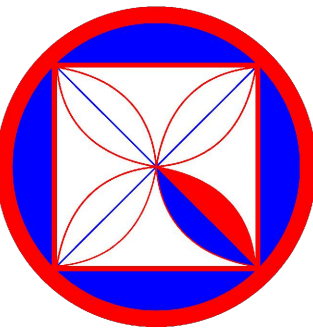


# 1540MESCALST LLC

New Single Family Residence  
Carmel , California

A.P.N. 010-073-005-000



**CODG**  
CLAUDIO ORTIZ DESIGN GROUP, INC.  
1150 E. MAIN ST.  
CARMEL, CA 93921  
OFFICE: (831) 626-4146  
WWW.CODGINC.COM



FRONT PERSPECTIVE VIEW 02



FRONT PERSPECTIVE VIEW 01



REAR PERSPECTIVE VIEW 03

## SHEET INDEX

### ARCHITECTURAL

- A1.0 COVER SHEET & GENERAL NOTES
- A1.1 TOPOGRAPHIC SITE SURVEY
- A1.2 EXISTING SITE PLAN
- A1.3 PROPOSED SITE PLAN
- A1.4 PRELIMINARY SITE ASSESSMENT
- A1.5 PRELIMINARY SITE ASSESSMENT
- A1.6 EXISTING FLOOR PLAN
- A1.7 EXISTING ELEVATIONS
- A1.8 EXISTING ROOF PLAN
- A2.0 FLOOR PLANS; MAIN LEVEL & LOWER LEVEL
- A3.0 ELEVATIONS
- A4.0 ROOF PLAN
- A5.0 SECTIONS
- A6.0 WINDOW AND DOOR SCHEDULES
- A7.0 MATERIALS
- A8.0 STREETSCAPE
- A9.0 VOLUME ANALYSIS AND ANG PLAN
- L1.0 LANDSCAPE PLAN
- C1 COVER PAGE & GENERAL NOTES
- C2 GRADING & DRAINAGE
- C3 UTILITY PLAN
- C4 SECTIONS & DETAILS
- C5 EROSION & SEDIMENT CONTROL PLAN
- C6 CONSTRUCTION MANAGEMENT PRACTICE PLAN

## HEIGHT LIMITS AND SETBACKS

| HEIGHT                         | EXISTING | PROPOSED |
|--------------------------------|----------|----------|
| MAIN DWELLING                  |          |          |
| ONE STORY RIDGE HEIGHT (UPPER) | 106.1'   | 112.2'   |
| ONE STORY PLATES HEIGHT        | 105.6'   | N/A      |
| LOWER LEVEL PLATES             | N/A      | 95.8'    |
| UPPER LEVEL PLATES             | N/A      | 105.8'   |

## GARAGE/CARPORT

|                        |     |        |
|------------------------|-----|--------|
| ONE STORY RIDGE HEIGHT | N/A | 106.3' |
| PLATES HEIGHT          | N/A | 103.8" |

## SETBACKS

| MAIN DWELLING     | EXISTING | PROPOSED |
|-------------------|----------|----------|
| NORTH (SIDE)      | 20'-4"   | 22'-2"   |
| SOUTH (SIDE)      | 4'-10"   | 3'-6"    |
| WEST SIDE (FRONT) | 15'-6"   | 15'-2"   |
| EAST SIDE (REAR)  | 19'-7"   | 11'-9"   |

## FLOOR AREA

|                            |                       |              |
|----------------------------|-----------------------|--------------|
| FAR ALLOWED                | 1,382.9 SQ.FT.        | 45.0%        |
| FAR ALLOWED WITH BONUS     | 1,703.2 SQ.FT.        | 55.5%        |
| <b>PROPOSED</b>            |                       |              |
| MAIN LEVEL                 | 779.2 SQ.FT.          |              |
| ATTACHED GARAGE            | 200.0 SQ.FT.          |              |
| LOWER LEVEL                | 179.5 SQ.FT.          |              |
| BASEMENT (BASE FLOOR AREA) | 222.3 SQ.FT.          |              |
| BASEMENT (BONUS #1)        | 100.0 SQ.FT.          |              |
| BASEMENT (BONUS #2)        | 222.3 SQ.FT.          |              |
| <b>TOTAL FLOOR AREA:</b>   | <b>1,703.3 SQ.FT.</b> | <b>55.4%</b> |

## SITE COVERAGE

|                               |                     |                 |
|-------------------------------|---------------------|-----------------|
| LAND COVERAGE ALLOWED         | 303.8 SQ.FT.        | 22.0% of F.A.R. |
| BONUS SITE COVERAGE           | 160.0 SQ.FT.        | 4.0% of SITE    |
| <b>TOTAL COVERAGE ALLOWED</b> | <b>463.8 SQ.FT.</b> | <b>15.1 %</b>   |

|                                      |                     |  |
|--------------------------------------|---------------------|--|
| <b>IMPERVIOUS COVERAGE</b>           |                     |  |
| ENTRY PORCH                          | 14.0 SQ.FT.         |  |
| LIGHT WELLS                          | 55.0 SQ.FT.         |  |
| PATIO (MSTR BDRM)                    | 71.0 SQ.FT.         |  |
| <b>TOTAL (P) IMPERVIOUS COVERAGE</b> | <b>140.0 SQ.FT.</b> |  |

|                                    |                     |               |
|------------------------------------|---------------------|---------------|
| <b>PERVIOUS COVERAGE</b>           |                     |               |
| DRIVEWAY                           | 86.0 SQ.FT.         |               |
| WALKWAY                            | 37.0 SQ.FT.         |               |
| EAST PATIO                         | 101.0 SQ.FT.        |               |
| NORTH PATIO                        | 63.0 SQ.FT.         |               |
| EAST BALCONY                       | 36.0 SQ.FT.         |               |
| <b>TOTAL (P) PERVIOUS COVERAGE</b> | <b>323.0 SQ.FT.</b> |               |
| <b>TOTAL PROPOSED COVERAGE</b>     | <b>463.0 SQ.FT.</b> | <b>15.1 %</b> |

## VOLUME ANALYSIS

|                        |               |                        |
|------------------------|---------------|------------------------|
| MAIN LEVEL PITCH       | 987.5 SF X 12 | 11,850.0 CU.FT.        |
| LOWER LEVEL PITCH      | 405.1 SF X 11 | 4,456.1 CU.FT.         |
| <b>VOLUME ALLOWED</b>  |               | <b>16,306.1 CU.FT.</b> |
| <b>VOLUME PROPOSED</b> |               | <b>13,435.8 CU.FT.</b> |

## PROJECT TEAM

**DESIGN:**  
CLAUDIO ORTIZ DESIGN GROUP INC.  
26615 CARMEL CENTER PLACE #102  
CARMEL, CA. 93923  
TEL. (831) 626-4146

**STRUCTURAL ENGINEER:**  
WILLIAMSON CHAVEZ DESIGNS  
P.O.BOX 222277  
CARMEL, CA. 93922  
TEL. (661) 910-3977  
WILLIAMSONCHAVEZ@AOL.COM

**OWNER:**  
JOSHUA ZHANG-DING  
1150 E. MAIN ST  
TURLOCK CA 953809

**MECHANICAL ENGINEER:**  
MONTEREY ENERGY GROUP  
26465 CARMEL RANCHO BLVD. Suite 8  
CARMEL, CA. 93923  
TEL. (831) 372-8328  
FAX. (831) 359-4173

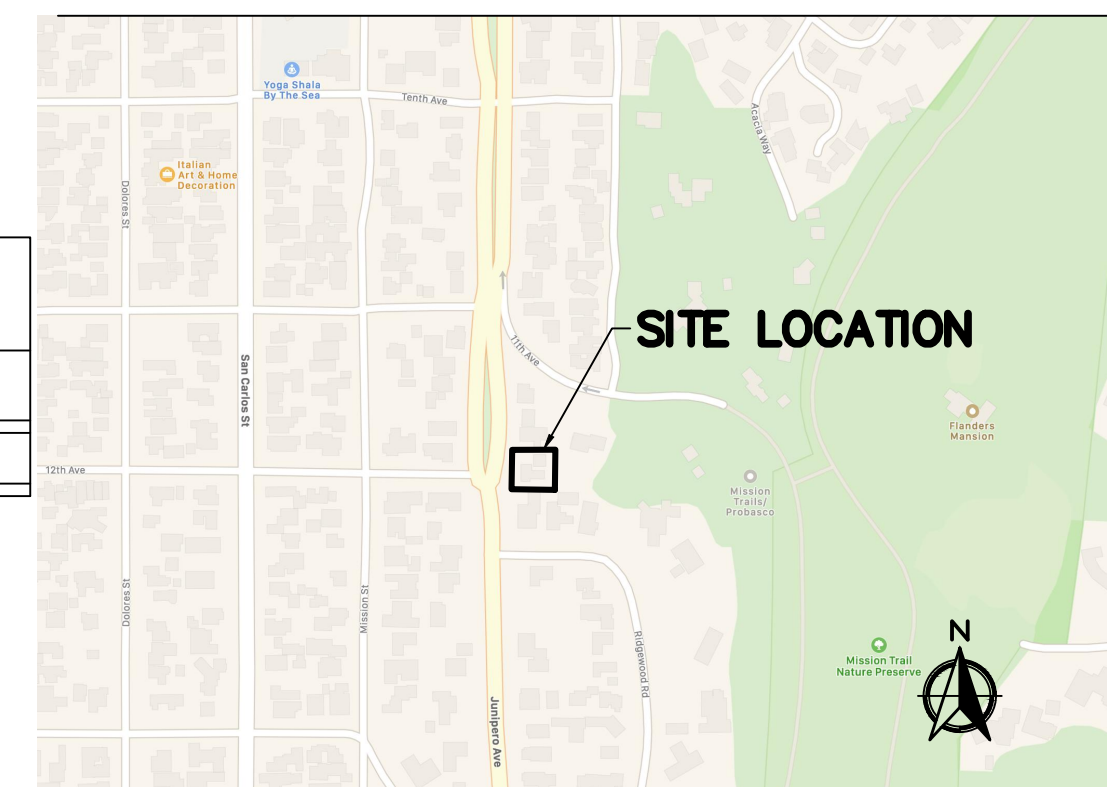
**C3 CIVIL ENGINEERING**  
126 BONAFICIO PLACE, SUITE C  
MONTEREY CA 93940  
TEL. (831) 647-1192

LOT SIZE 3,073.0 S.F. (4,000.0 S.F.)  
30% SLOPES 927.0 S.F.  
A.P.N. 010-073-005-000  
LEGAL DESCRIPTION BLOCK: 128 LOT: 2  
ZONING R-1  
SETBACKS (MIN. ALLOWED) FRONT: 15.0FT, N SIDE 3.0FT, S SIDE 3.0 REAR: 15.0FT  
HEIGHT (MAX. ALLOWED) 24FT  
STORIES: 2

## SCOPE OF WORK

- DEVELOPMENT OF A NEW SINGLE STORY FAMILY DWELLING WITH A BASEMENT, AN ATTACHED ONE-CAR GARAGE.
- NEW STONE PATIO, DRIVEWAY, AND WALKWAYS SET ON SAND.
- TREE REMOVAL.
- 30% SLOPES TOTAL 905.4 SQ.FT.
- DEMOLITION OF AN EXISTING ONE-STORY SINGLE FAMILY DWELLING.

## VICINITY MAP



REVIEWS:  
04-15-2024 PLNG

PROJECT:  
1540MESCALST LLC  
JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
BLOCK: 128 LOTS: 5  
APN: 010-073-005  
PROJECT NO.  
21-02

ISSUE:  
08-30-2022  
03-08-2024

DRAWN BY:  
CO

COVER SHEET  
& NOTES

SCALE: 1" = 1/4"

A1.0

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF CLAUDIO ORTIZ, IN JUNE, 2021.

DATED 6/18/2021

*Lynn A. Kovach*

LYNN A. KOVACH  
P.L.S. 5321



**BASIS OF BEARINGS**

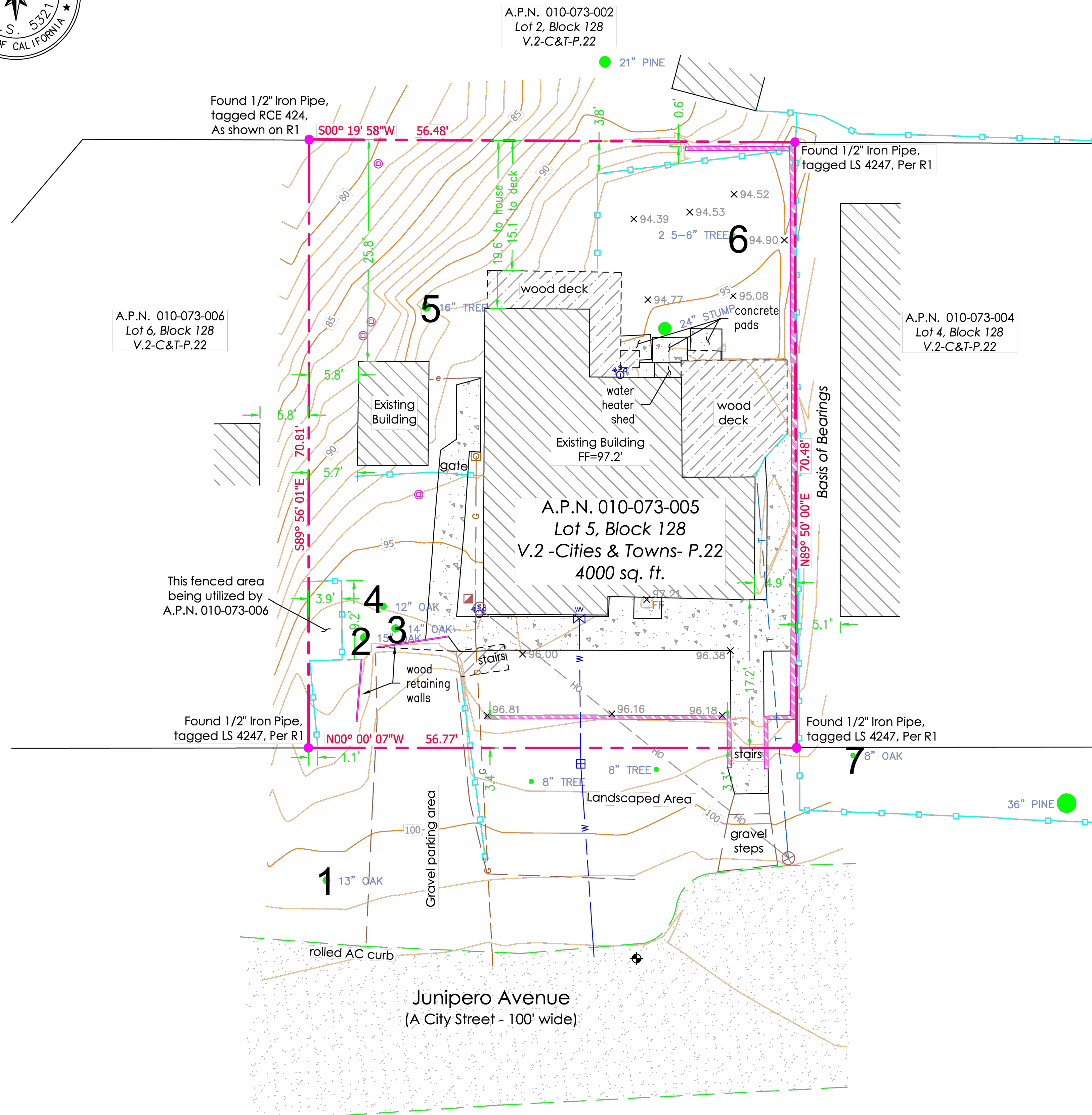
THE BEARING OF N 89°50' E ALONG THE SOUTH PROPERTY LINE AS SHOWN ON THE MAP RECORDED IN VOLUME 14 OF SURVEYS AT PAGE 111 AS FOUND MONUMENTED, WAS TAKEN AS BASIS OF BEARINGS SHOWN UPON THIS MAP.

**SITE PLAN**  
OF  
**JUNIPERO 2 SE 11TH STREET**  
**LOT 5, BLOCK 128**  
VOLUME 2 CITIES & TOWNS PAGE 22  
A.P.N. 010-073-005

CARMEL-BY-THE-SEA, CALIFORNIA

**LEGEND**

|                                     |   |
|-------------------------------------|---|
| ● FOUND MONUMENT, AS NOTED          | — — — — — PROPERTY LINE                             |
| ⊕ SEWER CLEANOUT                    | — — — — — LOT LINE                                  |
| ⊕ W WATER VALVE                     | — — — — — WOOD FENCE LINE                           |
| ⊕ W WATER METER                     | — — — — — EDGE OF GRAVEL PARKING AREA               |
| ⊕ H HOSE BIB                        | — — — — — EDGE OF PAVEMENT                          |
| ⊕ I IRRIGATION CONTROL BOX          | — — — — — UNDERGROUND GASLINE                       |
| ⊕ E ELECTRIC METER                  | — — — — — UNDERGROUND WATERLINE                     |
| ⊕ U UTILITY POLE                    | — — — — — UNDERGROUND TELEPHONE LINE                |
| ⊕ G GAS METER                       | — — — — — UNDERGROUND ELECTRIC LINE                 |
| ⊕ C CONTROL POINT                   | — — — — — OVERHEAD ELECTRIC & COMMUNICATION SERVICE |
| ● TREE, TYPE AND DIAMETER SPECIFIED |   |
| x SPOT GRADE                        |   |
| ⊕ B BENCHMARK                       |   |
|                                     | ▨ BUILDING  |
|                                     | ▨ WOOD DECK   |
|                                     | ▨ CONCRETE  |
|                                     | ▨ CONCRETE MASONRY WALL                             |

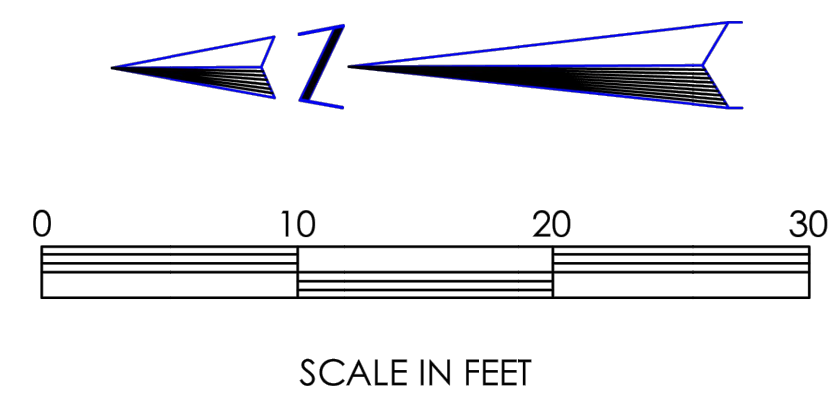


**NOTES**

- DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = 1'
- HORIZONTAL AND VERTICAL COORDINATE SYSTEMS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A PK NAIL & SHINER IN AC PAVEMENT IN EAST SIDE OF JUNIPERO AVENUE IN FRONT OF RESIDENCE. ELEVATION = 102.17'
- UNDERGROUND UTILITIES SHOWN HEREON WERE DRAFTED BASED ON UTILITY MARKINGS FOUND PAINTED ON THE GROUND SURFACE.

PREPARED FOR: Claudio Ortiz  
SURVEYED BY: POLARIS LAND SURVEYING  
P. O. BOX 1378  
CARMEL VALLEY, CA 93924  
831-659-9564

SCALE: 1" = 10' VIEW: ARCH C DATE: June 18, 2021  
FILE NAME: Ortiz Site.dwg JOB #21-157 Sheet 1 of 1



PROJECT: 1540MESCALIST LLC  
JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
BLOCK: 128 LOTS: 5  
APN: 010-073-005  
PROJECT NO. 21-02

TOPOGRAPHIC SITE  
SURVEY

A1.2

JUNIPERO STREET

NORTH STAIRS  
CONCRETE-TO BE REMOVED,  
17.0 SQ.FT.

THIS FENCED AREA  
BEING UTILIZED BY  
A.P.N. 010-073-006

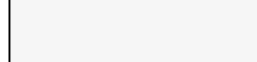
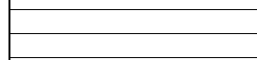
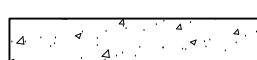

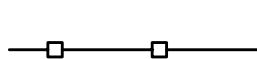


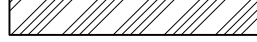
NEIGHBORING STRUCTURE

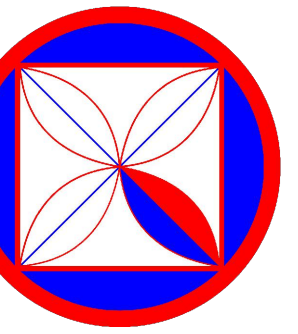
ACCESSORY  
STRUCTURE  
TO BE REMOVED,  
THICK SOLID LINE

MAIN DWELLING  
TO BE REMOVED,  
THICK SOLID LINE

EAST DECK  
WOOD-TO BE REMOVED  
101.2 SQ.FT.

LEGEND

-  STRUCTURES
-  WOOD DECKS
-  HARDSCAPE
-  PROPERTY LINE
-  WOOD FENCE
-  (E) TREE TO REMAIN
-  (E) TREE TO BE REMOVED
-  RETAINING WALL



**CODG**  
CLAUDIO ORTIZ DESIGN GROUP, INC.  
1540 MESCALIST LLC  
JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
BLOCK: 128 LOTS: 5  
OFFICE: 831.626.4144  
CLAUDIO@CODGINC.COM  
WWW.CODGINC.COM

THE SERVICES, REPRESENTATIONS AND OPINIONS CONTAINED HEREIN ARE LIMITED TO THE INFORMATION PROVIDED TO US BY YOU AND ANY OTHER PERSONS WHOSE INFORMATION WE HAVE RECEIVED. WE DO NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED TO US BY YOU OR ANY OTHER PERSONS. WE ACCEPT NO LIABILITY FOR ANY LOSS OF PROFITS, REVENUE, OR OTHER ECONOMIC LOSS OF ANY KIND, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE SERVICES. THIS AGREEMENT SHALL BE GOVERNED BY THE LAWS OF THE STATE OF CALIFORNIA AND THE VENUE FOR THE RESOLUTION OF ANY DISPUTE SHALL BE THE COUNTY OF SANTA CLARA, CALIFORNIA. COPYRIGHT 2024

REVISIONS:

PROJECT: 1540MESCALIST LLC  
JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
BLOCK: 128 LOTS: 5  
APN: 010-073-005  
PROJECT NO. 21-02

ISSUE: 08-30-2022  
03-08-2024  
DRAWN BY: CO

EXISTING SITE PLAN

SCALE: 1" = 1/4"

A1.2

S89° 56' 01"E 70.81'

20'-4"

15'-6"

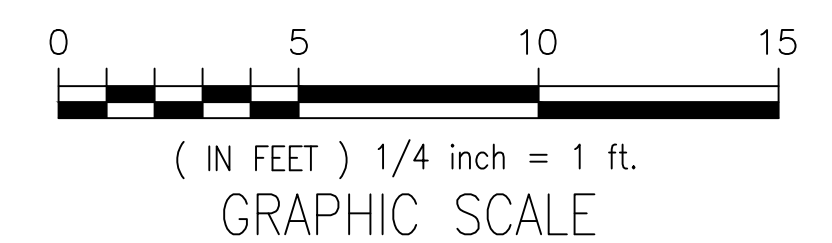
56.77'

56.48'

500' 19' 58"W

N89° 50' 00"E 70.48'

4'-10"



13" OAK

15" OAK

12" OAK

14" OAK

16" TREE

8" TREE

8" TREE

2 5-6" TREE

(E) GAS LINE  
TO REMAIN

(E) WATER LINE  
TO REMAIN

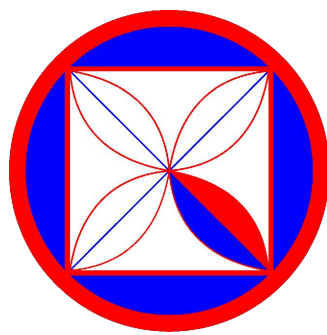
EXISTING WOOD FENCE  
TO REMAIN

WALKWAY  
CONCRETE-TO BE REMOVED  
385.6 SQ.FT.

TRASH STORAGE

SOUTH DECK  
WOOD-TO BE REMOVED  
160.2 SQ.FT.

CONCRETE STEPS  
28.7 SQ.FT.



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1540 MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK 128 LOTS 5  
 APN: 010-073-005  
 OFFICE: 831.626.4146  
 WWW.CODGINC.COM

REVIEWS:  
 PROJECT NO. 21-02

ISSUE:  
 08-30-2022  
 03-08-2024

DRAWN BY:  
 CO

PROPOSED SITE  
 PLAN

SCALE: 1" = 1/4"

A1.3

JUNIPERO STREET

WOOD FENCE 4-FT SHEET A6.0 FOR DETAILS

6-FT TREE PROTECTION ZONE. SHOWN SHADED

MAIN DWELLING SHOWN THICK LINE FIN. FLR. AT 96.8'

NEIGHBORING STRUCTURE

NEW NORTH PATIO WOOD DECK 63.0 SQ.FT. PERVIOUS

EXISTING STRUCTURES SHOWN THIN-DASHED LINE TO BE REMOVED

WOOD FENCE 6-FT SEE SHEET A6.0 FOR DETAILS

30% SLOPES SHOWN VERTICAL HATCH

EAST BALCONY WOOD DECK 36.0 SQ.FT. PERVIOUS

NOTE: EXISTING IMPROVEMENTS SHALL BE REMOVED FROM R.O.W. (CMC 12.08.125)

WALKWAY 37.0 SQ.FT. PERVIOUS

UTILITIES, GAS METER AND ELECTRICAL PANEL

TRASH STORAGE

S89° 56' 01"E 70.81'

22'-2"

(N) CONTOUR LINES

16" TREE

(N) CONTOUR LINES

LEGEND

- MAIN DWELLING
- HARDSCAPE
- CANTILEVER DECK AREA
- SETBACKS
- PROPERTY LINE
- MIN. SETBACKS
- NEW 6-FOOT FENCE
- NEW CONTOURS
- LIGHT FIXTURE, SEE SHEET 6 FOR SPECS
- HB HOSE BIB
- GAS GAS VALVE
- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED
- RETAINING WALL
- 30% SLOPE AREAS

(E) GAS LINE TO REMAIN

8" TREE

(E) WATER LINE TO REMAIN

8" TREE

N00° 00' 07"W 56.77'

(E) T.O.W. ELEV. 98.0

(E) T.O.W. ELEV. 98.0

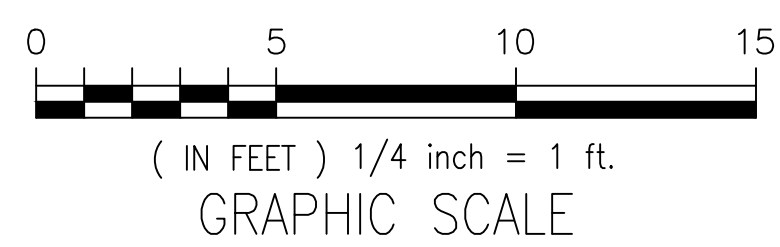
N89° 50' 00"E 70.48'

(E) T.O.W. ELEV. 98.0

NEW FOUNDATION RETAINING WALL

NEIGHBORING STRUCTURE

NO EASEMENTS



CONC. WALKWAY SHOWN DASHED TO BE REMOVED

DRIVEWAY 86.0 SQ.FT. PERVIOUS

ENTRY PORCH 14.0 SQ.FT. IMPERVIOUS

4-FT WOOD GATE SHEET A6.0 FOR DETAILS

LIGHT WELL 30.0 SQ.FT. IMPERVIOUS

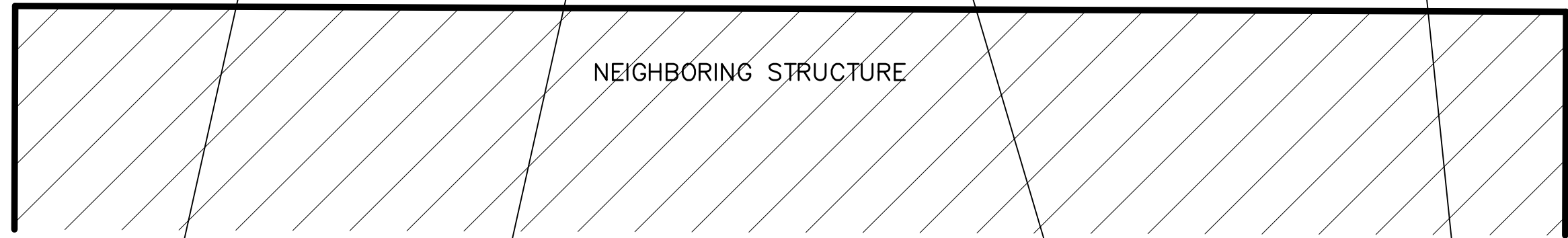
LIGHT WELL 25.5 SQ.FT. IMPERVIOUS

EXISTING RETAINING WALL TO REMAIN

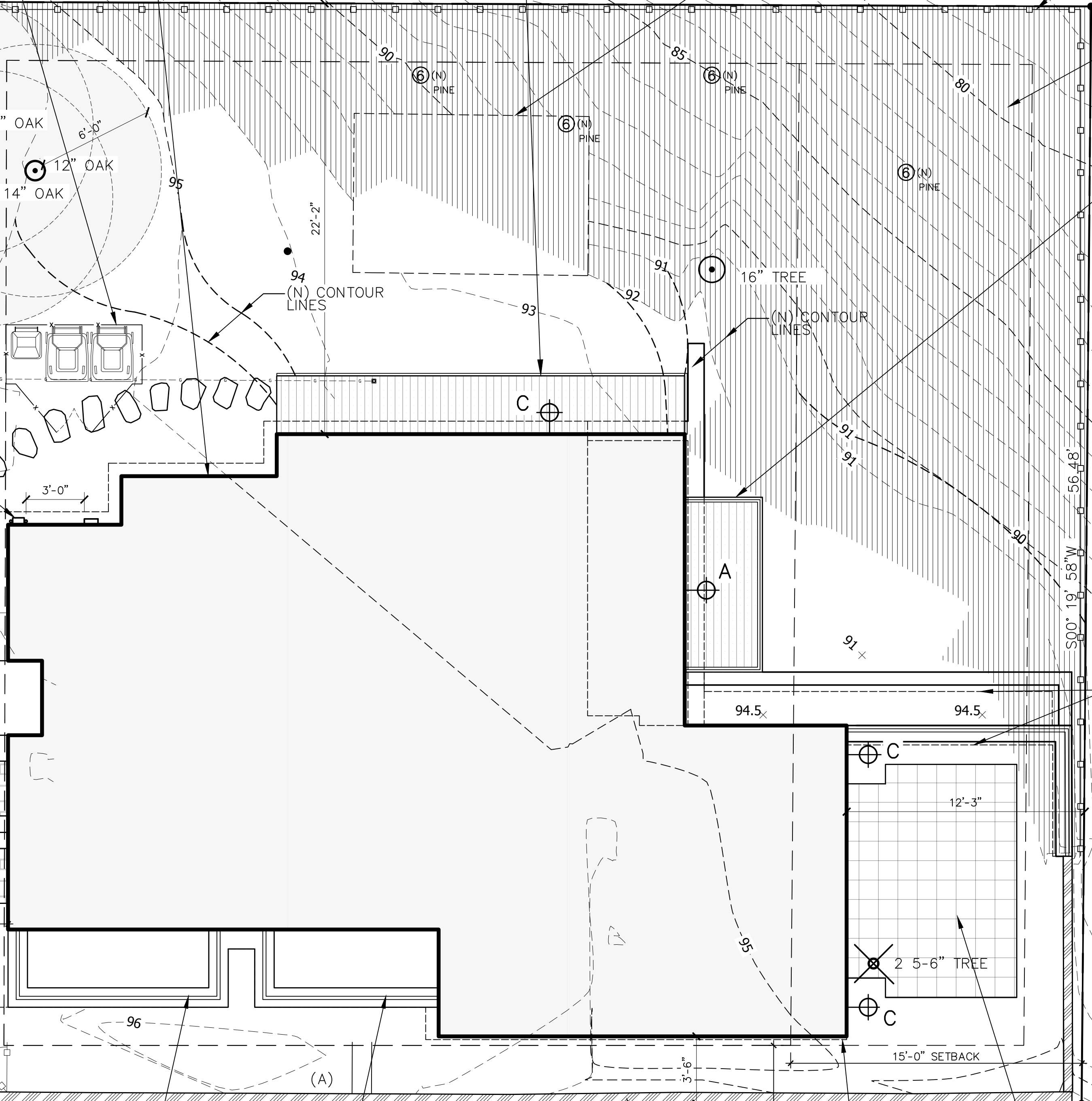
NEW FOUNDATION RETAINING WALL

EAST PATIO 101.0 SQ.FT. PERVIOUS

EXISTING WOOD FENCE TO REMAIN



NEIGHBORING STRUCTURE



## PRELIMINARY SITE ASSESSMENT REPORT

**Date of Site Visit:** July 2, 2021  
**Planner:** Evan Kort  
**Forester:** Sara Davis  
**Block/Lot:** 128/5  
**APN:** 010-073-005  
**Property Owner:** 1540MESCAL ST LLC ET AL  
**Street Location:** Junipero St, 3NE of 12th

**Purpose:** The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

**Location:**

| Zoning District                                | R-1 (Single Family Residential) |
|--|---------------------------------|
| Coastal Commission Appeal Jurisdiction Overlay | No                              |
| Archaeological Significance Overlay            | Yes                             |
| Park Overlay                                   | No                              |
| Beach and Riparian Overlay                     | No                              |
| Environmentally Sensitive Habitat Area         | No                              |
| Very High Fire Hazard Severity Zone            | Yes                             |

**Street and Neighborhood Character:**

- Style and materials of the existing residence:** The residence is a vernacular Carmel cottage. The exterior wall cladding of the existing residence is horizontal wood siding with a variety of window finishes and styles throughout. The roof is finished with a hot mop finish.
- Style and materials of the neighboring residences:** The Residential Design Guidelines encourage diversity of architectural styles while maintaining compatibility with the character of the neighborhood. The Residential Design Guidelines state a variety in building materials along a block are encouraged, and when the houses to either side of a site are constructed of similar materials, use a different material, consistent with Carmel's design traditions, in order to achieve diversity in appearance. Stucco, in conjunction with some natural materials, may be considered depending on neighborhood character but should not be repeated to excess within a block.
- Right-of-way characteristics:** The Residential Design Guidelines encourage maintaining an informal, vegetated, open space character within the right-of-way. The Guidelines discourage raising or lowering grades around tree roots. Preferred surface materials within the right-of-way include natural soil, shredded bark or wood chips; gravel is

Following design approval, plans that are submitted for a building permit shall include a storm water drainage plan. The drainage plan shall include applicable Best Management Practices and all drainage shall be retained on-site through the use of semi-permeable paving materials, French drains, seepage pits, etc.

- Does the site contain "Steep Slope Areas" (greater than 30% slope):** Possibly. It is unclear if the site contains a steep slope area (northeast portion of the lot). As part of the Design Study Application, a slope study will need to be submitted to determine if the site contains a steep slope area. A steep slope area is defined as: a continuous portions of the site, occupying at least 10 percent of the site area, with a slope greater than 30 percent. For the purposes of calculating allowable building volume and floor area, the buildable area of a lot shall be the lot area, minus any steep slope areas (CMC 17.06.020.D).
- Basement Bonus:** Each site is allowed 100 square feet of floor area located in a basement that is exempt from the floor area limits. Additionally, as an incentive to reduce the above-ground floor area and exterior volume, bonus floor area is allowed if located in a basement. For each square foot of base floor area not constructed above-ground, one additional square foot of floor area may be constructed in a basement.

A basement is defined as, "An underground room or excavated space between five and nine feet of interior height, finished or unfinished where the finished floor level directly above the space is not more than one foot above both the existing or final grade. Any subgrade space where the finished floor elevation directly above the space is more than one foot above existing or finished grade shall be considered above-ground space. All areas where the finished floor elevation directly above a subgrade space is more than five feet above either existing or final grade shall also be considered a story. (Note: In calculating the floor area of a basement it may be necessary to count part of the area in a floor level as basement and part of the area in a floor level as above-ground space.) Basement spaces may be used for any residential occupancy allowed by the Uniform Building Code such as bathrooms, family rooms, hobby rooms, offices, mechanical equipment, storage and, if equipped with window wells, bedrooms."

- Site Coverage:** The permitted site coverage is 22% of the allowable floor area. Based on a maximum allowed base floor area of 1,800 square feet, the allowed site coverage would be 396 square feet (The figures are preliminary and subject to change based on the required slope study (see "Steep Slope Areas" section above)). If at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed for use in a single driveway of up to nine feet in width (CMC 17.10.030.C.1.b). Permeable and semi permeable materials include, gravel, spaced decking, exterior stairs, sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

Properties that currently exceed the allowed site coverage are not permitted to add additional floor area unless the site coverage is reduced at a rate of two square feet of site coverage for every one square foot of added floor area or to compliance, whichever is less. Excess site coverage is considered a non-conforming feature and is permitted to

prohibited. For more information, please refer to the Right-of-Way Vision Statement. Significant right-of-way encroachments exist around the site in the form fencing, a gravel parking area, gravel steps, stairs and retaining walls. As part of any project, these encroachments will be required to be removed. A previous encroachment permit was maintained for a "retaining wall for off-street parking ramp (built in 1965) by former owner - permission granted December 7, 1965" was released on June 1, 1981. There is no evidence of an existing encroachment permit on file for any existing encroachments.

**Existing Site Conditions:**

- Building Site Area:** The lot is 4,000 square feet and is permitted a base floor area of 1,800 square feet. A minimum of 200 square feet of the base floor area, and 2,200 cubic feet of exterior volume, shall be reserved for required parking whether provided by a garage, carport or parking pad. Inability to provide on-site parking shall not authorize more floor area or exterior volume for other purposes in lieu of parking. These figures are preliminary and subject to change based on the required slope study (see "Steep Slope Areas" section below).
- Setbacks:** The minimum front and rear setbacks are 15 feet. The composite side yard setback is 10 feet with a 3-foot minimum interior side. Refer to Table 17.10-A below.

| Lot Type                 | Front Setback (in feet) | Rear Setback* (in feet) | Composite** (both sides) | Side Setbacks              |                   |
|--------------------------|-------------------------|-------------------------|--------------------------|----------------------------|-------------------|
|                          |                         |                         |                          | Minimum Setbacks (in feet) |                   |
|                          |                         |                         |                          | Interior Side              | Street Side       |
| Interior Site            | 15                      | 15                      | 25% of site width        | 3                          | N/A               |
| Corner Site              | 15                      | 15                      | 25% of site width        | 3                          | 5                 |
| Resubdivided Corner Site | 10                      | 15                      | 25% of site width        | 3                          | 9                 |
| Double-Frontage Site     | 15                      | N/A                     | 25% of site width        | 3                          | 5 (if applicable) |

\* The rear setback is three feet for those portions of structures less than 15 feet in height.

\*\* See CMC 17.10.030(A)(1) and 17.06.020, Rules of Measurement.

- Building Height:**

remain in its current configuration, however, the coverage may not be re-organized or modified without the site coming into compliance with the site coverage requirements.

- Fences:** Fences located within the front 15-foot setback are limited to 4 feet in height. This limit cannot be increased through a Design Study. Side and/or rear yard fences are permitted a height of 6 feet and may be taller with approval by the Planning Commission. The heights should be clearly noted on the project plans.

| Design Element    | Setback Location |              |                            | Rear Setback |
|-------------------|------------------|--------------|----------------------------|--------------|
|                   | Front Setback    | Side Setback | Side Setback Facing Street |              |
| Fence             | 4 feet*          | 6 feet       | 4 feet*                    | 6 feet       |
| Garden Wall       | 3 feet*          | 6 feet       | 3 feet*                    | 6 feet       |
| Retaining Wall    | 3 feet**         | 6 feet       | 3 feet**                   | 6 feet       |
| Pillars and Gates | 6 feet           | N/A          | 6 feet                     | N/A          |
| Arbor/Trellis     | 7 feet           | 7 feet       | 7 feet                     | 7 feet       |

\* These limits shall not be altered through Design Review by the Planning Commission.

\*\* Up to six feet may be allowed for retaining walls that are not visible from the street. See CMC 17.10.030(E)(4).

**Accessory Buildings:**

- Guesthouses:** One guesthouse may be authorized on sites of 6,000 square feet or greater upon approval of a use permit. As the site is less than 6,000 square feet, a guesthouse is not permitted.
- Studio:** One studio is permitted on lots in the single-family residential zone. Studios shall contain no living, sleeping, bathing or food preparation facilities of any kind, but are permitted to have a bathroom with a sink and toilet. No additional parking is required for a studio. Studios shall be a maximum size of 400 square feet and shall not exceed the allowed floor area ratio for the lot.
- Accessory Dwelling Units (ADU):** Accessory Dwelling Units are subject to approval of a building permit only. ADUs must conform with state law applicable to the development of an ADU.

**Forest/Trees:** Please refer to the attached Forester's Report. Based on the recommended tree planting, the site should have a total of 5 upper canopy trees and 4 lower canopy trees. The forester has required 5 upper canopy trees to be planted on-site.

The Residential Design Guidelines state that significant upper canopy and understory trees should be preserved and that new construction should minimize impacts on established trees. The root systems of all trees to be preserved shall be protected and the forested image of a site shall be maintained.

| Table 17.10-C: Maximum Height Standards |              |                 |                 |
|---|--------------|-----------------|-----------------|
|   | R-1 District | R-1-BR District | R-1-PO District |
| Number of Stories Allowed               | 2            | 2               | 1*              |
| Roof Height of First Story (in feet)    | 18           | 18              | 18              |
| Plate Height of First Story (in feet)   | 12           | 12              | 12              |
| Roof Height of Second Story (in feet)   | 24           | 18              | 24*             |
| Plate Height of Second Story (in feet)  | 18           | 18              | 18*             |

- Exterior Volume:** The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E (refer to table below). It is recognized that existing homes built prior to 2003 may not have been designed to comply with volume standards. For these homes, the Code allows the exterior volume to be calculated for the addition only.

| Table 17.10-E: Exterior Volume Factors for R-1 District             |  |                                    |
|---|--|------------------------------------|
|   | Maximum Exterior Volume (Cubic Feet) Per Square Foot of Floor Area |                                    |
|   | One-Story Elements of the Building                                 | Two-Story Elements of the Building |
| Located under a pitched or sloping roof greater than 3:12 pitch     | 12   | 11                                 |
| Located under a flat roofed area of the building 3:12 or less pitch | 11   | 10                                 |

- Parking:** One parking space per primary dwelling is required on sites 8,000 square feet or less. Required parking shall be provided by a garage, carport or parking pad measuring at least 10 feet by 20 feet having practical ingress and egress for a vehicle.

In 1982, a variance was approved which eliminated the required parking requirement. As such, the addition of a compliant parking for the site is not required to modify the structure. Should a new parking space be proposed, such as a new garage, the new parking space would need to adhere to the current parking outlined in the Carmel Municipal Code. While a parking space is not required as a result of the approved variance, the inability to provide on-site parking shall not authorize more floor area or exterior volume for other purposes in lieu of parking (200 square feet and 2,200 cubic feet of exterior volume shall still be reserved for required parking).

- Topography and drainage features:** The Residential Design Guidelines encourage designs that follow the natural contours of the site and that avoid abrupt changes in grade on the site and between properties. The design of the proposed residence should take this design guideline into consideration as the lot slopes substantially.

**Potential Neighbor Impacts:**

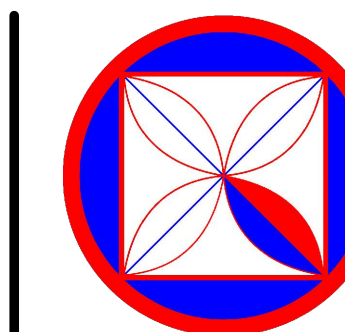
- Privacy & View Concerns:** Please refer to the Concept Design Guidelines for information regarding privacy and views. While the full scope any proposed future project is unknown, any development that would increase the height of the residence may create privacy and view impacts to the neighbor immediately to the north and south. The northwestern portion of the lot is sloped and may be an unbuildable so any addition would likely have the greatest impact to the neighbors to the south and southwest. Modifications to the ground floor will likely not affect the neighbor provided the existing level of screening is maintained, however, a new second story or new elevated windows, balconies, etc, may impact the southern neighbor.
- Neighborhood Input:** Staff strongly recommends reaching out to the adjacent property owners prior to application submittal to explain the proposed project and address any concerns. Most project delays occur when applicants have not reached out to neighbors early in the process.

**Historic Status:** Staff conducted an initial historic assessment of the property and concluded a definitive determination of eligibility or ineligibility cannot be made. While the residence has had some modification, the property maintains association with persons (Thomas Elston) recognized in the Historic Context. As such, the department requires an intensive survey by a qualified professional (CMC 17.32.060.B.5). No application for property development shall be deemed complete unless it includes a determination that the property is either eligible or ineligible for the Carmel Inventory.

**Additional Resources:** For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance and Title 7A of the Building Code, please visit our website at:

[Residential Design Guidelines – Concept](#)  
[Residential Design Guidelines – Final](#)  
[Right-of-Way Vision Statement](#)

<http://ci.carmel.ca.us/carmel/index.cfm/government/staff-departments/community-planning-and-building/>



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1540 MESCAL ST, SUITE 100  
 CARMEL, CA 95021  
 WWW.CODGINC.COM

THE SERVICES, INFORMATION, AND OPINIONS CONTAINED HEREIN ARE FOR INFORMATIONAL PURPOSES ONLY AND DO NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. IT IS TO BE USED ONLY FOR THE PURPOSES FOR WHICH IT WAS PREPARED AND NOT FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE.  
 CLAUDIO ORTIZ  
 PROJECT NO. 21-02

REVIEWS:

PROJECT:  
 1540MESCALST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
 PROJECT NO.  
 21-02

ISSUE:  
 08-30-2022  
 DRAWN BY:  
 CO

PRELIMINARY SITE  
 ASSESSMENT

SCALE: 1" = 1/4"

A1.4

**Significant Tree Evaluation Worksheet**

APN: 010-073-005-000  
 Street Location: Junipero 2 SE of 11th  
 Planner: Evan Kort  
 City Forester: Sara Davis  
 Property Owner: 1540 Mescalst LLC  
 Recommended Tree Planting: Lot should have 5 upper and 4 lower canopy trees  
 5 upper canopy trees are required to be planted

**Part One: Initial Screening:**

**Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.**

**A. Does the tree pose an above-normal potential risk to life and property?**

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| YES    |   |   |   |   |   |   |   |   |   |    |    |    |    |    |    |
| NO     | X | X | X | X | X | X | X |   |   |    |    |    |    |    |    |

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

**B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?**

| Tree #  | 1  | 2  | 3  | 4  | 5          | 6              | 7  | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|---------|----|----|----|----|------------|----------------|----|---|---|----|----|----|----|----|----|
| Species | CO | CO | CO | CO | Eucalyptus | Japanese maple | CO |   |   |    |    |    |    |    |    |
| YES     | X  | X  | X  | X  |            |                | X  |   |   |    |    |    |    |    |    |
| NO      |    |    |    |    |            | X              | X  |   |   |    |    |    |    |    |    |

MP-Monterey pine MC-Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak  
 CI-- Catalina ironwood CS-- California sycamore BL-- big leaf maple OT-- other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

**C. Does the tree meet the minimum size criteria for significance?**

| Tree # | 1  | 2  | 3  | 4  | 5  | 6 | 7    | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|----|----|----|----|----|---|------|---|---|----|----|----|----|----|----|
| YES    | 16 | 16 | 15 | 17 | 16 |   | 19.5 |   |   |    |    |    |    |    |    |
| NO     |    |    |    |    | 5  |   |      |   |   |    |    |    |    |    |    |

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH  
 Coast live oak – single trunk tree: 6" DBH  
 Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

**Items to note:** Remove ivy from tree 2

**Required Structural Root Zone**

| Tree # | 1 | 2 | 3   | 4   | 5 | 6 | 7    | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|-----|-----|---|---|------|---|---|----|----|----|----|----|----|
| Feet   | 8 | 8 | 7.5 | 8.5 | 8 | 6 | 9.75 |   |   |    |    |    |    |    |    |

**Required Tree Protection Zone**

| Tree # | 1  | 2  | 3  | 4    | 5  | 6 | 7    | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|----|----|----|------|----|---|------|---|---|----|----|----|----|----|----|
| YES    | 24 | 24 | 23 | 25.5 | 24 | 6 | 29.3 |   |   |    |    |    |    |    |    |

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

**Part Two: Assessment For Tree Significance**

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

**D. What is the health and condition of the tree?**

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score  | 2 | 2 | 2 | 2 | 2 | 2 | 2 |   |   |    |    |    |    |    |    |

- 0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
- 1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
- 2 points: The tree appears healthy and in good condition.
- 3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

**E. What is the overall form and structure of the tree?**

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score  | 2 | 2 | 2 | 2 | 2 | 2 | 2 |   |   |    |    |    |    |    |    |

- 0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
- 1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
- 2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
- 3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

**F. What is the age and vigor of the tree?**

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score  | 1 | 1 | 1 | 1 | 1 | 1 | 1 |   |   |    |    |    |    |    |    |

- 0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
- 1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
- 2 points: The tree is young to middle age and shows normal vigor.
- 3 points: The tree is young to middle age and shows exceptional vigor.

**G. Are environmental conditions favorable to the tree?**

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score  | 1 | 1 | 1 | 1 | 1 | 1 | 1 |   |   |    |    |    |    |    |    |

- 0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
- 1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
- 2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**

Record the total points scored on D - G for each tree.

| Tree #      | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|-------------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| Total Score | 6 | 6 | 6 | 6 | 6 | 6 | 6 |   |   |    |    |    |    |    |    |

**A. Did all assessment categories in Part Two achieve a minimum score of 1-point?**

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| YES    | X | X | X | X | X | X | X |   |   |    |    |    |    |    |    |
| NO     |   |   |   |   |   |   | X |   |   |    |    |    |    |    |    |

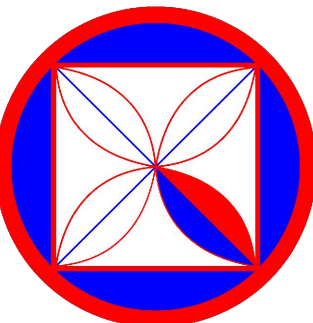
**B. Are there any other factors that would disqualify a tree from a determination of significance?**  
 (Explain any 'yes' answer)

Yes \_\_\_\_\_

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-8 that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

| Tree #     | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|------------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| SIGNIF     | X | X | X | X | X | X | X |   |   |    |    |    |    |    |    |
| MOD        |   |   |   |   |   |   |   |   |   |    |    |    |    |    |    |
| SIGNIF     |   |   |   |   |   |   |   |   |   |    |    |    |    |    |    |
| NOT SIGNIF |   |   |   |   |   | X |   |   |   |    |    |    |    |    |    |



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 8376 L. B. 414  
 OFFICE: 831.676.4144  
 CARMEL, CA 95021  
 WWW.CODG.NC.COM

THE SERVICES PROVIDED BY THIS FIRM ARE LIMITED TO THE DESIGN AND ARCHITECTURAL SERVICES ONLY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE FIRM SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THE SERVICES PROVIDED BY THIS FIRM. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE FIRM SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THE SERVICES PROVIDED BY THIS FIRM. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE FIRM SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THE SERVICES PROVIDED BY THIS FIRM.

REVIEWS:

PROJECT: 1540MESCALST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
 PROJECT NO: 21-02

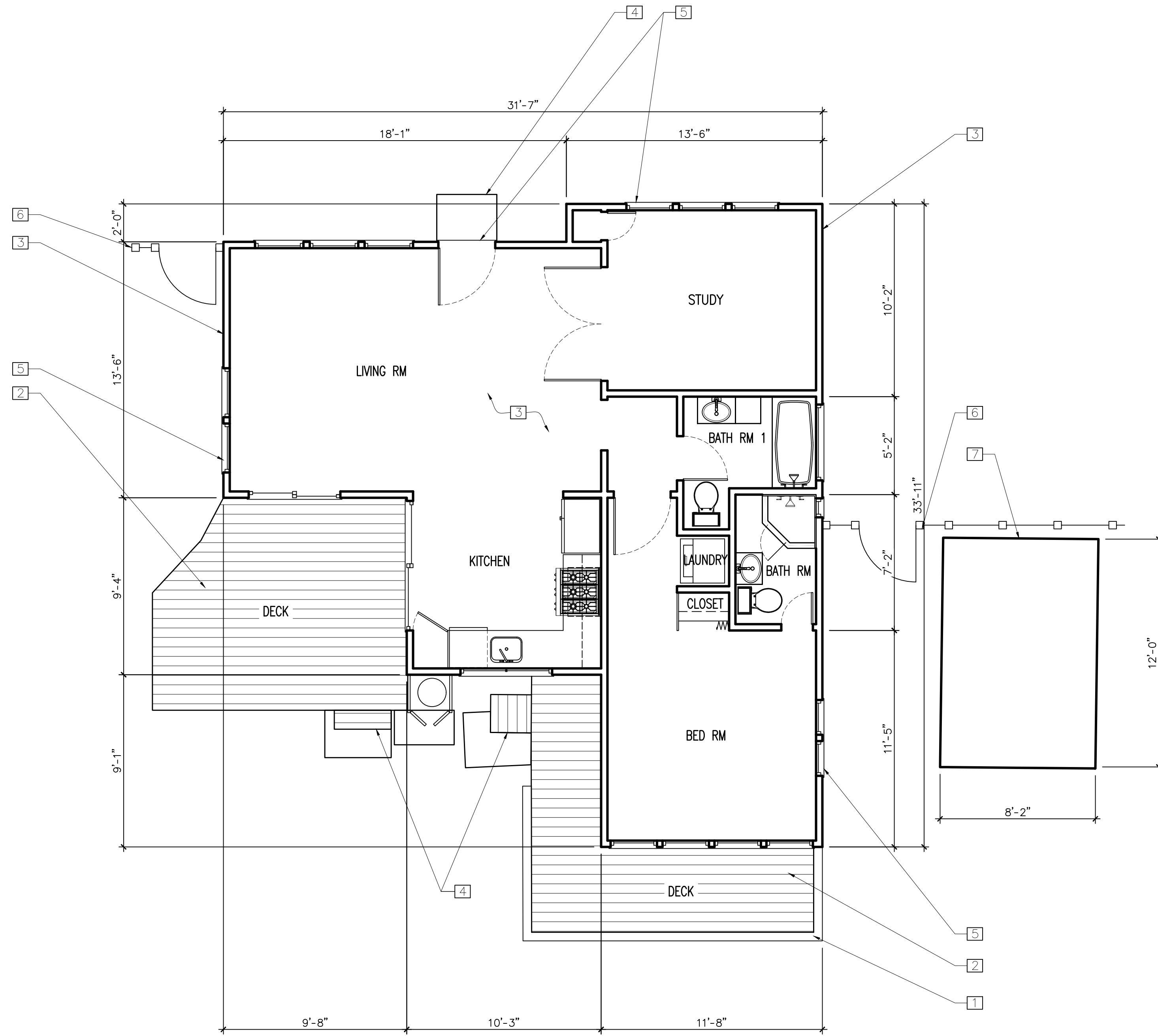
ISSUE: 08-30-2022

DRAWN BY: CO

PRELIMINARY SITE ASSESSMENT

SCALE: 1" = 1/4"

A1.5

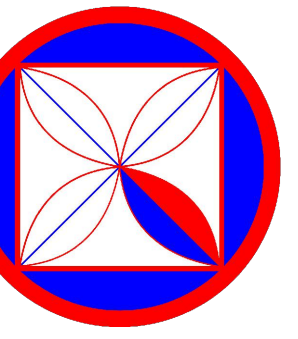
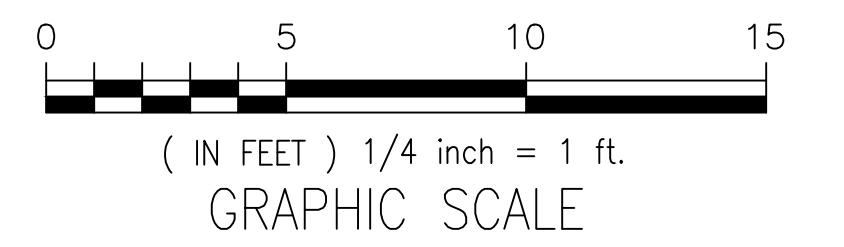


**KEY NOTES**

- 1 (E) 42" H. GUARDRAIL & DECK TO BE REMOVED
- 2 (E) DECK TO BE REMOVED
- 3 (E) DWELLING TO BE DEMOLISHED
- 4 (E) STEPS TO BE REMOVED
- 5 (E) DOORS & WINDOWS TO BE REMOVED
- 6 (E) WD GATES TO BE REMOVED
- 7 (E) WD SHED TO BE REMOVED

**LEGEND**

EXISTING WALLS TO BE DEMOLISHED



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC  
 1000 AVENUE OF THE CLOUDS, SUITE 100  
 CARMEL, CA 95021  
 CLAUDIO@CODG.NC.COM  
 WWW.CODG.NC.COM

THE SERVICES, REPRESENTATIONS AND OPINIONS CONTAINED HEREIN ARE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE CONSTRUED OR USED FOR ANY OTHER PROJECT OR LOCATION AND NOT FOR CONSTRUCTION OR USE WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDIO ORTIZ DESIGN GROUP, INC. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE INTELLECTUAL PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDIO ORTIZ DESIGN GROUP, INC. IS STRICTLY PROHIBITED. © 2022 CLAUDIO ORTIZ DESIGN GROUP, INC.

**REVISIONS:**

**PROJECT:**  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
**PROJECT NO.:**  
 21-02

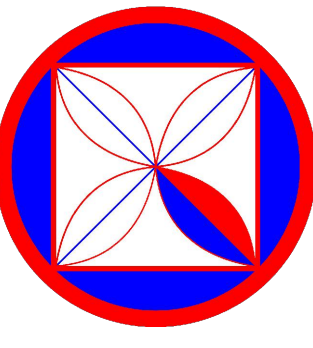
**ISSUE:**  
 08-30-2022

**DRAWN BY:**  
 CO

**EXISTING FLOOR PLAN**

SCALE: 1" = 1/4"

**A1.6**



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1540 MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK: 128 LOTS: 5  
 APN: 010-073-005  
 PROJECT NO: 21-02  
 OFFICE: 831.626.4144  
 CLAUDIO@CODG.COM  
 WWW.CODG.COM

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE INTELLECTUAL PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF CLAUDIO ORTIZ DESIGN GROUP, INC. IS STRICTLY PROHIBITED. COPYRIGHT 2021.

REVIEWS:

PROJECT: 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK: 128 LOTS: 5  
 APN: 010-073-005  
 PROJECT NO: 21-02

ISSUE: 08-30-2022

DRAWN BY: CO

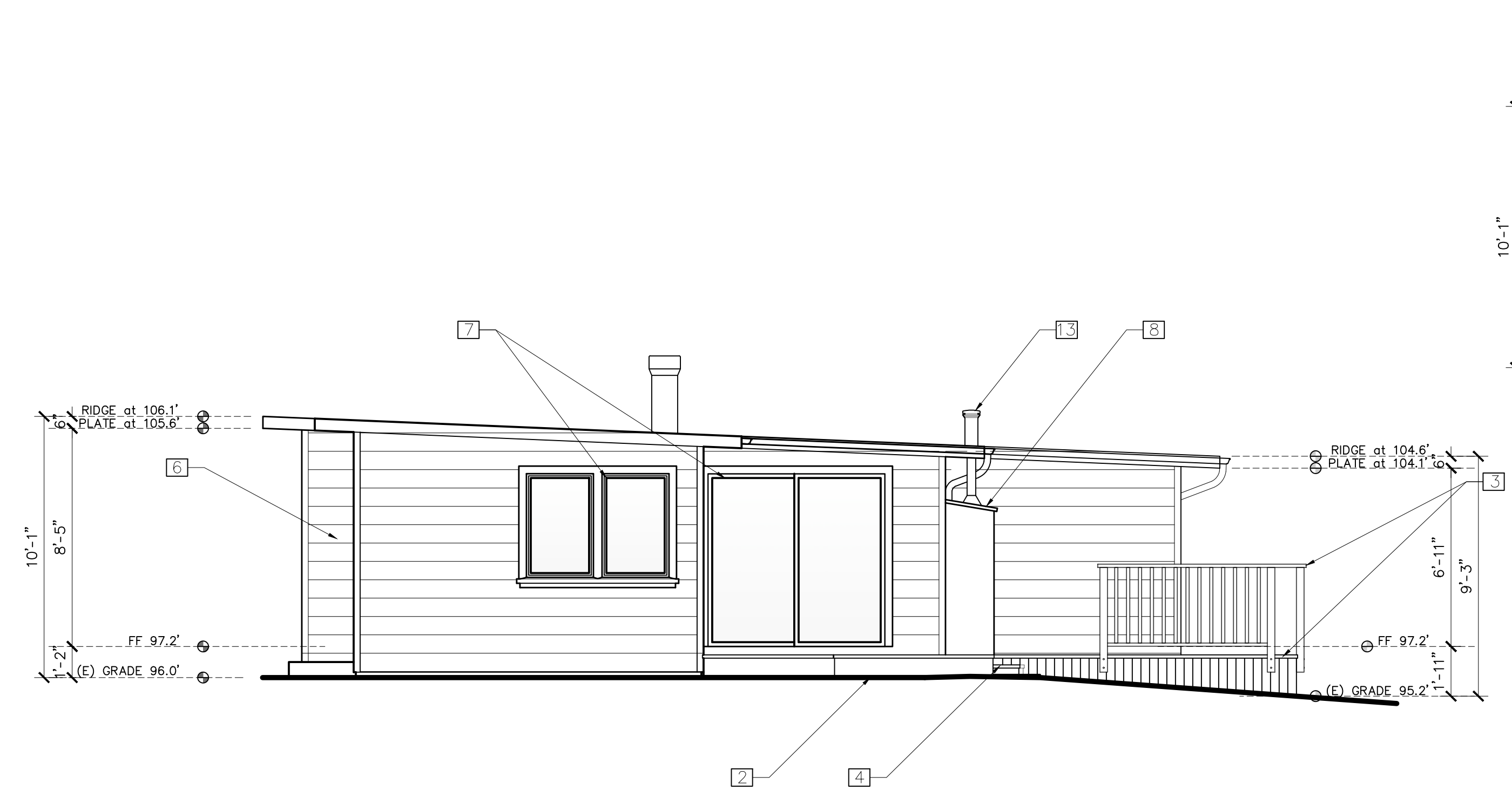
EXISTING ELEVATIONS

SCALE: 1" = 1/4"

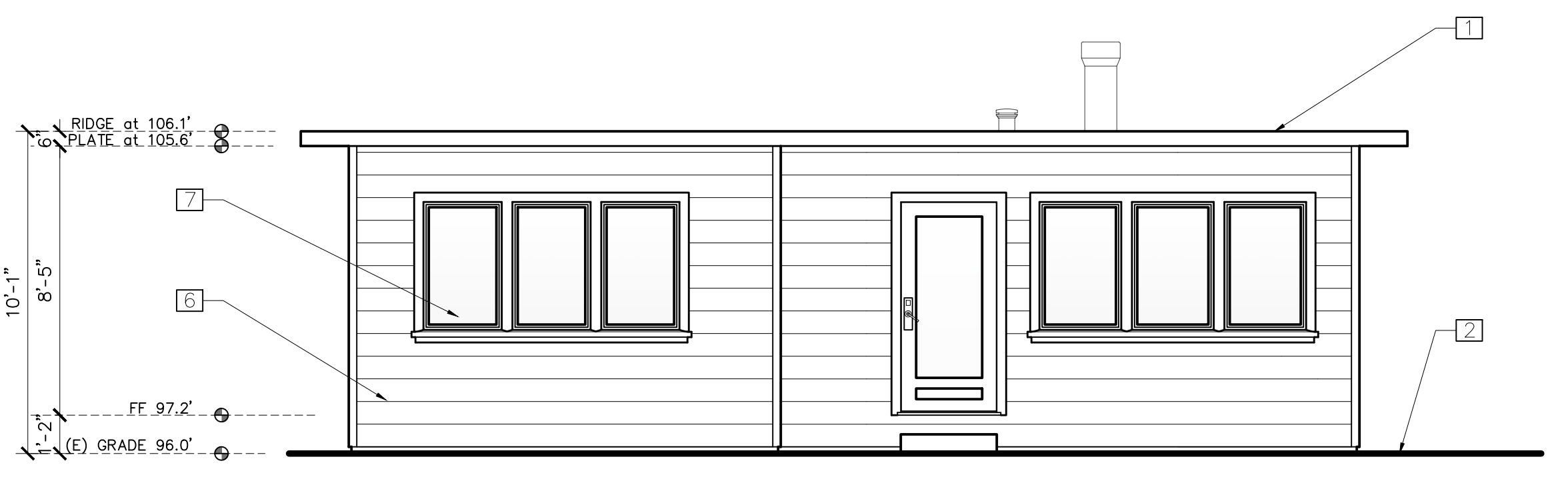
A1.7

**KEY NOTES**

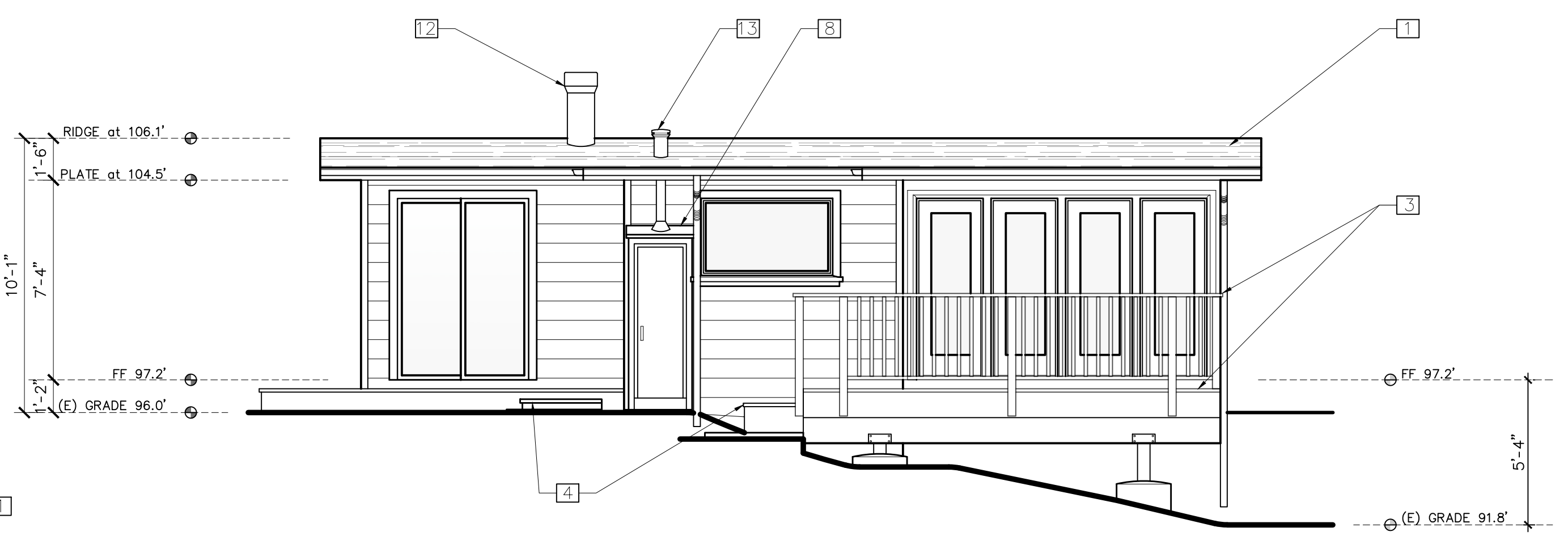
- 1 (E) ASPHALT SHINGLES
- 2 (E) GRADE
- 3 (E) HANDRAILS & WD DECKING
- 4 (E) WD STEPS
- 5 (E) GAS METER
- 6 (E) WD SIDING
- 7 (E) DOOR & WINDOWS
- 8 (E) WATER HEATER CLOSET
- 9 (E) GUTTERS & DOWN SPOUT
- 10 (E) SUB-PANEL
- 11 (E) CRAWL SPACE ACCESS DOOR
- 12 (E) DIRECT CHIMNEY VENT
- 13 (E) WATER HEATER EXHAUST VENT



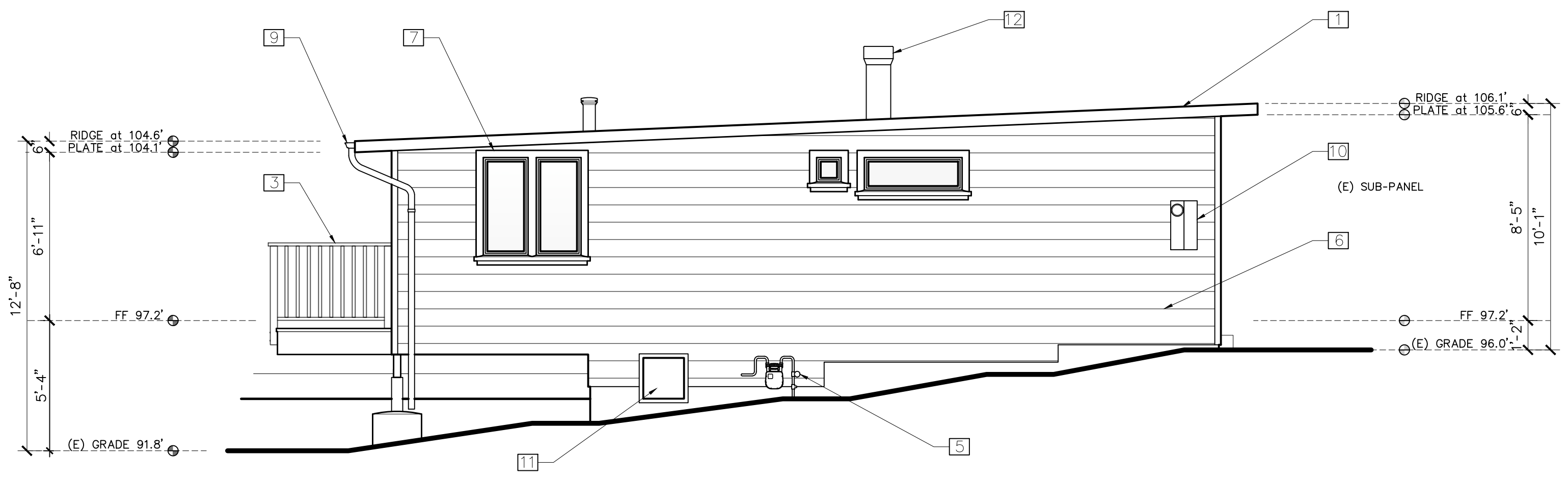
**SOUTH ELEVATION**



**WEST ELEVATION**

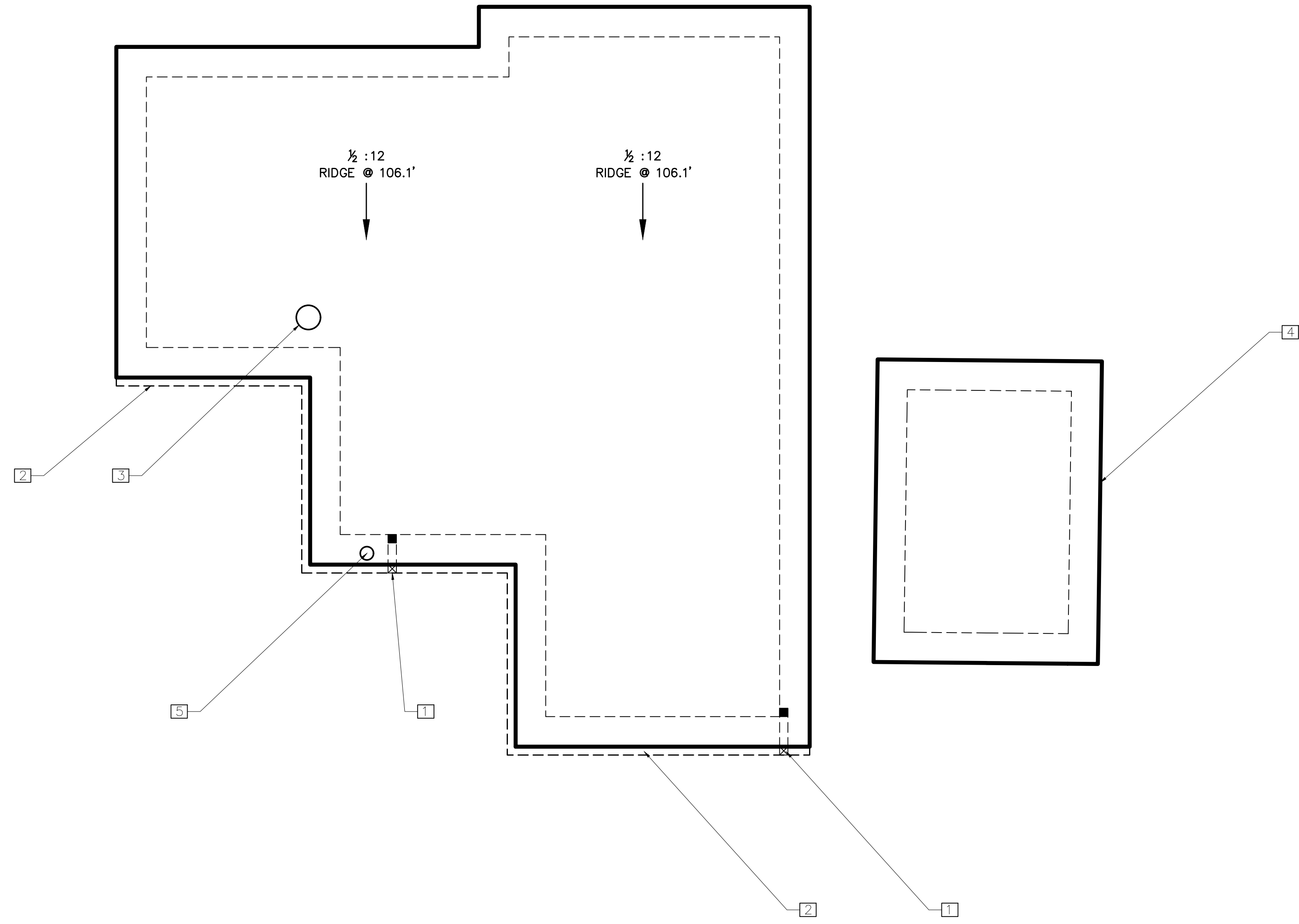


**EAST ELEVATION**



**NORTH ELEVATION**



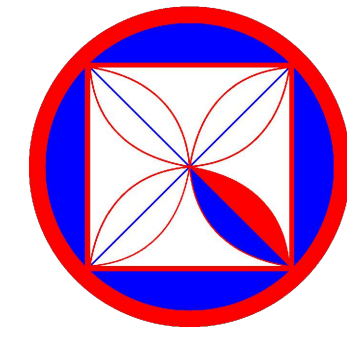
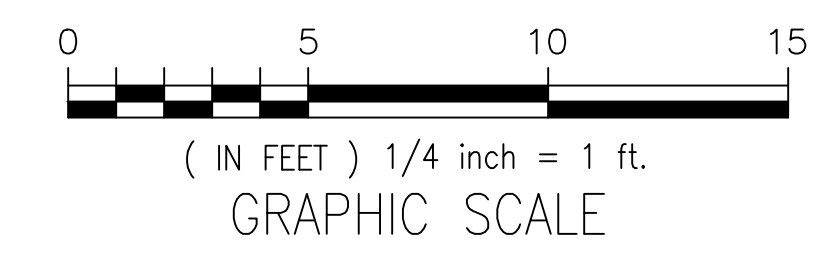


KEY NOTES

- 1 DOWNSPOUTS
- 2 GUTTERS W/ 2% SLOPE
- 3 (E) DIRECT CHIMNEY VENT
- 4 (E) SHED
- 5 (E) WATER HEATER EXHAUST VENT

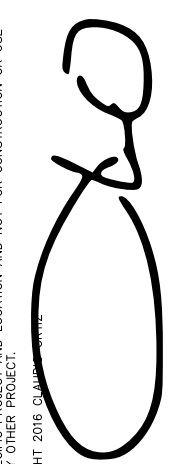
LEGEND

- > SLOPE DIRECTION  
ARROW
- ROOF LINE: EXISTING  
THICK SOLID LINE
- - - BUILDING FOOTPRINT  
THIN DASHED LINE
- - - GUTTERS
- DOWNSPOUTS  
W/2% SLOPE



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1540 MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 OFFICE: 831.626.4144  
 CLAUDIO@CODGINC.COM  
 WWW.CODGINC.COM

THE SERVICES, MEASUREMENTS, CALCULATIONS AND GRAPHICAL REPRESENTATIONS OF THIS DOCUMENT ARE THE PROPERTY AND CONFIDENTIAL INFORMATION OF CLAUDIO ORTIZ DESIGN GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF CLAUDIO ORTIZ DESIGN GROUP, INC. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE INTELLECTUAL PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. THE USER OF THIS DOCUMENT IS SOLELY RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREIN AND FOR THE CONSTRUCTION OF THE PROJECT. THE SERVICES PROVIDED BY CLAUDIO ORTIZ DESIGN GROUP, INC. ARE NOT GUARANTEED.



REVISIONS:

PROJECT:  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
 PROJECT NO:  
 21-02

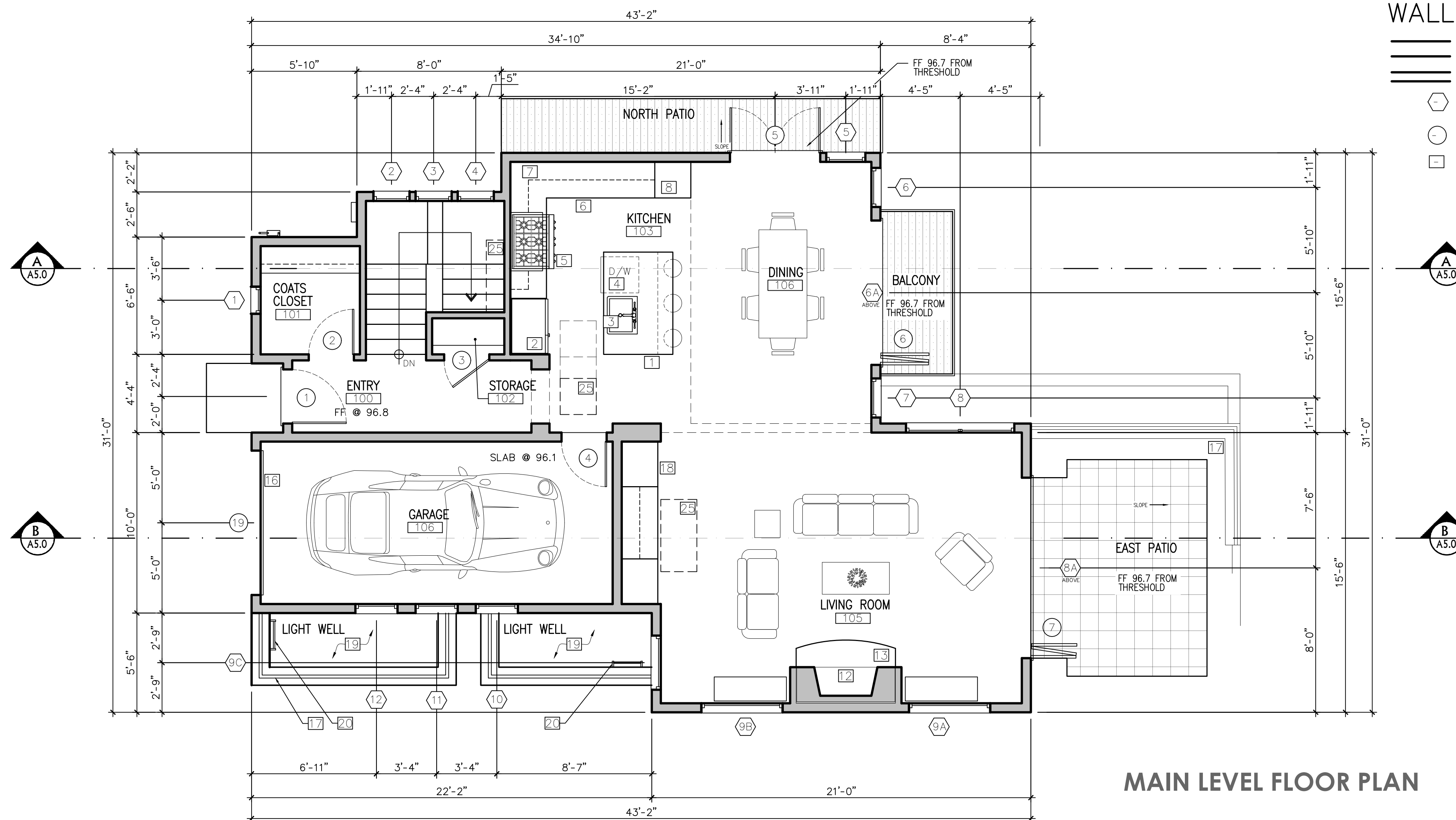
ISSUE:  
 08-30-2022

DRAWN BY:  
 CO

EXISTING  
 ROOF PLAN

SCALE: 1" = 1/4"

**A1.8**

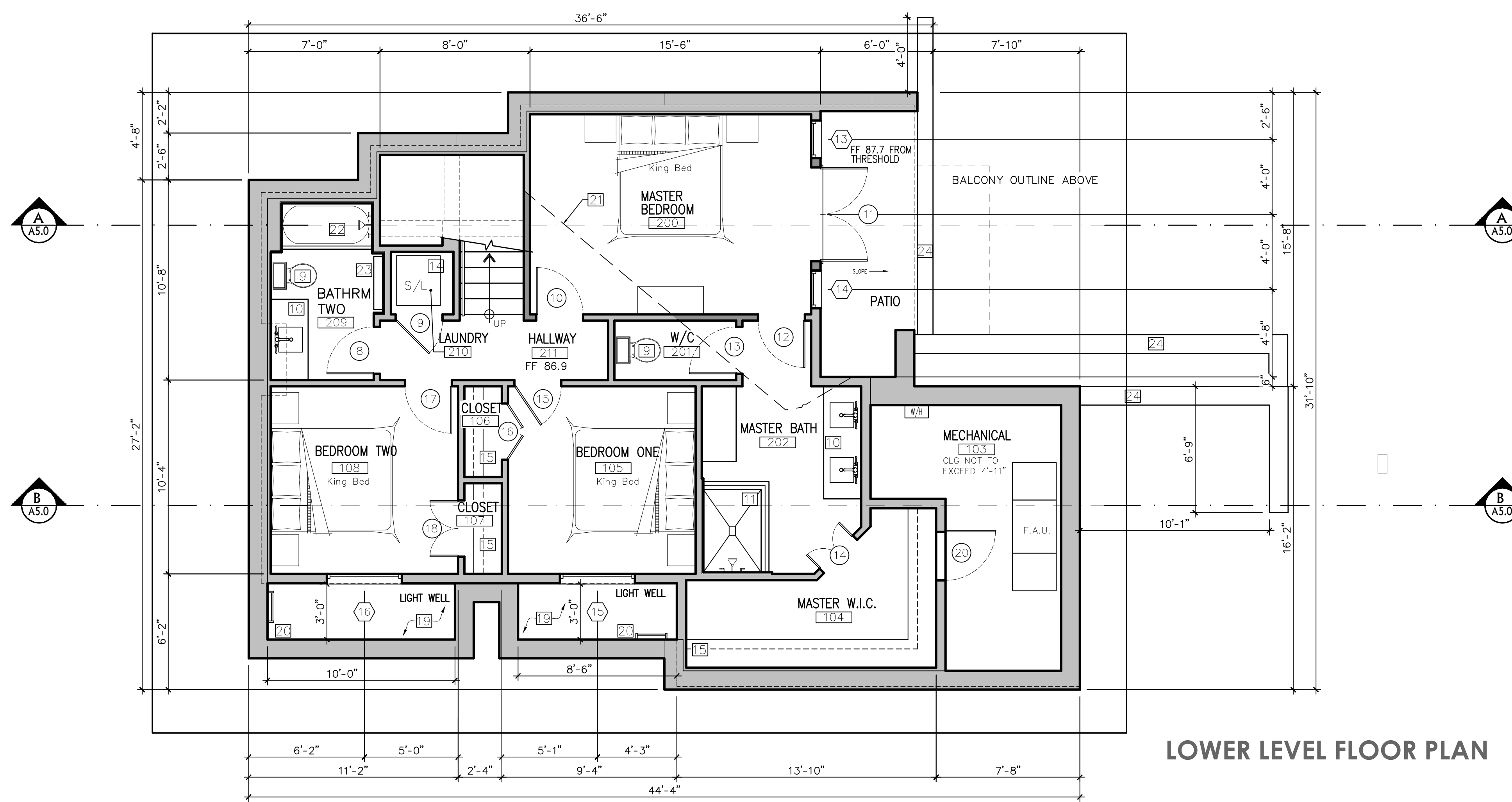


**WALL LEGEND**

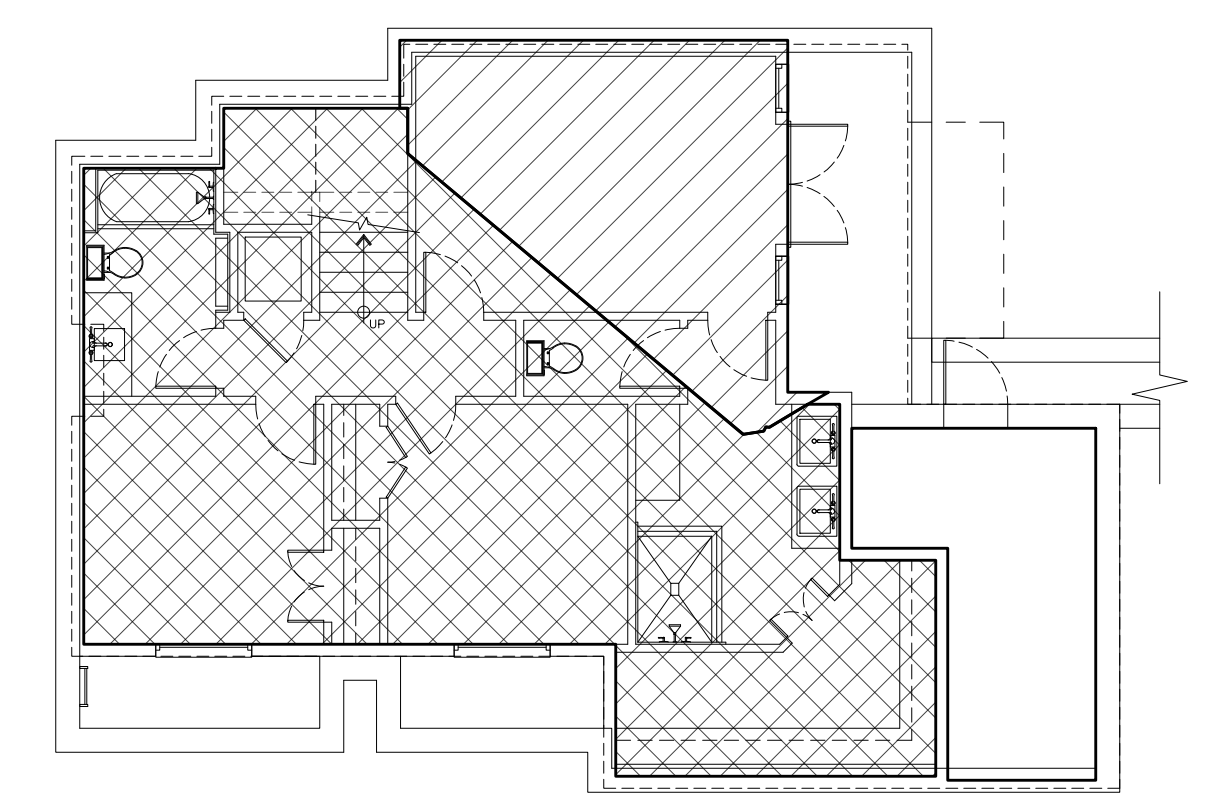
- 2x6 ALL EXTERIOR WALLS
- 2x4 ALL INTERIOR WALLS
- WINDOW SCHEDULE
- DOOR SCHEDULE
- KEY NOTES

**KEY NOTES**

- 1 ISLAND 3'-10" X 5'-8"
- 2 36" BUILT-IN ALL REFRIGERATOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 3 KITCHEN SINK W/GARBAGE DISPOSAL SINGLE FAUCET WITH PULL OUT
- 4 DISH WASHER SPACE
- 5 36" RANGE DUAL-FUEL RANGE. VENTILATED W/42" HOOD ABOVE.
- 6 36-INCH HIGH COUNTER TOP WITH BACKSPLASH.
- 7 UPPER CABINETS
- 8 BUILT IN PANTRY W/ PULL OUT SHELVES
- 9 WATER CLOSET. TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.F.C. 402.2.1
- 10 BATHROOM SINK W/36-INCH HIGH VANITY WITH STONE TOP AND BACKSPLASH.
- 11 SHOWER STALL, 3'-6"x4'-10"
- 12 GAS FIREPLACE
- 13 HEARTH
- 14 STACK WASHER & DRYER
- 15 ONE 2" ROD ONE SHELF
- 16 GARAGE DOOR
- 17 GUARDRAIL: WROUGHT IRON 42-IN HIGH
- 18 BUILT IN CABINETRY
- 19 LIGHT WELL
- 20 EGRESS LADDER
- 21 BASEMENT LINE. SEE KEY PLAN DIAGRAM FOR BASEMENT ALLOCATED
- 22 TUB WITH SHOWER ABOVE AND FRAMELESS GLASS SHOWER DOORS.
- 23 TILED NICHE WITH WOOD FLOATING SHELVES
- 24 RETAINING WALLS
- 25 SKYLIGHT: SEE ROOF PLAN FOR DIMENSIONS

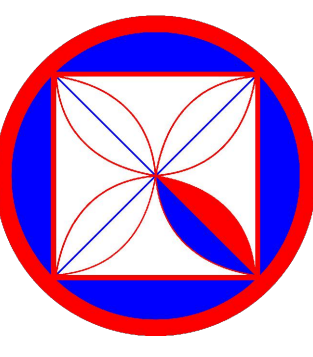
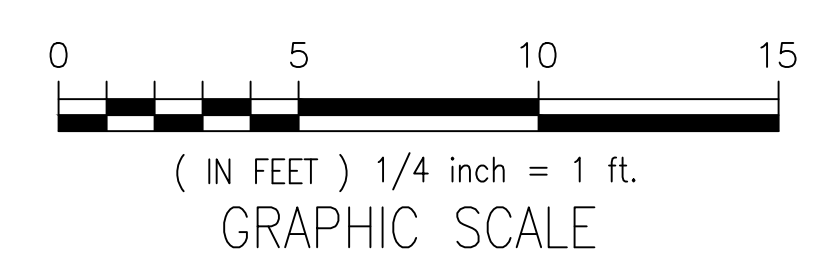
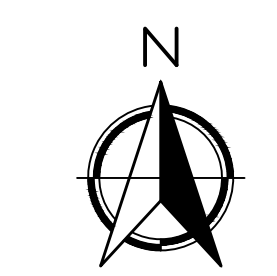


**KEY PLAN**



**KEY LEGEND**

- LOWER LEVEL
- BASEMENT



**CODG**  
CLAUDIO ORTIZ DESIGN GROUP, INC.  
1540 MESCALIST LLC  
JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
OFFICE: 831.626.4144  
WWW.CODGINC.COM

REVIEWS:  
PROJECT NO. 21-02

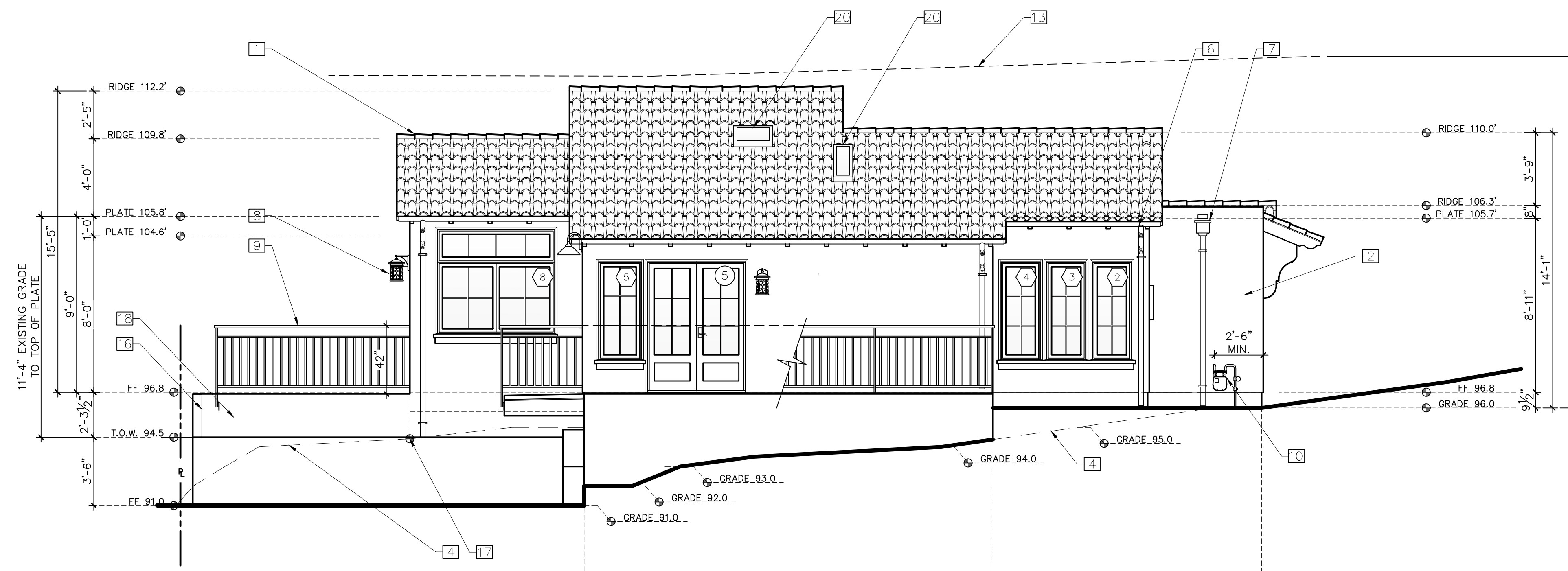
ISSUE:  
08-30-2022  
03-08-2024

DRAWN BY:  
CO

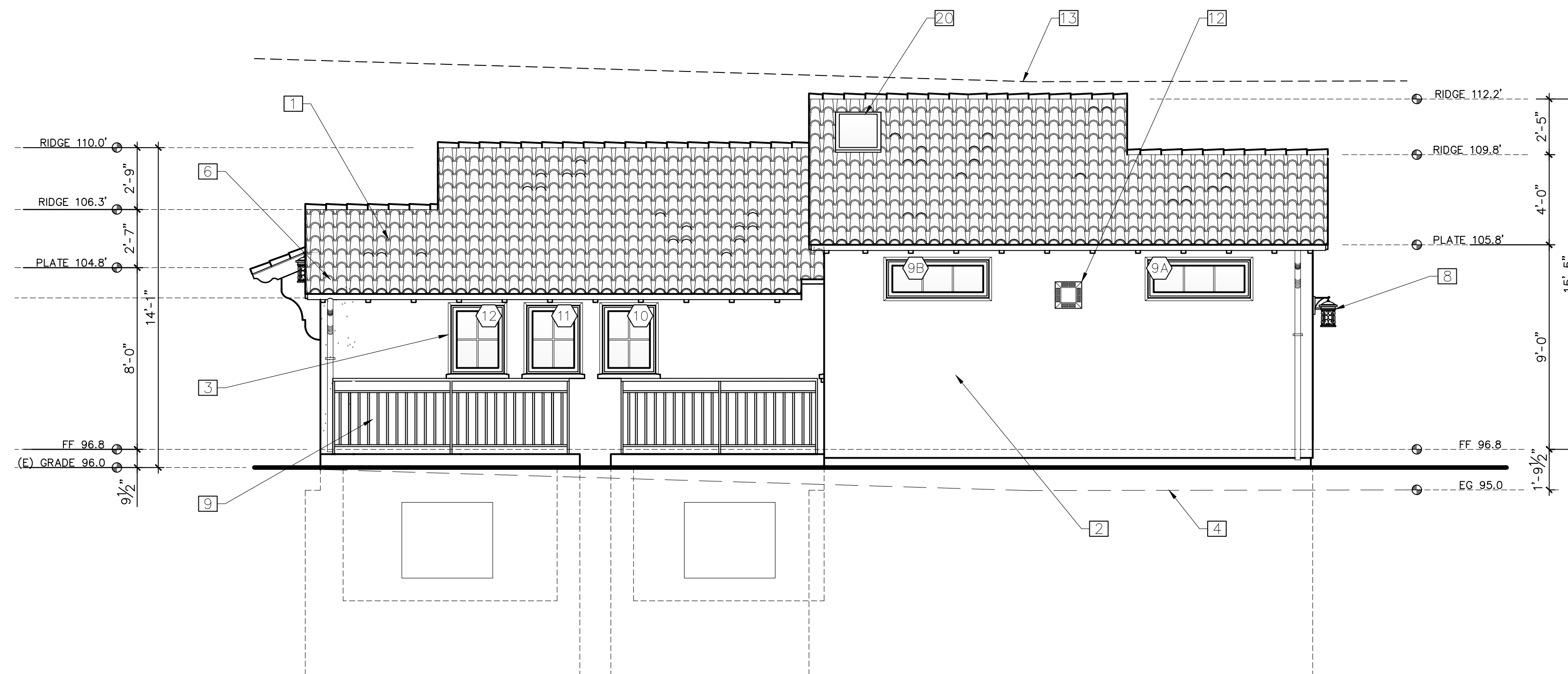
FLOOR PLANS; MAIN LEVEL & LOWER LEVEL

SCALE: 1" = 1/4"

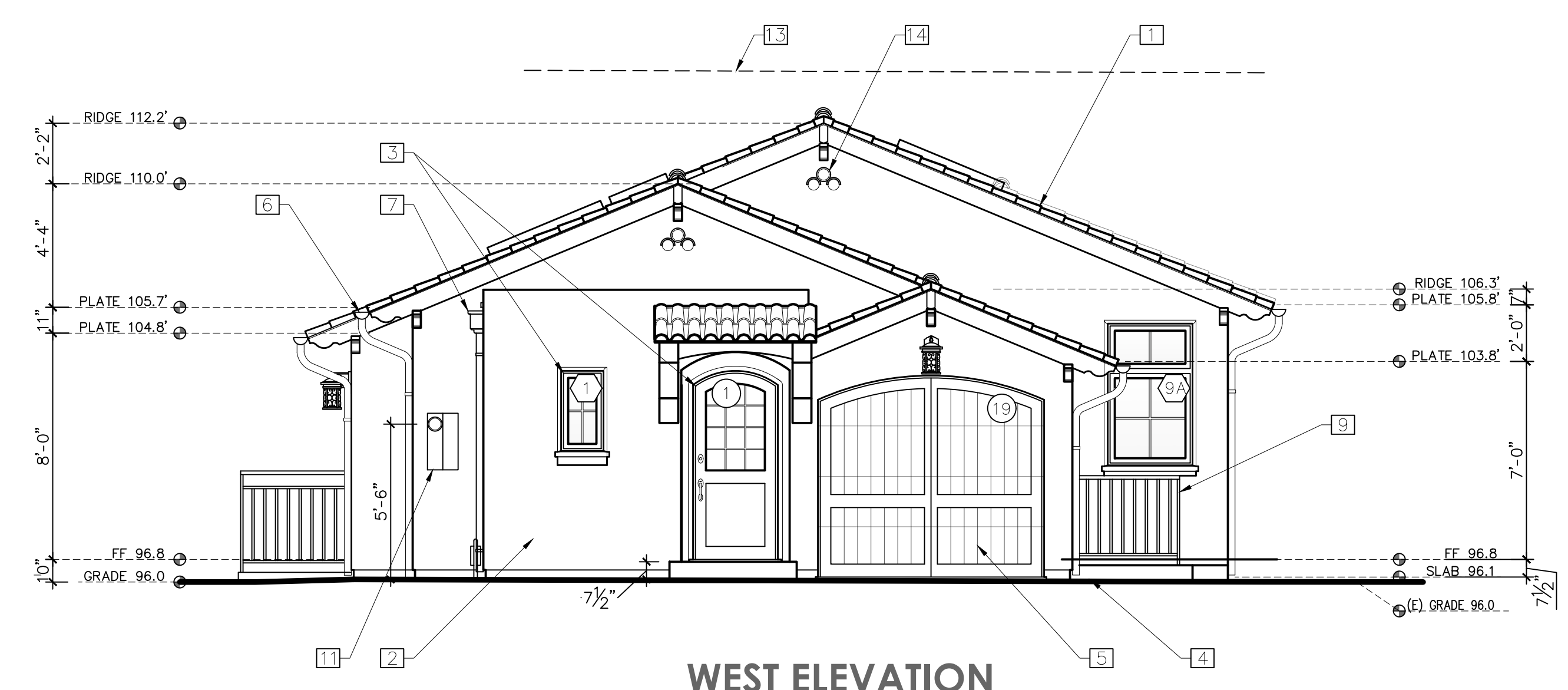
**A2.0**



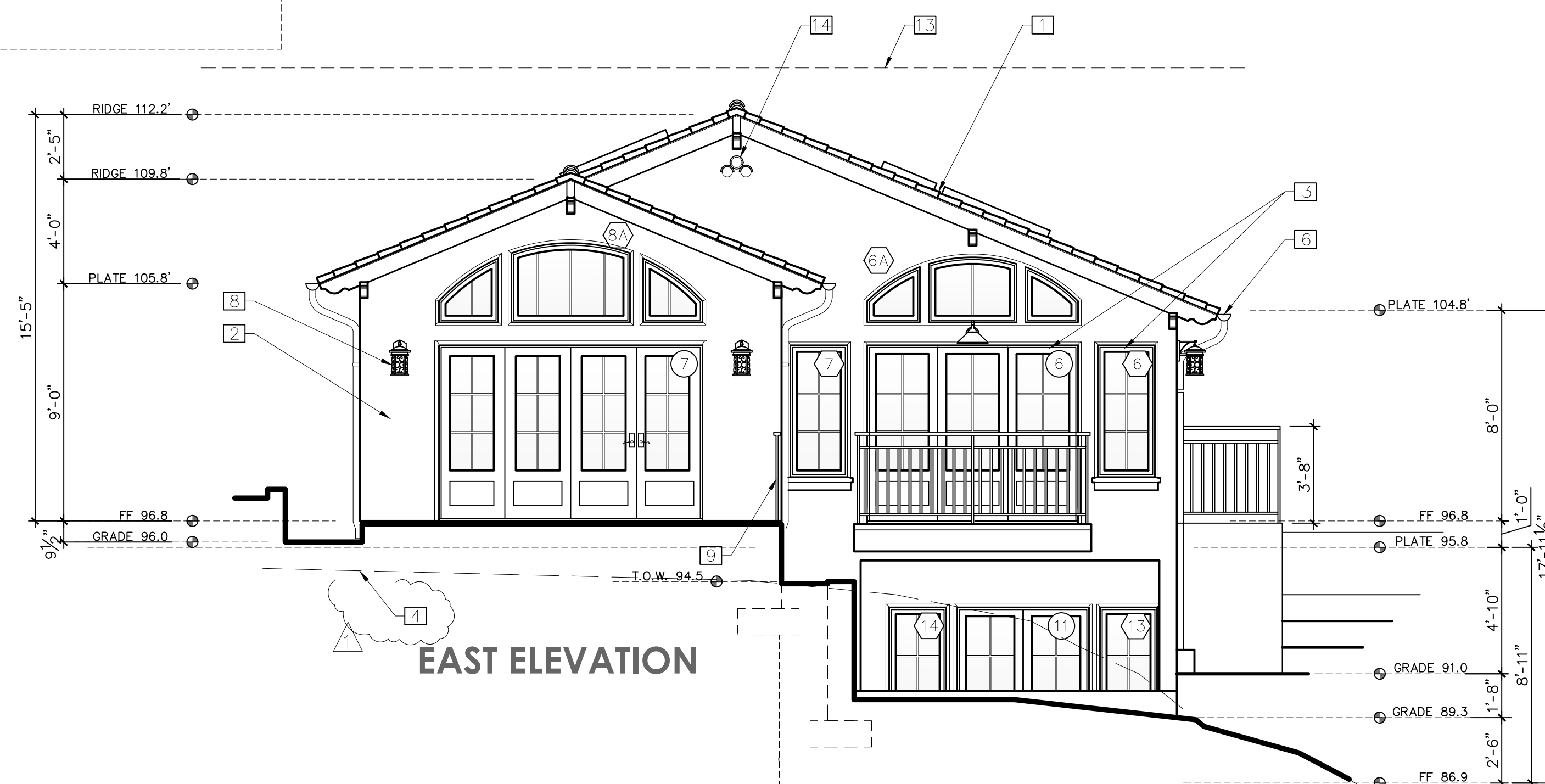
NORTH ELEVATION



SOUTH ELEVATION



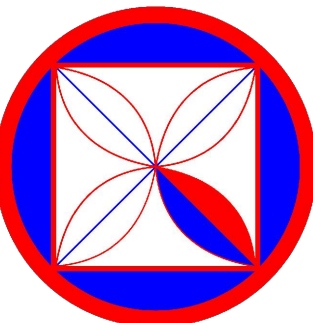
WEST ELEVATION



EAST ELEVATION

KEY NOTES

- 1 ROOF: BARREL TILE
- 2 CEMENT PLASTER, THREE COATS, SMOOTH FINISH
- 3 WOOD CLAD EXTERIOR DOORS & WINDOWS
- 4 EXISTING GRADE WHERE OCCURS
- 5 WOOD GARAGE DOOR
- 6 GAL. METAL DOWN SPOUT & GUTTER
- 7 SCUPPER
- 8 LIGHT FIXTURES: LED, DARK SKY, 375 LUMENS MAX.
- 9 METAL GUARD RAIL
- 10 GAS METER
- 11 MAIN ELEC. PANEL
- 12 DIRECT VENT FOR FIREPLACE
- 13 18-FT HEIGHT LIMIT SHOWN DASH-LINE
- 14 CLAY BARREL TILE ATTIC VENTS, TYP.
- 15 LEFT BLANK INTENTIONALLY
- 16 (E) RETAINING WALL TO REMAIN
- 17 PLANTER WALL, GRADE AT 94'-5" (EXISTING NATURAL GRADE)
- 18 (N) RETAINING WALL, PLASTER FINISH
- 19 18-FT HEIGHT LIMIT SHOWN DASH-LINE
- 20 SKYLIGHT: FLAT GLAS PANEL AND FRAME TO MATCH ROOF COLOR, SEE ROOF PLAN FOR DIMENSIONS



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1000 S. GARDEN AVENUE, SUITE 100  
 GARDEN CITY, CA 95921  
 CLAUDIO@CODG.COM  
 WWW.CODG.COM

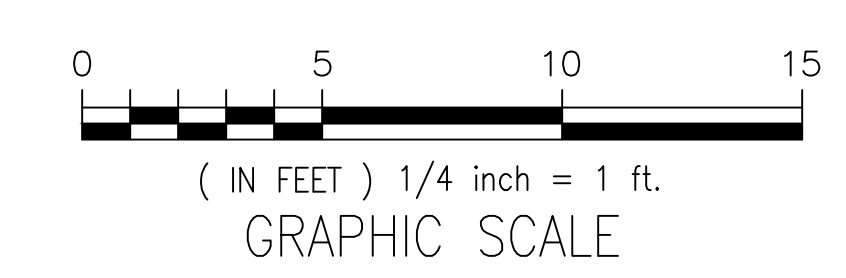
THE SERVICES, PREPARATIONS, INSTRUCTIONS AND GRAPHICAL REPRESENTATIONS ON THIS DRAWING ARE THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CLAUDIO ORTIZ DESIGN GROUP, INC. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE INTELLECTUAL PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. THE SERVICES AND THE RESULTS OF THE SERVICES ARE PROVIDED AS IS WITHOUT WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE AND NONINFRINGEMENT. IN NO EVENT SHALL CLAUDIO ORTIZ DESIGN GROUP, INC. BE LIABLE FOR ANY DAMAGES, INCLUDING GENERAL, SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES, ARISING OUT OF OR IN CONNECTION WITH THE SERVICES. © 2024 CLAUDIO ORTIZ DESIGN GROUP, INC.

REVIEWS:  
 04-15-2024 PLNG

PROJECT:  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
 PROJECT NO.  
 21-02

ISSUE:  
 08-30-2022  
 03-08-2024  
 DRAWN BY:  
 CO

ELEVATIONS



SCALE: 1" = 1/4"

A3.0

# GENERAL NOTES

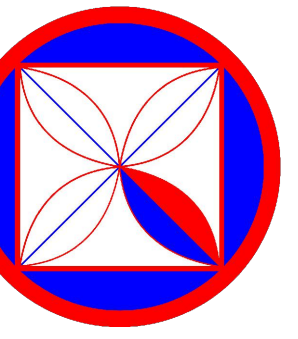
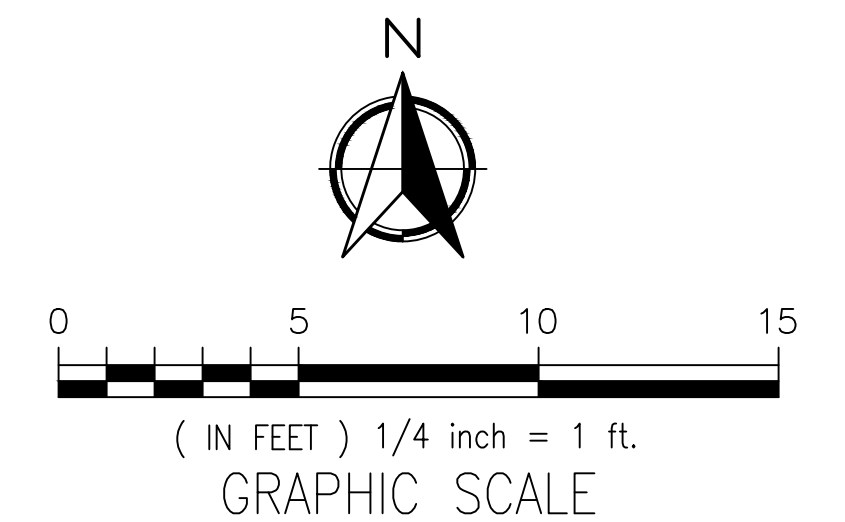
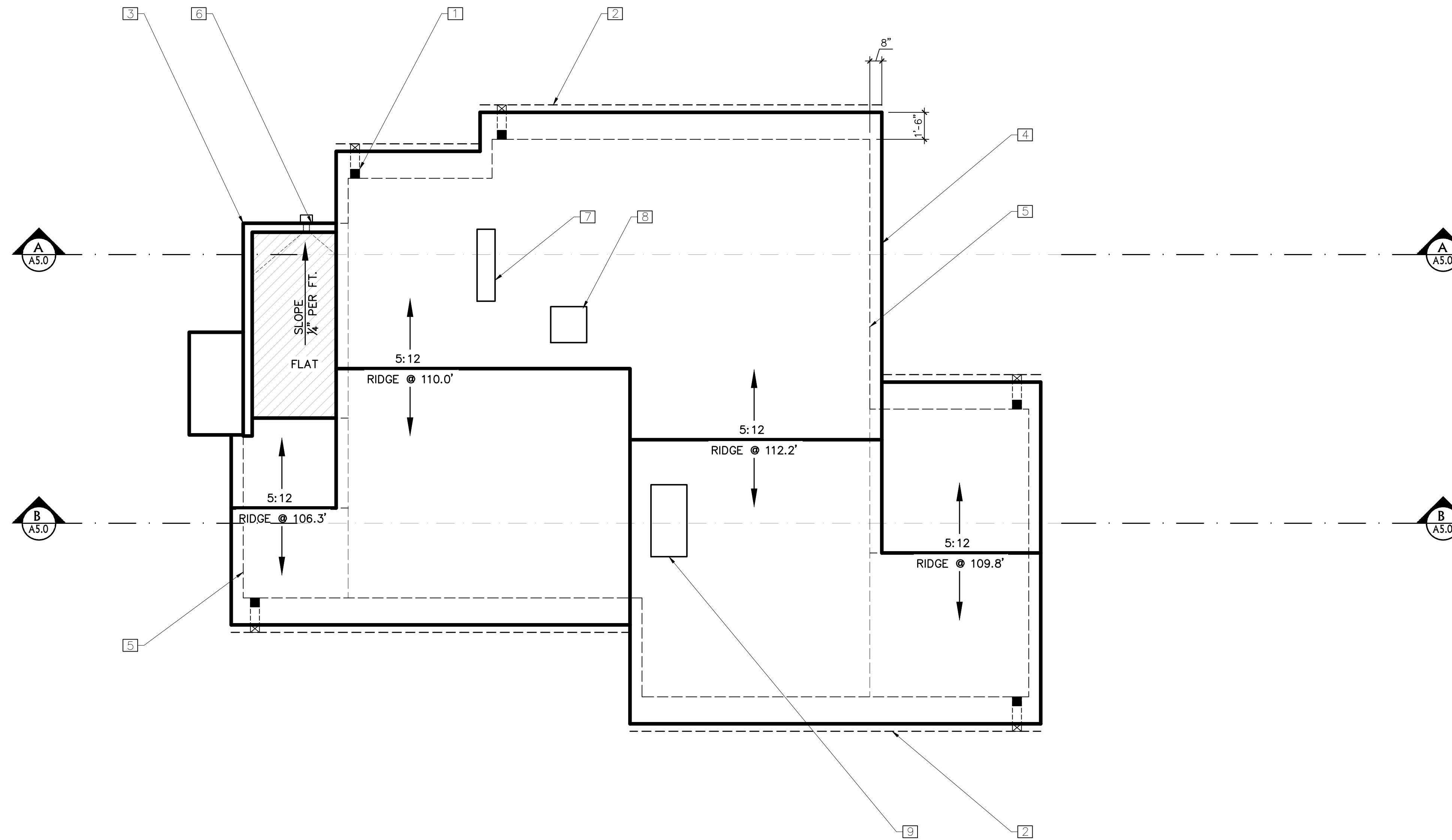
- SEE PLAN FOR ROOF SLOPE.
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
- CLASS "A" MINIMUM RATING FOR ROOF ASSEMBLY PER C.B.C.
- IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER C.B.C., IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30-INCHES HEADROOM PROVIDE A 22"x30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PALET LINE TO ALLOW FOR VENTILATION. PROVIDE TWO (2) LAYERS GRADE "D" MINIMUM PAPER UNDER STUCCO WHERE WOOD SHEATHING OCCURS.
- PROVIDE DRAFT STOPS PER C.B.C.
- ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF 110 M.P.H. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTION. (As shown in Figured R301.2(4)A.)
- BUILT UP ROOFING TO HAVE MINERAL SURFACE CAP SHEET WITH FIBERGLASS BASE SHEET SPOT MOPPED TO DECK. PROVIDE 2 FIBERGLASS PLYSHEETS WITH TYPE III ASPHALT @ 25-30. CONSULT MANF. FOR SPECIFIC INSTALLATION REQUIREMENTS.
- WHERE CEILING ARE APPLIED TO UNDER-SIDE OF ROOF RAFTERS, EACH SEPARATE SPACE SHALL HAVE CROSS VENTILATION OPENING & MINIMUM 1-INCH AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING.
- FLAT ROOFS MUST SLOPE A MINIMUM OF 1/4-INCH PER FOOT FOR DRAINAGE OR SUBMIT DESING TO SUPPORT ACCUMULATED WATER. (Sec. 1611.2)
- 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3-FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE.

# KEY NOTES

- 3-IN GUTTER DOWNSPOUTS
- 6-IN HALF-ROUND GALV. METAL GUTTERS W/ 2% SLOPE
- PARAPET
- ROOF SHOWN THICK SOLID LINE
- MAIN STRUCTURE SHOWN THIN-DASHED LINE
- SCUPPER
- SKYLIGHT: 12X48 FLAT PANEL, FRAME TO MATCH ROOF COLOR
- SKYLIGHT: 12X12 FLAT PANEL, FRAME TO MATCH ROOF COLOR
- SKYLIGHT: 24X48 FLAT PANEL, FRAME TO MATCH ROOF COLOR

# LEGEND

- ROOF SLOPE DIRECTION  
ARROW
- ROOF LINE: NEW  
THICK SOLID LINE
- MAIN STRUCTURE FOOTPRINT  
THIN DASHED LINE
- GUTTERS
- DOWNSPOUTS  
W/2% SLOPE



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1000 S. Bascom Avenue, Suite 100  
 San Jose, CA 95128  
 OFFICE: 408.266.4144  
 CLAUDIO@CODG.COM  
 WWW.CODG.COM

THE SERVICES, INFORMATION, AND OPINIONS CONTAINED HEREIN ARE SOLELY FOR THE INFORMATION OF THE CLIENT AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREIN. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT.

# REVISIONS:

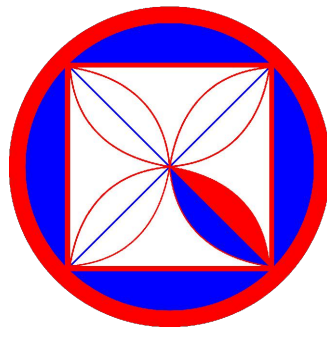
PROJECT:  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK: 128 LOTS: 5  
 APN: 010-073-005  
 PROJECT NO:  
 21-02

ISSUE:  
 08-30-2022  
 03-08-2024  
 DRAWN BY:  
 CO

# ROOF PLAN

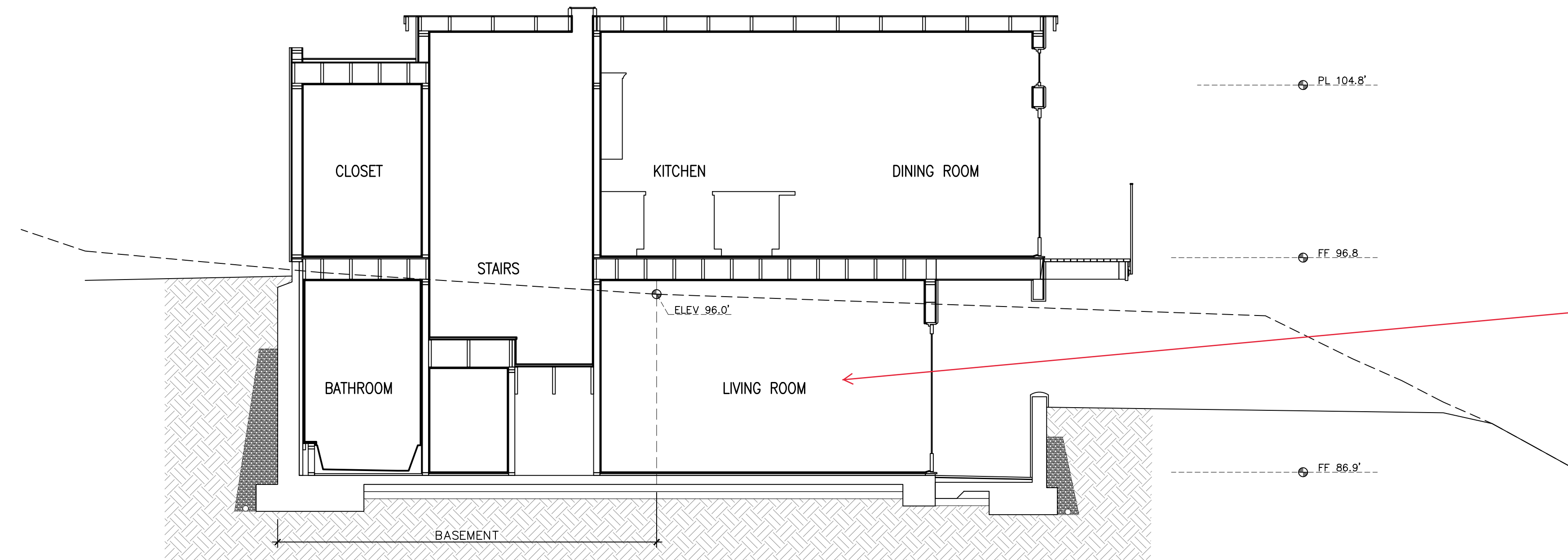
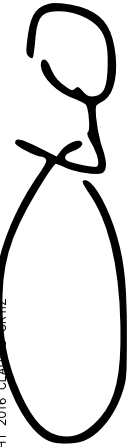
SCALE: 1" = 1/4"

# A4.0

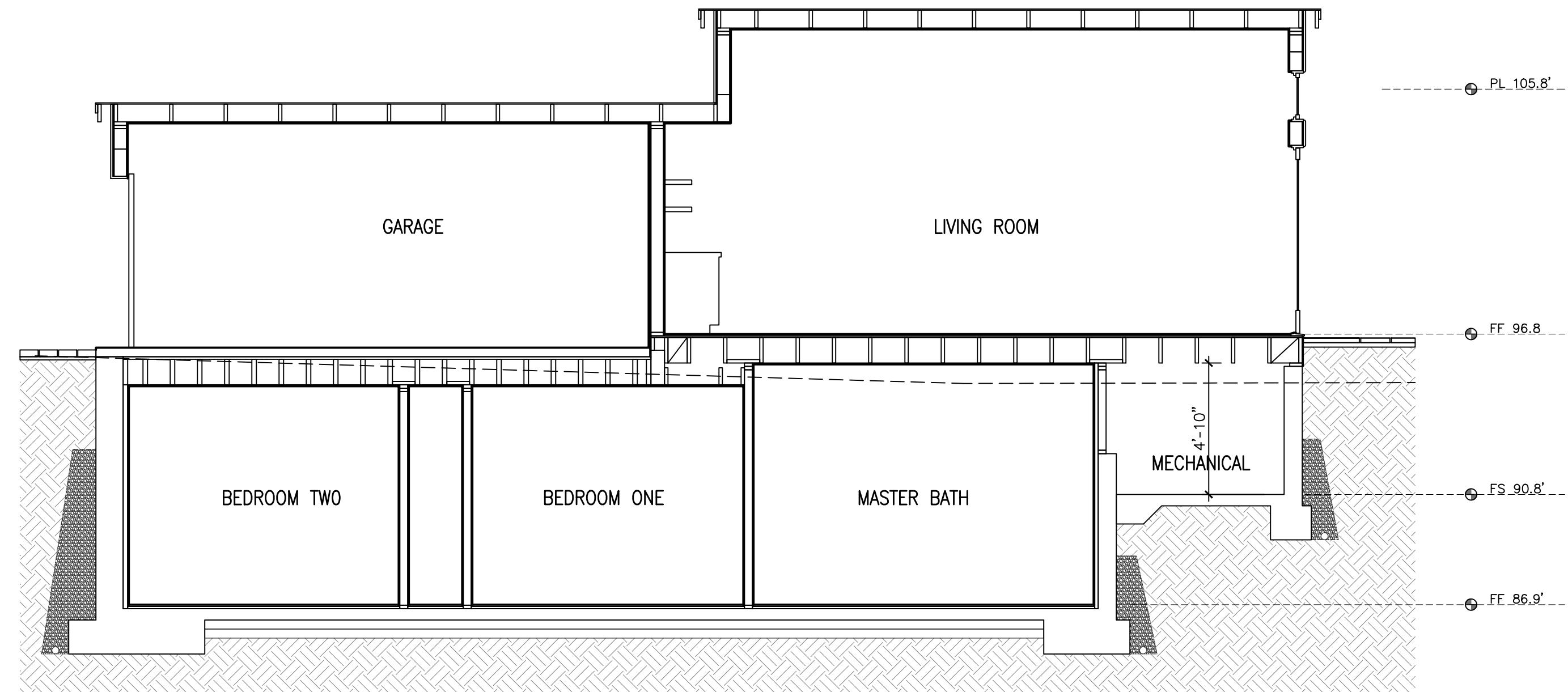


**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC  
 1540 MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 OFFICE: 831.626.4144  
 WWW.CODGINC.COM

THE SERVICES, REPRESENTATIONS AND OPINIONS CONTAINED HEREIN ARE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THIS DOCUMENT AS AN INSTRUMENT OF SERVICE AND IS THE INTELLECTUAL PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT FOR ANY OTHER PROJECT OR LOCATION AND NOT FOR CONSTRUCTION OR USE WITHOUT THE WRITTEN PERMISSION OF CLAUDIO ORTIZ DESIGN GROUP, INC. IS STRICTLY PROHIBITED. COPYRIGHT 2024.



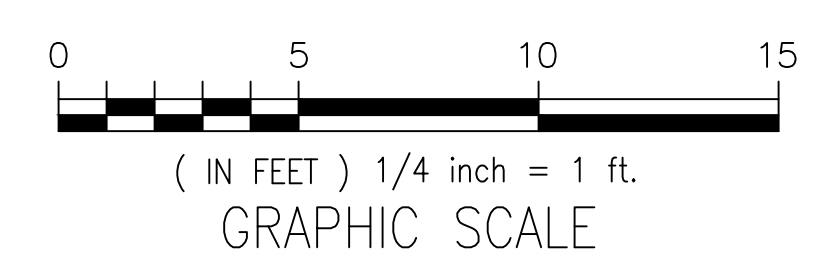
SECTION A



SECTION B

NOTE:  
 THE CEILING HEIGHT OF THE MECHANICAL ROOM MUST NOT EXCEED 4'-10" FROM THE FINISHED SLAB TO THE BOTTOM OF THE FLOOR JOIST. THE PERIMETER FOUNDATION IS TO BE STEPPED UP AS INDICATED IN THE PLAN AROUND THE PERIMETER OF THE MECHANICAL ROOM. PLATFORMS, COMPARTMENTALIZED, OR SECTIONALIZED SPACES ARE NOT PERMITTED TO MEET THE REQUIREMENTS OF CMC 17.10.030.D.1 AND TO ENSURE THAT THE MECHANICAL ROOM IS NOT COUNTED AS FLOOR AREA.

CMC 17.10.030.D.1 FLOOR AREA: "FLOOR AREA" MEANS THE TOTAL GROSS SQUARE FOOTAGE INCLUDED WITHIN THE SURROUNDING EXTERIOR WALLS OF ALL FLOORS CONTAINED WITHIN ALL ENCLOSED BUILDINGS ON A BUILDING SITE, WHETHER FINISHED OR UNFINISHED. IN ABOVE-GROUND SPACES, FLOOR AREA IS MEASURED AT THE EXTERIOR OF THE ENCLOSING WALLS. IN BASEMENT SPACES, FLOOR AREA IS MEASURED AT THE INTERIOR OF THE ENCLOSING WALLS. FLOOR AREA SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, ALL FLOORS OF ALL ENCLOSED SPACES WITHIN ALL BUILDINGS, BASEMENTS, MEZZANINES, GUESTHOUSES, STUDIOS, GARAGES AND CARPORTS. ALL ATTIC, BASEMENT AND STORAGE SHED SPACES WITH FIVE OR MORE FEET OF CLEARANCE BETWEEN THE FLOOR OR WALKING SURFACE AND THE CEILING OR ROOF SURFACE SHALL BE COUNTED AS FLOOR AREA.



REVISIONS:

PROJECT:  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
 PROJECT NO:  
 21-02

ISSUE:  
 05-13-2024

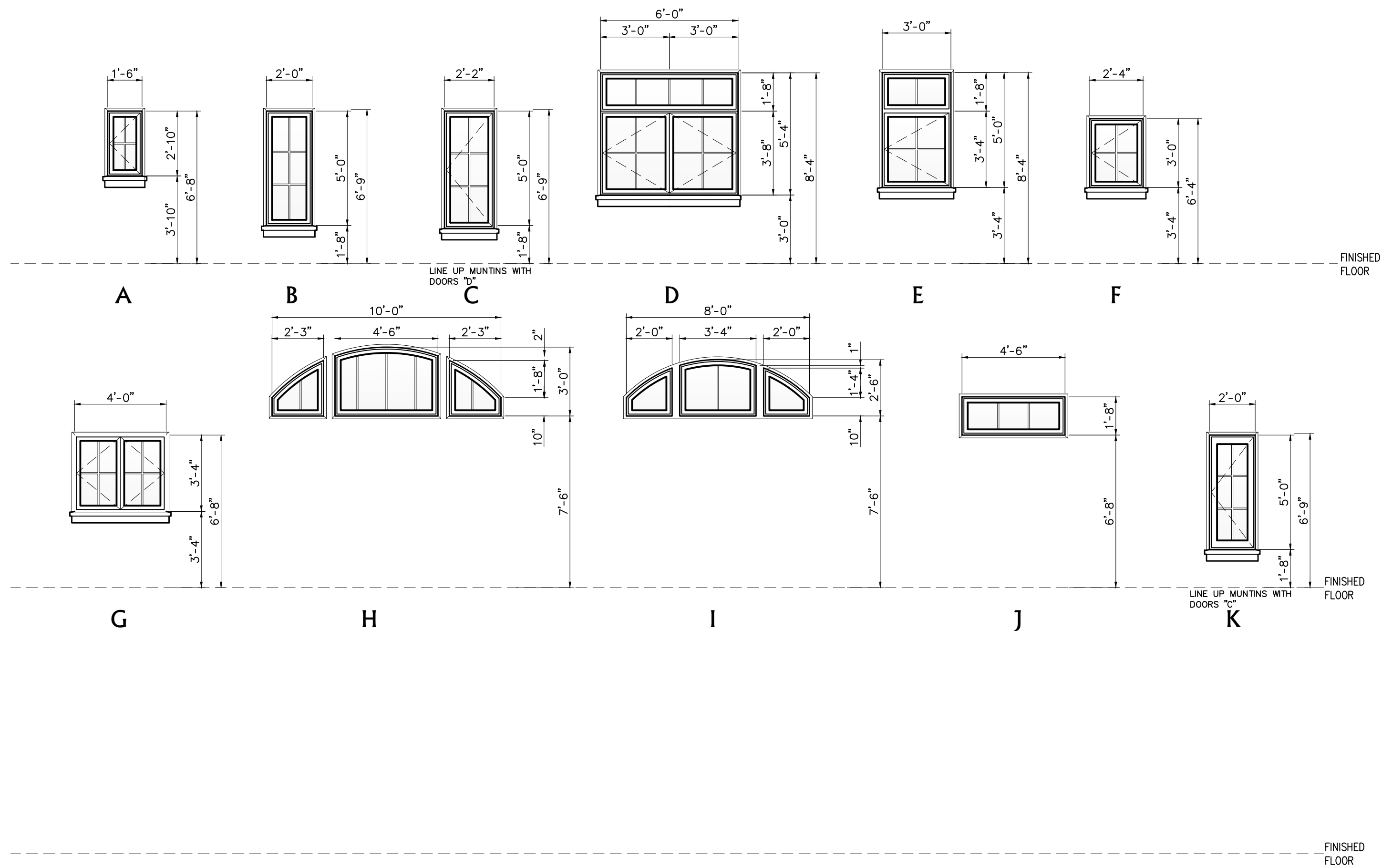
DRAWN BY:  
 CO

SECTIONS

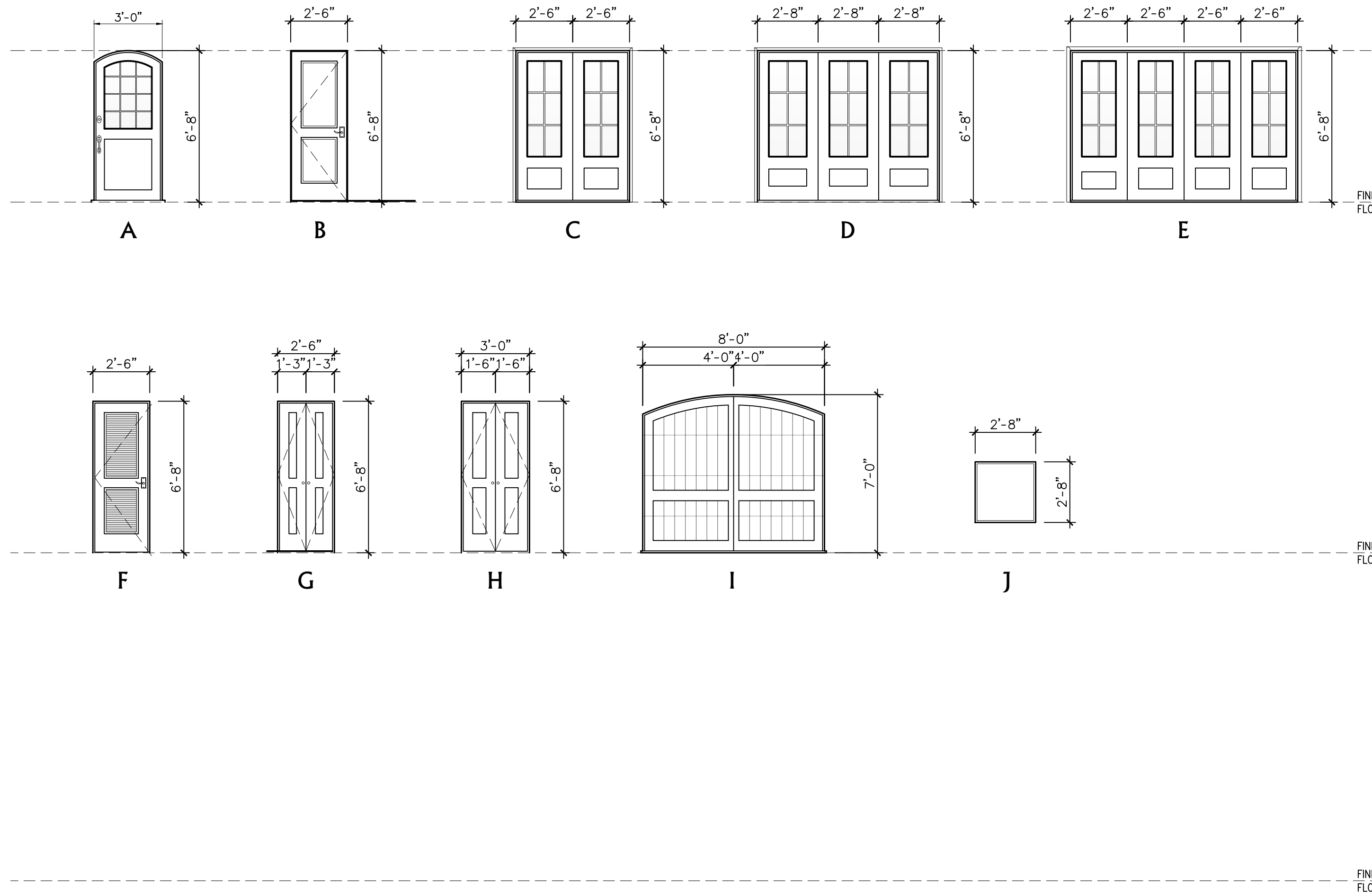
SCALE: 1" = 1/4"

A5.0

**WINDOW ELEVATION TYPES**



**DOOR ELEVATION TYPES**



**WINDOW SCHEDULE**

| NO.                | LOCATION      | TYPE | SIZE           | FINISH | REMARKS                  | MATERIAL  | GLAZING | TEMPERED | SCREEN | EGRESS WINDOWS |
|--------------------|---------------|------|----------------|--------|--------------------------|-----------|---------|----------|--------|----------------|
| <b>MAIN LEVEL</b>  |               |      |                |        |                          |           |         |          |        |                |
| 1                  | BATHROOM 1    | A    | 1'-6" X 2'-10" | FF     | CASEMENT                 | WOOD-CLAD | YES     | NO       | YES    | NO             |
| 2                  | STAIRS        | B    | 2'-0" X 5'-0"  | FF     | FIXED                    | WOOD-CLAD | YES     | YES      | NO     | NO             |
| 3                  | STAIRS        | B    | 2'-0" X 5'-0"  | FF     | FIXED                    | WOOD-CLAD | YES     | YES      | NO     | NO             |
| 4                  | STAIRS        | B    | 2'-0" X 5'-0"  | FF     | FIXED                    | WOOD-CLAD | YES     | YES      | NO     | NO             |
| 5                  | DINING ROOM   | C    | 2'-2" X 5'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | YES    | NO             |
| 6                  | DINING ROOM   | C    | 2'-2" X 5'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | YES    | NO             |
| 6A                 | DINING ROOM   | H    | 10'-0" X 3'-0" | FF     | FIXED, ARCHED TOP        | WOOD-CLAD | YES     | YES      | NO     | NO             |
| 7                  | DINING ROOM   | C    | 2'-2" X 5'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | YES    | NO             |
| 8                  | DINING ROOM   | D    | 6'-0" X 5'-4"  | FF     | CASEMENT W/FIXED TRANSOM | WOOD-CLAD | YES     | YES      | YES    | NO             |
| 8A                 | LIVING ROOM   | I    | 8'-0" X 2'-6"  | FF     | FIXED                    | WOOD-CLAD | YES     | YES      | NO     | NO             |
| 9A                 | LIVING ROOM   | J    | 4'-6" X 1'-8"  | FF     | FIXED                    | WOOD-CLAD | YES     | YES      | YES    | NO             |
| 9B                 | LIVING ROOM   | J    | 4'-6" X 1'-8"  | FF     | FIXED                    | WOOD-CLAD | YES     | NO       | NO     | NO             |
| 9C                 | LIVING ROOM   | E    | 3'-0" X 5'-0"  | FF     | CASEMENT W/FIXED TRANSOM | WOOD-CLAD | YES     | NO       | NO     | NO             |
| 10                 | GARAGE        | F    | 2'-4" X 3'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | YES    | NO             |
| 11                 | GARAGE        | F    | 2'-4" X 3'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | YES    | NO             |
| 12                 | GARAGE        | F    | 2'-4" X 3'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | YES    | NO             |
| <b>LOWER LEVEL</b> |               |      |                |        |                          |           |         |          |        |                |
| 13                 | MASTER BED RM | K    | 2'-0" X 5'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | NO     | NO             |
| 14                 | MASTER BED RM | K    | 2'-0" X 5'-0"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | YES      | NO     | NO             |
| 15                 | BED RM 1      | G    | 4'-0" X 3'-4"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | NO       | YES    | YES            |
| 16                 | BED RM 2      | G    | 4'-0" X 3'-4"  | FF     | CASEMENT                 | WOOD-CLAD | YES     | NO       | YES    | YES            |

**DOOR SCHEDULE**

| NO.                | LOCATION        | TYPE | SIZE                   | FINISH | REMARKS                                  | MATERIAL | GLAZING   | TEMPERED |
|--------------------|-----------------|------|------------------------|--------|--|----------|-----------|----------|
| <b>MAIN LEVEL</b>  |                 |      |                        |        |  |          |           |          |
| 1                  | ENTRY           | A    | 3'-0" X 6'-8"          | FF     | FLUSHED / PANELED DOOR WITH GLASS        | OUTSIDE  | WOOD-CLAD | NO       |
| 2                  | BATHROOM ONE    | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 3                  | CLOSET          | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 4                  | GARAGE          | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED SELF CLOSING 2HR RATED | INSIDE   | WOOD-CLAD | NO       |
| 5                  | DINING ROOM     | C    | (2) PER- 2'-6" X 6'-8" | FF     | GLASS / PANELED DOOR                     | OUTSIDE  | WOOD-CLAD | YES      |
| 6                  | DINING ROOM     | D    | (3) PER- 2'-8" X 6'-8" | FF     | FULL GLASS SLIDER DOOR                   | OUTSIDE  | WOOD-CLAD | YES      |
| 7                  | DINING ROOM     | E    | (4) PER- 2'-6" X 6'-8" | FF     | FULL GLASS SLIDER DOOR                   | OUTSIDE  | WOOD-CLAD | YES      |
| <b>LOWER LEVEL</b> |                 |      |                        |        |  |          |           |          |
| 8                  | BATHROOM TWO    | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 9                  | LAUNDRY         | F    | 2'-6" X 8'-0"          | FF     | FLUSHED / LOUVERED                       | INSIDE   | WOOD-CLAD | NO       |
| 10                 | MASTER BED ROOM | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 11                 | MASTER BED ROOM | C    | (2) PER- 2'-6" X 6'-8" | FF     | GLASS / PANELED DOOR                     | OUTSIDE  | WOOD-CLAD | YES      |
| 12                 | MASTER BED ROOM | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 13                 | W/C             | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 14                 | MASTER BATH     | G    | (2) PER 1'-3" X 6'-8"  | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 15                 | BED ROOM ONE    | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 16                 | BED ROOM ONE    | H    | (2) PER 1'-6" X 6'-8"  | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 17                 | BED ROOM TWO    | B    | 2'-6" X 6'-8"          | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 18                 | BED ROOM TWO    | H    | (2) PER 1'-6" X 6'-8"  | FF     | FLUSHED / PANELED DOOR                   | INSIDE   | WOOD-CLAD | NO       |
| 19                 | GARAGE          | I    | 8'-0" X 7'-0"          | FF     | ROLL-UP WD ARCHED GARAGE DOOR            | OUTSIDE  | WOOD-CLAD | NO       |
| 20                 | CRAWL SPACE     | J    | 2'-8" X 2'-8"          | FF     | FLUSHED DOOR                             | OUTSIDE  | WOOD-CLAD | NO       |

**Door Notes:**

1. PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
2. PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
3. GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
4. ALL DOOR GLAZING TO BE TEMPERED GLASS.
5. ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
6. DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
7. GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
8. DOOR HINGES TO BE 4.5"x4.5"x5" W. DOOR 7'-0"
9. ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
10. GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
11. THE DOOR FINISH PER CLIENT OR CODG, INC.
12. THE DOOR STILES TO BE PER PLAN
13. CHECK FLOOR PLAN FOR HINGES LOCATION
14. PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.
15. ALUMINUM WOOD-CLAD DOORS AT EXTERIOR

**Window Notes:**

1. PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
2. SCREEN COLOR TO BE SPECIFIED BY CLIENT
3. GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
4. THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, Inc.
5. APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
6. PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
7. ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
8. EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
9. ALL OPERABLE WINDOWS TO HAVE SCREENS, AS SPECIFY BY CLIENT.
10. SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
11. DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
12. PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
13. WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTESION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)
14. ALUMINUM WOOD-CLAD WINDOWS

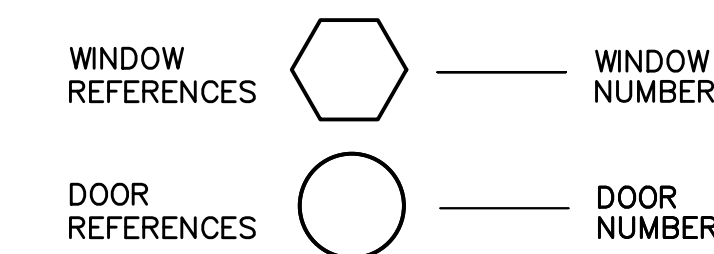
**Note:**

1. FOR HINGE LOCATION & OPENING SWNG DIRECTION SEE ELEVATIONS
2. ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
3. ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

**Tempered Glass Note:**

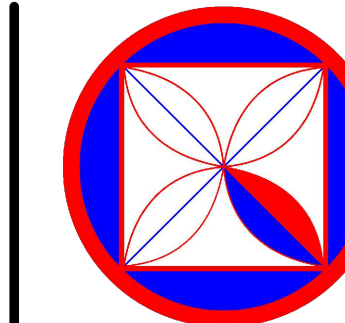
EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:  
A) GLAZING IN DOORS.  
B) GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.  
C) GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:  
1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.  
2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.  
3. THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.  
4. ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.  
D) GLAZING IN GUARDS AND RAILINGS.  
E) GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.  
F) GLAZING ADJACENT TO STAIRS AND RAMPS.

**Symbols**



**Abbreviations**

- N/A NOT APPLICABLE
- G.C. GENERAL CONTRACTOR
- P PAINT
- ST STAIN
- FF FACTORY FINISH
- I.D. INTERIOR DESIGN
- S SEALED
- MFR. MANUFACTURER
- FIN. FINISH
- NAT. NATURAL



**CODG**  
**CLAUDIO ORTIZ DESIGN GROUP, INC**  
 ARCHITECTS  
 OFFICE: 831.626.4144  
 CLAUDIO@CODGNC.COM  
 WWW.CODGNC.COM

**REVIEWS:**

**PROJECT:**  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
**PROJECT NO:**  
 21-02

**ISSUE:**  
 08-30-2022  
 03-07-2024  
**DRAWN BY:**  
 CO

**WINDOW AND DOOR SCHEDULES**

SCALE: 1" = 1/4"

**A6.0**



**BODY COLOR**

MANUFACTURE: BENJAMIN MOORE  
COLOR: OC27 BALBOA MIST  
SHEEN: EGGSHELL



**TRIM COLOR**

MANUFACTURE: SHERWIN WILLIAMS  
COLOR: GAUNLET GRAY 7019  
SHEEN: FLAT



**BULB**

MANUFACTURE: FEIT ELECTRIC  
WATTS: 4.5 WATTS  
LUMENS: 250  
BULB TYPE: E26 BASE



**FIXTURE A**

MANUFACTURE: DESIGNERS FOUNTAINS  
T24 COMPLIANT: YES  
COLOR: BRONZE  
WATTS: SEE LIGHT BULB  
LUMENS: SEE LIGHT BULB  
BULB TYPE: STANDARD  
DIMENSIONS: 110.25"H X 11"W X 13.5"  
DARK SKY: YES



**FIXTURE B**

MANUFACTURE: KICHLER  
T24 COMPLIANT: YES  
COLOR: BRONZE  
WATTS: 4.3 WATTS  
LUMENS: 294  
BULB TYPE: LED  
DIMENSIONS: 22"H X 6.25"W



**FIXTURE C**

MANUFACTURE: ELLINGTON  
T24 COMPLIANT: YES  
COLOR: OIL RUBBED BRONZE  
WATTS: SEE LIGHT BULB  
LUMENS: SEE LIGHT BULB  
BULB TYPE: STANDARD  
DIMENSIONS: 16.25"H X 9"W X 11.75"  
DARK SKY: YES

**EXTERIOR LIGHTING NOTES**

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



**SKYLIGHT**

MANUFACTURE: VELUX  
FINISH: MATCH ROOF MATERIAL  
OPERATION: FIXED



**NEW 4-FOOT FENCE**

MATERIAL: REDWOOD  
FINISH: NATURAL  
HEIGHT: 4-FT.



**DRIVEWAY**

MANUFACTURE: CALSTONE  
COLOR: OAK BARREL GRAY  
INSTALLATION: SET ON SAND



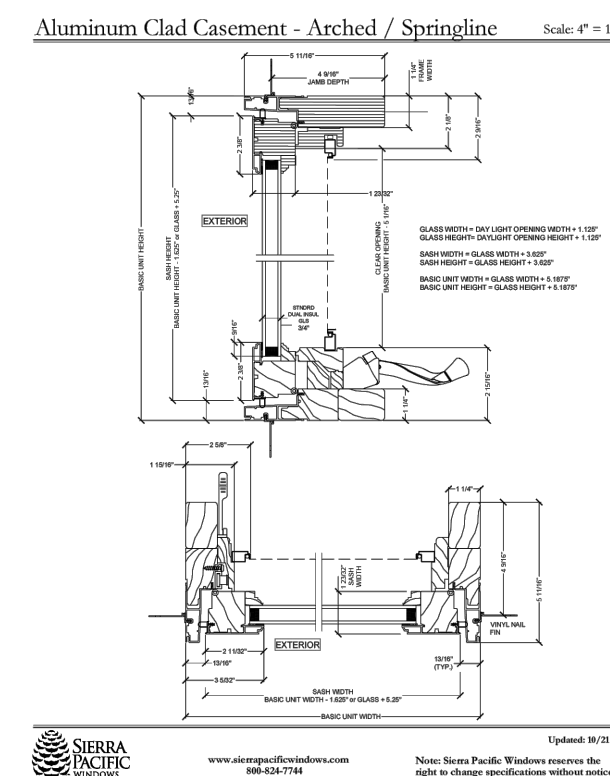
**PATIO**

MANUFACTURE: CARMEL STONE  
COLOR: NATURAL  
INSTALLATION: SET ON SAND



**WALKWAY**

MANUFACTURE: CARMEL STONE  
COLOR: NATURAL  
INSTALLATION: SET ON SAND



**WINDOW**

MATERIAL: SIERRA PACIFIC  
FINISH: WOOD-CLAD  
OPERATION: CASEMENT



**WINDOW**

MATERIAL: SIERRA PACIFIC  
FINISH: WOOD-CLAD  
OPERATION: CASEMENT



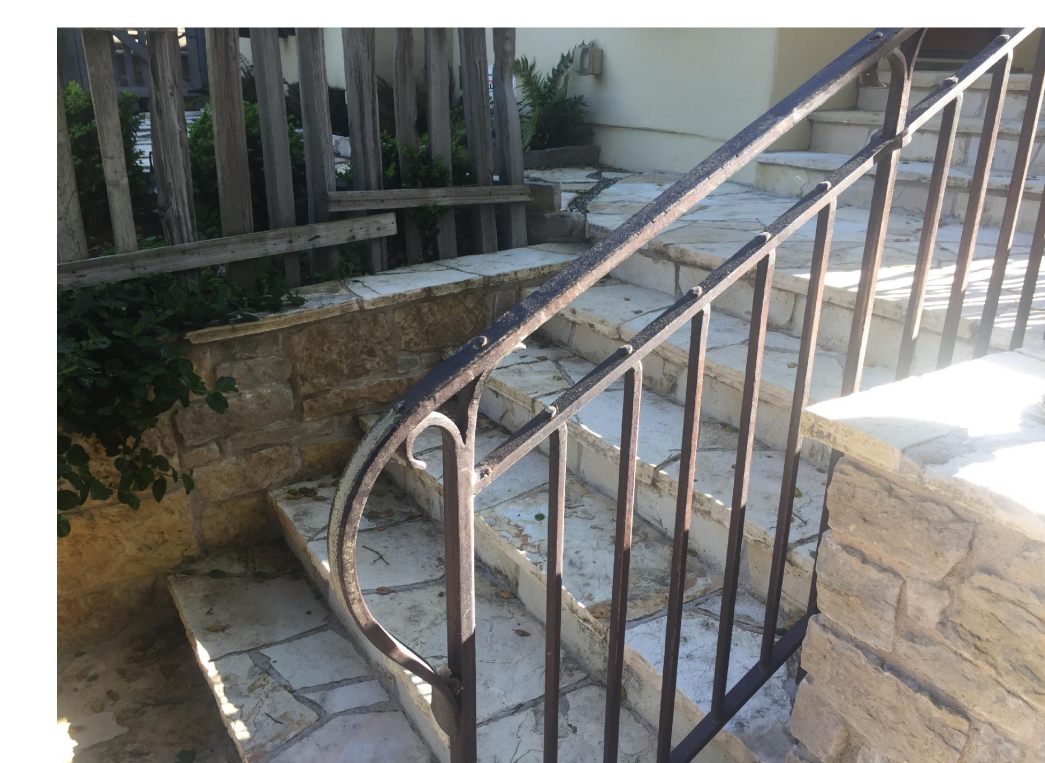
**NEW 6-FOOT FENCE**

MATERIAL: REDWOOD  
FINISH: NATURAL  
HEIGHT: 6-FT.



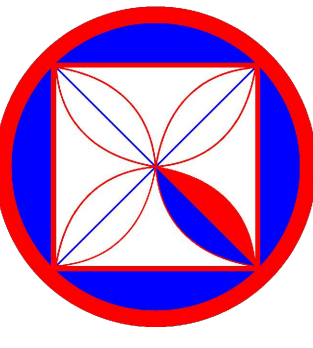
**BARREL CLAY TILE ROOF**

MANUFACTURE: REDLAND PRODUCTS



**GUARDRAIL**

MANUFACTURE: CUSTOM  
COLOR: BRONZE  
MATERIAL: ROUGH IRON, GALV.



**CODG**  
CLAUDIO ORTIZ DESIGN GROUP, INC  
OFFICE: 831.626.4144  
WWW.CODGINC.COM

THIS DOCUMENT IS THE PROPERTY OF CODG. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF CODG. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. © 2024 CODG

**REVIEWS:**

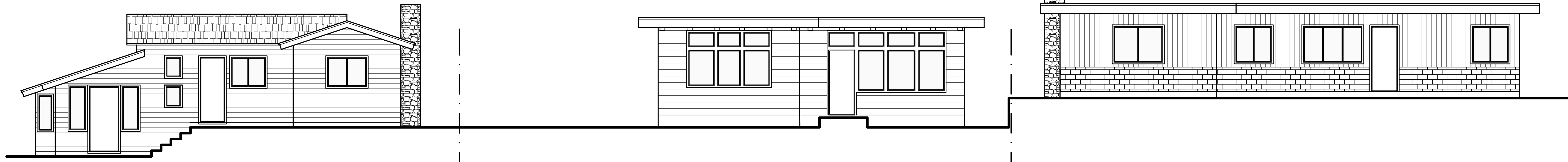
PROJECT: 1540MESCALIST LLC  
JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
BLOCK: 128 LOTS: 5  
APN: 010-073-005  
PROJECT NO. 21-02

ISSUE: 08-30-2022  
03-08-2024  
DRAWN BY: CO

**MATERIALS**

SCALE: 1" = 1/4"

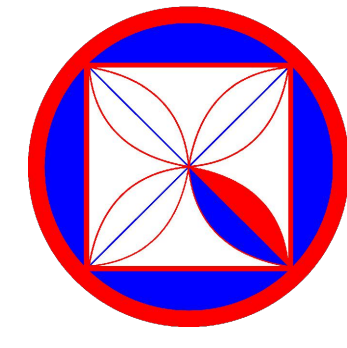
**A7.0**



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC  
 1540 MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK: 128 LOTS: 5  
 APN: 010-073-005  
 PROJECT NO: 21-02

THE SERVICES, REPRESENTATIONS AND GRAPHICAL PRESENTATIONS CONTAINED HEREIN ARE THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND LOCATION AND NOT FOR CONSTRUCTION OR FOR ANY OTHER PROJECT. ANY REUSE OR MODIFICATION OF THESE SERVICES OR PRESENTATIONS WITHOUT THE WRITTEN CONSENT OF CLAUDIO ORTIZ DESIGN GROUP, INC. IS STRICTLY PROHIBITED. © 2021 CLAUDIO ORTIZ DESIGN GROUP, INC.

REVIEWS:

PROJECT:  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK: 128 LOTS: 5  
 APN: 010-073-005  
 PROJECT NO:  
 21-02

ISSUE:  
 08-30-2022

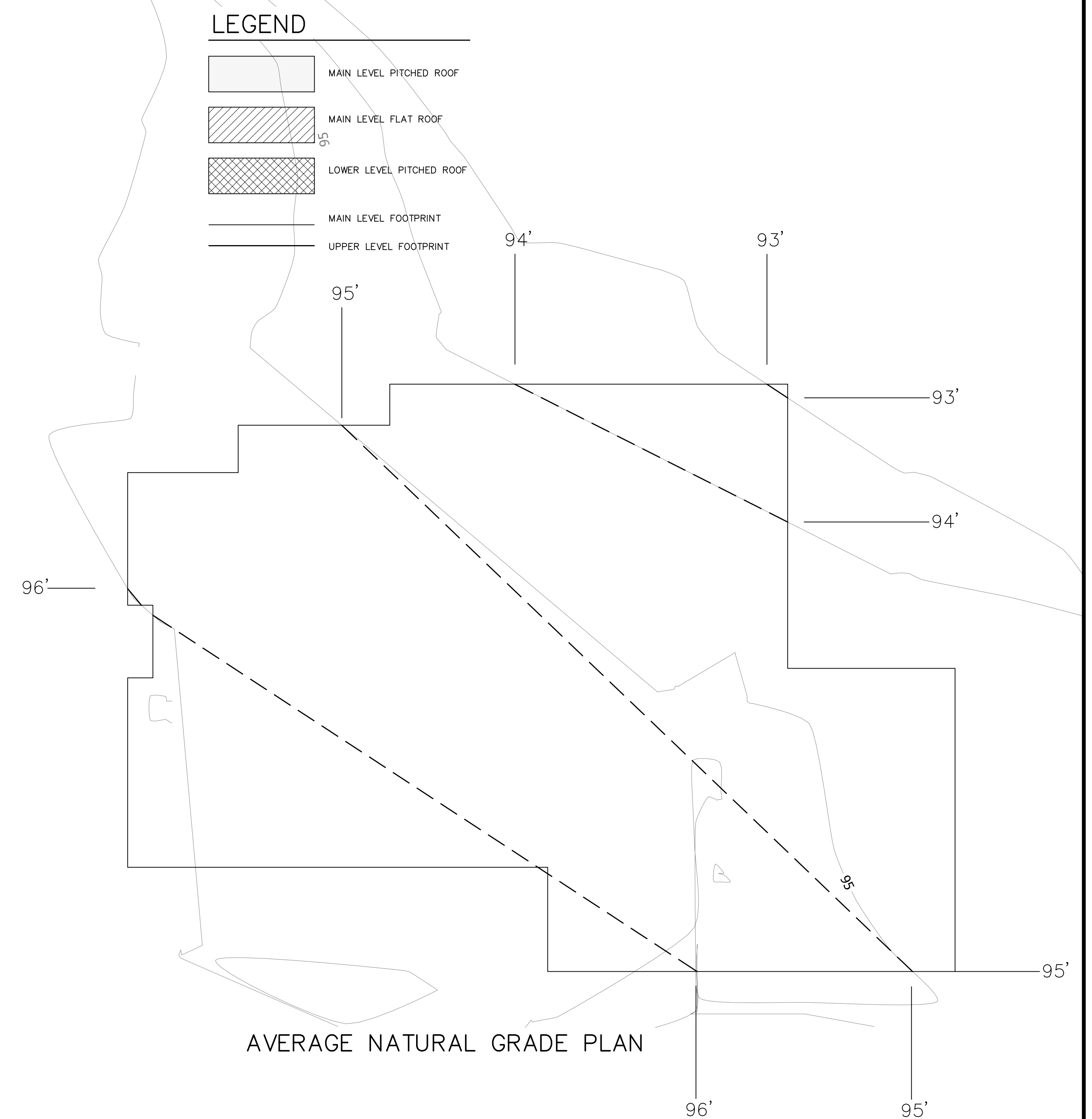
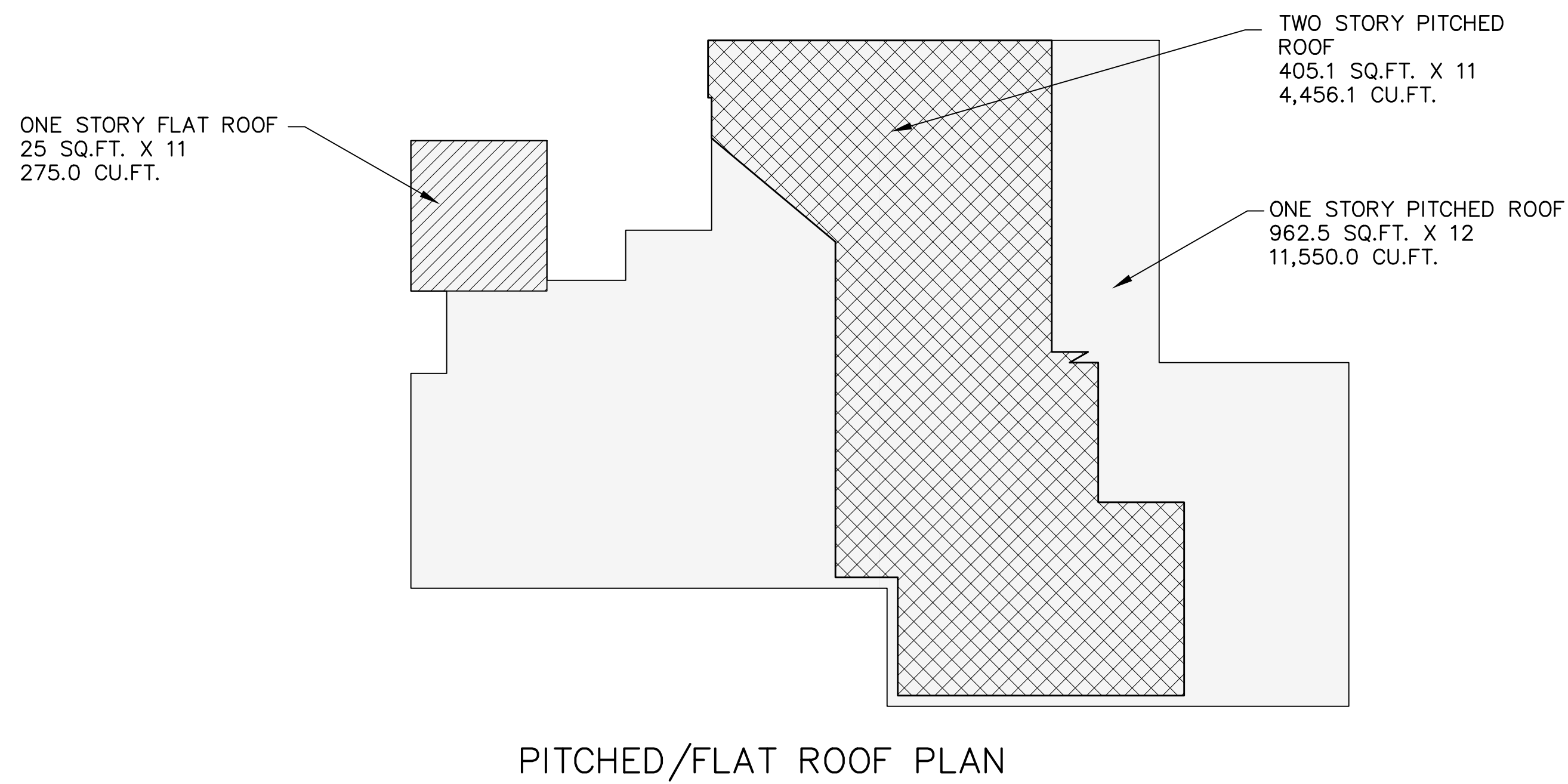
DRAWN BY:  
 CO

STREETSCAPE

SCALE: 1" = 3/16"

A8.0





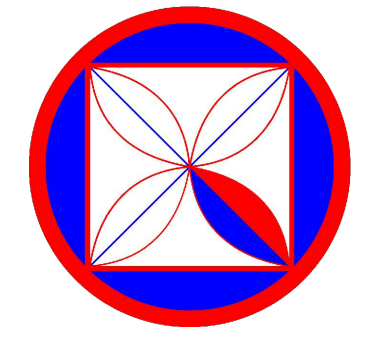
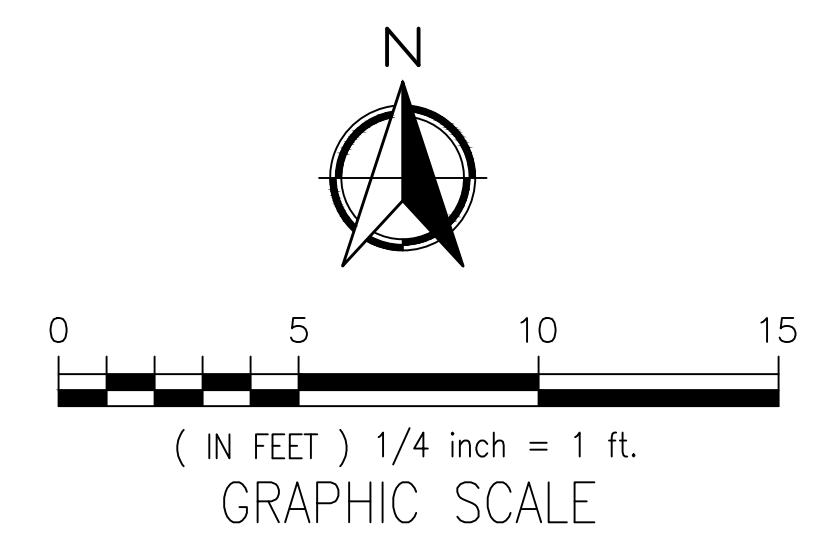
**VOLUME ANALYSIS**

|                   |               |                 |
|-------------------|---------------|-----------------|
| MAIN LEVEL PITCH  | 954.2 SF X 12 | 11,450.4 CU.FT. |
| MAIN LEVEL FLAT   | 25.0 SF X 11  | 275.0 CU.FT.    |
| LOWER LEVEL PITCH | 401.8 SF X 11 | 4,419.8 CU.FT.  |
| VOLUME ALLOWED    |               | 16,145.2 CU.FT. |
| VOLUME PROPOSED:  |               | 13,435.8 CU.FT. |

**AVERAGE NATURAL GRADE**

| DWELLING AVERAGE NATURAL GRADE |      |        | 95.2 FT |
|--------------------------------|------|--------|---------|
| ELEV.                          | LINE | LENGTH | TOTAL   |
| 93 FT                          | 0    | 1.3'   | 0       |
| 94 FT                          | 1    | 16.1'  | 16.1'   |
| 95 FT                          | 2    | 41.7'  | 83.4'   |
| 96 FT                          | 3    | 34.3'  | 102.9'  |
| TOTAL                          |      | 93.4'  | 202.4'  |

MATH:  $93.4 / 202.4 = 2.2$   
 FACTOR: = 2.2  
 A.N.G. = 93 FT + 2.2 FACTOR = 95.2 FT



**CODG**  
 CLAUDIO ORTIZ DESIGN GROUP, INC.  
 1540 MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 OFFICE: 831.626.4144  
 CLAUDIO@CODGINC.COM  
 WWW.CODGINC.COM

REVISIONS:

PROJECT:  
 1540MESCALIST LLC  
 JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
 BLOCK:128 LOTS:5  
 APN: 010-073-005  
 PROJECT NO:  
 21-02

ISSUE:  
 08-30-2022  
 03-08-2024

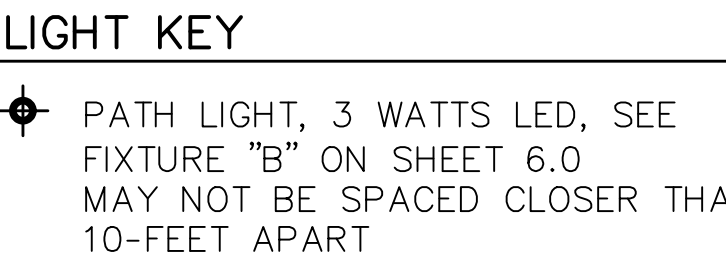
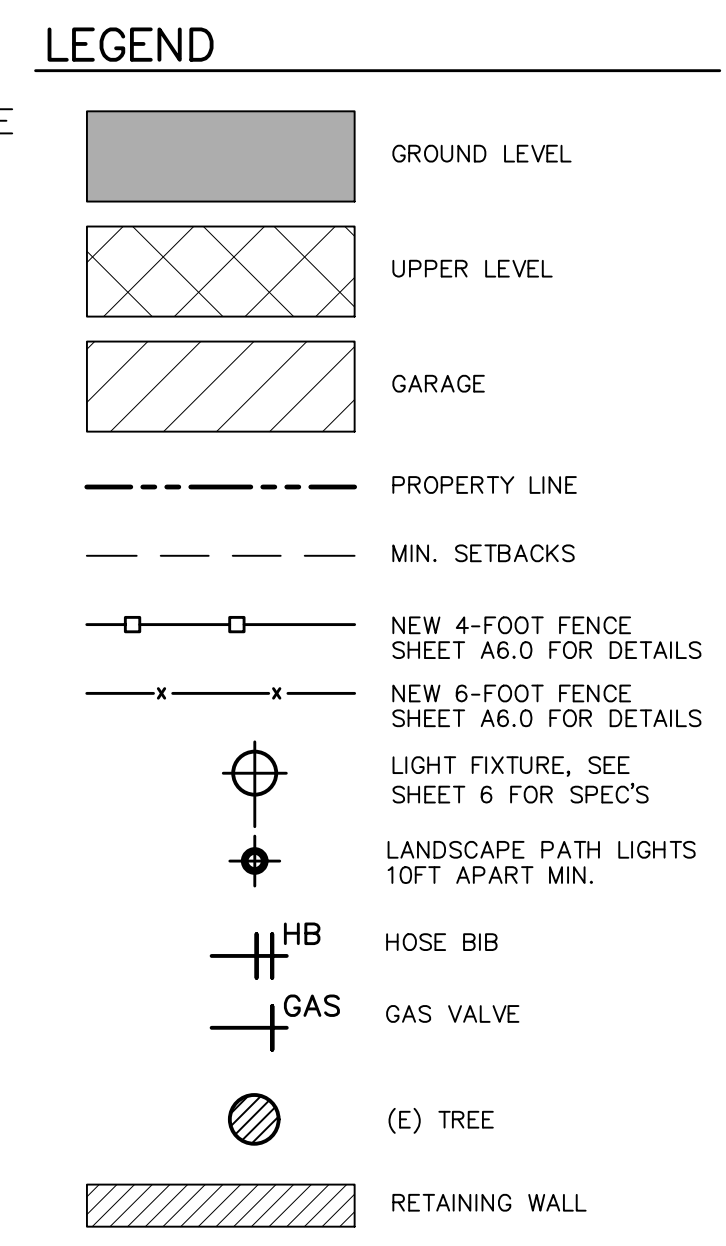
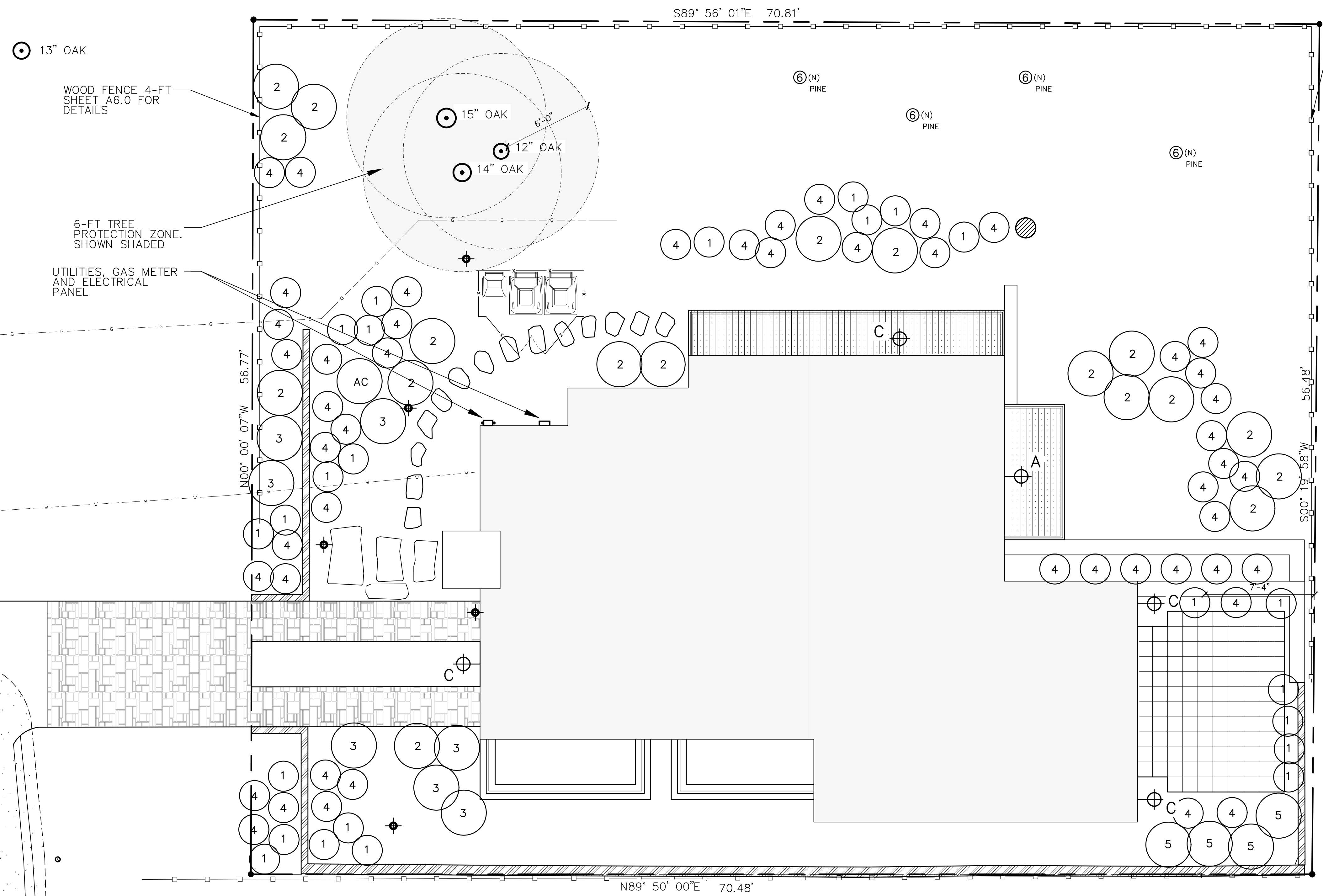
DRAWN BY:  
 CO

VOLUME ANALYSIS  
 AND ANG PLAN

SCALE: 1" = 1/4"

**A9.0**

JUNIPERO STREET



### IRRIGATION NOTES

- NO TURF TO BE INSTALLED
- COMPOST AT THE RATE OF 4 CUBIC YARD PER 1,000 SQ.FT. TO BE INCORPORATED TO A DEPTH OF 6" INTO THE LANDSCAPE AREA
- ALL LANDSCAPE AREA TO RECEIVE 3" OF TOP DRESSING MULCH
- IRRIGATION SYSTEM TO HAVE AN AUTOMATIC RENEGOTIATION CONTROLLER THAT HAS A SOIL MOISTURE SENSING DEVICE AND RAIN SENSOR.
- IRRIGATION CONTROLLER TO HAVE A BATTERY BACKUP AN NON-VOLATILE MEMORY.
- IRRIGATION SYSTEM TO BE SUBSURFACE POINT OF DRIP. VALVES TO HAVE PRESSURE REGULATORS TO SYSTEM WITHIN MANUFACTURE'S PRESSURE RANGE. SHUT OFF VALVES TO BE CLOSE TO POINT OF CONNECTION.

### EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

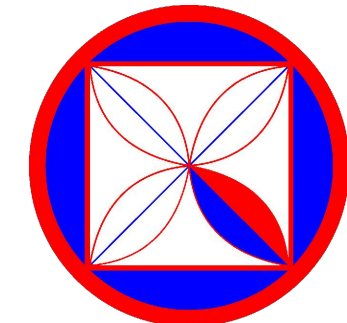
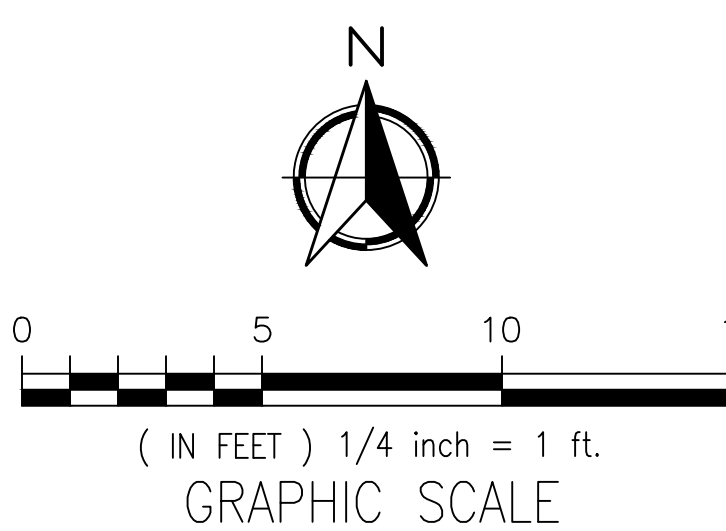
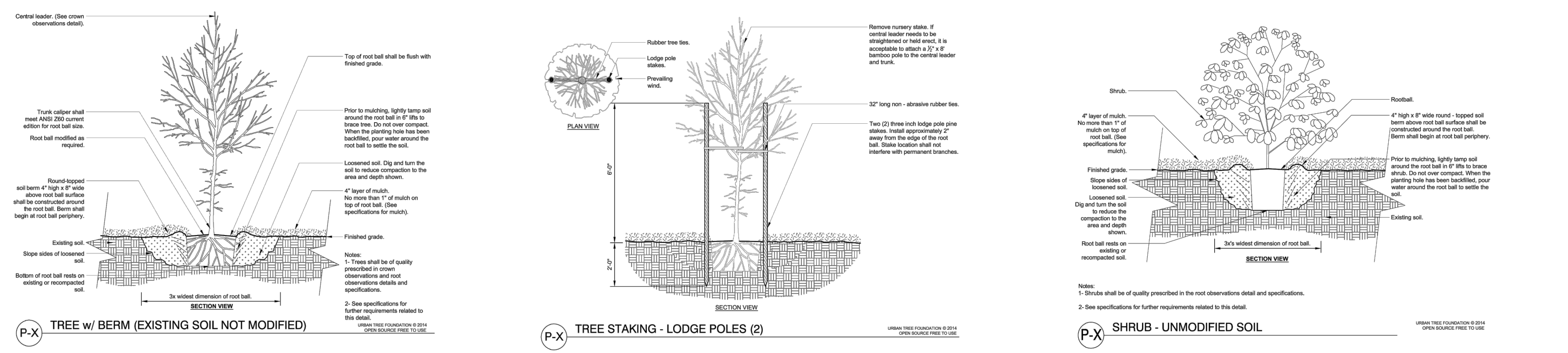
### TREE PRESERVATION & TREE PROTECTION

- PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
- EXCAVATION WITHIN 6-FEET OF A TREE TRUNK IS NOT PERMITTED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
- IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
- IF ROOTS ARE LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.
- ALL OAKS ARE TO BE TREATED WITH PACLOBUTAZOL BEFORE WORK MAY BEGIN AT THE SITE INCLUDING DEMOLITION.

### NOTE:

- CITY FORESTER REQUIREMENT:
- 6FT SETBACK FROM TREE TO BUILD FOOTPRINT AND STRUCTURE.
  - EXCAVATION WITHIN THE STRUCTURAL ROOT ZONES, 15FT AREA AROUND TREES MIN., SHALL BE DUG BY HAND OR PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
  - PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS. THE STORAGE AREA, CONCRETE WASHOUT AND PAINT AND SOLVENT CLEAN OUT AREA NEED TO BE MOVED.
  - ALL MEASUREMENTS FROM THE SETBACK LINE TO PROPERTY BOUNDARY LINE SHALL BE MEASURED FROM THE FINISHED EXTERIOR SURFACE OF THE STRUCTURE.
  - PLANT MATERIAL LOCATED IN AREAS VISIBLE FROM THE STREET R OTHER PUBLIC PLACES SHALL BE ARRANGED IN A RELAXED INFORMAL PATTERN CONSISTENT WITH THE CHARACTER OF CARMEL FOREST. FORMAL UNNATURAL ARRANGEMENTS SHALL BE AVOIDED EXCEPT FOR FOCAL POINTS.
  - ERADICATE ANY IVY FROM THE LOT AND PLANTS LISTED ON THE CALIFORNIA NOXIOUS WEED LIST.
  - 50% OF THE PLANTS VISIBLE FROM THE STREET ARE TO BE CALIFORNIA NATIVE.

| No. | BOTANICAL NAME        | COMMON NAME                   | SIZE   |
|-----|-----------------------|-------------------------------|--------|
| 1   | RHAMNUS CALIFORNIA    | RHAMNUS CALIFORNIA "EVE CASE" | 5 GAL  |
| 2   | DONONAEA ATROPURPUREA | DONONAEA ATROPURPUREA         | 5 GAL  |
| 3   | APAGANTHUS            | APAGANTHUS "AFRICANUS BLUE"   | 5 GAL  |
| 4   | ARCTOSTAPHYLOS        | ARCTOSTAPHYLOS "PACIFIC MUST" | 5 GAL  |
| 5   | LOMANDRA LONGIFOLIA   | LOMANDRA LONGIFOLIA BREEZE    | 5 GAL  |
| 6   | PINUS RADIATA         | PINE TREE                     | 15 GAL |



**CODG**  
CLAUDIO ORTIZ DESIGN GROUP, INC.  
1540 MESCALIST LLC  
JUNIPERO 3 NE OF 12TH, CARMEL CALIF.  
BLOCK 128 LOTS 5  
OFFICE: 831.676.4146  
CLAUDIO@CODG.COM  
WWW.CODG.COM

REVIEWS:  
PROJECT NO. 21-02

ISSUE: 08-30-2022  
03-08-2024  
DRAWN BY: CO

LANDSCAPE PLAN

SCALE: 1" = 1/4"

L1.0

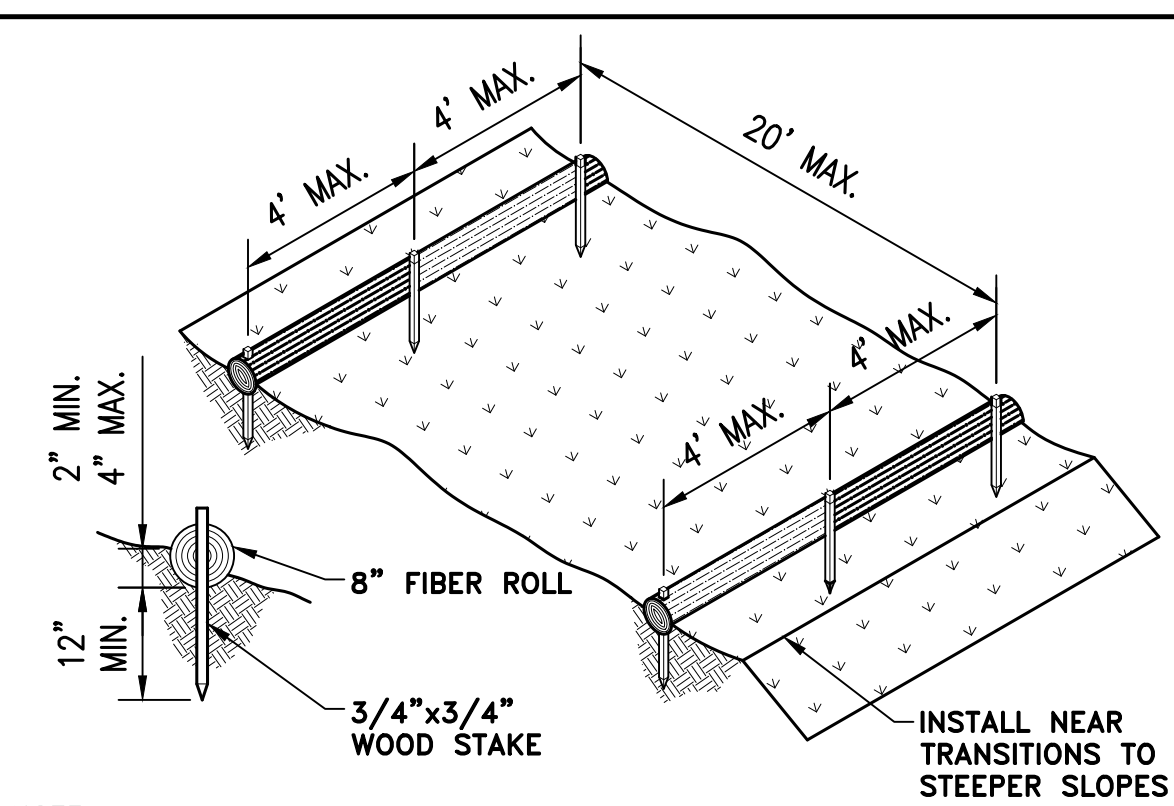
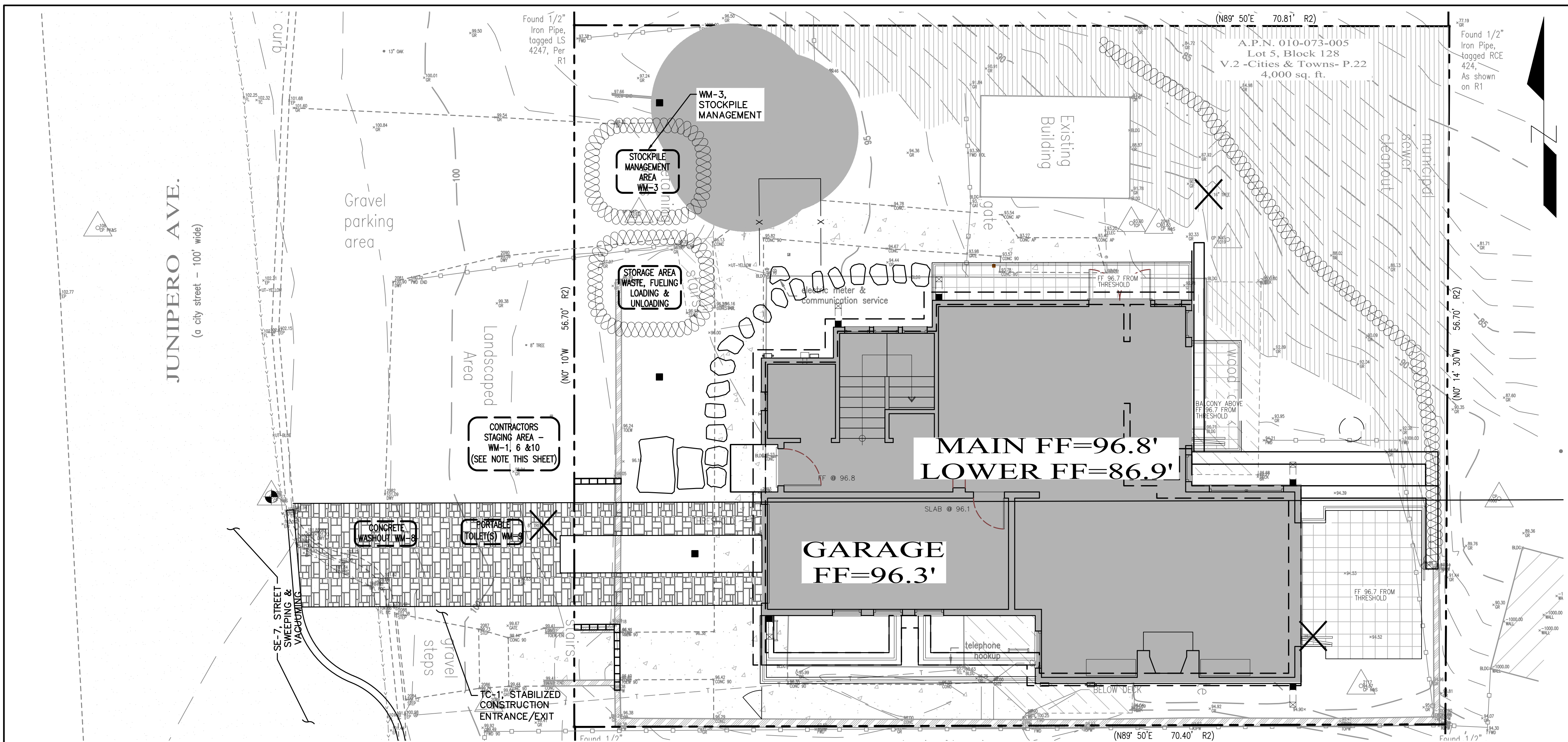






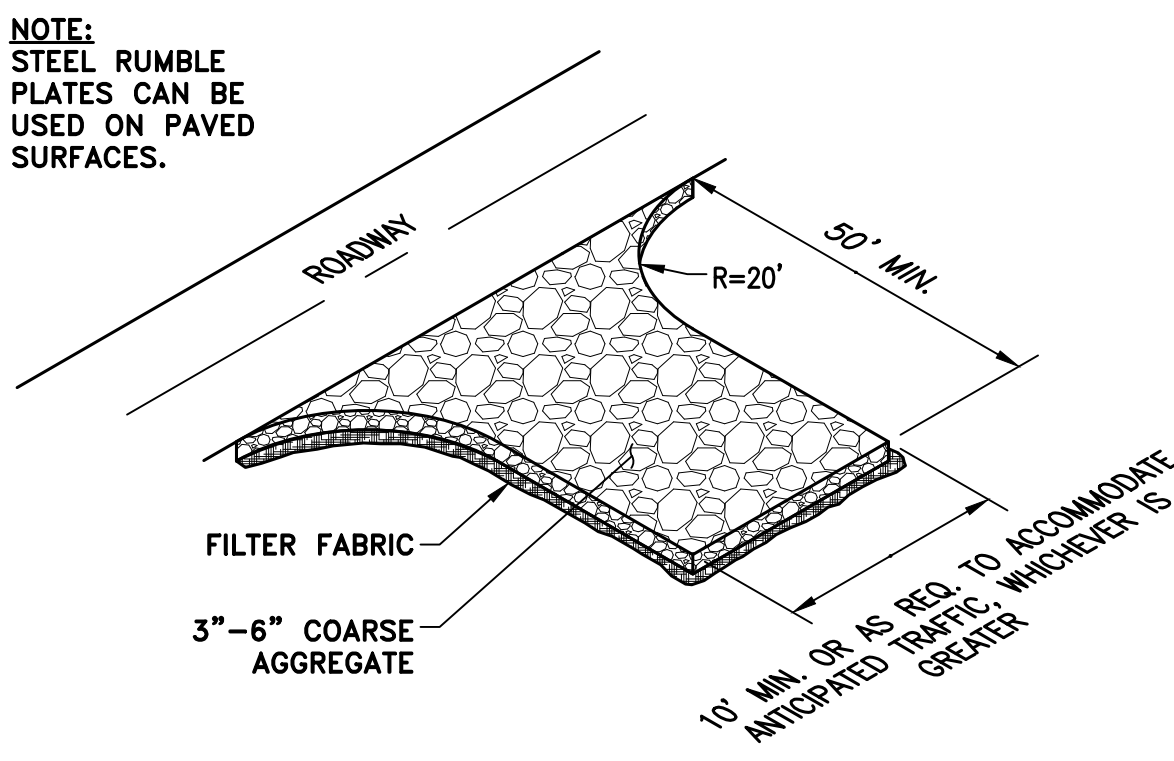


Drawing file: Z:\Projects\122160\_CDD06 - 1540Mescal\Draw\122160\_Abrms.dwg  
 Plotfile: Jul 08, 2024 - 2:21pm  
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO REUSE, REPRODUCTION, OR PUBLICATION IN WHOLE OR IN PART, IS PERMITTED WITHOUT THE WRITTEN CONSENT OF C3 ENGINEERING.

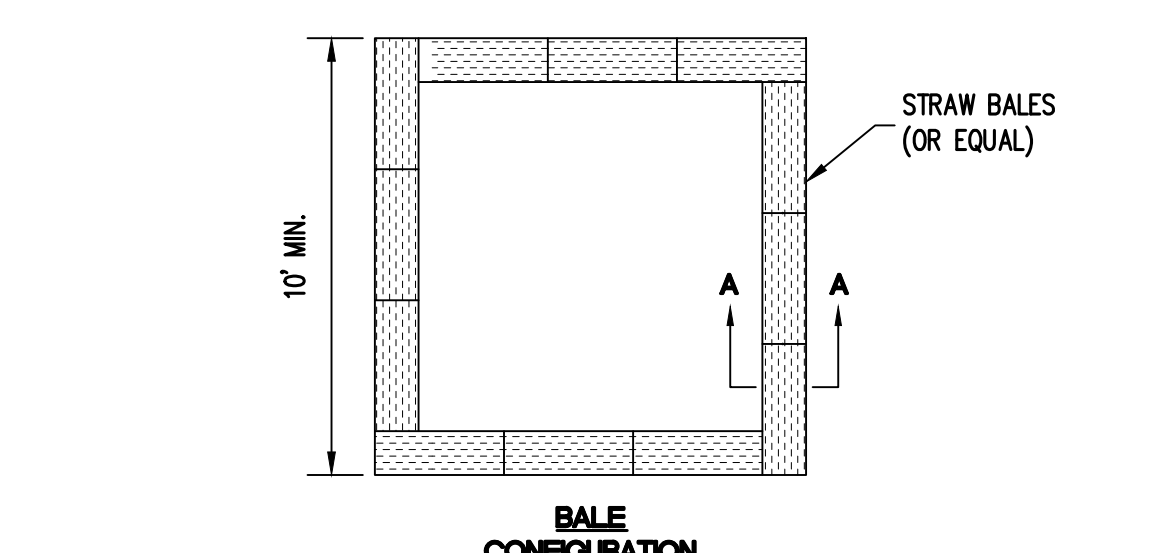


NOTE: INSTALL FIBER ROLL ON LEVEL CONTOUR. ON SLOPES BETWEEN 25-50% SHEET FLOW LENGTH NO TO EXCEED 15 FEET.

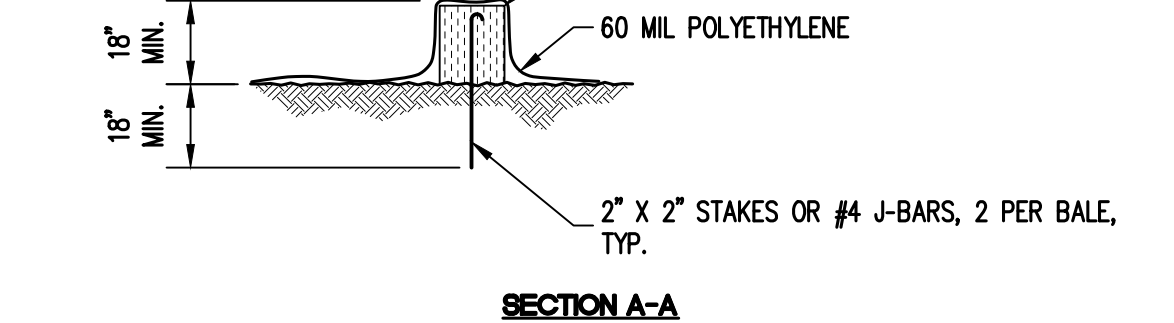
**A** FIBER ROLL  
C5 NTS



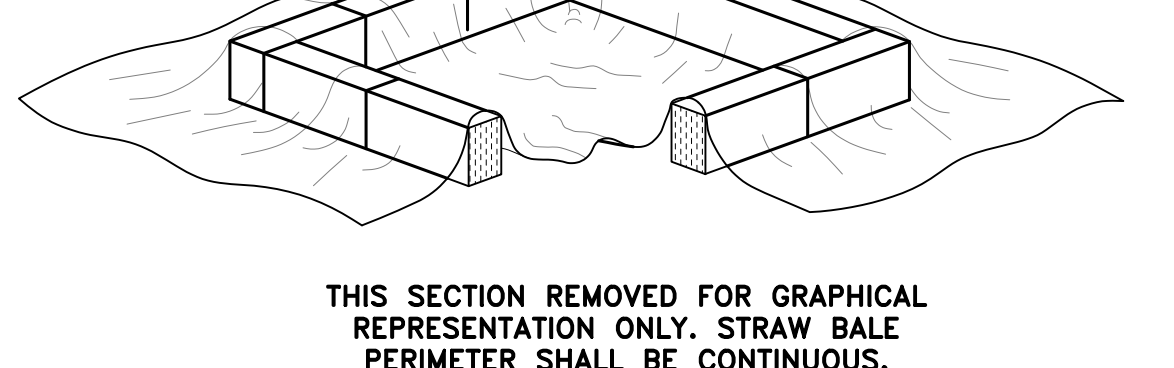
**B** STABILIZE ENTRANCE  
C5 NTS



**C** CONCRETE WASHOUT  
C5 NTS



**D** DROP INLET PROTECTION  
C5 NTS



**E** STOCK PILE COVERING  
C5 NTS



**F** CONCRETE WASHOUT  
C5 NTS

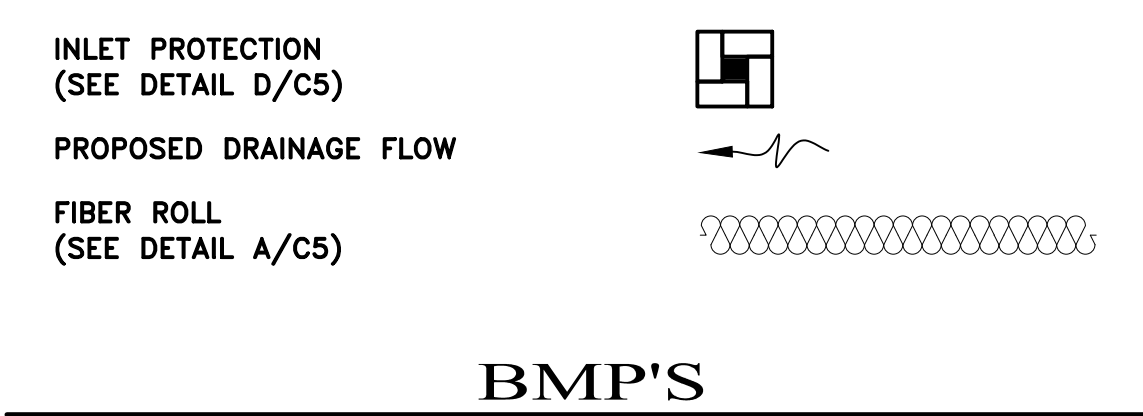
**EROSION CONTROL NOTES**

- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
  - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
  - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
  - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
  - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
  - DURING WINTER OPERATIONS (BETWEEN OCTOBER 1 AND APRIL 30), THE FOLLOWING MEASURES MUST BE TAKEN:
    - VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
    - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
    - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
    - D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (GRADING/EROSION ORD. 2806-16.12.090)
    - E) THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
- ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED;
- ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED;
- SITE BMPs ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY
- STABILIZATION BMPs INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.
- BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY, FACT SHEETS, AND DETAILS FOR THE BMPs SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.

**STORMWATER MANAGEMENT**

- THE FOLLOWING STANDARD BMPs SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY REGIONAL STORMWATER MANAGEMENT PROGRAM:
- PAINTING:**
- MINIMIZE USE OF OIL-BASED PAINTS
  - STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
  - SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
  - NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
- PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:**
- STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
  - CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
  - IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
  - ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.
- READY-MIXED CONCRETE:**
- HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
  - IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
  - PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
  - ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING.
  - BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
- EARTH MOVING/GRADING:**
- REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
  - PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN
  - PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
  - USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
  - COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
  - SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.
- REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.
- NOTE:**
- CONTRACTORS STAGING AREA DESIGNED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT. IF STAGING IS REQUIRED IN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT AND PAY ALL APPLICABLE FEES. ALL BMPs INCLUDING CONTAINMENTS SHALL APPLY TO THE PUBLIC RIGHT OF WAY AND SHALL BE KEPT IN FORCE AT ALL TIMES.
  - DISCHARGE FROM DETERMINING OPERATIONS SHALL NOT BE ALLOWED INTO THE STORM DRAIN SYSTEM AND WASTEWATER SHALL BE MANAGED ON SITE OR BE FILTERED AND DIRECTED TO THE SANITARY SEWER UNDER PERMIT BY THE CARMEL AREA WASTEWATER DISTRICT (CAWD). THE CONTRACTOR SHALL CONTACT CAWD PRIOR TO ANY SITE DETERMINING EFFORTS.
- REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

**LEGEND**



**BMP'S**

- SEDIMENT CONTROL:**
- SE-1 SILT FENCE
  - SE-2 SEDIMENT BASIN
  - SE-3 SEDIMENT TRAP
  - SE-5 FIBER ROLL
  - SE-6 GRAVEL BAG BERM
  - SE-7 STREET SWEEPING AND INCLUING
  - SE-8 SANDBAG BARRIER
  - SE-9 STRAW BALE BARRIER
  - SE-10 STORM DRAIN
  - SE-13 COMPOST SOCKS AND BERMS
  - SE-14 BIOFILTER BAGS
- EROSION CONTROL:**
- EC-1 SCHEDULING
  - EC-2 PRESERVATION OF EXISTING VEGETATION
  - EC-8 WOOD MULCHING
  - EC-16 NON-VEGETATIVE STABILIZATION
- TRACKING CONTROL:**
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
  - TC-3 ENTRANCE/OUTLET TIRE WASH
- WIND EROSION CONTROL:**
- WE-1 WIND EROSION CONTROL
- NON-STORM WATER MANAGEMENT:**
- NS-1 WATER CONSERVATION PRACTICES
  - NS-2 DEWATERING OPERATIONS
  - NS-3 PAVING AND GRINDING OPERATIONS
  - NS-6 ILLICIT CONNECTION/DISCHARGE
  - NS-7 POTABLE WATER/IRRIGATION
  - NS-8 VEHICLE AND EQUIPMENT CLEANING
  - NS-9 VEHICLE AND EQUIPMENT FUELING
  - NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
  - NS-12 CONCRETE CURING
  - NS-13 CONCRETE FINISHING
  - NS-14 MATERIAL AND EQUIPMENT USE
- WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL:**
- WM-1 MATERIAL DELIVERY AND STORAGE
  - WM-2 MATERIAL USED
  - WM-3 STOCKPILE MANAGEMENT
  - WM-4 SPILL PREVENTION AND CONTROL
  - WM-5 SOLID WASTE MANAGEMENT
  - WM-6 HAZARDOUS WASTE MANAGEMENT
  - WM-7 CONTAMINATED SOIL MANAGEMENT
  - WM-8 CONCRETE WASTE MANAGEMENT
  - WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
  - WM-10 LIQUID WASTE MANAGEMENT

**EROSION CONTROL PLAN**  
1"=5'

MADE IN THE USA  
 REV. DATE DESCRIPTION  
 BY

---

**C3 ENGINEERING INCORPORATED**  
 Civil Engineering Land Development  
 Stormwater Management  
 126 Bonifacio Place, Suite C, Monterey, CA 93940  
 Phone: (831) 647-1192 Fax (831) 647-1194  
 mail@C3Engineering.net

---

**REGISTERED PROFESSIONAL ENGINEER**  
 J. CAMPO  
 No. 61390  
 Exp. 06/30/25  
 CIVIL  
 STATE OF CALIFORNIA

---

**EROSION AND SEDIMENT CONTROL PLAN**  
**RESIDENTIAL DEVELOPMENT**  
**1540 Mescal Street LLC**  
**APN 010-073-005**  
 Project Location: JUNIPERO 3 NE of 12th  
 PREPARED FOR: 1540 Mescal Street LLC

---

SCALE: AS NOTED  
 DATE: 06-03-24  
 DESIGN BY: FJC  
 DRAWN BY: ECH  
 CHECKED BY: FJC  
 SHEET NUMBER:  
**C5**  
 OF 6 SHEETS  
 PROJECT# 122-160

