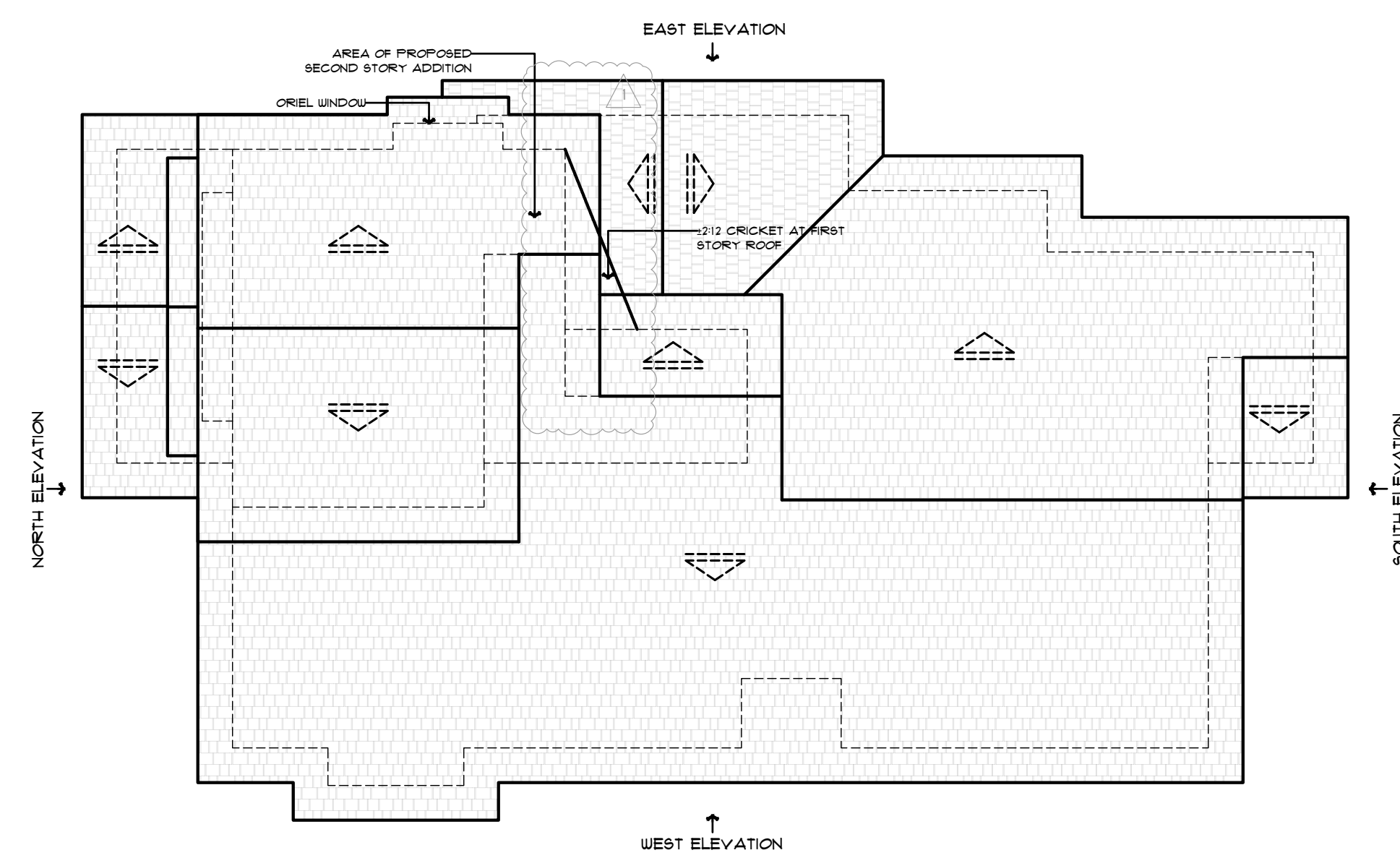
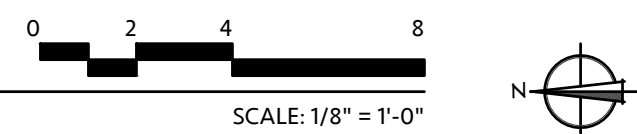
Scale:
 1/4" = 1'-0"

Sheet No.
A7



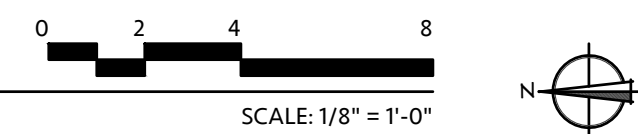
EXISTING ROOF PLAN

RAKE OVERHANG: 12"
 EAVE OVERHANG: 12"
 ROOF MATERIAL: CLASS 'A' CEDAR SHINGLE TYP.



PROPOSED ROOF PLAN

RAKE OVERHANG: 12"
 EAVE OVERHANG: 12"
 ROOF MATERIAL: CLASS 'A' CEDAR SHINGLE TYP.



**CARMEL-BY-THE-SEA
 PLANNING DEPARTMENT
 APPROVED**

Permit #: DS 24031 (Tirreno)

Date Approved: April 8, 2024

Planner: A. Barton