



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 23265

Owner Name: COSMERO CONSTRUCTION & DEVELOPMENT LLC

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 02/09/2024

Project Location: MISSION 4 SW OF 10TH

APN #: 010152004000 **BLOCK/LOT:** 117/9

Applicant: Greg Cosmero, Owner

Project Description: Authorization. This approval of Design Study application DS 23-265 (Cosmero) authorizes exterior modifications in addition to those approved in DS 22-287 (Cosmero) as follows: 1) a new second-floor window on the front (east) elevation at the interior staircase, 2) replacement of one existing skylight on the east (front) facing roof plane and two skylights on the west (rear) facing roof plane, 3) installation of a new garage door, 4) replacement of window shutters, 5) removal of the front entry stairs, concrete patio, and porch and construction of new wood stairs, railings, and decking, 6) removal of the existing driveway and installation of 3-foot wide by approx. 20'-3" long sand set tire track pavers, 7) expansion of the rear wood deck by 79 square feet, 8) installation of 557 square feet of artificial turf in the rear yard, 9) installation of a new fire pit in the rear yard, and 10) installation of new wood retaining walls in the rear yard, at an existing single-family residence located on Mission Street 4 southwest of 10th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Studio M of A – Laney LA Partnership, BLS Green Steel Buildings, with revisions by Leisure by Design, stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study application DS 23-265 (Cosmero) authorizes exterior modifications in addition to those approved in DS 22-287 (Cosmero) as follows: 1) a new second-floor window on the front (east) elevation at the interior staircase, 2) replacement of one existing skylight on the east (front) facing roof plane and two skylights on the west (rear) facing roof plane, 3) installation of a new garage door, 4) replacement of window shutters, 5) removal of the front entry stairs, concrete patio, and porch and construction of new wood stairs, railings, and decking, 6) removal of the existing driveway and installation of 3-foot wide by approx. 20'-3" long sand set tire track pavers, 7) expansion of the rear wood deck by 79 square feet, 8) installation of 557 square feet of artificial turf in the rear yard, 9) installation of a new fire pit in the rear yard, and 10) installation of new wood retaining walls in the rear yard, at an existing single-family residence located on Mission Street 4 southwest of 10 th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Studio M of A – Laney LA Partnership, BLS Green Steel Buildings, with revisions by Leisure by Design, stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Director.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will <u>not</u> be required when the project valuation is less than \$200,000 or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).
5.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised

	plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
6.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
7.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
8.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>
9.	Skylights & Skylight Shades. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications for all skylights and

	skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.
10.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
11.	Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.
12.	Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
13.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
14.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property

	owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.
Landscape Conditions	
15.	Tree Planting Requirements. Prior to issuance of a building permit, the Applicant shall identify on a landscape plan the location, size, and species of the following required tree plantings: one lower and three upper canopy trees (Forest & Beach Commission, May 12, 2022). All new trees shall be installed prior to the final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester or Forest & Beach Commission.
16.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
17.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the

	<p>approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</p> <ul style="list-style-type: none"> • If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
18.	<p>Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2”) are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6”) of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.</p>
19.	<p>Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces.</p>
20.	<p>Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.</p>

Acknowledgment and acceptance of conditions of approval:

Property Owner Signature
Cosmero Construction & Development LLC

Printed Name

Date

AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED
Permit #: 00-23-055 (Comment)
Date Approved: 02/27/2024
Planner: M. Welfre

BUILDING CODE SUMMARY

APPLICABLE CODE:

2022 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24), PART 2.5 – CALIFORNIA RESIDENTIAL CODE (CA BLDG CODE)

PROJECT DESCRIPTION:

Corrective action for unpermitted work- Complete interior remodel including, new fixtures, new finishes and add shower. Exterior work to include a new roof, new deck, new window, new door, new retaining wall, paint all and new landscaping w/new pavers and artificial turf. Convert front Patio to wood framed deck.

BLDG. CODE SUMMARY (CA BLDG CODE):

1.)	RESIDENTIAL ENERGY CODE:	(TABLE N1101.1(1))	STANDARD BASE CASE APPLIES. U.O.N.
		PER TABLE N1101.1(2), ENVELOPE ENHANCEMENT MEASURE 3, AND CONSERVATION MEASURE A WILL BE USED.	
	WALL INSULATION-ABOVE GRADE:		TYPICAL WALL INSULATION R-13 (ON ALL EXTERIOR WALLS).
	FLAT CEILINGS:		TYPICAL WALL INSULATION R-38 (ON ALL EXTERIOR CEILINGS)
	VAULTED CEILINGS:		NA
	UNDER FRAMED FLOORS:		SLAB W/ R-15 2'-0" AT PERIMETER
	WINDOWS:		U-0.30, SHGC: 0.25
	WINDOW AREA LIMITATION:		N/A
	SKYLIGHTS:		U-0.50
	EXTERIOR DOORS:		R-5
	EXTERIOR DOORS W/ > 2.5 s.f. GLAZING:		R-2
	FORCED AIR DUCT INSULATION:		R-8
	HIGH EFFICACY LIGHTING:		100% HIGH EFFICACY LIGHTING
	RECESSED LIGHTING FIXTURES:		SHALL MEET CA BLDG CODE REQUIREMENTS.
	WINDOW AIR LEAKAGE:		SHALL MEET CA BLDG CODE REQUIREMENTS.
	VAPOR BARRIERS:		PROVIDE MIN. (1) PERM. VAPOR BARRIER AT WARM SIDE OF ALL INSULATION.
	GROUND COVER:		IF WE HAVE TO
	HVAC EQUIPMENT:		SHALL MEET CA BLDG CODE REQUIREMENTS.
	PIPING INSULATION:		SHALL MEET CA BLDG CODE REQUIREMENTS.
2.)	STRUCTURAL DESIGN CRITERIA:	(CA BLDG CODE SEC. 301)	PRE-ENGINEERED SYSTEM
	-		SEE STRUCTURAL ENGINEERING
	-		-
	-		-
	CONSTRUCTION SYSTEM TYPE:		PORTAL FRAME & POLE FRAMED W/ HORIZONTAL PURLINS & GIRTS
	CLIMATIC AND GEOGRAPHIC DESIGN DATA:		-
	ELEVATION:		150 FT.
	SEISMIC DESIGN CATEGORY:		D1 (VERIFY W/ STRUCTURAL)
	FLOOD HAZARD DESIGN CRITERIA:		N/A
	FROST DEPTH:		12"
	WIND EXPOSURE CLASSIFICATION:		B
	STORY HEIGHT:		SEE CROSS SECTIONS
	LIVE LOADS:		
	NON-SLEEPING AREAS:		40 LB./S.F. (VERIFY W/ STRUCTURAL)
3.)	FIRE-RESISTIVE CONSTRUCTION:		N/A
	EXTERIOR WALLS, PROJECTIONS, & OPENINGS:		-
	FLAME SPREAD AND SMOKE-DEV. INDEXES		-
	SMOKE AND CO2 ALARMS:		CONTRACTOR SHALL VERIFY EXISTING ALARMS ARE SATISFACTORY AND SHALL PROVIDE (1) NEW CO2 ALARM W/ POWER CONNECTION OUTSIDE NEW BEDROOM AND SMOKE ALARMS AS REQUIRED BY 2022 CA BLDG CODE.
4.)	VENTILATION:	ROOF VENTILATION - NO ATTIC	UNDERFLOOR VENTILATION - NO UNDERFLOOR

Any and all concealed work will be required to be opened in order to provide access to for all necessary inspections

DEFERREED PLANS:

Rear yard retaining wall, associated drainage and grading under separate application.

ZONE CODE SUMMARY

PROJECT/SITE INFORMATION:

1.)	GOVERNING AGENCY:	CARMEL-BY-THE-SEA
2.)	BUILDING ZONE:	SINGLE FAMILY
	SITE ADDRESS:	SEE TITLE BLOCK
	TAX LOT #:	SEE TITLE BLOCK
	PERMITTED USE:	SINGLE FAMILY RESIDENCE (EXISTING TO REMAIN)
3.)	SETBACKS:	NORTH: EXISTING TO REMAIN UNCHANGED EAST: EXISTING TO REMAIN UNCHANGED SOUTH: EXISTING TO REMAIN UNCHANGED WEST: EXISTING TO REMAIN UNCHANGED
4.)	TOTAL SITE AREA:	PER SITE PLAN(4,000 SQFT)
5.)	BUILDING	FIRST FLOOR: 1,092 S.F. SECOND FLOOR: 782 S.F. TOTAL LIVABLE: 1,874 S.F. GARAGE: 170 S.F.
6.)	AREA:BUILDING HEIGHT:	EXISTING TO REMAIN UNCHANGED
7.)	SEPTIC AUTHORIZATION:	EXISTING TO REMAIN UNCHANGED
8.)	CONSTRUCTION TYPE:	V-B

BLDG. CODE SUMMARY (2022 CA BLDG CODE):

- 1.) NOTES PER CHAPTER 7A MATERIALS CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE:
- ROOF COVERINGS:** ROOF COVERINGS WALLS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF PAINTED, GALVANIZED STEEL.
- ROOF VALLEYS:** NO ROOF VALLEYS PROPOSED.
- ROOF GUTTERS:** ROOF GUTTERS ARE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- ATTIC VENTS:** ATTIC VENTS ARE PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH ¼ INCH (6 MM) OPENINGS OR ITS EQUIVALENT.
- EAVE VENTS:** NO EAVE VENTS PROPOSED.
- EXTERIOR WALLS:** EXTERIOR WALLS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL.
- EXTERIOR WALL VENTS:** NO EXTERIOR WALL VENTS PROPOSED.
- EXTERIOR GLAZING:** THIS BUILDING CONTAINS NO EXTERIOR GLAZING.
- EXTERIOR DOOR ASSEMBLIES:** EXTERIOR DOORS AND VEHICLE ACCESS DOORS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL.
- UNDERSIDE OF APPENDAGES AND FLOOR PROJECTIONS:** THE BUILDING OVERHANGS ARE ENCLOSED WITH METAL SOFFITS.
- UNENCLOSED UNDER-FLOOR PROTECTION:** THIS BUILDING HAS NO PROPOSED UNDER-FLOOR AREA.
- DECKING, ETC.:** ALL PORTIONS OF SUCH SURFACES IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE OF APPROVED NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL.
- 2.) 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN
- 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN
- SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- a. WASTE AND DEMOLITION MATERIALS THAT WILL BE PRESENT ON THE SITE ARE: BRUSH/GREEN CLIPPINGS, WOOD FORMS WILL BE COLLECTED AND REUSED BY CONCRETE COMPANY, BASE ROCK TO BE BROUGHT IN TO BRING BUILDING TO GRADE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- a. ALL CONSTRUCTION AND WASTE MATERIALS WILL BE SORTED ON SITE FOR APPROPRIATE DISPOSAL ACCORDINGLY.
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
- a. GREEN WASTE MATERIAL WILL BE MOVED TO THE CHICO COMPOST FACILITY LOCATED AT 4441 COHASSET RD, CHICO, CA 95973.
- b. ALL STEEL WASTE (IF ANY) WILL BE TAKEN TO CHICO SCRAP METAL, INC LOCATED AT 878 E 20TH ST, CHICO, CA 95928
- c. ALL BASE ROCK REMNANT WILL BE REUSED ONSITE
- d. WOODEN FORMS FOR CONCRETE WILL BE COLLECTED BY JR CEMENT INC, (530) 330-6465
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- a. STRUCTURE PROVIDED IS A PRE-CUT PREFORMED STRUCTURE, FOLLOWING CONSTRUCTION INSTRUCTIONS PROVIDED WILL RESULT IN NO WASTE
- b. SLAB WILL BE POURED ON SITE DELIVERED IN TRUCKS. FORMS PROVIDED AND COLLECTED TO BE REUSED BY CONCRETE CONTRACTOR
- c. NO EXCAVATION OF SITE WILL RESULT IN NO REMNANT SOIL TO BE DISPOSED OF.
5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
- a. WASTE MATERIALS THAT ARE DIVERTED WILL BE CALCULATED BY WEIGHT

SHEET INDEX:

PROJECT DRAWINGS:

A0.1	PROJECT/CODE SUMMARY INFORMATION
A0.2	STRUCTURAL NOTES

SITE & DRAWINGS:

A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN

ARCHITECTURAL DRAWINGS

A2.0	EXISTING FLOOR PLANS
A3.0	PROPOSED ARCHITECTURAL FLOOR PLANS
A4.0	EXTERIOR ELEVATIONS
A5.0	EXTERIOR ELEVATIONS /SCHEDULE
A6.0	EXTERIOR ELEVATIONS (CONTINUED)
A7.0	EXTERIOR ELEVATIONS (CONTINUED)
A8.0	CROSS SECTIONS
E.1	ELECTRICAL PLAN 1ST FLOOR
E.2	ELECTRICAL PLAN 2ND FLOOR
E.3	MANDATORY MEASURES
P.1	PLUMBING & HVAC
M.1	MECHANICAL & NOTES
S.1	STRUCTURAL SHEETS DECK DETAIL
S.2	STRUCTURAL SHEETS WALL DETAIL

CALIFORNIA CODE DOCUMENTS:

CG1.0-CG1.1 CALIFORNIA GREEN CODE MANDATORY MEASURES

MECHANICAL DRAWINGS:

NOTE: THE MECHANICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE MECHANICAL PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. MECHANICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE MECHANICAL DRAWINGS.

PLUMBING DRAWINGS:

NOTE: THE PLUMBING BUILDING AND PLUMBING SITE LAYOUT FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE FULL PLUMBING PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. PLUMBING WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE PLUMBING DRAWINGS.

ELECTRICAL DRAWINGS:

NOTE: THE ELECTRICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE ELECTRICAL PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. ELECTRICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE ELECTRICAL DRAWINGS.

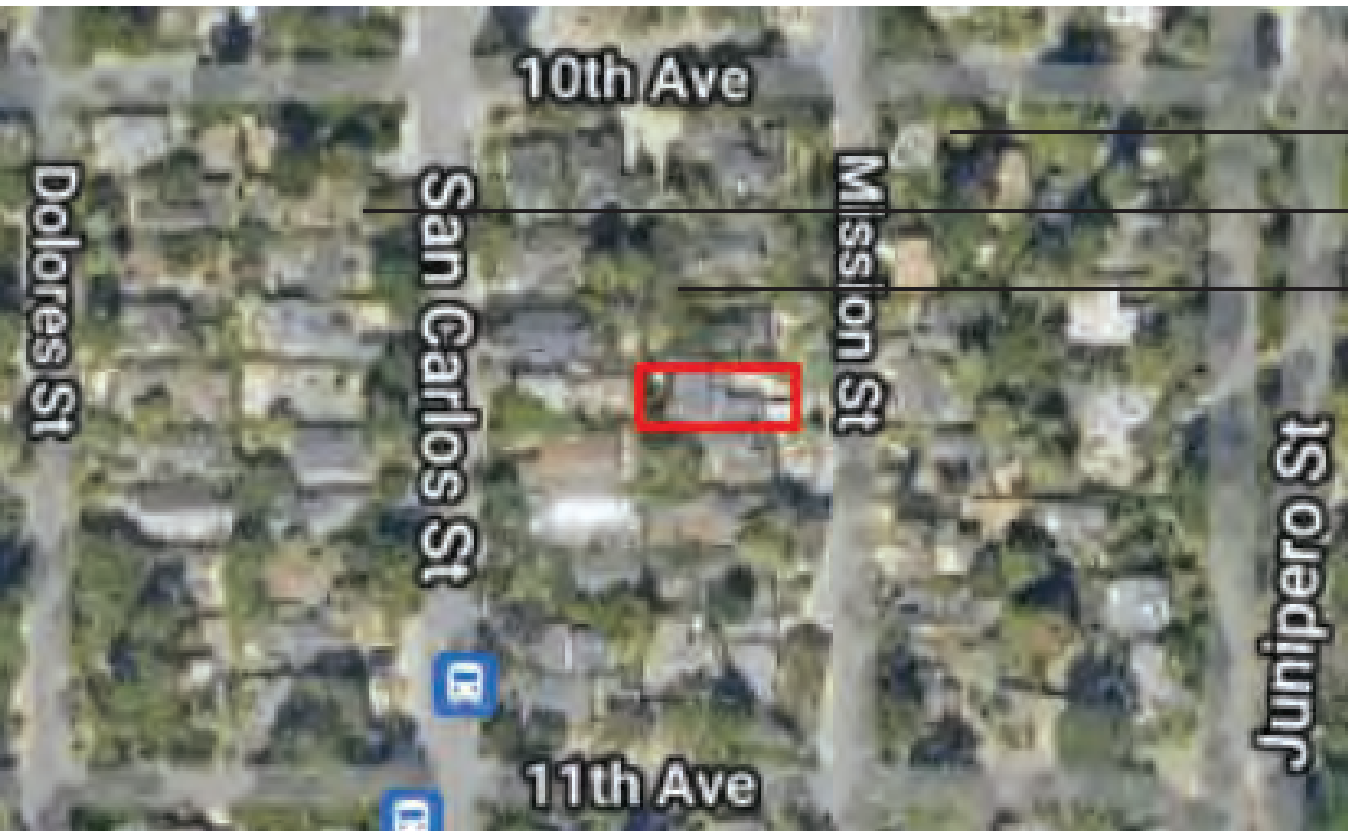
FIRE SPRINKLER & FIRE ALARM DRAWINGS:

NOTE: THE FIRE SPRINKLER & FIRE ALARM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE FIRE DRAWINGS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. FIRE SUPPRESSION & ALARM WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE FIRE DRAWINGS.

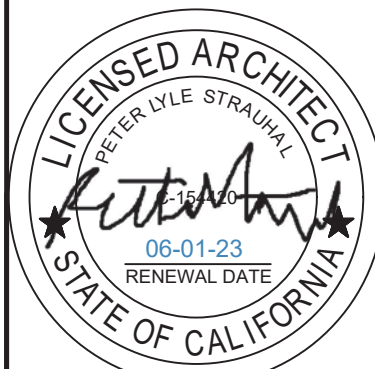
FIRE SPRINKLER WALL CALCULATIONS:

AMOUNT OF WALL FRAMING: 5,001 S.F.

AMOUNT MODIFIED:1,077 S.F.



BLS Green
Steel Buildings
Peter Strauhal, CEO
AIA, LEED GA
PO BOX 3164
Salem, OR 97302
971-240-5309
www.blsgreenbuildings.com



AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS:
MISSION 4 SW OF 10TH
CARMEL-BY-THE, CA 93921
PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership
Architect, Anthony Laney
PO BOX 3164, SALEM, OR 97302
PH: 971-239-1519
CONTACT: PETER LYLE STRAUHAL, AIA

A0.1

COVER SHEET

PROJ.#: 22068

DATE: 01.24.24

STRUCT. NOTES

PROJ.#: 22068

DATE 01.24.24



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ❑ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- ❑ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



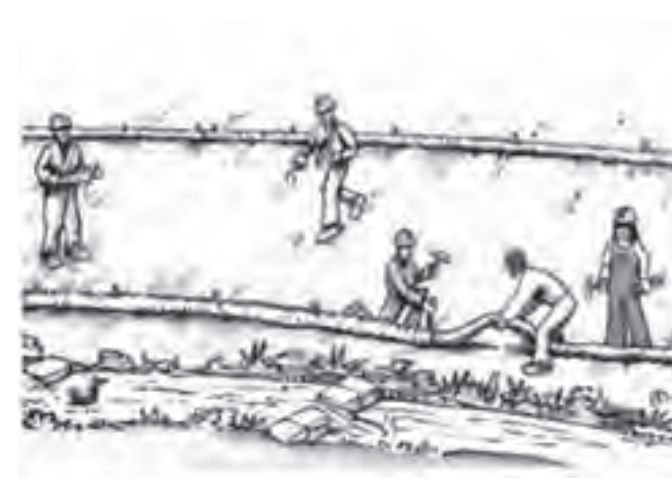
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



City of Carmel-by-the-Sea
COMMUNITY PLANNING AND BUILDING DEPARTMENT
POST OFFICE DRAWER CC
CARMEL-BY-THE-SEA, CA 93921
(831) 620-2010 OFFICE

January 4, 2023

Peter Lyle Strauhul
PO Box 3164
Salem, OR 97302

Email: pstrauhul@gmail.com

Subject: Approval Letter
Design Study DS 22-287 (Cosmero)
Mission 4 SW of 10th Ave
Block: 117 Lot: 9 APN: 010-152-004-000

Dear Mr. Strauhul,

The Community Planning & Building Department has approved Design Study DS 22-287 (Cosmero) for the repair roof eave and reroofing, replace existing siding, trellis, fencing, convert patio into PT wood decking, and the removal of gravel in the north west corner of the lot, subject to the enclosed conditions of approval.

This approval is subject to a ten calendar-day public comment period, which begins when you post the enclosed Notice of Approval on-site. Be sure to write the date of posting on the notice. The Notice of Approval should be posted at the front of the property, readily visible to the public. Following the posting of the notice, please complete the following:

- 1) Take a photograph of the posted Notice of Approval and email it to snathan@ci.carmel.ca.us.
- 2) Complete the Affidavit of Posting and email to snathan@ci.carmel.ca.us.
- 3) Please sign, and return the conditions of approval via DocuSign that will be sent to the owner.

At the end of the ten-day public comment period, and assuming no public comments, you can proceed with obtaining a building permit. Should you have any questions, I can be reached directly at (831) 620-2027, or snathan@ci.carmel.ca.us.

Best Regards,

Suray Nathan
Assistant Planner

Enc: Conditions of Approval
Notice of Approval
Affidavit of Posting

CC: Greg Cosmero: gregcosmero@icloud.com

DS 22-287 (Cosmero)
Conditions of Approval
January 4, 2023
Page 4 of 6

	transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. <ul style="list-style-type: none">• The Structural Root Zone – Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.	
16.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
17.	Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee.	✓

DS 22-287 (Cosmero)
Conditions of Approval
January 4, 2023
Page 1 of 6

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study (DS 22-287, Cosmero) authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements located on Mission 4 SW of 10 th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Peter Lyle Strauhul stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).	✓
7.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified.	✓

DS 22-287 (Cosmero)
Conditions of Approval
January 4, 2023
Page 5 of 6

	The masonry patter shall be clearly identified in the construction drawings submitted with the building permit application.	
18.	Asphalt Shingle Roofing. The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.	✓
19.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
20.	Driveway. The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.	✓
21.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
22.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
23.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and	✓

DS 22-287 (Cosmero)
Conditions of Approval
January 4, 2023
Page 2 of 6

	A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
8.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
9.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	✓
10.	Landscape Conditions All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓

DS 22-287 (Cosmero)
Conditions of Approval
January 4, 2023
Page 6 of 6

	any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	
24.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
25.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
ENVIRONMENTAL COMPLIANCE CONDITIONS		
26.	BMP Tracking Form. Prior to issuance of a building permit, the applicant shall submit a completed BMP Tracking form for review and approval by the City of Carmel.	✓
27.	Semi-Permeable Surfaces. Prior to issuance of a building permit, the applicant shall provide cross-section details for semi-permeable surfaces.	✓
28.	Erosion and Sediment Control Plan. Prior to issuance of a building permit, the applicant shall provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access for review and approval by the City of Carmel.	✓
SPECIAL CONDITIONS		
29.	Project Description: Prior to the issuance of a building permit, the applicant shall write a detailed description of all work to be performed on the site plan.	✓
30.	Plumbing Permit. Prior to the issuance of a building permit, the applicant shall apply for a plumbing permit for the replacement of the fixtures.	✓
31.	Site Coverage. Prior to the final inspection, the applicant shall remove gravel from the rear of the lot and replace it with wood chips to comply with zoning requirement.	✓
32.	Tree Planting Requirements. Prior to the final inspection, the applicant shall plant two lower-canopy oak trees as shown on the approved plan.	✓
33.	Final Inspection. A final inspection is required by the Planning Division.	✓

Acknowledgement and acceptance of conditions of approval:

Greg Cosmero
Property Owner Signature
Printed Name
01-04-23
Date

Once signed, please email to snathan@ci.carmel.ca.us.

DS 22-287 (Cosmero)
Conditions of Approval
January 4, 2023
Page 3 of 6

11.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
12.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
13.	Erosion Control in the Right-of-Way. Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" located in the Forest Management Plan.	✓
14.	Tree Planting Requirements. Prior to issuance of a building permit, the applicant shall submit for review and approval by the Community Planning & Building Department and the City Forester, a final landscape and irrigation plan that shows the location, size and species of required tree plantings. All new trees shall be installed prior to final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester and/or Forest & Beach Commission.	✓
15.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none">• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.• Excavation within 6 feet of a tree trunk is not permitted.• No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.• Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.• Tree Protection Zone – The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high	✓



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22287

Owner Name: COSMERO CONSTRUCTION & DEVELOPMENT LLC

Case Planner: Suray Nathan, Assistant Planner

Date Posted: 01-04-23

Date Approved: 01/04/2023

Project Location: MISSION 4 SW OF 10TH

APN #: 010152004000 BLOCK/LOT: 117/9

Applicant: Peter Lyle Strauhul

Project Description: Authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



AFFIDAVIT OF POSTING
DECLARATION UNDER PENALTY OF PERJURY

APPLICATION#: Design Study 22287 GREG COSMERO

APPLICANT: Peter Lyle Strauhul

PROJECT LOCATION: MISSION 4 SW OF 10TH

CASE PLANNER: Suray Nathan, Assistant Planner

BLOCK 117 LOT(s) 9 APN 010152004000

I, Greg Cosmero, declare: I am a resident of the City of MISSION 4 SW OF 10TH

Carmel by the Sea, County of Monterey, State of CA, I am over the age of eighteen

(18) years. On the 4th day of January 2023, I posted the attached Public Notice in a conspicuous,

publicly-accessible location at the subject property.

I DECLARE UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.

Greg Cosmero
Declarant Print Name

Declarant Signature

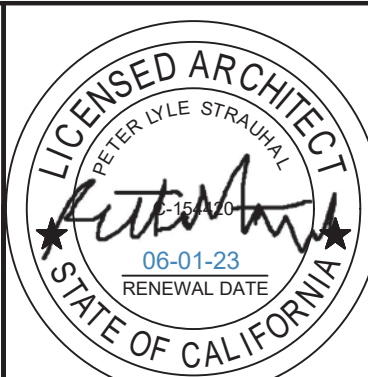
01-04-23

Date

Upon completion of the 10 - day appeal period, please return this form, along with the Notice of Approval, to the case planner noted above.



BLS Green
Steel Buildings
Peter Strauhul, CEO
AIA, LEED GA
PO BOX 3164
Salem, OR 97302
971-240-5309
www.blsgreenbuildings.com



AN EXTERIOR & INTERIOR
RENOVATION FOR GREG COSMERO

PROJECT ADDRESS:
MISSION 4 SW OF 10TH
CARMEL-BY-THE, CA 93921
PARCEL #: 010-152-004-000

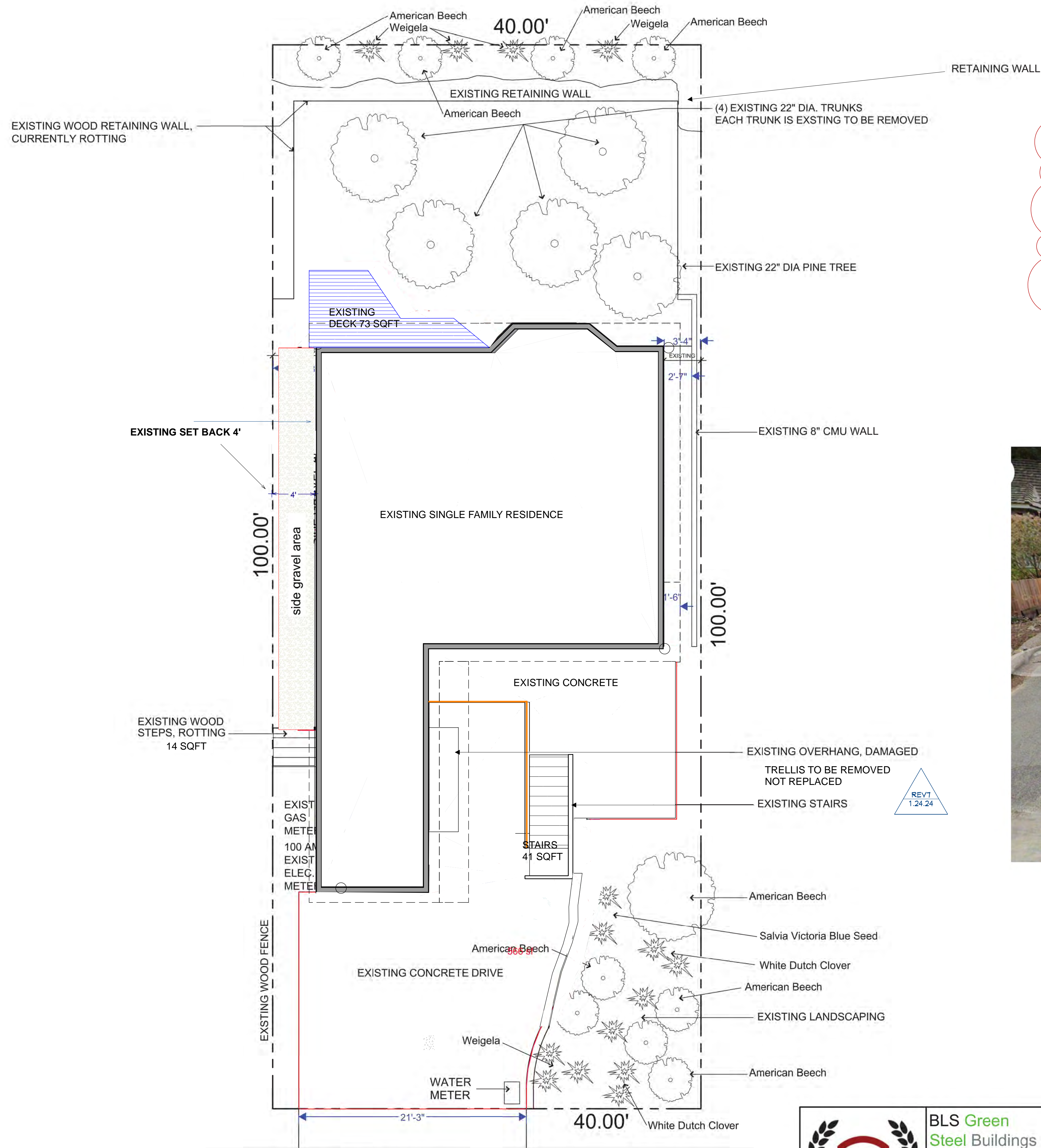
Studio M of A - Laney LA Partnership
Architect, Anthony Laney
PO BOX 3164, SALEM, OR 97302
PH: 971-239-1519
CONTACT: PETER LYLE STRAUHAL, AIA

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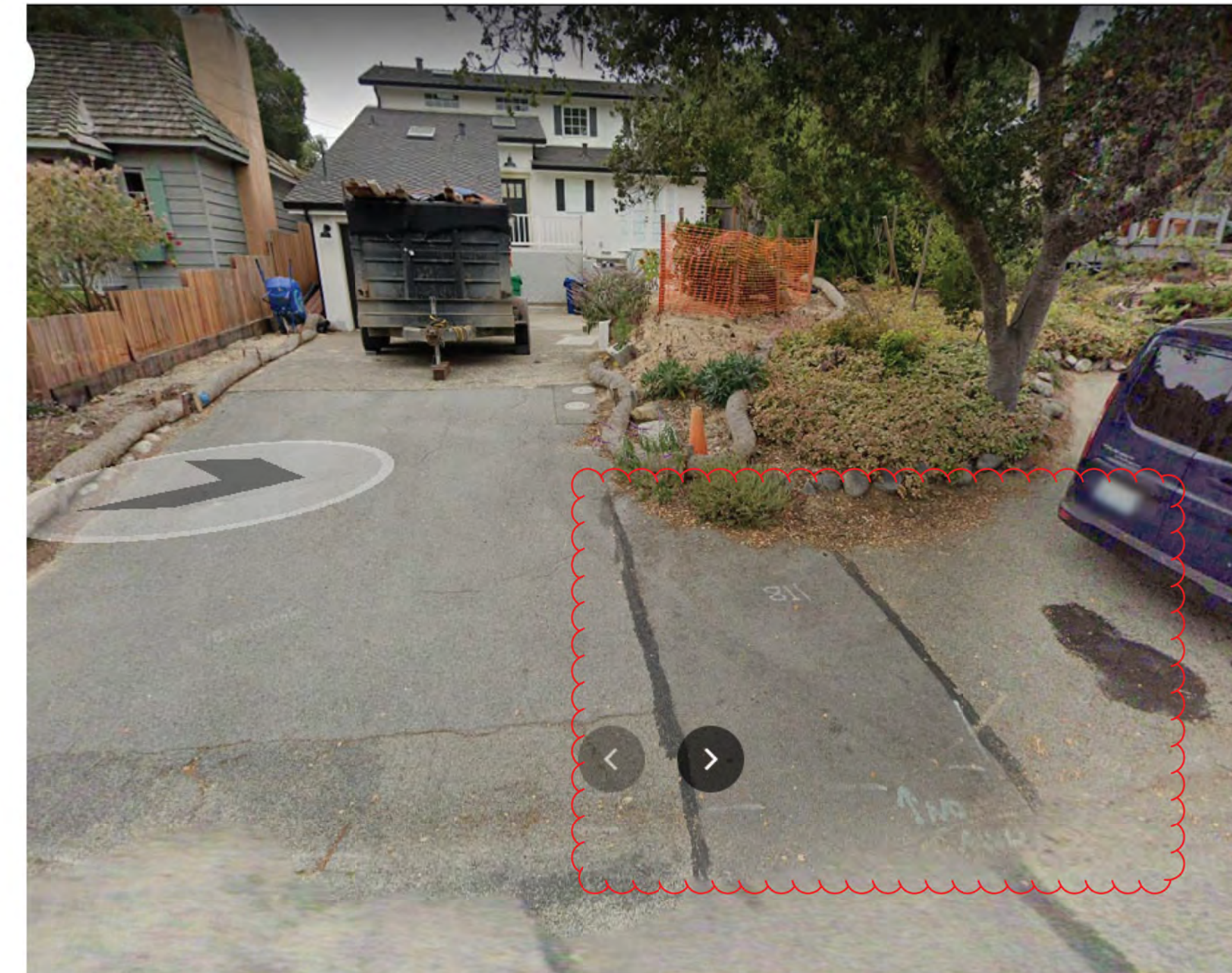
DESIGN REVIEW

PROJ.#: 22068

DATE: .01.24.24



This is currently an easement for the neighbor and was addressed and signed in an earlier RFI the reel is the associated documentation (No Action Needed)



CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED
Permit #: 010-152-004-000
Date Approved: 03/27/2024
Planner: M. W. H. P.

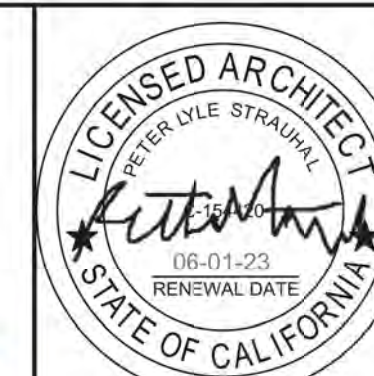


EXISTING SITE PLAN

SCALE: 3/16" = 1'-0"



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AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

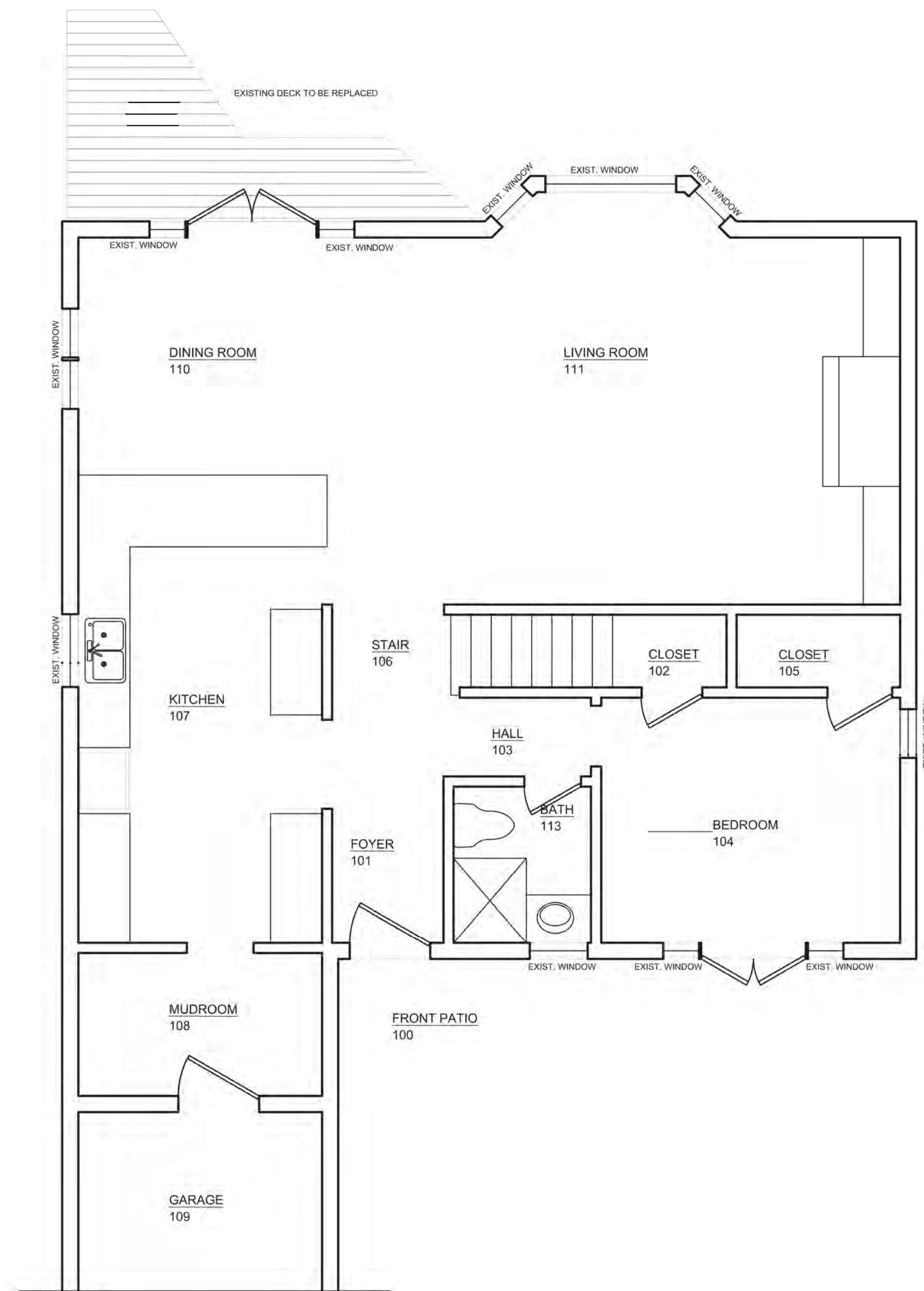
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CARMEL-BY-THE, CA 93921
PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership
Architect, Anthony Laney
PO BOX 3164, SALEM, OR 97302
PH: 971-239-1519
CONTACT: PETER LYLE STRAUHAL, AIA

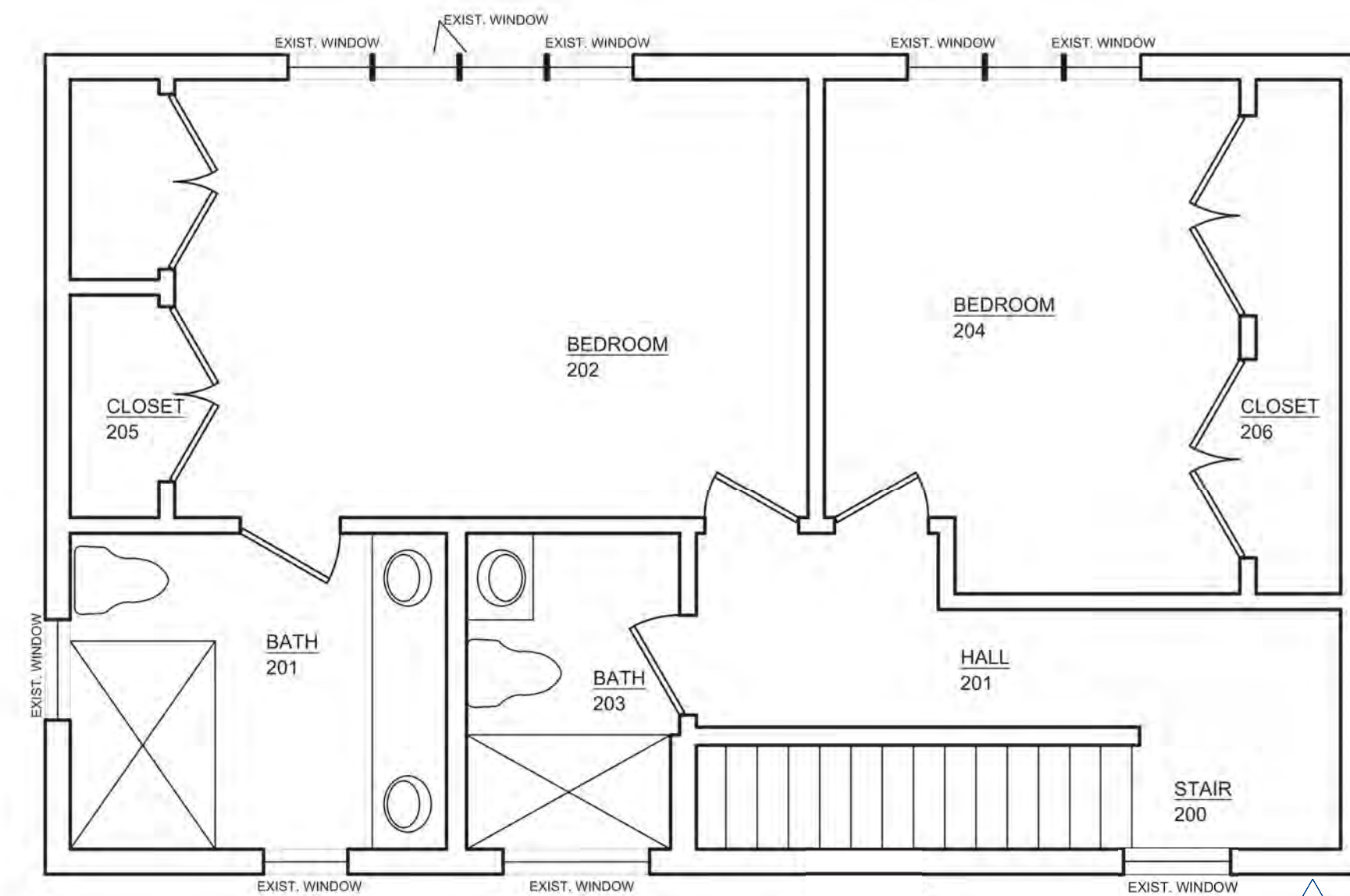
A1.0

EXISTING SITE
PROJ.#: 22068
DATE: 01.24.24

Rev.1:11.30.22 1



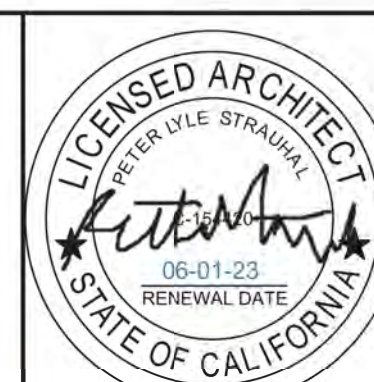
N ➞ EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



N ➞ EXISTING UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



BLS Green Steel Buildings
Peter Strauhal, CEO
AIA, LEED GA
PO BOX 3164
Salem, OR 97302
971-240-5309
www.blsgreenbuildings.com



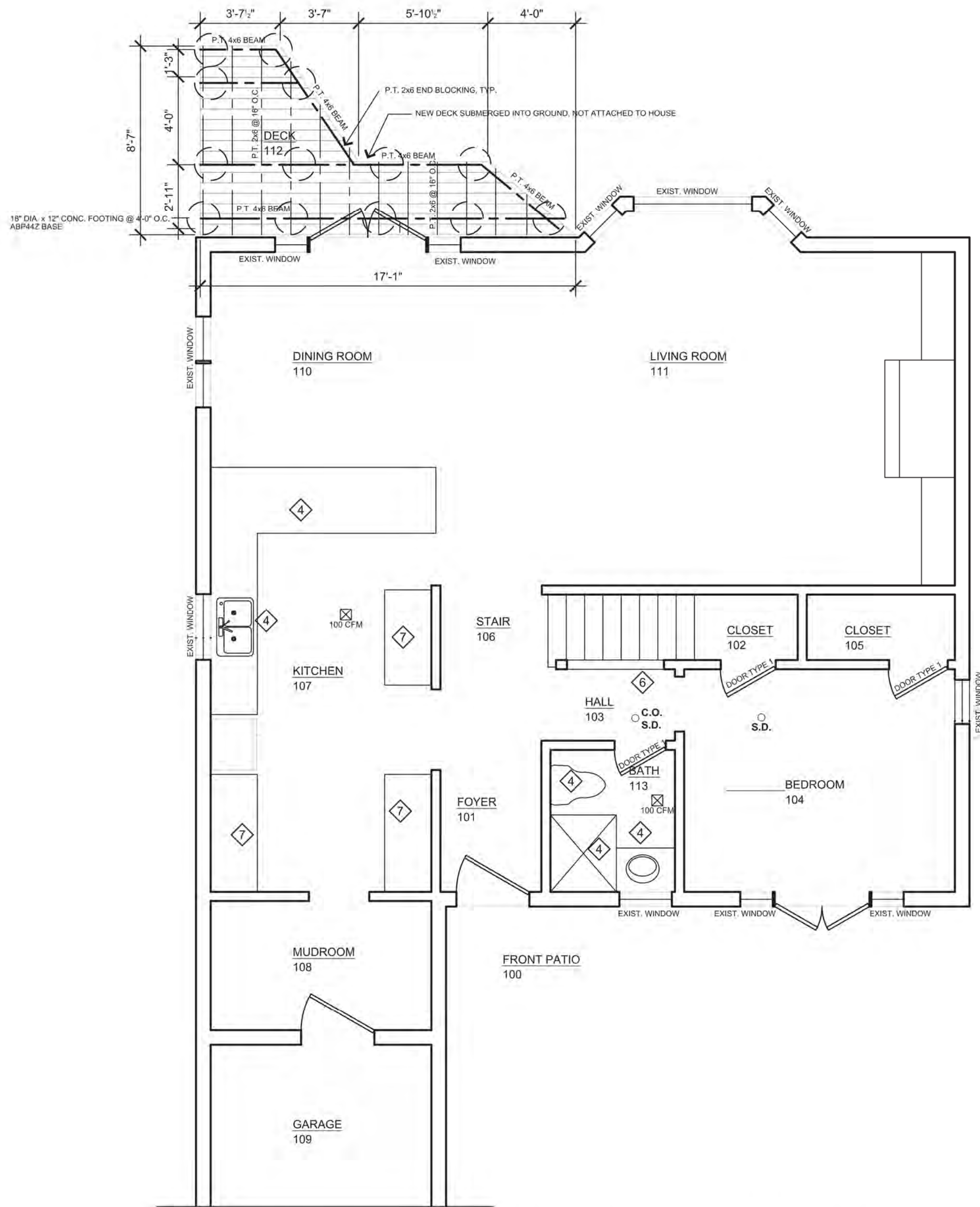
AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS:
MISSION 4 SW OF 10TH
CARMEL-BY-THE, CA 93921
PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership
Architect, Anthony Laney
PO BOX 3164, SALEM, OR 97302
PH: 971-239-1519
CONTACT: PETER LYLE STRAUHAL, AIA

A2.0

EXISTING PLANS
PROJ.#: 22068
DATE: 01.24.24

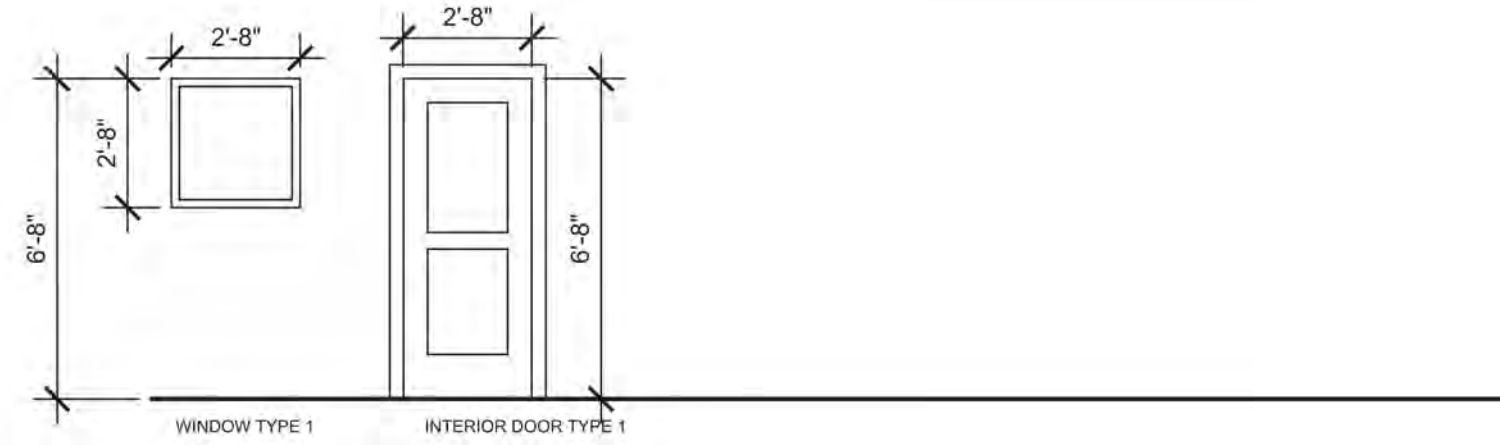


ARCHITECTURAL FIRST FLOOR
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN KEY NOTES:

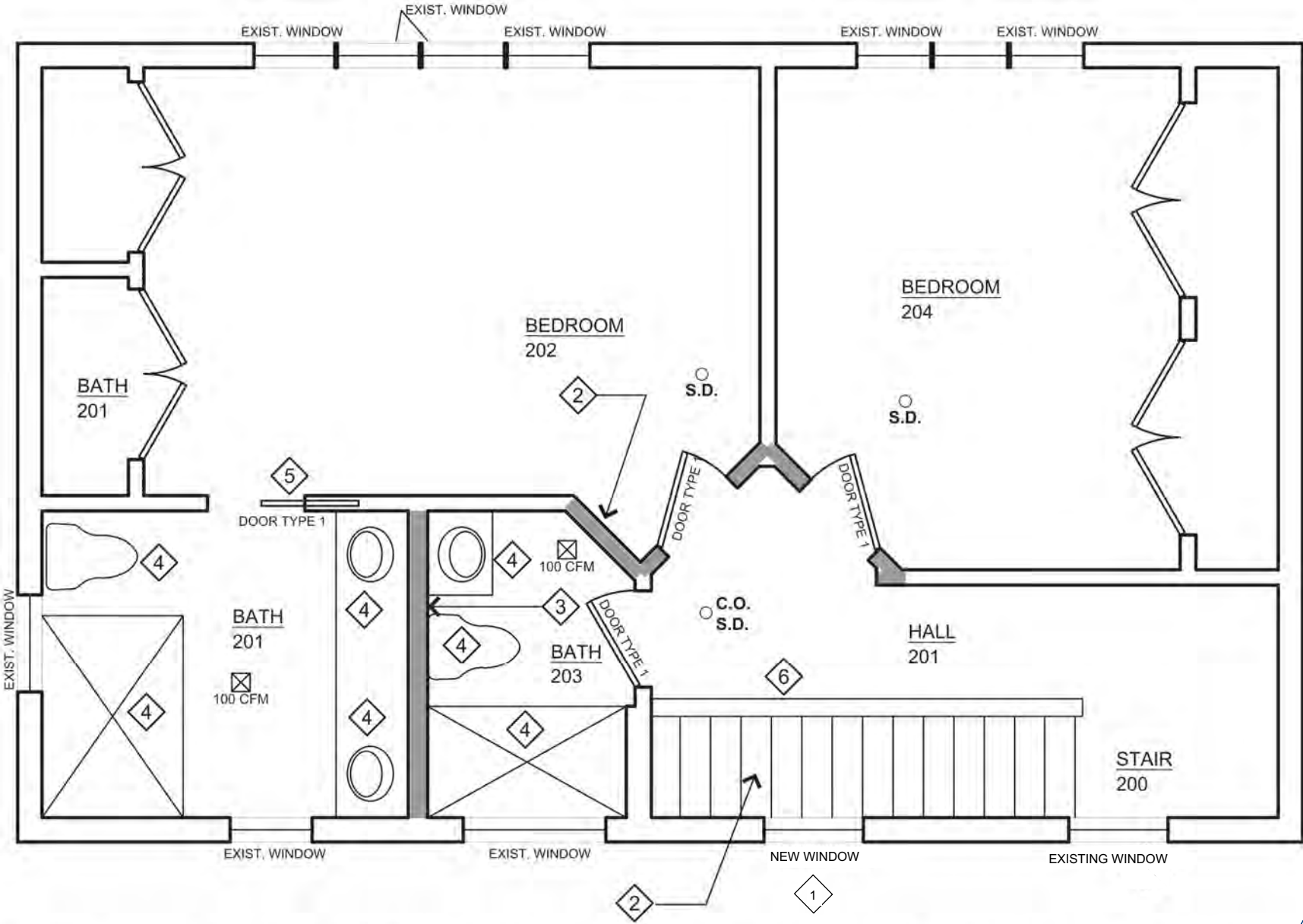
- 1 REMOVE PORTION OF WALL TO ALLOW FOR THE INSTALLATION OF A NEW WINDOW.
- 2 REMOVE CEILING SOFFIT ABOVE STAIR.
- 3 REPLACE EXISTING BATHROOM PLUMBING WALL FRAMING.
- 4 REMOVE & REPLACE PLUMBING FIXTURES WITH NEW UPDATED UNITS. MODIFY / ADD SHOWER AREA.
- 5 REWORK DOOR AND WALL. ADD NEW POCKET DOOR.
- 6 REMOVE AND REPLACE GUARDRAIL.
- 7 REMOVE & REPLACE CABINETS.

NOTE:
TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE, AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.



WINDOW & DOOR SCHEDULE

SCALE: 1/4" = 1'-0"



ARCHITECTURAL UPPER FLOOR
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN GEN. NOTES:

- 1. ALL EXISTING FLOOR COVERINGS IN AREA OF WORK TO BE REMOVED IN THEIR ENTIRETY DOWN TO (EX) TILE FLOORING, VERIFY EXTENT W/ OWNER. THE EXISTING FLOOR IS TO BE CLEANED AND PREPARED PER MANUFACTURER'S SPECIFICATIONS FOR RECEIVING NEW FLOOR COVERING.
- 2. SEE BIDDER-DESIGNED MECHANICAL DRAWINGS FOR DEMOLITION OF HVAC DUCTING / HVAC UNITS.
- 3. REMOVE ALL ABANDONED THERMOSTATS AND CONTROLLERS FOR THE HVAC SYSTEM. PATCH WALLS AS REQUIRED.
- 4. REMOVE ALL ABANDONED ELECTRICAL OUTLETS, SWITCHES, AND RELATED COMPONENTS IN AREAS OF DEMOLITION.
- 5. CAP ALL ABANDONED PLUMBING PIPING BELOW FINISH FLOOR AND PATCH AS REQUIRED.
- 6. DIMENSIONS SHALL BE FROM OUTSIDE FACE OF STUD FRAMING, UNLESS OTHERWISE NOTED/INDICATED.
- 7. SEE BIDDER/DESIGNED MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EXTANT OF FINISHES TO BE REMOVED AS REQUIRED FOR THE INSTALLATION OF NEW ELECTRICAL, PLUMBING AND MECHANICAL LINES.

CONTRACTOR DEMOLITION PLAN NOTES:

- A. THE CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE JOB SITE AND WITH EXISTING CONDITIONS WHICH MAY IMPACT THE WORK.
- B. THE CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THE WORK.
- C. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
- D. CONTRACTOR SHALL ALSO COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES CONCERNING DEMOLITION OPERATIONS AND REFUSE REMOVAL AND DISPOSAL. CONTRACTOR TO PAY ALL DUMPING FEES.
- E. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY UNCERTAINTIES OR DISCREPANCIES.
- F. DO NOT CLOSE OR OBSTRUCT PEDESTRIAN OR VEHICULAR ACCESS EXCEPT WHERE AUTHORIZED OR INDICATED ON THE DRAWINGS. SEE SHEET A1.0 FOR ADDITIONAL INFORMATION.
- G. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADING NECESSARY TO ENSURE THE HEALTH AND SAFETY OF ALL WHO ENTER THE DEMOLITION AREA DURING THE CONSTRUCTION.
- H. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- I. REMOVE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL IN DEMOLISHED WALLS, FLOORS AND CEILINGS. NOTE THE FOLLOWING ITEMS:
 - 1. REMOVE / CAP ALL PLUMBING PIPING BELOW FINISH FLOOR LINE AS REQUIRED.
 - 2. CAP FLOOR DRAINS AS REQUIRED, PATCH AND INFILL W/ CONC. AS REQUIRED.
 - 3. REMOVE ALL ABANDONED ELECTRICAL LINES BACK TO PANEL.
 - 4. HVAC DUCTS TO REMAIN SHALL BE SECURED TO ROOF STRUCTURE AS REQUIRED.
- J. PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. PROTECT SPACE ADJACENT TO DEMOLITION WORK. PROTECT EXISTING WALL, FLOOR AND CEILING FINISHES TO REMAIN. CONTAIN ALL CONSTRUCTION DUST IN WORK AREA.
- K. ALL ITEMS TAKEN OUT DURING DEMOLITION NOT TO BE SALVAGED FOR OWNER OR REUSED IN THE WORK SHALL BE REMOVED FROM THE PROPERTY.
- L. ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUSES.
- M. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE OR-O.S.H.A. STANDARDS BOTH FOR ALL EMPLOYEES AND THE GENERAL PUBLIC.
- N. PRIOR TO BEGINNING ANY DEMOLITION, A SURVEY OF THE PROPOSED DEMOLITION SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE CONNECTIONS, AND AS BUILT CONDITIONS OF THE AREA TO BE DISMANTLED. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.
- O. DETERMINE IF ANY TYPE OF HAZARDOUS CHEMICALS, FLAMMABLE MATERIALS OR SIMILAR DANGEROUS SUBSTANCE, INCLUDING ASBESTOS, HAVE BEEN USED IN ANY PIPES, WHEN THE PRESENCE OF SUCH SUBSTANCE IS APPARENT OR SUSPECT, TESTING AND PURGING SHALL BE PERFORMED AND THE HAZARD ABATED, REMOVED, OR ELIMINATED BY APPROVED HAZ. MAT. CONTRACTORS BEFORE DEMOLITION STARTS OR CONTINUES.
- P. CONTRACTOR SHALL MAINTAIN MINIMAL LIGHTING IN DEMO SPACES TO PREVENT INJURY OR HARM.
- Q. PATCH EXISTING CONCRETE FLOOR AS REQUIRED FOR THE APPLICATIONS OF NEWLY INDICATED FINISHES.
- R. EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED TO PROVIDE A UNIFORM SURFACE, MATCHING ADJACENT NEW SURFACES FOR THE APPLICATION OF NEWLY INDICATED FINISHES.
- S. THE PUBLIC SHALL BE PROTECTED FROM DEMOLITION MATERIAL, DUST, FUMES, ETC. BY BARRIERS AND/OR PLASTIC SHEETS AS REQUIRED. DEMOLITION WORK SHALL CEASE IF THE PUBLIC IS ENDANGERED IN ANY WAY.
- T. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AT THE SITE WORK AREA, PROTECT THEM FROM DAMAGE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 23-265 (Cosmero)

Date Approved: 2/9/2024

Planner: M. Waffle

REV1
1.24.24



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Steel Buildings**
Peter Strauhel, CEO
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**AN EXTERIOR & INTERIOR
RENOVATION FOR GREG COSMERO**

PROJECT ADDRESS:
MISSION 4 SW OF 10TH
CARMEL-BY-THE, CA 93921
PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership
Architect, Anthony Laney
PO BOX 3164, SALEM, OR 97302
PH: 971-239-1519
CONTACT: PETER LYLE STRAUHAL, AIA

A3.0

FLOOR PLAN
PROJ.#: 22068
DATE: 01.24.24

EXISTING NORTH ELEVATION

SCALE: NO SCALE

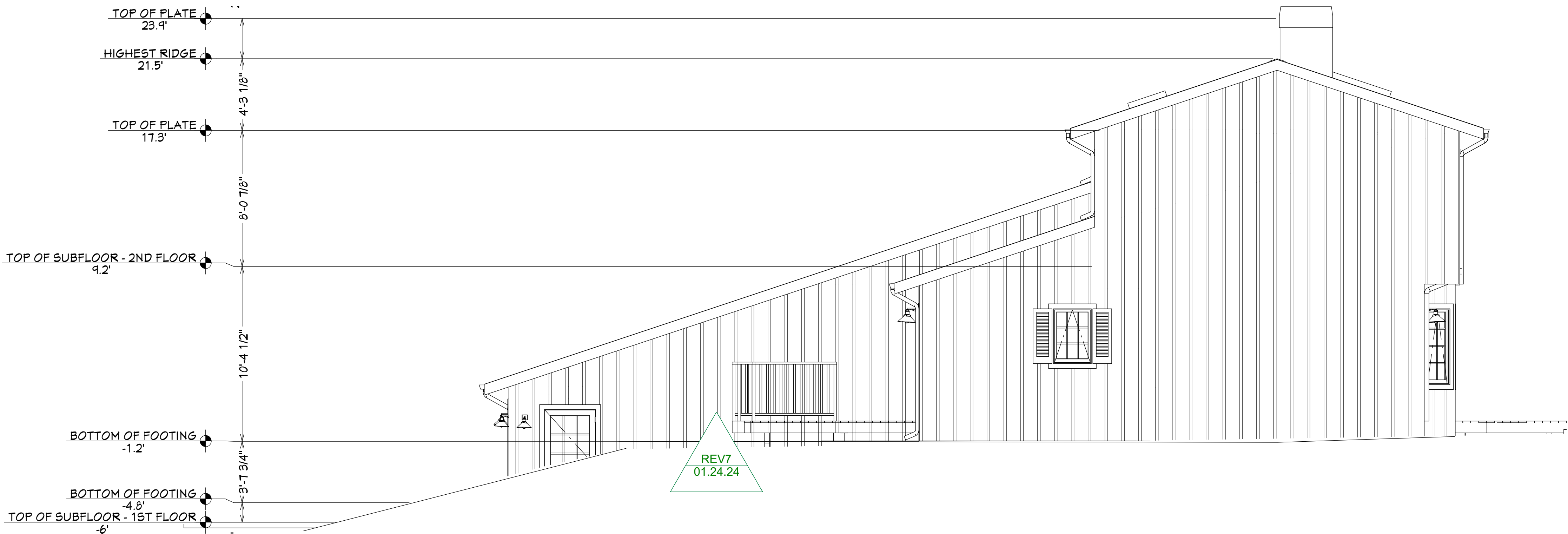
COULDN' T GET A
CLEAR PICTURE OF
NORTH SIDE OF
HOUSE



PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'

NO CHANGE IN HEIGHT EXISTING
TO REMAIN



A-4.0

VERSION: 1.0
DATE: 1/31/2024

EXTERIOR ELEVATIONS

REV #	DATE	BY	REV #	DATE	BY
5		JL	REV 7	01.24.24	JL
6	11/08/23	JL			

MISSION 4 SW of 10 SW REMODEL

MISSION 4 SW OF 10 SW , CARMEL, CALIFORNIA AP#

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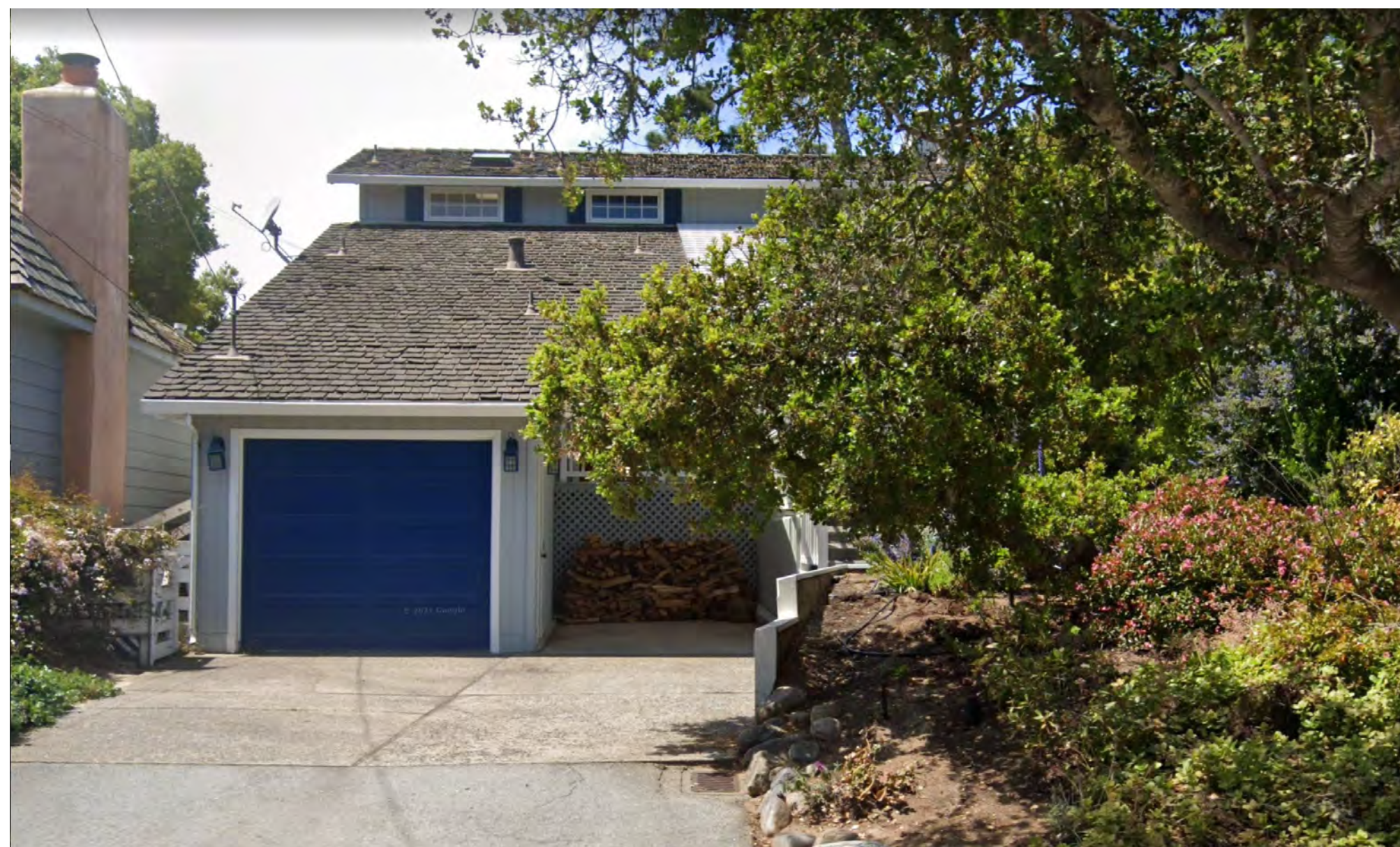
Jeremy
Leisure

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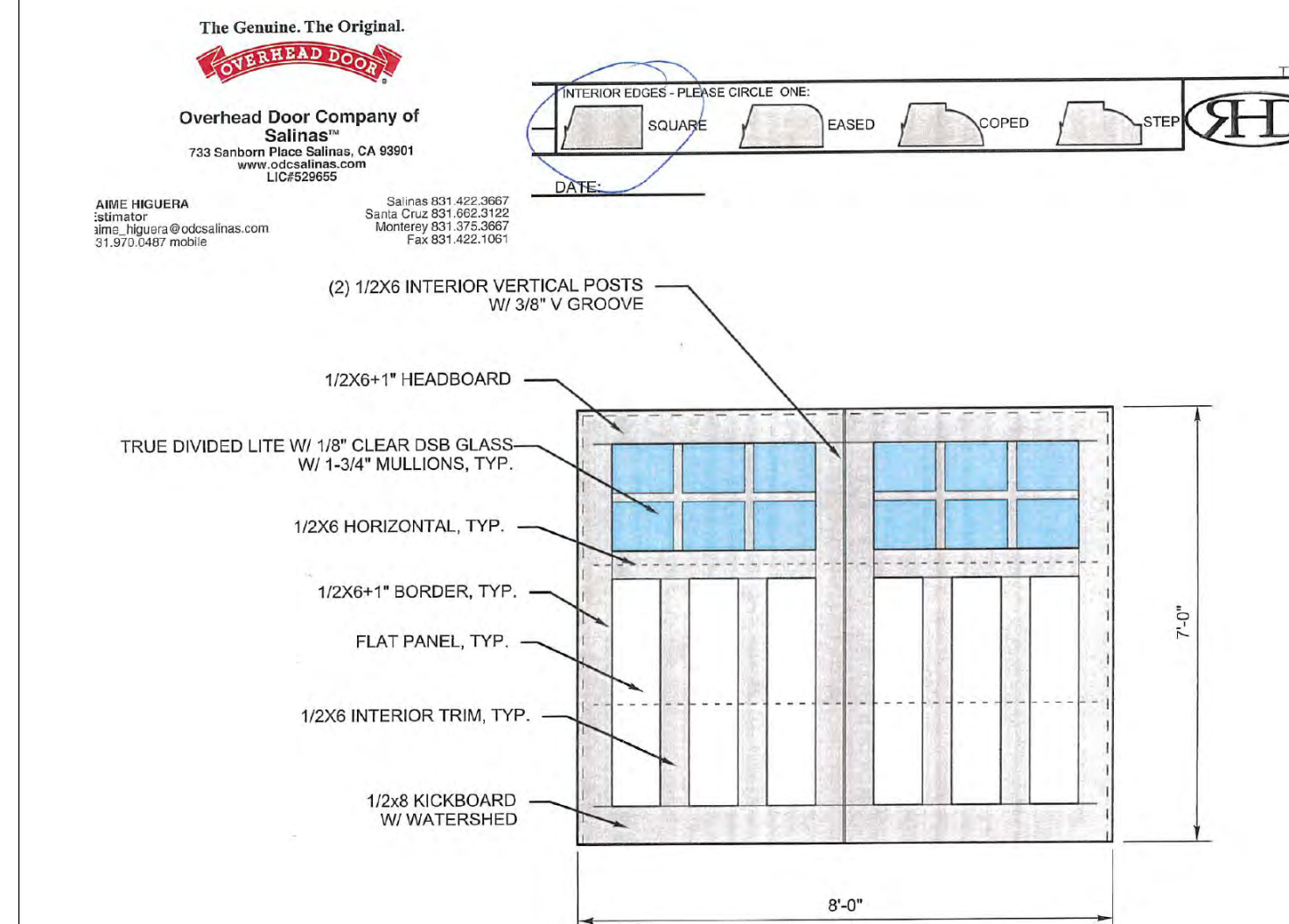
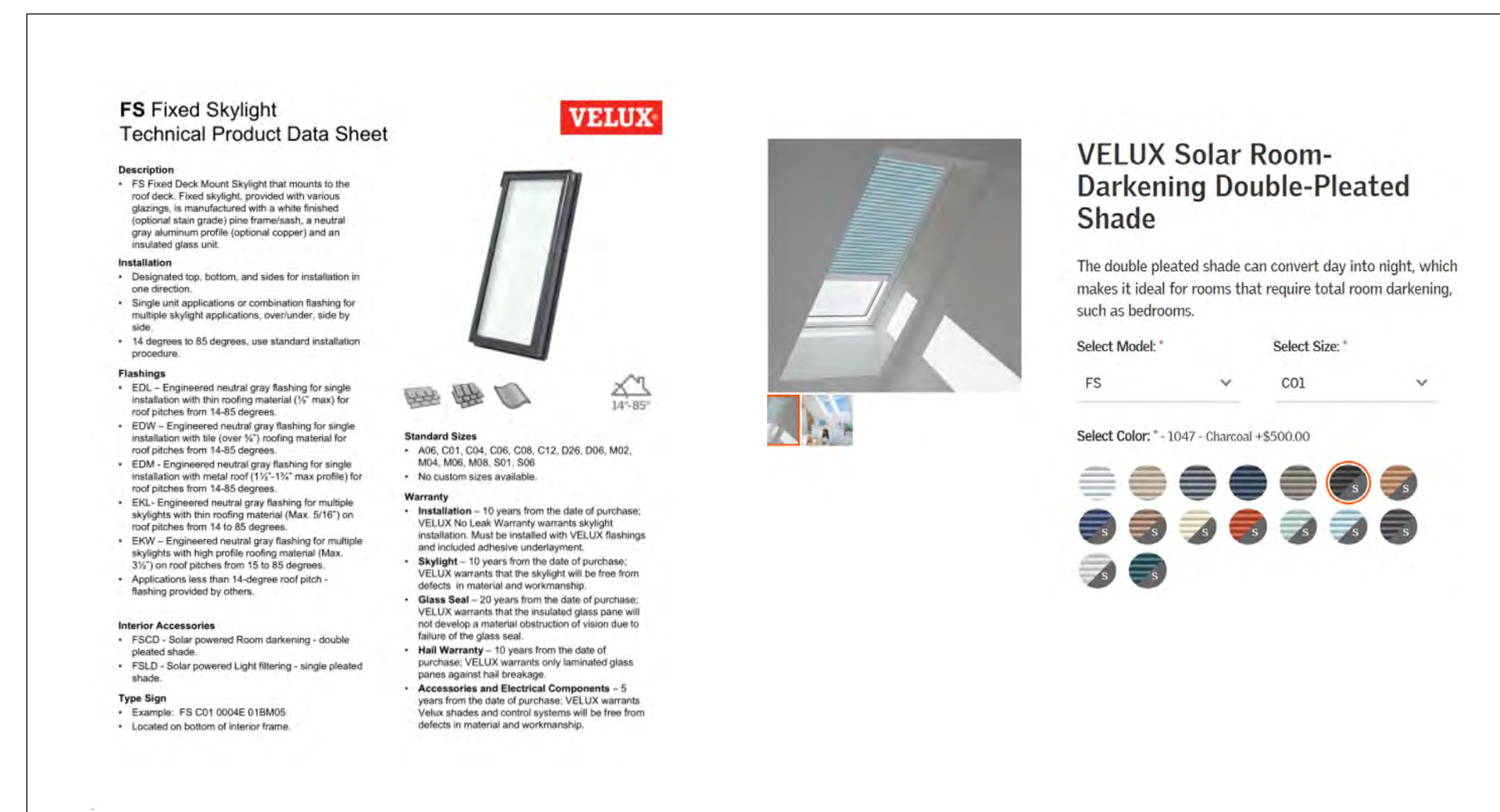
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SCALE: NO SCALE

REV6
11.8.23

REV7
01.24.24

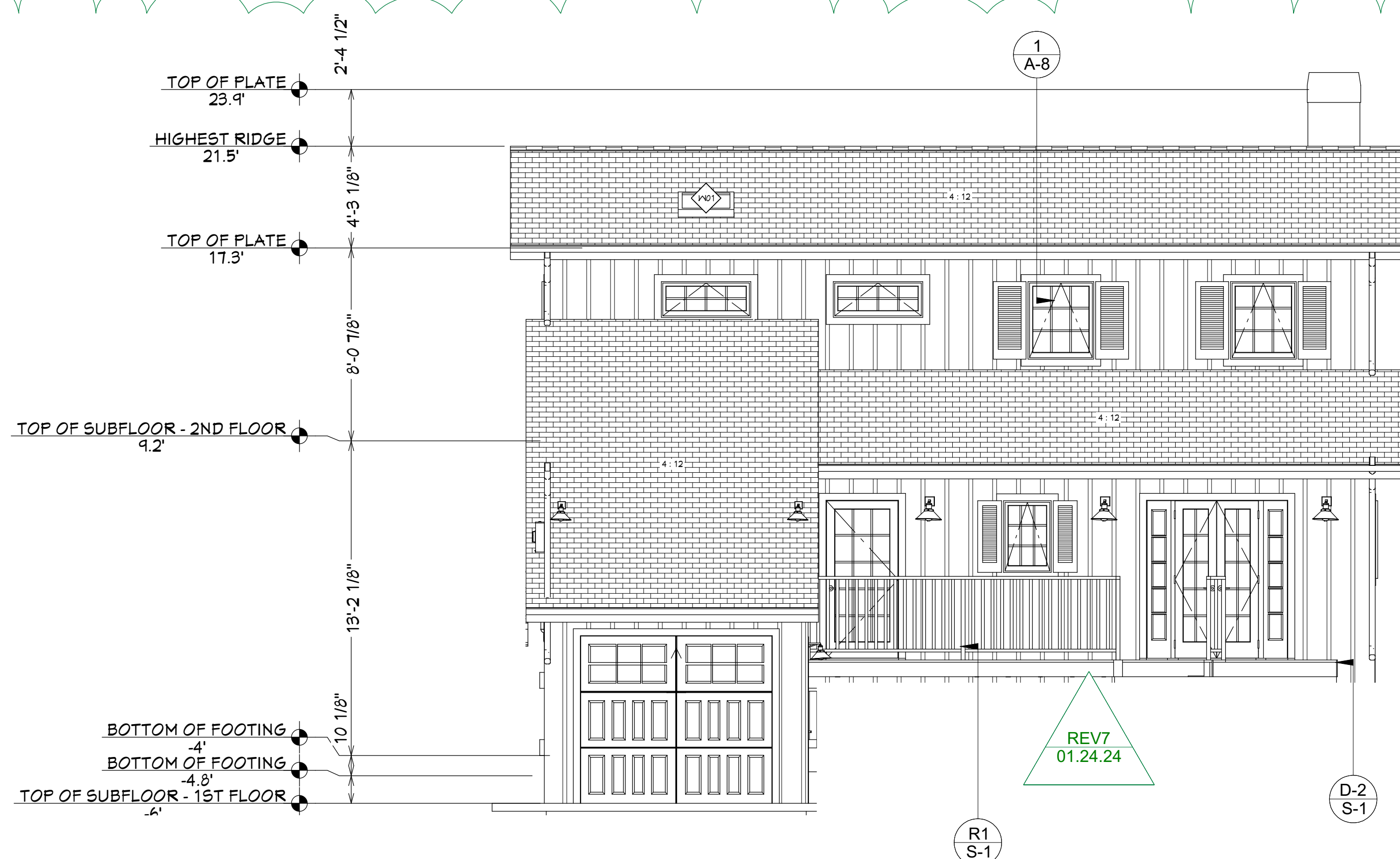
REV6
11.8.23

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

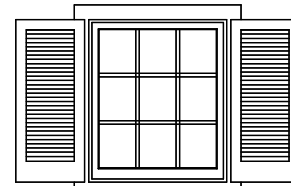

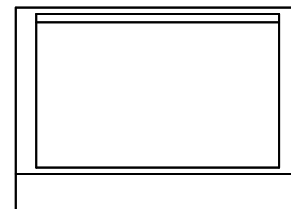
Planner: M. Waffle

NO CHANGE IN HEIGHT EXISTING
TO REMAIN

SCALE: 1/4"=1'



1- WINDOW SCHEDULE (new window)

WINDOW SCHEDULE									
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	COMMENTS
	W06	2433AW	1	2	2433AW	34"X40"	SINGLE AWNING	2"X6"X3" (2)	NEW WINDOW LIKE AND KIND
WINDOW SCHEDULE									
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	COMMENTS
	W01	2020	1	2	2020		RECT. SKYLIGHT		replaced like and kind
	W02	2040	2	2	2040		RECT. SKYLIGHT		replaced like and kind

REV7
01.24.24

2406.4.2 GLAZING ADJACENT TO DOORS GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.

EXCEPTIONS:

- 1 DECORATIVE GLAZING.
- 2 WHERE THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND GLAZING.
- 3 WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET (914 MM) OR LESS IN DEPTH. GLAZING IN THIS APPLICATION SHALL COMPLY WITH SECTION 2406.4.3.
- 4 GLAZING IN WALLS ON THE LATCH SIDE OF AND PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION IN ONE- AND TWO-FAMILY DWELLINGS OR WITHIN DWELLING UNITS IN GROUP R-2.

2406.4.3 GLAZING IN WINDOWS GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION:

- 1 THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET (0.84 M2).
- 2 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
- 3 THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
- 4 ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

A-5.0

VERSION: 1.0

DATE: 1/31/2024

EXTERIOR ELEVATIONS / SCHEDULE

REV #	DATE	BY	REV #	DATE	BY
5		JL	REV 7	01.24.24	JL
6	11/08/23	JL			

MISSION 4 SW of 10 SW REMODEL

MISSION 4 SW OF 10 SW
CARMEL, CALIFORNIA

STAMP/SIGNATURE

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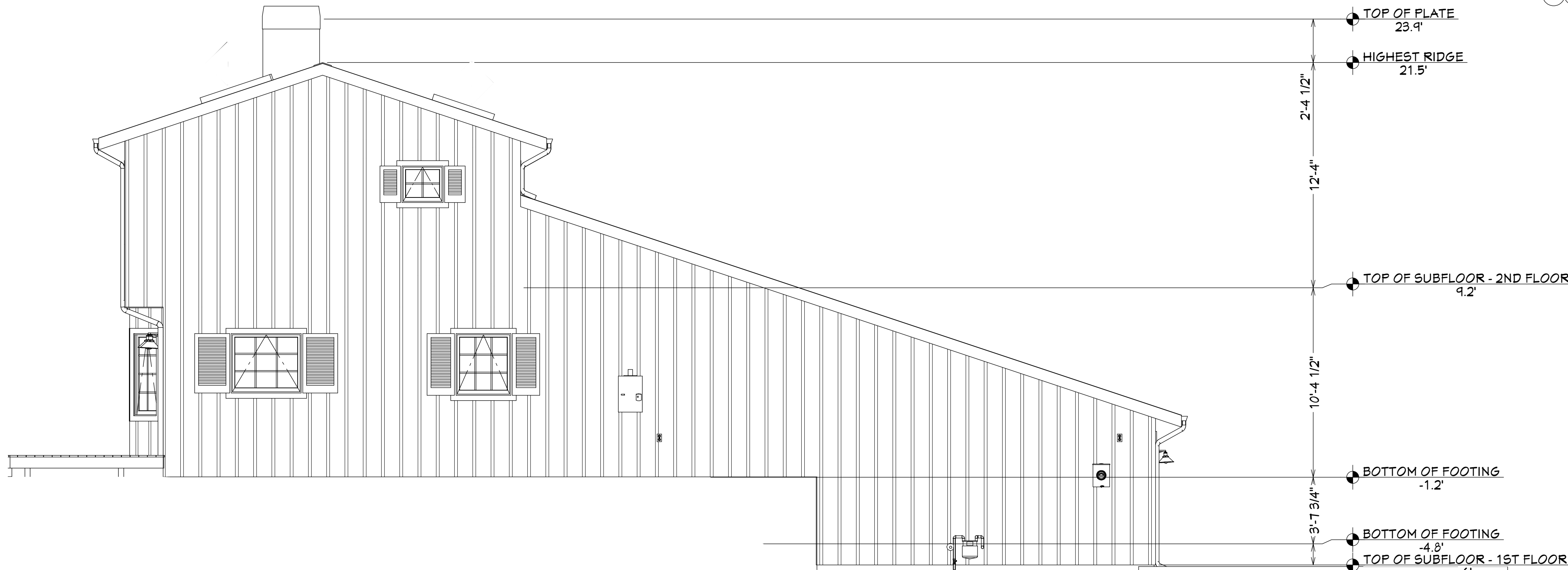
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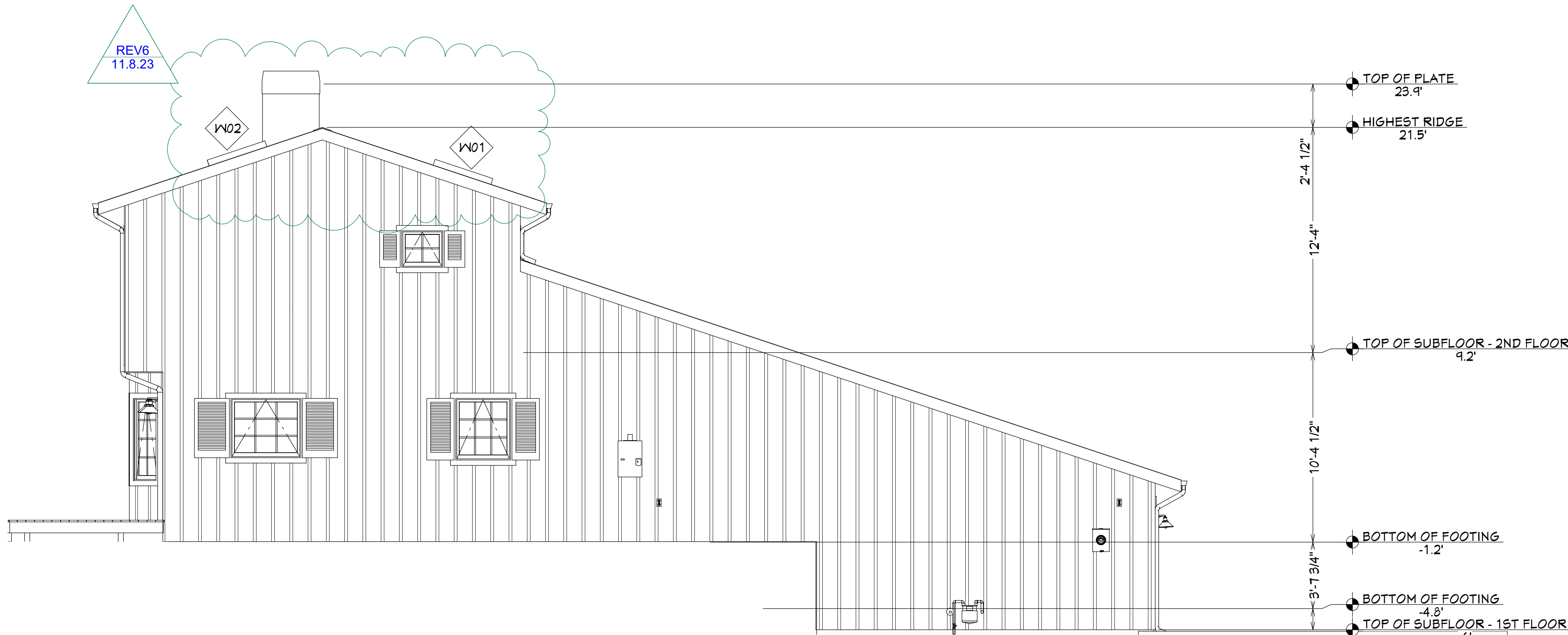
EXISTING SOUTH ELEVATION

SCALE: NO SCALE



PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'



A-6.0

VERSION: 1.0
DATE: 1/31/2024

EXTERIOR ELEVATIONS (CONTINUED)					
REV #	DATE	BY	REV #	DATE	BY
5		JL	REV 7	01.24.24	JL
6	11/08/23	JL			

MISSION 4 SW of 10 SW REMODEL		
	MISSION 4 SW OF 10 SW , CARMEL, CALIFORNIA	
	AP#	

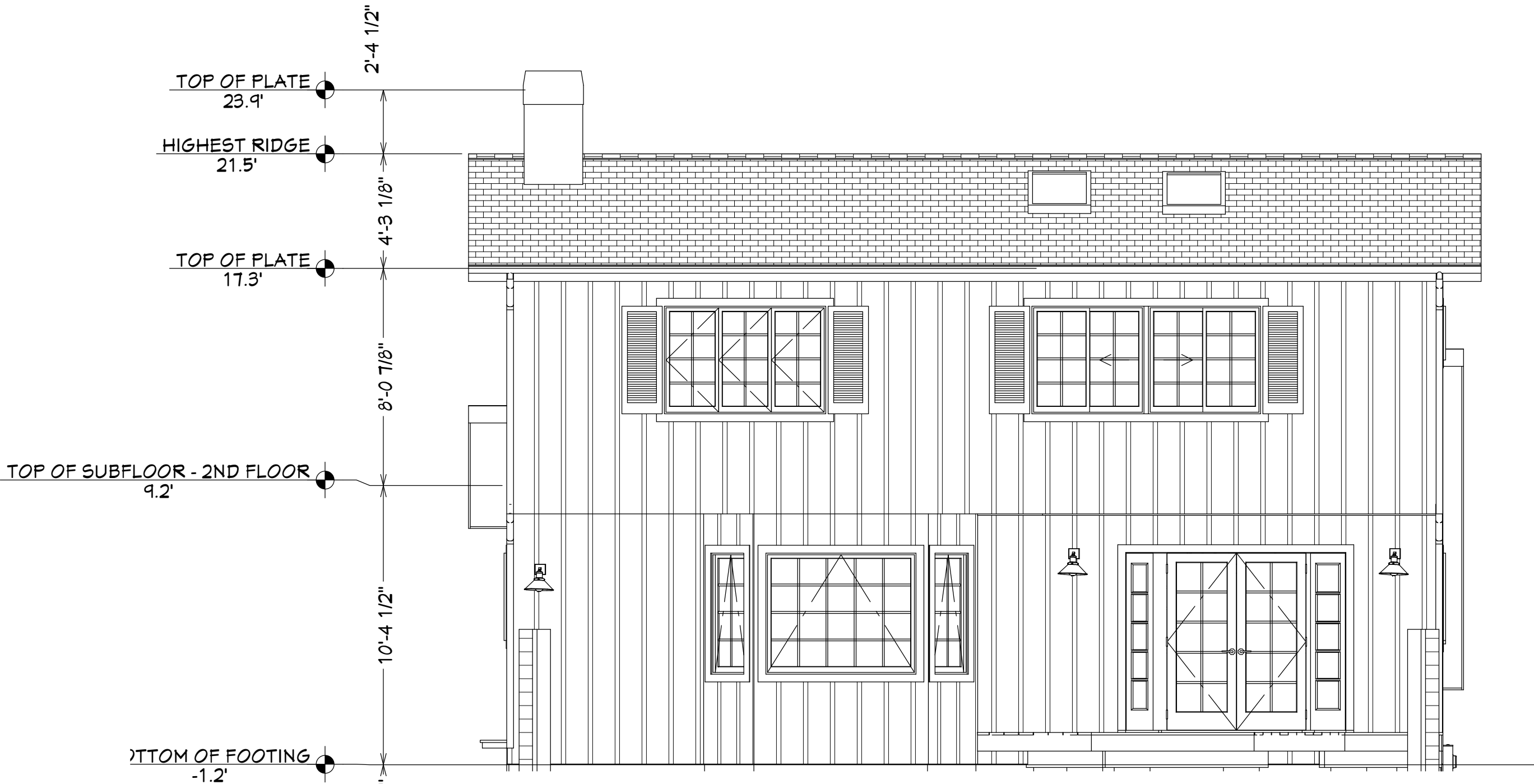
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EXISTING WEST ELEVATION

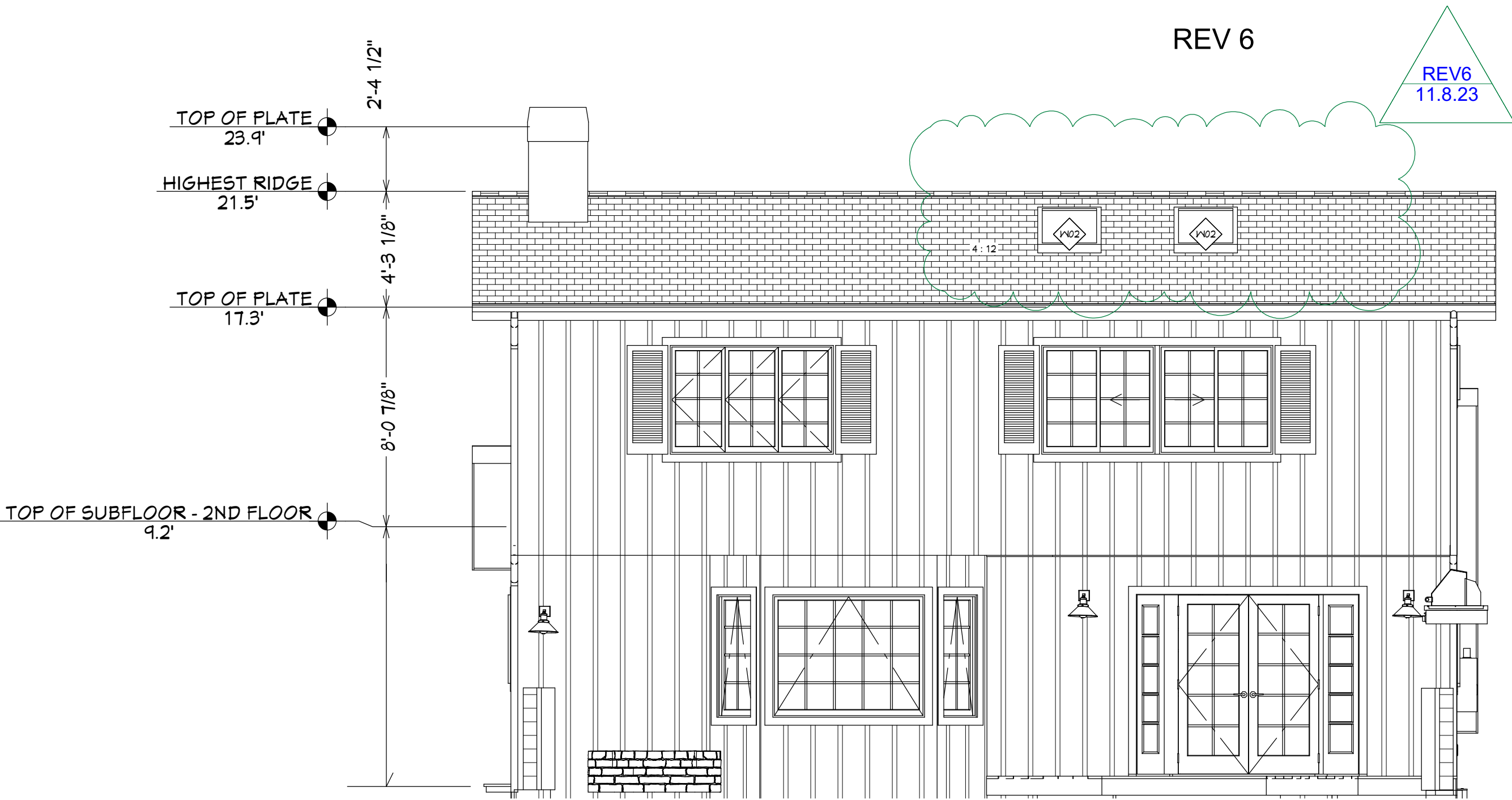
SCALE: NO SCALE



NO CHANGE IN HEIGHT EXISTING
TO REMAIN

PROPOSED WEST ELEVATION

SCALE: 1/4"=1'



A-7.0

VERSION: 1.0

DATE: 1/31/2024

EXTERIOR ELEVATIONS (CONTINUED)

REV #	DATE	BY	REV #	DATE	BY
5		JL	REV 7	01.24.24	JL
6	11/08/23	JL			

MISSION 4 SW of 10 SW REMODEL

MISSION 4 SW OF 10 SW
CARMEL, CALIFORNIA
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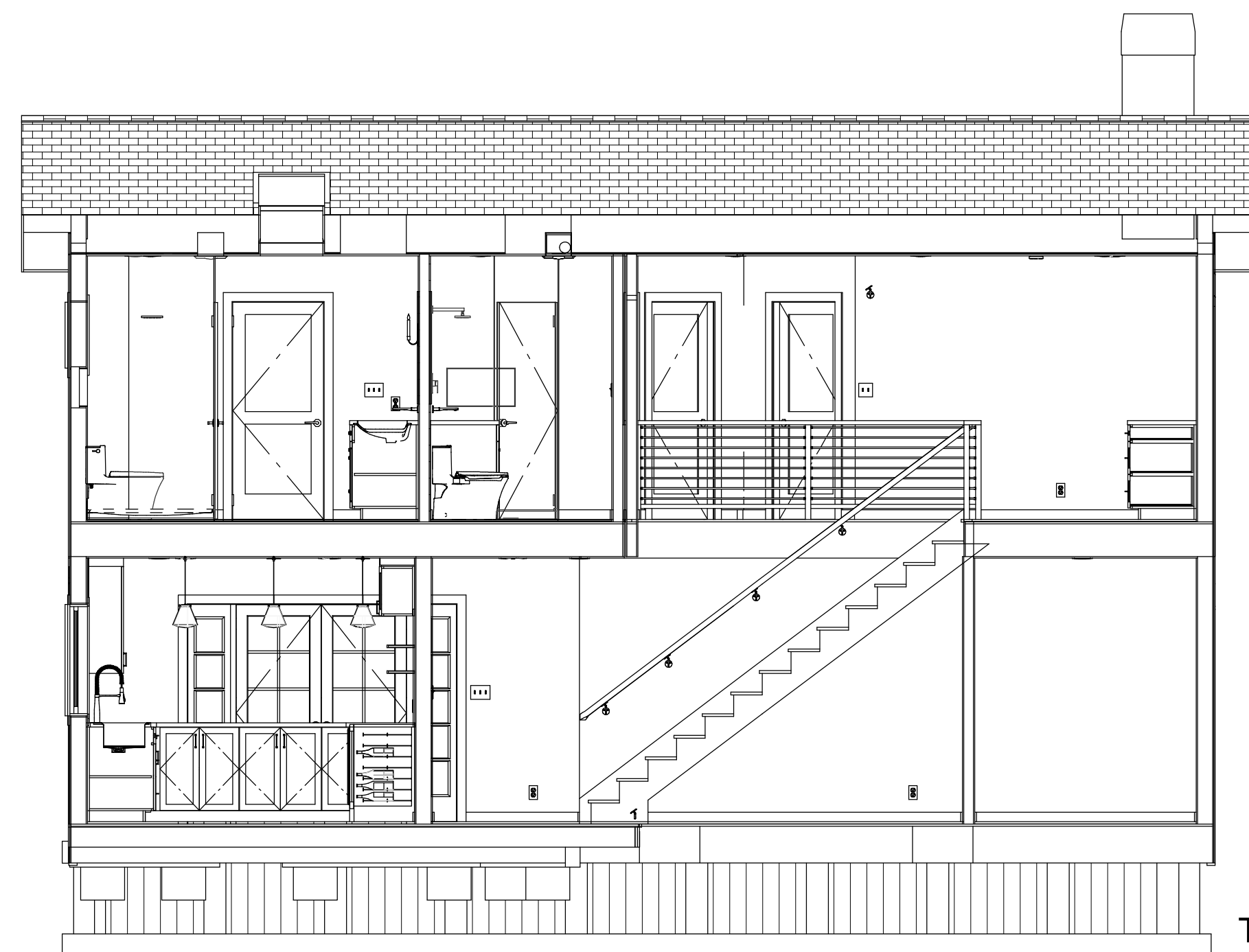
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SCALE: 1/4"=1'

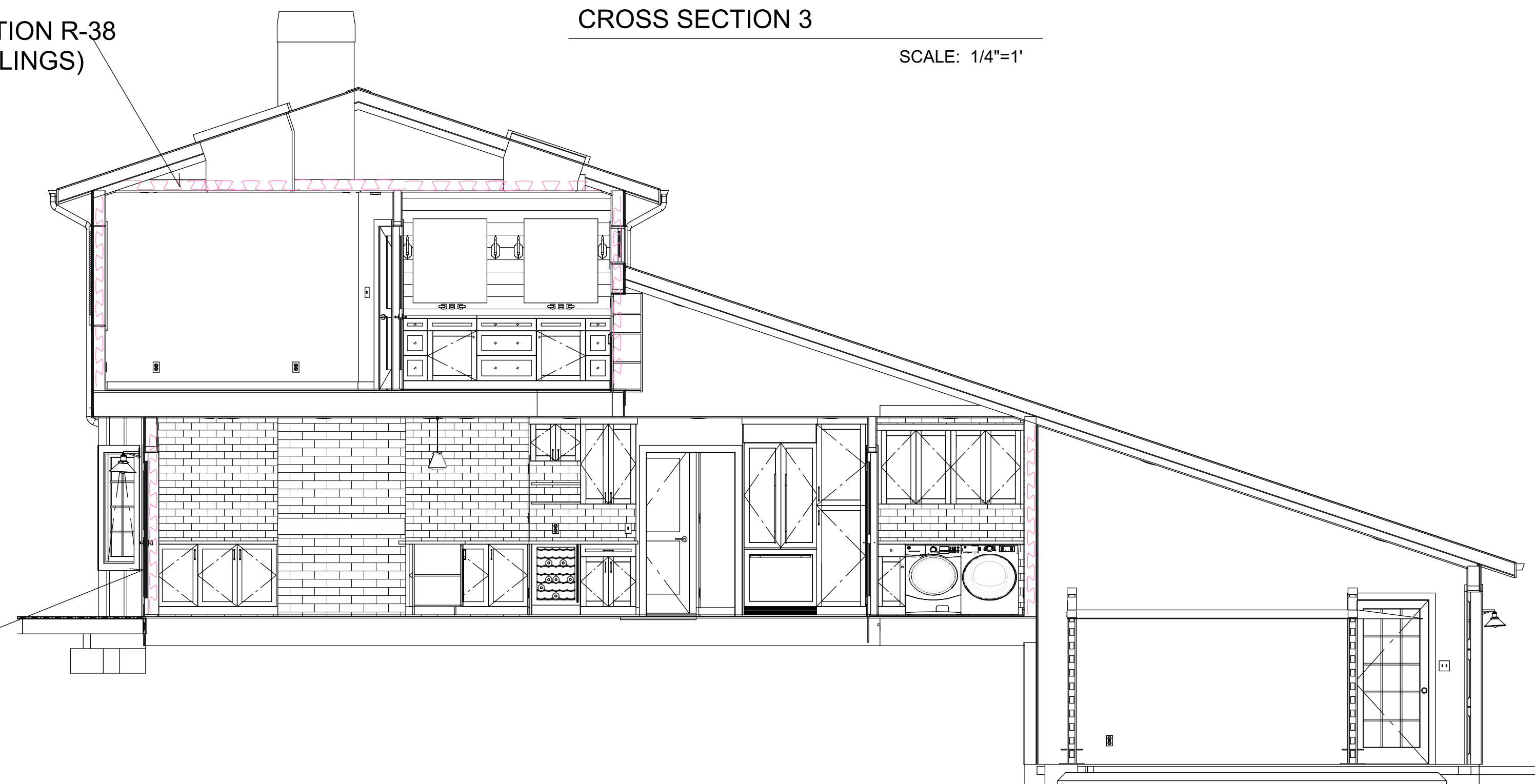


SCALE: 1/4"=1'



TYPICAL WALL INSULATION R-38
(ON ALL EXTERIOR CEILINGS)

SCALE: 1/4"=1'



TYPICAL WALL INSULATION R-13
(ON ALL EXTERIOR WALLS)

A-8.0

VERSION: 1.0

DATE: 1/31/2024

CROSS SECTIONS					
REV #	DATE	BY	REV #	DATE	BY
△5		JL	REV 7	01.24.24	JL
△6	11/09/23	JL			

MISSION 4 SW of 10 SW REMODEL

MISSION 4 SW OF 10 SW
, CARMEL, CALIFORNIA
AP#

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DESIGN

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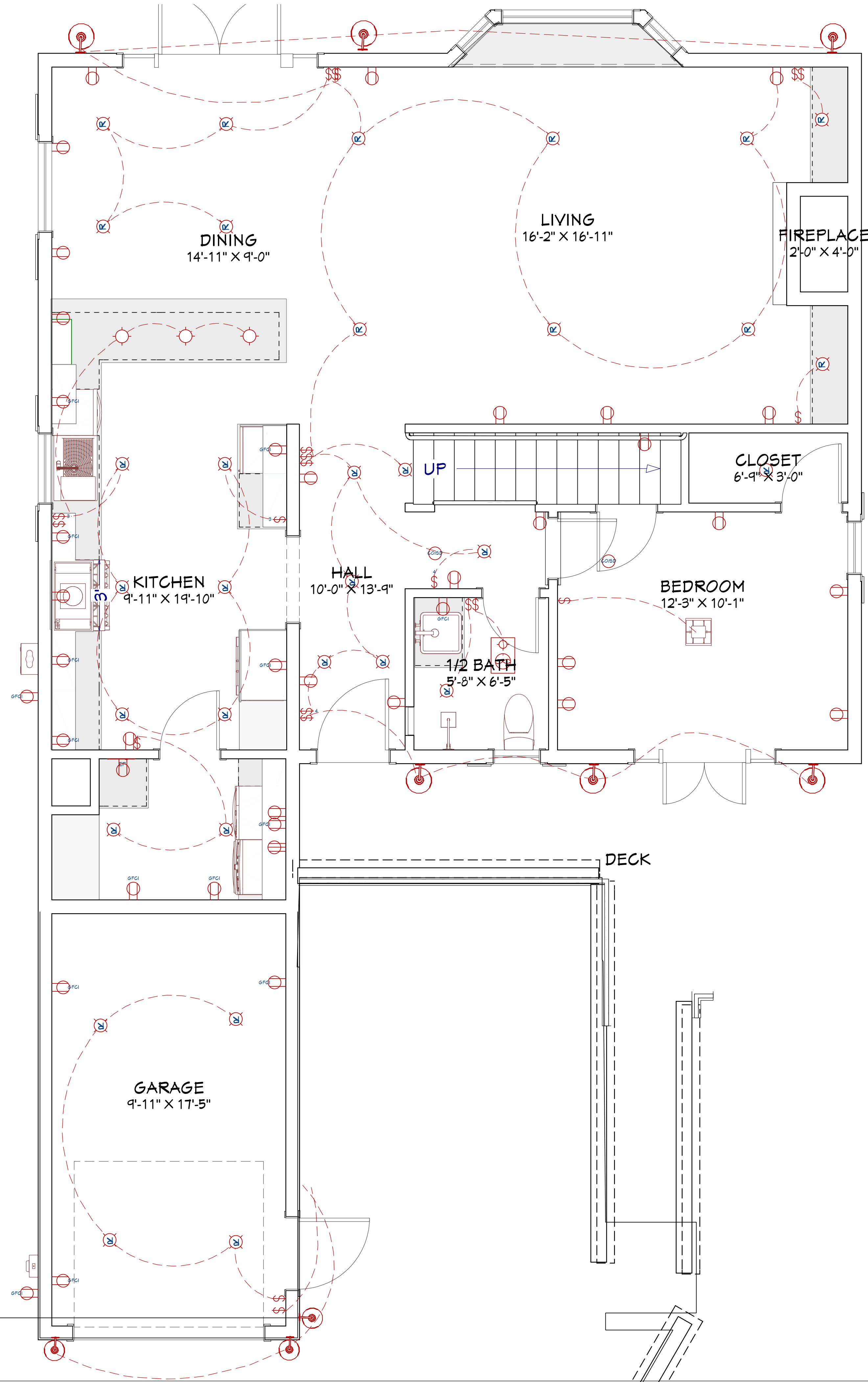
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ELECTRICAL PLAN 1ST FLOOR

SCALE: 3/8"=1'



CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED

Permit #: DS 23-265 (Cosmero)
Date Approved: 2/9/2024
Planner: M. Waffle

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
\$\$	2 GANG SWITCH	
⌚	220V	
\$\$\$	3 GANG SWITCH	
\$	3-WAY SWITCH	
\$	4-WAY SWITCH	
⌚	CO/SMOKE DETECTOR	HARD WIRED
💡	SCONCES	DOWN FACING
⌚	DUPLEX	
⌚	DUPLEX	TV PLUG
⌚	ELECTRICAL PANEL - RECESSED	
⌚	EXHAUST (LIGHT)	
⌚	FLASK PETITE PENDANT	
⌚	GFCI	
⌚	GFCI	DEDICATED
⌚	RECESSED DOWN LIGHT 6	
⌚	RECESSED DOWN LIGHT 6	AUTO ON
\$	SINGLE POLE SWITCH	

EXTERIOR LIGHTING & DATA NOTES:



8637401-15: Medium One Light Outdoor Wall Lantern

Dimensions:

Diameter: 12" Extends: 17 1/8"
Width: 12" Extends Max: 23 1/8"
Height: 10 5/8" Wire: 6 1/2" (color/Black/White)
Weight: 1.8 lbs. Mounting Proc.: Cap Nuts Connection: Mounted To Box

Bulbs:

1 - Medium A19 75w Max. 120v - Not included

Features:

- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JAB) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

1 Body - Aluminum - White

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990WB_37401-BRL)

Collection: Barn Light

Featured in the decorative Barn Light collection

1 A19 Medium 75 watt light bulb

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

UPC #: 785652092749

Finish: Black

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate			1 1/4	5	5 1/4	8 1/4

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8737401-12	1	785652092749	20.5	16.5	10.38	1	60		Yes

Municipal Code Restrictions

In all residential zones, the following lighting requirements apply:

- Wall-mounted lighting shall be no higher than 10 feet above the ground and shall not exceed 25 watts per fixture (approximately 375 lumens).
- Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts per fixture (approximately 225 lumens). Landscape lights shall be spaced at least 10 feet apart. No lighting may be used to accent trees, walls, fences, etc.
- No lighting is permitted upon City property or directed towards City property, including the Right of Way.



Sunlite 40457-SU LED R14
Mini Reflector Floodlight
Bulb 4 Watts (25W
Equivalent), 250 Lumens,
Medium (E26) Base,
Dimmable, ETL Listed, 27K-
Warm White, 3 pack

\$16.99

SKU: 40457-SU

E-1

VERSION: 1.0
DATE: 1/31/2024

ELECTRICAL PLAN 1st floor

MISSION 4 SW of 10 SW REMODEL

MISSION 4 SW OF 10 SW
CARMEL, CALIFORNIA
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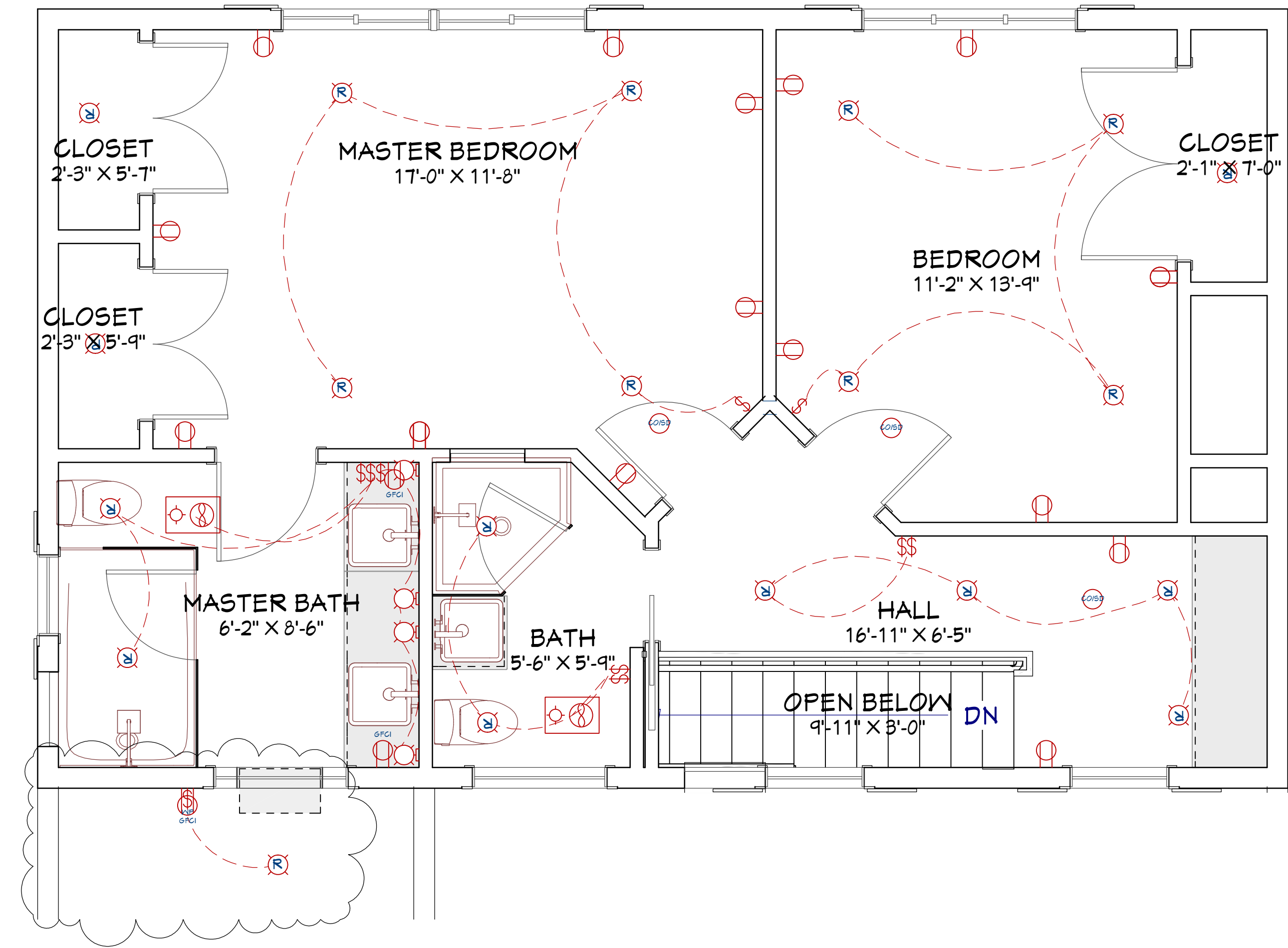
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ELECTRICAL PLAN 2ND FLOOR

SCALE: 3/8"=1'



ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
\$\$	2 GANG SWITCH	
\$	WEATHERPROOF SWITCH	
\$\$\$	3 GANG SWITCH	
CO/SMOKE	CO/SMOKE DETECTOR	HARD WIRED
CANDELABRA	CANDELABRA SCENCE	
DUPLEX	DUPLEX	
DUPLEX	DUPLEX	TV PLUG
EXHAUST	EXHAUST (LIGHT)	
GFCI	GFCI	
RECESSED DOWN LIGHT	RECESSED DOWN LIGHT 6	
RECESSED DOWN LIGHT	RECESSED DOWN LIGHT 6	AUTO ON
SINGLE POLE SWITCH	SINGLE POLE SWITCH	

ELECTRICAL & DATA NOTES

- HOMEOWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- 1 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, GARAGES AND EXTERIOR LOCATIONS SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 - 2 PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - 3 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 - 4 ELECTRICAL RECEPTACLE OUTLETS AT COUNTERTOPS 44" MIN. FROM FINISHED FLOOR. CBC 11B-308.2.2
 - 5 ELECTRICAL RECEPTACLE OUTLETS TO BE 44" MAX. AND 15" MIN. ABOVE FINISHED FLOOR. CBC 11B-308.2.1.
 - 6 KITCHEN AND DINING MUST HAVE A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS. KITCHEN COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" OR WIDER, NOT GREATER THAN 4'-0" ON CENTER AND WITHIN 24" OF THE END OF ANY COUNTER SPACE. CEC 210.52, 210.11(C)(1).
 - 7 BATHROOM RECEPTACLE OUTLETS TO BE SUPPLIED BY A DEDICATED 20 AMP BRANCH CIRCUIT. PROVIDE MINIMUM ONE 20-AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON CIRCUIT. (WHERE A 20-AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OTHER OUTLETS, LIGHTING WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED BY THIS CIRCUIT). CEC 210.11(C)(3) AND EX. 210.23(A)(2).
 - 8 BATHROOM EXHAUST FAN VENTED TO THE EXTERIOR FOR EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR COMBINATION FOR PURPOSE OF HUMIDITY CONTROL WITH A MINIMUM OF 50 CFM. IF BATH FAN INCLUDES A LIGHT, THEY MUST BE SWITCHED SEPARATELY. BATH FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. CRC 303.3.1, CBC 1203.4.2.1, CMC 4.02.5
 - 9 LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. JA8-2016-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.
 - 10 ALL RECESSED LIGHTS IN OR ABOVE SHOWERS SHALL BE WET LOCATION RATED
 - 11 ELECTRICAL PANEL BOARDS INSTALLED OUTDOORS NEED TO BE WEATHERPROOF AND LISTED FOR DAMP/WET LOCATIONS. CEC 408.37, 312.2(A)
 - 12 DWELLING RECEPTACLES ON 120 VOLT 15 AND 20 AMP CIRUITS SHALL BE TAMPER RESISTANT PER CEC 406.12
 - 13 ELECTRICAL RECEPTACLES SHALL BE 48" MAX - 15" MIN. ABOVE FINISHED FLOOR.
 - 14 ALL LIGHT FIXTURES TO BE LED OR SIMILAR HIGH EFFICIENCY UNITS.
 - 15 ALL NEW OR RECONFIGURED 120 V, SINGLE-PHASE, 15 AND 20 AMP BRANCH CIRCUITS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS IN ACCORDANCE WITH CEC 210.12. EXCEPT THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.
 - 16 AT LEAST ONE LUMINAIRE IN ALL BATHROOMS, GARAGES, UTILITY AND LAUNDRY ROOMS SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR.
 - 17 A BATHROOM WHICH CONTAINS A BATHTUB OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: HAVE A MINIMUM VENTILATION RATE OF 50 CFM, BE ENERGY STAR COMPLIANT AND MUST BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN.
 - 18 DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8 (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES AND THEY SHALL COMPLY WITH SECTION 119(D) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET; LUMINAIRES IN HALLWAYS.
 - 19 AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER PER CEC 210.
 - 20 BRANCH CIRCUITS FOR LIGHTING AND APPLIANCES, INCLUDING MOTOR OPERATED APPLIANCES, SHALL BE PROVIDED TO SUPPLY THE LOADS CALCULATED IN ACCORDANCE WITH CEC 210.10, CEC 210.11. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, 2 OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS REQUIRED BY 210.52(B), CEC 210.11(1)
 - 21 SEPARATE BRANCH CIRCUIT FOR DISHWASHER SHALL BE GFCI PROTECTED.
 - 22 PERMANENTLY INSTALLED LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICIENCY LUMINAIRES, AT LEAST ONE LUMINAIRE IN THESE ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH CEC119(D)
 - 23 RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.
 - 24 KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND AND PENINSULA COUNTERTOPS, SHALL HAVE GFCI AND AFCI PROTECTION.
 - 25 RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
 - 26 KITCHEN, BREAKFAST, DINING ROOMS AND SIMILAR AREAS OF A DWELLING UNIT SHALL HAVE TWO (2) OR MORE SMALL APPLIANCE BRANCH CIRCUITS REQUIRED BY N.E.C. SECTIONS 210.11(C)(1), 210.52(A)(C).
 - 27 PROVIDE AT LEAST ONE 20A/120V GFCI CIRCUIT FOR OUTLETS AT EACH BATH VANITY AS PER N.E.C.210-11(C)3. CIRCUIT SHALL HAVE NO OTHER OUTLETS.
 - 28 LUMINAIRES INSTALLED IN CLOSETS SHALL BE 12" FROM EDGE OF STORAGE SHELF FOR INCANDESCENT OR LED SURFACE MOUNTED OR 6" RECESSED FLUORESCENT, INCANDESCENT OR LED.
 - 29 ALL EXISTING AREAS OF THE RESIDENCE WHERE WORK IS NOT TO OCCUR, ELECTRICAL SCOPE IS ASSUMED TO BE COMPLETE AND IN GOOD WORKING ORDER U.O.N.
 - 30 PER 2019 CALIFORNIA ENERGY CODE, SECTION 150(K), ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.
 - 31 THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL INTERIOR DUCT, VENTED TO OUTDOORS, HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK-DRAFT DAMPER.

E-2

VERSION: 1.0
DATE: 1/31/2024

ELECTRICAL PLAN 2nd floor					
REV #	DATE	BY	REV #	DATE	BY
5		JL	REV 7	01.24.24	JL
6	11/08/23	JL			

MISSION 4 SW of 10 SW REMODEL	
MISSION 4 SW OF 10 SW , CARMEL, CALIFORNIA AP#	

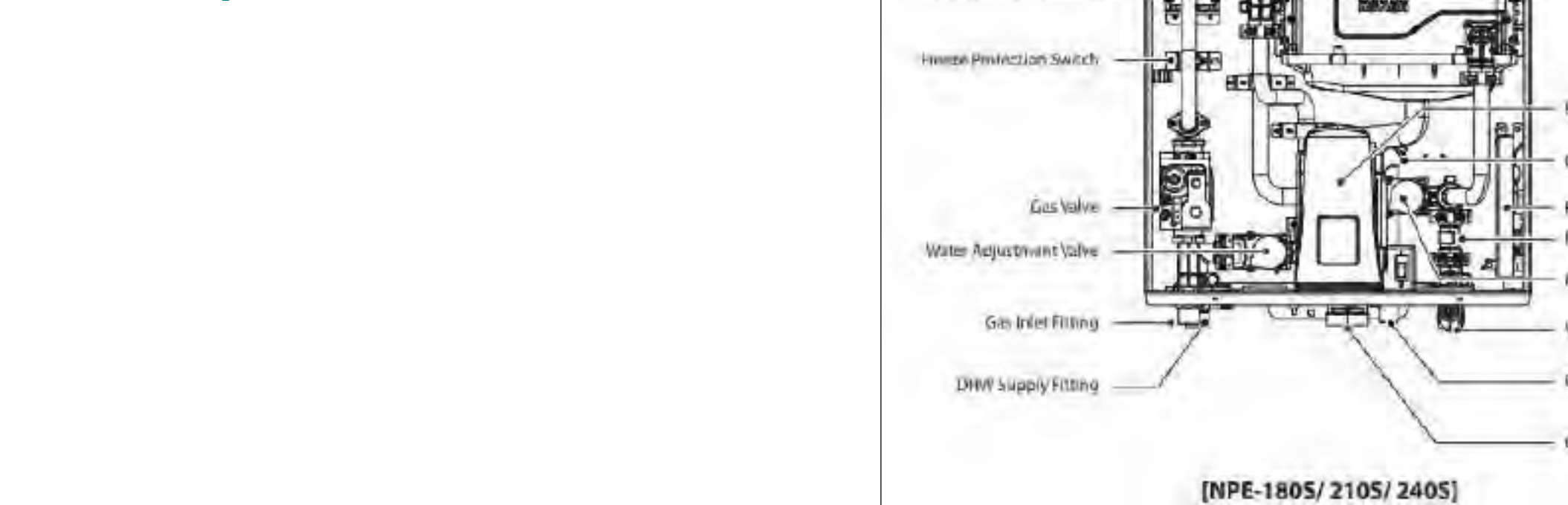
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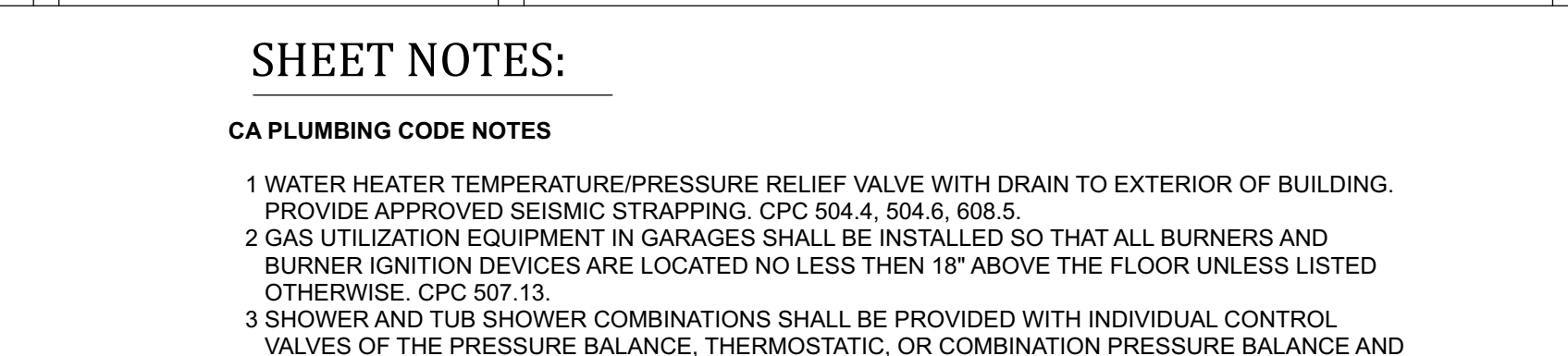
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SCALE: 1/4"=1'



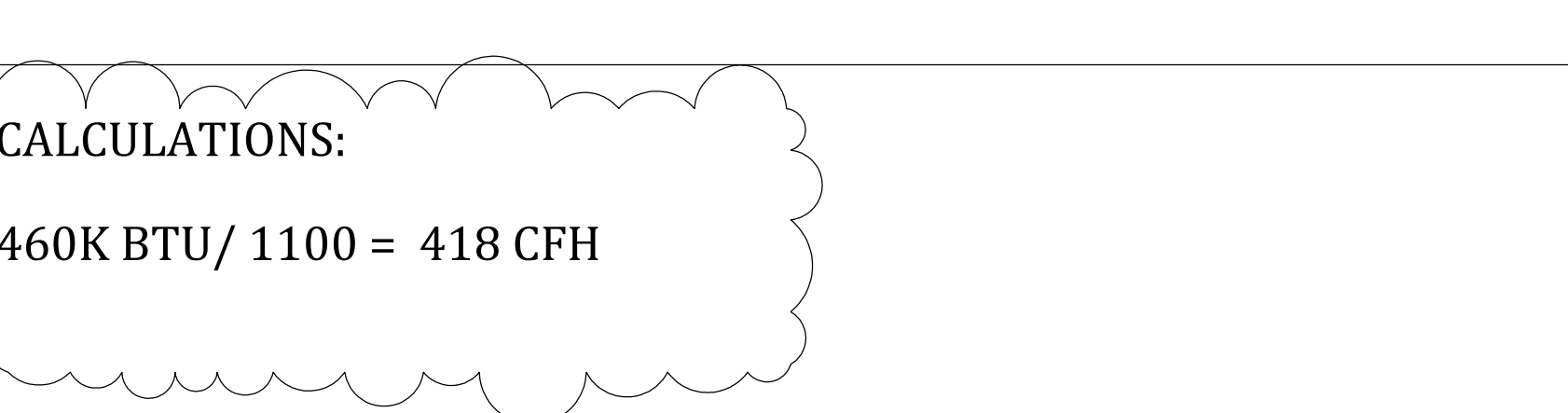
SCALE: 1/4"=1'



CARB PLUMBING CODE NOTES

1 WATER HEATER TEMPER.

- [illegible]



Brand: Navien

#915SB

LACE HEATER



DATE: 1/31/2024

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MISSION 4 SW of 10 SW REMODEL

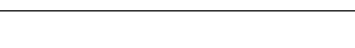

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AP#

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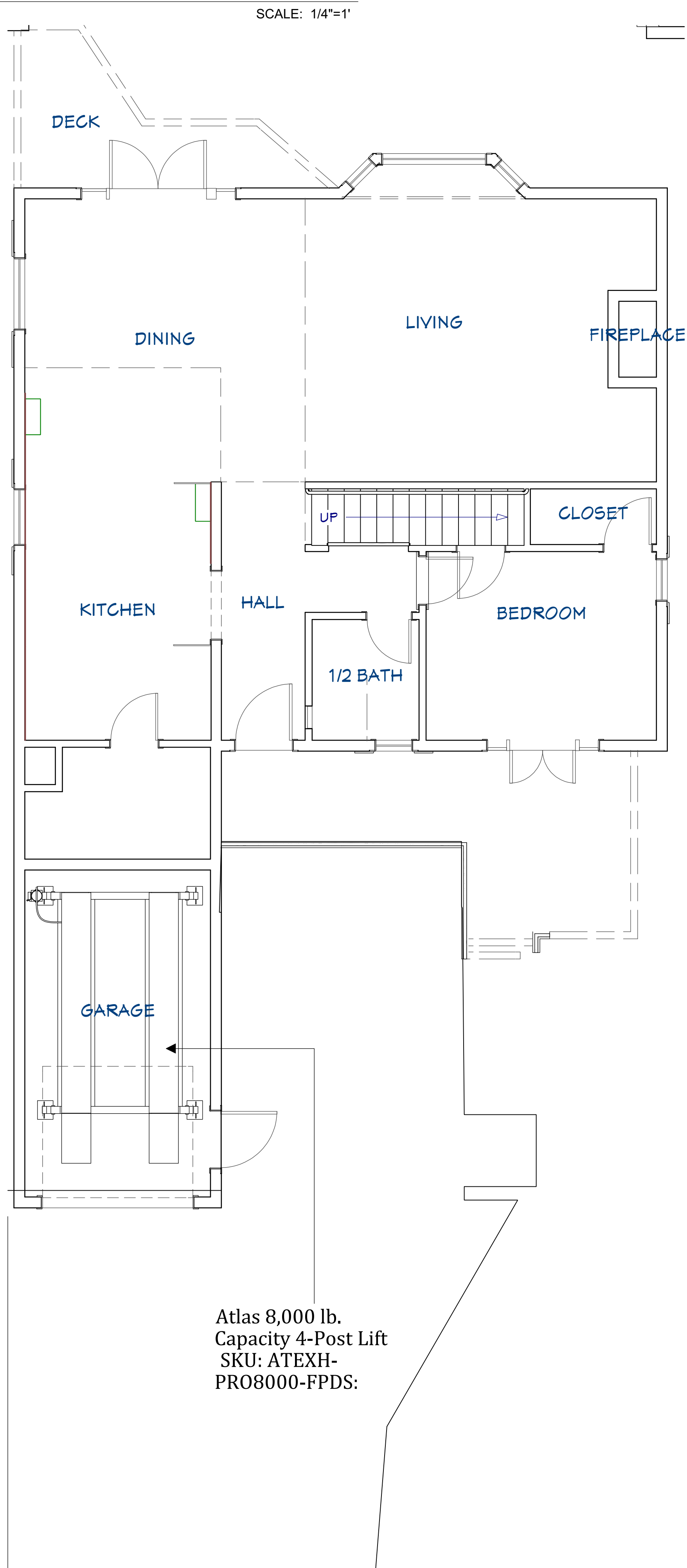
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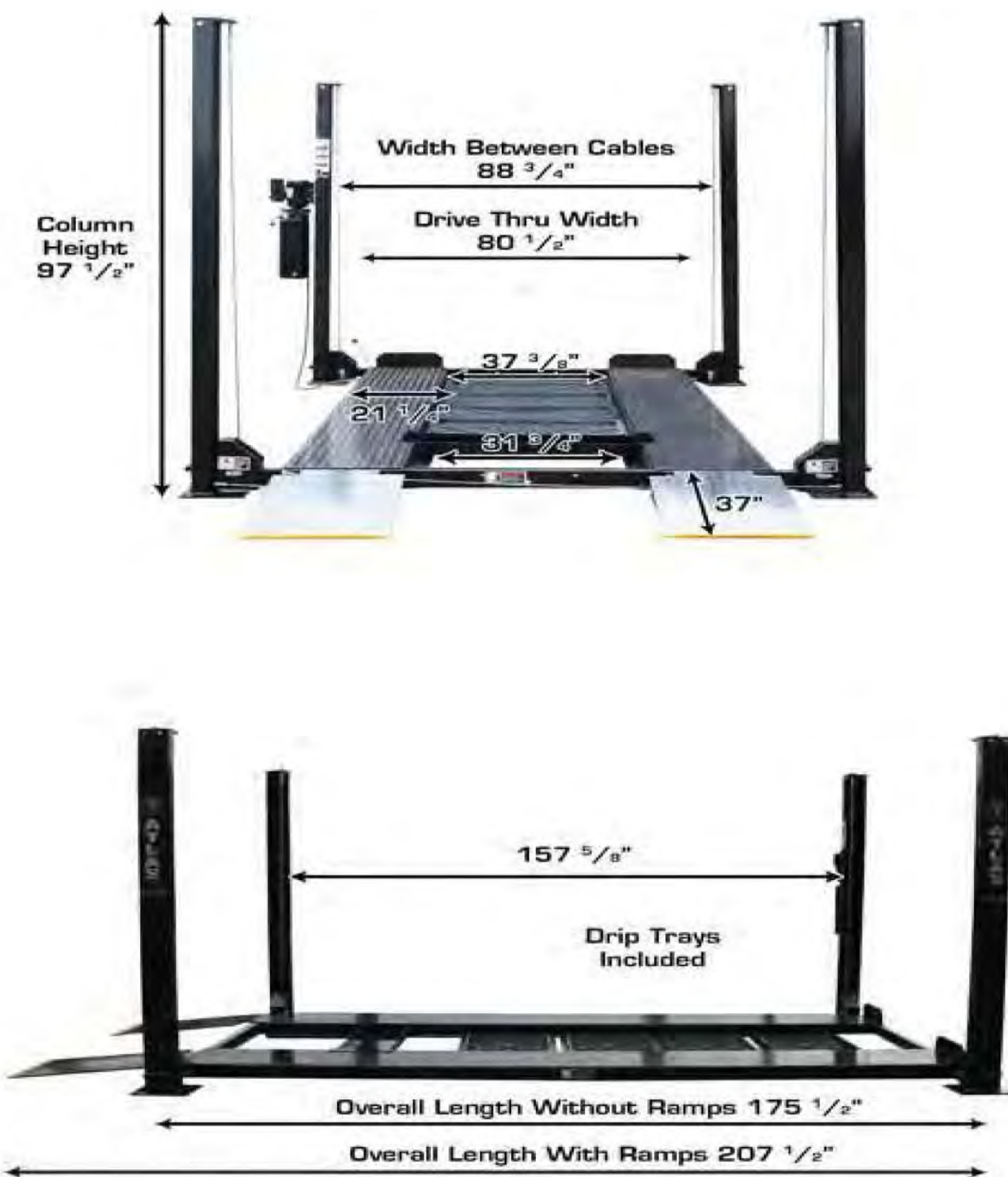
MECHANICAL & NOTES



Atlas 8,000 lb.
Capacity 4-Post Lift
SKU: ATEXH-
PRO8000-FPDS:

Atlas 8,000 lb. Capacity 4-Post Lift
SKU: ATEXH-PRO8000-FPDS:

LIFT SPECIFICATIONS



TOOLS REQUIRED FOR INSTALL

The installation of this lift is relatively simple and can be accomplished by two men in a few hours. The following tools and equipment are needed:

- Set of metric wrenches and/or sockets
- Adjustable wrench
- ISO 32 Light Hydraulic Oil (approx. 3 gallons)
- Locking pliers
- 25' Tape measure
- Step Ladder

INSTALLATION PROCEDURE

STEP 1. Remove plastic wrap from top runway and remove all hardware, safety lock rods, hoses and cables. You should also find this manual in the top runway.

- STEP 2.** Find the end of the unit that is already mounted to the cylinder and tighten the elbow that attaches the hose to the side of the runway using the jam nut. Also, check the fitting at the cylinder end and make sure it is tight.
- STEP 3.** Extend cylinder rod out of the cylinder to about 18" from the end of runway. This can be done by pulling or pushing on the ½" plate on the end of the cylinder. Make sure that the ½" plate is threaded tight against the cylinder rod. Also, be sure the ½" plate is on the rod and hand tighten the lock nut on the end of the cylinder.
- STEP 4.** Unbolt the top runway from the shipping plates at each end of the package. Be sure to secure runway with hoist to prevent runaway from falling. Runway will need to be turned over so it is no longer upside down. Place this runway in your bay with the hydraulic fitting facing towards the outside (see Page 1).
- STEP 5.** Next, unbolt the four columns from the package and place the column with the power unit mounting bracket at the end of the previously unpacked runway nearest to the hydraulic fitting. Stand these columns on their base plates with the locking ladders facing to the outside (front of ramp) and pullies toward the inside (see Fig. 1).
- STEP 6.** Unpack the bottom runway. Lay the approach ramps near the approach end of the lift and set out the remaining parts away from the lift. Place the two cross rails at each end of the lift with the locks toward the outside (front or rear) of the lift (see Fig. 1). Remove the shipping brackets from the bottom runway and turn over placing the runway in the bay next to the other runway with the "L" shaped side facing the "L" shaped side of the other runway.
- STEP 7.** If you have a means for securely lifting cross rails high enough to lower them into the top of the columns, then remove the top plates from the top of the columns while the columns are standing. If you don't have a means for securely lifting them, then you will need to lay the columns down and remove the top plates to allow the cross rails to be slid into the columns.
- STEP 8.** Slide each cross rail into the front or rear two columns by holding the lock lever down, to allow the rail to slide past the locking positions. Leave the cross rail locked in the lowest position on the column. Repeat this step for the other cross rails (see Fig. 1).
- STEP 9.** Position the front cross rail columns at 170" from the rear cross rail columns by measuring from the outsides of the columns. Square the lift by measuring diagonally between the right, front column to the same position on the left rear column. Compare your measurement between the left front column and the right rear column. This should be within ½" to allow some forgiveness to bolt on runways.
- STEP 10.** Lift the runways onto the cross rails and then bolt them in place using the "H" holes towards the outside of the cross rails. The four drop-in ramp plates will be used with the spacer side facing the lift and through-bolted from the outside of the cross rail, through the runway using bolts provided with washers. Lock washers and nuts (see Fig. 2).

CABLE INSTALLATION

STEP 12. Lay out all cables and measure from end to end to determine correct cable positions (see Fig. 3).

STEP 13. Since the nub end of the cable is easier to feed through the pulley, start with the pulley at the end of the cross bar and work your way back to the cylinder (see Fig. 3).

STEP 14. Install cable nubs into appropriate slots in $\frac{1}{2}$ " plate and secure with slats on 14" plate. Tighten the nubs so the nylon nut is fully threaded onto the head of the cylinder. This cable bracket should still be able to move freely on the cylinder head.

STEP 15. Run the threaded cable ends into the hole in the top caps and secure with washer and nylon nut. Hand tighten only, final adjustment will be made later. Do tighten the nylon nut on the end of the cylinder at this time.



HYDRAULIC ASSEMBLY

- STEP 16.** Be sure wiring is in compliance with your local electrical codes.
- STEP 17.** Rind the four 5/16" bolts, nuts and lock washers and attach the power unit to the mounting bracket on the column.
- STEP 18.** Remove dust cover from the port on the side of the power unit and attach the "O" ring elbow. Do not over tighten. The backing nut and "O" ring will complete the seal to the power unit.
- STEP 19.** Install the 3/8" hose to the fitting on the side of the runway and connect opposite end to the fitting on the power unit. Tighten JIC fittings carefully, do not over tighten.

LOCK LINKAGE ASSEMBLY

STEP 20. The single point safety lock is a system of connecting rods and linkage that disengage the four lock latches that secure the lift to each column.

Locate the six rods:

- a. 2 – long rods
- b. 2 – short rods
- c. 1 – handle rod
- d. 1 – T rod

- STEP 23.** Slip spacer over threaded end of handle rod and insert into hole on cross bar near power column.
- STEP 25.** Slip spacer over threaded end of T-rod and insert into hole located on opposite cross rail, taking care to run rod through rod guide located under ramp.
- STEP 23.** Thread jam nuts onto ends of handle rod and T-rod. Attach the handle rod to the T-rod using the rod coupling. Adjust coupling to take the slack out of the rods. The rods should remain free enough to move with no slack. Do not tighten coupler or lock nuts at this time.
- STEP 24.** Locate the two long rods and remove on end from each rod and side off the eye bolt. Attach eye bolts to center of cross rails by threading $\frac{1}{2}$ of the way in and tighten jam nut.
- STEP 25.** Attach short rod on the T side lock and to the bottom of the T and hand tighten. Slide long rod through the eye bolt and attach other end to the top side of T. Attach the other end of the long rod to the lock on the other side. Repeat this process for the other end of the lift. The locking rods should be in perfect alignment since the lift is still sitting in the locked position. Tighten all jam nuts, making sure the image does not bind.
- STEP 26.** Go back to the coupler that attaches the T rod to the handle rod and tighten the jam nuts. Do not adjust coupler, only tighten the jam nuts.

FINAL ADJUSTMENTS

STEP 27. Fill the tank with three gallons of R & D, ISO32 Hydraulic Oil (Available at any auto supply store).

- STEP 28.** Check over cables and make sure they are all in their pulleys. Press the up switch on the power unit and the fluid will start to pump into the cylinder. The lift will eventually rise after the cylinder fills up. Once the lift is raised to the locks, raise the up switch and the lift will rise and the 3mm lock pins will disengage the locks and the power lowering lever on the power unit. Hold the lever after the lift reaches the very bottom until you hear all the air escape.
- STEP 29.** Raise the lift to the point where the square above the lock aligns with the second column lock and stop. Look at each column lock to determine the highest point. Adjust the cable on the highest point column until three threads pass through the nylock nut. Now adjust the other three cables to match this height.
- NOTE:** There will some initial stretching of the cables in the beginning. It will be necessary to recheck the cables are snug and tight. Do this every six months thereafter. It is important to ensure that the locks are engaged properly and that the safety release mechanisms are functioning properly. Read just if necessary.
- STEP 30.** After the cables are installed and adjusted, unbolt the shaver covers (Item #69). Figure 2. Slide the shaver covers up the cable until you can access the cable shaver. Install the 8mm cable retention bolts into the threaded holes on the shavers at the end of the crossbars (Item #101and 102). Figure 2. Assume they extend across the width of the shaves and the bolt heads do not touch with the shaves. Install the 3mm lock pins to the end of the bolts to lock them into position. Re-install the shaver covers.

M-1

VERSION: 1.0

DATE: 1/31/2024

MECHANICAL & NOTES

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5		JL	REV 7	01/24/24	JL
6	11/09/23	JL			

MISSION 4 SW of 10 SW REMODEL

MISSION 4 SW OF 10 SW
CARMEL, CALIFORNIA

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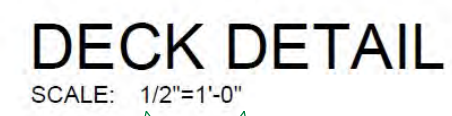
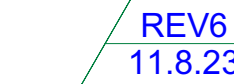
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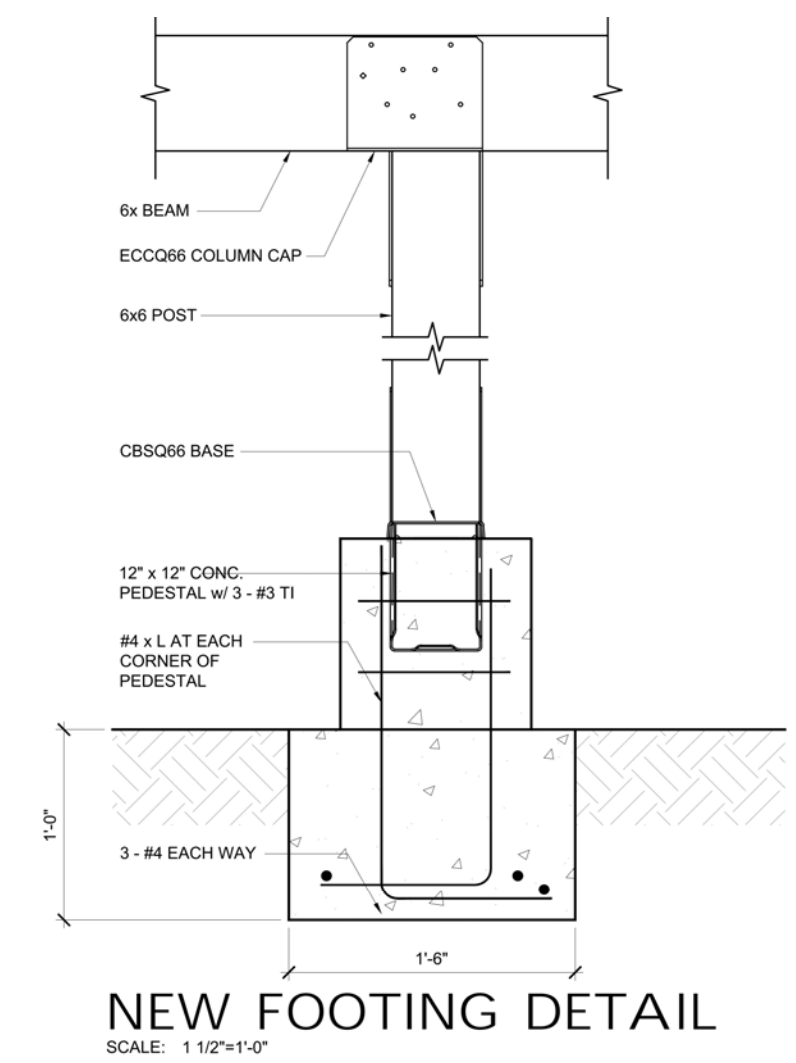
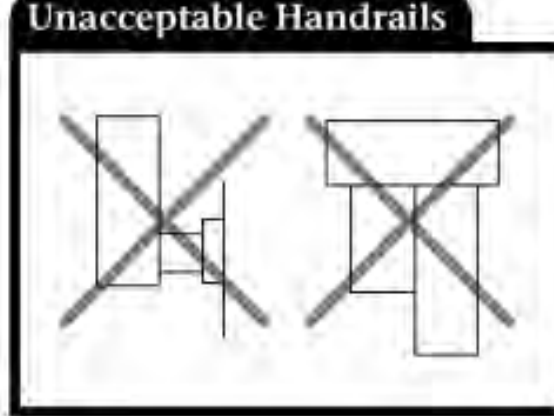
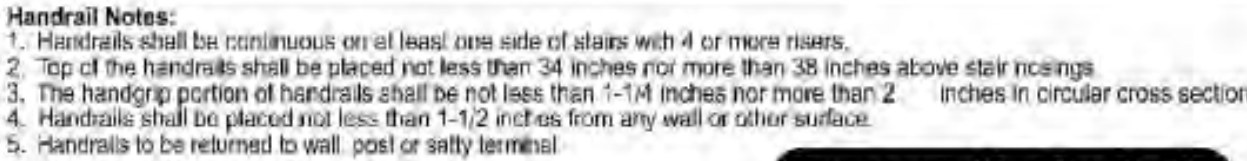


Permit #: DS 23-265 (Cosmero)
Date Approved: 2/9/2024
Planner: M. Waffle



SCALE: 1/2"=1'-0"

ALL HAND RAILS TO BE FROM REDWOOD
WITH STAIN



NEW FOOTING DETAIL

SCALE: 1 1/2"=1'-0"

SCALE: 1 1/2"=1'-0"

3

VERSION:	1.0
DATE:	1/31/2024

STRUCTURAL SHEETS DECK DETAIL

MISSION 4 SW of 10 SW REMODEL

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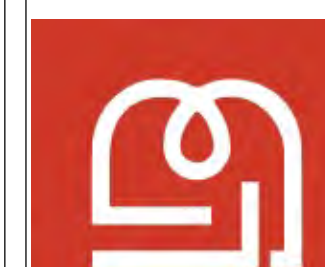
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CARMEL, CALIFORNIA

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Leisure

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**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 23-265 (Cosmero)

Date Approved: 2/9/2024

Planner: M. Waffle

(June 2022)

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

<h1>AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO</h1>		<h1>CG1.0</h1>
<p>PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000</p>	<p>Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA</p>	<p>GREEN CODE</p>
		<p>PROJ.#: 22068</p>
		<p>DATE: 08.02.22</p>

(January 2022)

GREEN CODE
PROJ.#: 22068
DATE: 08.02.22