

NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 23265
Owner Name: COSMERO CONSTRUCTION & DEVELOPMENT LLC
Case Planner: Marnie R. Waffle, AICP, Principal Planner
Date Posted:
Date Approved: 02/09/2024
Project Location: MISSION 4 SW OF 10TH
APN #: 010152004000 BLOCK/LOT: 117/9

Applicant: Greg Cosmero, Owner

Project Description: Authorization. This approval of Design Study application DS 23-265 (Cosmero) authorizes exterior modifications in addition to those approved in DS 22-287 (Cosmero) as follows: 1) a new second-floor window on the front (east) elevation at the interior staircase, 2) replacement of one existing skylight on the east (front) facing roof plane and two skylights on the west (rear) facing roof plane, 3) installation of a new garage door, 4) replacement of window shutters, 5) removal of the front entry stairs, concrete patio, and porch and construction of new wood stairs, railings, and decking, 6) removal of the existing driveway and installation of 3-foot wide by approx. 20'-3" long sand set tire track pavers, 7) expansion of the rear wood deck by 79 square feet, 8) installation of 557 square feet of artificial turf in the rear yard, 9) installation of a new fire pit in the rear yard, and 10) installation of new wood retaining walls in the rear yard, at an existing single-family residence located on Mission Street 4 southwest of 10th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Studio M of A – Laney LA Partnership, BLS Green Steel Buildings, with revisions by Leisure by Design, stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes ☐ No ✓

	CONDITIONS OF APPROVAL
No.	Standard Conditions
1.	Authorization. This approval of Design Study application DS 23-265 (Cosmero) authorizes exterior modifications in addition to those approved in DS 22-287 (Cosmero) as follows: 1) a new second-floor window on the front (east) elevation at the interior staircase, 2) replacement of one existing skylight on the east (front) facing roof plane and two skylights on the west (rear) facing roof plane, 3) installation of a new garage door, 4) replacement of window shutters, 5) removal of the front entry stairs, concrete patio, and porch and construction of new wood stairs, railings, and decking, 6) removal of the existing driveway and installation of 3-foot wide by approx. 20'-3" long sand set tire track pavers, 7) expansion of the rear wood deck by 79 square feet, 8) installation of 557 square feet of artificial turf in the rear yard, 9) installation of a new fire pit in the rear yard, and 10) installation of new wood retaining walls in the rear yard, at an existing single-family residence located on Mission Street 4 southwest of 10 th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Studio M of A – Laney LA Partnership, BLS Green Steel Buildings, with revisions by Leisure by Design, stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Director.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).
5.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised

plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.

- 6. **Exterior Revisions to Planning Approval Form.** All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
- 7. **Conflicts Between Planning Approvals and Construction Plans.** It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.

When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.

8. **Exterior Lighting.** Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.

Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.

Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.

9. **Skylights & Skylight Shades.** Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications for all skylights and

DS 23-265 (Cosmero) Conditions of Approval February 9, 2024 Page 3 of 5

skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.

- 10. Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
- 11. **Driveway.** Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.
- 12. **Cultural Resources.** Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
- 13. **USA North 811.** Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
- 14. **Conditions of Approval.** Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property

owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.

Landscape Conditions

- 15. Tree Planting Requirements. Prior to issuance of a building permit, the Applicant shall identify on a landscape plan the location, size, and species of the following required tree plantings: one lower and three upper canopy trees (Forest & Beach Commission, May 12, 2022). All new trees shall be installed prior to the final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester or Forest & Beach Commission.
- 16. **Tree Removal Prohibited.** Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
- 17. **Tree Protection Measures.** Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.
 - Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
 - Excavation within 6 feet of a tree trunk is not permitted.
 - No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.
 - Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.
 - Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.
 - Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.
 - If roots greater than 2 inches in diameter or larger are encountered within the

DS 23-265 (Cosmero) Conditions of Approval February 9, 2024 Page 5 of 5

- approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
- 18. **Foundation Work Near Significant Trees.** All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.
- 19. **Semi-Permeable Surfaces.** Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces.
- 20. **Conditions of Approval Acknowledgement**. Prior to the issuance of a building permit revision, a completed **Conditions of Approval Acknowledgment** form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.

Acknowledgment and acceptance of conditi	ons of approval:	
Property Owner Signature	Printed Name	Date
Cosmero Construction & Development LLC		

AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO





BUILDING CODE SUMMARY

APPLICABLE CODE:

2022 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24), PART 2.5 - CALIFORNIA RESIDENTIAL CODE (CA BLDG CODE)

PROJECT DESCRIPTION:

Corrective action for unpermitted work- Complete interior remodel including, new fixtures, new finishes and add shower. Exterior work to include a new roof, new deck, new window, new door, new retaining wall, paint all and new landscaping w/new pavers and artificial turf. Convert front Patio to wood framed deck.

RIDG CODE SHIMMARY (CA RIDG CODE).

E	BLDG. CODE SUMMARY (CA B	LDG CODE):
1.)	RESIDENTIAL ENERGY CODE: (TABLE N1101.1(1))	STANDARD BASE CASE APPLIES, U.O.N.
	PER TABLE N1101.1(2), ENVELOPE ENHANCEM WALL INSULATION-ABOVE GRADE:	IENT MEASURE 3, AND CONSERVATION MEASURE A WILL BE USED.
		TYPICAL WALL INSULATION R-13 (ON ALL EXTERIOR WALLS).
	FLAT CEILINGS:	TYPICAL WALL INSULATION R-38 (ON ALL EXTERIOR CEILINGS)
	VAULTED CEILINGS:	NA
	UNDER FRAMED FLOORS:	SLAB W/ R-15 2'-0" AT PERIMETER
	WINDOWS:	U-0.30, SHGC: 0.25
	WINDOW AREA LIMITATION:	N/A
	SKYLIGHTS:	U-0.50
	EXTERIOR DOORS:	R-5
	EXTERIOR DOORS W/ > 2.5 s.f. GLAZING:	R-2
	FORCED AIR DUCT INSULATION:	R-8
	HIGH EFFICACY LIGHTING:	100% HIGH EFFICACY LIGHTING
	RECESSED LIGHTING FIXTURES:	SHALL MEET CA BLDG CODE REQUIREMENTS.
	WINDOW AIR LEAKAGE:	SHALL MEET CA BLDG CODE REQUIREMENTS.
	VAPOR BARRIERS:	PROVIDE MIN. (1) PERM. VAPOR BARRIER AT WARM SIDE OF ALL INSULATION.
	GROUND COVER:	IF WE HAVE TO
	HVAC EQUIPMENT:	SHALL MEET CA BLDG CODE REQUIREMENTS.
	PIPING INSULATION:	SHALL MEET CA BLDG CODE REQUIREMENTS.
2.)	STRUCTURAL DESIGN CRITERIA: (CA BLDG CODE SEC.	. 301) PRE-ENGINEERED SYSTEM
	-	SEE STRUCTURAL ENGINEERING
	-	-
	_	-
	CONSTRUCTION SYSTEM TYPE:	PORTAL FRAME & POLE FRAMED W/ HORIZONTAL PURLINS & GIRTS
	CLIMATIC AND GEOGRAPHIC DESIGN DATA:	-
	ELEVATION:	150 FT.
	SEISMIC DESIGN CATEGORY:	D1 (VERIFY W/ STRUCTURAL)
	FLOOD HAZARD DESIGN CRITERIA:	N/A
	FROST DEPTH:	12"
	WIND EXPOSURE CLASSIFICATION:	В
	STORY HEIGHT:	SEE CROSS SECTIONS
	LIVE LOADS: NON-SLEEPING AREAS:	40 LB./S.F. (VERIFY W/ STRUCTURAL)
3.)	FIRE-RESISTIVE CONSTRUCTION:	N/A
J.)	EXTERIOR WALLS, PROJECTIONS, & OPENINGS:	-
	LATEMON WALLS, FINOSECTIONS, & OFEININGS.	

CONTRACTOR SHALL VERIFY EXISTING ALARMS ARE SATISFACTORY AND SHALL

DEFERREED PLANS:

grading under separate application.

AND SMOKE ALARMS AS REQUIRED BY 2022 CA BLDG CODE.

PROVIDE (1) NEW CO2 ALARM W/ POWER CONNECTION OUTSIDE NEW BEDROOM

UNDERFLOOR VENTILATION - NO UNDERFLOOR

Any and all concealed work will be required to be opened

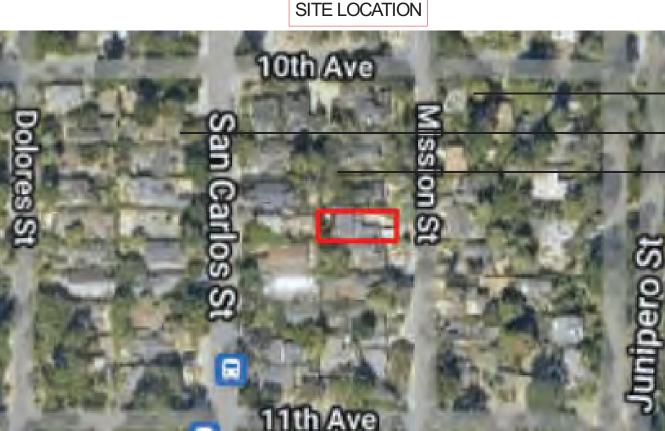
in order to provide access to for all necessary inspections

Rear yard retaining wall, associated drainage and

4.) VENTILATION: **ROOF VENTILATION - NO ATTIC**

SMOKE AND CO2 ALARMS:

FLAME SPREAD AND SMOKE-DEV. INDEXES



CARMEL-BY-THE-SEA 1) GOVERNING AGENCY:

ZONE CODE SUMMARY

PROJECT/SITE INFORMATION:

).	GOVERNING AGENCY.	OARWILL-DI-THL-OLA
2.)	BUILDING ZONE:	SINGLE FAMILY
	SITE ADDRESS:	SEE TITLE BLOCK
	TAX LOT #:	SEE TITLE BLOCK
	PERMITTED USE:	SINGLE FAMILY RESIDENCE (EXISTING TO REMAIN)
3.)	SETBACKS:	NORTH: EXISTING TO REMAIN UNCHANGED EAST: EXISTING TO REMAIN UNCHANGED SOUTH: EXISTING TO REMAIN UNCHANGED

WEST: EXISTING TO REMAIN UNCHANGED PER SITE PLAN(4,000 SQFT) 4.) TOTAL SITE AREA: 5.) BUILDING FIRST FLOOR: 1.092 S.F.

> SECOND FLOOR: 782 S.F. TOTAL LIVABLE: 1,874 S.F. 170 S.F.

AREA:BUILDING HEIGHT EXISTING TO REMAIN UNCHANGED SEPTIC AUTHORIZATION: **EXISTING TO REMAIN UNCHANGED**

8.) CONSTRUCTION TYPE: V-B

BLDG. CODE SUMMARY (2022 CA BLDG CODE):

NOTES PER CHAPTER 7A MATERIALS CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE

EAVE VENTS: NO EAVE VENTS PROPOSED.

EXTERIOR WALL VENTS: NO EXTERIOR WALL VENTS PROPOSED.

EXTERIOR GLAZING: THIS BUILDING CONTAINS NO EXTERIOR GLAZING.

EXTERIOR DOOR ASSEMBLIES: EXTERIOR DOORS AND VEHICLE ACCESS DOORS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL,

UNDERSIDE OF APPENDAGES AND FLOOR PROJECTIONS: THE BUILDING OVERHANGS ARE ENCLOSED WITH METAL SOFFITS. UNENCLOSED UNDER-FLOOR PROTECTION: THIS BUILDING HAS NO PROPOSED UNDER-FLOOR AREA.

DECKING, ETC.: ALL PORTIONS OF SUCH SURFACES IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE OF APPROVED

NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL

2.) 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN

> SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE **ENFORCING AGENCY**.

- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- a. WASTE AND DEMOLITION MATERIALS THAT WILL BE PRESENT ON THE SITE ARE; BRUSH/GREEN CLIPPINGS, WOOD FORMS WILL BE COLLECTED AND REUSED BY CONCRETE COMPANY, BASE ROCK TO BE BROUGHT IN TO BRING
- 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM). a. ALL CONSTRUCTION AND WASTE MATERIALS WILL BE SORTED ON SITE FOR APPROPRIATE DISPOSAL
- 3. IDENTIFY <u>DIVERSION</u> FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN. a. GREEN WASTE MATERIAL WILL BE MOVED TO THE CHICO COMPOST FACILITY LOCATED AT 4441 COHASSET RD,
- b. ALL STEEL WASTE (IF ANY) WILL BE TAKEN TO CHICO SCRAP METAL, INC LOCATED AT 878 E 20TH ST, CHICO, CA
- c. ALL BASE ROCK REMNANT WILL BE REUSED ONSITE
- d. WOODEN FORMS FOR CONCRETE WILL BE COLLECTED BY JR CEMENT INC, (530) 330-6465 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION
- WASTE GENERATED a. STRUCTURE PROVIDED IS A PRE-CUT PREFORMED STRUCTURE, FOLLOWING CONSTRUCTION INSTRUCTIONS PROVIDED WILL RESULT IN NO WASTE
- b. SLAB WILL BE POURED ON SITE DELIVERED IN TRUCKS, FORMS PROVIDED AND COLLECTED TO BE REUSED BY CONCRETE CONTRACTOR
- c. NO EXCAVATION OF SITE WILL RESULT IN NO REMNANT SOIL TO BE DISPOSED OF.
- 5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
- a. WASTE MATERIALS THAT ARE DIVERTED WILL BE CALCULATED BY WEIGHT

SHEET INDEX:

PROJECT DRAWINGS:

PROJECT/CODE SUMMARY INFORMATION

STRUCTURAL NOTES

SITE & DRAWINGS:

A1.0 **EXISTING SITE PLAN** A1.1 PROPOSED SITE PLAN

ARCHITECTURAL DRAWINGS

EXISTING FLOOR PLANS

PROPOSED ARCHITECTURAL FLOOR PLANS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS /SCHEDULE EXTERIOR ELEVATIONS (CONTINUED) EXTERIOR ELEVATIONS (CONTINUED)

CROSS SECTIONS

ELECTRICAL PLAN 1ST FLOOR

ELECTRICAL PLAN 2ND FLOOR

MANDATORY MEASURES PLUMBING & HVAC

MECHANICAL & NOTES

STRUCTURAL SHEETS DECK DETAIL

S.1 STRUCTURAL SHEETS WALL DETAIL

CALIFORNIA CODE DOCUMENTS:

CG1.0-CG1.1 CALIFORNIA GREEN CODE MANDATORY MEASURES

MECHANICAL DRAWINGS

NOTE: THE MECHANICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE MECHANICAL PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. MECHANICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE MECHANICAL

PLUMBING DRAWINGS:

NOTE: THE PLUMBING BUILDING AND PLUMBING SITE LAYOUT FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE FULL PLUMBING PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. PLUMBING WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE PLUMBING

ELECTRICAL DRAWINGS

NOTE: THE ELECTRICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE ELECTRICAL PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. ELECTRICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE ELECTRICAL

FIRE SPRINKLER & FIRE ALARM DRAWINGS:

NOTE: THE FIRE SPRINKLER & FIRE ALARM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE FIRE DRAWINGS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. FIRE SUPPRESSION & ALARM WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE FIRE DRAWINGS.

FIRE SPRINKLER WALL CALCULATIONS: AMOUNT OF WALL FRAMING: 5,001 S.F. AMOUNT MODIFIED: 1,077 S.F.





AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

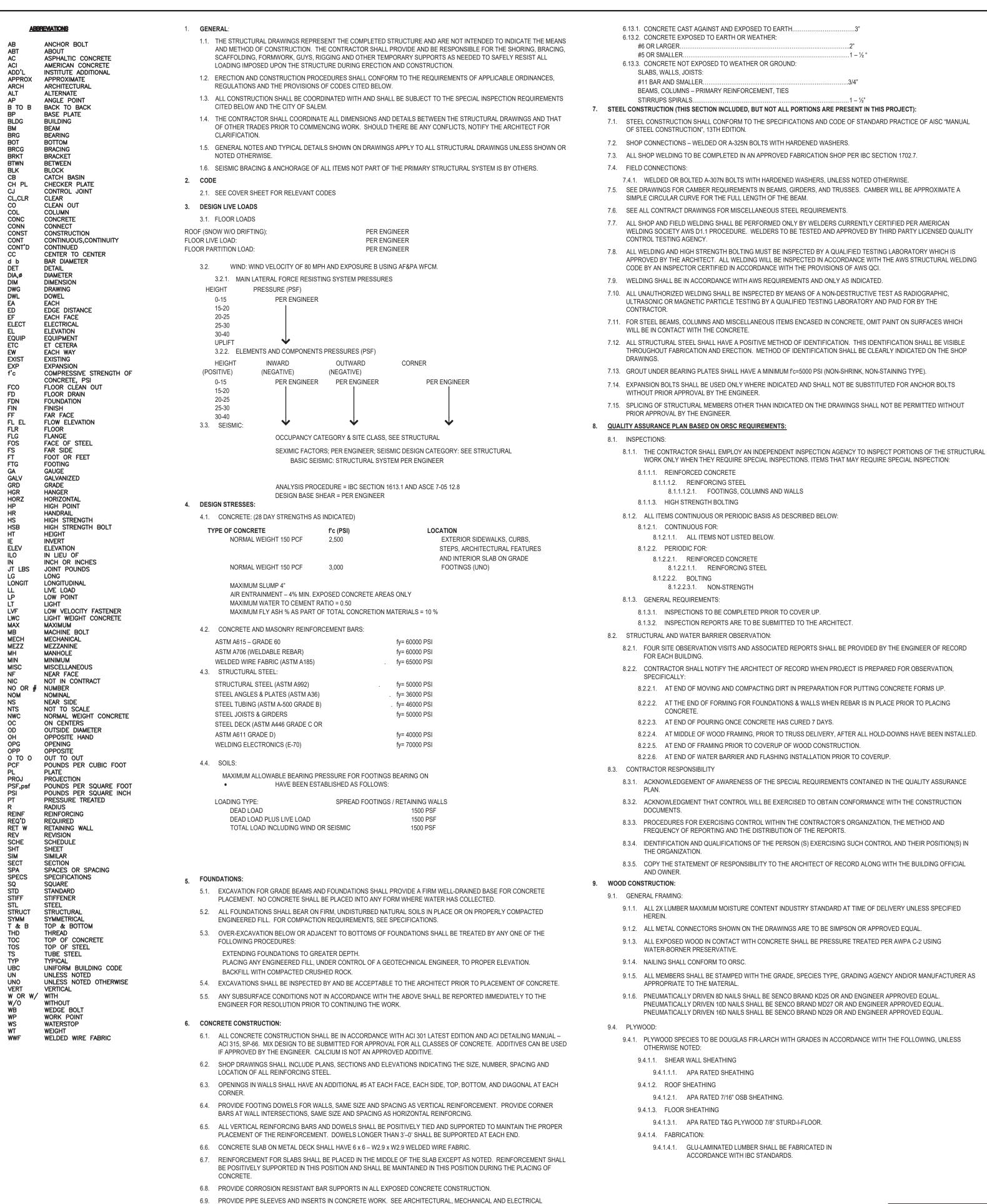
PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA **COVER SHEET**

A0.1

PROJ.#: 22068

DATE: 01.24.24

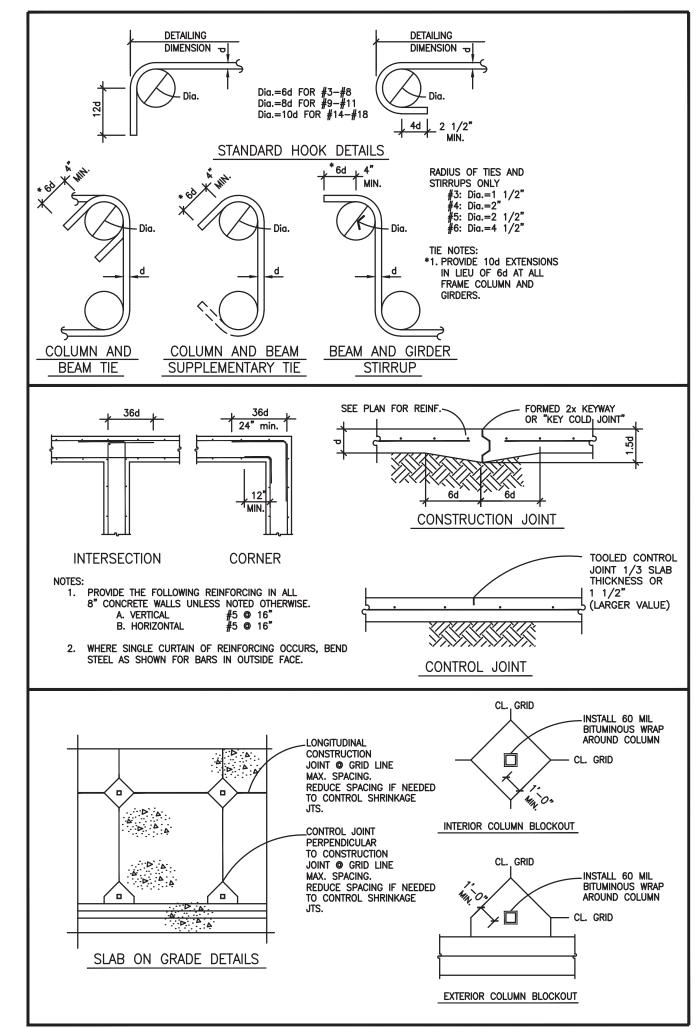


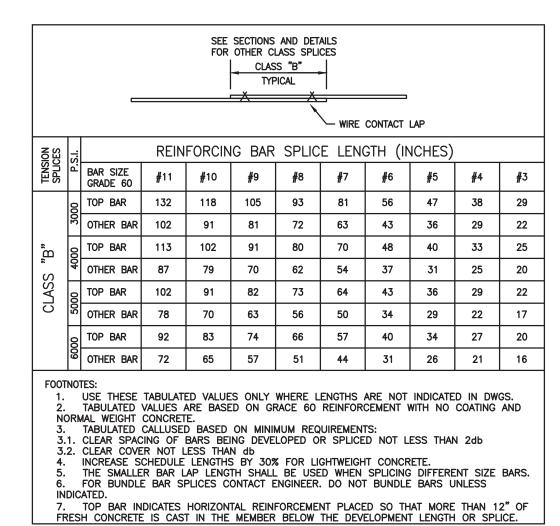
6.10. ALL EXPOSED CORNERS OF CONCRETE BEAMS AND COLUMNS TO BE CHAMFERED 3/4" UNLESS NOTED OTHERWISE.6.11. NO ALUMINUM CONDUITS OR PIPES SHALL BE EMBEDDED IN CONCRETE. THE USE OF ALUMINUM PIPES OR CHUTES TO

TRANSPORT CONCRETE SHALL NOT BE PERMITTED.

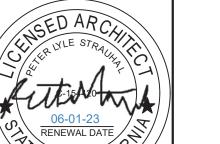
6.13. CONCRETE PROTECTION FOR REINFORCEMENT:

6.12. WELDING OF ASTM A615 REINFORCING BARS SHALL NOT BE PERMITTED.









AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS:

MISSION 4 SW OF 10TH

CARMEL-BY-THE, CA 93921

PARCEL #: 010-152-004-000

A Partnership STRUC

DATE 01.24.24

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA

ney LA Partnership
nthony Laney
ALEM, OR 97302
239-1519

STRUCT. NOTES
PROJ.#: 22068



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- □ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- □ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up

Waste Management

tracking.

- ☐ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ☐ Inlet protection is the last line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts guidelines for accepting hazardous waste materials).
- ☐ Do not hose down surfaces where fluids have spilled.

 Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas
 by digging up and properly
 disposing of contaminated soil
 (see the Monterey Regional
 Waste Management District's
 Contaminated Soil Acceptance
 Criteria).
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wensBuried barrels, debris, or trash.
- Abandoned wells



PAVING/ASPHALT WORK

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



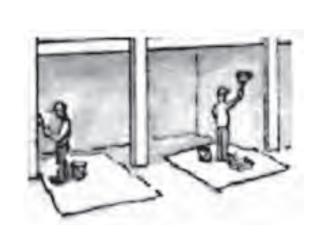
CONCRETE, GROUT & MORTAR APPLICATION

- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ☐ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater.

 Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results.

 Contaminated groundwater must be treated or hauled offsite for proper disposal.

^{*} Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program



City of Carmel-by-the-Sea COMMUNITY PLANNING AND BUILDING DEPARTMENT POST OFFICE DRAWER CC CARMEL-BY-THE-SEA, CA 93921

January 4, 2023

Peter Lyle Strauhal PO Box 3164 Salem, OR 97302 Email:

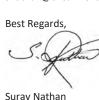
pstrauhal@gmail.com Approval Letter Design Study DS 22-287 (Cosmero) Mission 4 SW of 10th Ave Block: 117 Lot: 9 APN: 010-152-004-000

The Community Planning & Building Department has approved Design Study DS 22-287 (Cosmero) for the repair roof eave and reroofing, replace existing siding, trellis, fencing, convert patio into PT wood decking, and the removal of gravel in the north west corner of the lot, subject to the enclosed conditions of approval.

This approval is subject to a ten calendar-day public comment period, which begins when you post the enclosed Notice of Approval on-site. Be sure to write the date of posting on the notice. The Notice of Approval should be posted at the front of the property, readily visible to the public. Following the posting of the notice, please

1) Take a photograph of the posted Notice of Approval and email it to snathan@ci.carmel.ca.us. 2) Complete the Affidavit of Posting and email to snathan@ci.carmel.ca.us. 3) Please sign, and return the conditions of approval via DocuSign that will be sent to the owner.

At the end of the ten-day public comment period, and assuming no public comments, you can proceed with obtaining a building permit. Should you have any questions, I can be reached directly at (831) 620-2027, or snathan@ci.carmel.ca.us.



Assistant Planner

Encl: Conditions of Approval Notice of Approval Affidavit of Posting

CC: Greg Cosmero: gregcosmero@icloud.com

DS 22-287 (Cosmero) Conditions of Approval January 4, 2023

- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation
- in a cobweb pattern shall not be permitted. All stonework shall be wrapped around

DS 22-287 (Cosmero) Conditions of Approval January 4, 2023

Page 1 of 6

CONDITIONS OF APPROVAL

- Standard Conditions Authorization. Approval of Design Study (DS 22-287, Cosmero) authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements located on Mission 4 SW of 10th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Peter Lyle Strauhal stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein
- **Codes and Ordinances.** The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
- **Permit Validity.** This approval shall be valid for a period of one year from the date \checkmark of action unless an active building permit has been issued and maintained for the proposed construction.
- Water Use. Approval of this application does not permit an increase in water use on
 ✓ the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.
- Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).
- Fire Sprinklers Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135.
- **Modifications.** The applicant shall submit in writing, with revised plans, to the $| \checkmark |$ Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified.

DS 22-287 (Cosmero) Conditions of Approval January 4, 2023 Page 2 of 6

- A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final
- 8. **Exterior Revisions to Planning Approval Form.** All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a
- building permit. Conflicts Between Planning Approvals and Construction Plans. It shall be the ✓ responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building

When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail. Landscape Conditions

Landscape Plan. All new landscaping shall be shown on a landscape plan and shall ✓ be submitted to the Community Planning & Building Department and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning

DS 22-287 (Cosmero) Conditions of Approval January 4, 2023 Page 3 of 6

- 11. | Tree Removal. Trees on the site shall only be removed upon the approval of the City | 🗸 Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
- Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a
- . | Erosion Control in the Right-of-Way. Projects with a natural slope within the rightof-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" located in the Forest Management Plan.
- 4. | Tree Planting Requirements. Prior to issuance of a building permit, the applicant | 🗸 shall submit for review and approval by the Community Planning & Building Department and the City Forester, a final landscape and irrigation plan that shows the location, size and species of required tree plantings. All new trees shall be installed prior to final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester and/or Forest & Beach
- 15. **Tree Protection Measures.** Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.
- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
 - Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on
- neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high

- transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.
- The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- measures have been put in place.
- 16. **Exterior Lighting.** Exterior lighting shall be limited to 25 watts or less (incandescent \checkmark equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the
- construction drawings submitted with the building permit application. Stone Facades (including chimneys). Stone facades shall be installed in a broken

 ✓ course/random or similar masonry pattern. Setting the stones vertically on their face building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee.

DS 22-287 (Cosmero Conditions of Approval January 4, 2023

- The masonry patter shall be clearly identified in the construction drawings submitted with the building permit application.
- 18. Asphalt Shingle Roofing. The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.
- 19. Indemnification. The applicant agrees, at his or her sole expense, to defend, $| \checkmark |$ indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties
- 20. **Driveway.** The driveway material shall extend beyond the property line into the \checkmark public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction
- detail showing the base material shall be included in the construction drawings. Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.
- **Cultural Resources.** All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
- 23. **Truck Haul Route.** Prior to Building Permit issuance, the applicant shall provide for \checkmark City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and

DS 22-287 (Cosmero) Conditions of Approval January 4, 2023

- any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.
- **USA North 811.** Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the
- **Conditions of Approval.** All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted
- **ENVIRONMENTAL COMPLIANCE CONDITIONS**
- **BMP Tracking Form.** Prior to issuance of a building permit, the applicant shall submit a completed BMP Tracking form for review and approval by the City of Carmel.
- provide cross-section details for semi-permeable surfaces.
- applicant shall provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access for review and approval by the City of Carmel. SPECIAL CONDITIONS
- write a detailed description of all work to be performed on the site plan
- the rear of the lot and replace it with wood chips to comply with zoning requirement.
- 32. Tree Planting Requirements. Prior to the final inspection, the applicant shall plant |
- 33. **Final Inspection.** A final inspection is required by the Planning Division.

Greg Cosmero 01-04-23 Property Owner Signature Printed Name

- dig request. (Visit USANorth811.org for more information)
- to the Building Safety Division.
- **Semi-Permeable Surfaces.** Prior to issuance of a building permit, the applicant shall
- **Erosion and Sediment Control Plan.** Prior to issuance of a building permit, the
- **Project Description:** Prior to the issuance of a building permit, the applicant shall \checkmark
- Plumbing Permit. Prior to the issuance of a building permit, the applicant shall apply for a plumbing permit for the replacement of the fixtures.
- **Site Coverage.** Prior to the final inspection, the applicant shall remove gravel from \checkmark
- two lower-canopy oak trees as shown on the approved plan.

Acknowledgement and acceptance of conditions of approval:

Once signed, please email to snathan@ci.carmel.ca.us.

NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22287

Owner Name: COSMERO CONSTRUCTION & DEVELOPMENT LLC

Case Planner: Suray Nathan, Assistant Planner

Date Posted: 01-04-23

Date Approved: 01/04/2023 **Project Location:** MISSION 4 SW OF 10TH

APN #: 010152004000 **BLOCK/LOT**: 117/9

Applicant: Peter Lyle Strauhal

Project Description: Authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements.

Can this project be appealed to the Coastal Commission? Yes \square No \checkmark

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



AFFIDAVIT OF POSTING DECLARATION UNDER PENALTY OF PERJURY

APPLICATION#: Design Study 22287 GREG COSMERO APPLICANT: MISSION 4 SW OF 10TH PROJECT LOCATION: Suray Nathan, Assistant Planner APN 010152004000 BLOCK 117 LOT(s) 9 , declare: I am a resident of the City of MISSION 4 SW OF 10TH I, Greg Cosmero Carmel by the Sea , County of Monterey , State of <u>CA</u>. I am over the age of eighteen

publicly-accessible location at the subject property. I DECLARE UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.

(18) years. On the 4th day of January 2023, I posted the attached Public Notice in a conspicuous,

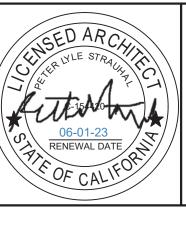
Declarant Print Name

Upon completion of the 10 - day appeal period, please return this form,

along with the Notice of Approval, to the case planner noted above.



BLS Green Peter Strauhal, CEO O BOX 3164 www.blsgreenbuildings.com

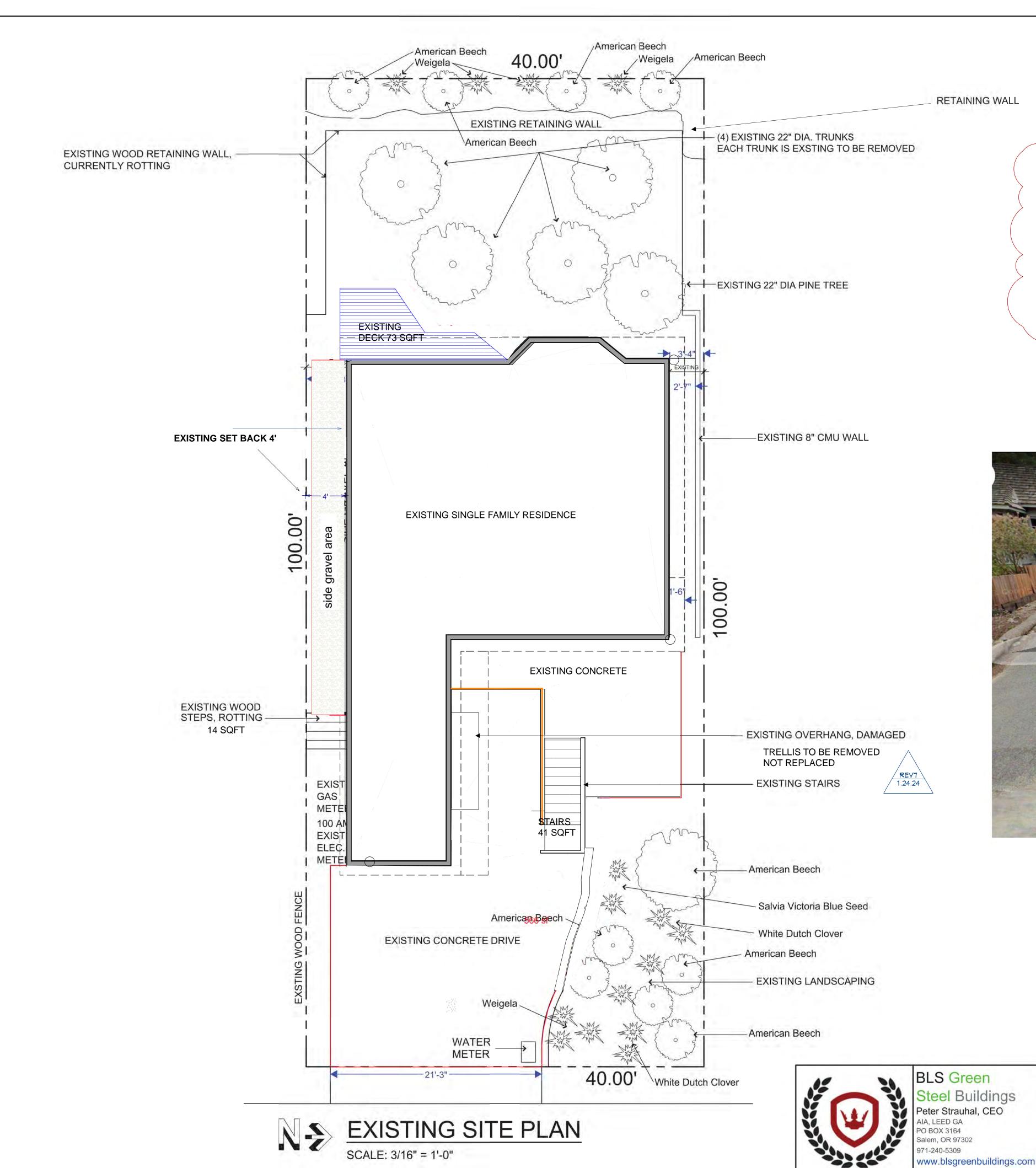


AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA A0.7 **DESIGN REVIEW**

PROJ.#: 22068 DATE: .01.24.24



This is currently an easement for the neighbor and was addressed and signed of in an earlier RFI the reel is the associated documentation (No Action Needed)



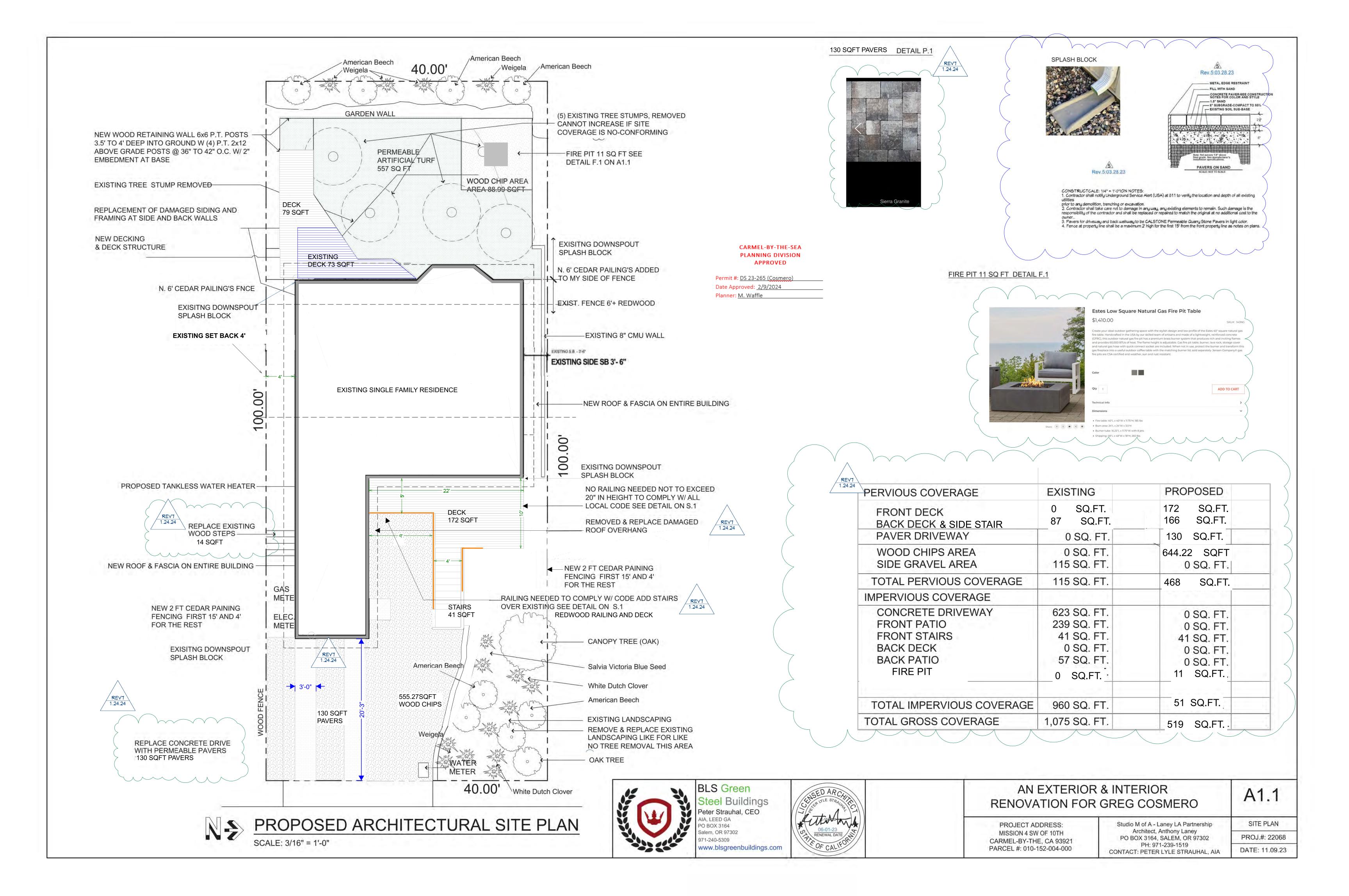
Rev.1:11.30.22 /1

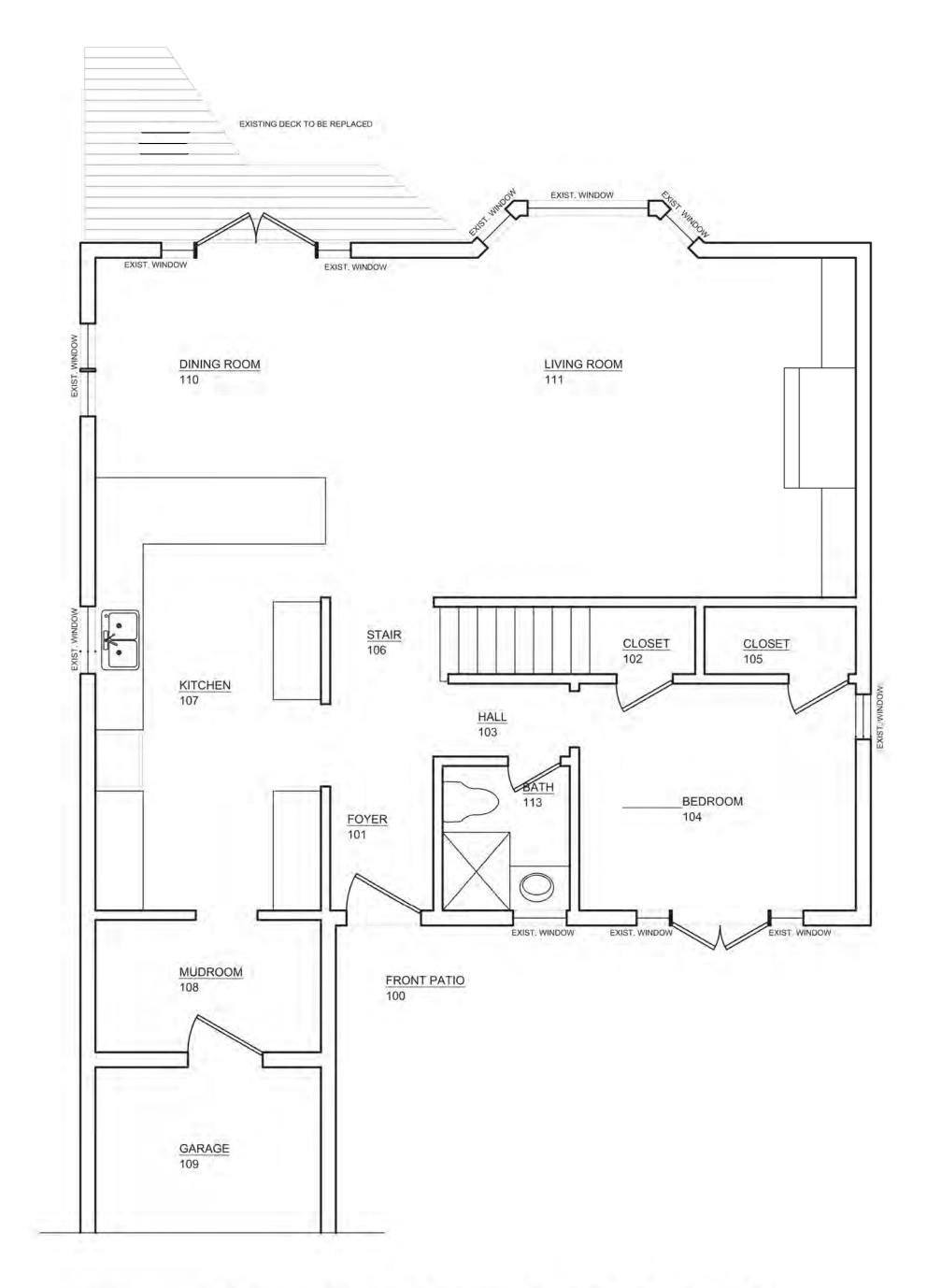
AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO A1.0

PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000

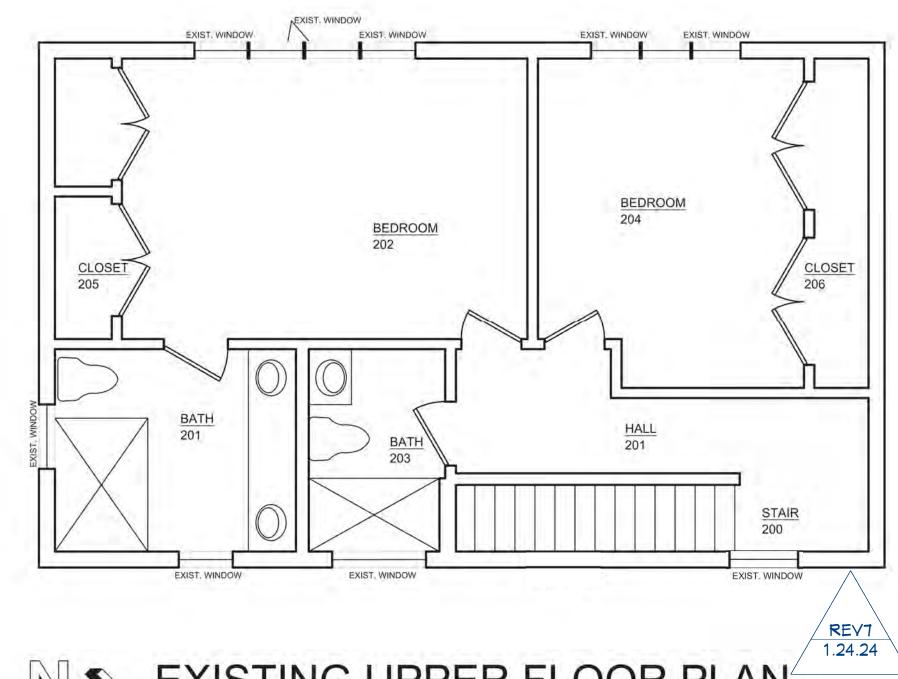
Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA

EXISTING SITE PROJ.#: 22068 DATE: 01.24.24









EXISTING UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

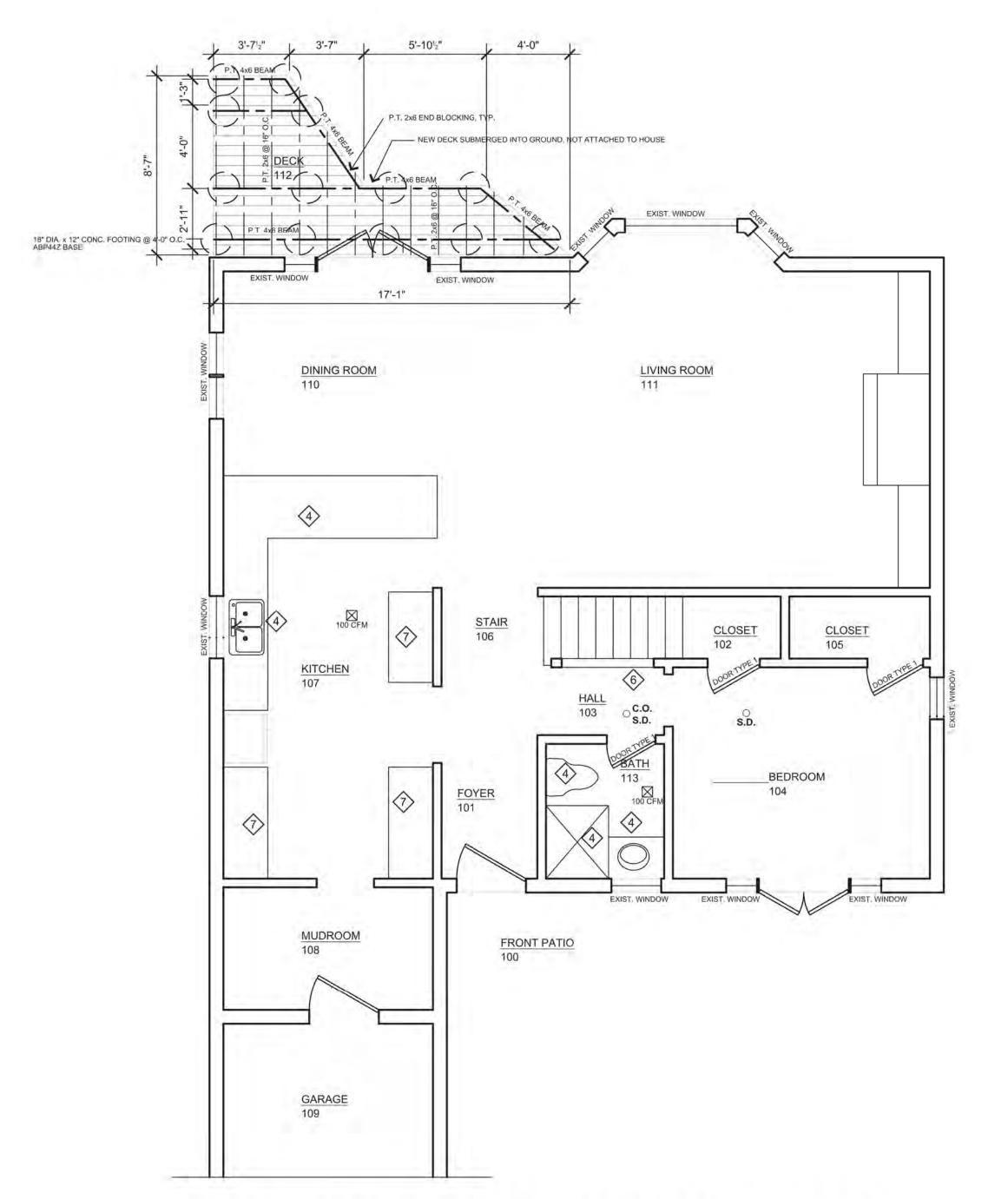


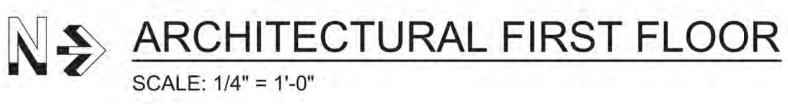


A2.0

PROJECT ADDRESS:
MISSION 4 SW OF 10TH
CARMEL-BY-THE, CA 93921
PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA PROJ.#: 22068
DATE: 01.24.24



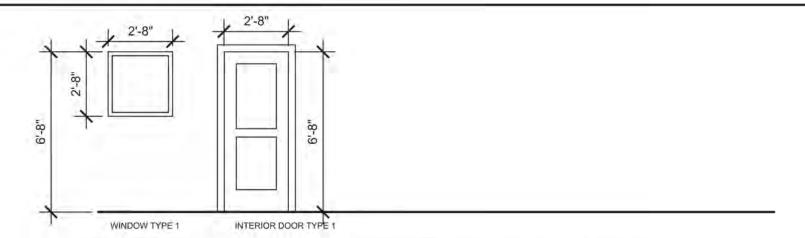


DEMOLITION PLAN KEY NOTES:

- (1) REMOVE PORTION OF WALL TO ALLOW FOR THE INSTALLATION OF
- 2 REMOVE CEILING SOFFIT ABOVE STAIR.

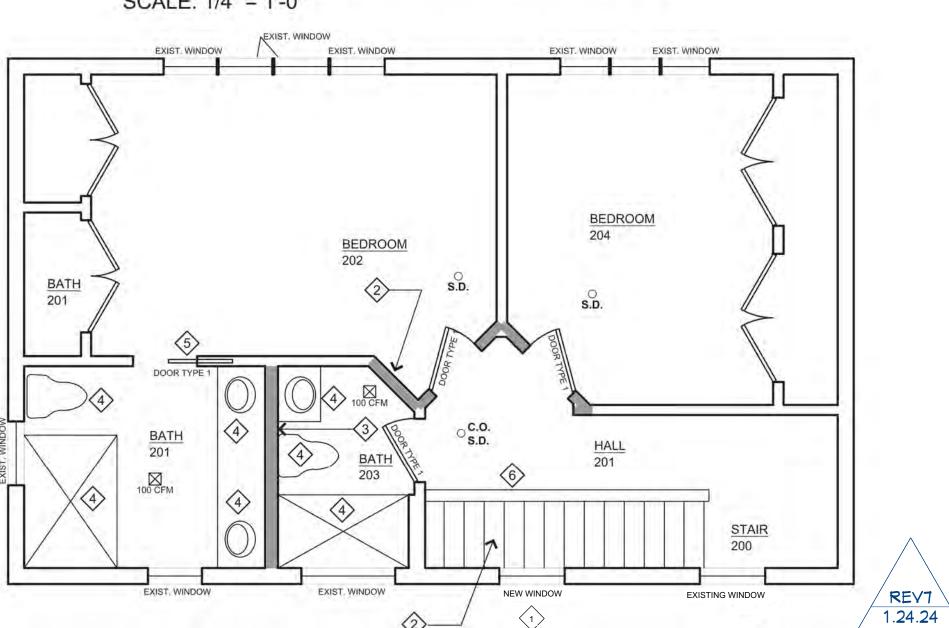
A NEW WINDOW.

- (3) REPLACE EXISTING BATHROOM PLUMBING WALL FRAMING.
- REMOVE & REPLACE PLUMBING FIXTURES WITH NEW UPDATED UNITS. MODIFY / ADD SHOWER AREA.
- (5) REWORK DOOR AND WALL, ADD NEW POCKET DOOR.
- (6) REMOVE AND REPLACE GUARDRAIL.
- 7 REMOVE & REPLACE CABINETS.



WINDOW & DOOR SCHEDULE

SCALE: 1/4" = 1'-0"



ARCHITECTURAL UPPER FLOOR SCALE: 1/4" = 1'-0"

DEMOLITION PLAN GEN. NOTES:

- 1. ALL EXISTING FLOOR COVERINGS IN AREA OF WORK TO BE REMOVED IN THEIR ENTIRETY DOWN TO (EX) TILE FLOORING, VERIFY EXTENT W/ OWNER. THE EXISTING FLOOR IS TO BE CLEANED AND PREPARED PER MANUFACTURER'S SPECIFICATIONS FOR RECEIVING NEW FLOOR COVERING.
- 2. SEE BIDDER-DESIGNED MECHANICAL DRAWINGS FOR DEMOLITION OF HVAC DUCTING / HVAC
- REMOVE ALL ABANDONED THERMOSTATS AND CONTROLLERS FOR THE HVAC SYSTEM. PATCH
- REMOVE ALL ABANDONED ELECTRICAL OUTLETS, SWITCHES, AND RELATED COMPONENTS IN AREAS OF DEMOLITION.
- 5. CAP ALL ABANDONED PLUMBING PIPING BELOW FINISH FLOOR AND PATCH AS REQUIRED.
- 6. DIMENSIONS SHALL BE FROM OUTSIDE FACE OF STUD FRAMING. UNLESS OTHERWISE
- SEE BIDDER/DESIGNED MECHANICAL, ELECTRICAL. AND PLUMBING DRAWINGS FOR EXTANT OF FINISHES TO BE REMOVED AS REQUIRED FOR THE INSTALLATION OF NEW ELECTRICAL, PLUMBING AND MECHANICAL LINES.

TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE, AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.

CONTRACTOR DEMOLITION PLAN NOTES:

B. THE CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL

AND WITH EXISTING CONDITIONS WHICH MAY IMPACT THE WORK.

THE CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE JOB SITE

- PAY ALL REQUIRED FEES FOR THE WORK. C. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND
- NATIONAL CODES AND ORDINANCES.
- D. CONTRACTOR SHALL ALSO COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES CONCERNING DEMOLITION OPERATIONS AND REFUSE REMOVAL AND DISPOSAL. CONTRACTOR TO PAY ALL DUMPING FEES.
- E. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY UNCERTAINTIES
- F. DO NOT CLOSE OR OBSTRUCT PEDESTRIAN OR VEHICULAR ACCESS EXCEPT WHERE AUTHORIZED OR INDICATED ON THE DRAWINGS, SEE SHEET A1.0 FOR ADDITIONAL INFORMATION.
- G. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADING NECESSARY TO ENSURE THE HEALTH AND SAFETY OF ALL WHO ENTER THE DEMOLITION AREA DURING THE CONSTRUCTION.
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. PROTECT SPACE ADJACENT TO DEMOLITION WORK. PROTECT EXISTING WALL, FLOOR AND CEILING FINISHES TO REMAIN. CONTAIN ALL CONSTRUCTION DUST IN
- K. ALL ITEMS TAKEN OUT DURING DEMOLITION NOT TO BE SALVAGED FOR OWNER OR REUSED IN THE WORK SHALL BE REMOVED FROM THE
- L. ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUSES.
- M. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE OR.-O.S.H.A. STANDARDS BOTH FOR ALL EMPLOYEES AND THE GENERAL
- N. PRIOR TO BEGINNING ANY DEMOLITION. A SURVEY OF THE PROPOSED DEMOLITION SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE CONNECTIONS, AND AS BUILT CONDITIONS OF THE AREA TO BE DISMANTLED. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.

REMOVE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL IN DEMOLISHED WALLS, FLOORS AND CEILINGS. NOTE THE FOLLOWING

CARMEL-BY-THE-SEA

PLANNING DIVISION

APPROVED

Permit #: DS 23-265 (Cosmero)

Date Approved: 2/9/2024

Planner: M. Waffle

- 1 REMOVE / CAP ALL PLUMBING PIPING BELOW FINISH FLOOR LINE AS
- 2. CAP FLOOR DRAINS AS REQUIRED, PATCH AND INFILL W/ CONC. AS
- 3. REMOVE ALL ABANDONED ELECTRICAL LINES BACK TO PANEL. 4. HVAC DUCTS TO REMAIN SHALL BE SECURED TO ROOF STRUCTURE
- AS REQUIRED. DETERMINE IF ANY TYPE OF HAZARDOUS CHEMICALS, FLAMMABLE MATERIALS OR SIMILAR DANGEROUS SUBSTANCE, INCLUDING ASBESTOS, HAVE BEEN USED IN ANY PIPES. WHEN THE PRESENCE OF SUCH
- SUBSTANCE IS APPARENT OR SUSPECT, TESTING AND PURGING SHALL BE PERFORMED AND THE HAZARD ABATED, REMOVED, OR ELIMINATED BY APPROVED HAZ, MAT. CONTRACTORS BEFORE DEMOLITION STARTS OR CONTINUES.
- CONTRACTOR SHALL MAINTAIN MINIMAL LIGHTING IN DEMO SPACES TO PREVENT INJURY OR HARM.
- PATCH EXISTING CONCRETE FLOOR AS REQUIRED FOR THE APPLICATIONS OF NEWLY INDICATED FINISHES.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED TO PROVIDE A UNIFORM SURFACE, MATCHING ADJACENT NEW SURFACES FOR THE APPLICATION OF NEWLY INDICATED FINISHES.
- FUMES, ETC. BY BARRIERS AND/OR PLASTIC SHEETS AS REQUIRED. DEMOLITION WORK SHALL CEASE IF THE PUBLIC IS ENDANGERED IN ANY
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AT THE SITE WORK AREA, PROTECT THEM FROM DAMAGE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.



AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

> FLOOR PLAN PROJ.#: 22068

DATE: 01.24.24

A3.0

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA

www.blsgreenbuildings.com PARCEL #: 010-152-004-000 **EXISTING NORTH ELEVATION**

SCALE: NO SCALE

COULDN' T GET A CLEAR PICTURE OF NORTH SIDE OF

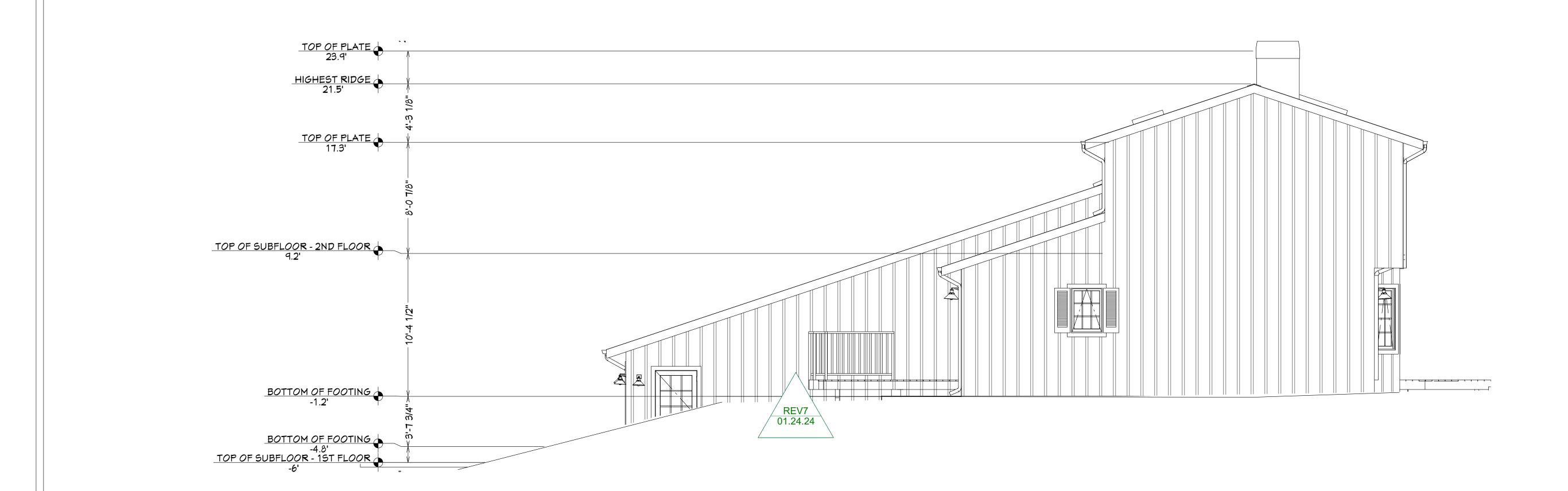




PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'

NO CHANGE IN HEIGHT EXISTING TO REMAIN



A-4.0

VERSION: 1.0 DATE: 1/31/2024

EXTERIOR

MISSION 4 SW of 10 SW REMODEL



COULDN'T GET A

CLEAR PICTURE OF

EAST SIDE OF

HOUSE

PROPOSED EAST ELEVATION

GARAGE DOOR: PAINTED (Douglas Fir)/ REV6 11.8.23 The Genuine. The Original. AIME HIGUERA istimator aime_higuera@odcsalinas.com 31.970.0487 mobile (2) 1/2X6 INTERIOR VERTICAL POSTS — W/ 3/8" V GROOVE 1/2X6+1" HEADBOARD -TRUE DIVIDED LITE W/ 1/8" CLEAR DSB GLASS-W/ 1-3/4" MULLIONS, TYP 1/2X6 HORIZONTAL, TYP. 1/2X6+1" BORDER, TYP. FLAT PANEL, TYP. 1/2X6 INTERIOR TRIM, TYP. 1/2x8 KICKBOARD W/ WATERSHED

Fixed Skylight Data & Blind:

FS Fixed Skylight VELUX Technical Product Data Sheet Designated top, bottom, and sides for installation in one direction. A06, C01, C04, C06, C08, C12, D26, D06, M02, M04, M06, M08, S01, S06 Applications less than 14-degree roof pitch Interior Accessories

FSCD - Solar powered Room darkening - double pleated shade.

FSLD - Solar powered Light filtering - single pleated

VELUX Solar Room-Darkening Double-Pleated Shade

CHEDULE EVATIONS The double pleated shade can convert day into night, which makes it ideal for rooms that require total room darkening,

 $\langle o | \langle o |$

A-5.0

VERSION: 1.0

DATE: 1/31/2024

10 T

The drawings, prepared by Le instrumentals of with respect to shall be deeme shall be deeme shall be permitt reserved rights, shall be permitt reserved rights, shall be permitt and reference i occupancy of the specifications and reference i occupancy of the specifications of by the owner on the project by other with appropriat with aportonial specifications of the specifi

DESI EISURE BY

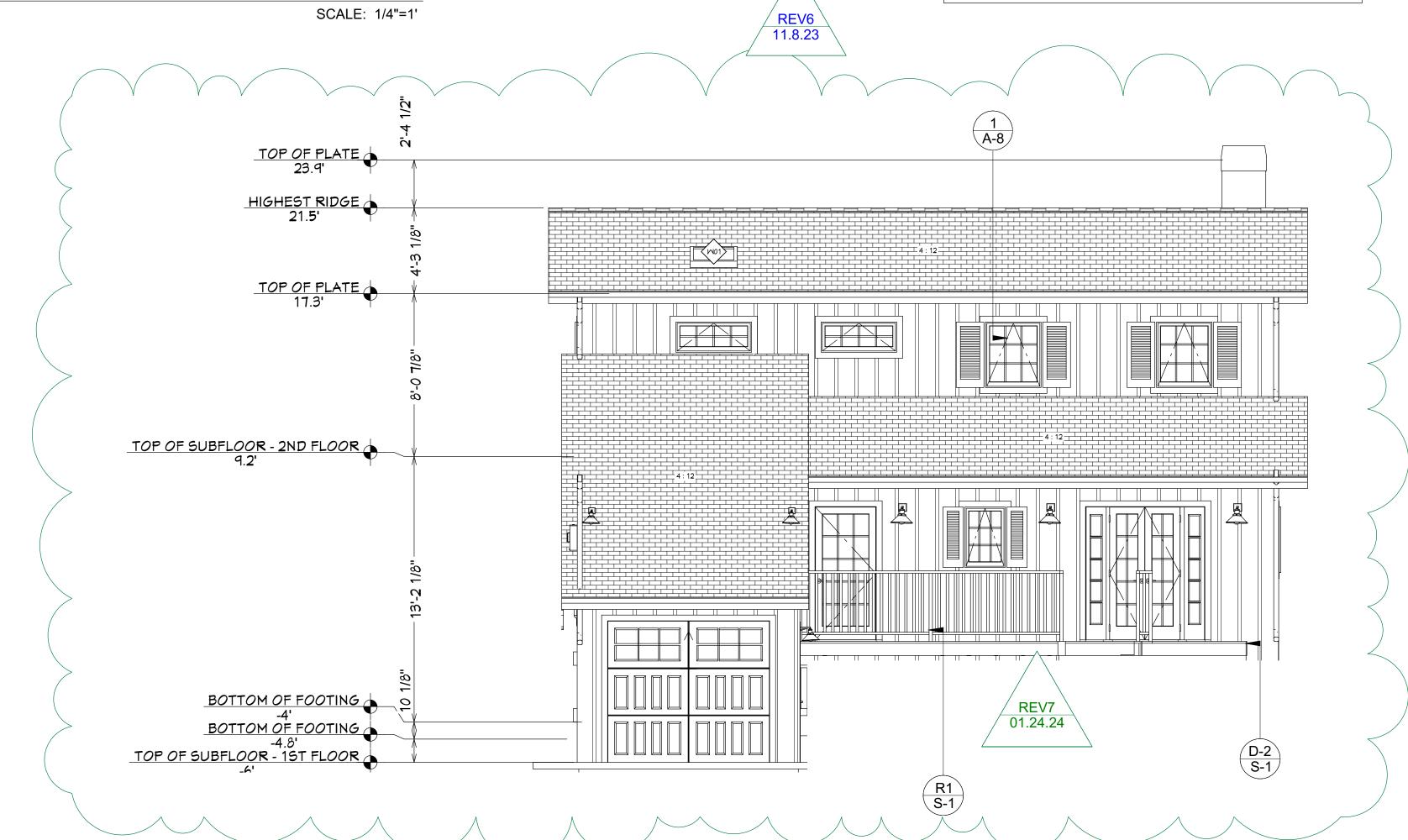
CARMEL-BY-THE-SEA PLANNING DIVISION **APPROVED**

Permit #: DS 23-265 (Cosmero) Date Approved: 2/9/2024

Planner: M. Waffle

SCALE: NO SCALE

NO CHANGE IN HEIGHT EXISTING TO REMAIN



1- WINDOW SCHEDULE (new window)

Type Sign

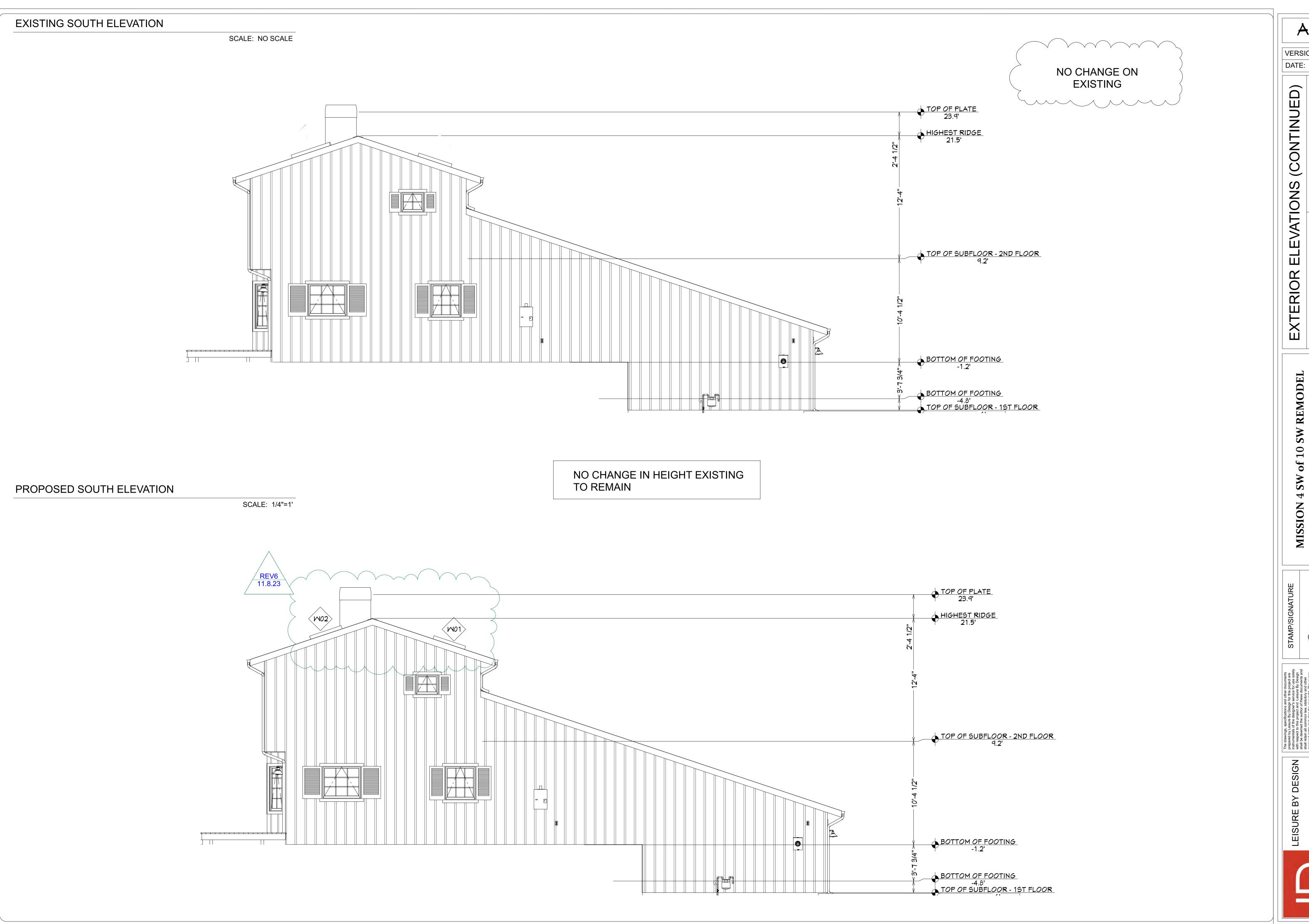
Example: FS C01 0004E 01BM05

					MINDO	M SCHEDUL	LE			
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	R/0	DESCRIPTION	HEADER	COMMENTS	
	M06	2933AM	1	2	2933AW	34"X40"	SINGLE AMNING	2"×6"×37" (2) NEW WINDO	W LIKE AND KIND
				MINDO	N SCHEDL	JLE				
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY			R/0	DESCRIPTION	HEADER	COMMENTS	
	M01	2020	1	2	2020		RECT. SKYLIGHT		replaced like and kind	REV7
	M02	2040	2	2	2040		RECT. SKYLIGHT		replaced like and kind	01.24.24

2406.4.2 GLAZING ADJACENT TO DOORS GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.

EXCEPTIONS:

- 1 DECORATIVE GLAZING. 2 WHERE THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND
- 3 WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET (914 MM) OR LESS IN DEPTH. GLAZING IN THIS APPLICATION SHALL COMPLY WITH SECTION 2406.4.3.
- 4 GLAZING IN WALLS ON THE LATCH SIDE OF AND PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION IN ONE- AND TWO-FAMILY DWELLINGS OR WITHIN DWELLING UNITS IN GROUP R-2. 2406.4.3 GLAZING IN WINDOWS GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL
- OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION 1 THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET (0.84 M2).
- 2 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
- 3 THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
- 4 ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.



A-6.0

VERSION: 1.0

DATE: 1/31/2024

SSION 4 SW OF 10 SW ARMEL, CALIFORNIA AP#



EXISTING WEST ELEVATION

SCALE: NO SCALE

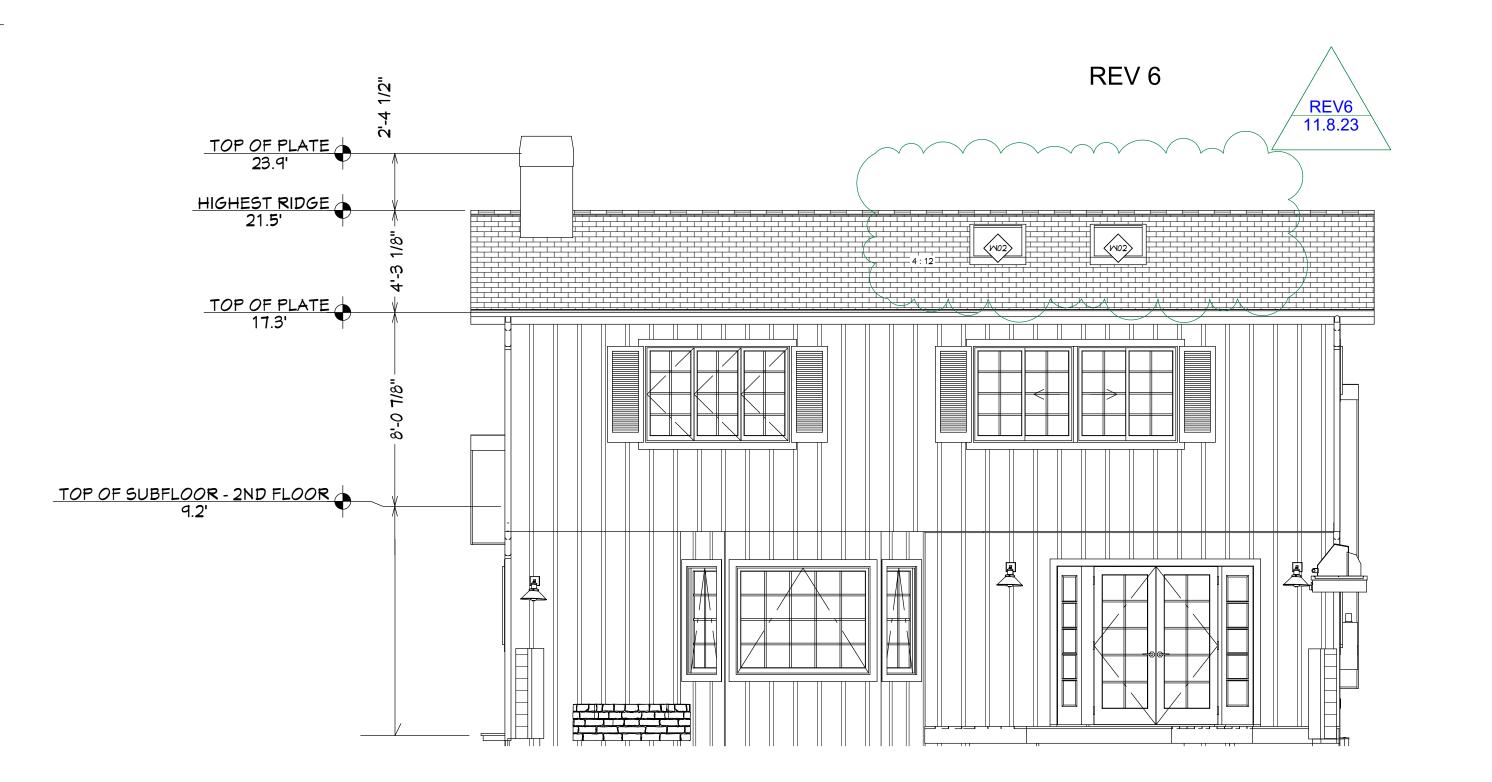
10P OF PLATE 0 HIGHEST RIDGE 21.5' 17.3' TOP OF SUBFLOOR - 2ND FLOOR 9.2'

> NO CHANGE IN HEIGHT EXISTING TO REMAIN

PROPOSED WEST ELEVATION

SCALE: 1/4"=1'

OTTOM OF FOOTING -1.2'



NO CHANGE ON

EXISTING

VERSION: 1.0 DATE: 1/31/2024

A-7.0

ELEVATIONS (CONTINUED)

EXTERIOR

MISSION 4 SW of 10 SW REMODEL SSION 4 SW OF 10 SW ARMEL, CALIFORNIA AP#



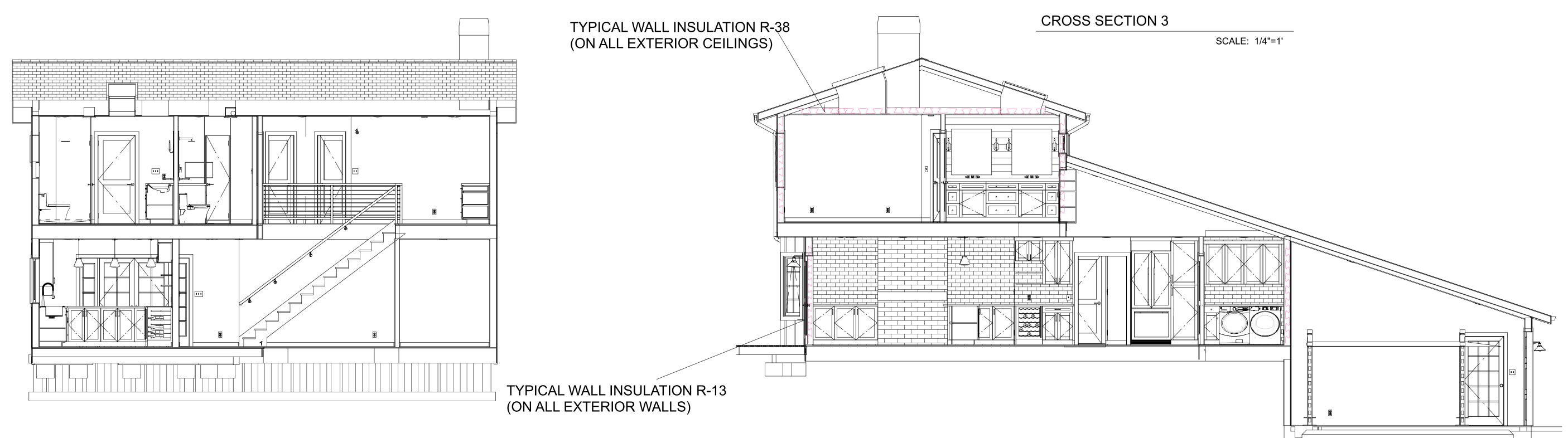


SCALE: 1/4"=1'



CROSS SECTION 2

SCALE: 1/4"=1'



A-8.0

VERSION: 1.0
DATE: 1/31/2024

DATE BY JL 01.24.24 JL

OSS SECTIONS

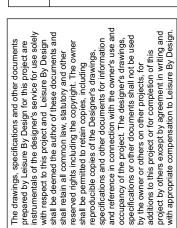
BY REV# DATE

JL REV 7 01.24.24

REV # DATE BY REV # 3L REV 7

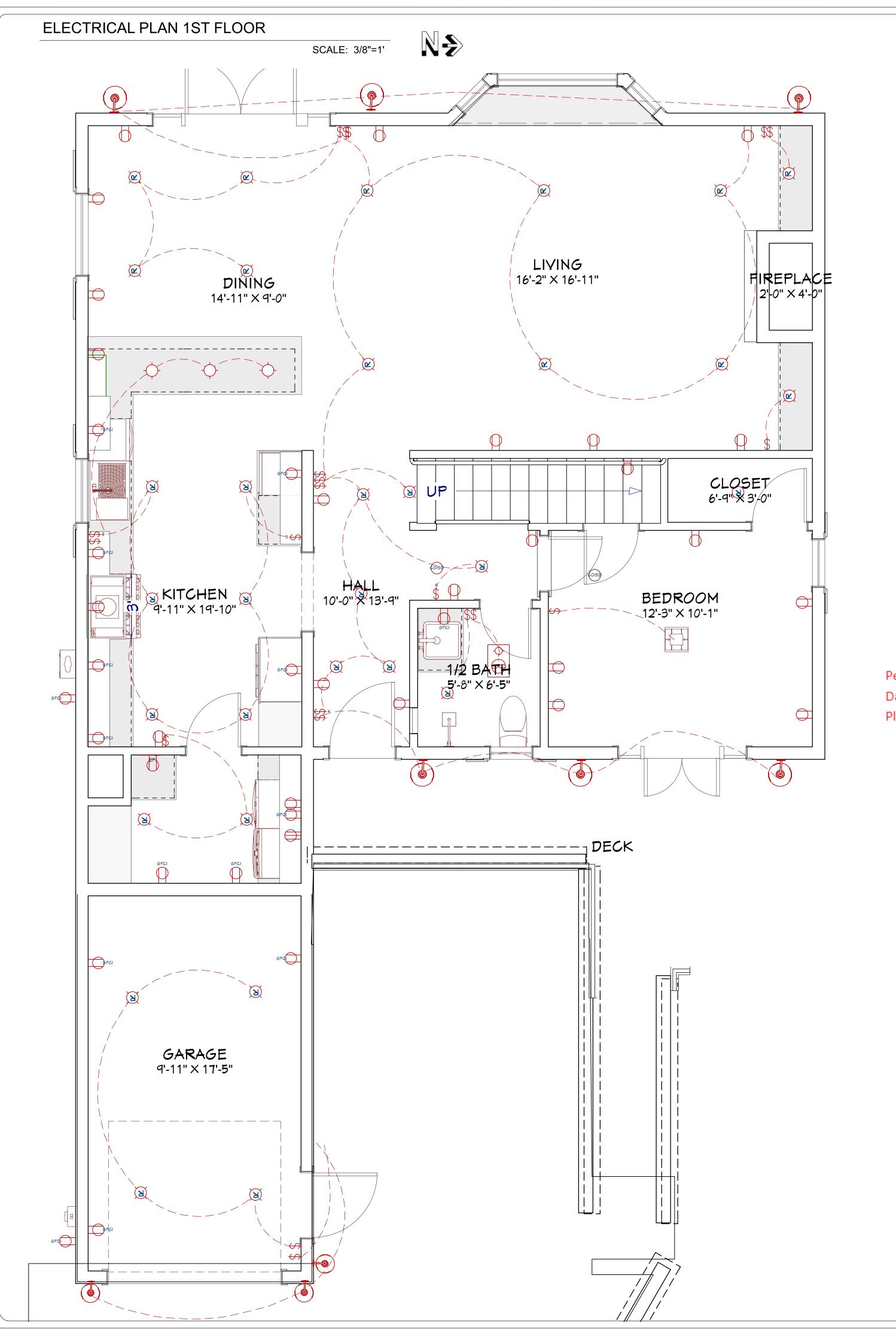
MISSION 4 SW OF 10 SW
, CARMEL, CALIFORNIA

STAMP/SIGNATURE Generny Leigune



Seaside Ca. 93955 831.601.2239 ww.leisure-bydesign.com





CARMEL-BY-THE-SEA PLANNING DIVISION **APPROVED**

Permit #: DS 23-265 (Cosmero) Date Approved: 2/9/2024

Planner: M. Waffle

DESCRIPTION	COMMENTS
	COMMENIS
2 GANG SMITCH	
220\	
3 GANG SMITCH	
3-MAY SMITCH	
4-MAY SMITCH	
COISMOKE DETECTOR	HARD WIRED
SCONCES	DOWN FACING
DUPLEX	
DUPLEX	TV PLUG
ELECTRICAL PANEL - RECESSED	
EXHAUST (LIGHT)	
FLASK PETITE PENDANT	
GFCI	
GFCI	DEDICATED
RECESSED DOWN LIGHT 6	
RECESSED DOWN LIGHT 6	AUTO ON
SINGLE POLE SMITCH	
	DESCRIPTION 2 GANG SWITCH 220V 3 GANG SWITCH 3-WAY SWITCH 4-WAY SWITCH COISMOKE DETECTOR SCONCES DUPLEX DUPLEX ELECTRICAL PANEL - RECESSED EXHAUST (LIGHT) FLASK PETITE PENDANT GFCI GFCI RECESSED DOWN LIGHT 6 RECESSED DOWN LIGHT 6

ELECTRICAL SCHEDULE

EXTERIOR LIGHTING & DATA NOTES:



8637401-15: Medium One Light Outdoor Wall Lantern Dimensions:

Extends: 17 1/8" Wire: 6 1/2" (color/Black/White) Mounting Proc.: Cap Nuts Connection: Mounted To Box 1 - Medium A19 75w Max. 120v - Not included

> Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable. Easily converts to LED with optional replacement lamps

 Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance

Meets Title 24 energy efficiency standards

Trilingual (English, Spanish, and French) (990W8_37401-BRL)

Safety Listed for Wet Locations

Instruction Sheets:

Collection: Barn Light Material List: 1 Body - Aluminum - White Featured in the decorative Barn Light collection Safety Listing:

1 A19 Medium 75 watt light bulb Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

Easily converts to LED with optional replacement lamps Meets Title 24 energy efficiency standards

11.8.23



Backplate Canopy Details: Shipping Information:

Municipal Code Restrictions

- In all residential zones, the following lighting requirements apply:
- Wall-mounted lighting shall be no higher than 10 feet above the ground and shall not exceed 25 watts per fixture (approximately 375 lumens).
- Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts per fixture (approximately 225 lumens). Landscape lights shall be spaced at least 10 feet apart. No lighting may be used to accent trees, walls, fences, etc.
- No lighting is permitted upon City property or directed towards City property, including the Right of Way.



Sunlite 40457-SU LED R14 Mini Reflector Floodlight Bulb 4 Watts (25W Equivalent), 250 Lumens, Medium (E26) Base, Dimmable, ETL Listed, 27K-Warm White, 3 pack

\$16.99



1st floor LECTRICAL

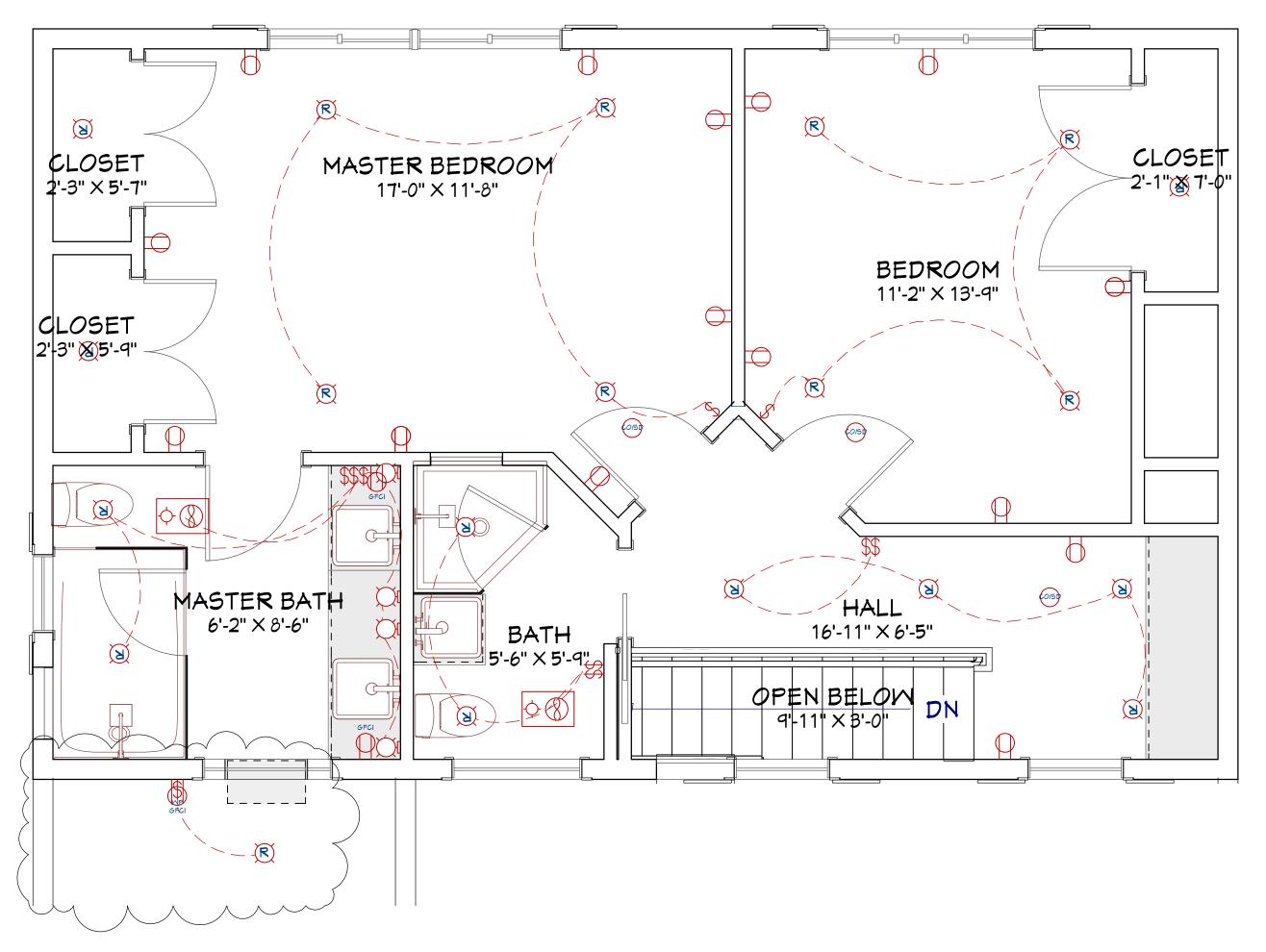
VERSION: 1.0

DATE: 1/31/2024

14 SW OF 10 SW EL, CALIFORNIA AP# 4

SCALE: 3/8"=1'





	ELECTRICAL SCHEDULE	
2D SYMBOL	DESCRIPTION	COMMENTS
\$\$	2 GANG SMITCH	
\$ ⋈ _P	MEATHERPROOF SMITCH	
\$\$\$	3 GANG SMITCH	
(OIST)	COISMOKE DETECTOR	HARD WIRED
Ä	CANDELABRA SCONCE	
\Box	DUPLEX	
Ь	DUPLEX	TY PLUG
⊗ ♦	EXHAUST (LIGHT)	
GFCI	GFCI	
R	RECESSED DOWN LIGHT 6	
R	RECESSED DOWN LIGHT 6	AUTO ON
\$	SINGLE POLE SMITCH	

ELECTRICAL & DATA NOTES

HOMEOWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO,

1 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, GARAGES AND EXTERIOR LOCATIONS SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

2 PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

3 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.

4 ELECTRICAL RECEPTACLE OUTLETS AT COUNTERTOPS 44" MIN. FROM FINISHED FLOOR. CBC 11B-308.2.2

5 ELECTRICAL RECEPTACLE OUTLETS TO BE 44" MAX. AND 15" MIN. ABOVE FINISHED FLOOR. CBC 11B-308.2.1

6 KITCHEN AND DINING MUST HAVE A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS. KITCHEN COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" OR WIDER, NOT GREATER THAN 4'-0" ON CENTER AND WITHIN 24" OF THE END OF ANY COUNTER SPACE. CEC 210.52, 210.11(C)(1).

7 BATHROOM RECEPTACLE OUTLETS TO BE SUPPLIED BY A DEDICATED 20 AMP BRANCH CIRCUIT. PROVIDE MINIMUM ONE 20-AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON CIRCUIT. (WHERE A 20-AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OTHER OUTLETS, LIGHTING WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED BY THIS CIRCUIT). CEC 210.11(C)(3) AND EX. 210.23(A)(2).

8 BATHROOM EXHAUST FAN VENTED TO THE EXTERIOR FOR EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR COMBINATION FOR PURPOSE OF HUMIDITY CONTROL WITH A MINIMUM OF 50 CFM. IF BATH FAN INCLUDES A LIGHT, THEY MUST BE SWITCHED SEPARATELY. BATH FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. CRC 303.3.1, CBC 1203.4.2.1, CMC 4.02.5

9 LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. JA8-2016-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.

10 ALL RECESSED LIGHTS IN OR ABOVE SHOWERS SHALL BE WET LOCATION RATED

11 ELECTRICAL PANEL BOARDS INSTALLED OUTDOORS NEED TO BE WEATHERPROOF AND LISTED FOR DAMP/WET LOCATIONS. CEC 408.37, 312.2(A)

12 DWELLING RECEPTACLES ON 120 VOLT 15 AND 20 AMP CIRUITS SHALL BE TAMPER RESISTANT PER CEC 406.12

13 ELECTRICAL RECEPTACLES SHALL BE 48" MAX - 15" MIN. ABOVE FINISHED FLOOR.

14 ALL LIGHT FIXTURES TO BE LED OR SIMILAR HIGH EFFICIENCY UNITS.

15 ALL NEW OR RECONFIGURED 120 V, SINGLE-PHASE, 15 AND 20 AMP BRANCH CIRCUITS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS IN ACCORDANCE WITH CEC 210.12. EXCEPT THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.

16 AT LEAST ONE LUMINAIRE IN ALL BATHROOMS, GARAGES, UTILITY AND LAUNDRY ROOMS SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR.

17 A BATHROOM WHICH CONTAINS A BATHTUB OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: HAVE A MINIMUM VENTILATION RATE OF 50 CFM, BE ENERGY STAR COMPLIANT AND MUST BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN.

18 DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8
(INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES AND THEY SHALL COMPLY WITH SECTION 119(D)
AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET; LUMINAIRES IN HALLWAYS.

19 AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER PER CEC 210.

20 BRANCH CIRCUITS FOR LIGHTING AND APPLIANCES, INCLUDING MOTOR OPERATED APPLIANCES, SHALL BE PROVIDED TO SUPPLY THE LOADS CALCULATED IN ACCORDANCE WITH CEC 210.10, CEC 210.11. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, 2 OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS REQUIRED BY 210.52(B), CEC 210.11(1)

21 SEPARATE BRANCH CIRCUIT FOR DISHWASHER SHALL BE GFCI PROTECTED.

22 PERMANENTLY INSTALLED LUMINARIES IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICIENCY LUMINARIES, AT LEAST ONE LUMINAIRE IN THESE ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH CEC119(D)

23 RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.

24 KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND AND PENINSULA COUNTERTOPS, SHALL HAVE GFCI AND AFCI PROTECTION.

25 RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.

26 KITCHEN, BREAKFAST, DINING ROOMS AND SIMILAR AREAS OF A DWELLING UNIT SHALL HAVE TWO (2) OR MORE SMALL APPLIANCE BRANCH CIRCUITS REQUIRED BY N.E.C. SECTIONS 210.11(C)(1), 210.52(A)(C).

27 PROVIDE AT LEAST ONE 20A/120V GFCI CIRCUIT FOR OUTLETS AT EACH BATH VANITY AS PER N.E.C.210-11(C)3. CIRCUIT SHALL HAVE NO OTHER OUTLETS.

28 LUMINAIRES INSTALLED IN CLOSETS SHALL BE 12" FROM EDGE OF STORAGE SHELF FOR INCANDESCENT OR LED SURFACE MOUNTED OR 6" RECESSED FLUORESCENT, INCANDESCENT OR LED.

29 ALL EXISTING AREAS OF THE RESIDENCE WHERE WORK IS NOT TO OCCUR, ELECTRICAL SCOPE IS ASSUMED TO BE COMPLETE AND IN GOOD WORKING ORDER U.O.N.
30 PER 2019 CALIFORNIA ENERGY CODE, SECTION 150(K), ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.

31 THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL INTERIOR DUCT, VENTED TO OUTDOORS, HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK-DRAFT DAMPER.

E-2

VERSION: 1.0

DATE: 1/31/2024

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nd floor	DATE	01.24.24	
PLAN 2nd floor	REV#	REV 7	
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MISSION 4 SW OF 10 SW , CARMEL, CALIFORNIA AP#

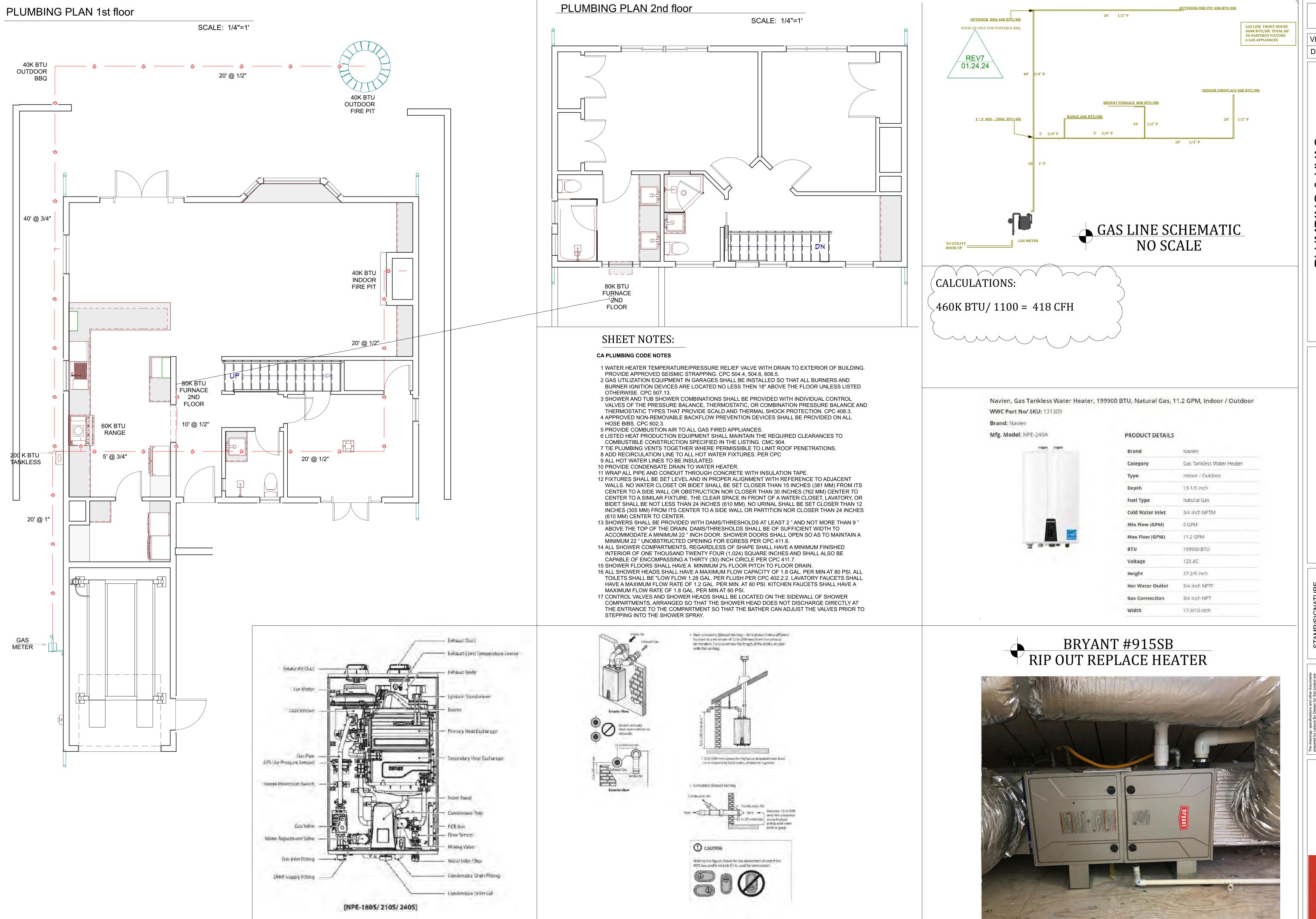
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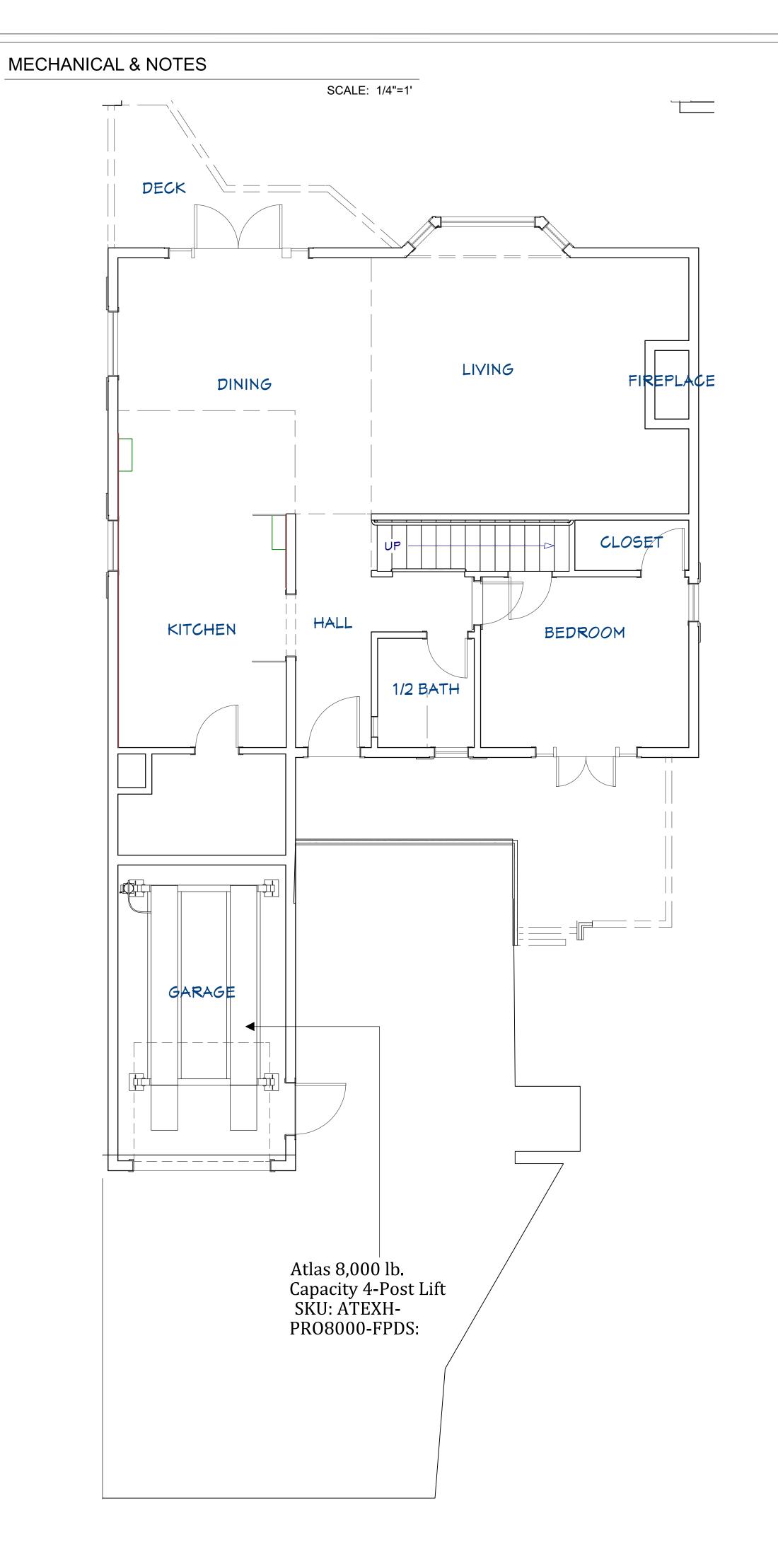
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, CARMEL, CALIFORNIA

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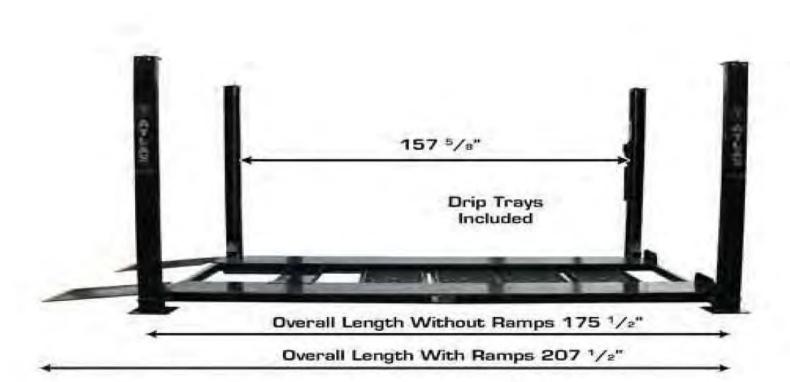




Atlas 8,000 lb. Capacity 4-Post Lift SKU: ATEXH-PRO8000-FPDS:

LIFT SPECIFICATIONS







TOOLS REQUIRED FOR INSTALL

The installation of this lift is relatively simple and can be accomplished by two men in a few hours.

- The following tools and equipment are needed:
 - Set of metric wrenches and/or sockets Adjustable wrench

ISO 32 Light Hydraulic Oil (approx. 3 gallons)

- Locking pliers 25' Tape measure Step Ladder
- INSTALLATION PROCEDURE
- STEP 1. Remove plastic wrap from top runway and remove all hardware, safety lock rods, hoses and cables.
- You should also find this manual in the top runway. STEP 2. Find the end of the hose that is already mounted to the cylinder and tighten the elbow that attaches the hose
- to the side of the runway using the jam nut. Also, check the fitting at the cylinder end and make sure it is tight. STEP 3. Extend cylinder rod out of the cylinder to about 18" from end of runway. This can be done by pulling or pushing on
- the ½" plate on the end of the cylinder. Make sure that the ½" plate is threaded tight against the cylinder rod. Also, be sure the ¼" plate is on the rod and hand tighten the lock nut on the end of the cylinder.
- Unbolt the top runway from the shipping plates at each end of the package. Be sure to secure runway with hoist to prevent runway from falling. Runway will need to be turned over so it is no longer upside down. Place this runway in your bay with the hydraulic fitting facing towards the outside (see Page 1).
- STEP 5. Next, unbolt the four columns from the package and place the column with the power unit mounting bracket at the end of the previously unpacked runway nearest to the hydraulic fitting. Stand these columns on their base plates with the locking ladders facing to the outside (front to rear) and pulleys toward the inside (see Fig. 1).
- Unpack the bottom runway. Lay the approach ramps near the approach end of the lift and set out the remaining parts away from the lift. Place the two cross rails at each end of the lift with the locks toward the outside (front or rear) of the lift (see Fig. 1). Remove the shipping brackets from the bottom runway and turn over placing the runway in the bay next to the other runway with the "L" shaped side facing the "L" shaped side of the other runway.
- STEP 7. If you have a means for securely lifting cross rails high enough to lower them into the top of the columns, then remove the top plates from the top of the columns while the columns are standing. If you don't have a means for securely lifting them, then you will need to lay the columns down and remove the top plates to allow the cross rails to be slid into the columns.
- Slide each cross rail into the front or rear two columns by holding the lock lever down, to allow the rail to slide past the locking positions. Leave the cross rail locked in the lowest position on the column. Repeat this step for the other cross rails (see Fig. 1).
- Position the front cross rail columns at 170" from the rear cross rail columns by measuring from the outsides of the columns. Square the lift by measuring diagonally between the right, front column to the same position on the lift rear column. Compare your measurement between the left front column and the right rear column. This should be within 1/2" to allow some forgiveness to bolt on runways.
- STEP 10. Lift the runways onto the cross rails and bolt them in place using the 3" holes towards the outside of the cross rails. The four drop-in ramp plates will be used with the spacer side facing the lift and through-bolted from the outside of the cross rail, through the runway using bolts provided with washers. Lock washers and nuts (see Fig. 2).
- STEP 11. After runways are bolted on, install the column top plates back to their original columns and tighten.

- STEP 12. Lay out all cables and measure from end to end to determine correct cable positions (see Fig. 3). STEP 13. Since the nub end of the cable is easier to feed through the pulley, start with the pulley at the end of the cross bar and work your way back to the cylinder (see Fig. 3).
- Install cable numbs into appropriate slots in ½" plate and secure with slots on ¼" plate. Tighten the nubs so the nylock nut is fully threaded onto the head of the cylinder. This cable bracket should still be able to move freely on the cylinder head.
- Run the threaded cable ends into the hole in the top caps and secure with washer and nylock nut Hand tighten only, final adjustment will be made later. Do tighten the nylock nut on the end of the cylinder at this time.

HYDRAULIC ASSEMBLY

- STEP 16. Be sure wiring is in compliance with your local electrical codes.
- STEP 17. Rind the four 5/16" bolts, nuts and lock washers and attach the power unit to the mounting bracket on the column.
- Remove dust cover from the port on the side of the power unit and attach the "0" ring elbow. Do not over tighten. The backing nut and "O" ring will complete the seal to the power unit.
- Install the 3/8" hose to the fitting on the side of the runway and connect opposite end to the fitting on the power unit.

Tighten JIC fittings carefully, do not over tighten.

LOCK LINKAGE ASSEMBLY STEP 20. The single point safety lock is a system of connecting rods and linkage that disengage the four lock latches that secure the lift to each column.

> Locate the six rods: Also locate hardware: a. 2 - long rods

b. 2 - short rods c. 1 – handle rod

d. 1-Trod

a. 1 - rod coupling with 2 jam nuts b. 8 – heim ends with connecting nuts and bolts

c. 2-spacers

STEP 21. Slip spacer over threaded end of handle rod and insert rod into hole on cross bar near power column.

Slip spacer over threaded end of T-rid and insert end into hole located on opposite cross rail,

taking care to run rod through rod guide located under ramp. STEP 23. Thread jam nuts onto ends of handle rod and T-rod. Attach the handle rod to the T-rod using the rod coupling. Adjust coupling to take the slack out of the rods. The rods should remain free enough to move with no slack. Do night tighten coupler or lock nuts at this time.

STEP 24. Locate the two long rods and remove on end from each rod and slide off the eye bolt. Attach eye bolts to center of cross rails by threading 1/2 of the way in and tighten jam nut.

Attach short rod on the T side lock and to the bottom of the T and hand tighten. Slide long rod through the eye bolt and attach one end to the top side of T. Attach the other end of the long rod to the lock on the other side. Repeat this process for the other end of the lift. The locking rods should be in perfect alignment since the lift is still sitting in the locked position. Tighten all jam nuts, making sure the linage does not bind.

Go back to the coupler that attaches the T rod to the handle rod and tighten the jam nuts. Do no adjust coupler, only tighten the jam nuts.

FINAL ADJUSTMENTS

STEP 27. Fill the tank with three gallons of R & O, ISO32 Hydraulic Oil (Available at any auto supply store).

STEP 28. Check over cables and make sure they are all in their pulleys. Press the up switch on the power unit and the fluid will start to pump into the cylinder. The lift will eventually rise after the cylinder fills up. Once the lift is raised of the locks, release the up switch and pull the lock lever to disengage the locks and lower the lift with the lowering lever on the power unit. Hold the lever after the lift reaches the very bottom until you hear all the air escape.

STEP 29. Raise the lift up to the point where the square blocks above the lock aligns with the second column lock, and stop. Look at each column lock to determine the highest point. Adjust the cable on the highest point column until three threads pass through the nylock nut. Now adjust the other three cables to match this height. NOTE: There will some initial stretching of the cables in the beginning. It will be necessary to readjust the cables a week after first use, then every six months thereafter. Run the lift up and down a few times to insure that the locks are engaging uniformly and that the safety release mechanisms are functioning properly. Read just if necessary.

After the cables are installed and adjusted, unbolt the sheave covers (Item # 69), Figure # 2. Slide the sheave covers up the cable until you can access the cable sheave. Install the 8mm cable retention bolts into the threaded holes by the sheaves at the end of the crossbeams (Item # 101and 102) Figure # 2. Assure they extend across the width of the sheaves and the bolt heads do not interfere with the sheaves. Install the 8mm lock nuts to the end of the bolts to lock them into position. Re-install sheave covers.

M-1

VERSION: 1.0

DATE: 1/31/2024

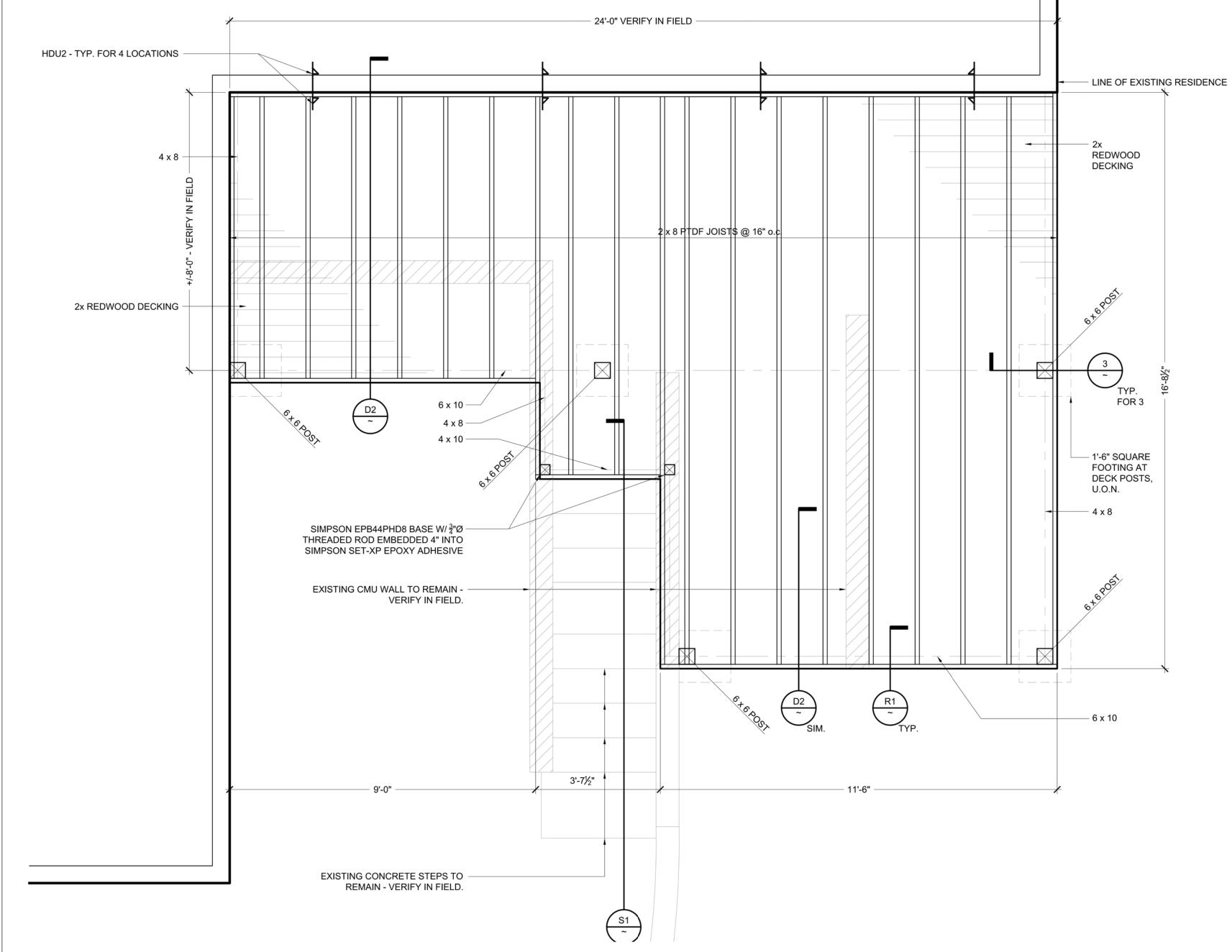
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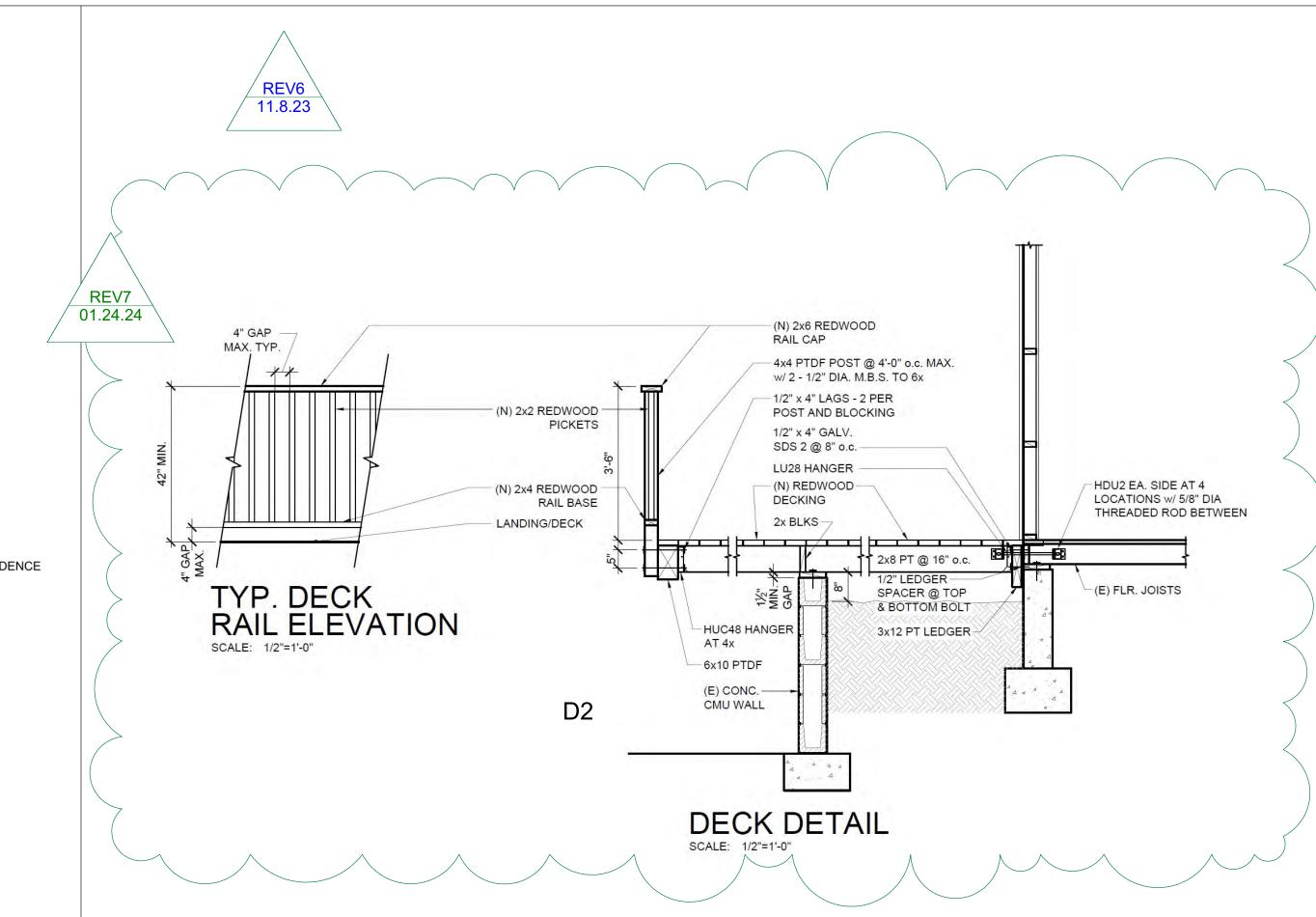
SION 4 SW OF 10 SW ARMEL, CALIFORNIA AP#

SW REMODEL



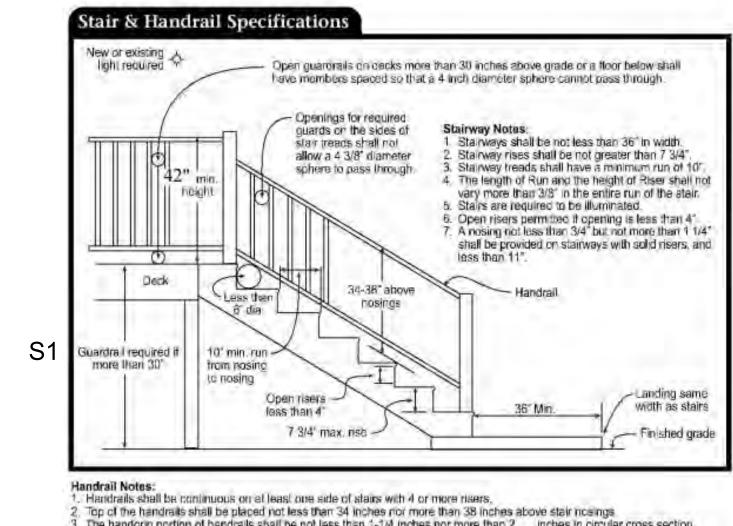








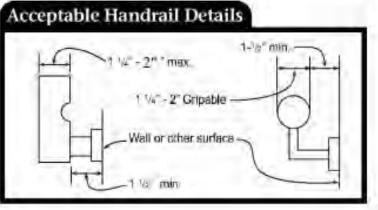
ALL HAND RAILS TO BE FROM REDWOOD WITH STAIN

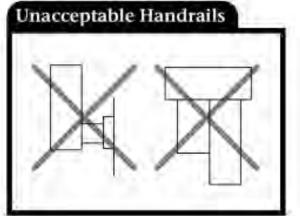


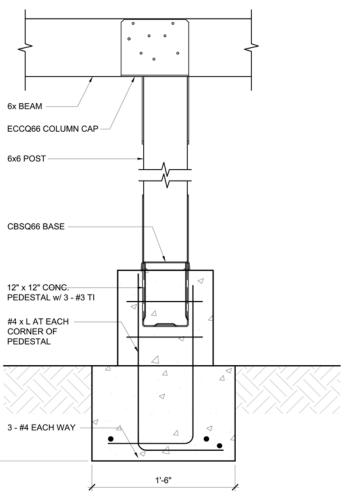
3. The handgrip portion of handralls shall be not less than 1-1/4 inches nor more than 2

4. Handralls shall be placed not less than 1-1/2 inches from any wall or other surface.

5. Handralls to be returned to wall post or safty terminal.







NEW FOOTING DETAIL

VERSION: 1.0

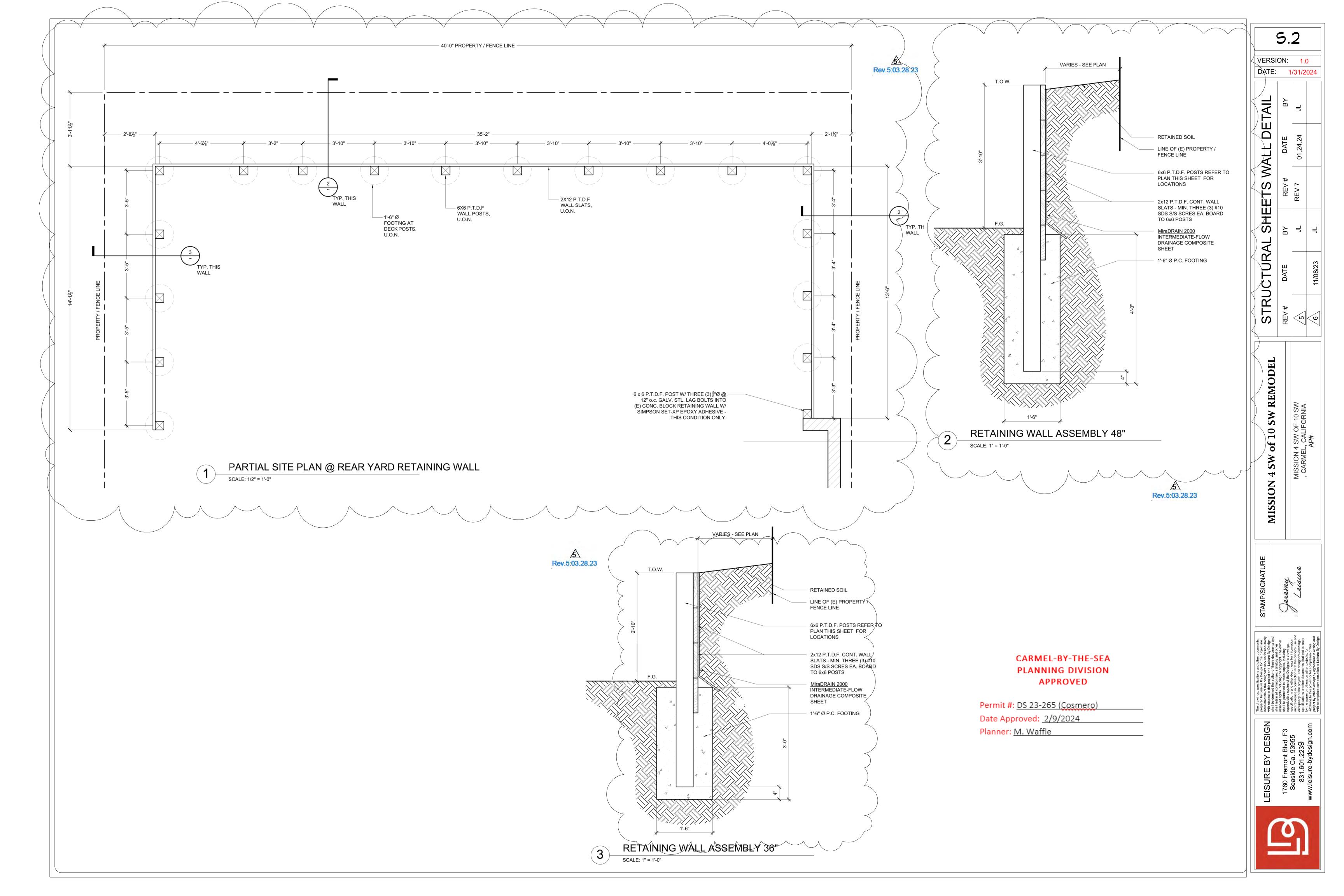
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SION 4 SW OF 10 SW ARMEL, CALIFORNIA AP#

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CALIFORNIA GREEN BUILDING STANDARDS CODE

IDATORY MEASURES, SHEET 1 (June 2022)

		RESID	DENTIAL	MAN
Y N/A	RESPON. PARTY			Y N/A
		/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents and 94701.	s are specified in CCR, Title 17, Sec	tions 94700
		MOISTURE CONTENT. The weight of the water in wood expressed i	n norcentage of the weight of the ex	van dry wood
		PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR article. The PWMIR is the total product reactivity expressed to hundre product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title	for all ingredients in a product subjection of a gram of ozone formed per	ect to this
		REACTIVE ORGANIC COMPOUND (ROC). Any compound that has ozone formation in the troposphere.	s the potential, once emitted, to conf	tribute to
		VOC. A volatile organic compound (VOC) broadly defined as a chem with vapor pressures greater than 0.1 millimeters of mercury at room hydrogen and may contain oxygen, nitrogen and other elements. See	temperature. These compounds type	ains or rings oically contain
		4.503 FIREPLACES 4.503.1 GENERAL . Any installed gas fireplace shall be a direct-vent woodstove or pellet stove shall comply with U.S. EPA New Source Pour applicable, and shall have a permanent label indicating they are certificated pellet stoves and fireplaces shall also comply with applicable local order.	erformance Standards (NSPS) emis fied to meet the emission limits. Wo	ssion limits as
⊠ □	CONTR- ACTOR	4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF ME CONSTRUCTION. At the time of rough installation, during storage o startup of the heating, cooling and ventilating equipment, all duct and openings shall be covered with tape, plastic, sheet metal or other me reduce the amount of water, dust or debris which may enter the syste	n the construction site and until fina other related air distribution compo thods acceptable to the enforcing a	l nent
⊠□	CONTR- ACTOR	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish mater	ials shall comply with this section.	
	CONTR- ACTOR	4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sea requirements of the following standards unless more stringent management district rules apply:		
		Adhesives, adhesive bonding primers, adhesive primeshall comply with local or regional air pollution controus applicable or SCAQMD Rule 1168 VOC limits, as shear Such products also shall comply with the Rule 1168 compounds (chloroform, ethylene dichloride, methyletricloroethylene), except for aerosol products, as specific products.	ol or air quality management district lown in Table 4.504.1 or 4.504.2, as prohibition on the use of certain tox ene chloride, perchloroethylene and	rules where s applicable. ic
		 Aerosol adhesives, and smaller unit sizes of adhesive units of product, less packaging, which do not weigh than 16 fluid ounces) shall comply with statewide VC prohibitions on use of certain toxic compounds, of C commencing with section 94507. 	more than 1 pound and do not con DC standards and other requiremen	sist of more ts, including
	CONTR- ACTOR	4.504.2.2 Paints and Coatings. Architectural paints and coat the ARB Architectural Suggested Control Measure, as shown i apply. The VOC content limit for coatings that do not meet the listed in Table 4.504.3 shall be determined by classifying the coating, based on its gloss, as defined in subsections 4.21, 4.3 Board, Suggested Control Measure, and the corresponding Flatable 4.504.3 shall apply.	n Table 4.504.3, unless more string definitions for the specialty coating pating as a Flat, Nonflat or Nonflat-16, and 4.37 of the 2007 California A	ent local limits s categories High Gloss sir Resources
⊠ □	CONTR- ACTOR	4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and Limits for ROC in Section 94522(a)(2) and other requirements, compounds and ozone depleting substances, in Sections 9452 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perce 8, Rule 49.	including prohibitions on use of cert2(e)(1) and (f)(1) of California Codareas under the jurisdiction of the B	tain toxic e <i>of</i> eay Area Air
	CONTR- ACTOR	4.504.2.4 Verification. Verification of compliance with this see enforcing agency. Documentation may include, but is not limited.		st of the
		 Manufacturer's product specification. Field verification of on-site product containers. 		
		TABLE 4.504.1 - ADHESIVE VOC LIM	IT 1,2	
		(Less Water and Less Exempt Compounds in Gram		
		ARCHITECTURAL APPLICATIONS	VOC LIMIT	
		INDOOR CARPET ADHESIVES	50	
		CARPET PAD ADHESIVES	50	
		OUTDOOR CARPET ADHESIVES	150	
		WOOD FLOORING ADHESIVES	100	
		RUBBER FLOOR ADHESIVES	60	
		SUBFLOOR ADHESIVES	50	
	1	S S S S S S S S S S S S S S S S S S S		

(Less Water and Less Exempt Compounds in Gran	ns per Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

^{1.} IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

(Less Water and Less Exempt Compounds in Grams per Liter)		
Less water and Less Exempt Compounds in Gra	arris per Liter)	
SEALANTS	VOC LIMIT	
ARCHITECTURAL	250	
MARINE DECK	760	
NONMEMBRANE ROOF	300	
ROADWAY	250	
SINGLE-PLY ROOF MEMBRANE	450	
OTHER	420	
SEALANT PRIMERS		
ARCHITECTURAL		
NON-POROUS	250	
POROUS	775	
MODIFIED BITUMINOUS	500	
MARINE DECK	760	
OTHER	750	

NONFLAT-HIGH GLOSS COATINGS SPECIALTY COATINGS ALUMINUM ROOF COATINGS	50 100 150
ALUMINUM ROOF COATINGS	
SPECIALTY COATINGS ALUMINUM ROOF COATINGS	150
ALUMINUM ROOF COATINGS	
ALUMINUM ROOF COATINGS BASEMENT SPECIALTY COATINGS	
BASEMENT SPECIALTY COATINGS	400
	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS 1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

Less Water and Less Exempt Compounds in Gr	ams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
THER	750

TABLE 4.504.3 - VOC CONTENT LIM ARCHITECTURAL COATINGS 2,3		
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS		
COATING CATEGORY	VOC LIMIT	
LAT COATINGS	50	
ION-FLAT COATINGS	100	
ONFLAT-HIGH GLOSS COATINGS	150	
PECIALTY COATINGS		
ALUMINUM ROOF COATINGS	400	
ASEMENT SPECIALTY COATINGS	400	
ITUMINOUS ROOF COATINGS	50	
ITUMINOUS ROOF PRIMERS	350	
OND BREAKERS	350	
CONCRETE CURING COMPOUNDS	350	
CONCRETE/MASONRY SEALERS	100	
PRIVEWAY SEALERS	50	
PRY FOG COATINGS	150	
AUX FINISHING COATINGS	350	
IRE RESISTIVE COATINGS	350	
LOOR COATINGS	100	
ORM-RELEASE COMPOUNDS	250	
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	
IIGH TEMPERATURE COATINGS	420	
NDUSTRIAL MAINTENANCE COATINGS	250	
OW SOLIDS COATINGS 1	120	
AGNESITE CEMENT COATINGS	450	
MASTIC TEXTURE COATINGS	100	
METALLIC PIGMENTED COATINGS	500	
MULTICOLOR COATINGS	250	
RETREATMENT WASH PRIMERS	420	
RIMERS, SEALERS, & UNDERCOATERS	100	
REACTIVE PENETRATING SEALERS	350	
ECYCLED COATINGS	250	
COOF COATINGS	50	
UST PREVENTATIVE COATINGS	250	
	250	
HELLACS	720	
DPAQUE	730	
SPECIALTY PRIMERS, SEALERS &	550 100	
STAINS	250	
STONE CONSOLIDANTS	450	
WIMMING POOL COATINGS	340	
RAFFIC MARKING COATINGS	100	
TUB & TILE REFINISH COATINGS	420	
VATERPROOFING MEMBRANES	250	
VOOD COATINGS	275	
VOOD COATINGS VOOD PRESERVATIVES	350	
AOOD LIVEOFUANTIAES	330	

GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER &	
XEMPT COMPOUNDS	

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

TABLE 4.504.5 - FORMALDEHYDE L	IMITS 1
MAXIMUM FORMALDEHYDE EMISSIONS IN PAR	RTS PER MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD 2	0.13
1. VALUES IN THIS TABLE ARE DERIVED FROM BY THE CALIF. AIR RESOURCES BOARD, AIR T MEASURE FOR COMPOSITE WOOD AS TESTEI WITH ASTM E 1333. FOR ADDITIONAL INFORM CODE OF REGULATIONS, TITLE 17, SECTIONS 93120.12.	OXICS CONTROL D IN ACCORDANCE IATION, SEE CALIF.

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM

CONTRACTOR

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product

requirements of the Carpet and Rug Institute's Green Label program.

THICKNESS OF 5/16" (8 MM).

formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

- Product certifications and specifications
- 2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- 5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with

- a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.
- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:
- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
- Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST CONTRACTOR 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

eter Strauhal, CEO

www.blsgreenbuildings.com

AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA GREEN CODE

PROJ.#: 22068 DATE: 08.02.22

 ☑ ☐ CONTRACTOR
 702.2 SPECIAL INSPECTION [HCD].
 When required by the enforcing agency, the owner or the

 responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence 1. Carpet and Rug Institute's Green Label Plus Program. to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, considered by the enforcing agency when evaluating the qualifications of a special inspector: February 2010 (also known as Specification 01350). NSF/ANSI 140 at the Gold level.
 Scientific Certifications Systems Indoor Advantage TM Gold. 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. **4.504.3.1 Carpet cushion.** All carpet cushion installed in the building interior shall meet the 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 1. Special inspectors shall be independent entities with no financial interest in the materials or the 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving project they are inspecting for compliance with this code. resilient flooring shall comply with one or more of the following: 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a . Certification under the Resilient Floor Covering Institute (RFCI) FloCBCore program. recognized state, national or international association, as determined by the local agency. The area of certification 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, shall be closely related to the primary job function, as determined by the local agency. February 2010 (also known as Specification 01350). Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. **4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for **703 VERIFICATIONS** ☐ CONTRACTOR 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested mited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other by the enforcing agency. Documentation shall include at least one of the following: methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

4.507 ENVIRONMENTAL COMFORT

CHAPTER 7

702 QUALIFICATIONS

1. State certified apprenticeship programs.

the appropriate section or identified applicable checklist.

4. Programs sponsored by manufacturing organizations.

5. Other programs acceptable to the enforcing agency.

4.507 ENVIRONMENTAL COMPONTS

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

ASHRAE handbooks or other equivalent design software or methods.

Equipment Selection), or other equivalent design software or methods.

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2022 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

Exception: Use of alternate design temperatures necessary to ensure the system functions are

installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

 ☑ ☐ CONTRACTOR
 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper

sized, designed and have their equipment selected using the following methods:

^{2.} FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

^{2.} THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS

CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2022)

4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space

shall be located in the common use parking area and shall be available for use by all residents.

Y N/A RESPON PARTY **CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL** DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS)** When EV chargers are installed, EV spaces DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: **EFFICIENCY** the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, 1. The EV space shall be located adjacent to an accessible parking space meeting the 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2. 4.303.1.3. requirements of the California Building Code, Chapter 11A, to allow use of the EV charger 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in from the accessible parking space. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with 2. The EV space shall be located on an accessible route, as defined in the California Building 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to cement mortar, concrete masonry or a similar method acceptable to the enforcing additions or alterations of existing residential buildings where the addition or alteration increases the Code. Chapter 2, to the building. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving building's conditioned area, volume, or size. The requirements shall apply only to and/or within the 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final specific area of the addition or alteration. **Exception:** Electric vehicle charging stations designed and constructed in compliance with the 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent completion, certificate of occupancy, or final permit approval by the local building department. See Civil California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Code Section 1101.1. et seq., for the definition of a noncompliant plumbing fixture, types of residential of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or buildings affected and other important enactment dates. or meet a more stringent local construction and demolition waste improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate Note: Electric Vehicle charging stations serving public housing are required to comply with the California **4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1. Building Code, Chapter 11B. flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and Specification for Tank-type Toilets. 1. Excavated soil and land-clearing debris. other important enactment dates. 4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be 2. Alternate waste reduction methods developed by working with local agencies if diversion or designed to comply with the following: Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume ecycle facilities capable of compliance with this item do not exist or are not located reasonably close to the of two reduced flushes and one full flush. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of 1. The minimum length of each EV space shall be 18 feet (5486 mm). 3. The enforcing agency may make exceptions to the requirements of this section when isolated individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential The minimum width of each EV space shall be 9 feet (2743 mm). 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. jobsites are located in areas beyond the haul boundaries of the diversion facility. buildings, or both. Individual sections will be designated by banners to indicate where the section applies 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN . Submit a construction waste management plan in minimum width of the EV space is 12 feet (3658 mm). high-rise buildings, no banner will be used. conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 **SECTION 302 MIXED OCCUPANCY BUILDINGS** horizontal (2.083 percent slope) in any direction. gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, WaterSense Specification for Showerheads. reuse on the project or salvage for future use or sale. 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or shall comply with the specific green building measures applicable to each specific occupancy. 4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-**4.303.1.3.2 Multiple showerheads serving one shower** . When a shower is served by more than one volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by 3. Identify diversion facilities where the construction and demolition waste material collected will be diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only **ABBREVIATION DEFINITIONS:** cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction allow one shower outlet to be in operation at a time. 4. Identify construction methods employed to reduce the amount of construction and demolition waste Department of Housing and Community Development documents shall identify the raceway termination point. The service panel and/or subpanel shall provide California Building Standards Commission capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated Note: A hand-held shower shall be considered a showerhead. Division of the State Architect, Structural Safety DSA-SS installation of a branch circuit overcurrent protective device. weight or volume, but not by both. Office of Statewide Health Planning and Development OSHPD 4.303.1.4 Faucets **4.106.4.2.4 Multiple EV spaces required.** Construction documents shall indicate the raceway 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the termination point and proposed location of future EV spaces and EV chargers. Construction documents **4.303.1.4.1 Residential Lavatory Faucets.** The maximum flow rate of residential lavatory faucets shall enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition Additions and Alterations shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall waste material diverted from the landfill complies with Section 4.408.1. electrical load calculations to verify that the electrical panel service capacity and electrical system, not be less than 0.8 gallons per minute at 20 psi. including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs Note: The owner or contractor may make the determination if the construction and demolition waste at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory materials will be diverted by a waste management company. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential 40-ampere minimum branch circuit. Required raceways and related components that are planned to be **RESIDENTIAL MANDATORY MEASURES** installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the buildings shall not exceed 0.5 gallons per minute at 60 psi. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver meet the minimum 65% construction waste reduction requirement in Section 4.408.1 **DIVISION 4.1 PLANNING AND DESIGN 4.106.4.2.5** Identification. The service panel or subpanel circuit directory shall identify the overcurrent more than 0.2 gallons per cycle. protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons **SECTION 4.102 DEFINITIONS** with the California Electrical Code. construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.102.1 DEFINITIONS ne following terms are defined in Chapter 2 (and are included here for reference) to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates capable of supporting future installation of EVSE. The construction documents shall identify the location FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.. of the EV spaces. pervious material used to collect or channel drainage or runoff water. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed 1. Sample forms found in "A Guide to the California Green Building Standards Code 1. Construction documents are intended to demonstrate the project's capability and capacity used for perimeter and inlet controls. , and shall meet the applicable standards referenced in Table (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in in accordance with the 1701.1 of the California Plumbing Code or facilitating future EV charging. compliance with this section 2. There is no requirement for EV spaces to be constructed or available until EV chargers 2. Mixed construction and demolition debris (C & D) processors can be located at the California 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation are installed for use. Department of Resources Recycling and Recovery (CalRecycle). and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, **4.106.4.3.1 Number of required EV spaces.** The number of required EV spaces shall be based THIS TABLE COMPILES THE DATA IN SECTION 4.303.1. AND IS INCLUDED AS 4.410 BUILDING MAINTENANCE AND OPERATION management of storm water drainage and erosion controls shall comply with this section. on the total number of parking spaces provided for all types of parking facilities in accordance with **4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact disc, A CONVENIENCE FOR THE USER. Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the web-based reference or other media acceptable to the enforcing agency which includes all of the following shall 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less nearest whole number. be placed in the building: than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre TABLE - MAXIMUM FIXTURE WATER USE or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent 1. Directions to the owner or occupant that the manual shall remain with the building throughout the TABLE 4.106.4.3.1 property, prevent erosion and retain soil runoff on the site. **FIXTURE TYPE** 2. Operation and maintenance instructions for the following: NUMBER OF REQUIRED EV TOTAL NUMBER OF PARKING SHOWER HEADS a. Equipment and appliances, including water-saving devices and systems, HVAC systems 1.8 GMP @ 80 PSI Retention basins of sufficient size shall be utilized to retain storm water on the site. RESIDENTIAL) photovoltaic systems, electric vehicle chargers, water-heating systems and other major . Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved equipment. MAX. 1.2 GPM @ 60 PSI LAVATORY FAUCETS b. Roof and yard drainage, including gutters and downspouts. by the enforcing agency. MIN. 0.8 GPM @ 20 PSI (RESIDENTIAL) 3. Compliance with a lawfully enacted storm water management ordinance. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. I AVATORY FAUCETS IN 0.5 GPM @ 60 PSI Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or e. Water reuse systems. COMMON & PUBLIC USE AREAS are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. Information from local utility, water and waste recovery providers on methods to further reduce 1.8 GPM @ 60 PSI KITCHEN FAUCETS resource consumption, including recycle programs and locations. Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4. Public transportation and/or carpool options available in the area. METERING FAUCETS 0.2 GAL/CYCLE 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent 4 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will what methods an occupant may use to maintain the relative humidity level in that range. WATER CLOSET 1.28 GAL/FLUSH manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface 6. Information about water-conserving landscape and irrigation design and controllers which conserve 76-100 water include, but are not limited to, the following: 0.125 GAL/FLUSH URINALS 101-150 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation 151-200 . Water collection and disposal systems 8. Information on required routine maintenance measures, including, but not limited to, caulking, French drains 6 percent of total painting, grading around the building, etc. 201 and over 4.304 OUTDOOR WATER USE Water retention gardens Information about state solar energy and incentive programs available. 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS . Residential developments shall comply with 10. A copy of all special inspections verifications required by the enforcing agency or this code. 5. Other water measures which keep surface water away from buildings and aid in groundwater a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water 4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to Efficient Landscape Ordinance (MWELO), whichever is more stringent. **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building **Exception**: Additions and alterations not altering the drainage path. site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, 1. The minimum length of each EV space shall be 18 feet (5486mm). storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, 2. The minimum width of each EV space shall be 9 feet (2743mm) **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625 4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section available at: https://www.water.ca.gov/ 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of in accordance with Section 4.106.4.2.3. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and 4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4. infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no commercial power supply. 1.2 Where there is evidence substantiating that meeting the requirements will alter the local **4.106.4.3.5 Identification.** The service panels or sub-panels shall be identified in accordance with Section DIVISION 4.5 ENVIRONMENTAL QUALITY utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per **SECTION 4.501 GENERAL 4.106.4.3.6 Accessible EV spaces.** In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating stations in the California Building Code, Chapter 11B. and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. **SECTION 4.502 DEFINITIONS** 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each **5.102.1 DEFINITIONS** dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway **DIVISION 4.2 ENERGY EFFICIENCY** Γhe following terms are defined in Chapter 2 (and are included here for reference) shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the **AGRIFIBER PRODUCTS.** Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy including furniture, fixtures and equipment (FF&E) not considered base building elements. concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere ommission will continue to adopt mandatory standards. minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium protective device. density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed **4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1. protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. **4.106.4.2** New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number. AN EXTERIOR & INTERIOR 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. RENOVATION FOR GREG COSMERO 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed

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NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER

GREEN CODE

PROJ.#: 22068

DATE: 08.02.22

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