New Single Family Residence Carmel , California

A.P.N. 010-073-005-000



FRONT PERSPECTIVE VIEW 01



FRONT PERSPECTIVE VIEW 02



REAR PERSPECTIVE VIEW 03

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#### HEIGHT LIMITS AND SETBACKS

HEIGHT MAIN DWELLING	EXISTING	PROPOSED
		<u> </u>
ONE STORY RIDGE HEIGHT (UPPER)	106.1'	112.2'
ONE STORY PLATES HEIGHT	105.6'	N/A
LOWER LEVEL PLATES	N/A	95.8'
UPPER LEVEL PLATES	N/A	105.8'
GARAGE/CARPORT		
ONE STORY RIDGE HEIGHT	N/A	106.3'
PLATES HEIGHT	N/A	103.8"
SETBACKS		
MAIN DWELLING	EXISTING	PROPOSED
NORTH (SIDE)	20'-4"	22'-2"
SOUTH (SIDE)	4'-10"	3'-6"
WEST SIDE (FRONT)	15'-6"	15'-2"
EAST SIDE (REAR)	19'-7"	11'-9"

#### FLOOD ADEA

FLOOR AREA		
FAR ALLOWED FAR ALLOWED WITH BONUS	1,382.9 SQ:FT. 1,705.2 SQ:FT.	45.0% 55.5%
	1,700.2 30.1 1.	33.3%
PROPOSED MAIN LEVEL	779.2 SQ.FT.	
ATTACHED GARAGE	200.0 SQ.FT.	
LOWER LEVEL	179.5 SQ.FT.	
BASEMENT (BASE FLOOR AREA)		
BASEMENT (BONUS #1)	100.0 SQ.FT.	
BASEMENT (BONUS #2)	222.3 SQ.FT.	
TOTAL FLOOR AREA:	1,703.3 SQ.FT.	55.4%

CITE COVEDACE

SITE COVERAGE	
LAND COVERAGE ALLOWED	303.8 SQ.FT. 22.0% of F.A.R.
BONUS SITE COVERAGE	160.0 SQ.FT. 4.0% of SITE
TOTAL COVERAGE ALLOWED	463.8 SQ.F.T. 15.1 %
IMPERVIOUS COVERAGE ENTRY PORCH LIGHT WELLS PATIO (MSTR BDRM)	14.0 SQ.FT. 55.0 SQ.FT. 71.0 SQ.FT.
TOTAL (P) IMPERVIOUS COVERAGE	140.0 SQ.FT.
PERVIOUS COVERAGE  DRIVEWAY WALKWAY EAST PATIO NORTH PATIO EAST BALCONY	86.0 SQ.FT 37.0 SQ.FT. 101.0 SQ.FT. 63.0 SQ.FT. 36.0 SQ.FT.
TOTAL (P) PERVIOUS COVERAGE	323.0 SQ.FT.
TOTAL PROPOSED COVERAGE	463.0 SQ.FT. 15.1 %

#### VOLUME ANALYSIS

MAIN LEVEL PITCH	987.5 SF X 12	11,850.0 CU.FT.
LOWER LEVEL PITCH	405.1 SF X 11	4,456.1 CU.FT.
VOLUME ALLOWED		16,306.1 CU.FT.
VOLUME PROPOSED		13.435.8 CU.FT.

#### PROJECT TEAM

DESIGN:
CLAUDIO ORTIZ DESIGN GROUP INC.
26615 CARMEL CENTER PLACE #102
CARMEL, CA. 93923
TEL. (831) 626-4146

OWNER:

STRUCTURAL ENGINEER:
WILLIAMSON CHAVEZ DESIGNS
P.O.BOX 222277
CARMEL, CA. 93922
TEL. (661) 910-3977
WILLIAMSONCHAVEZ@AOL.COM

OWNER: JOSHUA ZHANG-DING 1150 E. MAIN ST TURLOCK CA 953809

C3 CIVIL ENGINEERING 126 BONAFICIO PLACE, SUITE C MONTEREY CA 93940 TEL. (831) 647-1192

MECHANICAL ENGINEER: MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD. Suite 8 CARMEL, CA. 93923 TEL. (831) 372-8328 FAX. (831) 359-4173

(3,073.0 S.F. (4,000.0 S.F.)

927.0 S.F.

SETBACKS (MIN. ALLOWED) FRONT: 15.0FT, N SIDE 3.0FT. S SIDE 3.0 REAR: 15.0FT

1. DEVELOPMENT OF A NEW SINGLE STORY FAMILY DWELLING WITH

A BASEMENT, AN ATTACHED ONE-CAR GARAGE.

2. NEW STONE PATIO, DRIVEWAY, AND WALKWAYS SET ON SAND.

3. TREE REMOVAL.

NOT TO SCALE

-SITE LOCATION

5. DEMOLITION OF AN EXISTING ONE-STORY SINGLE FAMILY

24FT

010-073-005-000

BLOCK: 128 LOT: 2

 $^{igtharpoonup}$  Lot size

A.P.N.

ZONING

STORIES: 2

30% SLOPES

LEGAL DESCRIPTION

DWELLING.

VICINITY MAP

HEIGHT (MAX. ALLOWED)

SCOPE OF WORK

4. 30% SLOPES TOTAL 905.4 SQ.FT.

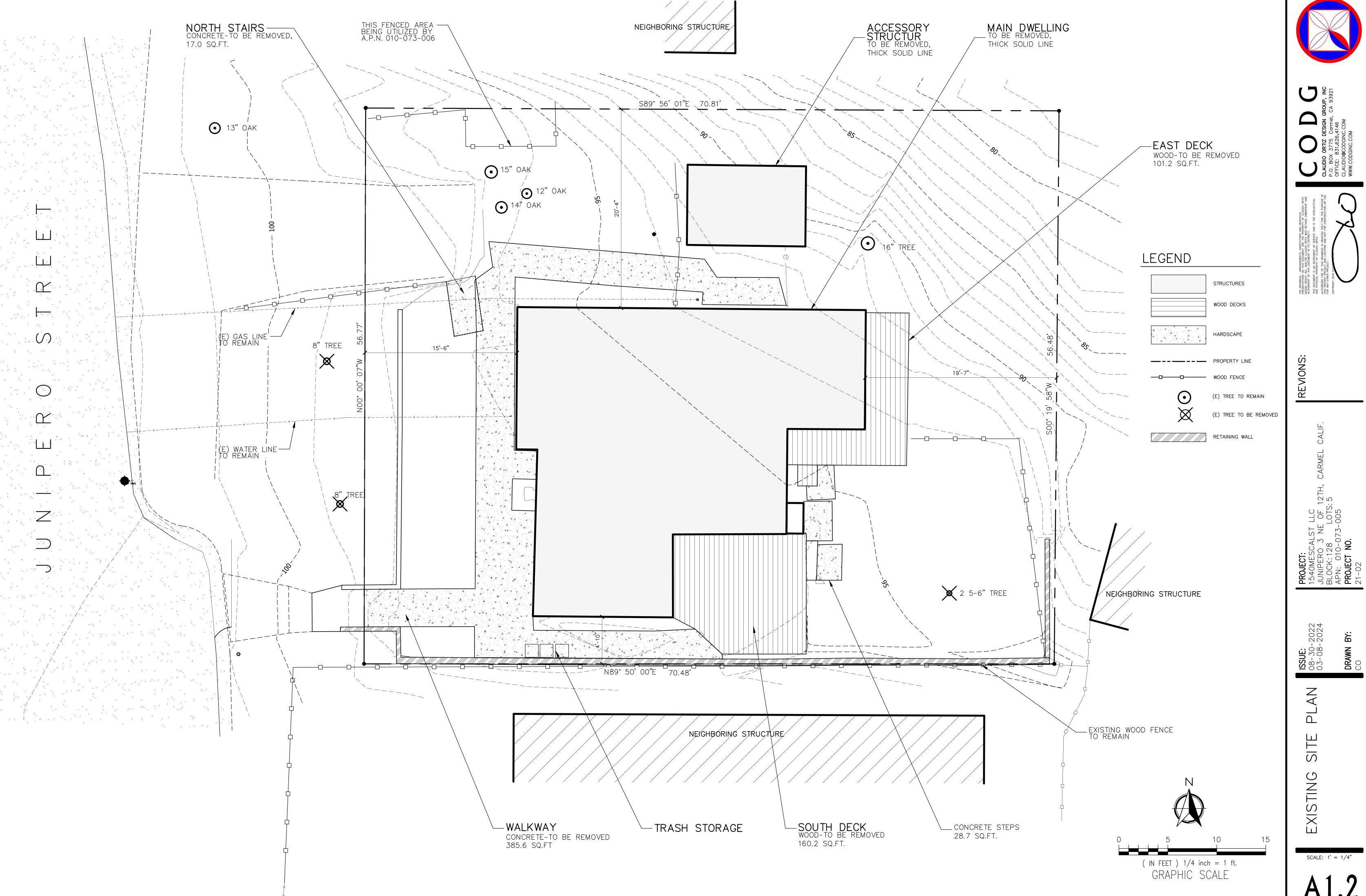
2022

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#### SITE PLAN SURVEYOR'S STATEMENT BASIS OF BEARINGS JUNIPERO 2 SE 11TH STREET THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY THE BEARING OF N 89°50' E ALONG THE SOUTH PROPERTY LINE AS SHOWN ON DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE THE MAP RECORDED IN VOLUME 14 OF SURVEYS AT PAGE 111 AS FOUND LOT 5, BLOCK 128 PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF CLAUDIO ORTIZ, MONUMENTED, WAS TAKEN AS BASIS OF BEARINGS SHOWN UPON THIS MAP. IN JUNE, 2021. VOLUME 2 CITIES & TOWNS PAGE 22 A.P.N. 010-073-005 6/18/2021 LYNN A. KOVACH CARMEL-BY-THE-SEA, CALIFORNIA P.L.S. 5321 LEGEND • FOUND MONUMENT, AS NOTED — PROPERTY LINE A.P.N. 010-073-002 SEWER CLEANOUT LOT LINE Lot 2, Block 128 V.2-C&T-P.22 ₩ WATER VALVE ── WOOD FENCE LINE ■ WATER METER — — EDGE OF GRAVEL PARKING AREA \* HOSE BIB EDGE OF PAVEMENT Found 1/2" Iron Pipe, ■ IRRIGATION CONTROL BOX — G — — UNDERGROUND GASLINE tagged RCE 424, As shown on R1 S00° 19' 58"W ELECTRIC METER — w — — — UNDERGROUND WATERLINE Found 1/2" Iron Pipe, — T — — UNDERGROUND TELEPHONE LINE tagged LS 4247, Per R1 GAS METER — e — — — UNDERGROUND ELECTRIC LINE — OH — — OVERHEAD ELECTRIC & $\times$ 94.52 COMMUNICATION SERVICE TREE, TYPE AND ×94.39 DIAMETER SPECIFIED 2 5-6" TREE 9 BUILDING x SPOT GRADE wood deck <sup>99</sup>× 95.08 WOOD DECK A.P.N. 010-073-006 A.P.N. 010-073-004 BENCHMARK Lot 6, Block 128 Lot 4, Block 128 V.2-C&T-P.22 V.2-C&T-P.22 CONCRETE CONCRETE MASONRY WALL water Existing wood Building deck Existing Building FF=97.2' A.P.N. 010-073-005 Lot 5, Block 128 V.2 -Cities & Towns- P.22 4000 sq. ft. This fenced area being utilized by A.P.N. 010-073-006 retaining 96.81 96.16 96.18× Found 1/2" Iron Pipe, Found 1/2" Iron Pipe, tagged LS 4247, Per R1 N00° 00' 07"W 56.77' tagged LS 4247, Per R1 8" TREE • NOTES Landscaped Area 36" PINE 1. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF. 2. CONTOUR INTERVAL = 1' 3. HORIZONTAL AND VERTICAL COORDINATE SYSTEMS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A PK NAIL & SHINER IN AC PAVEMENT IN EAST SIDE OF JUNIPERO AVENUE IN FRONT OF RESIDENCE. **ELEVATION** = 102.17' rolled AC curb 4. UNDERGROUND UTILITIES SHOWN HEREON WERE DRAFTED BASED ON UTILITY MARKINGS FOUND PAINTED ON THE GROUND SURFACE. Junipero Avenue (A City Street - 100' wide) PREPARED FOR: Claudio Ortiz POCARIS CAND SURVEYING P. O. BOX 1378 CARMEL VALLEY, CA 93924 831-659-9564 SURVEYED BY: Revision 1 SCALE: 1" = 10' VIEW: ARCH C DATE: June 18, 2021 SCALE IN FEET

JOB #21-157 Sheet 1 of 1

FILE NAME: Ortiz Site.dwg



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#### PRELIMINARY SITE ASSESSMENT REPORT

Date of Site Visit:

Planner:

Forester:

Block/Lot:

APN:

July 2, 2021

Evan Kort

Sara Davis

128/5

010-073-005

Property Owner: 1540MESCAL ST LLC ET AL

Street Location: Junipero St, 3NE of 12th

**Purpose:** The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

#### Location:

R-1 (Single Family Residential)
No
Yes
No
No
No
Yes

#### **Street and Neighborhood Character:**

- <u>Style and materials of the existing residence</u>: The residence is a vernacular Carmel cottage. The exterior wall cladding of the existing residence is horizontal wood siding with a variety of window finishes and styles throughout. The roof is finished with a hot mop finish.
- Style and materials of the neighboring residences: The Residential Design Guidelines encourage diversity of architectural styles while maintaining compatibility with the character of the neighborhood. The Residential Design Guidelines state a variety in building materials along a block are encouraged, and when the houses to either side of a site are constructed of similar materials, use a different material, consistent with Carmel's design traditions, in order to achieve diversity in appearance. Stucco, in conjunction with some natural materials, may be considered depending on neighborhood character but should not be repeated to excess within a block.
- <u>Right-of-way characteristics</u>: The Residential Design Guidelines encourage maintaining an informal, vegetated, open space character within the right-of-way. The Guidelines discourage raising or lowering grades around tree roots. Preferred surface materials within the right-of-way include natural soil, shredded bark or wood chips; gravel is

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Following design approval, plans that are submitted for a building permit shall include a storm water drainage plan. The drainage plan shall include applicable Best Management Practices and all drainage shall be retained on-site through the use of semi-permeable paving materials, French drains, seepage pits, etc.

- <u>Does the site contain "Steep Slope Areas"</u> (greater than 30% slope): Possibly. It is unclear if the site contains a steep slope area (northeast portion of the lot). As part of the Design Study Application, a slope study will need to be submitted to determine if the site contains a steep slope area. A steep slope area is defined as: a continuous portions of the site, occupying at least 10 percent of the site area, with a slope greater than 30 percent. For the purposes of calculating allowable building volume and floor area, the buildable area of a lot shall be the lot area, minus any steep slope areas (CMC 17.06.020.D).
- <u>Basement Bonus</u>: Each site is allowed 100 square feet of floor area located in a basement that is exempt from the floor area limits. Additionally, as an incentive to reduce the above-ground floor area and exterior volume, bonus floor area is allowed if located in a basement. For each square foot of base floor area not constructed above-ground, one additional square foot of floor area may be constructed in a basement.

A basement is defined as, "An underground room or excavated space between five and nine feet of interior height, finished or unfinished where the finished floor level directly above the space is not more than one foot above both the existing or final grade. Any subgrade space where the finished floor elevation directly above the space is more than one foot above existing or finished grade shall be considered above-ground space. All areas where the finished floor elevation directly above a subgrade space is more than five feet above either existing or final grade shall also be considered a story. (Note: In calculating the floor area of a basement it may be necessary to count part of the area in a floor level as basement and part of the area in a floor level as above-ground space.) Basement spaces may be used for any residential occupancy allowed by the Uniform Building Code such as bathrooms, family rooms, hobby rooms, offices, mechanical equipment, storage and, if equipped with window wells, bedrooms."

• <u>Site Coverage</u>: The permitted site coverage is 22% of the allowable floor area. Based on a maximum allowed base floor area of 1,800 square feet, the allowed site coverage would be 396 square feet (The figures are preliminary and subject to change based on the required slope study (see "Steep Slope Areas" section above)). If at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed **for use in a single driveway of up to nine feet in width** (CMC 17.10.030.C.1.b). Permeable and semi permeable materials include, gravel, spaced decking, exterior stairs, sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

Properties that currently exceed the allowed site coverage are not permitted to add additional floor area unless the site coverage is reduced at a rate of two square feet of site coverage for every one square foot of added floor area or to compliance, whichever is less. Excess site coverage is considered a non-conforming feature and is permitted to

prohibited. For more information, please refer to the Right-of-Way Vision Statement. Significant right-of-way encroachments exist around the site in the form fencing, a gravel parking area, gravel steps, stairs and retaining walls. As part of any project, these encroachments will be required to be removed. A previous encroachment permit was maintained for a "retaining wall for off-street parking ramp (built in 1965) by former owner - permission granted December 7, 1965" was released on June 1, 1981. There is no evidence of an existing encroachment permit on file for any existing encroachments.

#### **Existing Site Conditions:**

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- <u>Building Site Area</u>: The lot is 4,000 square feet and is permitted a base floor area of 1,800 square feet. A minimum of 200 square feet of the base floor area, and 2,200 cubic feet of exterior volume, shall be reserved for required parking whether provided by a garage, carport or parking pad. Inability to provide on-site parking shall not authorize more floor area or exterior volume for other purposes in lieu of parking. These figures are preliminary and subject to change based on the required slope study (see "Steep Slope Areas" section below).
- <u>Setbacks</u>: The minimum front and rear setbacks are 15 feet. The composite side yard setback is 10 feet with a 3-foot minimum interior side. Refer to Table 17.10-A below.

Table 17.10-A: Setback Standards for R-1 District Side Setbacks											
Lot Type	Front Setback (in	Rear Setback* (in feet)	Composite** (both	Minimum Setbacks (in feet)							
	leetj	ieetj	sides)	Interior Side	Street Side						
Interior Site	15	15	25% of site width	3							
Corner Site	15	15	25% of site width	3	5						
Resubdivided Corner Site	led Corner 10 15 25% of site width		25% of site width	3	9						
Double-Frontage Site	15	N/A	25% of site width	3	5 (if applicable)						

- \* The rear setback is three feet for those portions of structures less than 15 feet in height.
- \*\* See CMC 17.10.030(A)(1) and 17.06.020, Rules of Measurement.
- Building Height:

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remain in its current configuration, however, the coverage may not be re-organized or modified without the site coming into compliance with the site coverage requirements.

<u>Fences</u>: Fences located within the front 15-foot setback are limited to 4 feet in height.
 This limit <u>cannot</u> be increased through a Design Study. Side and/or rear yard fences are permitted a height of 6 feet and may be taller with approval by the Planning Commission.
 The heights should be clearly noted on the project plans.

Table 17.10-G: Maximum Track One Fence and Wall Heights											
	Setback Location										
Design Element	Front Setback	Side Setback	Side Setback Facing Street	Rear Setback							
Fence	4 feet*	6 feet	4 feet*	6 feet							
Garden Wall	3 feet*	6 feet	3 feet*	6 feet							
Retaining Wall	3 feet**	6 feet	3 feet**	6 feet							
Pillars and Gates	6 feet	N/A	6 feet	N/A							
Arbor/Trellis	7 feet	7 feet	7 feet	7 feet							

- \* These limits shall not be altered through Design Review by the Planning Commission.
- \*\* Up to six feet may be allowed for retaining walls that are not visible from the street. See CMC 17.10.030(E)(4).

#### **Accessory Buildings:**

- <u>Guesthouses</u>: One guesthouse may be authorized on sites of 6,000 square feet or greater upon approval of a use permit. As the site is less than 6,000 square feet, a guesthouse is not permitted.
- <u>Studio</u>: One studio is permitted on lots in the single-family residential zone. Studios shall contain no living, sleeping, bathing or food preparation facilities of any kind, but are permitted to have a bathroom with a sink and toilet. No additional parking is required for a studio. Studios shall be a maximum size of 400 square feet and shall not exceed the allowed floor area ratio for the lot.
- Accessory Dwelling Units (ADU): Accessory Dwelling Units are subject to approval of a building permit only. ADUs must conform with state law applicable to the development of an ADU.

**Forest/Trees:** Please refer to the attached Forester's Report. Based on the recommended tree planting, the site should have a total of 5 upper canopy trees and 4 lower canopy trees. The forester has required 5 upper canopy trees to be planted on-site.

The Residential Design Guidelines state that significant upper canopy and understory trees should be preserved and that new construction should minimize impacts on established trees. The root systems of all trees to be preserved shall be protected and the forested image of a site shall be maintained.

Table 17.10-C: Maximum Height Standards											
	R-1 District	R-1-BR District	R-1-PO District								
Number of Stories Allowed	2	2	1*								
Roof Height of First Story (in feet)	18	18	18								
Plate Height of First Story (in feet)	12	12	12								
Roof Height of Second Story (in feet)	24	18	24*								
Plate Height of Second Story (in feet)	18	18	18*								

 <u>Exterior Volume</u>: The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E (refer to table below).
 It is recognized that existing homes built prior to 2003 may not have been designed to comply with volume standards. For these homes, the Code allows the exterior volume to be calculated for the addition only.

	Maximum Exterior Volume (Cubic Feet) Per Square Foot of Floor Area						
	One-Story Elements of the Building	Two-Story Elements of the Building					
Located under a pitched or sloping roof greater than 3:12 pitch	12	11					
Located under a flat roofed area of the building 3:12 or less pitch	11	10					

• <u>Parking</u>: One parking space per primary dwelling is required on sites 8,000 square feet or less. Required parking shall be provided by a garage, carport or parking pad measuring at least 10 feet by 20 feet having practical ingress and egress for a vehicle.

In 1982, a variance was approved which eliminated the required parking requirement. As such, the addition of a compliant parking for the site is not required to modify the structure. Should a new parking space be proposed, such as a new garage, the new parking space would need to adhere to the current parking outlined in the Carmel Municipal Code. While a parking space is not required as a result of the approved variance, the inability to provide on-site parking shall not authorize more floor area or exterior volume for other purposes in lieu of parking (200 square feet and 2,200 cubic feet of exterior volume shall still be reserved for required parking).

• <u>Topography and drainage features:</u> The Residential Design Guidelines encourage designs that follow the natural contours of the site and that avoid abrupt changes in grade on the site and between properties. The design of the proposed residence should take this design guideline into consideration as the lot slopes substantially.

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#### Potential Neighbor Impacts:

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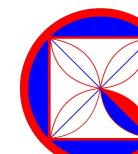
- Privacy & View Concerns: Please refer to the Concept Design Guidelines for information regarding privacy and views. While the full scope any proposed future project is unknown, any development that would increase the height of the residence may create privacy and view impacts to the neighbor immediately to the north and south. The northwestern portion of the lot is sloped and may be an unbuildable so any addition would likely have the greatest impact to the neighbors to the south and southwest. Modifications to the ground floor will likely not affect the neighbor provided the existing level of screening is maintained, however, a new second story or new elevated windows, balconies, etc, may impact the southern neighbor.
- <u>Neighborhood Input</u>: Staff strongly recommends reaching out to the adjacent property owners prior to application submittal to explain the proposed project and address any concerns. Most project delays occur when applicants have not reached out to neighbors early in the process.

**Historic Status:** Staff conducted an initial historic assessment of the property and concluded a definitive determination of eligibility or ineligibility cannot be made. While the residence has had some modification, the property maintains association with persons (Thomas Elston) recognized in the Historic Context. As such, the department requires an intensive survey by a qualified professional (CMC 17.32.060.B.5). No application for property development shall be deemed complete unless it includes a determination that the property is either eligible or ineligible for the Carmel Inventory.

**Additional Resources**: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance and Title 7A of the Building Code, please visit our website at:

Residential Design Guidelines – Concept Residential Design Guidelines – Final Right-of-Way Vision Statement

http://ci.carmel.ca.us/carmel/index.cfm/government/staff-departments/community-planning-and-building/



 $\square$ 

City Forester: Sara Davis

Property Owner: 1540 Mescalst LLC

Recommended Tree Planting: Lot should have 5 upper and 4 lower canopy trees
5 upper canopy trees are required to be planted

#### Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	1!
YES															
NO	Х	Х	Х	Х	Х	Х	Х								

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. <u>Is the</u>	B. <u>Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?</u>														
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	со	со	со	со	Eucalytus	Japanese maple	со								
YES	Х	Х	Х	Х			Х								
NO					Х	Х									

MP-Monterey pine MC- Monterey cypress BP-Bishop pine CR -coast redwood CO- coast live oak CI -- Catalina ironwood CS -- California sycamore BL -- big leaf maple OT -- other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species.

Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the

C. <u>Does the tree meet the minimum size criteria for significance?</u>

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	16	16	15	17	16		19.5								
NO						5									

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak – single trunk tree: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Items to note: Remove ivy from tree 2
Required Structural Root Zone

Kequire	u Stru	cturai	ROOL	Zone											
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	8	8	7.5	8.5	8	6	9.75								

Required Tree Protection Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	24	24	23	25.5	24	6	29.3								

Requirements for tree preservation shall adhere to the following tree protection measures on construction

- site.
   Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

Tree # 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

D. What is the health and condition of the tree?

0 points:	The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
1 point:	The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
2 points:	The tree appears healthy and in good condition.

E. What is the overall form and structure of the tree?

**3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

Tree #   1	2	3	4	5	6	/	8	9	10	11	12	13	14	15
score 2	2	2	2	2		2								

<u>'-----</u>

Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced

multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches.

Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

score 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
	score	1	1	1	1	1		1								

The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

2 points: The tree is young to middle age and shows normal vigor.

3 points: The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #         1         2         3         4         5         6         7         8         9         10         11         12         13         14         15           score         1	<u> </u>					_									
score 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Tree #		2	3	4	5	6	7	8	9	TO	11	12	174	 15
	score	1	1	1	1	1		1							

The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.

or has poor soil for the species.

The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.

The tree has room for growth to maturity with no crowding from other significant trees or **2 points**: existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

	neco	iu tile	totai	JUILLS	s score	u on b	- 0 10	i eacii	uee.							
Tre	ee#	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
To	tal	6	6	6	6	6		6								
Sco	ore	О	١	ь	6	l <sup>o</sup>		6								

A. <u>Did</u>	all ass	sessm	ent c	ategoi	ries in	Part <sup>-</sup>	Two a	chieve	e a mi	<u>nimur</u>	n scor	e of 1	poin	<u>t</u> ?	
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	Х	Х	Х	Х	Х		Х								
NO						х									

B. <u>Are there any other factors that would disqualify a tree from a determination of significance</u>? (Explain any 'yes' answer)

Voc

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	Х	Х	Х	Х	Х		Х								
MOD SIGNIF															
NOT SIGNIF						х									

O ORTIZ DESIGN GROUP, INC

OX 3775 Carmel, CA 93921

: 831.626.4146

!O@CODGINC.COM

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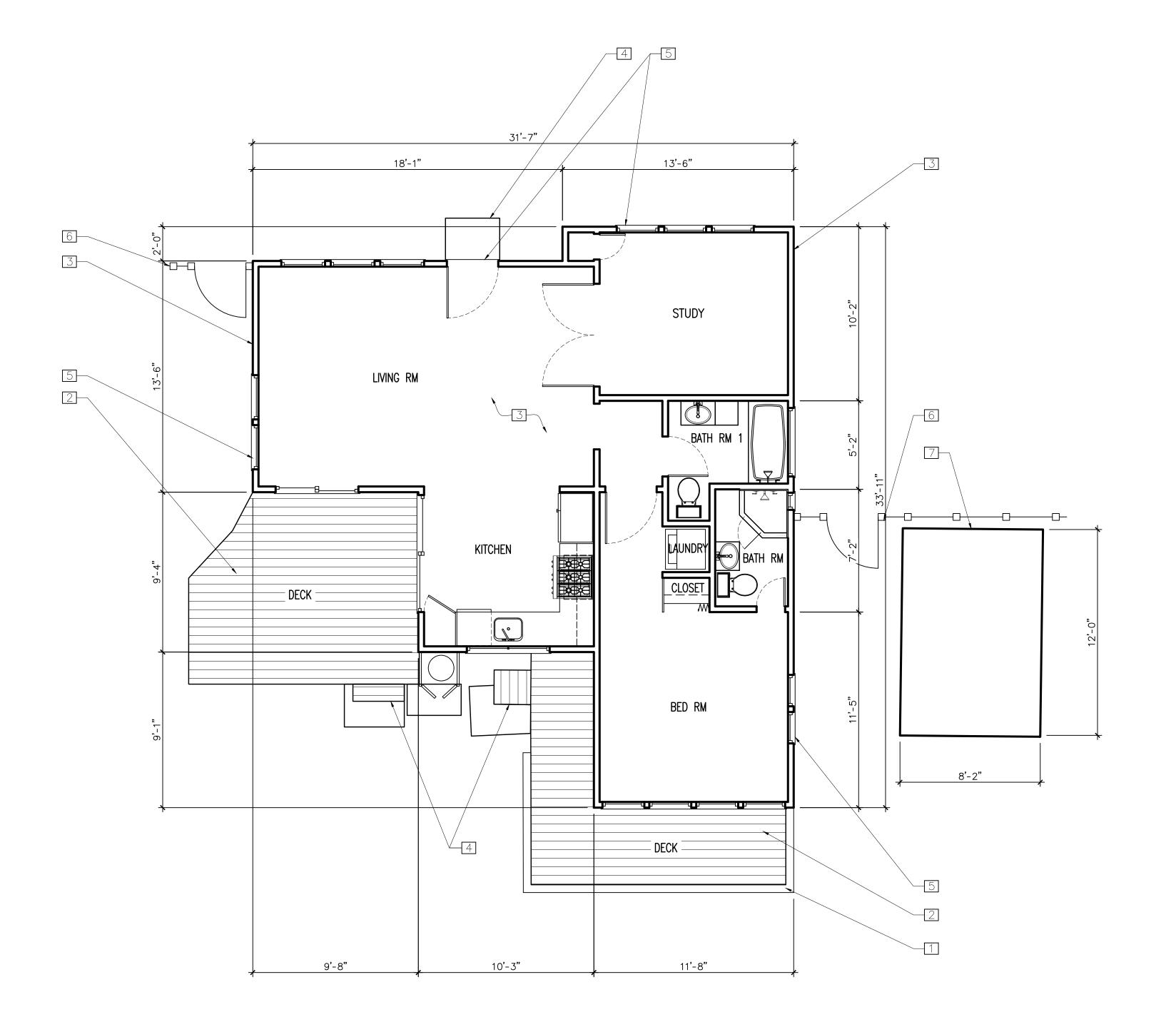
RIGHT OTHER PROJECT.

EVIONS

MESCALST LLC PERO 3 NE OF 12TH, CARME K:128 LOTS:5 010-073-005

3-30-2022

RELIMINARY SI SSESSMENT



#### KEY NOTES

1 (E) 42" H. GUARDRAIL & DECK TO BE REMOVED 2 DECK TO BE REMOVED

3 (E) DWELLING TO BE DEMOLISHED

4 (E) STEPS TO BE REMOVED

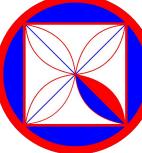
5 (E) DOORS & WINDOWS TO BE REMOVED

6 (E) WD GATES TO BE REMOVED

7 (E) WD SHED TO BE REMOVED

## LEGEND

EXISTING WALLS TO BE DEMOLISHED

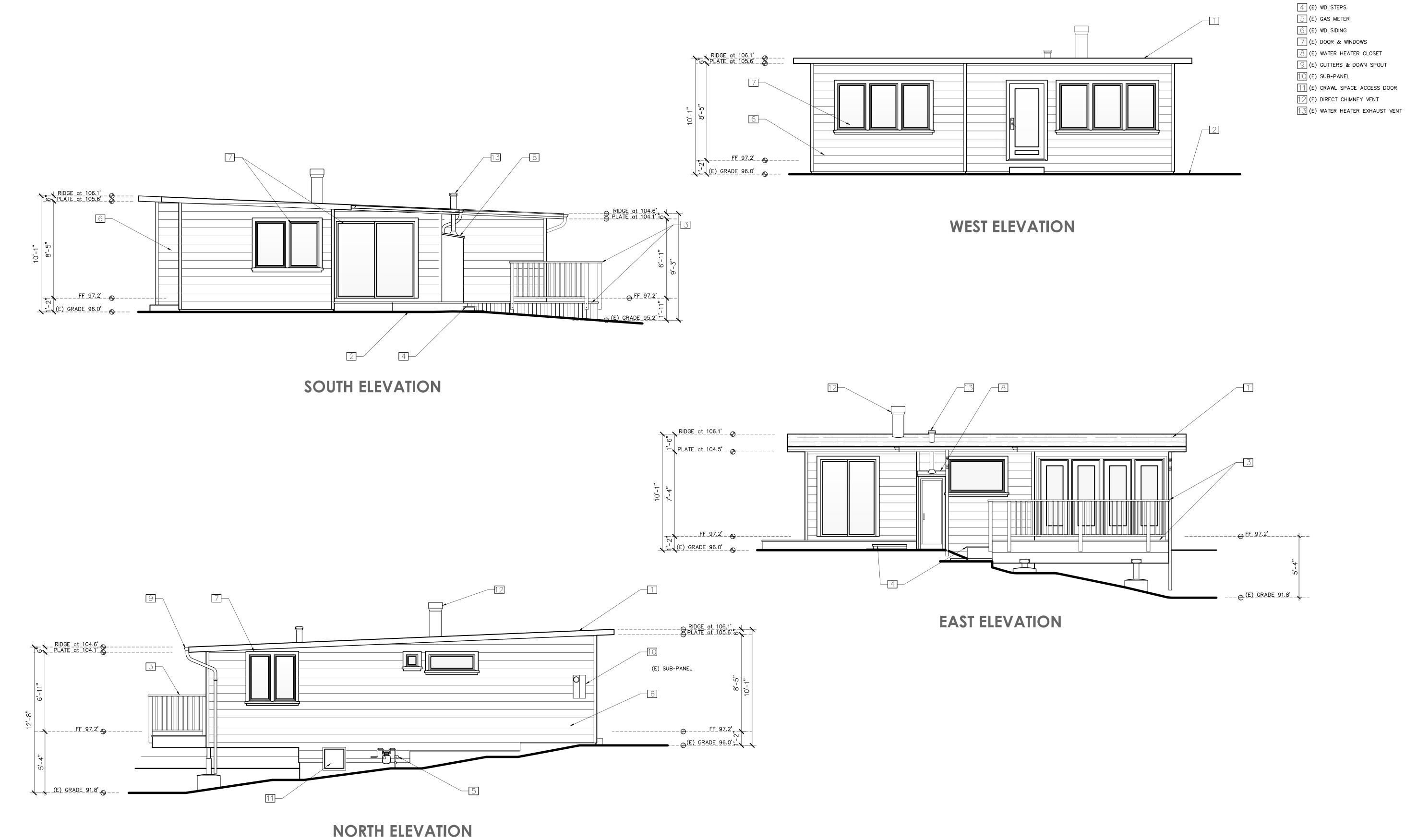


EXISTING FLOOR PL

SCALE: 1' = 1/4"

(IN FEET ) 1/4 inch = 1 ft. GRAPHIC SCALE

A1.7



## KEY NOTES

1 DOWNSPOUTS

3 (E) DIRECT CHIMNEY VENT

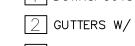
5 (E) WATER HEATER EXHAUST VENT

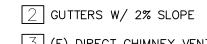
SLOPE DIRECTION ARROW \_ \_ \_ \_ \_ BUILDING FOOTPRINT THIN DASHED LINE

DOWNSPOUTS W/2% SLOPE

(IN FEET ) 1/4 inch = 1 ft. GRAPHIC SCALE

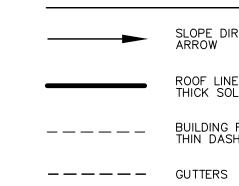


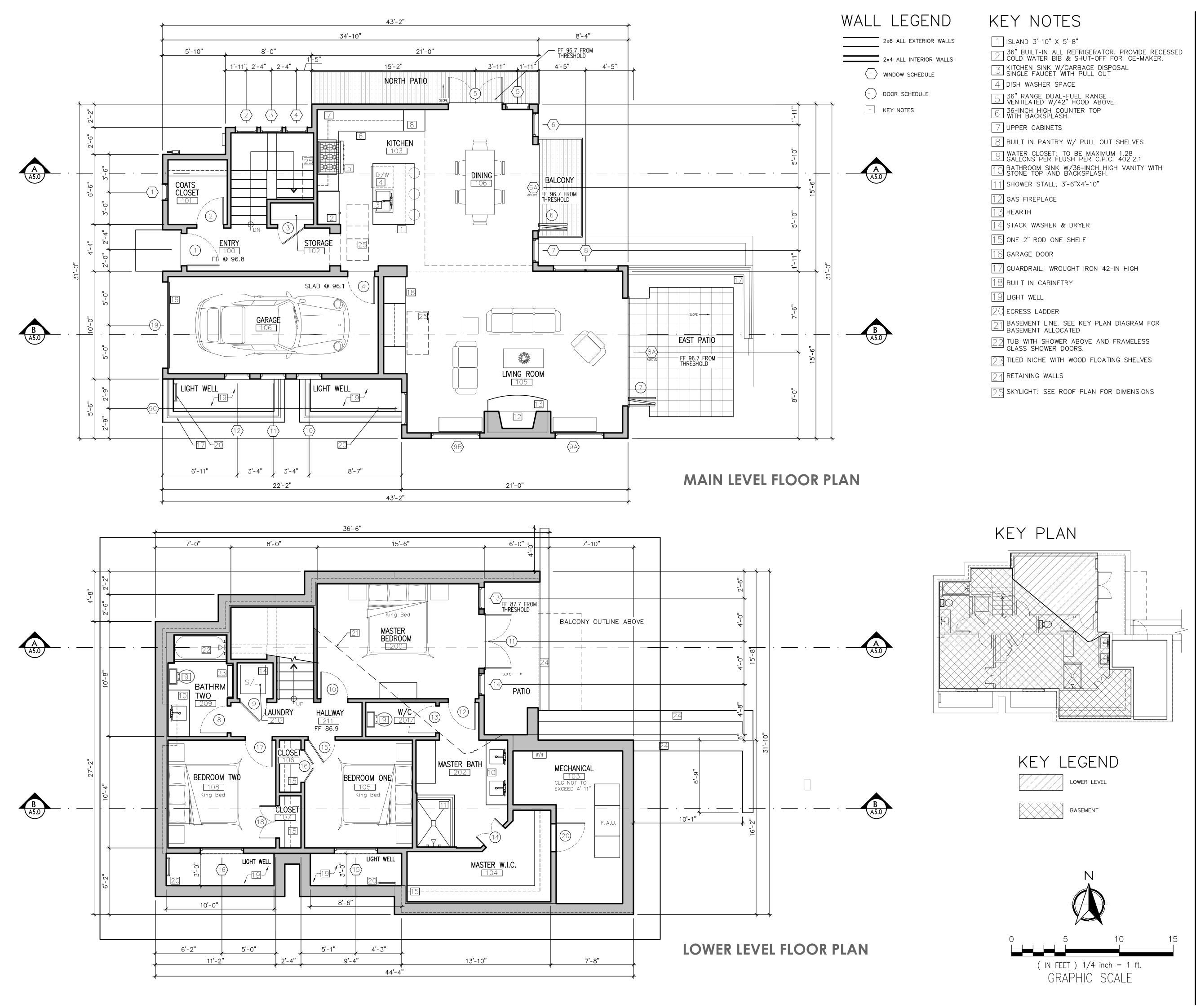




4 (E) SHED

# LEGEND





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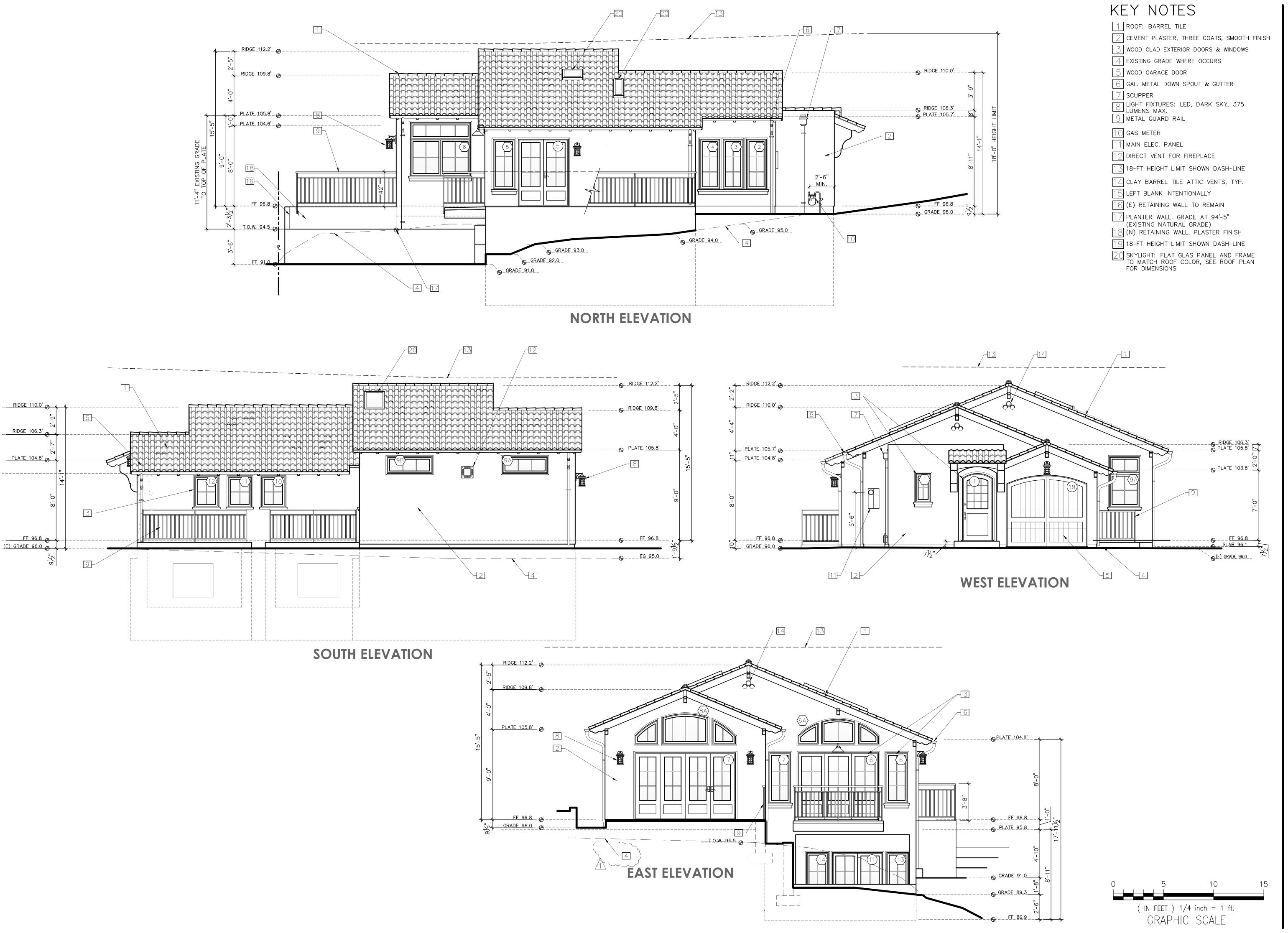
REVIONS:

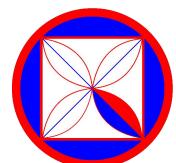
JECI: Jmescalst llc Pero 3 ne of 12th, carmel calif. Ck:128 lots:5 : 010-073-005

> )8-2024 **N RY**·

08-30-20 03-08-20 DRAWN BY

FLOOR PLANS; MAIN LEVEL & LOWER LEVEL





CLAUDIO ORTIZ DESIGN GROUP, IN P.O. BOX 3775 Carmel, CA 9392 OFFICE: 831,626,4146 CLAUDIO@CODGINC.COM

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**REVIONS:**1 04-15-2024 PLNG

S40MESCALST LLC
JNIPERO 3 NE OF 12TH, CARMEL CALOCK:128 LOTS:5
PN: 010-073-005

08-50-2022 03-08-2024 **DRAWN BY:** 

SNO

ELEVATION

SCALE: 1' = 1/4"

A 3.0

#### GENERAL NOTES

SEE PLAN FOR ROOF SLOPE.
 INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S

SPECIFICATIONS. 3. CLASS "A" MINIMUM RATING FOR ROOF ASSEMBLY PER C.B.C

4. IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER C.B.C., IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30-INCHES HEADROOM PROVIDE A 22"X30" ACCESS THOUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHAETHING WITH STRUCTURAL ENGINEER.

5. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PALET LINE TO ALLOW FOR VENTILATION. PROVIDE TWO (2) LAYERS GRADE "D" MINIMUM PAPER UNDER STUCO WHERE WOOD SHEATHING ACCURS.

6. PROVIDE DRAFT STOPS PER C.B.C 7. ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF 110 M.P.H. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTION.. (As shown

in Figured R301.2(4)A.)

8. BUILT UP ROOFING TO HAVE MINERAL SURFACE CAP SHEET WITH FIBERGLASS BASE SHEET SPOT MOPPED TO DECK. PROVIDE 2 FIBERGLASS PLYSHEETS WITH TYPE III ASPHALT @ 25-30. CONSULT MANF. FOR SPECIFIC INSTALLATION REQUIREMENTS.

9. WHERE CEILING ARE APPLIDE TO UNDER-SIDE OF ROOF RAFTERS, EACH SEPARATE SPACE SHALL HAVE CROSS VENTILLATION OPENING & MINIMUM 1-INCH AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING.

10. FLAT ROOFS MUST SLOPE A MINIMUM OF 1/4-INCH PER FOOT FOR DRAINAGE OR SUBMIT DESING TO SUPPORT ACCUMULATED WATER. (Sec. 1611.2) 11. 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY

VENTILATORS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3-FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE.

#### KEY NOTES

1 3-IN GUTTER DOWNSPOUTS

2 6-IN HALF-ROUND GALV. METAL GUTTERS W/ 2% SLOPE

3 PARAPET

4 ROOF SHOWN THICK SOLID LINE

5 MAIN STRUCTURE SHOWN THIN-DASHED LINE

6 SCUPPER

SKYLIGHT: 12X48 FLAT PANEL, FRAME TO MATCH ROOF COLOR

8 SKYLIGHT: 12X12 FLAT PANEL, FRAME TO MATCH ROOF COLOR

9 SKYLIGHT: 24X48 FLAT PANEL, FRAME TO MATCH ROOF COLOR

#### LEGEND

ROOF SLOPE DIRECTION ARROW

MAIN STRUCTURE FOOTPRINT THIN DASHED LINE

**----** GUTTERS

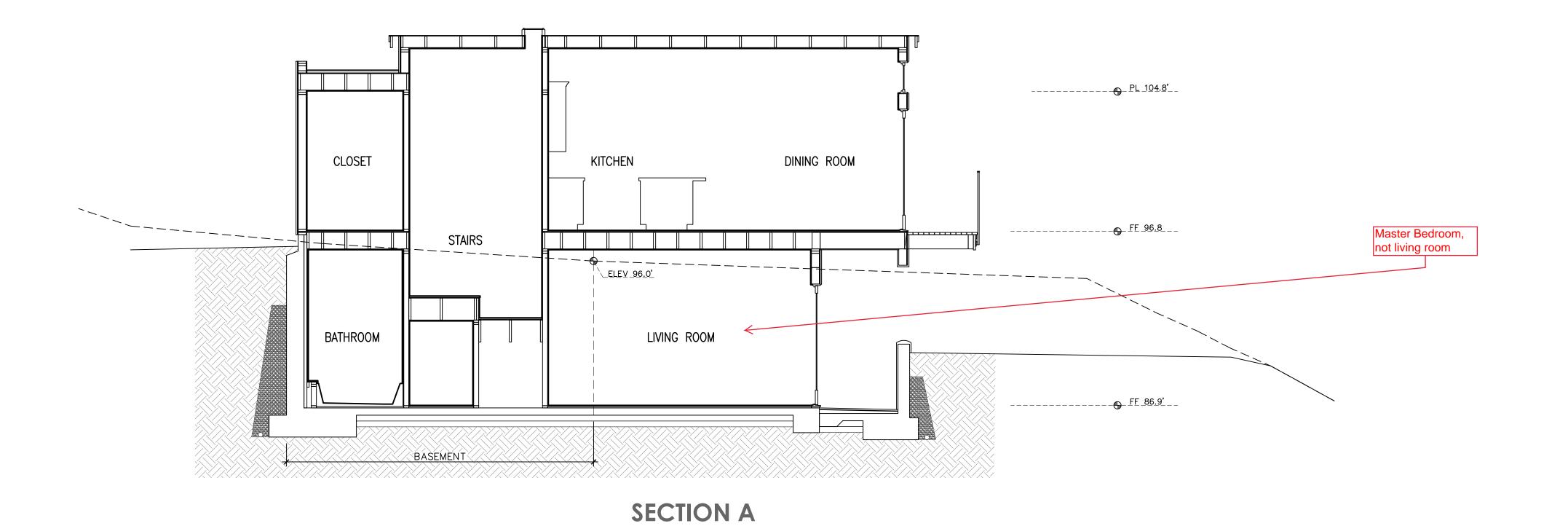
DOWNSPOUTS W/2% SLOPE

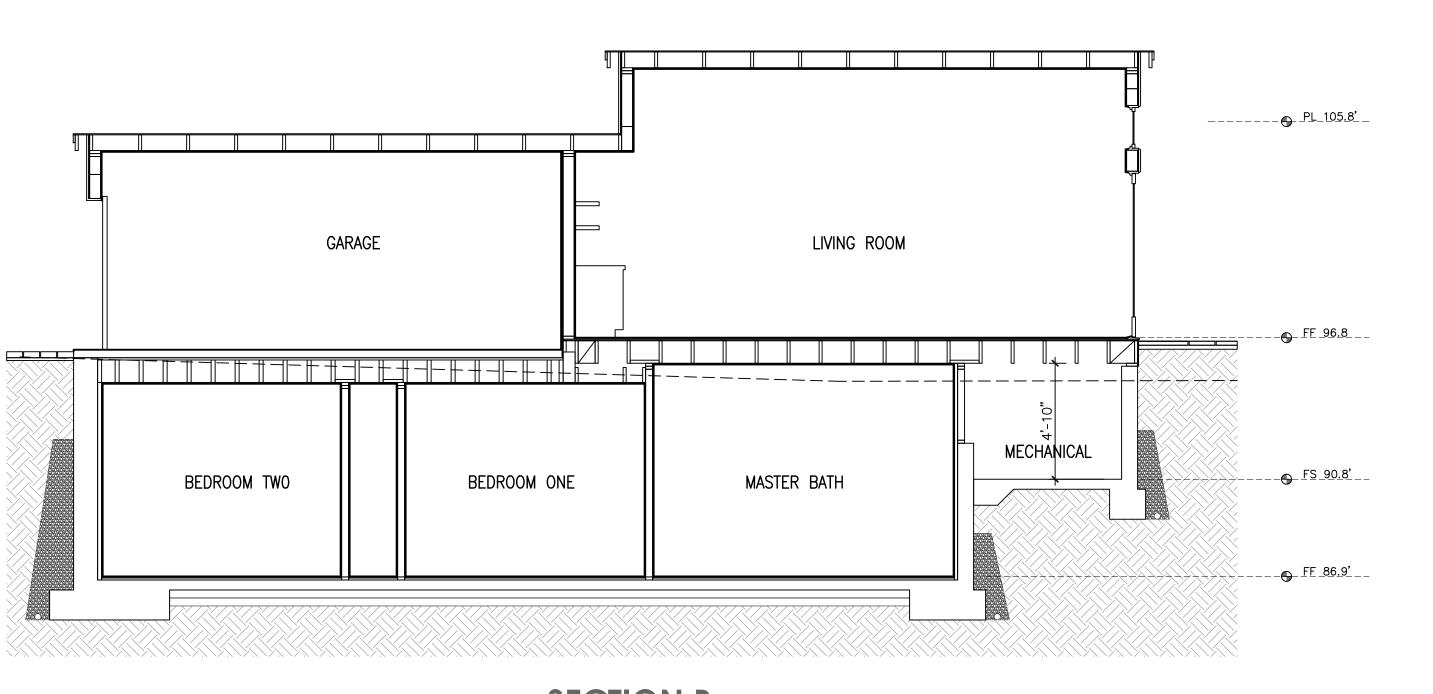
SCALE: 1' = 1/4"

(IN FEET) 1/4 inch = 1 ft. GRAPHIC SCALE

SCALE: 1' = 1/4"

A5.0

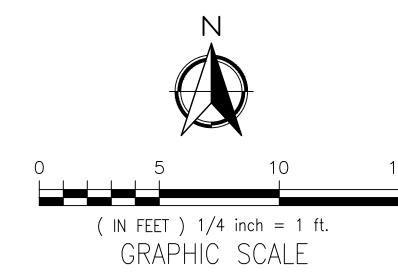


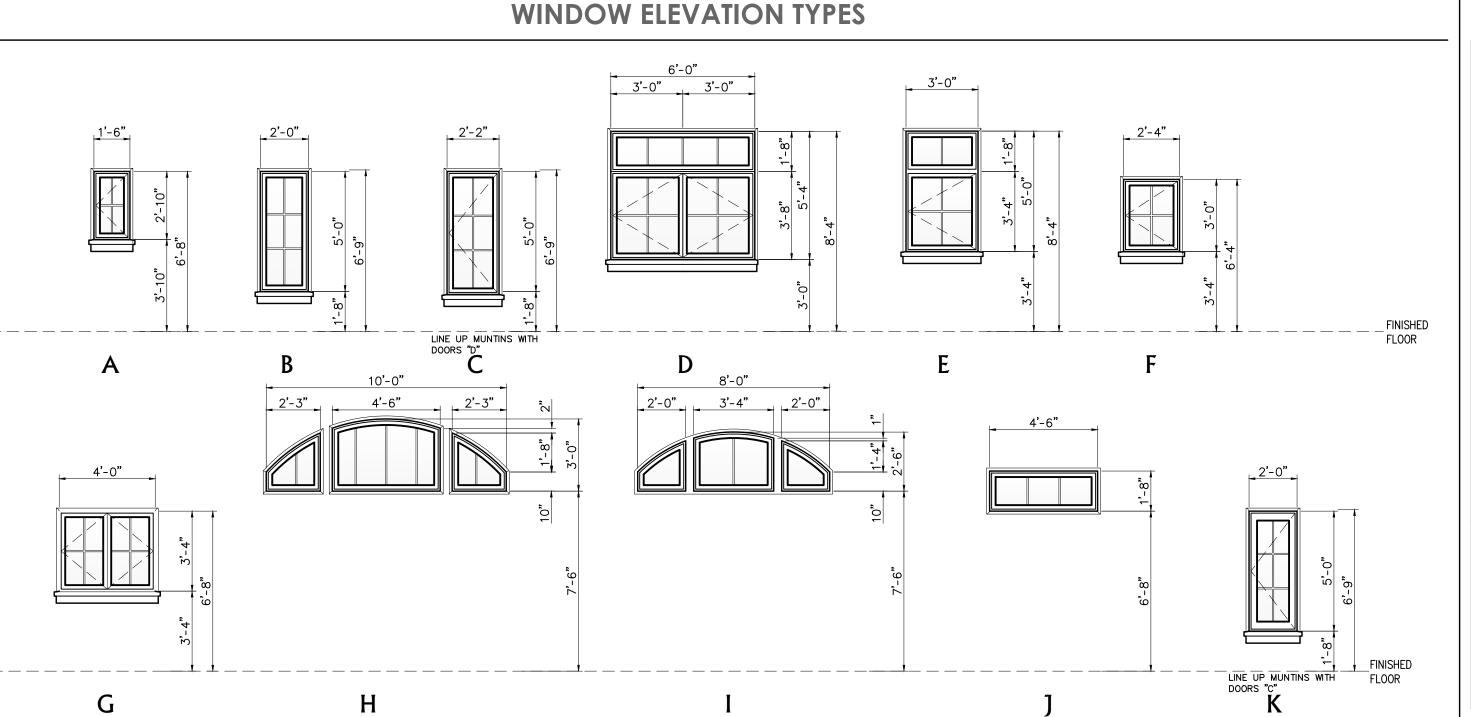


SECTION B

NOTE:
THE CEILING HEIGHT OF THE MECHANICAL ROOM MUST NOT EXCEED 4'-10" FROM THE FINISHED SLAB TO THE BOTTOM OF THE FLOOR JOIST. THE PERIMETER FOUNDATION IS TO BE STEPPED UP AS INDICATED IN THE PLAN AROUND THE PERIMETER OF THE MECHANICAL ROOM. PLATFORMS, COMPARTMENTALIZED, OR SECTIONALIZED SPACES ARE NOT PERMITTED TO MEET THE REQUIREMENTS OF CMC 17.10.030.D.1 AND TO ENSURE THAT THE MECHANICAL ROOM IS NOT COUNTED AS FLOOR AREA.

CMC 17.10.030.D.1 FLOOR AREA. "FLOOR AREA" MEANS THE TOTAL GROSS SQUARE FOOTAGE INCLUDED WITHIN THE SURROUNDING EXTERIOR WALLS OF ALL FLOORS CONTAINED WITHIN ALL ENCLOSED BUILDINGS ON A BUILDING SITE WHETHER FINISHED OR UNFINISHED. IN ABOVE-GROUND SPACES, FLOOR AREA IS MEASURED AT THE EXTERIOR OF THE ENCLOSING WALLS. IN BASEMENT SPACES, FLOOR AREA IS MEASURED AT THE INTERIOR OF THE ENCLOSING WALLS. FLOOR AREA SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, ALL FLOORS OF ALL ENCLOSED SPACES WITHIN ALL BUILDING, BASEMENTS, MEZZANINES, GUESTHOUSES, STUDIOS, GARAGES AND CARPORTS. ALL ATTIC, BASEMENT AND STORAGE SHED SPACES WITH FIVE OR MORE FEET OF CLEARANCE BETWEEN THE FLOOR OR WALKING SURFACE AND THE CEILING OR ROOF SURFACE SHALL BE COUNTED AS FLOOR AREA.





	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
	1	BATHROOM 1	Α	1'-6" X 2'-10"	FF	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	2	STAIRS	В	2'-0" X 5'-0"	FF	FIXED	WOOD-CLAD	YES	YES	NO	NO
	3	STAIRS	В	2'-0" X 5'-0"	FF	FIXED	WOOD-CLAD	YES	YES	NO	NO
1 .	4	STAIRS	В	2'-0" X 5'-0"	FF	FIXED	WOOD-CLAD	YES	YES	NO	NO
LEVEL	5	DINING ROOM	С	2'-2" X 5'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
jū	6	DINING ROOM	С	2'-2" X 5'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	6A	DINING ROOM	Н	10'-0" X 3'-0"	FF	FIXED, ARCHED TOP	WOOD-CLAD	YES	YES	NO	NO
MAIN	7	DINING ROOM	С	2'-2" X 5'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
≩	8	DINING ROOM	D	6'-0" X 5'-4"	FF	CASEMENT W/FIXED TRANSOM	WOOD-CLAD	YES	YES	YES	NO
	8A	LIVING ROOM	1	8'-0" X 2'-6"	FF	FIXED	WOOD-CLAD	YES	YES	NO	NO
	9A	LIVING ROOM	J	4'-6" X 1'-8"	FF	FIXED	WOOD-CLAD	YES	YES	YES	NO
	9B	LIVING ROOM	J	4'-6" X 1'-8"	FF	FIXED	WOOD-CLAD	YES	NO	NO	NO
	9C	LIVING ROOM	E	3'-0" X 5'-0"	FF	CASEMENT W/FIXED TRANSOM	WOOD-CLAD	YES	NO	NO	NO
	10	GARAGE	F	2'-4" X 3'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	11	GARAGE	F	2'-4" X 3'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	12	GARAGE	F	2'-4" X 3'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	13	MASTER BED RM	К	2'-0" X 5'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	NO	NO
	14	MASTER BED RM	K	2'-0" X 5'-0"	FF	CASEMENT	WOOD-CLAD	YES	YES	NO	NO
LEVEL	15	BED RM 1	G	4'-0" X 3'-4"	FF	CASEMENT	WOOD-CLAD	YES	NO	YES	YES
[4]	16	BED RM 2	G	4'-0" X 3'-4"	FF	CASEMENT	WOOD-CLAD	YES	NO	YES	YES
LOWER											
8											
_											
1								i		i	

WINDOW SCHEDULE

# DOOR ELEVATION TYPES 2'-6" 2'-6" 4'-0"4'-0" \_\_\_\_\_\_\_

				DOOR	SC	HEDULE				
	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS		MATERIAL	GLAZING	TEMPERED
	1	ENTRY	Α	3'-0" X 6-8"	FF	FLUSHED/ PANELED DOOR WITH GLASS	OUTSIDE	WOOD-CLAD	NO	NO
	2	BATHROOM ONE	В	2'-6" X 6'-8"	FF	FLUSHED/ PANELED DOOR	INSIDE	WOOD-CLAD	NO	NO
	3	CLOSET	В	2'-6" X 6'-8"	FF	FLUSHED/ PANELED DOOR	INSIDE	WOOD-CLAD	NO	NO
	4	GARAGE	В	2'-6" X 6'-8"	FF	FLUSHED / PANELED SELF CLOSING 2HR RATED	INSIDE	WOOD-CLAD	ОИ	NO
	5	DINING ROOM	С	(2) PER- 2'-6" X 6'-8"	FF	GLASS / PANELED DOOR	OUTSIDE	WOOD-CLAD	YES	YES
	6	DINING ROOM	D	(3) PER- 2'-8" X 6'-8"	FF	FULL GLASS SLIDER DOOR	OUTSIDE	WOOD-CLAD	YES	YES
EVEL	7	DINING ROOM	Е	(4) PER- 2'-6" X 6'-8"	FF	FULL GLASS SLIDER DOOR	OUTSIDE	WOOD-CLAD	YES	YES
MAN										
	8	BATHROOM TWO	B	2'-6" X 6'-8"	1	FLUSHED / PANELED DOOR	INSIDE	WOOD-CLAD		NO
	10	LAUNDRY  MASTER BED ROOM	F	2'-6" X 8'-0"	FF   FF	FLUSHED / LOUVERED FLUSHED / PANELED DOOR	INSIDE	WOOD-CLAD		NO
	11	MASTER BED ROOM	В	2'-6" X 6'-8"	FF	GLASS / PANELED DOOR	INSIDE	WOOD-CLAD		NO VES
	12	MASTER BED ROOM	C B	(2) PER- 2'-6" X 6'-8" 2'-6" X 6'-8"	FF	FLUSHED / PANELED DOOR		WOOD-CLAD		YES NO
Æ	13	W/C	В	2'-6" X 6'-8"		FLUSHED / PANELED DOOR		WOOD-CLAD WOOD-CLAD		NO
LEVE	14	MASTER BATH	G	(2) PER 1'-3" X 6'-8"	T FF	FLUSHED / PANELED DOOR	INSIDE	WOOD-CLAD		NO
	15	BED ROOM ONE	В	2'-6" X 6'-8"	T FF	FLUSHED / PANELED DOOR	INSIDE	WOOD-CLAD		NO
OWER	16	BED ROOM ONE	Н	(2) PER 1'-6" X 6'-8"	T FF	FLUSHED/ PANELED DOOR	INSIDE	WOOD-CLAD		NO
<b>⊗</b>	17	BED ROOM TWO	В	2'-6" X 6'-8"	FF	FLUSHED / PANELED DOOR	INSIDE	WOOD-CLAD		NO
Ĭ	18	BED ROOM TWO	H	(2) PER 1'-6" X 6'-8"	FF	FLUSHED / PANELED DOOR	INSIDE	WOOD-CLAD		NO
	19	GARAGE	<del>                                     </del>	8'-0" X 7'-0"	FF	ROLL-UP WD ARCHED GARAGE DOOR		WOOD-CLAD		NO
	20	CRAWL SPACE	J	2'-8" X 2'-8"	FF	FLUSHED DOOR		WOOD-CLAD		NO

#### Door Notes:

- 1. PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE
- SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- 2. PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- 3. GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- 4. ALL DOOR GLAZING TO BE TEMPERED GLASS.
- 5. ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS. 6. DOORS BETWEEN CONDITIONED AND UNCONDITIONED
- SPACES TO BE FULLY WEATHER STRIPPED. 7. GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- 8. DOOR HINGES TO BE 4.5"H.X4.5"W. DOOR 7'-0" 9. ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED. AND SEALED.
- 10. GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR
- ADDITIONAL INFORMATION. 11. THE DOOR FINISH PER CLIENT OR CODG, INC.
- 12. THE DOOR STILES TO BE PER PLAN 13. CHECK FLOOR PLAN FOR HINGES LOCATION
- 14. PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

#### 15. ALUMINUM WOOD-CLAD DOORS AT EXTERIOR Window Notes:

- 1. PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED)
- AS REQUIRED PER C.B.C. 2. SCREEN COLOR TO BE SPECIFIED BY CLIENT 3. GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER
- AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER. 4. THE WINDOW MANUFACTURER WILL SUPPLY SHOP
- DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FRO REVIEW BY CODG, Inc.
- 5. APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR 6. PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW
- OPENINGS WITH G.E. SILICONE ACRYLIC, POLYSULFIDE OR URETHANE AS REQUIRED.
- 7. ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- 8. EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O. 9. ALL OPERABLE WINDOWS TO HAVE SCREENS.
- AS SPECIFY BY CLIENT. 10. SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD
- 11. DOUBLE PANE LAMINATED GLASS
- AS SPECIFIED TITLE. 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- 12. PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- 13. WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTESION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)
- 14. ALUMINUM WOOD-CLAD WINDOWS

#### Note:

- 1. FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- 2. ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- 3. ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

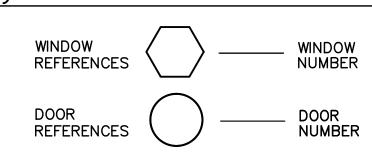
#### Tempered Glass Note:

EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING: A) GLAZING IN DOORS.

- B) GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
- C) GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS: 1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
- 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR. 3. THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES
- ABOVE THE FLOOR. 4. ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
- D) GLAZING IN GUARDS AND RAILINGS. E) GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES,

INCLUDING SHOWER DOORS AND SURROUNDS. F) GLAZING ADJACENT TO STAIRS AND RAMPS.

Symbols



#### **Abbreviations**

N/A	 NOT APPLICABLE
G.C.	 GENERAL CONTRACTOR
Р	 PAINT
ST	 STAIN
FF	 FACTORY FINISH
I.D.	 INTERIOR DESIGN
S	 SEALED
MFR.	 MANUFACTURER
FIN.	 FINISH
NAT.	 NATURAL

12 S: 5

202 ISSUE: 08-30-03-07-

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MANUFACTURE: BENJAMIN MOORE OC27 BALBOA MIST COLOR: EGGSHELL SHEEN:



TRIM COLOR

MANUFACTURE: SHERWIN WILLIAMS GAUNLET GRAY 7019 COLOR: SHEEN: FLAT



BULB

MANUFACTURE: FEIT ELECTRIC 4.5 WATTS WATTS: 250 LUMENS: E26 BASE BULB TYPE:



FIXTURE A

MANUFACTURE: DESIGNERS FOUNTAINS T24 COMPLIANT: YES

COLOR: BRONZE WATTS: SEE LIGHT BULB

LUMENS: SEE LIGHT BULB BULB TYPE: STANDARD 110.25"H X 11"W X 13.5" **DIMENSIONS:** 

DARK SKY: YES



FIXTURE B

MANUFACTURE: KICHLER T24 COMPLIANT: YES COLOR: BRONZE WATTS: 4.3 WATTS

294 LUMENS: BULB TYPE: LED 22"H X 6.25"W **DIMENSIONS:** 

FIXTURE C

MANUFACTURE: ELLINGTON T24 COMPLIANT: YES

COLOR: OIL RUBBED BRONZE WATTS: SEE LIGHT BULB

SEE LIGHT BULB LUMENS: BULB TYPE: STANDARD

**DIMENSIONS:** 16.25"H X 9"W X 11.75" DARK SKY: YES

#### EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE. 2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15

WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



SKYLIGHT

MANUFACTURE: VELUX MATCH ROOF MATERIAL FINISH:

OPERATION: FIXED



NEW 4-FOOT FENCE

MATERIAL: REDWOOD FINISH: NATURAL HEIGHT: 4-FT.



DRIVEWAY

MANUFACTURE: CALSTONE OAK BARREL GRAY INSTALLATION: SET ON SAND



PATIO

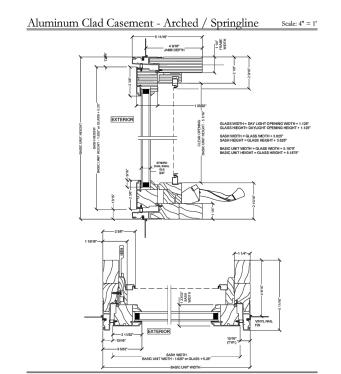
MANUFACTURE: CARMEL STONE NATURAL COLOR: INSTALLATION: SET ON SAND



WALKWAY

MANUFACTURE: CARMEL STONE NATURAL COLOR:

INSTALLATION: SET ON SAND



WINDOW

MATERIAL: SIERRA PACIFIC FINISH: WOOD-CLAD CASEMENT OPERATION:



WINDOW MATERIAL:

SIERRA PACIFIC FINISH: WOOD-CLAD **OPERATION:** CASEMENT

REDWOOD FINISH: NATURAL

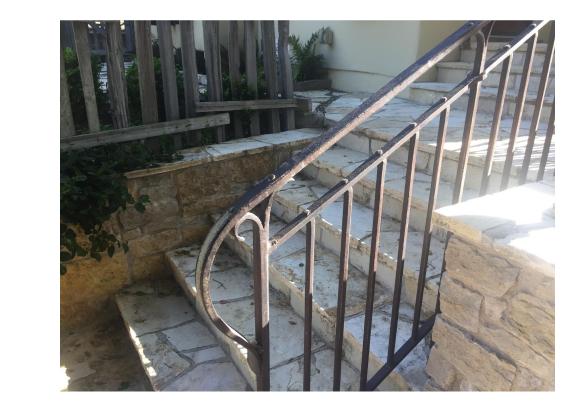


NEW 6-FOOT FENCE MATERIAL:

6-FT. HEIGHT:



BARREL CLAY TILE ROOF MANUFACTURE: REDLAND PRODUCTS



GUARDRAIL

MANUFACTURE: CUSTOM BRONZE COLOR:

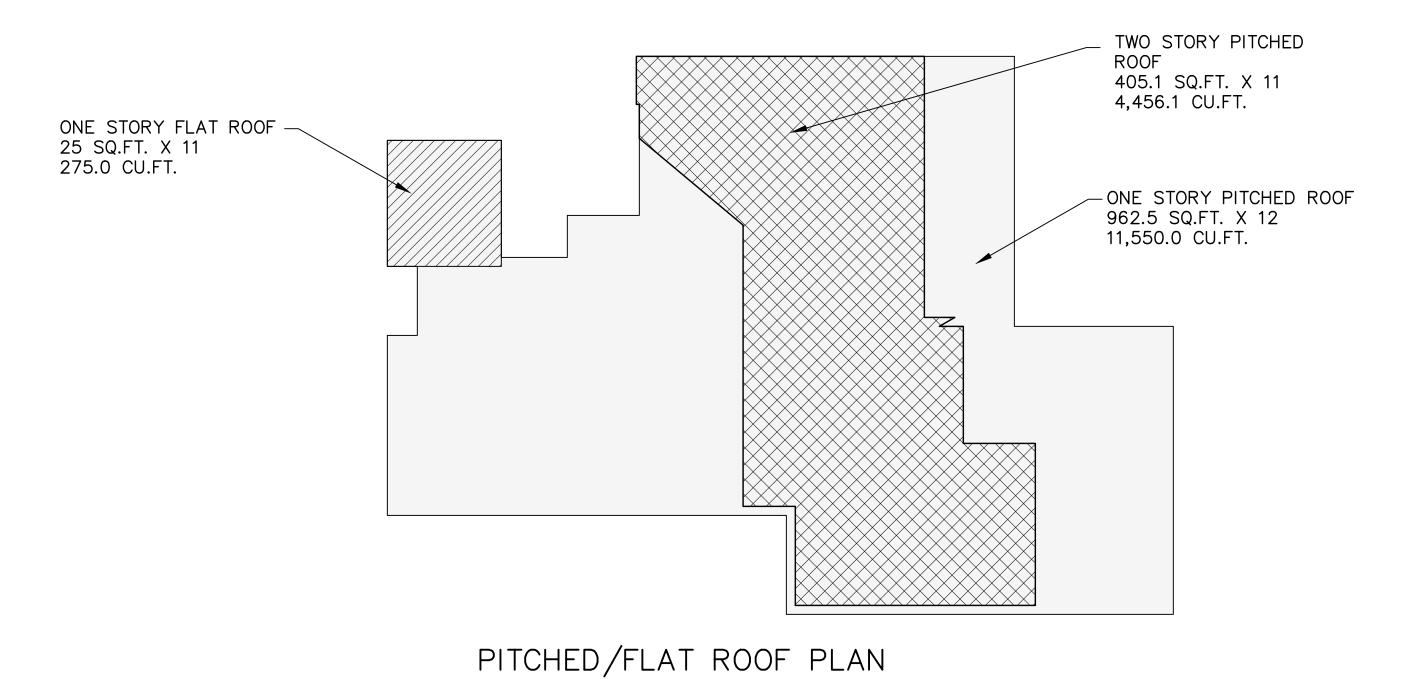
ROUGH IRON, GALV. MATERIAL:

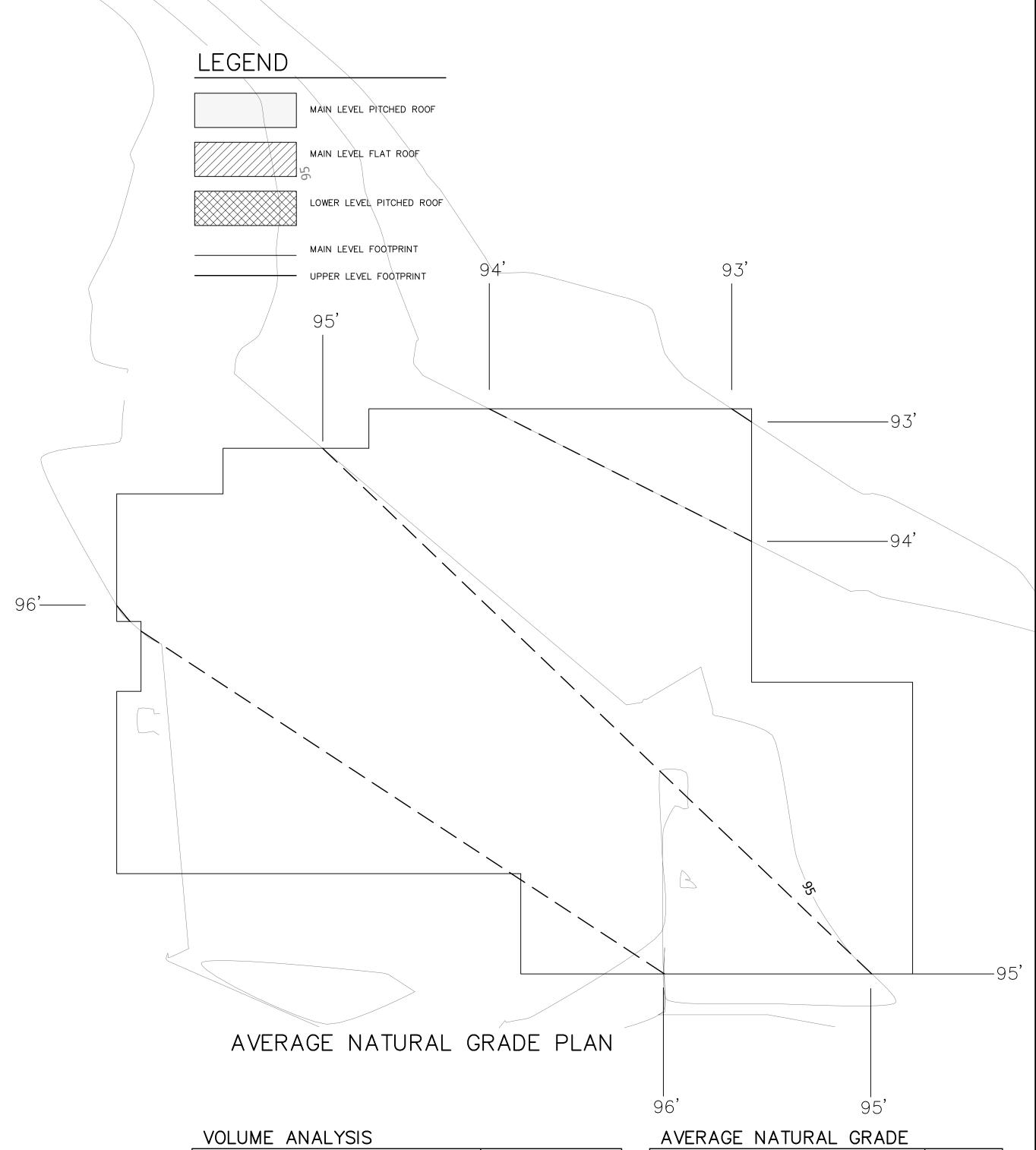
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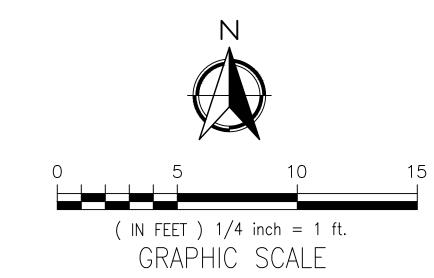


MAIN LEVEL PITCH MAIN LEVEL FLAT LOWER LEVEL PITCH	954.2 SF X 12 25.0 SF X 11 401.8 SF X 11	11,450.4 CU.FT. 275.0 CU.FT. 4,419.8 CU.FT.		
VOLUME ALLOWED		16,145.2 CU.FT.		
VOLUME PROPOSED:		13,435.8 CU.FT.		

DWELLING .	average n	IATURAL GRADE	95.2 FT
ELEV.	LINE	LENGTH	TOTAL
93 FT 94 FT 95 FT 96 FT	0 1 2 3	1.3' 16.1' 41.7' 34.3'	0 16.1' 83.4' 102.9'
TOTAL		93.4'	202.4'

MATH: 93.4 / 202.4 = 2.2FACTOR: = 2.2

A.N.G. = 93 FT + 2.2 FACTOR = 95.2 FT



CLAUDIO ORTIZ DESIGN GROUP, INC
P.O. BOX 3775 Carmel, CA 93921
DEFICE: 831,626,4146

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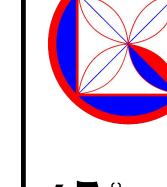
IGHT 2016 CLAUDIC CRITIC.

REVIONS

40MESCALST LLC 40MESCALST LLC NIPERO 3 NE OF 12TH, CARMEL CALIF OCK:128 LOTS:5 N: 010-073-005 OJECT NO.

> -08-2024 AWN BY:

VOLUME ANALYSIS AND ANG PLAN



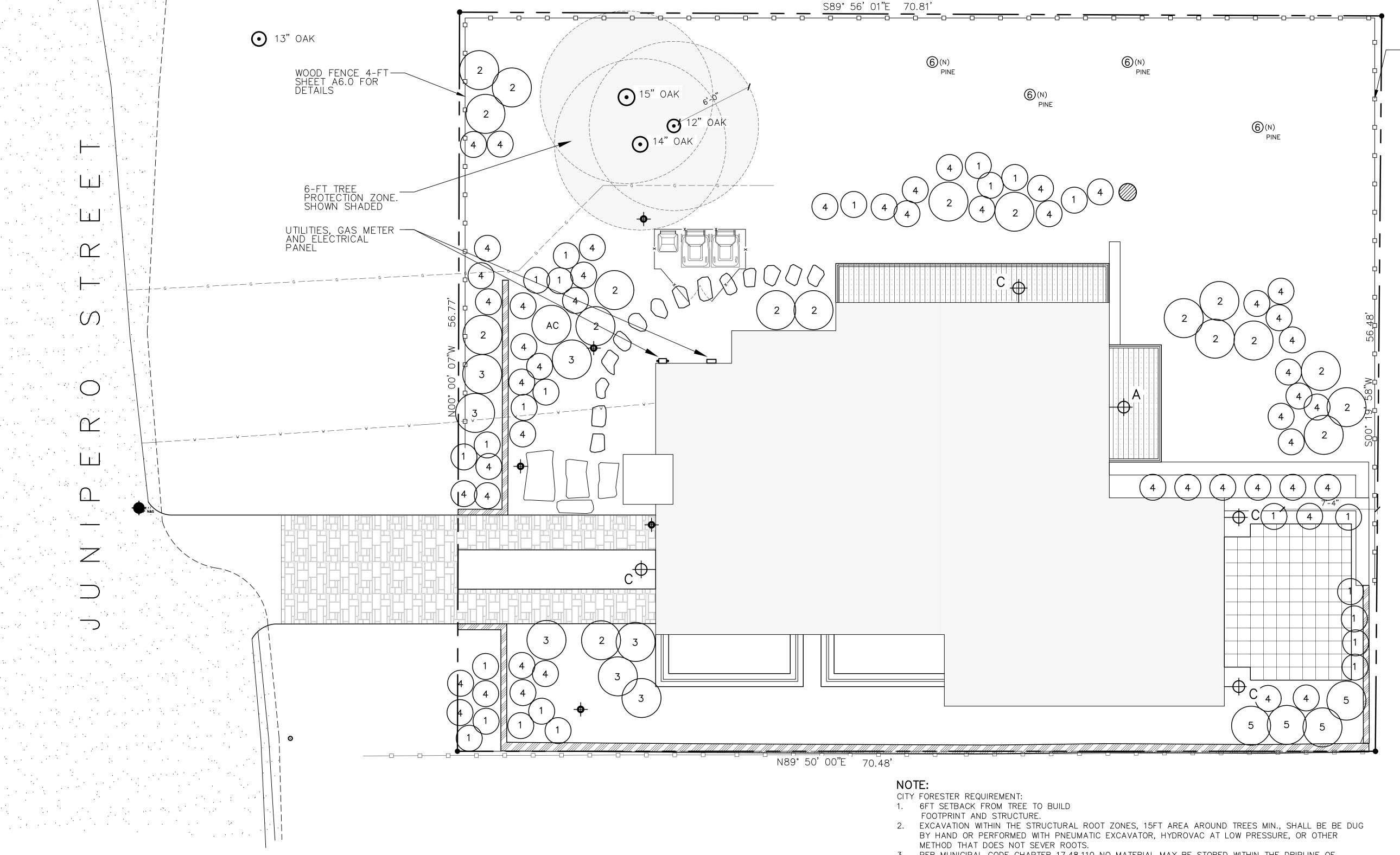
 $S_{1}$ 

SCALST 0 3 NE 128 10-073-

202 202

 $\triangleleft$ 

SCALE: 1' = 1/4''



32" long non - abrasive rubber ties

URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE

1- Shrubs shall be of quality prescribed in the root observations detail and specifications.

2- See specifications for further requirements related to this detail.

P-X SHRUB - UNMODIFIED SOIL

PLAN VIEW

TREE STAKING - LODGE POLES (2)

(P-X) TREE w/ BERM (EXISTING SOIL NOT MODIFIED)

PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF APROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS. THE STORAGE AREA, CONCRETE WASHOUT AND PAINT AND SOLVENT CLEAN OUT AREA NEED TO BE MOVED.

4. ALL MEASUREMENTS FROM THE SETBACK LINE TO PROPERTY BOUNDARY LINE SHALL BE MEASURE FROM THE FINISHED EXTERIOR SURFACE OF THE STRUCTURE.

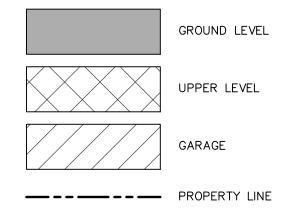
FORMAL UNNATURAL ARRANGEMENTS SHALL BE AVOIDED EXCEPT FOR FOCAL POINTS. ERADICATE ANY IVY FROM THE LOT AND PLANTS LISTED ON THE CALIFORNIA NOXIOUS WEED LIST.

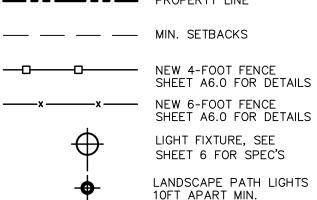
50% OF THE PLANTS VISIBLE FROM THE STREET ARE TO BE CALIFORNIA NATIVE.

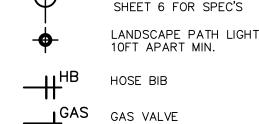
No.	BOTANICAL NAME	COMMON NAME	SIZE
1	RHAMNUS CALIFORNIA	RHAMNUS CALIFORNIA "EVE CASE"	5 GAL
2	DONONAEA ATROPURPOREA	DONONAEA ATROPURPUREA	5 GAL
3	APAGANTHUS	AGAPANTHUS "AFRICANUS BLUE"	5 GAL
4	ARCTOSTAPHYLOS	ARCTOSTAPHYLOS "PACIFIC MUST"	5 GAL
5	LOMANDRA LONGIFOLIA	LOMANDRA LONGIFOLIA BREEZE	5 GAL
6	PINUS RADIATA	PINE TREE	15 GAL

5. PLANT MATERIAL LOCATED IN AREAS VISIBLE FROM THE STREET R OTHER PUBLIC PLACES SHALL BE ARRANGED IN A RELAXED INFORMAL PATTER CONSISTENT WITH THE CHARACTER OF CARMEL FOREST.

# LEGEND \_WOOD FENCE 6-FT SEE SHEET A6.0 FOR DETAILS









PATH LIGHT, 3 WATTS LED, SEE FIXTURE "B" ON SHEET 6.0 MAY NOT BE SPACED CLOSER THAN 10-FEET APART

#### IRRIGATION NOTES

LIGHT KEY

1. NO TURF TO BE INSTALLED
2. COMPOST AT THE RATE OF 4 CUBIC YARD PER 1,000 SQ.FT. TO BE

INCORPORATED TO A DEPTH OF 6" INTO THE LANDSCAPE AREA 3. ALL LANDSCAPE AREA TO RECEIVE 3" OF TOP DRESSING MULCH
4. IRRIGATION SYSTEM TO HAVE AN AUTOMATIC RENEGOTIATION
CONTROLLER THAT HAS A SOIL MOISTURE SENSING DEVICE AND

RAIN SENSOR.

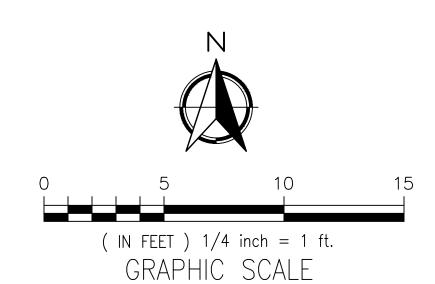
. IRRIGATION CONTROLLER TO HAVE A BATTERY BACKUP AN NON-VOLATILE MEMORY. IRRIGATION SYSTEM TO BE SUBSURFACE PONT OF DRIP. VLAVES TO HAVE PRESSURE REGULATORS TO SYSTEM WITHIN MANUFACTURE'S PRESSURE RANGE. SHUT OFF VALVES TO BE CLOSE TO POINT OF CONNECTION.

#### EXTERIOR LIGHTING NOTES

- I. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- 2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

#### TREE PRESERVATION & TREE PROTECTION

- 1. PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE
- 2. EXCAVATION WITHIN 6-FEET OF A TREE TRUNK IS NOT PERMITTED.
- 3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE. 4. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE
- STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS. 5. IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO
- MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED. 6. IF ROOTS ARE LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY,
- THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTAIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN
- 7. ALL OAKS ARE TO BE REATED WITH PACLOBUTRAZOL BEFORE WORK MAY BEGIN AT THE SITE INCLUDING DEMOLITION.



- LATEST REVISION OF THE COUNTY OF MONTEREY/CITY OF DESIGN STANDARDS AND SPECIFICATIONS - THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)

- THE 2019 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEnC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).

2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN

3. IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.

4. THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.

5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.

8. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

9. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE

10. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS. INDEMNIFY AND DEFEND THE OWNER. THE ENGINEER. AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT. CONCRETE STRIPING. ANY AND ALL OTHER DEBRIS FROM THE SITE. EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT-BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.

12. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

13. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.

14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

15. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST. C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.

D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

16. A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY/CITY AT SCHEDULED INSPECTIONS.

17. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY

18. CONTRACTOR SHALL POTHOLE AND VERIFY THAT A MINIMUM OF ONE FOOT OF VERTICAL SEPARATION CAN BE ACHIEVED AT ALL NEW SEWER CROSSINGS AND NOTIFY THE ENGINEER IF ANY EXISTING UTILITIES APPEAR TO BE IN

#### SANITARY SEWER

1. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE CITY STANDARD SPECIFICATIONS AND STANDARD

2. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE, FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.

3. PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID PVC SEWER PIPE AND AS DIRECTED BY THE CITY.

4. SEWER SERVICE LATERALS SHALL BE CONSTRUCTED TO THE CITY STANDARD SPECIFICATIONS AND STANDARD DETAILS.

5. ALL SEWER SERVICES SHALL BE MARKED WITH A "S" ON TOP OF CURB.

6. SANITARY SEWER CLEAN OUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET.

#### **BENCHMARK**

1. COORDINATE SYSTEM BASED ON AN ASSUMED DATUM.

2. ELEVATIONS BASED ON AN ASSUMED DATUM. SEE PLAN SHEET FOR DETAILS AND PROJECT BENCHMARK.

3. POINTS WITH ELEVATION -1000' WERE LOCATED HORIZONTALLY ONLY.

#### GRADING & DRAINAGE

1. CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.

2. ALL GRADING SHALL CONFORM TO THE CITY GRADING ORDINANCE.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO

4. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.

5. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.

6. MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED.

7. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.

8. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT-BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.

9. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.

10. EARTHWORK QUANTITIES: CUT = 299 CY

FILL = 0 CYNET = 299 CY CUT

MAXIMUM HEIGHT OF EXCAVATION 6.7' MAXIMUM HEIGHT OF EMBANKMENT O

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

11. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.

12. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

13. INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.

14. BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.

15. ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.

16. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15TH AND APRIL 15TH) THE FOLLOWING MEASURES MUST BE

A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.

C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12.090)

17. ALL ROOF DRAINS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS OR BE HARD PIPED TO THE

18. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.

19. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES

20. PREPARATION OF THE GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.

21. FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.

#### UNDERGROUND UTILITIES

1. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.

2. ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.

3. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

4. PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

5. SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY.

#### STORM DRAIN

1. ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.

2. STORM DRAIN MANHOLES SHALL BE CONSTRUCTED TO THE CITY STANDARD SPECIFICATIONS AND STANDARD

3. ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

#### TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

2. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASAQ CONSTRUCTION BEST MANAGEMENT PRACTICES. SEE EROSION CONTROL PLAN SHEET C4.

3. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

4. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.

5. NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY FORESTER.

6. ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

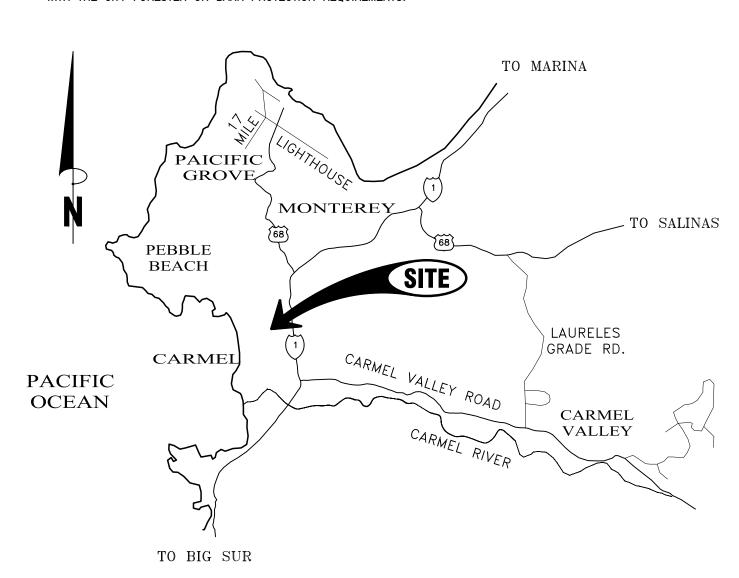
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

1. PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE CITY FORESTER. FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLE THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.

2. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.

3. PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.

4. THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE CITY FORESTER ON BARK PROTECTION REQUIREMENTS.



VICINITY MAP

#### LEGEND

EXISTING		DOUNDARY LINE	PROPOSED
		BOUNDARY LINE	
		EASEMENT (ESMT)	
		CENTERLINE (CL)	
———— SD —		STORM DRAIN MAIN	——————————————————————————————————————
		ROOF DRAIN LATERAL	
SS		SANITARY SEWER MAIN	ss
W		WATER MAIN	W
	<b>─</b>	DRAINAGE FLOW LINE	$\longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow$
		SAWCUT	
———— GB——— GB——— GB	GB GB	GRADE BREAK	——————————————————————————————————————
		ACCESSIBLE PATH OF TRAVEL	
<u> </u>		MAJOR CONTOUR	170
<u> </u>		MINOR CONTOUR	169
X X	X	FENCE	X X X
OH	OH-	OVERHEAD LINES	F0
	× 405.46	SPOT ELEVATION	·FG 171.13
		DROP INLET (DI)	
		CURB INLET (CI)	
		AREA DRAIN (AD)	■AD
	SDMH	STORM DRAIN MANHOLE (SDMH)	● SDMH
	SSMH	SANITARY SEWER MANHOLE (SSMH)	● SSMH
	$\mathcal{A}$	FIRE DEPARTMENT CONNECTION (FDC)	Ŷ FDC
	FH 🖰	FIRE HYDRANT (FH)	₩FH
	611	POST INDICATOR VALVE (PIV)	
	WM M	WATER METER (WM)	WM
	$\forall \forall $	WATER VALVE (WV)	H
	$\triangleright$	CHECK VALVE	◀
	$\triangleright \triangleright$	DOUBLE CHECK VALVE	<b>₩</b>
	0	CLEANOUT (CO)	•
	SH	HEET INDE	$\mathbf{E}\mathbf{X}$

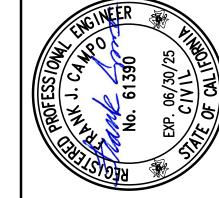
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COVER & GENERAL NOTES

GRADING & DRAINAGE PLAN UTILITY PLAN

SECTIONS & DETAILS

EROSION CONTROL PLAN & DETAILS CONSTRUCTION BEST MANAGEMENT PRACTICE (BMP'S)



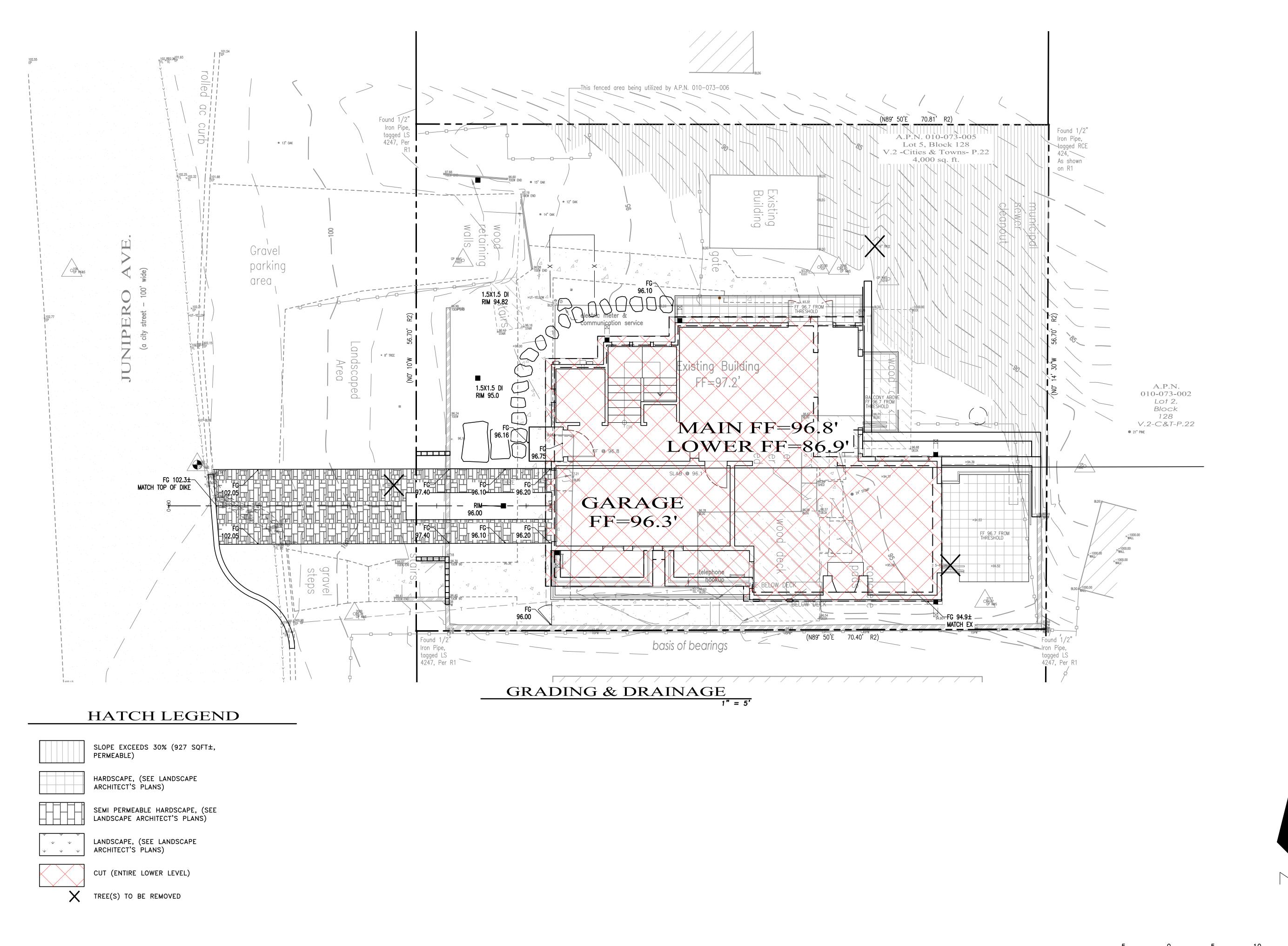
AS NOTED 06-03-24 ECH

OF **O** SHEETS

NN SCALE:

DATE: DESIGN BY: DRAWN BY: CHECKED BY: SHEET NUMBER:

PROJECT# 122-160



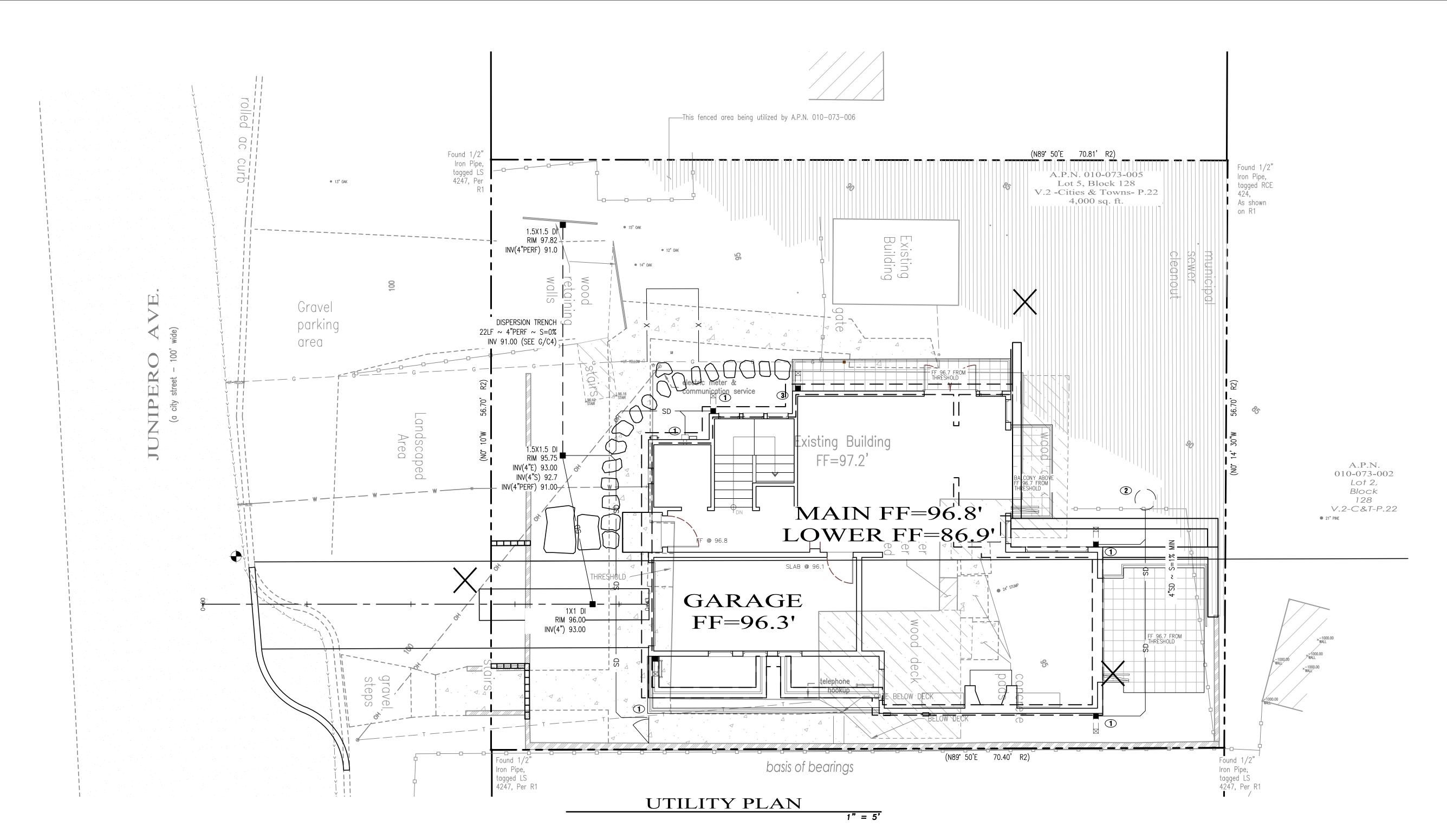
Scale 1" = 5'

SCALE: AS NOTED 06-03-24 DATE: DESIGN BY: DRAWN BY: CHECKED BY: SHEET NUMBER:

122-160

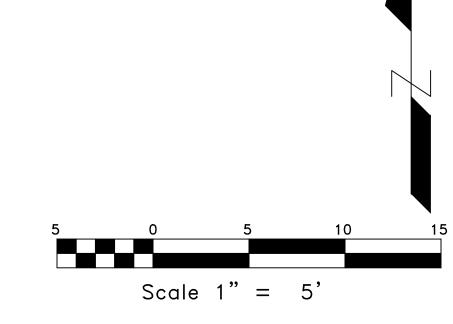
OF 6 SHEETS

PROJECT#



#### KEY NOTES

- 1 FIELD LOCATE DOWNSPOUTS AND CONNECT TO SD, (SEE D/C4)
- ② FLOW WELL, (SEE L/C4)
- 3 DISCHARGE ONTO SPLASH BLOCK AT GRADE



RESIDENTIAL DEVELOPMEN
1540 MESCAL STREET LLC
APN 010-073-005

SCALE: AS NOTED

DATE: 06-03-24

DESIGN BY: FJC

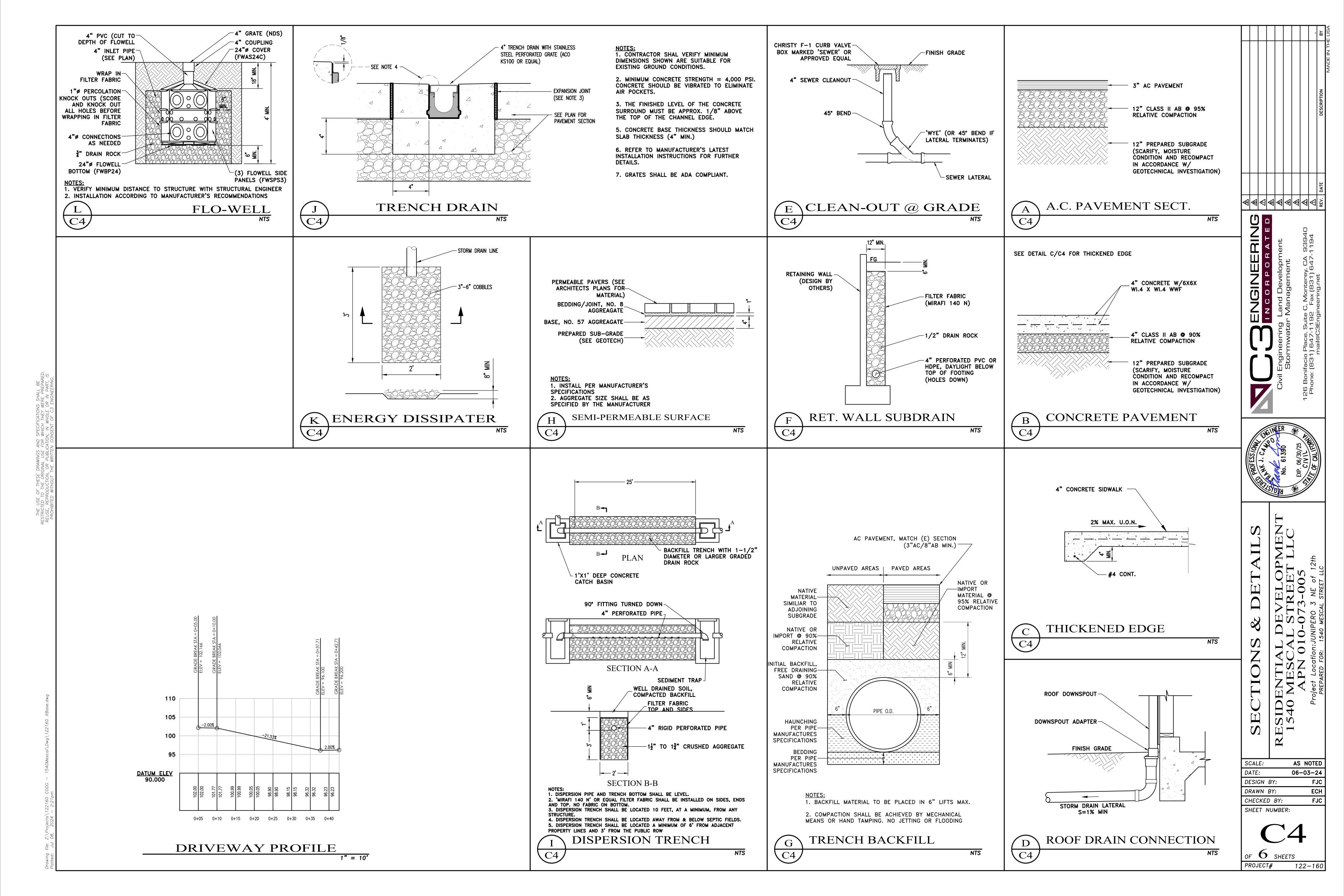
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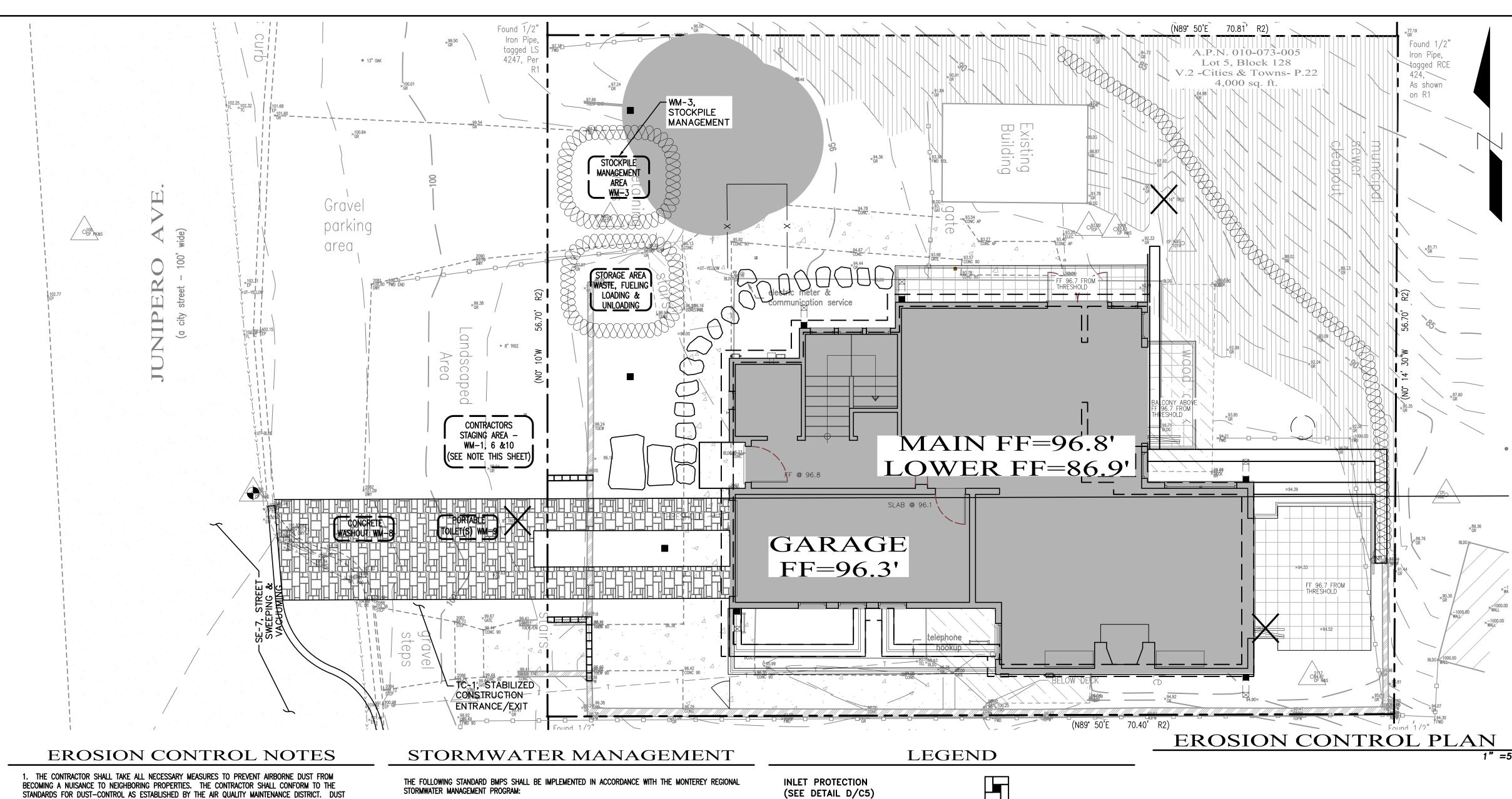
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SHEET NUMBER:

of **6** SHEETS
PROJECT# 122-160

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CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.

B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST. C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST. D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.

2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED. SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.

4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 1 AND APRIL 30), THE FOLLOWING MEASURES MUST BE A) VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY

MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION. B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR

ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES. C) RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO

ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER

(GRADING/EROSION ORD. 2806-16.12.090) E) THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

5. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

6. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION

8. SITE BMPS ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION

9. STABILIZATION BMPS INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS

10. BEST MANAGEMENT PRACTICES (BMPS) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS, AND DETAILS FOR THE BMPS SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.

1. MINIMIZE USE OF OIL-BASED PAINTS 2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER. 3. Spent solvents are hazardous wastes. Store spent solvents in approved containers. Reuse

SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE. 4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM. PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE: 1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.

2. CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS. 3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE. 4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.

1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK. 2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE 3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION. 4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY—MIX BATCH PLANT FOR

5. BEFORE' CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS. EARTH MOVING/GRADING:

1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY. 2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN 3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA 4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.

6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS. REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.

1. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT. IF STAGING IS REQUIRED IN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL

PROPOSED DRAINAGE FLOW

FIBER ROLL

#### BMP'S

SEDIMENT CONTROL: SE-1 SILT FENCE SE-2 SEDIMENT BASINS

SE-3 SEDIMENT TRAP SE-5 FIBER ROLL SE-6 GRAVEL BAG BERM SE-7 STREET SWEEPING AND VACUUMING

SE-8 SANDBAG BARRIER SE-9 STRAW BALE BARRIER SE-10 STORM DRAIN INLET PROTECTION SE-13 COMPOST SOCKS

AND BERMS SE-14 BIOFILTER BAGS

NS-13 CONCRETE FINISHING

NON-STORM WATER MANAGEMENT: NS-1 WATER CONSERVATION PRACTICES NS-2 DEWATERING OPERATIONS NS-3 PAVING AND GRINDING OPERATIONS NS-6 ILLICIT CONNECTION/DISCHARGE

NS-7 POTABLE WATER/IRRIGATION NS-8 VEHICLE AND EQUIPMENT CLEANING NS-9 VEHICLE AND EQUIPMENT FUELING NS-10 VEHICLE AND EQUIPMENT MAINTENANCE NS-12 CONCRETE CURING

#### NS-14 MATERIAL AND EQUIPMENT USE WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL:

WM-1 MATERIAL DELIVERY AND STORAGE WM-2 MATERIAL USED WM-3 STOCKPILE MANAGEMENT WM-4 SPILL PREVENTION AND CONTROL WM-5 SOLID WASTE MANAGEMENT WM-6 HAZARDOUS WASTE MANAGEMENT WM-7 CONTAMINATED SOIL MANAGEMENT

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

(SEE DETAIL A/C5)

EROSION CONTROL: EC-1 SCHEDULING

EC-2 PRESERVATION OF EXISTING VEGETATION EC-8 WOOD MULCHING EC-16 NON-VEGETATIVE

TRACKING CONTROL: TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT

STABILIZATION

WIND EROSION CONTROL:
WE-1 WIND EROSION CONTROL

TC-3 ENTRANCE/OUTLET TIRE WASH

# DROP INLET PROTECTION

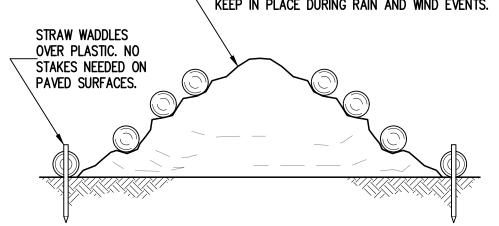
CATCH BASIN-

STOCK PILE SHALL BE COVERED WITH 10 MIL. UV RESISTANT PLASTIC SHEETING TO PREVENT EROSION. PLASTIC SHALL BE WEIGHED DOWN TO KEEP IN PLACE DURING RAIN AND WIND EVENTS.

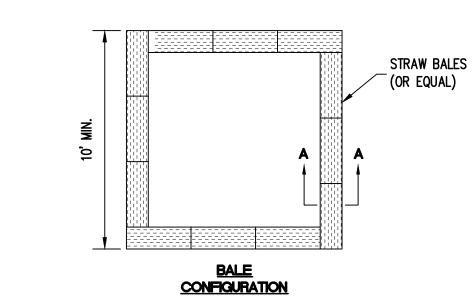
FILTER FABRIC OR

2-BAG HIGH MIN.

SILT STACK



STOCK PILE COVERING



STABILIZE ENTRANCE

3/4"x3/4"
WOOD STAKE

FIBER ROLL

NOTE: STEEL RUMBLE PLATES CAN BE USED ON PAVED SURFACES.

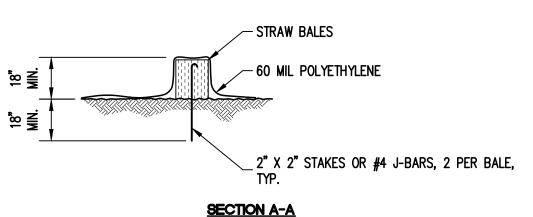
FILTER FABRIC-

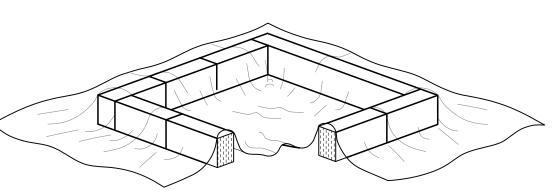
3"-6" COARSE-AGGREGATE

NOTE:
INSTALL FIBER ROLL ON LEVEL CONTOUR. ON SLOPES BETWEEN 25-50% SHEET FLOW LENGTH NO TO EXCEED 15 FEET.

INSTALL NEAR TRANSITIONS TO

STEEPER SLOPES





THIS SECTION REMOVED FOR GRAPHICAL REPRESENTATION ONLY. STRAW BALE PERIMETER SHALL BE CONTINUOUS.

1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT 2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES



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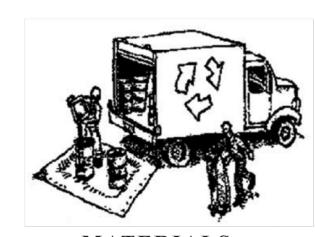
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OBTAIN AN ENCROACHMENT PERMIT AND PAY ALL APPLICABLE FEES. ALL BMP'S INCLUDING CONTAINMENTS SHALL APPLY TO THE PUBLIC RIGHT OF WAY AND SHALL BE KEPT IN FORCE AT ALL TIMES. 2. DISCHARGE FROM DEWATERING OPERATIONS SHALL NOT BE ALLOWED INTO THE 7. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED; STORM DRAIN SYSTEM AND INSTEAD SHALL BE MANAGED ON SITE OR BE FILTERED AND WM-8 CONCRETE WASTE MANAGEMENT DIRECTED TO THE SANITARY SEWER UNDER PERMIT BY THE CARMEL AREA WASTEWATER WM-9 SANITARY/SEPTIC WASTE MANAGEMENT DISTRICT (CAWD). THE CONTRACTOR SHALL CONTACT CAWD PRIOR TO ANY SITE WM-10 LIQUID WASTE MANAGEMENT

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



#### **MATERIALS** & WASTE MANAGEMENT

#### **Non-Hazardous Materials**

- ☐ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible
- ☐ Use (but don't overuse) reclaimed water for dust control.

#### **Hazardous Materials**

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

#### **Construction Entrances and** Perimeter

☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

#### Waste Management

- ☐ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ☐ Dispose of liquid residues from paints, thinners, solvents glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



#### **EQUIPMENT** MANAGEMENT & SPILL CONTROL

#### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ☐ Inlet protection is the last line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

#### **Spill Prevention and Control**

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
  - ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are
  - ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts' guidelines for accepting hazardous waste materials).
  - ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
  - ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

#### **EARTHWORK & CONTAMINATED SOILS**

#### **Erosion Control**

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

#### Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash.

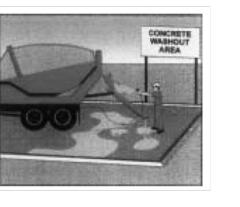


#### PAVING/ASPHALT **WORK**

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- □ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt or concrete pavement.

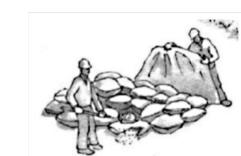
# Sawcutting & Asphalt/Concrete

- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



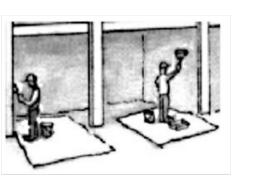
#### **CONCRETE, GROUT &** MORTAR APPLICATION

- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



#### LANDSCAPE **MATERIALS**

- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

#### Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

#### ☐ Chemical paint stripping

**Paint Removal** 

- residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash



#### **DEWATERING**

- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ☐ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled offsite for proper disposal.

\* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!





SHO MESC APN NN SCALE: AS NOTED DATE: 06-03-24 DESIGN BY:

CHECKED BY: SHEET NUMBER: OF 6 SHEETS

122-160

DRAWN BY:

PROJECT#