

ABBREVIATIONS

Table with 4 columns listing abbreviations such as A.B., ALT., APPROX., ARCH., ARCHTCT, etc., and their corresponding full names.

OWNERSHIP NOTES

- Ownership and use of these drawings and specifications. 1. TITLE AND ALL COPYRIGHT PRIVILEGES TO THESE DRAWINGS... 2. THE USE OF THESE DRAWINGS... 3. THE DESIGNER DISCLAIMS ALL RESPONSIBILITY... 4. IN THE EVENT OF UNAUTHORIZED USE...

PLUMBING & ELECTRICAL NOTES

- FOR ALL NEW PLUMBING AND ELECTRICAL ITEMS: 1. SEE ELECTRICAL AND PLUMBING NOTES FOR FLOW RATE AND FLUSH CAPACITY REQUIREMENTS... 2. MODERN ALL NEW CIRCUITS TO ELECTRICAL PANEL... 3. ALL KITCHEN AND BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION...

GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS... 2. SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT... 3. QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE... 4. WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT...

SPECIAL INSPECTIONS

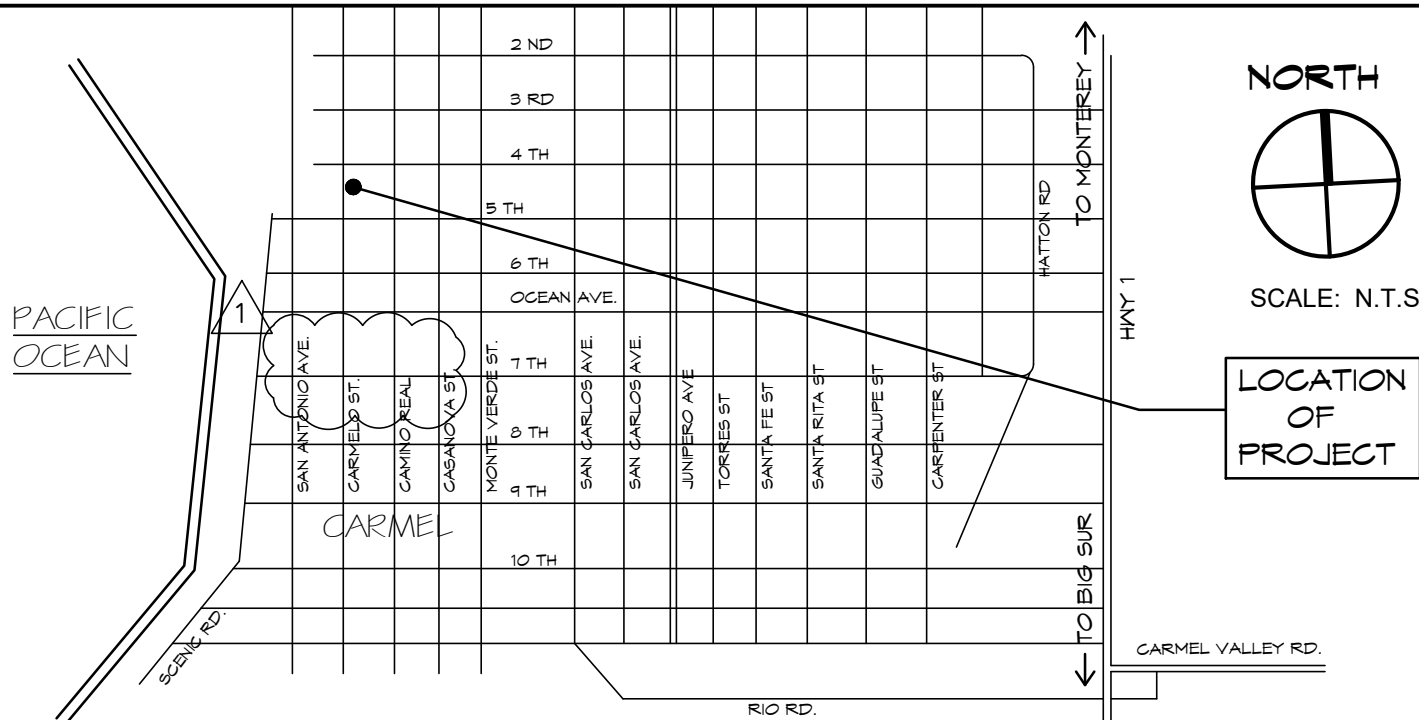
SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT. CONTRACTOR SHALL COORDINATE FORMS AND PROCEDURES WITH THE BUILDING DEPARTMENT.

SPECIAL CONDITIONS

THE APPLICANT SHALL WORK WITH PLANNING STAFF AND THE CITY FORESTER ON EVALUATING OPTIONS FOR PLANTING ONE NEW UPPER-CANOPY TREE ON SITE...



VICINITY MAP



NOTES

- 1. BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2019 EDITION OF THE CALIFORNIA BUILDING, RESIDENTIAL, ELECTRICAL, MECHANICAL, PLUMBING, GREEN BUILDING STANDARDS, ENERGY, HISTORICAL, AND FIRE CODES... 2. PROTECT ALL TREES DURING CONSTRUCTION PER THE TREE PROTECTION STANDARDS OF THE CITY OF CARMEL... 3. MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2,500 PSI...

FIRE SAFETY REQUIREMENTS

- 1. DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES... 2. FIRE PROTECTION EQUIPMENT 4 SYSTEMS - FIRE SPRINKLER SYSTEM - THE BUILDING AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS... 3. SMOKE ALARMS - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED...

SURVEY AND GEOTECHNICAL NOTES

- 1. A LETTER FROM THE SURVEYOR THAT THE ROOF HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION PRIOR TO ROOF SHEATHING INSPECTION... 2. THE BOTTOM OF ALL EXCAVATIONS SHOULD BE OBSERVED BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEERING FIRM...

PROJECT DATA

LOT 22 AND A PORTION OF LOT 20, BLOCK 66, CARMEL CITY, MONTEREY COUNTY, CALIFORNIA ZONING: R-1 LOT SIZE: 1,000 S.F. GRADE AT HIGHEST RIDGE: 112' TREE INFORMATION: NO EXISTING TREES TO BE REMOVED OCCUPANCY GROUP: RESIDENCE: R-3 GARAGE: U TYPE OF CONSTRUCTION: V-B

SETBACKS: REQUIRED FRONT SETBACK = 15'-0" PROPOSED FRONT SETBACK = 20'-3" TO GARAGE, 31'-9" TO HOUSE REQUIRED SIDE SETBACKS = TOTAL OF 25% OF SITE WIDTH = 17'-6" PROPOSED SIDE SETBACKS TO FINISH = 0'-4" + 0'-9" = 17'-6" REQUIRED REAR SETBACK = 5'-0" PROPOSED REAR SETBACK = 0'-0"

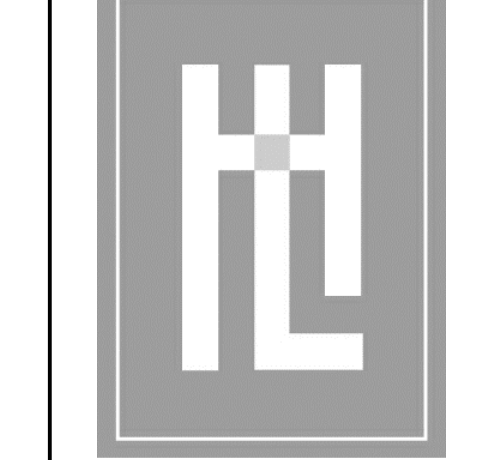
Table with 3 columns: FLOOR AREA BUILDINGS, EXISTING, and PROPOSED. Rows include Main Floor(s), Lower Floor, Garage, and Total Floor Area.

Table with 3 columns: SITE COVERAGE, IMPERMIABLE, and IMPERMIABLE. Rows include Entry Porch & Steps, Patios, Firepit/BB-Q Patios, Stepping Stones, Generator Slab, Site Stone Walls, Driveway, and Walkways.

Table with 3 columns: SUBTOTALS, IMPERMIABLE, and IMPERMIABLE. Rows include Total Site Coverage, Total Allowable Impermiable Site Coverage, and Total Allowable Site Coverage.

PROJECT TEAM

- OWNER: JEFF AND NOELLE NEWMAN 26022 ATHERTON DR CARMEL-BY-THE-SEA, CA 93923-8904 PH: 831-601-1522... SOILS ENGINEER: BEACON GEOTECHNICAL, INC. P.O. BOX 4814 PASO ROBLES, CA 93947 PH: 805-234-9451... STRUCTURAL ENGINEER: UYEDA AND ASSOCIATES 2600 GARDEN ROAD, SUITE 305 MONTEREY, CA 93940 PH: 831-919-3181... MECHANICAL ENGINEER: MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD., SUITE 6 CARMEL, CA 93924 PH: 831-312-8328



HOLDREN-LIETZKE ARCHITECTURE

225 CANNERY ROW - SUITE A MONTEREY, CA 93940 Ph: 831.649.6001 Fax: 831.649.6003 www.hl-arc.com

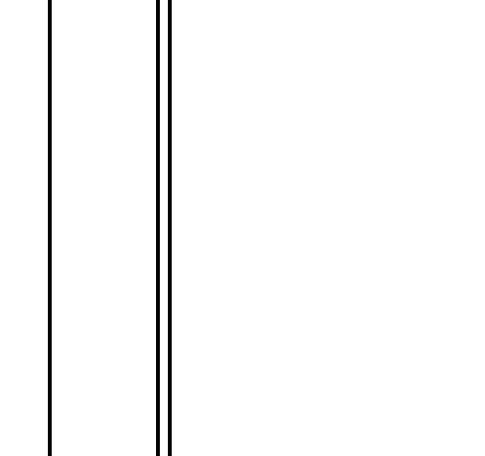
Table with 2 columns: Field Name and Value. Fields include DATE (01.17.2024), SCALE, DRAWN (LL), JOB NUMBER (23.10), REVISION (04/10/24), and PLANNING COMMENT (04/10/24).

COVER SHEET, PROJECT DATA

SHEET INDEX table listing architectural sheets: A1.0 COVER SHEET, PROJECT DATA; 1 OF 1 SITE PLAN SURVEY; A1.1 SITE / DRAINAGE PLAN; A1.2 WALL REMOVAL PLAN, FLR. LEVEL MAP; A1.3 EXISTING AND PROPOSED STREET ELEV.; A2.1 LOWER FLOOR PLAN; A2.2 MAIN FLOOR PLAN; A2.5 ROOF PLAN; A3.0 EXISTING EXTERIOR ELEVATIONS; A3.1 EXTERIOR ELEVATIONS; A3.2 EXTERIOR ELEVATIONS.

LANDSCAPE

L-1 HARDSCAPE/LIGHTING/IRRIGATION & DRAINAGE PLAN



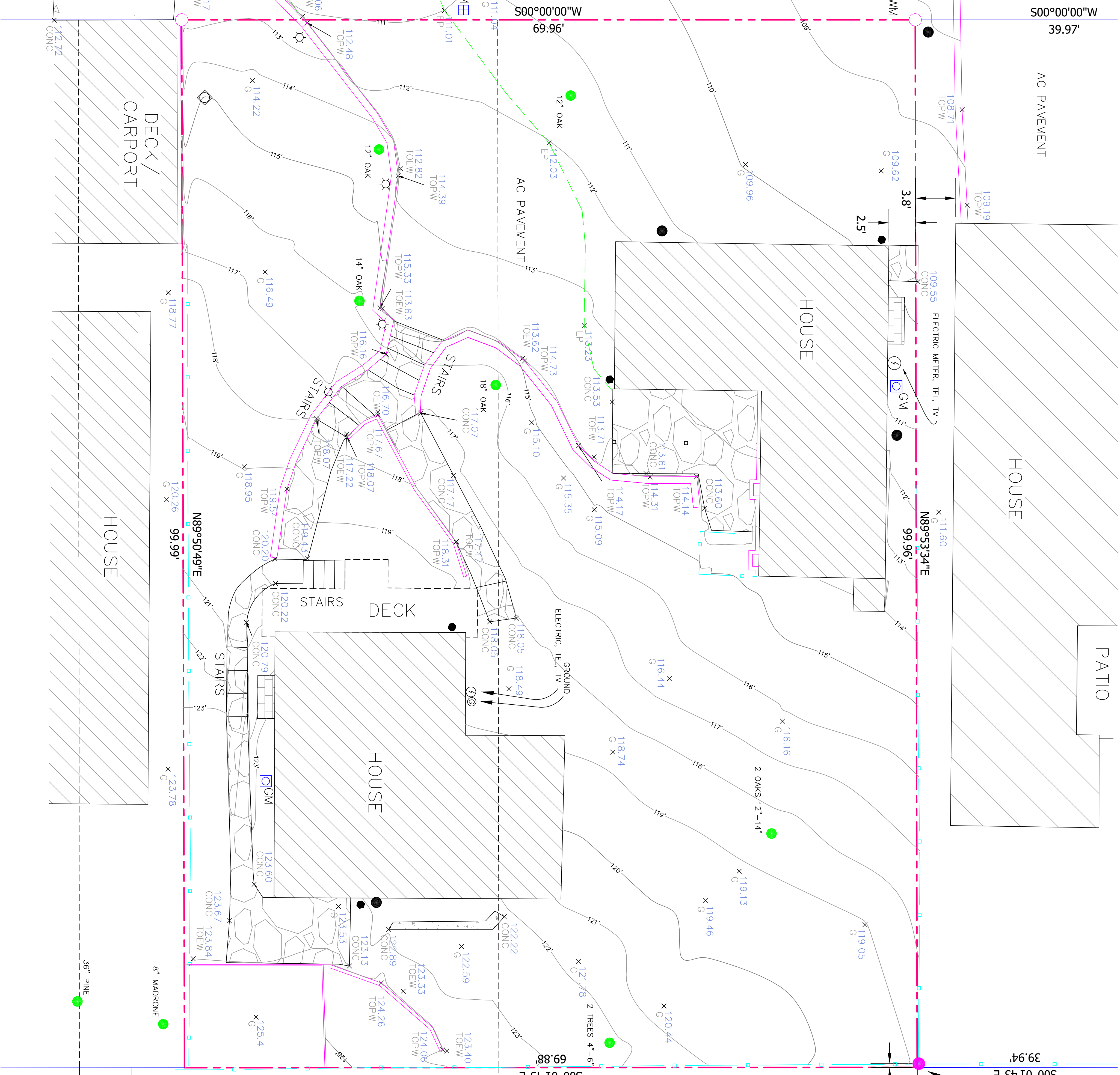
COVER SHEET, PROJECT DATA NEWMAN RESIDENCE CARMELO, 3 SE OF 4TH CARMEL, CA 93921 A.P.N. 010-252-020

A1.0

CARMELO STREET

(A CITY STREET)

AC PAVEMENT



AC PAVEMENT

HOUSE

HOUSE

PATIO

HOUSE

HOUSE

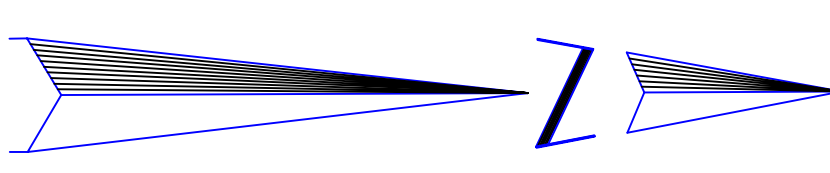
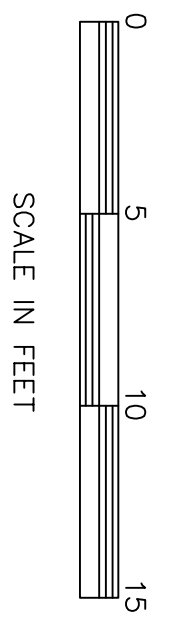
FOUND 3/4" IRON PIPE LS 4986; BEARS N66°37'13"W 0.39' FROM CORNER

Wood Fence on Top o Wood Retaining Wall, 0.5' to 4' High



LEGEND

- SET 5/8" IRON ROD TAGGED L.S.5321, UNLESS NOTED OTHERWISE
- FD. MONUMENT, AS NOTED
- TREE, TYPE, DBP AND DIAMETER SPECIFIED
- AREA DRAIN
- WATER METER
- WATER FACILE
- LIGHT FIXTURE
- SEWER SYSTEM CLEAN OUT
- SEWER SYSTEM SAFETY RELIEF VALVE
- JOINT UTILITY POLE
- GAS METER
- ELECTRIC BOX
- POST
- ORIGINAL LOT LINES
- FENCE LINE
- PROPERTY LINE
- LOT LINE
- EDGE OF PAVEMENT
- STONE WALL
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- ▨ BUILDING
- ▨ CONCRETE
- ▨ BRICK CHIMNEY
- ▨ FLASSTONE AND MORTAR

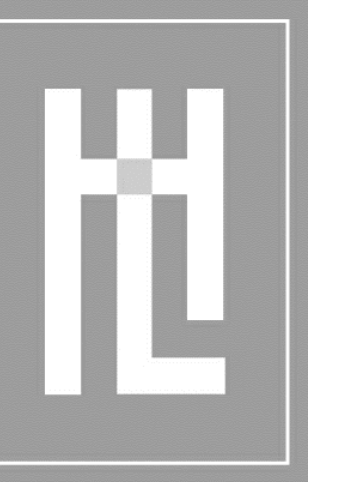


SURVEYOR'S STATEMENT
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS' ACT AT THE REQUEST OF ISSAQUAH OHANA, IN THE HOODSIA LETZKE ARCHITECTURE IN SEPTEMBER 2023.
 DATED: 9/22/2023
 LYNN A. KOVACH
 L.S. 5321



SITE SURVEY
 OF
 LANDS OF OHANA
 BEING LOT 22 AND A PORTION OF LOT 20 BLOCK GG,
 ADDITION NO. 3 TO CARMELO-BY-THE-SEA
 APR 010-252-020
 CITY OF CARMELO-BY-THE-SEA
 MONTEREY COUNTY, CALIFORNIA

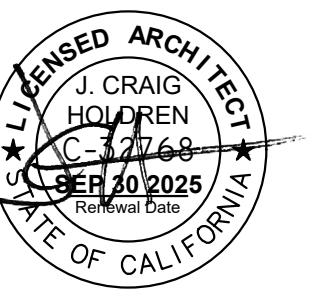
PREPARED FOR: Issachor Ohana
 SURVEYED BY: **TC CONSULTING**
 P.O. BOX 1378
 CARMELO VALLEY, CA 93924
 SCALE: 1" = 5'
 FILE NAME: OHANA_PL104223DWG
 DATE: AUGUST 13, 2013



**HOLDREN-LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE:	01.17.2024
SCALE:	1"=5'-0"
DRAWN:	LL
JOB NUMBER:	23.10
REVISION:	PLANNING COMMENT 04/10/24



SITE / DRAINAGE PLAN
NEWMAN RESIDENCE
CARMELO, 3 SE OF 4TH
CARMEL, CA 93921
A.P.N. 010-252-020

A1.1

LEGEND

○ SET 5/8" IRON ROD TAGGED L.S.5321, UNLESS NOTED OTHERWISE	---	ORIGINAL LOT LINES
● FD. MONUMENT, AS NOTED	- - - -	FENCE LINE
⊗ UTILITY POLE	- - - -	PROPERTY LINE
● TREE, TYPE, DRIP AND DIAMETER SPECIFIED	---	LOT LINE
⊠ AREA DRAIN	---	EDGE OF PAVEMENT
⊠ WATER METER	---	STONE WALL
● WATER FAUCET	---	GAS
☼ LIGHT FIXTURE	---	WATER
⊝ DRAIN LINE CLEAN OUT	---	DRAIN LINE
⊠ SEWER SYSTEM SAFETY RELIEF VALVE	▨	(E) BUILDING
⊗ JOINT POLE	▩	CONCRETE
⊠ GAS METER	▩	FLAGSTONE AND MORTAR

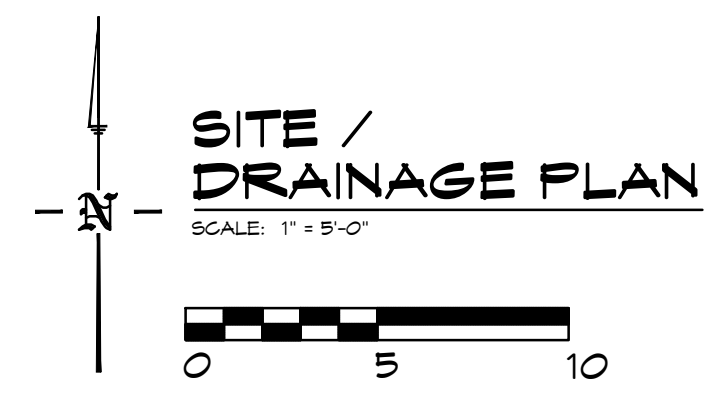
NOTE: CORNERS WILL BE SURVEYED & DOCUMENTATION THAT THE HOUSE PLACEMENT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION PRIOR TO FOUNDATION PLACEMENT

FOUND 3/4" IRON PIPE LS 4986 AT N66°37'13"W 0.39'

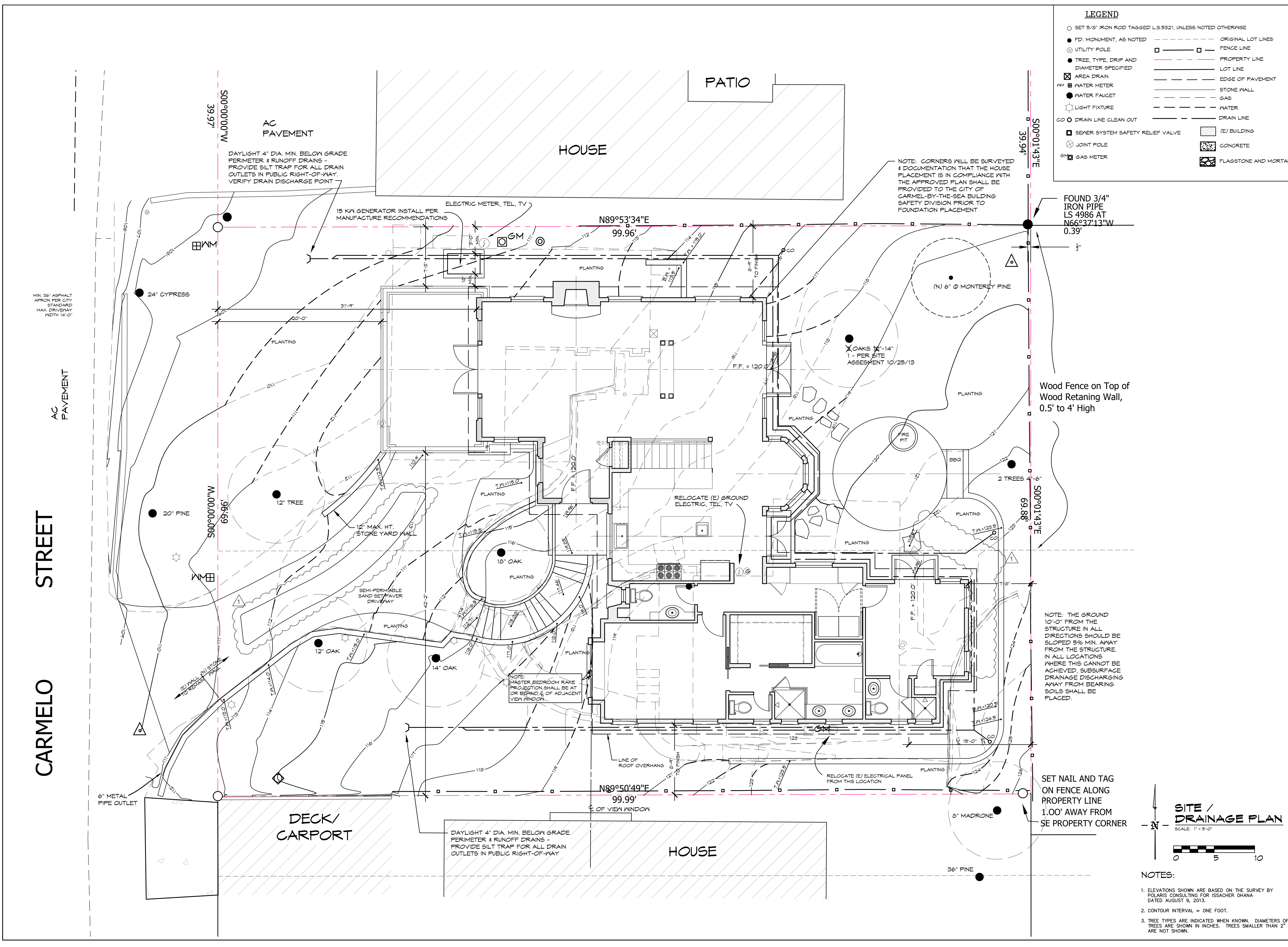
Wood Fence on Top of Wood Retaining Wall, 0.5' to 4' High

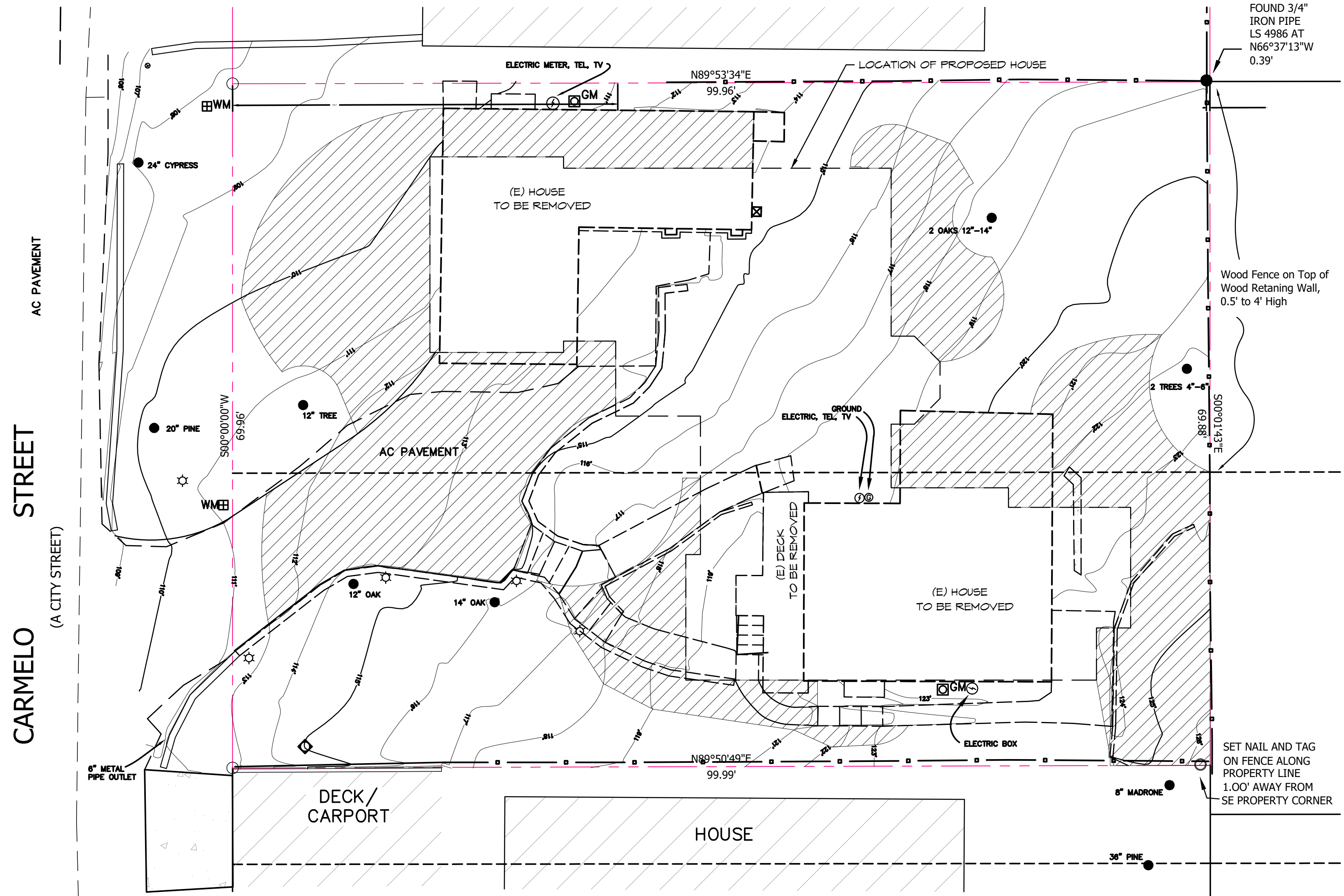
NOTE: THE GROUND 10'-0" FROM THE STRUCTURE IN ALL DIRECTIONS SHOULD BE SLOPED 5% MIN. AWAY FROM THE STRUCTURE. IN ALL LOCATIONS WHERE THIS CANNOT BE ACHIEVED, SUBSURFACE DRAINAGE DISCHARGING AWAY FROM BEARING SOILS SHALL BE PLACED.

SET NAIL AND TAG ON FENCE ALONG PROPERTY LINE 1.00' AWAY FROM SE PROPERTY CORNER



- NOTES:
- ELEVATIONS SHOWN ARE BASED ON THE SURVEY BY POLARIS CONSULTING FOR ISSACHER OHANA DATED AUGUST 9, 2013.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 2" ARE NOT SHOWN.





WALL REMOVAL / TAKE DOWN AND SITE GRADING PLAN

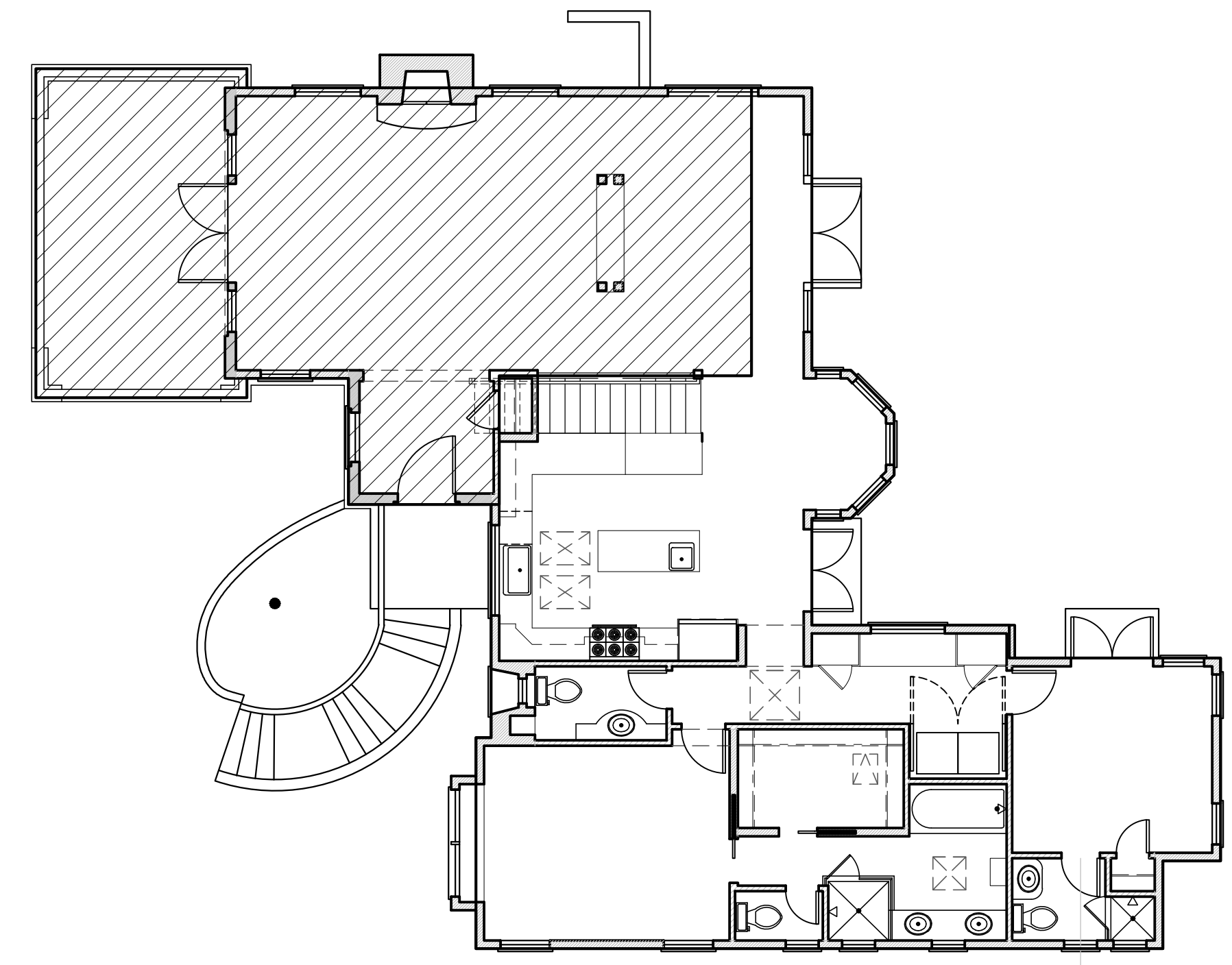
SCALE: 1/8" = 1'-0"

LEGEND	
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING PAVING/DECK TO BE REMOVED
	EXISTING FENCE/STEPS TO BE REMOVED
	AREA OF GRADING OUTSIDE FOOTINGS (LESS THAN 15 C.Y. CUT, 15 C.Y. FILL)

NOTES:
 1. ALL ADDL. GRADING CUT & FILL OCCURS IN LOCATION OF NEW FOOTINGS.
 2. NO GRADING OFF SITE OR IN PUBLIC RIGHT OF WAY.

EXISTING EXTERIOR STRUCTURAL WALLS PROPOSED FOR DEMOLITION, REMOVAL OR RECONSTRUCTION = 100%

MAIN FLOOR: EXISTING/DEMO - 210 LINEAR FEET

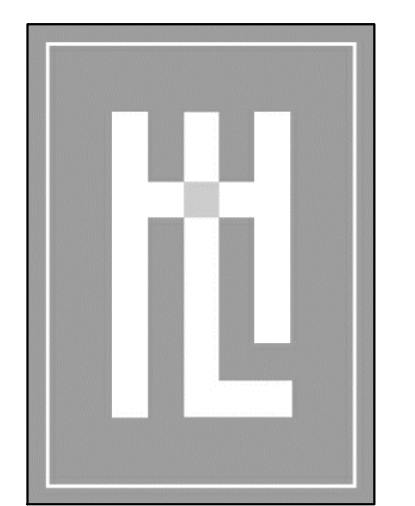


FLOOR LEVEL MAP

SCALE: 1/8" = 1'-0"

LEGEND	
	AREA OF MAIN LEVEL
	AREA OF LOWER LEVEL THAT IS COMPLETELY OVERLAPPED BY MAIN LEVEL (NOTE: 100% OF LOWER LEVEL IS OVERLAPPED BY FIRST LEVEL)

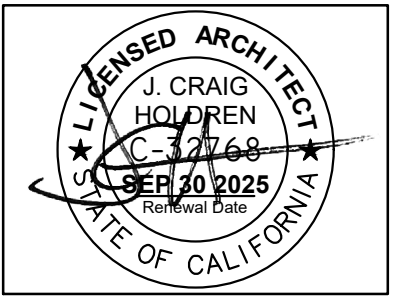
FLOOR AREA TABLE	
MAIN FLOOR:	1,867 S.F.
LOWER FLOOR (INCLUDING GARAGE):	864 S.F.
AREA OF LOWER FLOOR THAT IS OVERLAPPED BY FIRST FLOOR:	864 S.F.



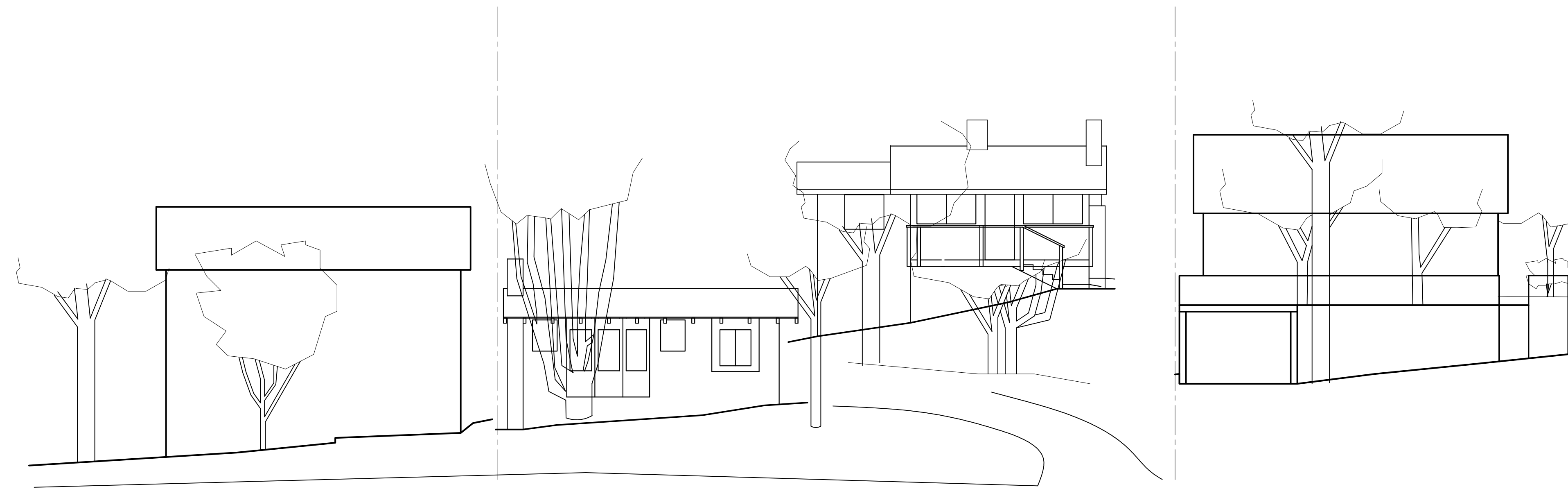
HOLDREN+LIETZKE ARCHITECTURE

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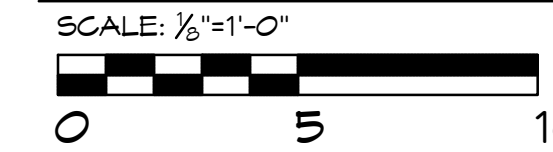
DATE:	01.17.2024
SCALE:	AS NOTED
DRAWN:	LL
JOB NUMBER:	23.10
REVISION	
	PLANNING COMMENT 04/10/24



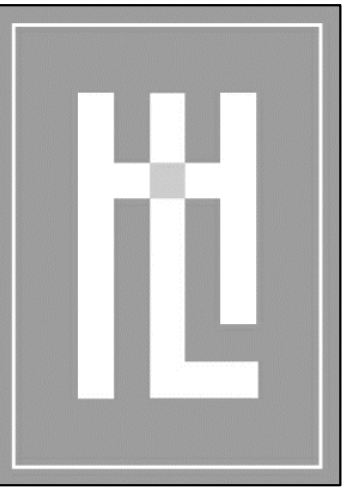
WALL REMOVAL PLN., FLR. LEVEL MAP
NEWMAN RESIDENCE
 CARMELO, 3 SE OF 4TH
 CARMEL, CA 93921
 A.P.N. 010-252-020



EXISTING CARMELO STREET PROFILE - WEST ELEVATION



PROPOSED CARMELO STREET PROFILE - WEST ELEVATION



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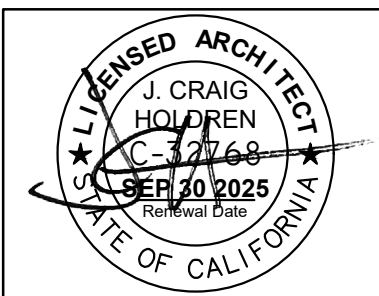
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DRAWN: SGC

JOB NUMBER: 23.10

REVISION

1	PLANNING COMMENT
	04/10/24



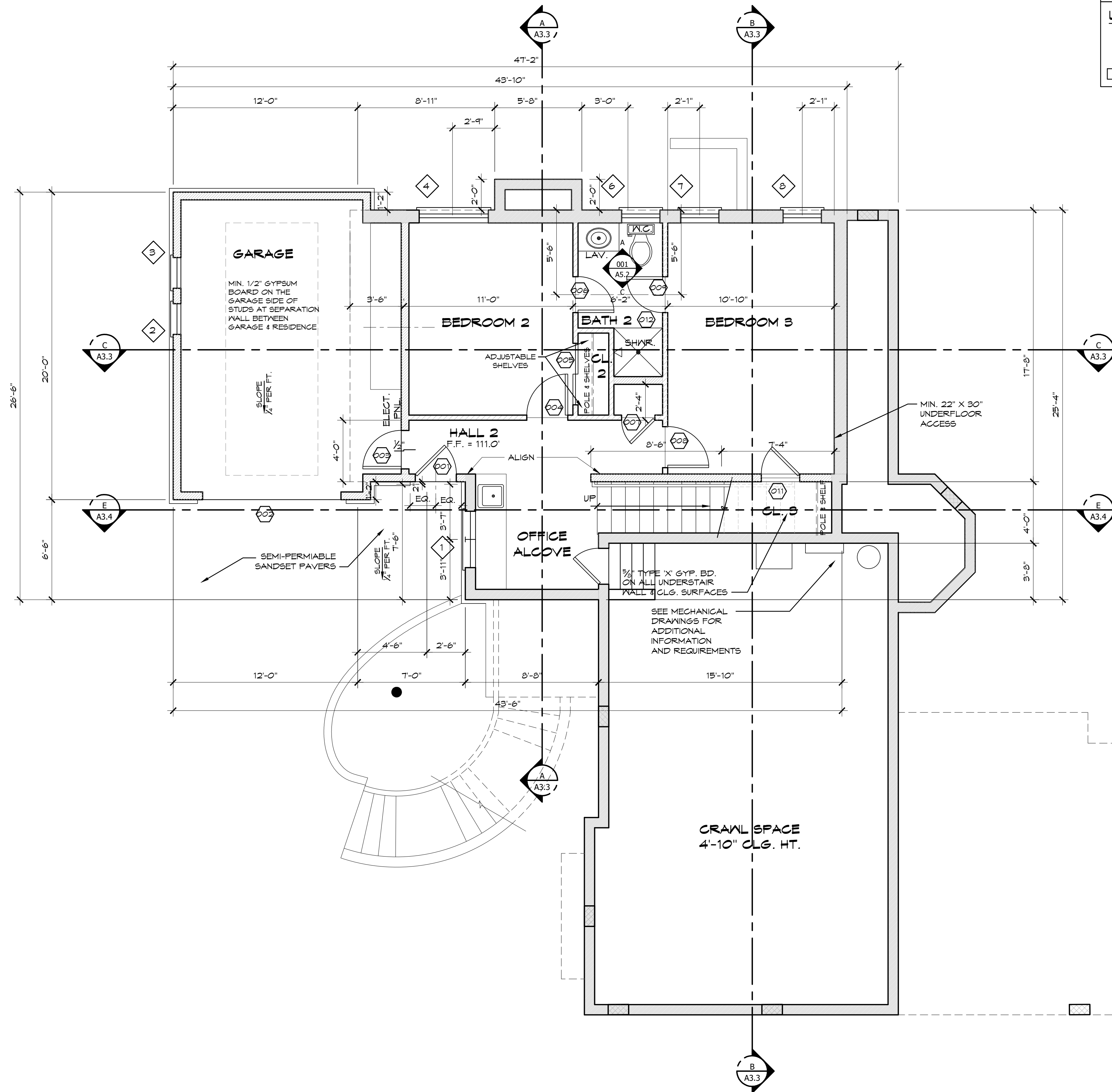
EXISTING AND PROPOSED STREET ELEV.

NEWMAN RESIDENCE

CARMELO, 3 SE OF 4TH
CARMELO, CA 93921

A.P.N. 010-252-020

A1.3



INSULATION NOTES

- ROOF INSULATION SHALL BE GMA APPROVED BLOWN-IN CELLULOSE INSULATION BY U.S. GREENFIBER, LLC OR HMI HAMILTON MANUFACTURING, INC. OR APPROVED EQUAL AND SHALL MEET ASTM E-119 REQUIREMENTS FOR FIRE RESISTANCE IN RESIDENTIAL INSULATION - (REQUIRES NO VENTILATION)
- BATT INSULATION SHALL BE PROVIDED IN ALL WALLS AND UNDERFLOOR CAVITIES

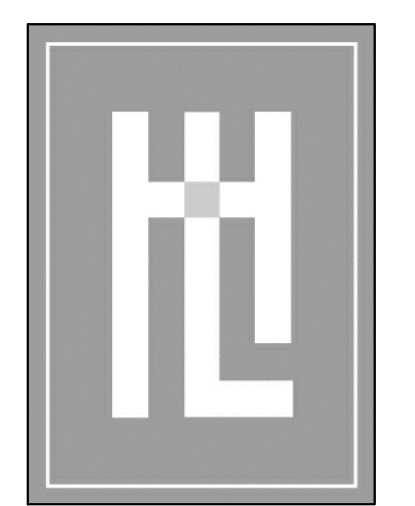
UNDERFLOOR VENTING CALCULATIONS:

1,051 S.F. UNDERFLOOR AREA
 1,051 S.F. / 150 = 7.01 S.F. TOTAL VENTING REQUIRED
 (2) VENTS @ 8' X 16' PER VENT =
 (2) X .88 S.F. (FREE AREA PER VENT) =
 1.76 S.F. TOTAL VENTING PROVIDED

LEGEND

- (N) 2X4 STUDS @ 16" O.C. U.O.N. 1/2" TYPE 'X' G.W.B. - TAPE TEXTURE & PAINT
- (N) 2X6 STUDS @ 16" O.C. U.O.N. 1/2" TYPE 'X' G.W.B. - TAPE TEXTURE & PAINT
- (N) 2X8 STUDS @ 16" O.C. U.O.N. 1/2" TYPE 'X' G.W.B. - TAPE TEXTURE & PAINT
- 8"X16" UNDERFLOOR VENT (TYP. OF 2)

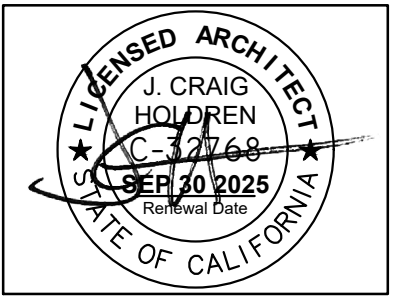
USE LOW-VOC INTERIOR WALL/CEILING PAINTS (<50 GFL VOCs (FLAT) & <150 GFL VOCs (NON-FLAT))
 USE LOW-VOC: CAULK & CONST. ADHESIVES (<10 GFL VOCs) FOR ALL ADHESIVES
 AFTER INSTALLATION OF FINISHES, TEST OF INDOOR AIR SHOWS FORMALDEHYDE LEVEL <2PPB



HOLDREN-LIETZKE ARCHITECTURE

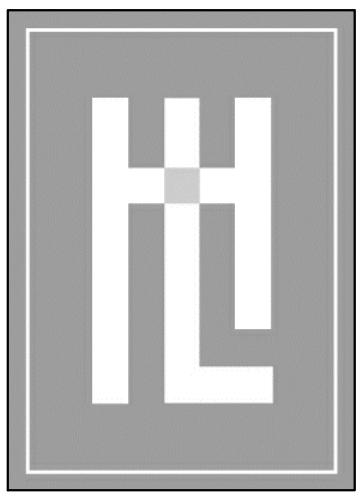
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DATE: 01.17.2024
 SCALE: 1/4" = 1'-0"
 DRAWN: LL
 JOB NUMBER: 23.10
 REVISION:



LOWER FLOOR PLAN
NEWMAN RESIDENCE
 CARMELO, 3 SE OF 4TH
 CARMELO, CA 93921
 A.P.N. 010-252-020

LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 5 10



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NEWMAN RESIDENCE
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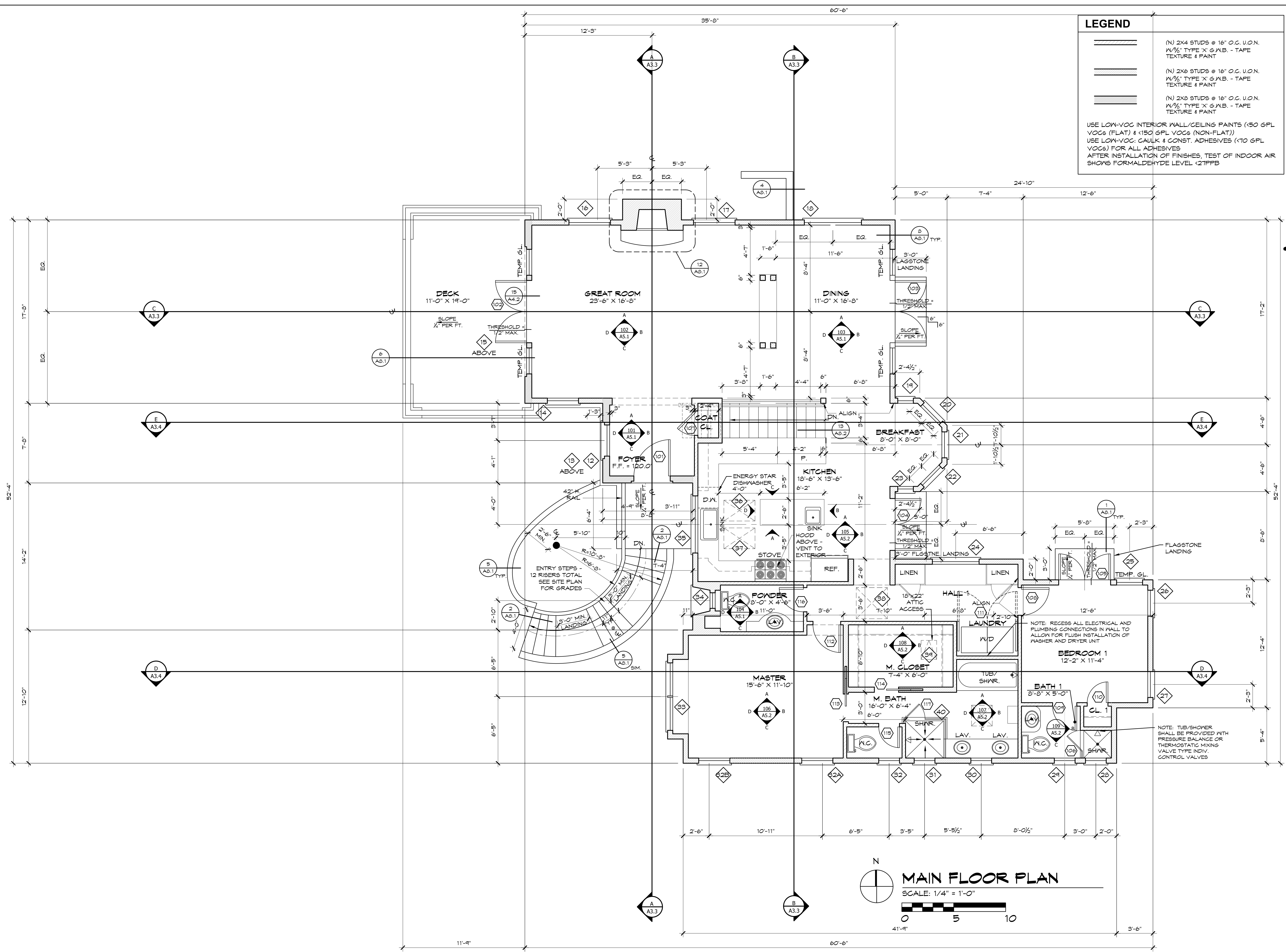
MAIN FLOOR PLAN

A2.2

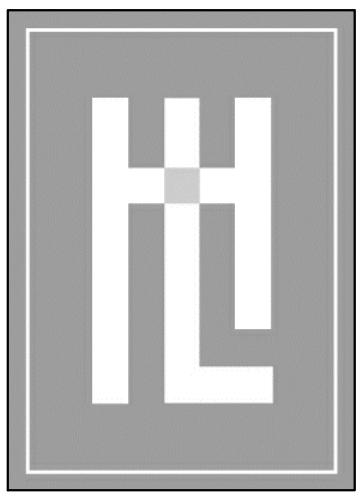
LEGEND

- (N) 2x4 STUDS @ 16" O.C. U.O.N. W/1/2" TYPE 'X' G.M.B. - TAPE TEXTURE & PAINT
- (N) 2x6 STUDS @ 16" O.C. U.O.N. W/1/2" TYPE 'X' G.M.B. - TAPE TEXTURE & PAINT
- (N) 2x8 STUDS @ 16" O.C. U.O.N. W/1/2" TYPE 'X' G.M.B. - TAPE TEXTURE & PAINT

USE LOW-VOC INTERIOR WALL/CEILING PAINTS (<50 GPL VOCs (FLAT) & <150 GPL VOCs (NON-FLAT))
USE LOW-VOC CAULK & CONST. ADHESIVES (<10 GPL VOCs) FOR ALL ADHESIVES
AFTER INSTALLATION OF FINISHES, TEST OF INDOOR AIR SHOWS FORMALDEHYDE LEVEL <2TPPB



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 5 10



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DRAWN: LL

JOB NUMBER: 23.10

REVISION

1 PLANNING COMMENT
04/10/24



ROOF PLAN
NEWMAN RESIDENCE
CARMELO, 3 SE OF 4TH
CARMEL, CA 93921
A.P.N. 010-252-020

A2.5

GENERAL ROOF DETAIL SHEET NOTES

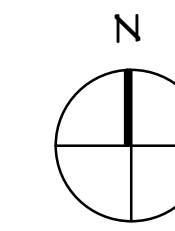
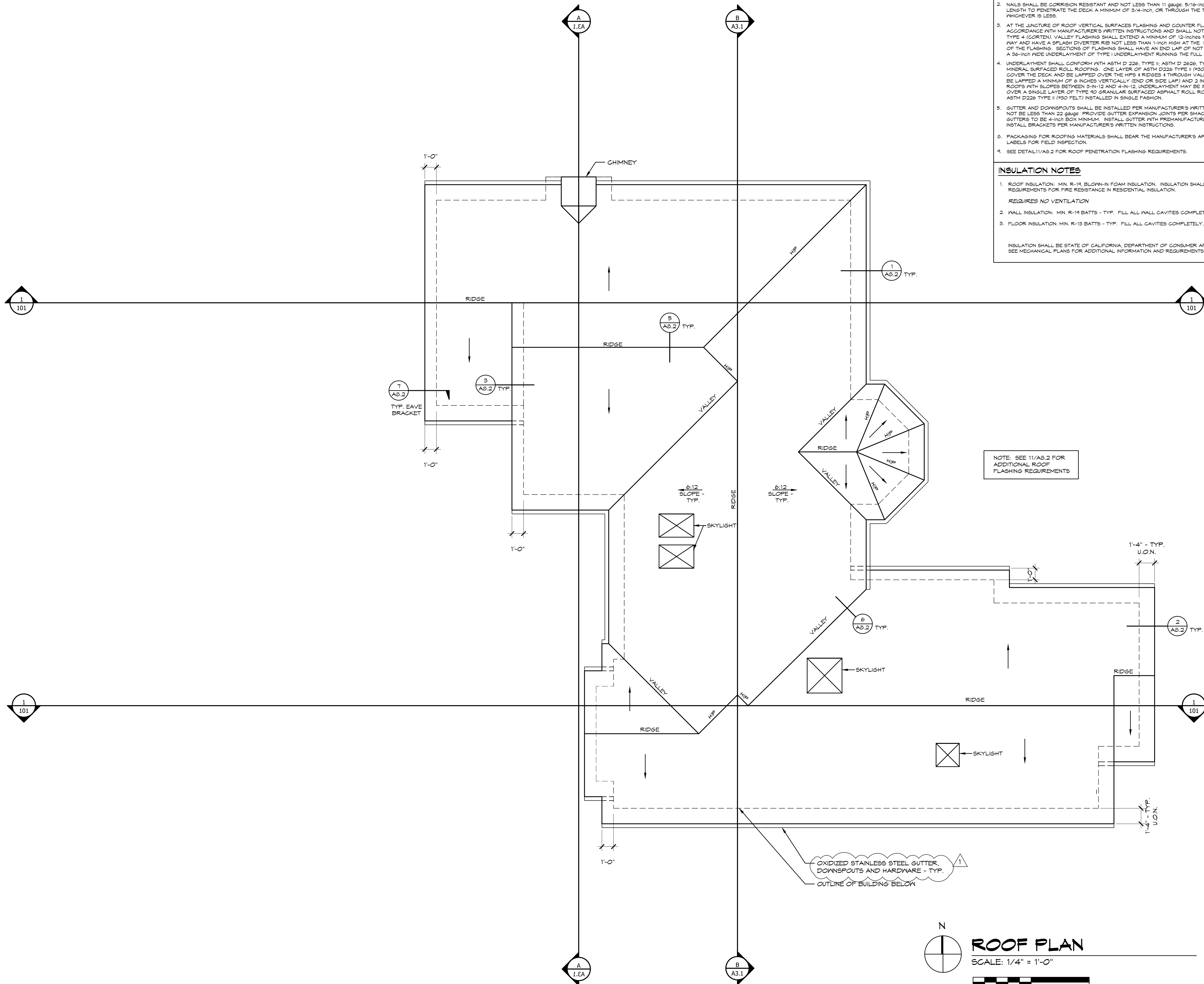
1. ROOF TILE SHALL BE TYPE 'A' FIRE-RESISTANT AND SHALL COMPLY WITH ASTM C 1482.
2. NAILS SHALL BE CORROSION RESISTANT AND NOT LESS THAN 11 GAUGE, 5/16-INCH HEAD AND OF SUFFICIENT LENGTH TO PENETRATE THE DECK A MINIMUM OF 3/4-INCH, OR THROUGH THE THICKNESS OF THE DECK WHICHEVER IS LESS.
3. AT THE JUNCTURE OF ROOF VERTICAL SURFACES FLASHING AND COUNTER FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND SHALL NOT BE LESS THAN 22 GAUGE ABOVE TYPE 4 (GORTEN). VALLEY FLASHING SHALL EXTEND A MINIMUM OF 12-INCHES FROM THE CENTERLINE EACH WAY AND HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1/8-INCH HIGH AT THE FLOOR LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4-INCHES. PROVIDE A 36-INCH WIDE UNDERLAYMENT OF TYPE I UNDERLAYMENT RUNNING THE FULL LENGTH OF THE VALLEY.
4. UNDERLAYMENT SHALL CONFORM WITH ASTM D 226, TYPE II; ASTM D 2626, TYPE I; OR ASTM D 244 MINERAL SURFACED ROLL ROOFING. ONE LAYER OF ASTM D226 TYPE II (F30 FELT) SHALL COMPLETELY COVER THE DECK AND BE LAPPED OVER THE HIP & RIDGES & THROUGH VALLEYS. UNDERLAYMENT SHALL BE LAPPED A MINIMUM OF 6 INCHES VERTICALLY (END OR SIDE LAP) AND 2 INCHES HORIZONTALLY. FOR ROOFS WITH SLOPES BETWEEN 3:12 AND 4:12, UNDERLAYMENT MAY BE INSTALLED AS ABOVE OR OVER A SINGLE LAYER OF TYPE 90 GRANULAR SURFACED ASPHALT ROLL ROOFING OR TWO LAYERS OF ASTM D226 TYPE II (F30 FELT) INSTALLED IN SINGLE FASHION.
5. GUTTER AND DOWNSPOUTS SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND SHALL NOT BE LESS THAN 22 GAUGE. PROVIDE GUTTER EXPANSION JOINTS PER MAGNA SHEET METAL MANUAL. GUTTERS TO BE 4-INCH BOX MINIMUM. INSTALL GUTTER WITH PREMANUFACTURED GUTTER BRACKETS. INSTALL BRACKETS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
6. PACKAGING FOR ROOFING MATERIALS SHALL BEAR THE MANUFACTURER'S APPROVED TESTING AGENCY'S LABELS FOR FIELD INSPECTION.
7. SEE DETAIL 11/A0.2 FOR ROOF PENETRATION FLASHING REQUIREMENTS.

INSULATION NOTES

1. ROOF INSULATION: MIN. R-19 BLOWN-IN FOAM INSULATION. INSULATION SHALL MEET ASTM E-114 REQUIREMENTS FOR FIRE RESISTANCE IN RESIDENTIAL INSULATION.
REQUIRES NO VENTILATION
2. WALL INSULATION: MIN. R-19 BATTS - TYP. FILL ALL WALL CAVITIES COMPLETELY.
3. FLOOR INSULATION: MIN. R-19 BATTS - TYP. FILL ALL CAVITIES COMPLETELY.

INSULATION SHALL BE STATE OF CALIFORNIA, DEPARTMENT OF CONSUMER AFFAIRS APPROVED. SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

NOTE: SEE 11/A0.2 FOR ADDITIONAL ROOF FLASHING REQUIREMENTS

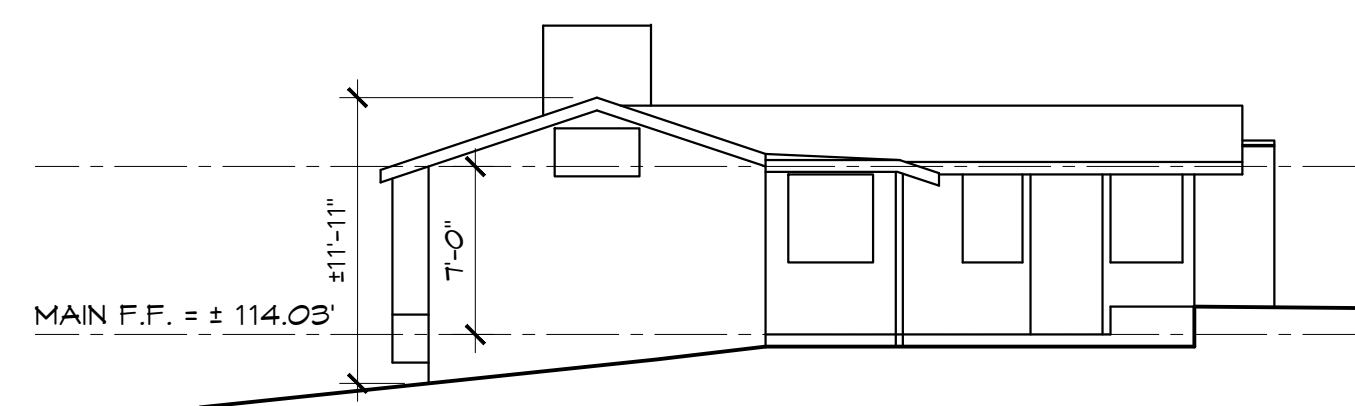


ROOF PLAN

SCALE: 1/4" = 1'-0"

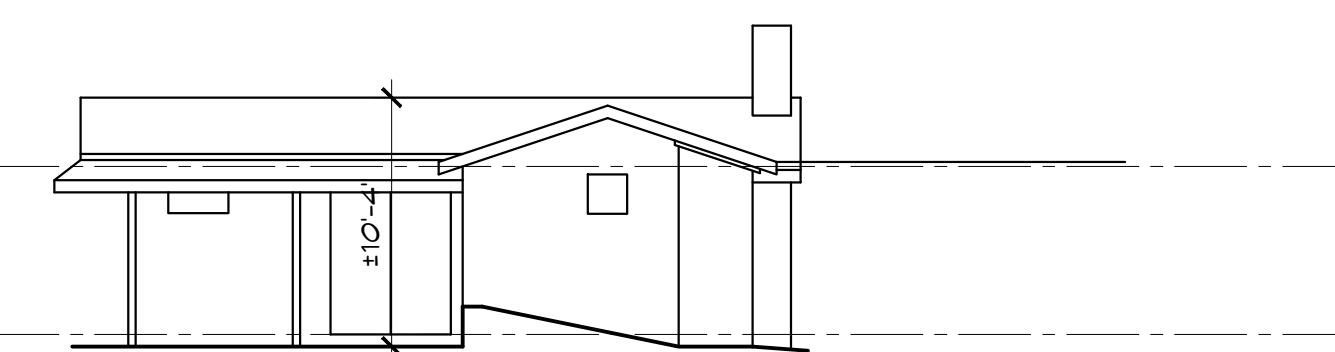


OXIDIZED STAINLESS STEEL GUTTER,
DOWNSPOUTS AND HARDWARE - TYP.
OUTLINE OF BUILDING BELOW



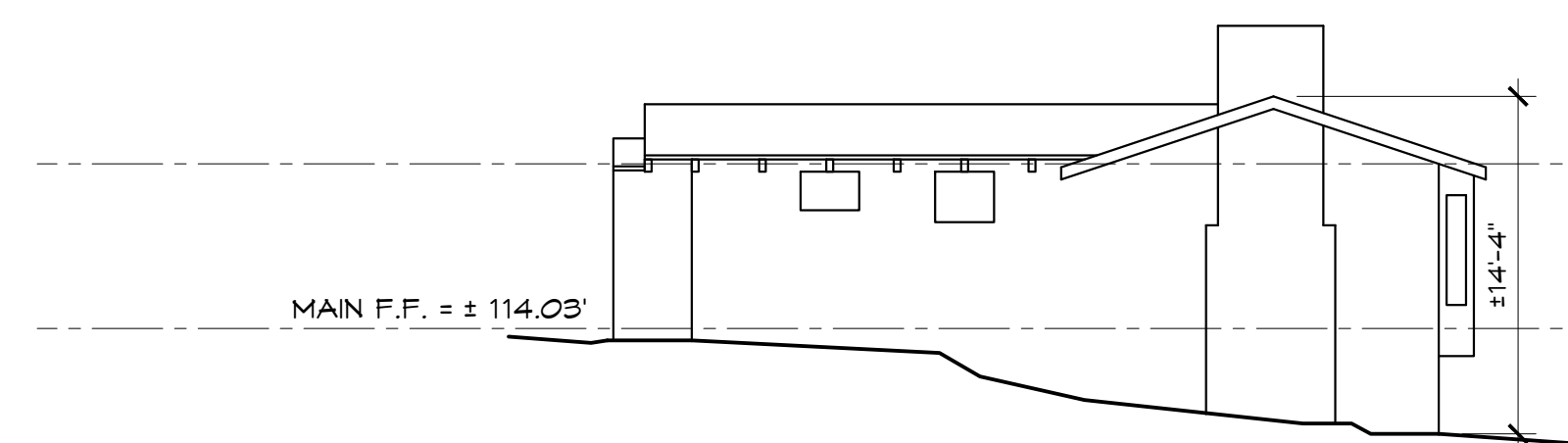
SOUTH ELEVATION (HOUSE #1)

SCALE: 1/8" = 1'-0"



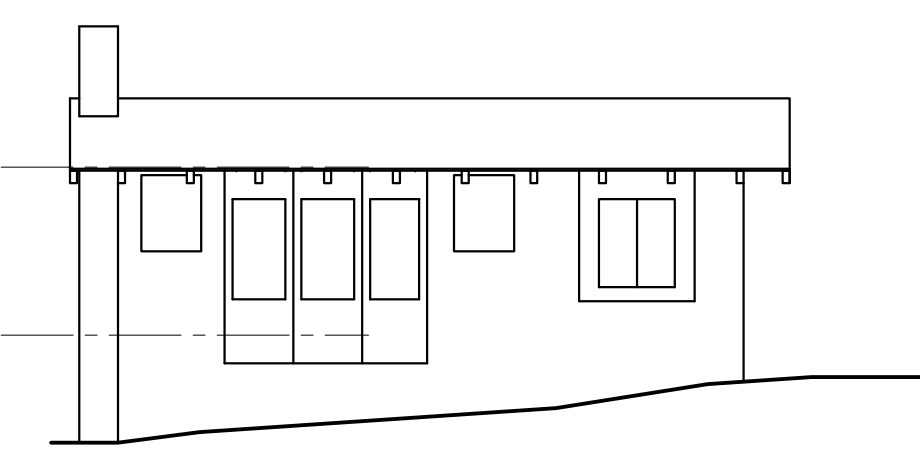
EAST ELEVATION (HOUSE #1)

SCALE: 1/8" = 1'-0"



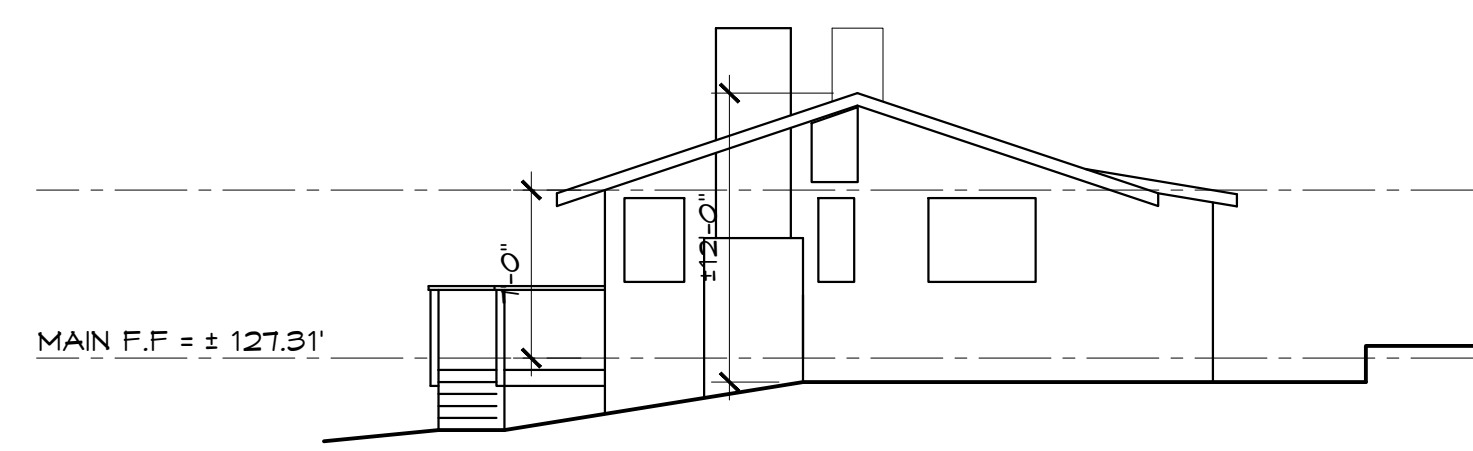
NORTH ELEVATION (HOUSE #1)

SCALE: 1/8" = 1'-0"



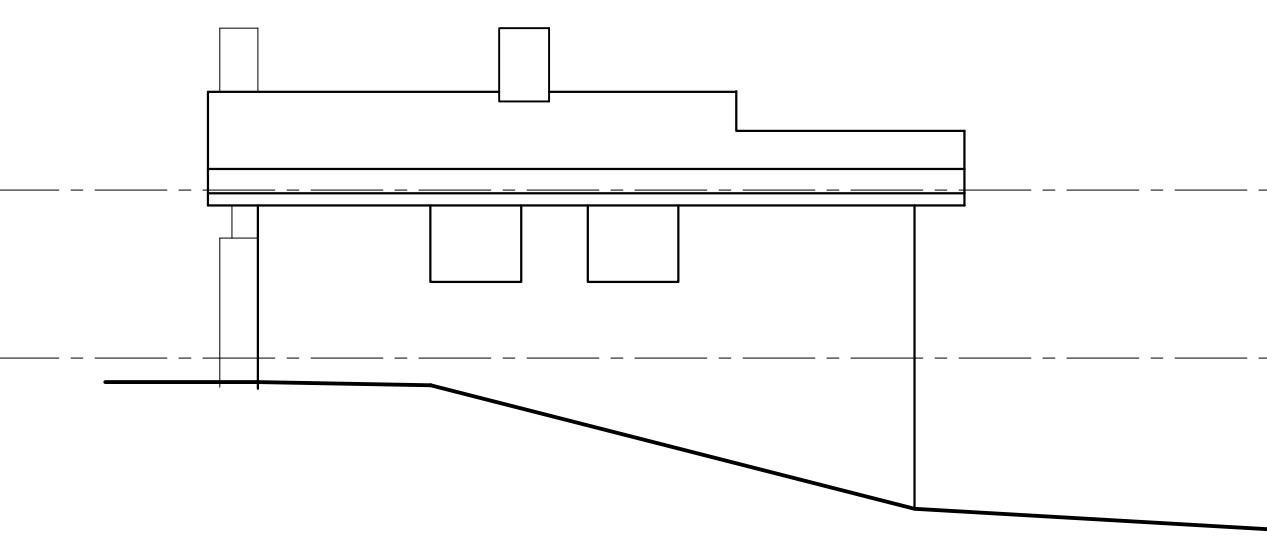
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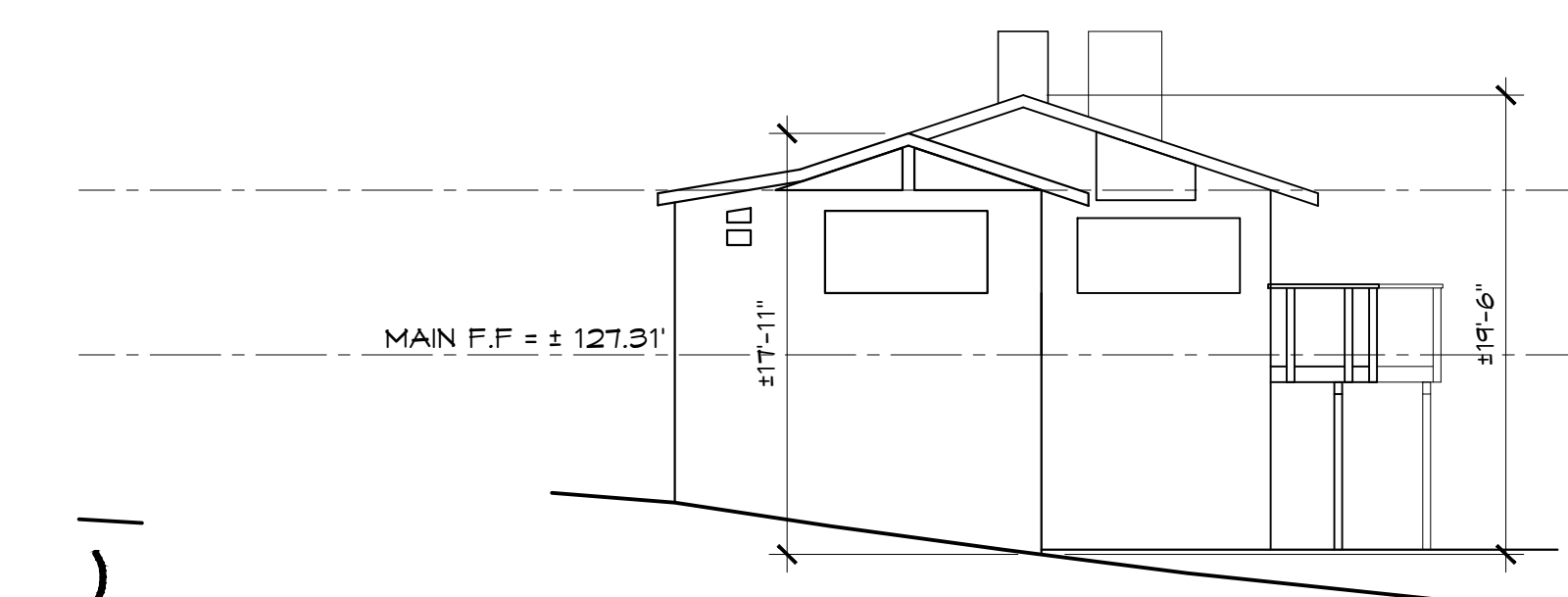
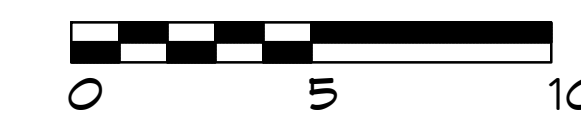
SOUTH ELEVATION (HOUSE #2)

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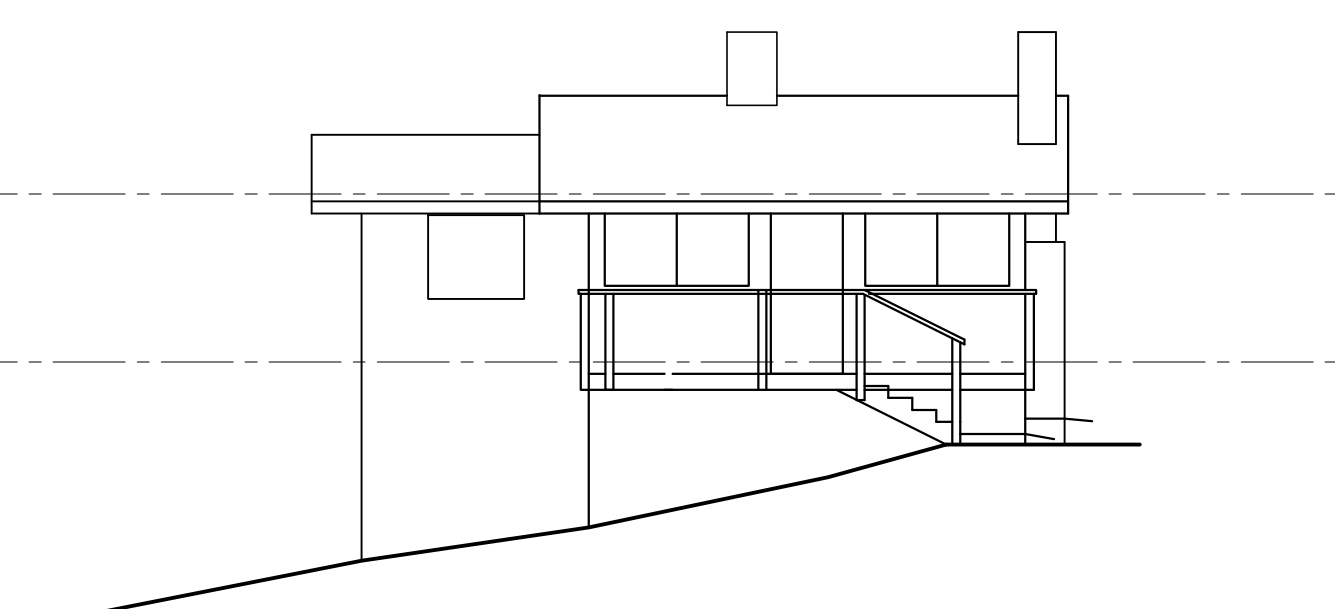
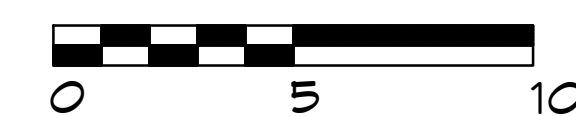
EAST ELEVATION (HOUSE #2)

SCALE: 1/8" = 1'-0"



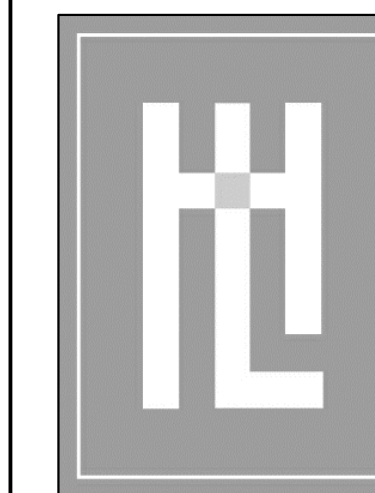
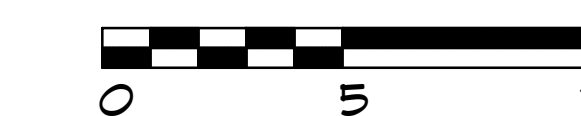
NORTH ELEVATION (HOUSE #2)

SCALE: 1/8" = 1'-0"



WEST ELEVATION (HOUSE #2)

SCALE: 1/8" = 1'-0"



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 01.17.2024

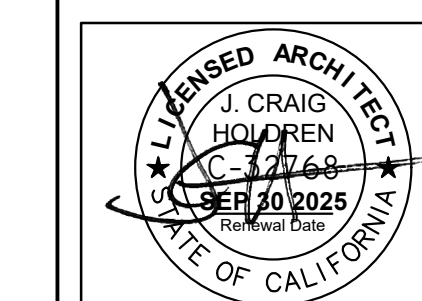
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DRAWN: SGC

JOB NUMBER: 23.10

REVISION

1 PLANNING COMMENT
04/10/24



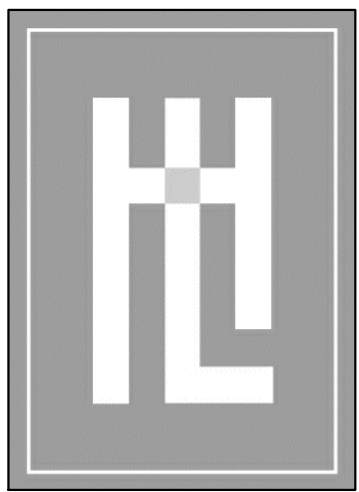
EXISTING EXTERIOR ELEVATIONS

NEWMAN RESIDENCE

CARMELO, 3 SE OF 4TH
CARMELO, CA 93921

A.P.N. 010-252-020

A3.0



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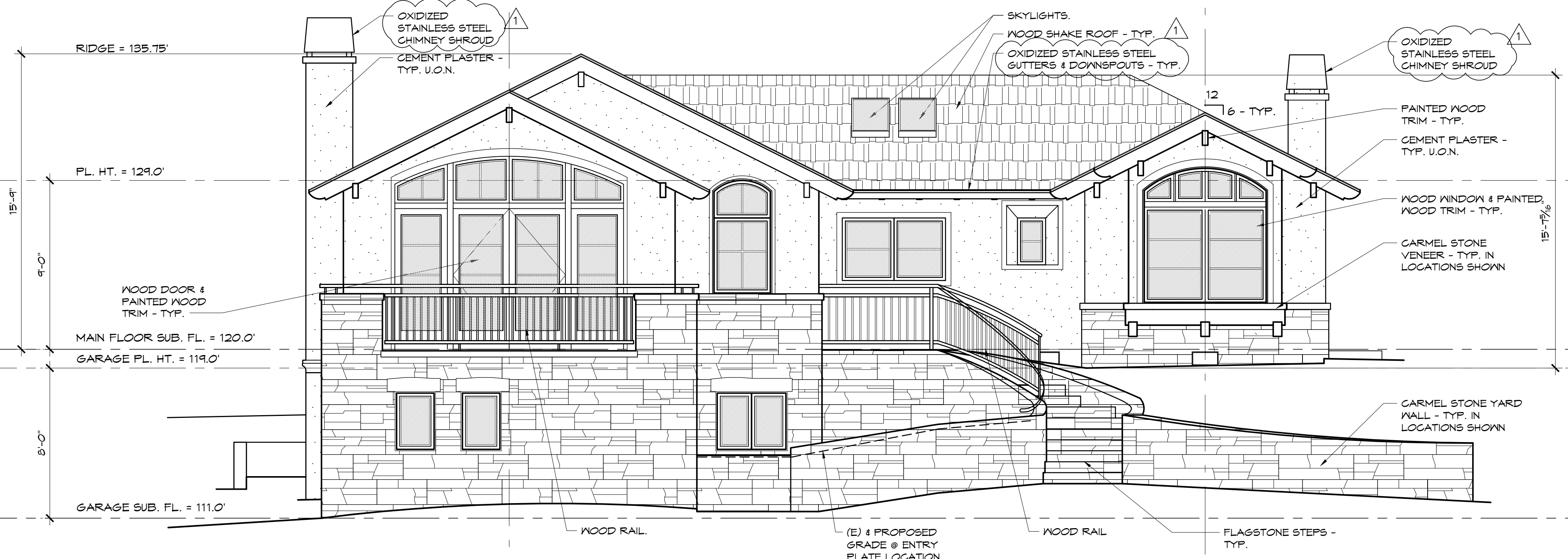
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DRAWN: LL

JOB NUMBER: 23.10

REVISION

PLANNING COMMENT
04/10/24



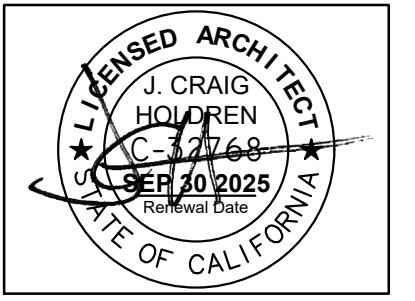
WEST ELEVATION

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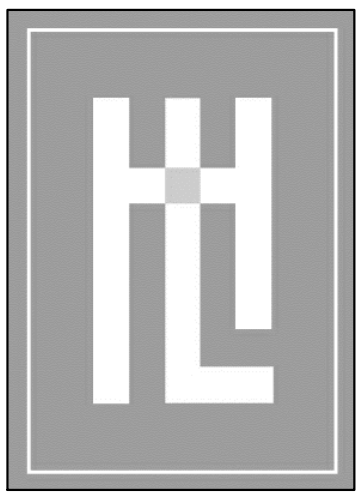


NORTH ELEVATION

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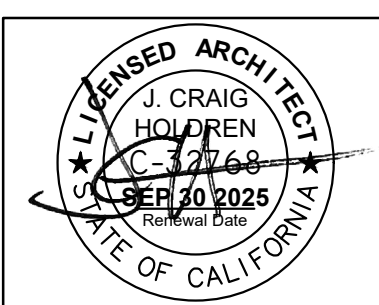
EXTERIOR ELEVATIONS
NEWMAN RESIDENCE
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CARMEL, CA 93921
A.P.N. 010-252-020



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ARCHITECTURE**

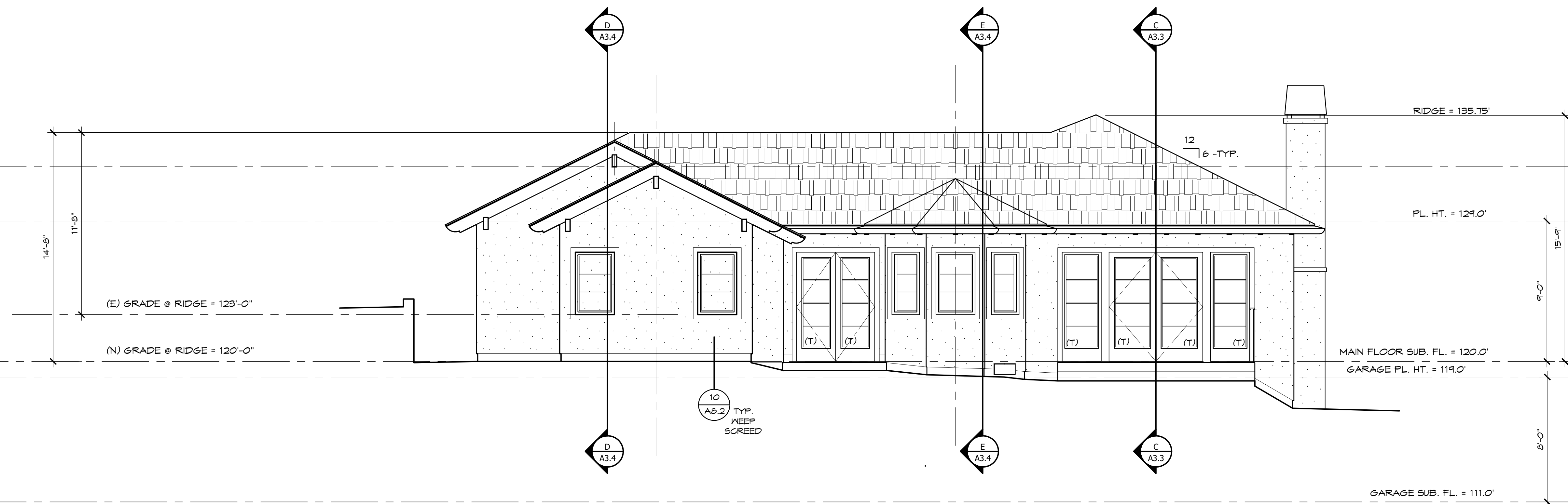
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DATE: 01.17.2024
SCALE: 1/4"=1'-0"
DRAWN: LL
JOB NUMBER: 23.10
REVISION



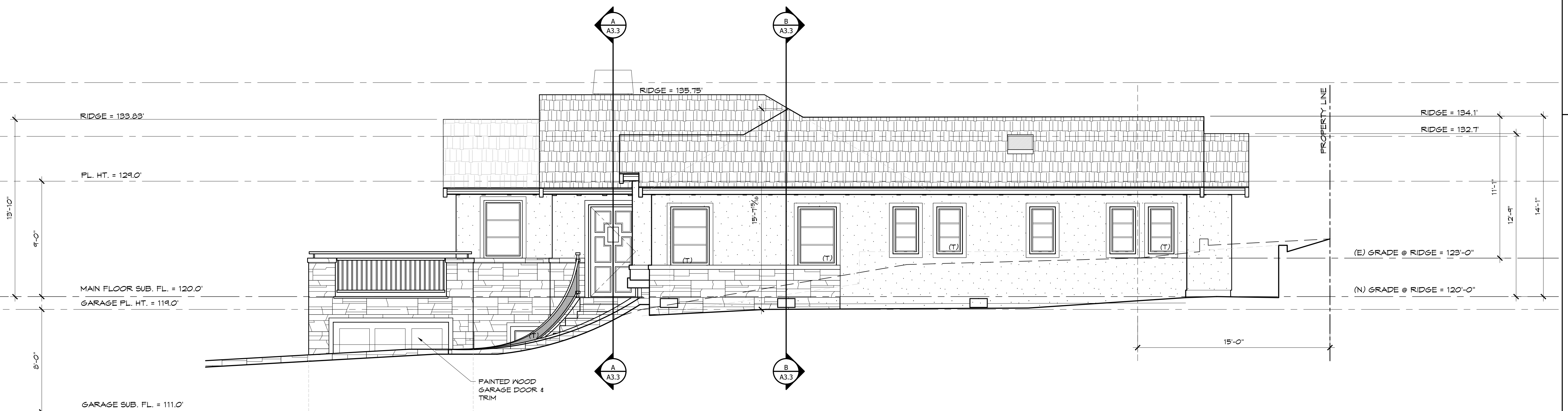
EXTERIOR ELEVATIONS
NEWMAN RESIDENCE
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A3.2



EAST ELEVATION

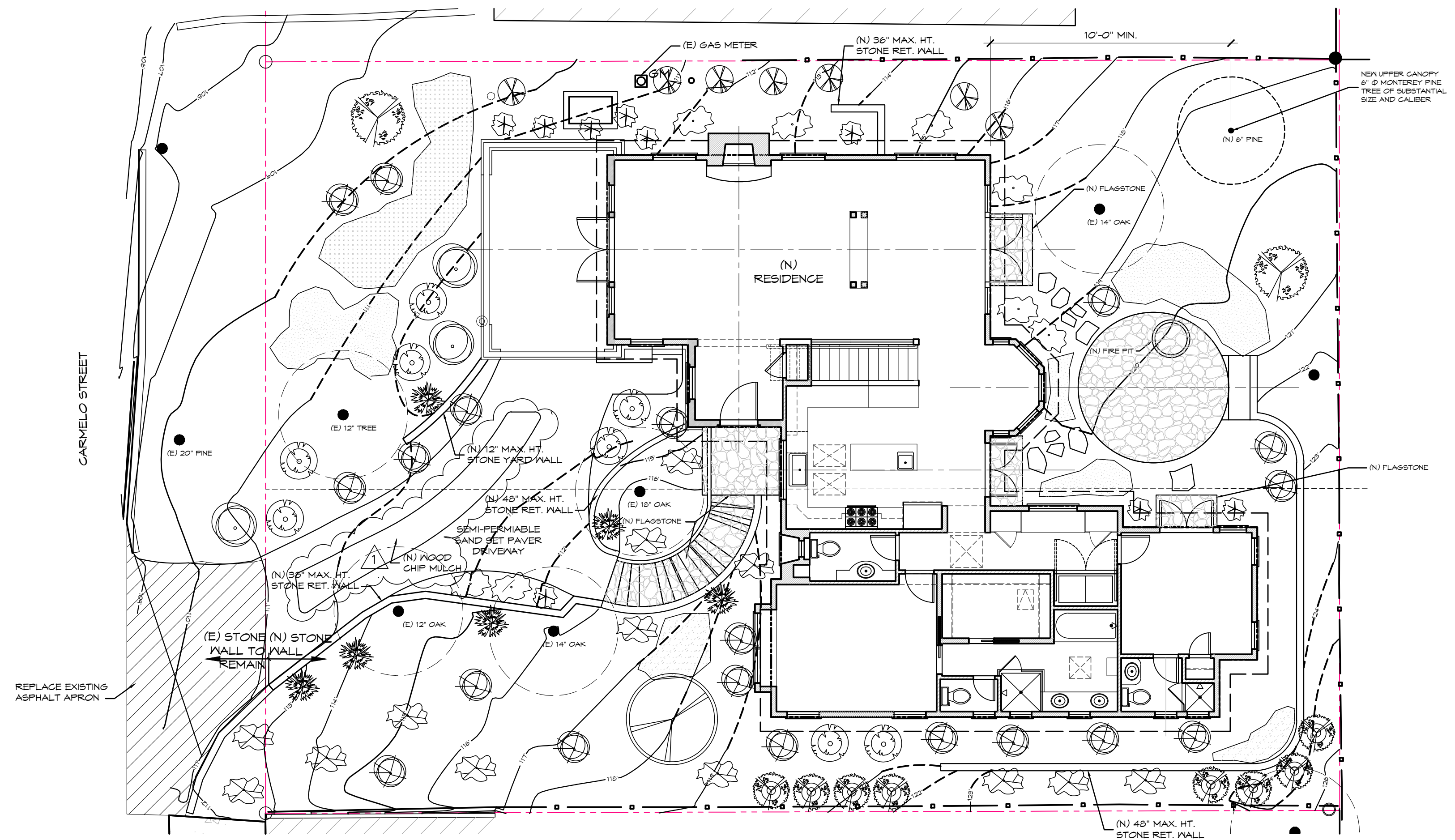
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SOUTH ELEVATION

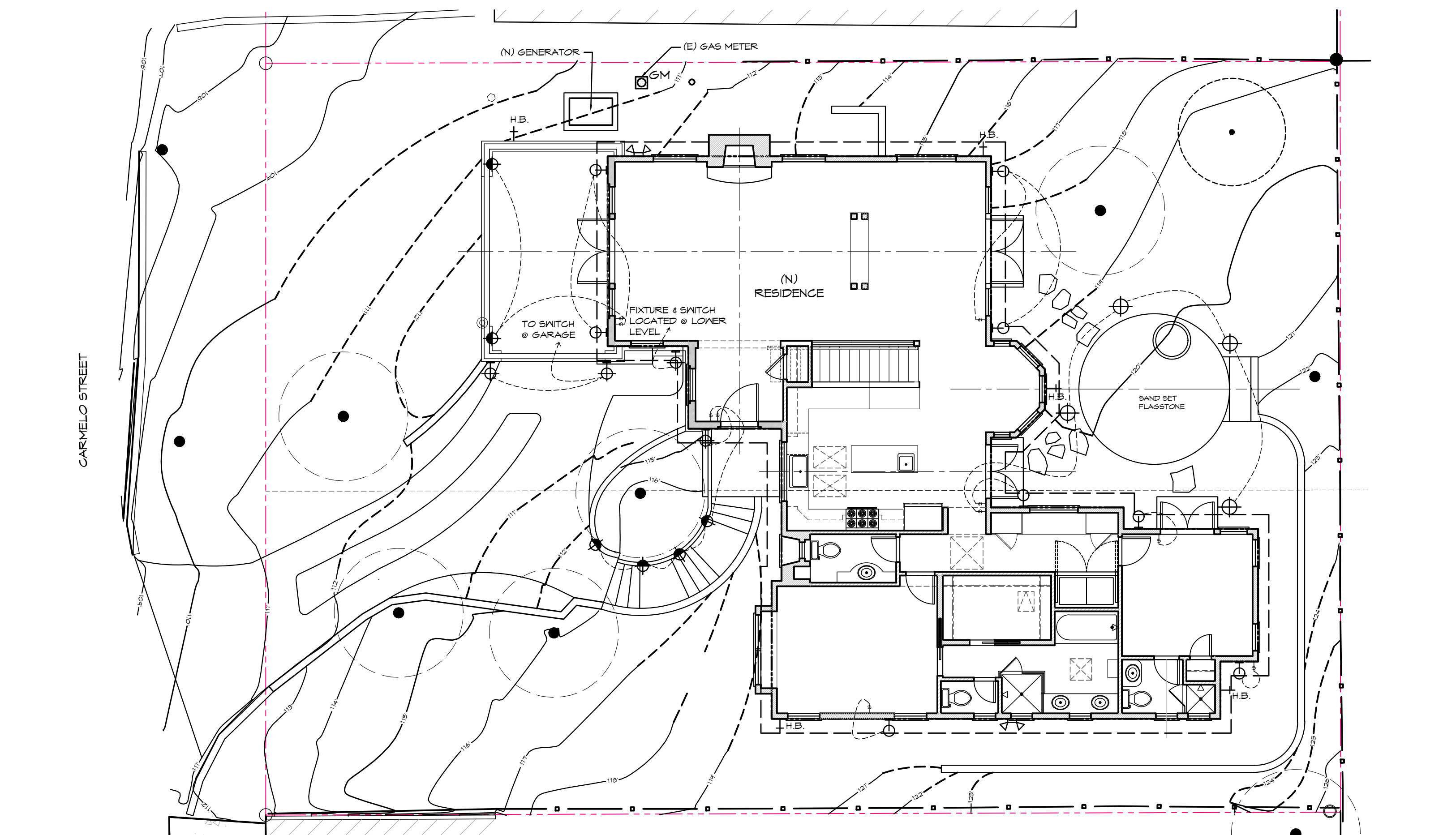
SCALE: 1/4" = 1'-0"





NOTE: SEE SITE PLAN, SHEET A1.1 FOR DRAINAGE INFORMATION

LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



EXTERIOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"

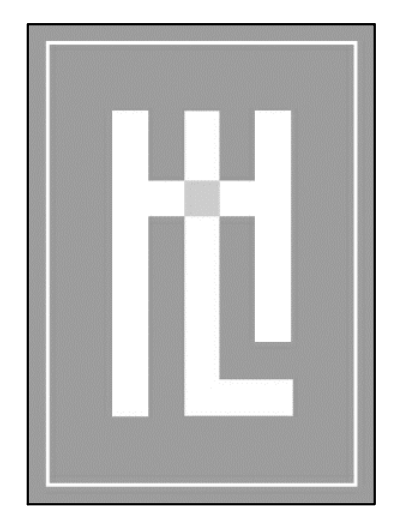
- NOTES**
1. ALL OUTDOOR LIGHTING SHALL BE LABELED "SUITABLE FOR DAMP" OR "SUITABLE FOR WET LOCATIONS."
 2. SEE SHEET E2.1 AND E2.2 FOR POWER LOCATIONS & ADDITIONAL INFO. & REQUIREMENTS.
 3. EXTERIOR LIGHTING SHALL BE LIMITED TO 25 WATTS OR LESS (INCANDESCENT EQUIVALENT, I.E., 375 LUMENS) PER FIXTURE AND SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND. LANDSCAPE LIGHTING SHALL BE LIMITED TO 15 WATTS (INCANDESCENT EQUIVALENT, I.E., 225 LUMENS) OR LESS PER FIXTURE AND SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND. ALL FIXTURES SHALL BE SHIELDED AND DOWN FACING.
- LEGEND**
- LANDSCAPE BOLLARD, 10" T., COPPER
 - WALL SCONCE
 - DOWNLIGHT
 - STEP LIGHT
 - MOTION SENSOR FLOOD LIGHT

PLANT LIST & SYMBOL KEY

- NEPHROLEPIS GORDIFOLIA
- VACCINIUM OVATUM
- CARPENTERIA CALIFORNICA
- ROSMARINUS TRIENE
- RHODODENDRON
- CERCIS OCCIDENTALIS
- CAMELLIA SASANGUA SETSUENSIS
- SALVIA GLEVANDII
- LEYMUS CONDENSATUS CANYON PRINCE
- LIRIOPE MUSCARI SILVER DRAGON
- GEANTHUS YANKEE PT.
- LAVANDULA SP.
- DODONEA V.

LEGEND

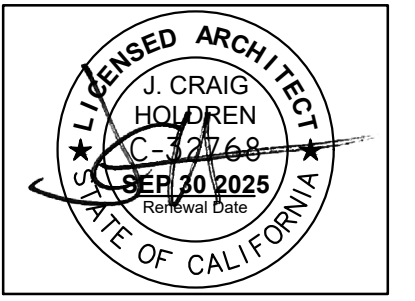
- (4) PATH LIGHTS - 15 WATT MAX OXIDIZED STAINLESS STEEL BOLLARD
- (3) WALL SCONCE, SHIELDED BULB, DOWNWARD LIGHT, 25 WATT MAX FROSTED GLASS MODEL: ELK 42181/1-LED SAN GABRIEL
- (7) DOWN LIGHT, 25 WATT MAX MODEL: RESTORATION HARDWARE VINTAGE BARN SCONCE - WEATHERED ZINC
- (5) STEP LIGHTS - OXIDIZED STAINLESS STEEL DOWN LT 15 WATT MAX



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LANDSCAPE & EXTERIOR LIGHTING

NEWMAN RESIDENCE
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CARMEL, CA 93921

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