



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 24115

Owner Name: SALEHI AMIR & SALEHI ELMIRA TRS

Case Planner: Katherine Wallace, Associate Planner

Date Posted: _____

Date Approved: 08/12/2024

Project Location: SWC Santa Rita Street and 1st Avenue

APN #: 010027001000 **BLOCK/LOT:** 15/ALL LOT 1

Applicant: IDG, Inc - Amy Denney

Project Description: Addition of 96 SF to existing main house (78 SF for new bath and 18 SF to existing kitchen); lower the existing garage floor by 18" and existing utility room by 21"; convert existing Asphalt driveway to permeable pavers; addition of 4 wood steps to the existing wood steps going up to the existing patio; addition of new trash enclosure; and a new 558 SF Accessory Dwelling Unit with Roof Top Deck and permeable paver terraces.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<p>Authorization. This approval of Design Study (DS 24-115, Salehi) authorizes the following: an addition of 96 SF to existing main house (78 SF for new bath and 18 SF to existing kitchen); lower the existing garage floor by 18” and existing utility room by 21”; convert existing asphalt driveway to permeable pavers; addition of 4 wood steps to the existing wood steps going up to the existing patio; addition of new trash enclosure; and a new 558 SF Accessory Dwelling Unit with rooftop deck and permeable paver terraces, located at the southwest corner of Santa Rita Street and 1st Avenue in the Single-Family Residential (R-1) District, APN: 010-027-001-000 as depicted in the plans prepared by IDG, Inc., stamped approved on August 12, 2024, unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.</p>
3.	<p>Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>
4.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.</p>
5.	<p>Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing:</p> <ul style="list-style-type: none"> ● The footing locations are in conformance with the approved plans prior to footing/foundation inspection; ● The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness. <p>Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for</p>

	each separate section.
6.	Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).
7.	Utility Meter Locations. The placement of all utility meters shall consistent with the locations identified in the approved plans. Changes to the location of any utility meter location shall require written approval of the Community Planning and Building Department prior to the change of the location.
8.	Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).
9.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
10.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
11.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention.

	<p>Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
12.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing. Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>
13.	<p>Skylights & Skylight Shades. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications for all skylights (new and/or replaced) and skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.</p>
14.	<p>Stone Facades (including chimneys). Prior to the issuance of a building permit, the Applicant shall clearly identify in the construction drawings the masonry pattern for all stonework. Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or their designee. Brickwork shall be finished the same manner as stonework described above.</p>
15.	<p>Wood Frame Windows and Doors. Prior to the issuance of a building permit, the Applicant shall include the manufacturer’s specifications for the approved wood windows and doors. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light, including the use of internal and external mullions and muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied, are not permitted. The painted finish shall be matte or low gloss.</p>
16.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any</p>

	<p>liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>
17.	<p>Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.</p>
18.	<p>Hazardous Materials Waste Survey. Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.</p>
19.	<p>Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.</p>
20.	<p>Truck Haul Route. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.</p>
21.	<p>USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a</p>

	Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
22.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) and applicant on a full-size sheet within the construction plan set submitted to the Building Safety Division.
Landscape Conditions	
23.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
24.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. ● Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the

	<p>approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</p> <ul style="list-style-type: none"> • If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
25.	<p>Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2”) are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6”) of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.</p>
<p>Environmental Compliance Conditions</p>	
26.	<p>Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.</p>
27.	<p>BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.</p>
28.	<p>Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces.</p>
29.	<p>Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.</p>
<p>Special Conditions</p>	
30.	<p>Copper Gutters & Downspouts Not Permitted. Prior to the issuance of a building permit, the applicant shall identify the material for new gutters and downspouts (if proposed) on the construction drawings. Copper gutters and downspouts are not permitted due to environmental impacts on Carmel Bay, an Area of Special Biological Significance (ASBS).</p>

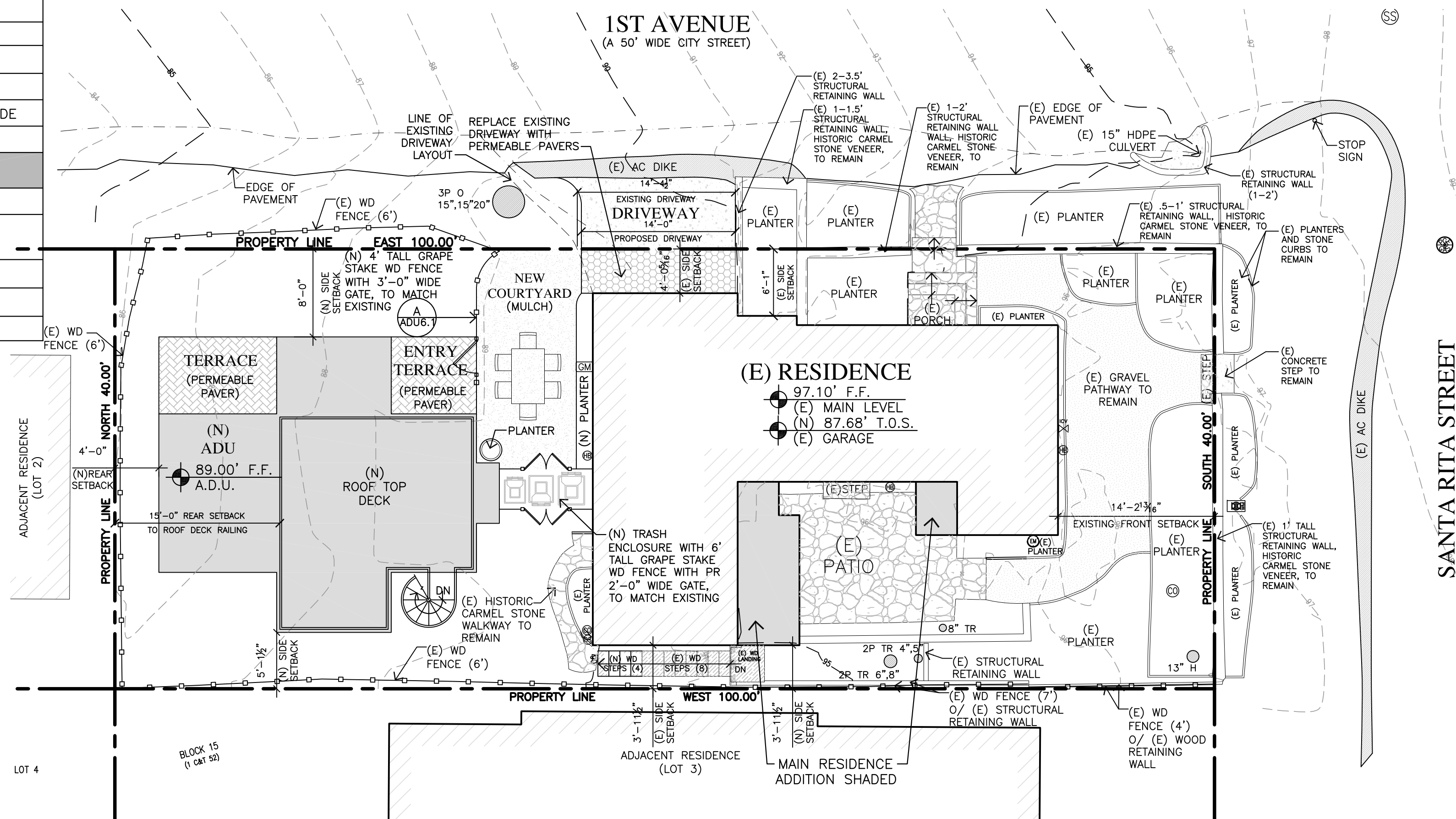
PROJECT DATA FOR AN 4,000 SF SITE

SITE CONSIDERATIONS	ALLOWED	EXISTING	PROPOSED
FLOOR AREA	1,800 SF (45%)	1,292 SF (32%)	1,388 SF (35%)
SITE COVERAGE	396 SF	506 SF	518 SF
TREES	4	4	4
MAX. HEIGHT - MAIN	18' 1ST 24' 2ND	±10'-4" ±17'-3"	±10'-4" ±17'-3"
PLATE HEIGHT - MAIN	12' 1ST 18' 2ND	±9'-5" ±16'-8"	±9'-5" ±16'-8"
MAX. HEIGHT - ADU	18' 1ST	0	13'-0.75" FROM GRADE
PLATE HEIGHT - ADU	12' 1ST	0	12'-0" FROM GRADE
SETBACKS	MINIMUM REQUIRED	EXISTING	PROPOSED
FRONT	15'-0"	14'-2"	14'-2"
COMPOSITE SIDE YARD	10'-0" (25%)	8'-0" (20%)	8'-0" (20%) /10'-1 1/2" (25.3%)
SIDE YARD - NORTH	5'-0"	4'-0 5/8"	4'-0 5/8" / 8'-0"
SIDE YARD - SOUTH	3'-0"	3'-11 1/2"	3'-11 1/2" / 5'-1 1/2"
REAR	15'-0" / 3'-0"*	43'-6"	43'-6" / 4'-0"

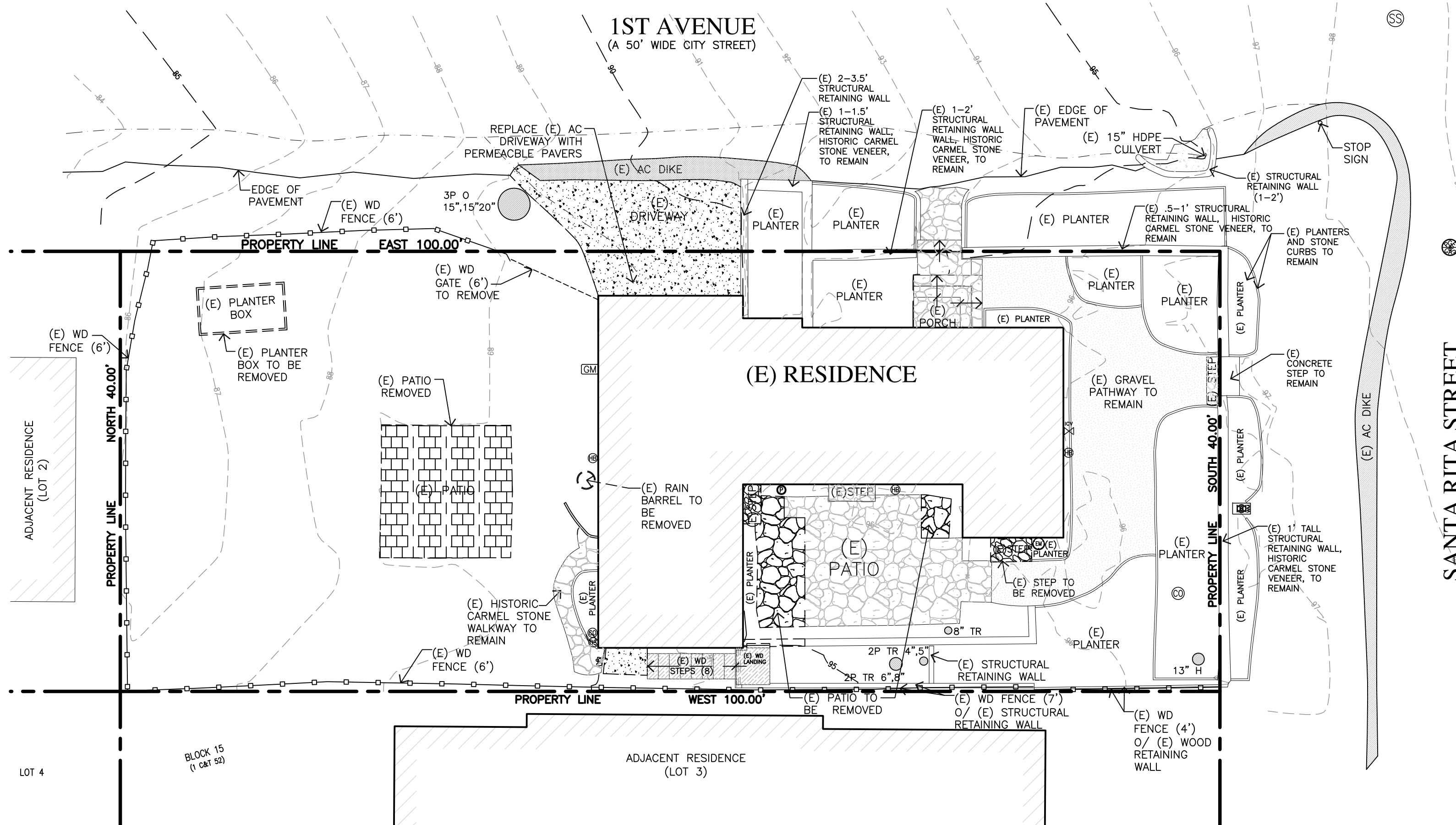
MAIN HOUSE / ADU
 * THE REAR SETBACK IS THREE FEET FOR THOSE PORTIONS OF STRUCTURES LESS THAN 15'-0" IN HEIGHT.

CARMEL-BY-THE-SEA
 PLANNING DIVISION
 APPROVED

Permit #: DS 24-115 (Salehi)
 Date Approved: 8/12/2024
 Planner: K. Wallace



PROPOSED SITE PLAN



EXISTING/DEMO SITE PLAN

PLANNING INFO.

- PROPERTY OWNER: AMIR AND ELMIRA SALEHI, 16055 ROSE AVENUE, LOS GATOS, CA 95030
- PROJECT ADDRESS: SANTA RITA ST. SW CORNER OF 1ST AVE., CARMEL-BY-THE-SEA, CA
- PROJECT SCOPE:
 - ADDITION OF 96 SF TO EXISTING MAIN HOUSE (78 SF NEW BATH AND 18 SF AT EXISTING KITCHEN)
 - NEW 558 SF ACCESSORY DWELLING UNIT WITH ROOF TOP DECK
 - LOWER THE EXISTING GARAGE FLOOR BY 18" AND EXISTING UTILITY ROOM BY 21"
 - REUSE EXISTING 7'-10"x6'-4" GARAGE DOOR, ADDING MATERIAL AND FRAMING TO CREATE NEW 8'-6"x7'-0" SINGLE PANEL, OVERHEAD GARAGE DOOR.
 - CONVERT EXISTING ASPHALT DRIVEWAY TO PERMEABLE PAVEMENT DRIVEWAY.
 - ADDITION OF 4 WOOD STEPS TO THE EXISTING WOOD STEPS GOING UP TO THE EXISTING PATIO.
 - A SEPARATE APPLICATION WILL BE SUBMITTED FOR A PERMANENT ENCROACHMENT PERMIT FOR THE EXISTING RETAINING WALL ALONG THE EAST SIDE OF THE DRIVEWAY, THE EXISTING RETAINING WALLS WITH HISTORIC CARMEL STONE VENEER, AND THE PLANTERS WITH STONE CURBS.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N.: 010-027-001
- LEGAL DESC.: LOT: 1 BLOCK: 15
- ZONE: R-1
- STORIES: TWO
- MAX BLDG. HT: 24 FT
- GRADING: X CY, SEE CIVIL PLANS
- TREE REMOVAL: NONE
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE: 2022 CBC, CMC, CPC, OFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2022 CALIFORNIA ENERGY CODE
- LOT AREA: 4,000 S.F. (0.092 Ac.)
- SITE COVERAGE CALCULATIONS:

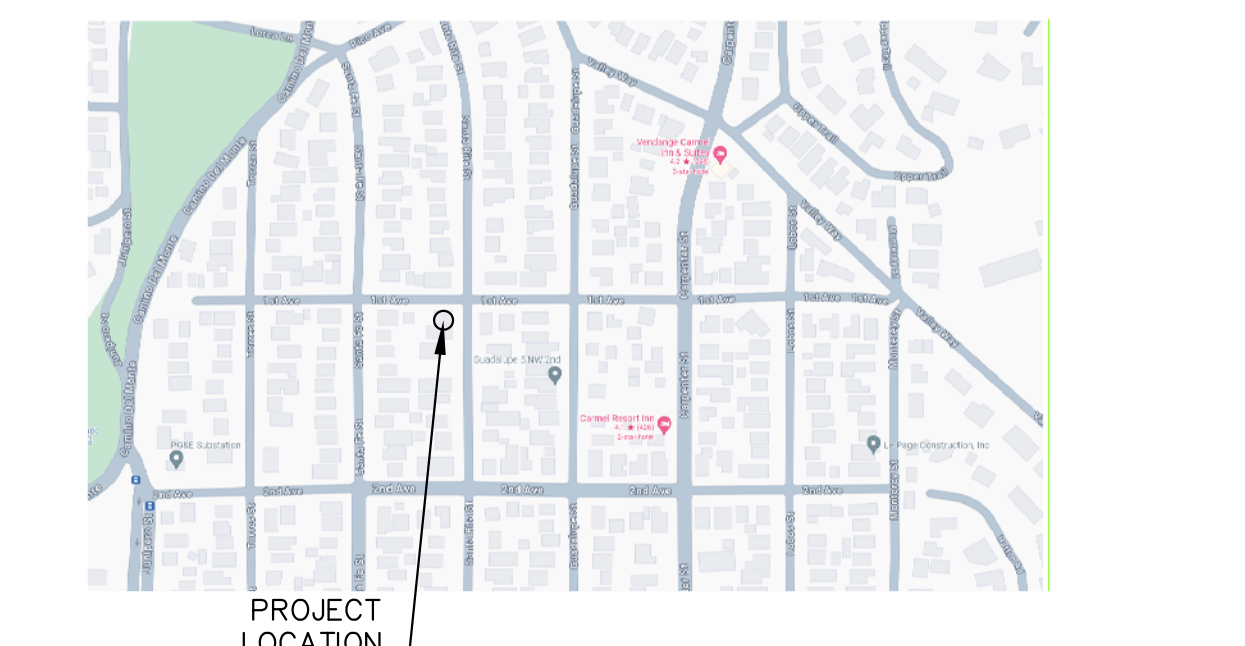
	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL	
DRIVEWAY CONCRETE	55	0	-55	0	IMP.
DRIVEWAY PAVEMENT	0	56	0	56	S-P
TERRACE	0	129	0	129	S-P
BRICK PATIO/STEPS	143	0	-143	0	IMP.
*STONE PATIO/STEPS	316	0	0	0	IMP.
WOOD STAIRCASE	28	9	0	37	S-P
GRAVEL WALKWAY	276	0	0	276	PER.
SPIRAL STAIRCASE	0	20	0	20	S-P
PLANTER WALLS	4	0	-4	0	IMP.
TOTAL	506	214	-202	518	

- NOTE: IMPERVIOUS = IMP. PERMEABLE = PER. SEMI-PERMEABLE = S-P
- * DENOTES HISTORIC EXEMPTION FROM CALCULATIONS
 - SITE COVERAGE ALLOWED: 396 SF (22% OF BASE FLOOR AREA)
 - TOTAL ALLOWED: 556 SF (ADDITIONAL 4%)
 - SITE COVERAGE EXISTING: 506 SF
 - SITE COVERAGE PROPOSED: 518 SF (100% S-P & PERM. MATERIAL)
 - F.A.R. CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING			
MAIN FLOOR	886	96	982
GARAGE	260	0	260
UTILITY ROOM	146	0	146
*A.D.U.	0	*558	*558
TOTAL	1292	96	1388

- NOTE: * NOT INCLUDED IN TOTAL FAR CALCULATION
- F.A.R. ALLOWED: 1,800 SF (45%)
 - F.A.R. EXISTING: 1,292 SF (32%)
 - F.A.R. PROPOSED: 1,388 SF (35%)

VICINITY MAP



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE
 PACIFIC GROVE CA
 93950

PH: (831) 646-1261
 FAX: (831) 646-1290
 EMAIL: idgidg-inc.net
 WEB: idg-inc.net

DISCLAIMER:
 ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND DESIGNED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INFORMATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

SALEHI
 RESIDENCE

PROJECT ADDRESS:

SANTA RITA ST. SW
 CORNER OF 1ST.
 AVE.
 CARMEL-BY-THE-SEA,
 CA 93921

APN: 010-027-001

DATE: APRIL 12, 2024
 PLANNING SUBMITTAL

- REVISIONS:
- JULY 10, 2024 PLANNING DEPARTMENT SUB.
 - JULY 24, 2024 PLANNING DEPARTMENT SUB.
 - JULY 31, 2024 PLANNING DEPARTMENT SUB.

SITE PLAN

SHEET NO.

A1.0

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STAMPS:

PROJECT/CLIENT:

**SALEHI
RESIDENCE**

PROJECT ADDRESS:

SANTA RITA ST. SW
CORNER OF 1ST.
AVE.
CARMEL-BY-THE-SEA,
CA 93921

APN: 010-027-001

DATE: APRIL 12, 2024

PLANNING SUBMITTAL

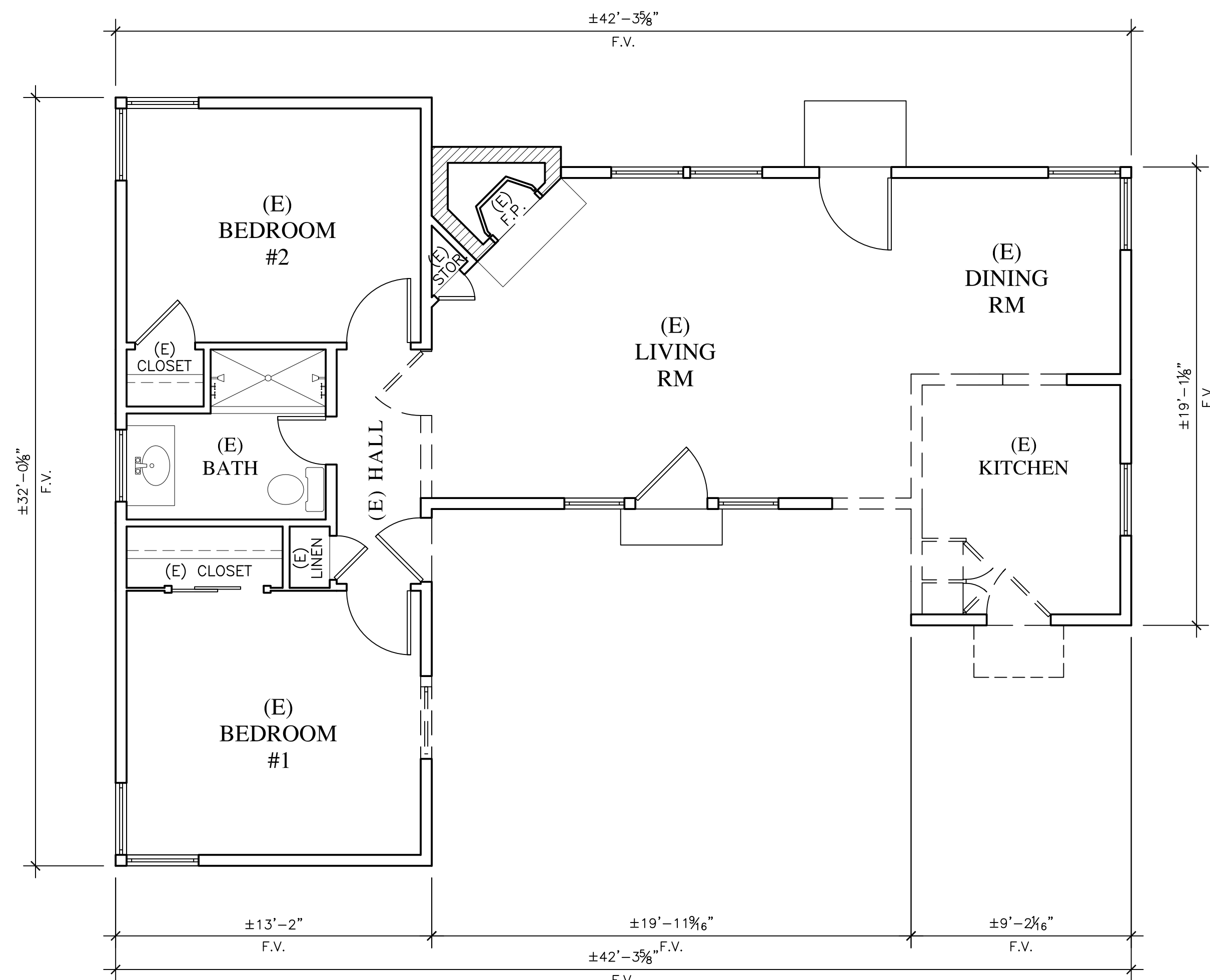
REVISIONS:

- ▲ JULY 10, 2024
PLANNING DEPARTMENT SUB.
- ▲
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**MAIN LEVEL
PLAN**

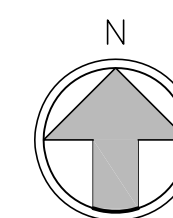
SHEET NO.

A2.0



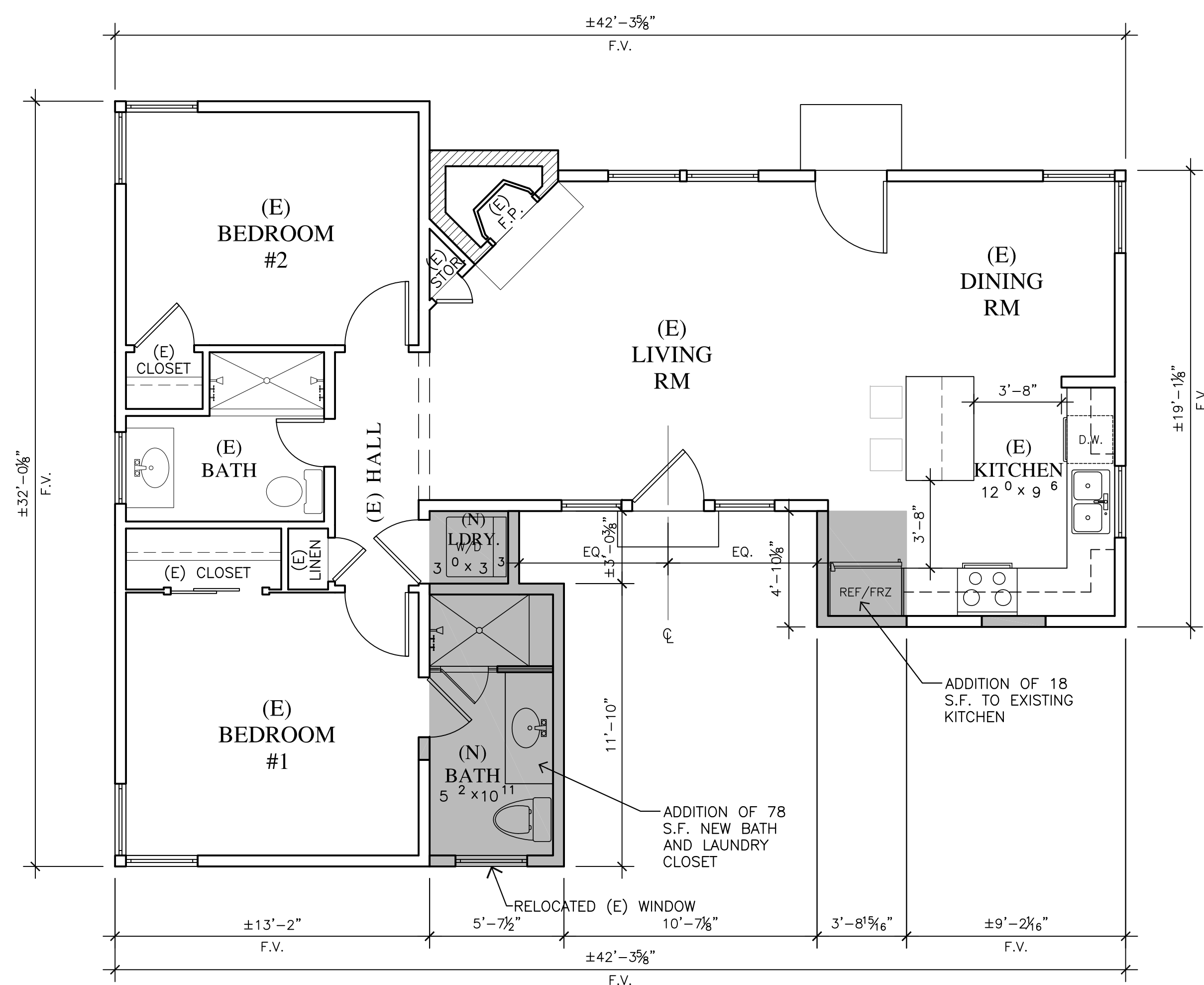
EXISTING MAIN LEVEL PLAN

1/4"=1'-0"



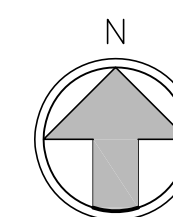
WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- - - (E) DOOR OR WINDOW TO BE REMOVED
- - - 2X EXISTING WALL TO BE REMOVED



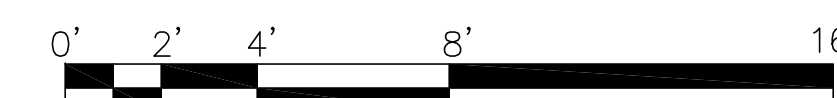
PROPOSED MAIN LEVEL PLAN

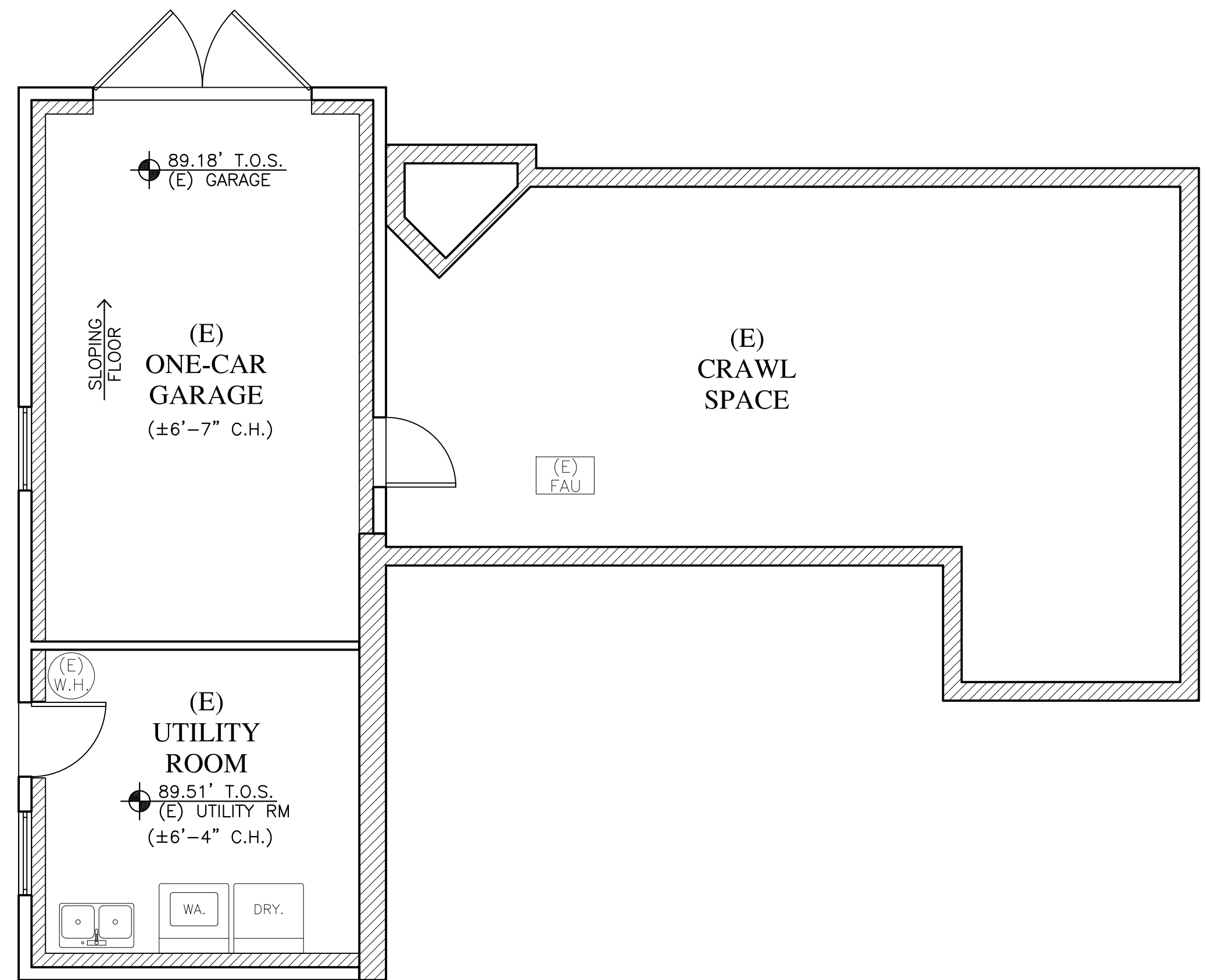
1/4"=1'-0"



WALL LEGEND

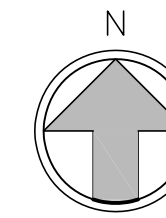
- 2X EXISTING WALL TO REMAIN
- - - 2X6 EXTERIOR STUD FRAMED WALL
- - - 2X4 INTERIOR STUD FRAMED WALL, U.O.N.





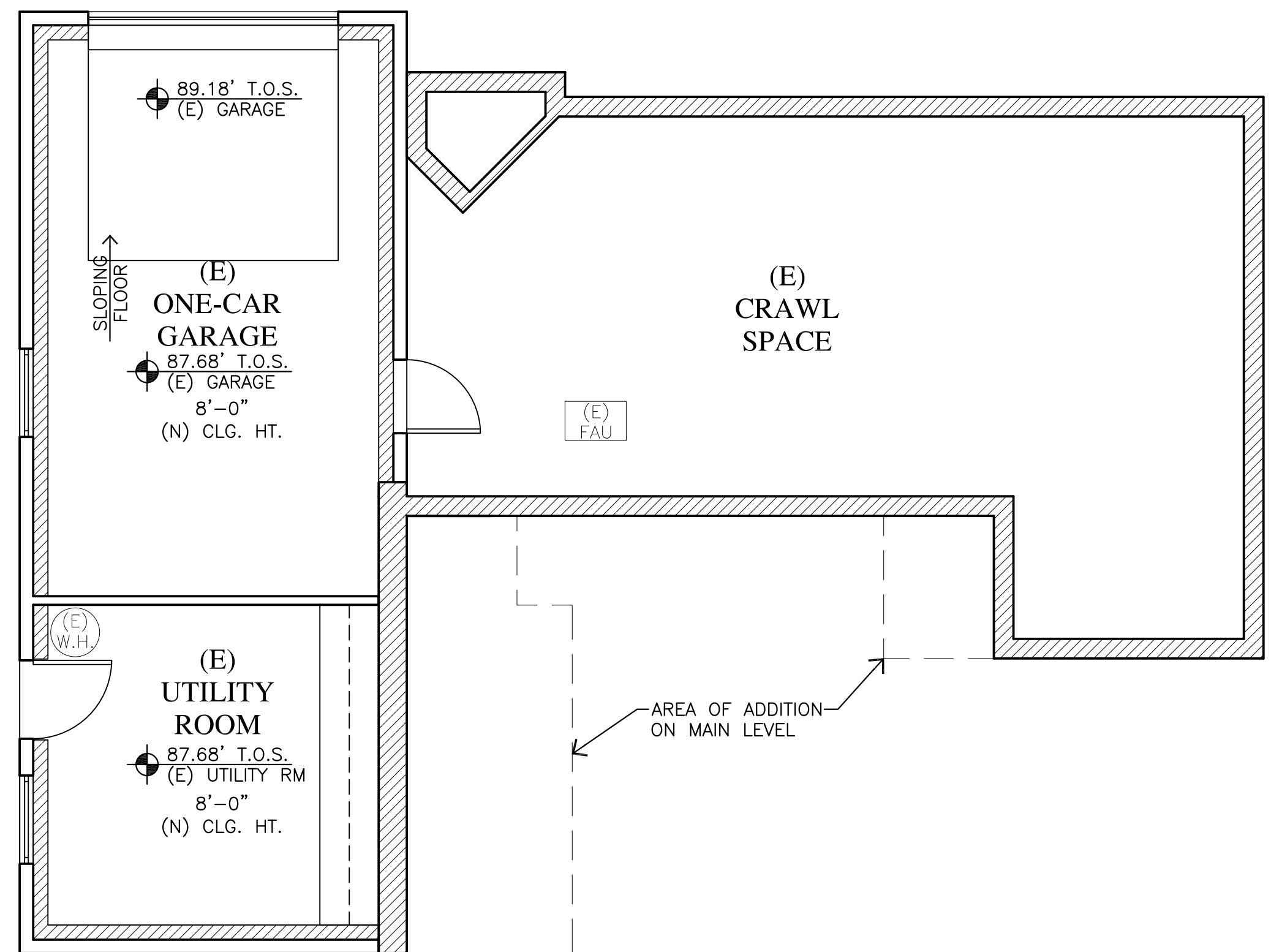
EXISTING LOWER LEVEL PLAN

1/4" = 1'-0"



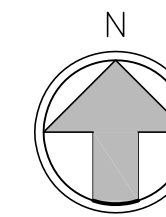
WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED



PROPOSED LOWER LEVEL PLAN

1/4" = 1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

DISCLAIMER:

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STAMPS:

PROJECT/CLIENT:

SALEHI
RESIDENCE

PROJECT ADDRESS:

SANTA RITA ST. SW
CORNER OF 1ST.
AVE.
CARMEL-BY-THE-SEA,
CA 93921

APN: 010-027-001

DATE: APRIL 12, 2024

PLANNING SUBMITTAL

REVISIONS:

- JULY 10, 2024
PLANNING DEPARTMENT SUB.
- JULY 24, 2024
PLANNING DEPARTMENT SUB.
- JULY 31, 2024
PLANNING DEPARTMENT SUB.

LOWER LEVEL
PLAN

SHEET NO.

A3.0

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CARMEL-BY-THE-SEA,
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APN: 010-027-001

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PLANNING SUBMITTAL

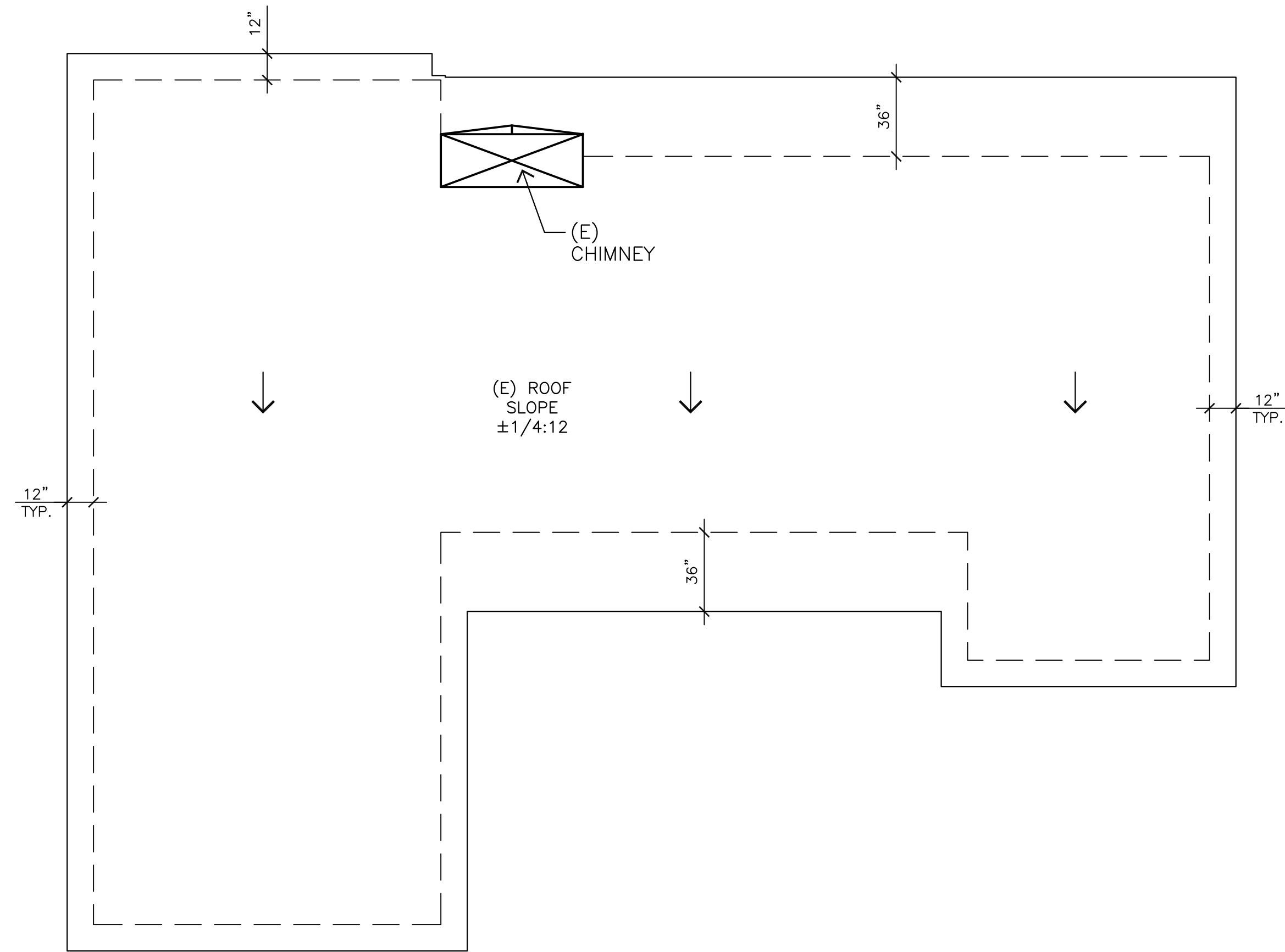
REVISIONS:

- △ JULY 10, 2024
PLANNING DEPARTMENT SUB.
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- △ _____
- △ _____
- △ _____
- △ _____

**ROOF
PLAN**

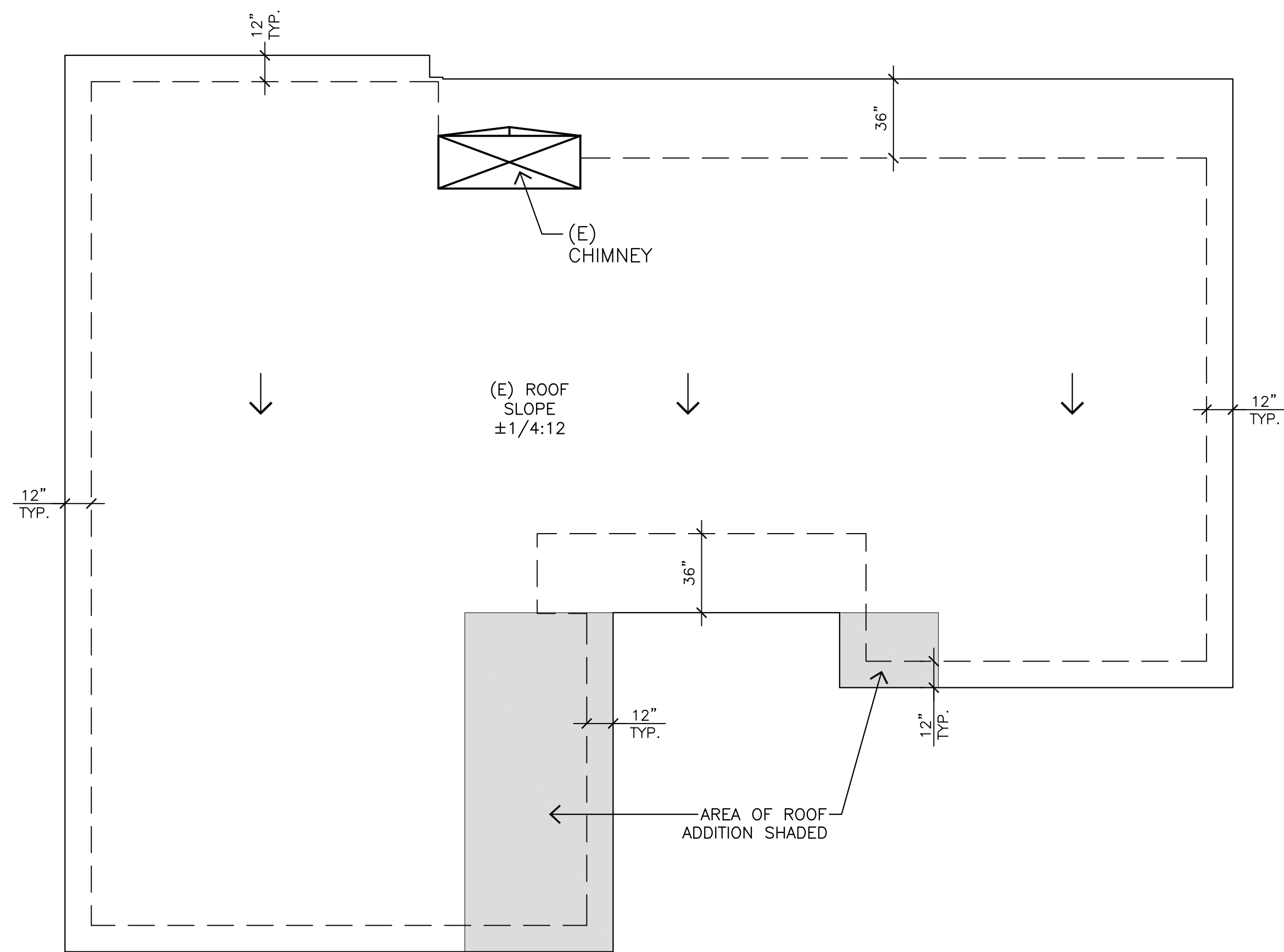
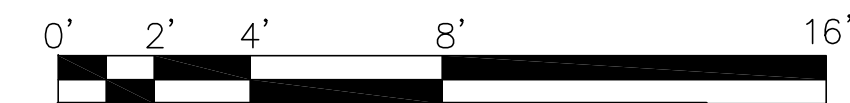
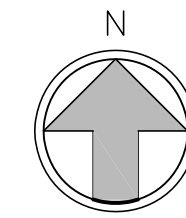
SHEET NO.

A5.0



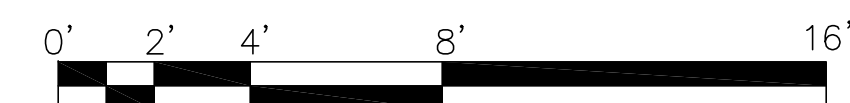
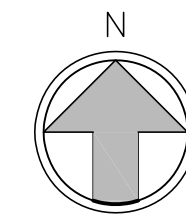
EXISTING ROOF PLAN

1/4" = 1'-0"



PROPOSED ROOF PLAN

1/4" = 1'-0"



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STAMPS:

PROJECT/CLIENT:

**SALEHI
RESIDENCE**

PROJECT ADDRESS:

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CORNER OF 1ST.
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CARMEL-BY-THE-SEA,
CA 93921**

APN: 010-027-001

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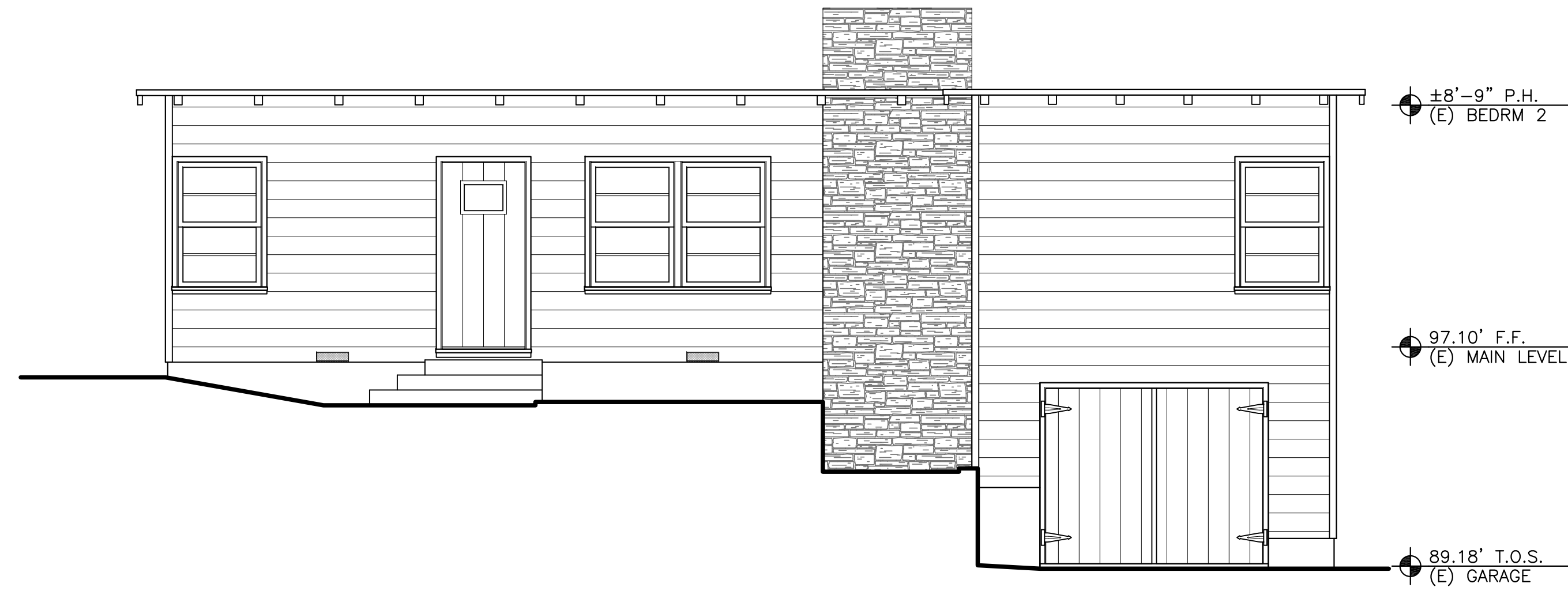
REVISIONS:

- ▲ JULY 10, 2024
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- ▲ _____
- ▲ _____
- ▲ _____
- ▲ _____

ELEVATIONS

SHEET NO.

A6.0



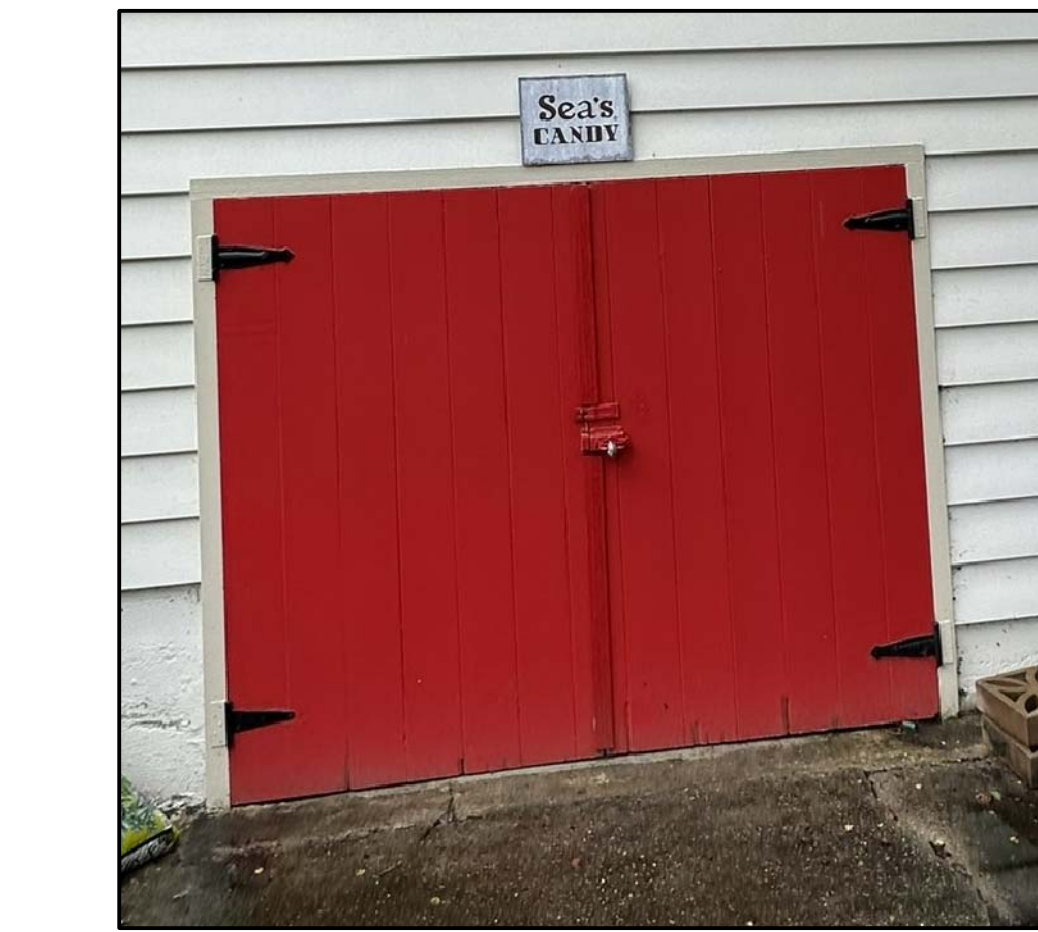
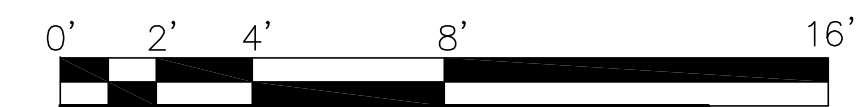
EXISTING NORTH ELEVATION

1/4"=1'-0"



PROPOSED NORTH ELEVATION

1/4"=1'-0"



EXISTING GARAGE DOOR

N.T.S.

EXTERIOR FINISH LEGEND

- 1 FLAT ROOF – MATCH EXISTING
- 2 PAINTED HORIZONTAL WOOD SIDING – MATCH EXISTING
- 3 PAINTED WOOD EXTERIOR DOORS AND WINDOWS – MATCH EXISTING
- 4 PAINTED 4X WOOD RAFTER TAILS–MATCH EXISTING
- 5 RANDOM STONE VENEER – MATCH EXISTING
- 6 RE-CONFIGURED EXISTING GARAGE DOOR INTO ONE PANEL ROLL UP PAINTED WOOD GARAGE DOOR

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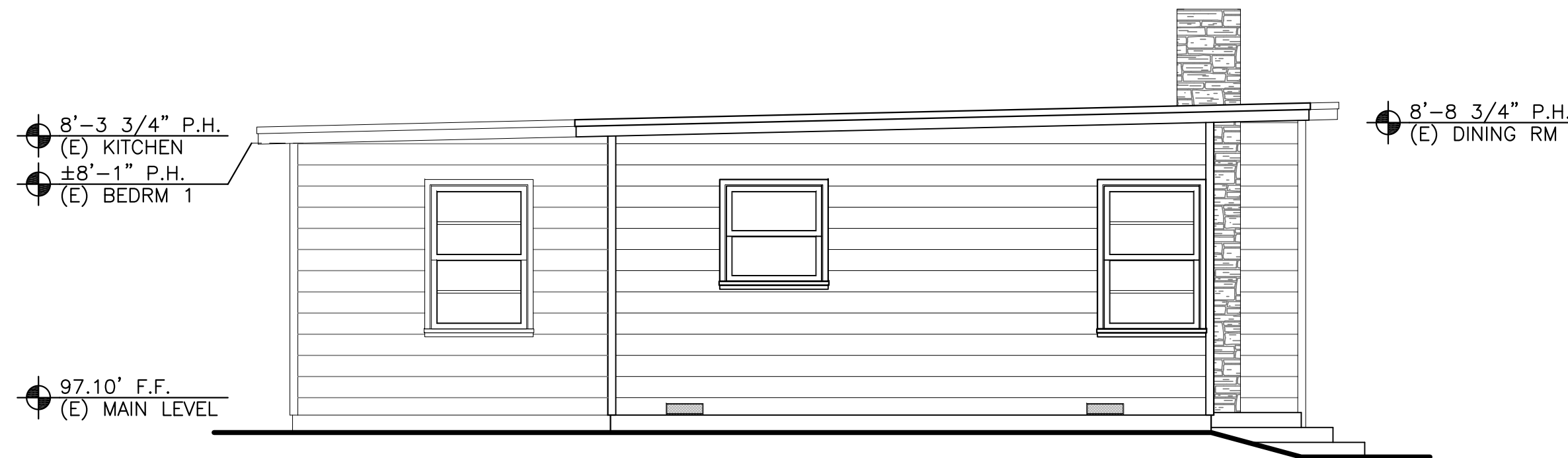
REVISIONS:

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PLANNING DEPARTMENT SUB.
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ELEVATIONS

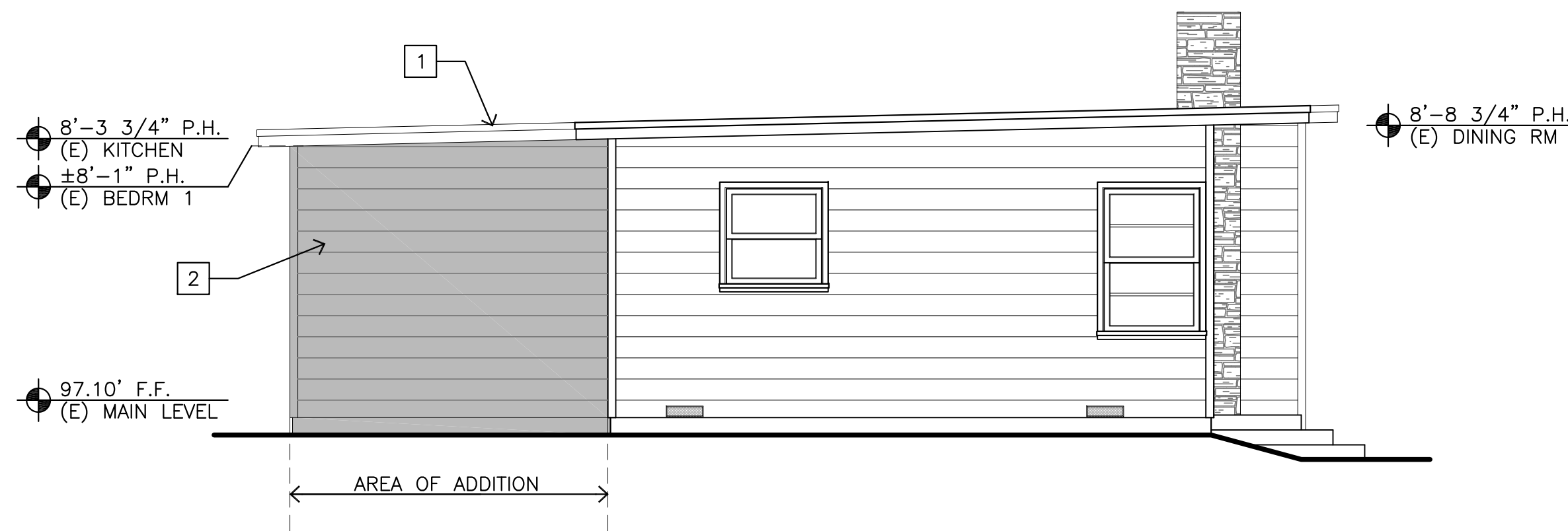
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A6.1



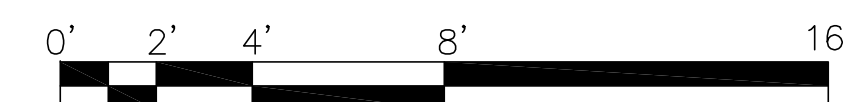
EXISTING EAST ELEVATION

1/4"=1'-0"



PROPOSED EAST ELEVATION

1/4"=1'-0"



EXTERIOR FINISH LEGEND

- 1 FLAT ROOF – MATCH EXISTING
- 2 PAINTED HORIZONTAL WOOD SIDING – MATCH EXISTING
- 3 PAINTED WOOD EXTERIOR DOORS AND WINDOWS – MATCH EXISTING
- 4 PAINTED 4X WOOD RAFTER TAILS–MATCH EXISTING
- 5 RANDOM STONE VENEER – MATCH EXISTING
- 6 RE-CONFIGURED EXISTING GARAGE DOOR INTO ONE PANEL ROLL UP PAINTED WOOD GARAGE DOOR

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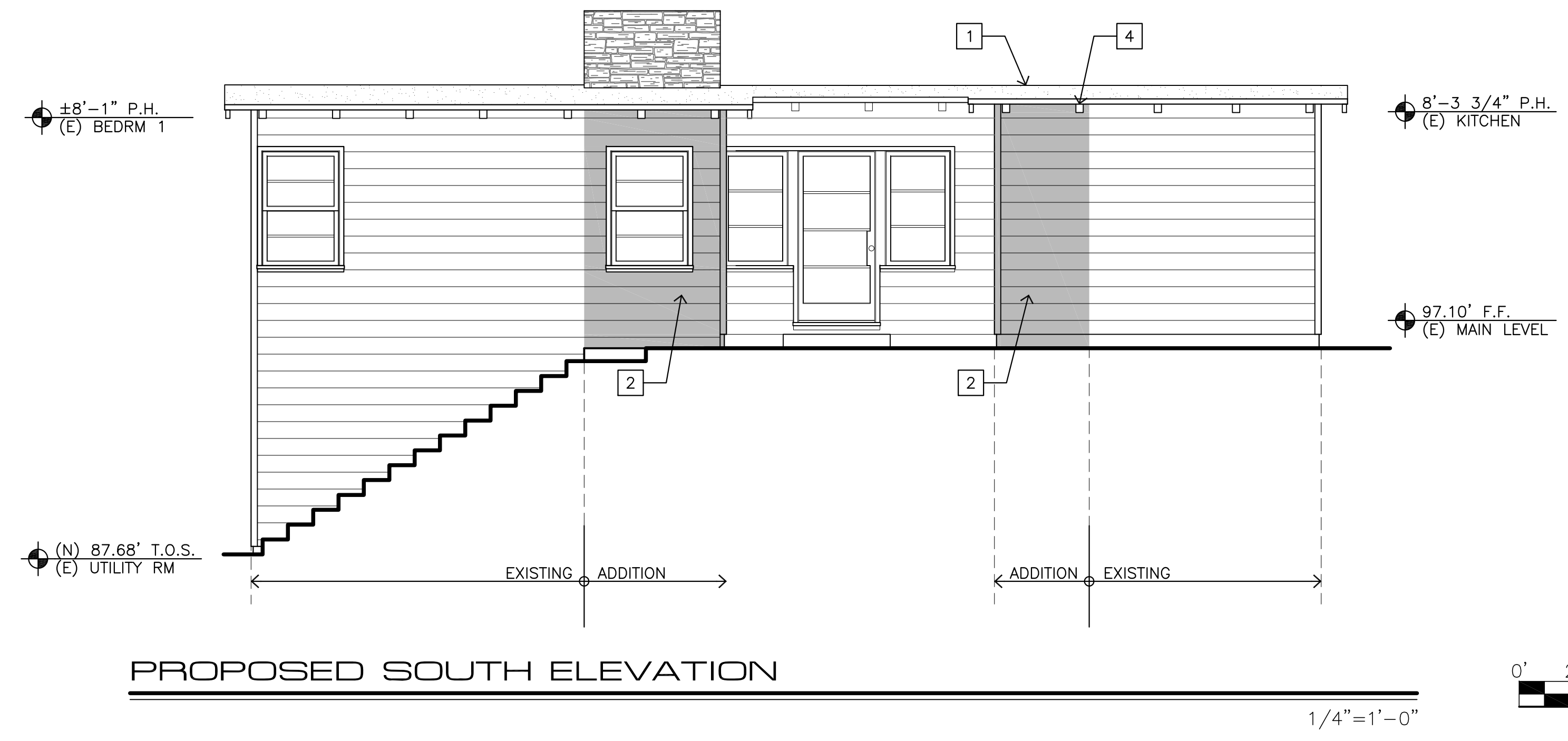
REVISIONS:

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PLANNING DEPARTMENT SUB.
- ▲
- ▲
- ▲
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- ▲

ELEVATIONS

SHEET NO.

A6.2



EXTERIOR FINISH LEGEND	
1	FLAT ROOF – MATCH EXISTING
2	PAINTED HORIZONTAL WOOD SIDING – MATCH EXISTING
3	PAINTED WOOD EXTERIOR DOORS AND WINDOWS – MATCH EXISTING
4	PAINTED 4X WOOD RAFTER TAILS–MATCH EXISTING
5	RANDOM STONE VENEER – MATCH EXISTING
6	RE-CONFIGURED EXISTING GARAGE DOOR INTO ONE PANEL ROLL UP PAINTED WOOD GARAGE DOOR

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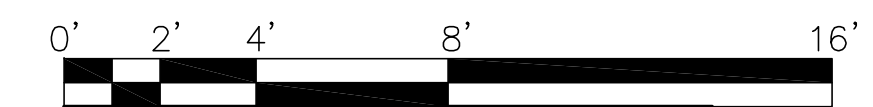
ELEVATIONS

SHEET NO.

A6.3



EXTERIOR FINISH LEGEND	
1	FLAT ROOF – MATCH EXISTING
2	PAINTED HORIZONTAL WOOD SIDING – MATCH EXISTING
3	PAINTED WOOD EXTERIOR DOORS AND WINDOWS – MATCH EXISTING
4	PAINTED 4X WOOD RAFTER TAILS–MATCH EXISTING
5	RANDOM STONE VENEER – MATCH EXISTING
6	RE-CONFIGURED EXISTING GARAGE DOOR INTO ONE PANEL ROLL UP PAINTED WOOD GARAGE DOOR



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AVE.
CARMEL-BY-THE-SEA,
CA 93921**

APN: 010-027-001

DATE: APRIL 12, 2024
PLANNING SUBMITTAL

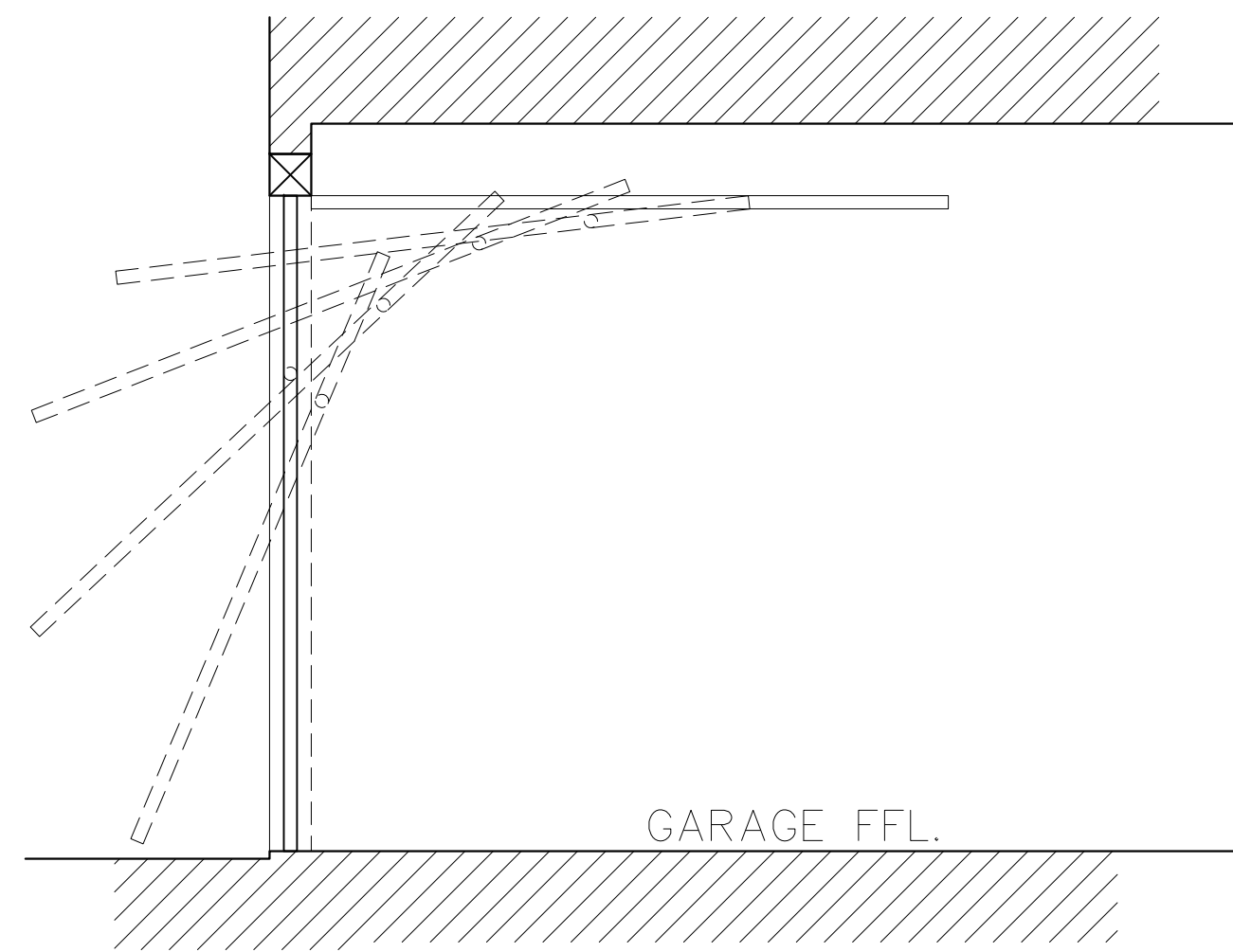
REVISIONS:

- △ JULY 10, 2024
PLANNING DEPARTMENT SUB.
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

SECTION

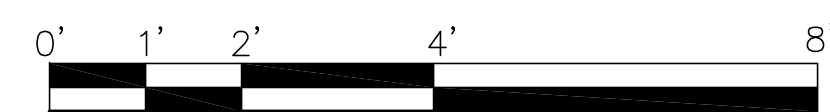
SHEET NO.

A7.0



ONE PIECE TILT-UP GARAGE DOOR SECTION

1/2"=1'-0"



ONE PIECE TILT-UP GARAGE DOOR EXAMPLE

N.T.S.



EXISTING STREET SCAPE - 1ST AVENUE

N.T.S.



PROPOSED STREET SCAPE - 1ST AVENUE

N.T.S.



A - WOOD POSTS WITH CABLE RAILING

N.T.S.

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- △ JULY 10, 2024
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- △ JULY 24, 2024
PLANNING DEPARTMENT SUB.
- △ JULY 31, 2024
PLANNING DEPARTMENT SUB.
- △ AUGUST 9, 2024
PLANNING DEPARTMENT SUB.
- △ _____
- △ _____

**STREET
SCAPE**

SHEET NO.

A8.0

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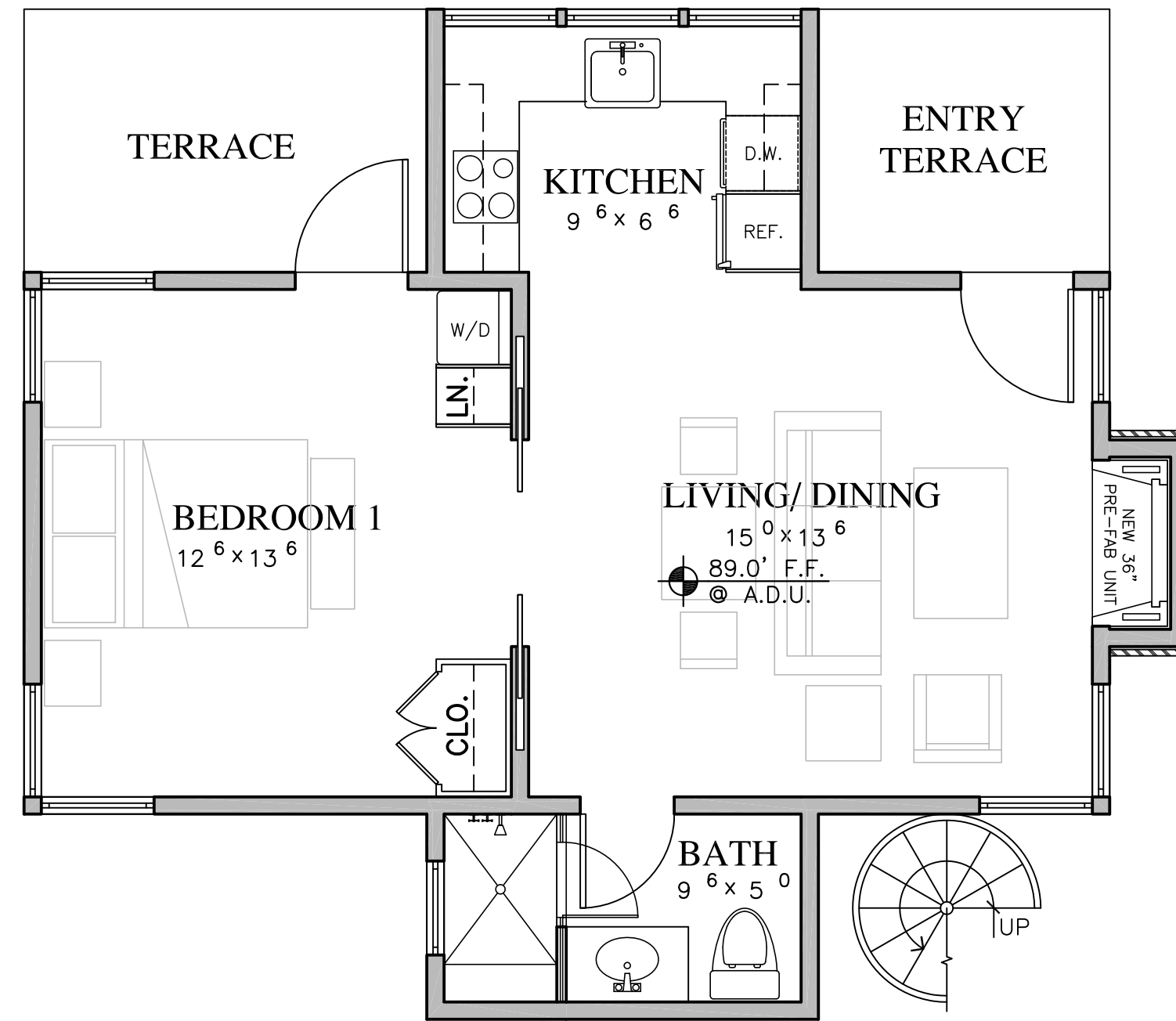
REVISIONS:

- ▲ JULY 10, 2024
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PLANNING DEPARTMENT SUB.
- ▲ JULY 31, 2024
PLANNING DEPARTMENT SUB.
- ▲ _____
- ▲ _____
- ▲ _____

**ACCESSORY
DWELLING UNIT**

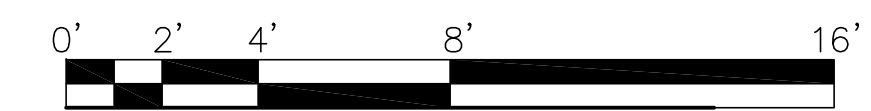
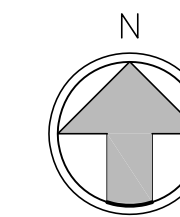
SHEET NO.

ADU2.0



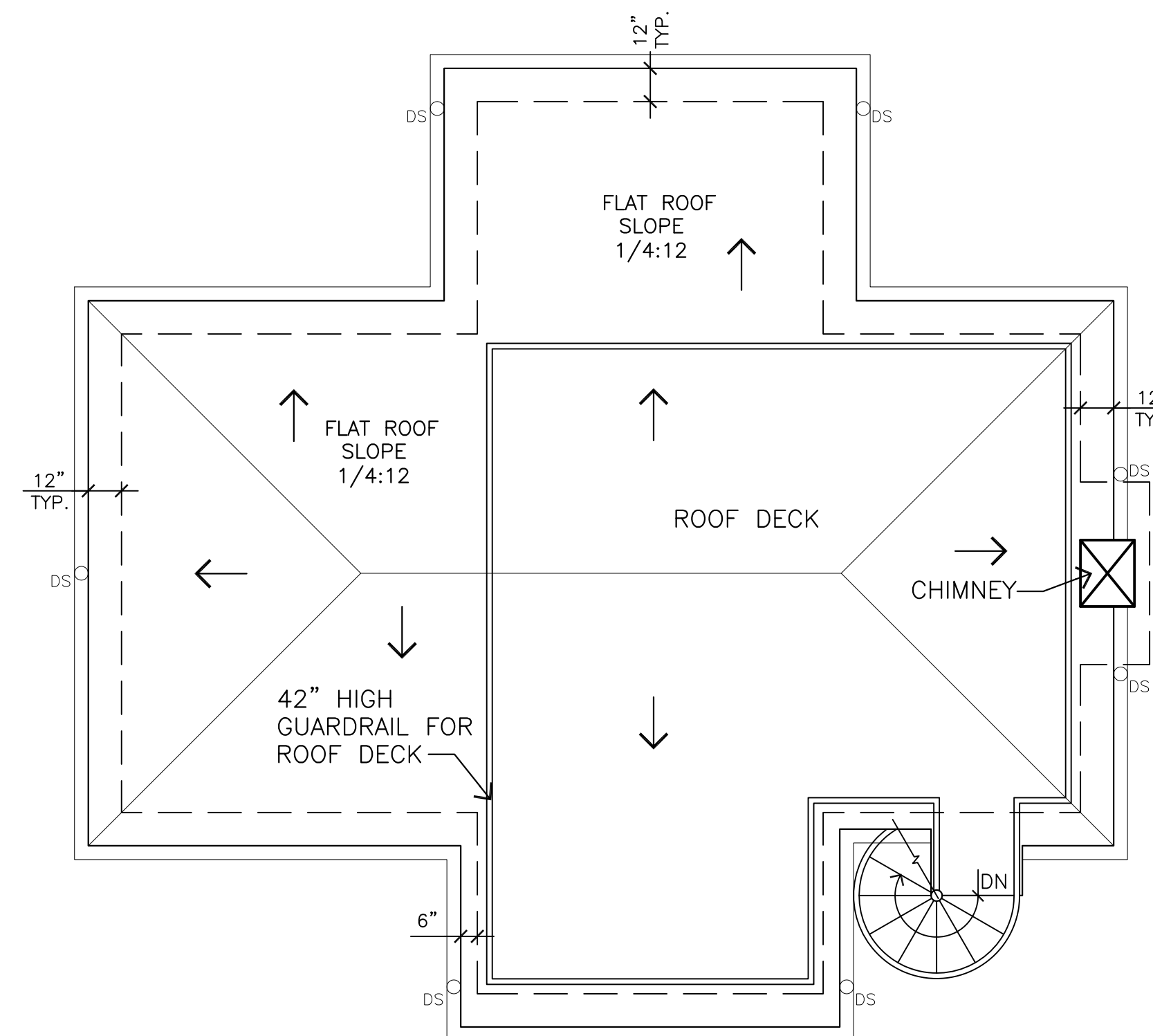
ACCESSORY DWELLING UNIT PLAN

1/4"=1'-0"



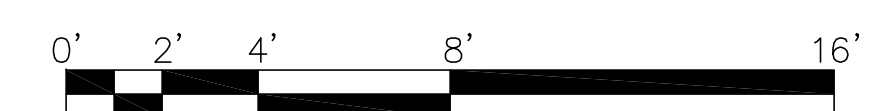
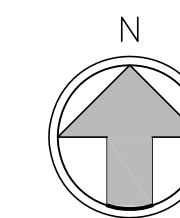
WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



ACCESSORY DWELLING UNIT ROOF PLAN

1/4"=1'-0"



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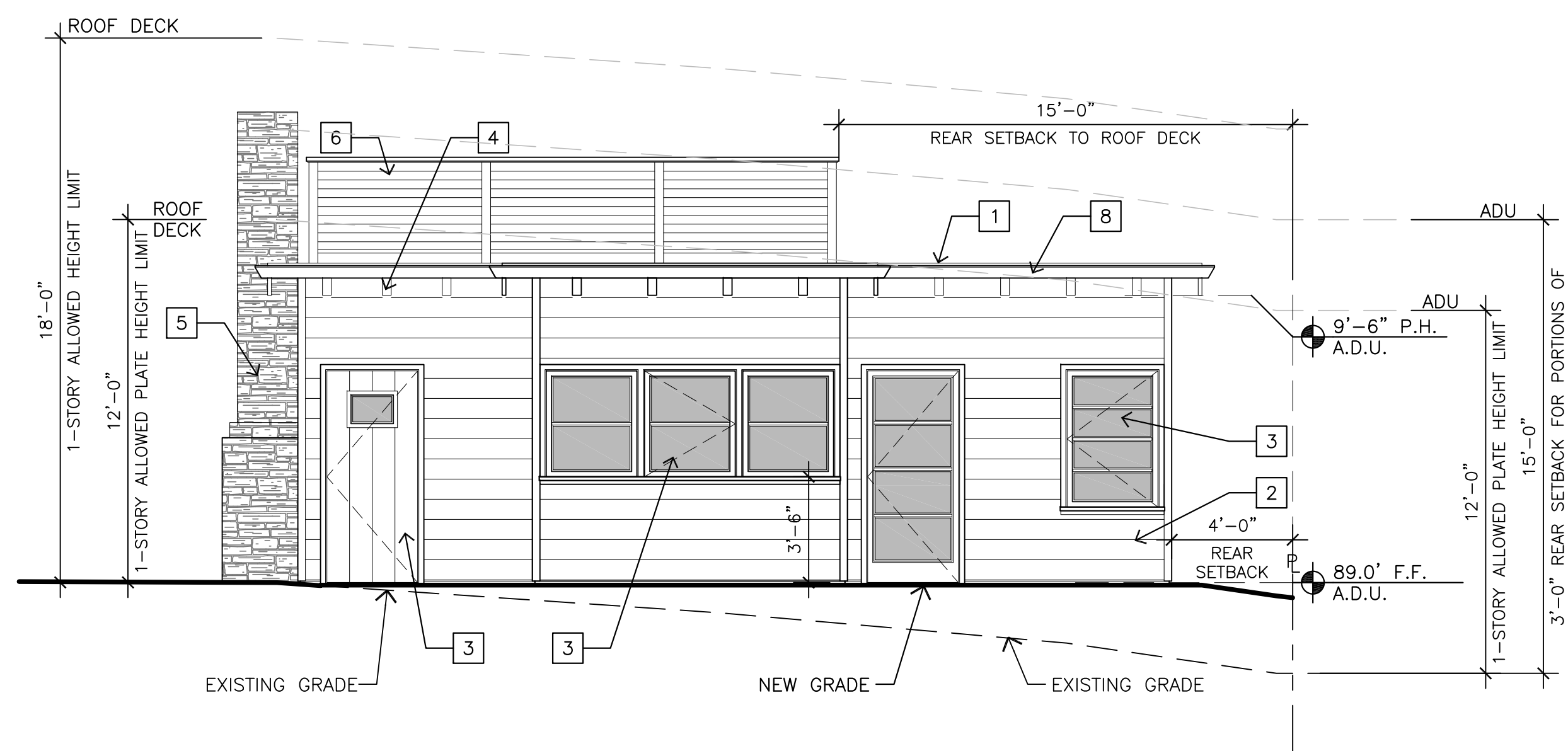
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- ▲ _____
- ▲ _____
- ▲ _____

ADU
ELEVATIONS

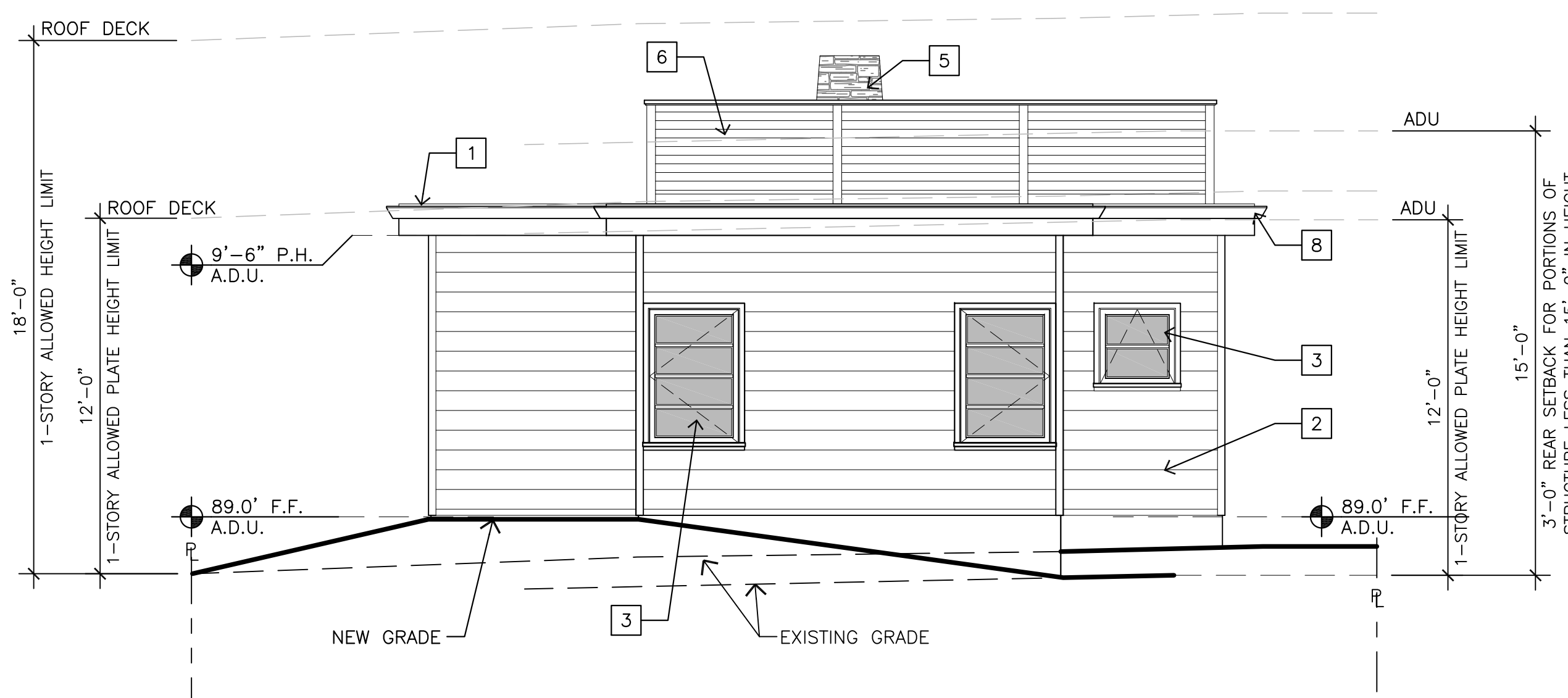
SHEET NO.

ADU6.0



A.D.U. NORTH ELEVATION

1/4" = 1'-0"



A.D.U. WEST ELEVATION

1/4" = 1'-0"



EXTERIOR FINISH LEGEND

- 1 FLAT ROOF - MATCH EXISTING
- 2 STAINED HORIZONTAL WOOD SIDING
- 3 METAL CLAD WOOD EXTERIOR DOORS AND WINDOWS
- 4 PAINTED 4X WOOD RAFTER TAILS-MATCH EXISTING
- 5 RANDOM STONE VENEER - MATCH EXISTING
- 6 CORROSION RESISTANT STAINLESS STEEL CABLE GUARDRAIL AND 4" SQ. STAINED REDWOOD POSTS, WITH REDWOOD HANDRAIL - MATCH EXISTING
- 7 PREFABRICATED SPIRAL STAIRCASE, SEE MANUFACTURER INSTALLATION INSTRUCTIONS.
- 8 PAINTED 5" GALVANIZED SHEET METAL 'FASCIA' GUTTER AND DOWNSPOUTS

DISCLAIMER:
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN PERMISSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ACCURATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

**SALEHI
RESIDENCE**

PROJECT ADDRESS:

**SANTA RITA ST. SW
CORNER OF 1ST.
AVE.
CARMEL-BY-THE-SEA,
CA 93921**

APN: 010-027-001

DATE: APRIL 12, 2024

PLANNING SUBMITTAL

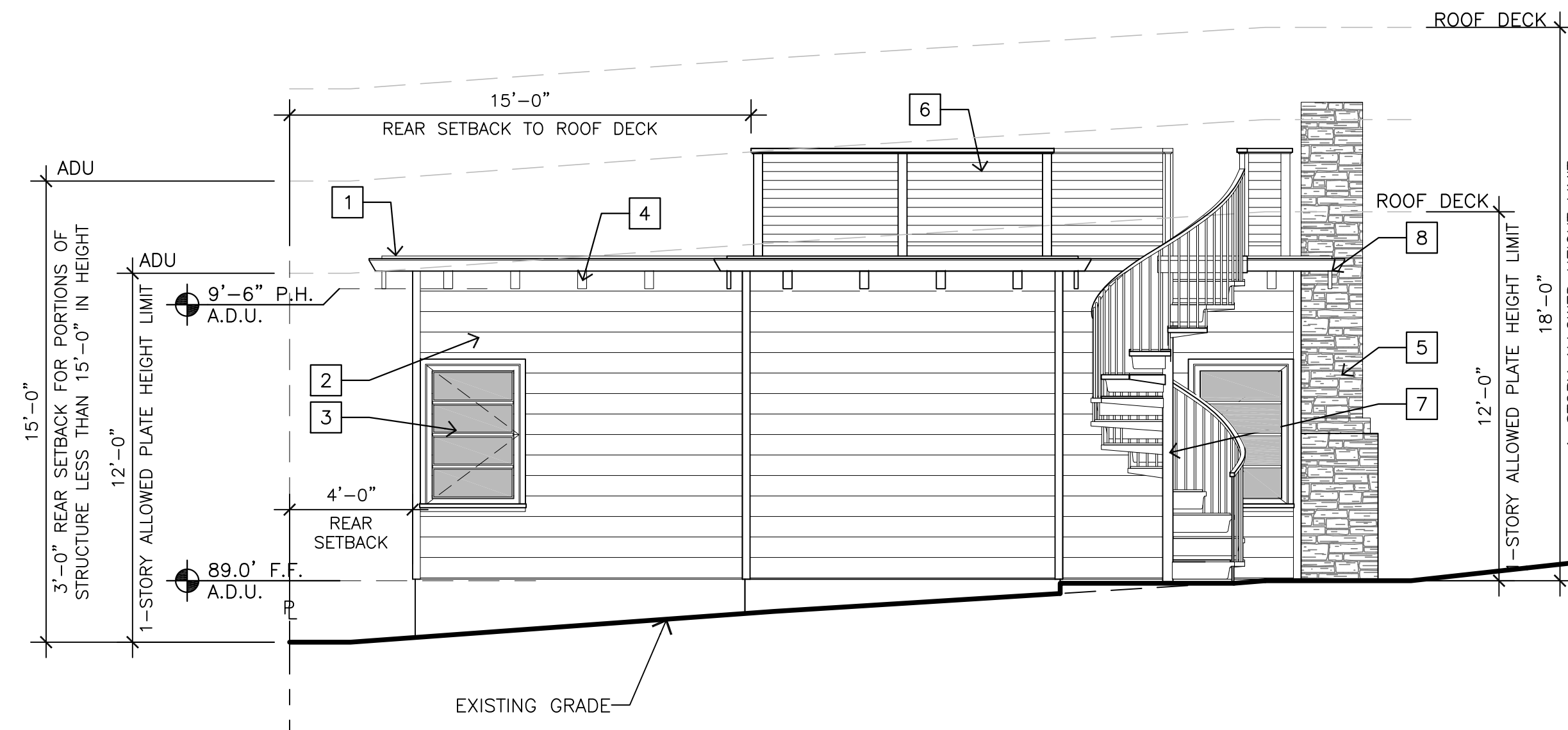
REVISIONS:

- ▲ JULY 10, 2024
PLANNING DEPARTMENT SUB.
- ▲ JULY 24, 2024
PLANNING DEPARTMENT SUB.
- ▲ JULY 31, 2024
PLANNING DEPARTMENT SUB.
- ▲ _____
- ▲ _____
- ▲ _____

**ADU
ELEVATIONS**

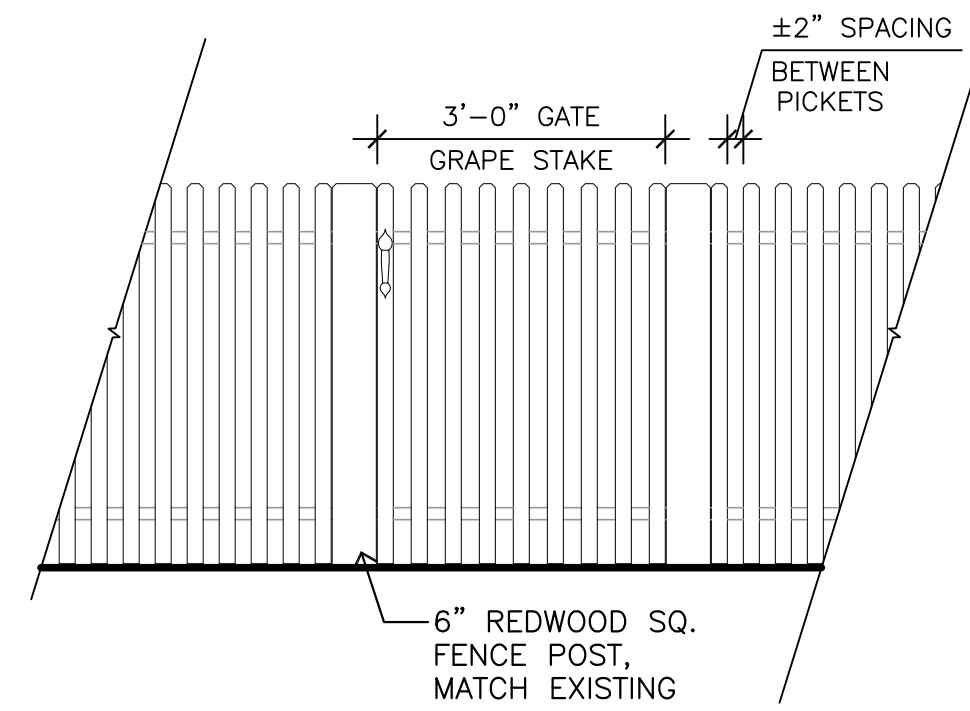
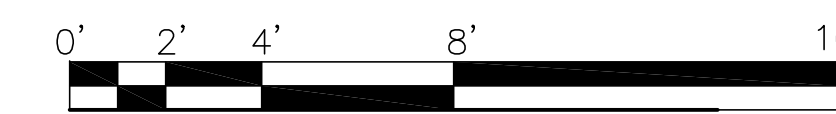
SHEET NO.

ADU6.1



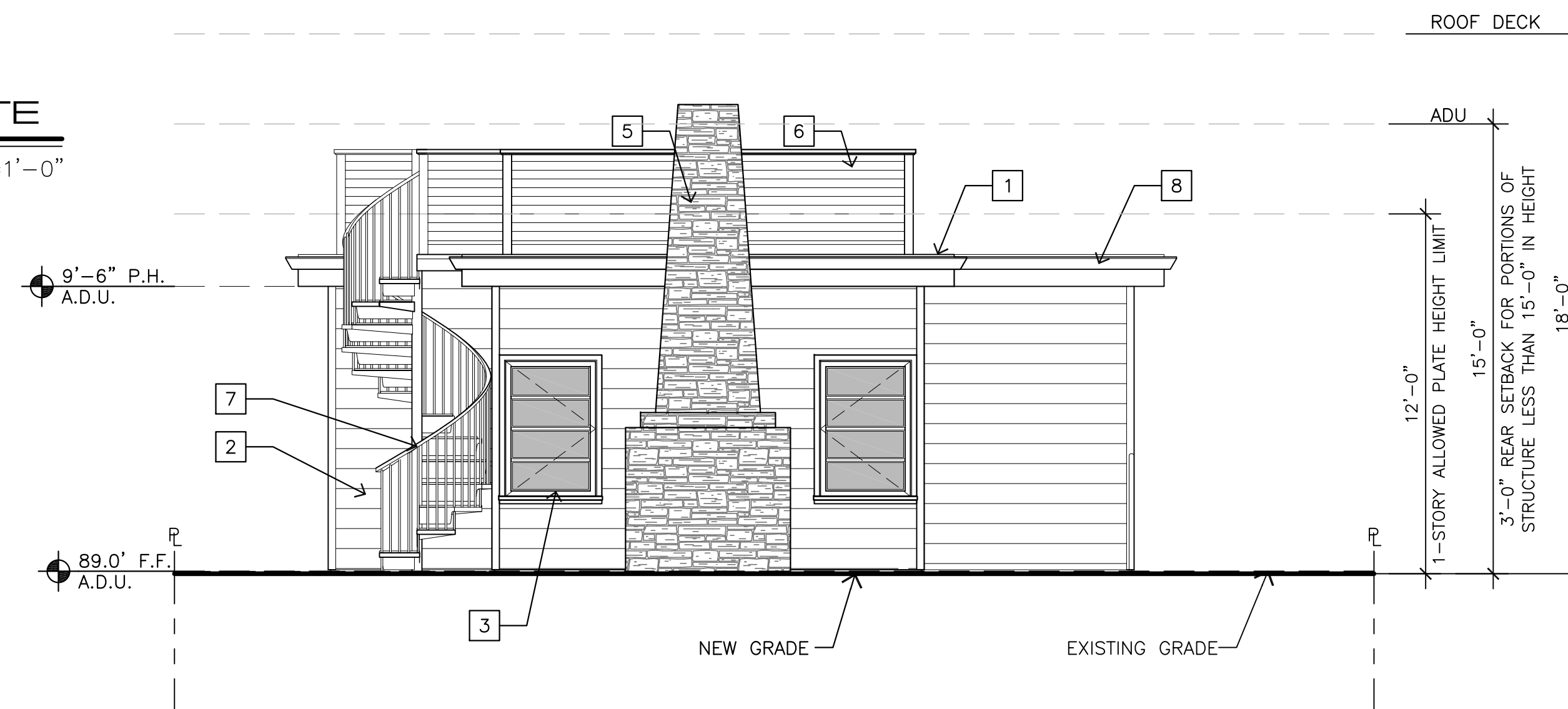
A.D.U. SOUTH ELEVATION

1/4"=1'-0"



A - NEW GRAPE STAKE FENCE AND GATE

1/2"=1'-0"



A.D.U. EAST ELEVATION

1/4"=1'-0"

