



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 23238

**Owner Name:** HANSON MARIE & DEIRDRE O BRIEN TRS

**Case Planner:** Marnie R. Waffle, AICP, Principal Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 09/22/2023

**Project Location:** Dolores 3 NW of 13th

**APN #:** 010171004000      **BLOCK/LOT:** 136/13 & 15

**Applicant:** Matt Evans, Architect

**Project Description:** This approval of Design Study application DS 23-238 (Hanson) authorizes a 260-square-foot expansion of the basement level approved under Design Study 22-300 (Hanson) and a change in the approved asphalt shingle to slate tile by California Slate Company in "Del Castillo Gray" or similar for a single-family residence located on Dolores Street 3 northwest of 13th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Richard Beard Architects stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval.

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<b>Authorization.</b> This approval of Design Study application DS 23-238 (Hanson) authorizes a 260-square-foot expansion of the basement level approved under Design Study 22-300 (Hanson) and a change in the approved asphalt shingle to slate tile by California Slate Company in “Del Castillo Gray” or similar for a single-family residence located on Dolores Street 3 northwest of 13 <sup>th</sup> Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Richard Beard Architects stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	<b>Permit Validity.</b> In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.
5.	<p><b>Setback and Height Certifications.</b> A State licensed surveyor shall survey and certify the following in writing:</p> <ul style="list-style-type: none"> <li>• The footing locations are in conformance with the approved plans prior to footing/foundation inspection;</li> <li>• The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness.</li> </ul> <p>Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.</p>
6.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to

	incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	<b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
8.	<p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning &amp; Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
9.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
10.	<b>Cultural Resources.</b> Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall

	notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
11.	<b>Conditions of Approval.</b> Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.
<b>Landscape Conditions</b>	
12.	<b>Tree Removal Prohibited.</b> Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
13.	<p><b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>• Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.</li> <li>• Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>• Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or</li> </ul>



	<p>another method that does not sever roots.</p> <ul style="list-style-type: none"> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> <li>• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.</li> </ul>
14.	<p><b>Foundation Work Near Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.</p>
<b>Special Conditions</b>	
15.	<p><b>Conditions of Approval Acknowledgement.</b> Prior to the issuance of a building permit revision, a completed <b>Conditions of Approval Acknowledgment</b> form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.</p>

Acknowledgment and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date





# DOLORES STREET

Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

BUILDING PERMIT REV #2  
06.20.2023

OWNER:  
MITCHE HANSON  
DOLORES ST. 3NW OF 13TH  
CARMEL, CA 93921  
TEL: 408.425.3886  
EMAIL: MITCHEHANSON@ME.COM

ARCHITECT:  
RICHARD BEARD ARCHITECTS  
2475 THIRD ST., STUDIO 252  
SAN FRANCISCO, CA 94107  
TEL: 415.458.2600  
CONTACT: JAKE TAYLOR  
EMAIL: JAKE@RICHARD-BEARD.COM

LANDSCAPE ARCHITECT:  
GROUND STUDIO  
537 HOUSTON STREET  
MONTEREY, CA 93940  
TEL: 831.655.429  
CONTACT: KATE HAMILTON  
EMAIL: KATE@GROUNDSTUDIO.COM

CIVIL:  
L&S ENGINEERING  
2460 GARDEN ROAD, SUITE G  
MONTEREY, CA 93940  
TEL: 831.655.2723  
CONTACT: MARK STERNER  
EMAIL: MARK@LANDSENGINEERS.COM

LIGHTING DESIGNER:  
TUCCI LIGHTING  
660 YORK STREET SUITE 217  
SAN FRANCISCO, CA 94110  
TEL: 415.254.1943  
CONTACT: MARISSA TUCCI  
EMAIL: MARISSA@TUCCILIGHTING.COM

STRUCTURAL:  
STRANDBERG ENGINEERING  
1511 15th STREET  
SAN FRANCISCO, CA 94103  
TEL: 415.778.8726  
CONTACT: DAVID STRANDBERG  
EMAIL: DAVID@STRANDBERGENG.COM

MECHANICAL PLUMBING & ELECTRICAL  
AXIOM ENGINEERING  
22 LOWER RAGSDALE SUITE A  
MONTEREY, CA 93940  
TEL: 831.649.8000  
CONTACT: BILL ESTES  
EMAIL: BILLE@AXIOMENGINEERS.COM

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle

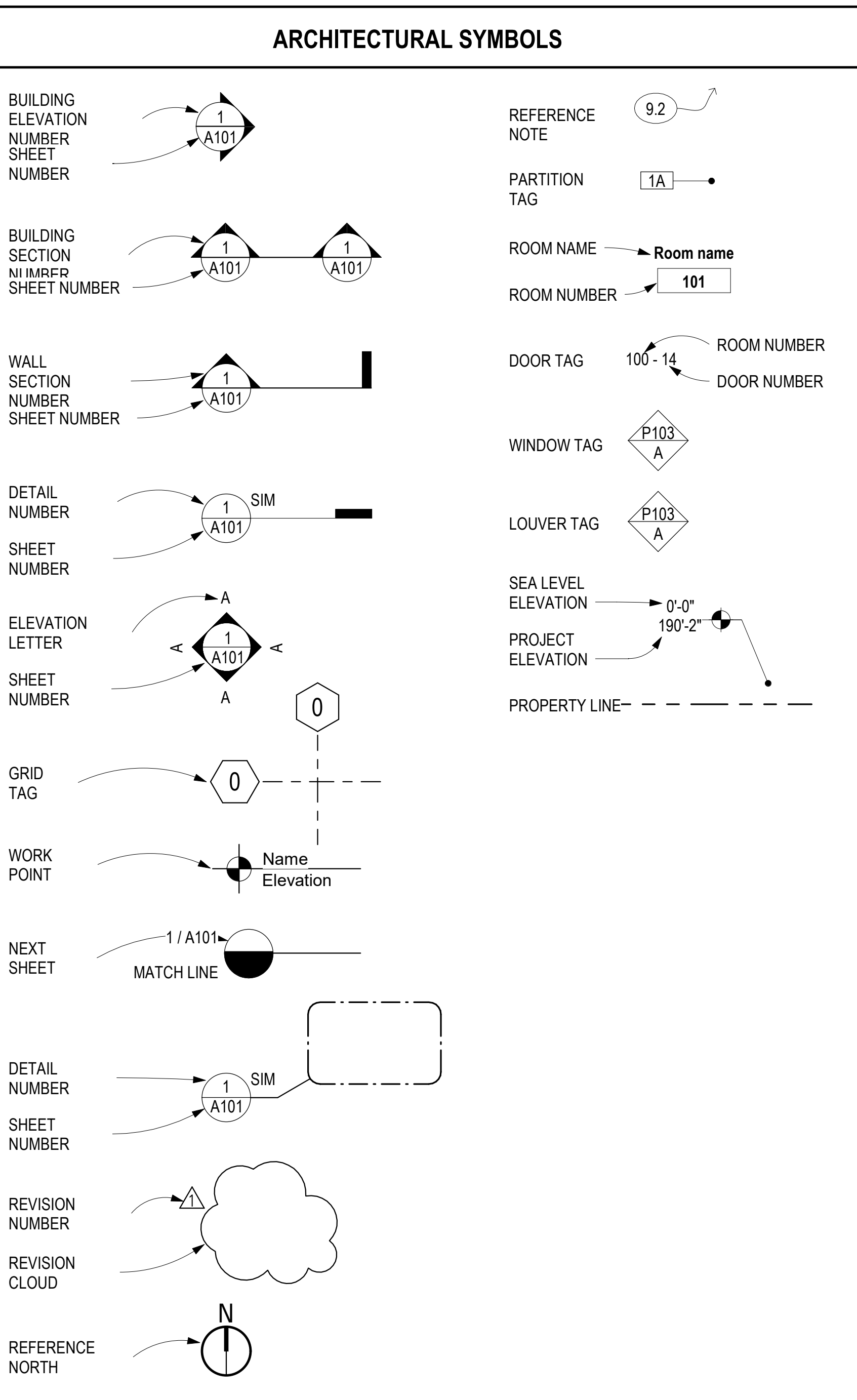
\*Expansion of basement level and change  
in roof material.



7/3/2023 11:09:25 AM C:\Users\khatti\Documents\2114 - Dolores St. Central I.L. Merge\AKG.vrt

COPYRIGHT © 2022 RICHARD BEARD ARCHITECTS

ABBREVIATIONS			
#	NUMBER OR POUND	GYP.	GYPSUM
@	AT	H.B.	HOSE BIBB
Ø	DIAMETER	H.C.	HOLLOW CORE OR HANDICAP
A.C.	ASPHALTIC CONCRETE	H.M.	HOLLOW METAL
A.D.	AREA DRAIN	H.R.	HANDRAIL
A.H.U.	AIR HANDLING UNIT	HD.	HEAD
A.O.	ACOUSTICAL	HDR.	HEADER
ADDL.	ADDITIONAL	HDW.	HARDWARE
ADJ.	ADJUSTABLE	HORIZ.	HORIZONTAL
ADJA	ADJACENT	HR.	HOSE
AF	ABOVE FINISH FLOOR	HT.	HEIGHT
AGGR	AGGREGATE	I.D.	INSIDE DIAMETER
.		IN. -"	INCH
ALT.	ALTERNATE	INSUL	INSULATION
ALUM.	ALUMINUM	INT.	INTERIOR
ARCH.	ARCHITECTURAL	JST.	JOIST
ASPH.	ASPHALT	JT.	JOINT
B.O.	BOTTOM OF	KIT.	KITCHEN
B.P.	BUILDING PAPER	L.A.F.	LIQUID APPLIED FLASHING
BD.	BOARD	LAM.	LAMINATE
BITUM	BITUMINOUS	LAV.	LAVATORY
BLDG.	BUILDING	LB.	POUND
BLKG.	BLOCKING	LIN.	LINEAR OR LINEN CLOSET
BM.	BEAM	LN.	LINE
BOT.	BOTTOM	LT.	LIGHT
BTWN	BETWEEN	M.B.	MACHINE BOLT
.		M.C.	MEDICINE CABINET
C.J.	CONTROL JOINT	MAINT	MAINTAIN
C.M.U.	CONCRETE MASONRY UNIT	.	
C.T.	CERAMIC TILE	MATL.	MATERIAL
CEM.	CEMENT	MAX.	MAXIMUM
CL.	CENTERLINE	MECH	MECHANICAL
CLG.	CEILING	MEMB	MEMBRANE
CLKG.	CAULKING	MFR.	MANUFACTURER
CLOS.	CLOSET	MIN.	MINIMUM
CLR.	CLEAR	MISC.	MISCELLANEOUS
CNTR.	COUNTER	MTD.	MOUNTED
COL.	COLUMN	MTL.	METAL
COMM	COMMUNICATION	(N)	NEW
.		N.	NORTH
CONC	CONCRETE	N.I.C.	NOT IN CONTRACT
COND	CONDITION	N.T.S.	NOT TO SCALE
CONS	CONSTRUCTION	NC	NOISE CONTROL
T.		NO.	NUMBER
CONT.	CONTINUOUS	NOM.	NOMINAL
CONTR	CONTRACTOR	O.C.	ON CENTER
R.		O.D.	OUTSIDE DIAMETER
CPT.	CARPET	OPNG	OPENING
CTR.	CENTER	OPP.	OPPOSITE
D.	DRYER	P.S.I.	PER SQUARE INCH
D.S.	DOWNSPOUT	P.W.	PARTY WALL
D.U.	DWELLING UNIT	PART.	PARTITION
D/W	DISHWASHER	PERIM	PERIMETER
DBL	DOUBLE	PL.	PROPERTY LINE
DET.	DETAIL	PLAS.	PLASTER
DIA.	DIAMETER	PLYW	PLYWOOD
DIM.	DIMENSION	P.NL.	PANEL
DN.	DOWN	PNT.	PAINT
DR.	DOOR	PREF.	PREFINISHED
DWG.	DRAWING	PT.	POINT OR PRESSURE
DWR.	DRAWER	TREATED	
(E)	EXISTING	PTD.	PAINTED
E.P.B.	ELECTRICAL PANEL BOARD	R.	RISER OR REFRIGERATOR
EA.	EACH	R.A.	RETURN AIR
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	R.O.W	RIGHT OF WAY
EMER.	EMERGENCY	R.W.L.	RAIN WATER LEADER
EQ.	EQUAL	RAD.	RADIUS
EQUIP	EQUIPMENT	REC.	RECESSED
EXT.	EXTERIOR	REF.	REFERENCE
F.	FREEZER	REFL.	REFLECTED
F.A.	FIRE ALARM	REG.	REGISTER
F.D.	FLOOR DRAIN	REIN.	REINFORCED
F.E.	FIRE EXTINGUISHER	REMO	REMOVABLE
F.E.C.	FIRE EXTINGUISHER CABINET	V.	REQUIRED
F.O.C.	FACE OF CONCRETE	RESIL	RESILIENT
F.O.F.	FACE OF FINISH	RET.	RETAINING
F.O.PL.	FACE OF PLYWOOD	REV.	REVISION/REVISED/REVERSED
Y.		RM.	ROOM
F.O.S.	FACE OF STUD	RWD.	REDWOOD
FIN.	FINISH	S.	SOUTH
FIXT.	FIXTURE	S.A.F.	SELF-ADHESIVE FLASHING
FL.	FLOOR	S.C.	SOLID CORE
FLAS.	FLASHING	S.C.D.	SEE CIVIL DRAWINGS
H.		S.D.	STORM DRAIN
FLUO	FLUORESCENT	S.E.D.	SEE ELECTRICAL DRAWINGS
FR.	FRAME	S.F.	SQUARE FEET
FT. -'	FOOT OR FEET	S.G.	SEMI-GLOSS
FTG.	FOOTING	S.L.D.	SEE LANDSCAPE DRAWINGS
FURR.	FURRING	S.M.D.	SEE MECHANICAL DRAWINGS
FUT.	FUTURE	S.P.D.	SEE PLUMBING DRAWINGS
G.	GAS OUTLET	S.S.	STAINLESS STEEL
G.D.	GARBAGE DISPOSAL	S.S.D.	SEE STRUCTURAL DRAWINGS
G.F.I.	GROUND FAULT INTERRUPT	S.T.C.	SOUND TRANSMISSION CONTROL
G.M.	GAS METER	S.V.	SHEET VINYL
G.S.F.	GROSS SQUARE FOOTAGE	S.W.	SHEAR WALL
G.S.M.	GALVANIZED SHEET METAL	SBL	SETBACK LINE
GA.	GAUGE		
GALV.	GALVANIZED		
GEN.	GENERAL		
GL.	GLASS		
GR.	GRADE		



HERS VERIFICATIONS	
-HIGH QUALITY INSULATION INSTALLATION (QII)	
-IAQ MECHANICAL VENTILATION	
-MINIMUM AIRFLOW	
-VERIFIED EER	
-VERIFIED SEER	
-REFRIGERANT CHARGE	
-FAN EFFICIENCY WATTS/CFM	
-DUCT SEALING	
DEFERRED PERMITS	
THE FOLLOWING APPROVAL SHALL BE UNDER A SEPARATE PERMIT:	
1. FIRE ALARM	
2. FIRE SPRINKLER	
3. SPA	
4. PHOTOVOLTAIC (PV) SYSTEM AND ENERGY STORAGE SYSTEM (ESS)	

GENERAL NOTES

1 DATUM ELEVATION 0'-0", AS NOTED ON THESE DRAWINGS FOR THIS PROJECT IS AT ELEVATION 74' ABOVE SEA LEVEL.

2 THE INTENT OF THE DRAWINGS (WHICH ARE A PART OF THE CONTRACT DOCUMENTS) IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR, INCLUDING ANYTHING REASONABLY IMPLIED OR INTENDED.

3 THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS, WHETHER COMPLETED OR PARTIALLY COMPLETED, INCLUDES LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THIS MAY CONSTITUTE THE WHOLE OR PART OF THE PROJECT.

4 PROMPTLY REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

5 DETAILS AND NOTES ARE TYPICAL. SIMILAR DETAILS AND NOTES APPLY IN SIMILAR CONDITIONS.

6 WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.

7 PLAN DIMENSIONS ARE TO FACE OF CONCRETE, EDGE OF SLAB, FACE OF STUD, CENTERLINE OF GRID, CENTER OF DOOR, CENTER OF WINDOW AND CENTER OF PLUMBING FIXTURE, UNLESS OTHERWISE NOTED.

8 CHECK DIMENSIONS NOTED V.I.F. PRIOR TO CONSTRUCTION, REPORT ANY VARIANCES TO THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.

9 ALL VERTICAL DIMENSIONS ARE REFERENCED FROM SEA LEVEL.

10 INSTALL WORK TRUE, PLUMB, SQUARE, LEVEL AND IN PROPER ALIGNMENT.

11 VERIFY CLEARANCES FOR ITEMS INCLUDING BUT NOT LIMITED TO FLUES, VENTS, CHASES, SOFFITS AND FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OR INSTALLATION OF SUCH ITEMS OF WORK.

12 INSTALL FIRE EXTINGUISHERS PER CODE. OBTAIN APPROVAL OF THE BUILDING AND FIRE DEPARTMENTS AND REVIEW OF THE ARCHITECT PRIOR TO INSTALLATION.

13 ELECTRICAL POINTS ARE FOR REFERENCE ONLY. REVIEW FINAL LOCATIONS WITH THE ARCHITECT PRIOR TO ROUGH-IN.

14 CONSTRUCTION REQUIREMENTS FOR EARTHWORK, UTILITIES, VEHICULAR AND PEDESTRIAN PAVING, AND LANDSCAPING ARE PROVIDED IN DRAWINGS AND SPECIFICATIONS PREPARED BY THE CIVIL ENGINEER AND THE LANDSCAPE ARCHITECT. SUCH ELEMENTS INDICATED ON THE ARCHITECT'S DRAWINGS ARE FOR REFERENCE ONLY.

15 INSTALL SMOKE DETECTORS PER CODE. SMOKE DETECTORS WILL BE INTERCONNECTED AND ACT AS ONE DEVICE. SEE ROPS A6.01-A6.05 FOR LOCATIONS. OBTAIN APPROVAL OF THE BUILDING AND FIRE DEPARTMENTS AND REVIEW OF THE ARCHITECT PRIOR TO INSTALLATION.

16 CONTRACTOR TO COMPLY W/ CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING AS REQUIRED BY CALGREEN MANDATORY MEASURES. SEE G0.06B.

17 PROVIDE BUILDING MAINTENANCE AND OPERATION MAINTENANCE MANUAL TO OWNER AS MANDATED BY CALGREEN MANDATORY MEASURES. SEE G0.06B.

18 PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R337.1.5

19 A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.

PROJECT DATA AND CODE SUMMARY																															
<u>PROJECT ADDRESS</u>		Dolores 3 NW of 13th Carmel, CA 93921																													
<u>LOT NUMBER AND APN</u>		010-171-004 Carmel block 136, lots 13 & 15																													
<u>LOT SIZE</u>		0.184 ACRES (8,000 SQ. FT.)																													
<u>LOT COVERAGE</u>		MAX. ALLOWABLE (37%): 2,960 SQ. FT. EXISTING (20%): 1,611 SQ. FT. PROPOSED (34%): 2,799 SQ. FT.																													
<u>ZONING</u>		R1 COMPOSITE SIDE YARD SETBACK: 20'-0"																													
<u>CONSTRUCTION TYPE</u>		TYPE VB																													
<u>STORIES</u>		2																													
<u>SQUARE FOOTAGES</u>		<div><div><div>EXISTING</div><div>PROPOSED</div><div>MAX ALLOWABLE (INCLUDES LOT MERGER)</div></div><table><tr><td>FIRST FLOOR</td><td>870 SQ. FT.</td><td>1,757 SQ. FT.</td><td></td></tr><tr><td>SECOND FLOOR</td><td>558 SQ. FT.</td><td>693 SQ. FT.</td><td></td></tr><tr><td>GARAGE</td><td>183 SQ. FT.</td><td>238 SQ. FT.</td><td></td></tr><tr><td>BFA TOTAL</td><td>1,611 SQ. FT.</td><td>2,688 SQ. FT.</td><td>3,200 SQ. FT.</td></tr><tr><td>BASEMENT FLOOR</td><td>-</td><td>472 SQ. FT.</td><td></td></tr><tr><td>BASEMENT EXEMPTION</td><td>-</td><td>-100 SQ. FT.</td><td></td></tr><tr><td>BFA + BONUS TOTAL</td><td>1,611 SQ. FT.</td><td>3,060 SQ. FT.</td><td>4,187 SQ. FT.</td></tr></table></div>		FIRST FLOOR	870 SQ. FT.	1,757 SQ. FT.		SECOND FLOOR	558 SQ. FT.	693 SQ. FT.		GARAGE	183 SQ. FT.	238 SQ. FT.		BFA TOTAL	1,611 SQ. FT.	2,688 SQ. FT.	3,200 SQ. FT.	BASEMENT FLOOR	-	472 SQ. FT.		BASEMENT EXEMPTION	-	-100 SQ. FT.		BFA + BONUS TOTAL	1,611 SQ. FT.	3,060 SQ. FT.	4,187 SQ. FT.
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<u>PARKING</u>		1 COVERED                      1 COVERED																													
<u>IMPERVIOUS SURFACE COVERAGE</u>		PROPOSED = 707 SQ. FT. / 725 SQ. FT. ALLOWABLE EXISTING = 1,230 SQ. FT.																													
<u>TREE REMOVAL</u>		0 SIGNIFICANT TREES REMOVED																													

APPLICABLE CODES & REGULATIONS	
1 CALIFORNIA CODE OF REGULATIONS, TITLE 24, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION: -PART 2, "2022 CALIFORNIA BUILDING CODE" (CBC), VOLUMES 1 & 2 -PART 2.5, "2022 CALIFORNIA RESIDENTIAL CODE" (CRC) -PART 3, "2022 CALIFORNIA ELECTRICAL CODE" (CEC) -PART 4, "2022 CALIFORNIA MECHANICAL CODE" (CMC) -PART 5, "2022 CALIFORNIA PLUMBING CODE" (CPC) -PART 6, "2022 CALIFORNIA ENERGY CODE" -PART 9, "2022 CALIFORNIA FIRE CODE" (CFC) -PART 11, "2022 CALIFORNIA RESIDENTIAL GREEN BUILDING STANDARDS CODE"	
AS AMENDED BY THE LOCAL AUTHORITY HAVING JURISDICTION	
2 CARMEL MUNICIPAL CODE: -SECTION 15.04.070 -SECTION 15.08.010 -SECTION 15.55.100 AMENDMENTS TO THE CALIFORNIAN FIRE CODE, 27, SECTION 903.3.1.3	
3 NFPA 13D "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS IN ONE AND TWO FAMILY DWELLINGS AND MANUFACTURED HOMES" (2022)	
4 ALONG WITH ANY OTHER APPLICABLE CALIFORNIA STATE LAWS AND REGULATIONS AND ANY OTHER APPLICABLE LOCAL MORE RESTRICTIVE PROVISIONS AND ADOPTED ORDINANCES THAT APPLY TO THE CONSTRUCTION OF BUILDINGS.	

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G0.00 COVER SHEET	E0.01 LEGENDS, NOTES, AND ABBREVIATIONS
G0.01 GENERAL INFORMATION	E0.02 SPECIFICATIONS
G0.02 CALGREEN MANDATORY MEASURES	E1.01 SITE PLAN
G0.03 CALGREEN MANDATORY MEASURES	E2.01 FIRST FLOOR PLAN
G0.04 CODE ANALYSIS	E2.02 SECOND AND BASEMENT FLOOR PLANS
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C4 SITE DRAINAGE & UTILITY PLAN	P2.11 ROOF PLAN
C5 DRAINAGE MANAGEMENT PLAN	P6.01 DETAILS
C6 CONSTRUCTION DETAILS	
C7 EROSION CONTROL PLAN	
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03 - LANDSCAPE	09 - LIGHTING
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L0.01 TREE PROTECTION PLAN	LP1.1 LIGHTING PLAN - FIRST FLOOR
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L2.00 MATERIALS PLAN	
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PROJECT SUMMARY	
THIS PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING NON-HISTORIC TWO-STORY SINGLE FAMILY RESIDENTIAL STRUCTURE, SHED AND DETACHED GARAGE. CONSTRUCTION OF NEW TWO-STORY SINGLE FAMILY RESIDENCE APPROXIMATELY 2,600 SF, WITH NEW SINGLE-CAR DETACHED GARAGE, NEW DETACHED 350 SF ADU, IN-GROUND SPA WITH RELATED TERRACES AND SITE WORK.	
FIRE EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM	
1. FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM. - ALL NEW GROUP R (RESIDENTIAL) STRUCTURES ON THE PROPERTY REQUIRE FIRE SPRINKLER SYSTEMS. THE FIRE SPRINKLER SYSTEM PLANS SHALL BE SUBMITTED DIGITALLY TO THE MONTEREY FIRE PREVENTION BUREAU VIA DEFERRED SUBMITTAL PROCESS. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.	
2. FIRE ALARM SYSTEM - THE RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NFPA STANDARD 72. PLANS AND SPECIFICATIONS FOR THE HOUSEHOLD FIRE WARNING SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. HOUSEHOLD FIRE WARNING SYSTEMS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UNIFORM BUILDING CODE SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.	

**RICHARD BEARD ARCHITECTS**

2475 THIRD STREET, STUDIO 252  
SAN FRANCISCO, CALIFORNIA 94107  
415-450-2600

**DOLORES STREET**

Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

DRAWN BY: JT  
CHECKED BY: KS  
PROJECT NO: 2114

DATE: 09.14.22  
ISSUE: CONCEPT PLANNING  
11.11.22: CONCEPT PL REV #1  
01.13.23: FINAL DETAILS PL  
01.18.23: FINAL DTLS PL REV #1  
03.03.23: PERMIT SET  
04.24.23: PLAN CHECK REVISIONS  
06.20.23: PERMIT REV #2

**CARMEL-BY-THE-SEA PLANNING DEPARTMENT**

**APPROVED**

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle  
\*Expansion of basement level and change in roof material.

**GENERAL INFORMATION**

SCALE: 1/2" = 1'-0"

**LICENSED ARCHITECT**  
Richard D. Beard  
No. 4-12947  
Ren. 06-30-21  
STATE OF CALIFORNIA



### 1 AVERAGE GRADE









City of Carmel-by-the-Sea  
COMMUNITY PLANNING AND BUILDING DEPARTMENT  
POST OFFICE BOX 100  
CARMEL-BY-THE-SEA, CA 95021  
(831) 626-2016 OFFICE

February 9, 2023

Matthew Evans  
2475 3rd Street, Suite 252  
San Francisco, CA 94107

Email: matt@richard-beard.com

RE: Planning Commission Decision  
Design Study DS 22-300 (Hanson)  
Dolores St 3 NW of 13th Ave  
Block: 136 Lot: 13 & 15 APN: 010-171-004-000

Dear Mr. Evans,

On February 8, 2023, the Planning Commission approved Design Study application (DS 22-300), with conditions. Staff has enclosed a copy of the final resolution and conditions of approval for the property owner to sign and return for the City's records. The final resolution and condition will also be sent via DocuSign. Please ensure that the final conditions are printed on one of the pages of the construction drawings.

This Design Study is valid for one year from the date of approval and will expire on February 22, 2024. Should you require an extension of the Design Study approval, a written request must be submitted to the Community Planning & Building Department prior to the permit's expiration.

The Planning Commission's approval is subject to a **10-working day appeal period** ending at 5:00 PM on February 22, 2023. Please do not remove the story poles until the appeal period has expired. At the conclusion of the appeal period, and assuming no appeals are filed, you may proceed with submitting an application for a Building Permit.

If you have any questions I can be reached at (831) 626-2027, or snathan@ci.carmel.ca.us.

Best Regards,

Suray Nathan  
Assistant Planner

Encl: Resolution 2023-009-PC (unsigned)  
CC: Mitche Hanson: mitchehanson@me.com

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**BET FURTHER RESOLVED** that the Planning Commission of the City of Carmel-by-the-Sea does hereby APPROVE the Final Design Study (DS 22-300, Hanson) and associated Coastal Development Permit for the construction of a 2,662 square foot residence with a 237 square foot detached garage and a 347 square foot ADU located on Dolores Street 3 NW of 13th Avenue (APN 010-171-004), subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<b>Authorization.</b> This approval of Design Study (DS 22-300, Hanson) authorizes for the demolition of an existing 1,611 square foot two-story single-family residence inclusive of a detached garage and construction of a 2,662 square foot two-story single-family residence with a 237 square foot detached garage on a recently merged lot located on Dolores Street 3 NW of 13th Avenue in the Single-Family Residential (R-1) Zoning District as depicted in the plans prepared by Matthew Evans dated received by Community Planning & Building Department on January 19, 2023 unless modified by the conditions of approval contained herein.
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	<b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
4.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.
5.	<b>Setback and Height Certifications.</b> A State licensed surveyor shall survey and certify the following in writing: <ul style="list-style-type: none"><li>The footing locations are in conformance with the approved plans prior to footing/foundation inspection;</li><li>The roof height and plate height are in conformance with the approved plans prior to roof sheathing inspection.</li></ul> Written certifications prepared, sealed and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation forms are required, a survey letter shall be submitted for each separate section.
6.	<b>Service Laterals.</b> All electrical service laterals to any new building or structure, or to any building or structure being remodelled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than

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26.	<b>Erosion Control in the Right-of-Way.</b> Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install tie netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" located in the Forest Management Plan.
27.	<b>Tree Planting Requirements.</b> Prior to issuance of a building permit, the applicant shall submit for review and approval by the Community Planning & Building Department and the City Forester, a final landscape and irrigation plan that shows the location, size and species of required tree plantings. All new trees shall be installed prior to final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected projection of the original trees and shall be planted in the same location unless otherwise directed by the City Forester and/or Forest & Beach Commission.
28.	<b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site: <ul style="list-style-type: none"><li>Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li><li>Excavation within 6 feet of a tree trunk is not permitted.</li><li>No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.</li><li>Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</li><li>Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of a 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li><li>The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li><li>If roots greater than 2 inches in diameter or larger are encountered within</li></ul>

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CITY OF CARMEL-BY-THE-SEA  
PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2023-009-PC

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING A FINAL DESIGN STUDY AND ASSOCIATED COASTAL DEVELOPMENT PERMIT FOR THE DEMOLITION OF AN EXISTING 1,611 SQUARE FOOT TWO-STORY SINGLE-FAMILY RESIDENCE INCLUSIVE OF A DETACHED GARAGE AND CONSTRUCTION OF A 2,662 SQUARE FOOT SINGLE-FAMILY RESIDENCE WITH A 237 SQUARE FOOT DETACHED GARAGE AT DOLORES STREET 3 NW OF 13TH AVENUE IN THE (R-1) ZONING DISTRICT, APN: 010-171-004-000**

WHEREAS, Matthew Evans ("Applicant") submitted an application on behalf of Mitche Hanson ("Owner") requesting the approval of a Design Study "DS 22-300" described herein ("Application"); and

WHEREAS, project site is comprised of a newly created 8,000-square-foot merged lot (LM22-230) approved to combine two 4,000-square-foot lots on November 23, 2022, located at Dolores Street 3 NW of 13th Avenue; and

WHEREAS, the site is currently developed with a 1,611 square foot two-story single-family residence with a 183 square foot detached garage and an approximately 126 square-foot shed that sits across two 4,000 square foot lots. A final Determination of Historic Ineligibility was issued on October 1, 2021, for the existing residence; and

WHEREAS, the Applicant is requesting to demolish the existing residence accessory structures and all other site improvements to allow for the construction of a 2,662-square-foot single-family residence with a 237-square-foot detached garage and the creation of a 347-square-foot detached accessory dwelling unit on one legal lot of records; and,

WHEREAS, A Design Study is required in accordance with CMC 17.58.040.8; which requires the review of the proposed site design, basic massing, and other elements of the design concept for compliance with the City's design concept guidelines and the findings required in CMC 17.64.080; and

WHEREAS, on December 14, 2022, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Concept Design Study, including without limitation, information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, on December 14, 2022, the Planning Commission adopted Resolution 2022-050-PC, accepting the Concept Design Study with recommendations/draft conditions; and

WHEREAS, the project shall be considered at a final details hearing pursuant to CMC 17.64.080; and

WHEREAS, a Coastal Development Permit is required in accordance with CMC 17.52.090 and will be considered at the Final Details hearing; and

WHEREAS, a notice of the public hearing was published on January 27, 2023, in compliance with State law (California Government Code 65091), as well as hand-delivery of the public notice by the Applicant to each property owner within a 100-foot radius of the project site indicating the date and time of all public hearings for the Application; and

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7.	<b>Fire Sprinklers - Residential.</b> Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)
8.	<b>Modifications.</b> The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
9.	<b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.
10.	<b>Conflicts between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractors to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee.
11.	<b>Exterior Lighting.</b> Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e. 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including

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29.	<b>Drainage Plan.</b> Prior to issuance of a building permit, the applicant shall provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.
30.	<b>BMP Tracking Form.</b> Prior to issuance of a building permit, the applicant shall submit a completed BMP Tracking form by the end of the final inspection.
31.	<b>Semi-Permeable Surfaces.</b> Prior to issuance of a building permit, the applicant shall provide cross-section details for semi-permeable surfaces.
32.	<b>Erosion and Sediment Control Plan.</b> Prior to issuance of a building permit, the applicant shall provide an erosion and sediment control plan that includes locations of installation details for erosion and sediment control BMPs, material staging areas, and stabilized access for review and approval by the City of Carmel.
33.	<b>Limestone Cladding.</b> Prior to the issuance of a building permit, the applicant shall show on the elevation plan that the limestone cladding be authentic and be used throughout the four visible sides of the building to maintain consistency and not design treatment only for the visible facade and the plans shall be submitted the revised plan to the Planning Department for approval.
34.	<b>Light Fixture &amp; Source.</b> The applicant must show the Planning Department that the proposed "Hubbardton" light fixture shall be shielded and down-facing, and the light source shall be 375 lumens or less prior to the final inspection.
35.	<b>Gutter and Downspout Color.</b> Prior to issuance of a building permit, the applicant shall provide information that the gutters and downspouts not be made of copper material, anti-reflective, matte, and without a faux textured finish on the submitted plans to the Building Department.
36.	<b>Right-of-Way Encroachments.</b> All unpermitted right-of-way encroachments including the front gate concrete landing shall be removed from the right-of-way prior to final inspection.
37.	<b>Landscape Inspection.</b> All landscaping shall be installed on-site prior to final inspection, and any modification to the landscape plan shall require a separate Design Study.
38.	<b>Volume Study.</b> Prior to issuance of a building permit, the applicant shall meet the required volumetric standards as this project is subject to the approval of a volume study.

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WHEREAS, on February 8, 2023, the Planning Commission held a public hearing to receive public testimony regarding the Application, including, without limitation, the information provided to the Planning Commission by City staff and public testimony on the conceptual design of the project in accordance with CMC 17.58.040.8; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at its February 8, 2023 hearing, including, without limitation, the staff report submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, recommendations, attachments, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §6 21000, et seq., "CEQA"), together with State Guidelines (14 California Code Regulations §5 15000, et seq., the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is categorically exempt under Section 15303 (New Construction or Conversion of Small Structures); and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

**NOW THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Design Study:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)	
For each of the required design study findings listed below, staff has indicated whether the concept plans submitted, or as recommended to be conditioned, support the adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate decision-making by the Planning Commission. Findings checked "yes" may or may not be discussed in the staff report depending on the issues.	
Municipal Code Findings	YES NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓

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12.	<b>Skylights &amp; Skylight Shades.</b> The applicant shall submit product information for the skylights and skylight shades prior to issuance of a building permit. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.
13.	<b>Stone Facades (including chimneys).</b> Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry pattern shall be clearly identified in the construction drawings submitted with the building permit application.
14.	<b>Steel Frame Windows and Doors.</b> The applicant shall submit product information for the steel windows and doors prior to issuance of a building permit. The window style shall be consistent with windows and doors with divided lights that appear to be true or simulated divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.
15.	<b>Asphalt Shingle Roofing.</b> The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.
16.	<b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability, and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.
17.	<b>Driveway.</b> The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.
18.	<b>Hazardous Materials Waste Survey.</b> A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.

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\*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature \_\_\_\_\_ Printed Name \_\_\_\_\_ Date \_\_\_\_\_  
**Once signed, please return to the Community Planning and Building Department**

PASSED, APPROVED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 8<sup>th</sup> day of February, 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage  
Chair

Leah Young  
Planning Commission Secretary

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3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entries. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	✓
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓

**BE IT FURTHER RESOLVED**, that the Planning Commission of the City of Carmel-by-the-Sea does hereby make the following findings and determinations regarding the Coastal Development Permit:

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.8.1):	
1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the-Sea.	✓
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓

Resolution No. 2023-009-PC  
Page 8 of 10

19.	<b>Cultural Resources.</b> All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
20.	<b>Truck Haul Route.</b> Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.
21.	<b>USA North 811.</b> Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
22.	<b>Conditions of Approval.</b> All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.
<b>Landscape Conditions</b>	
23.	<b>Landscape Plan.</b> All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.
24.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
25.	<b>Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an

RICHARD  
BEARD  
ARCHITECTS

2475 THIRD STREET, STUDIO 252  
SAN FRANCISCO, CALIFORNIA 94107  
415-450-2600

DOLORES STREET  
Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

DRAWN BY JT  
CHECKED BY KS  
PROJECT NO 214  
DATE 04.03.23 ISSUE 50% CD BACKGROUNDS  
05.15.23 100% CD BACKGROUNDS

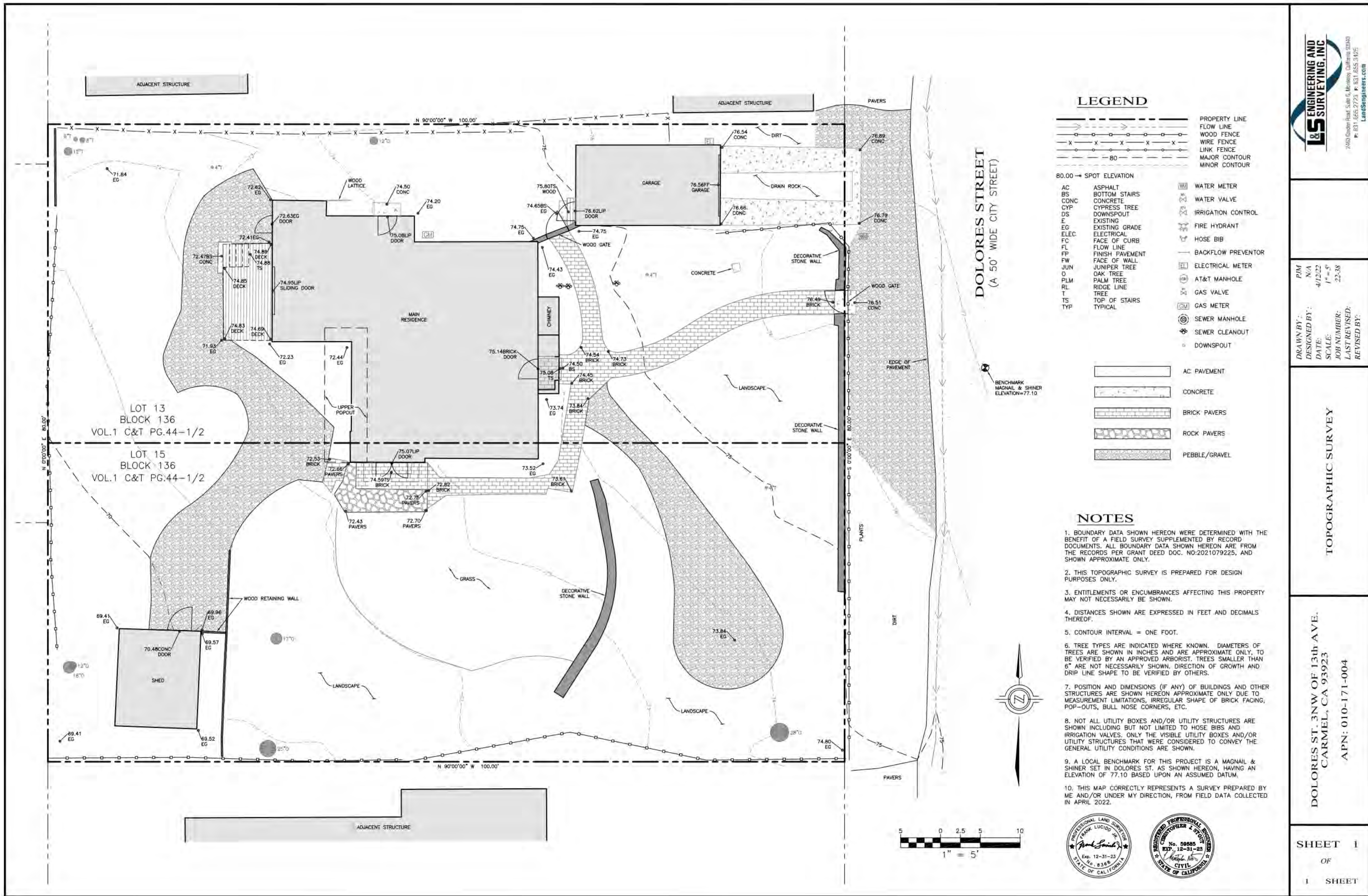


PLANNING CONDITIONS OF  
APPROVAL

SCALE:

G0.06





# DOLORES STREET

Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

DRAWN BY:	JT
CHECKED BY:	KS
PROJECT NO:	2114
DATE:	09.14.22
ISSUE:	CONCEPT PLANNING
DATE:	11.11.22
ISSUE:	CONCEPT PL REV #1
DATE:	03.03.23
ISSUE:	PERMIT SET
DATE:	04.03.23
ISSUE:	50% CD BACKGROUNDS
DATE:	05.15.23
ISSUE:	100% CD BACKGROUNDS

DATE:	09.14.22	ISSUE:	CONCEPT PLANNING
DATE:	11.11.22	ISSUE:	CONCEPT PL REV #1
DATE:	03.03.23	ISSUE:	PERMIT SET
DATE:	04.03.23	ISSUE:	50% CD BACKGROUNDS
DATE:	05.15.23	ISSUE:	100% CD BACKGROUNDS



TOPOGRAPHIC SURVEY

SCALE: 12" = 1'-0"

TS-01



GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO COMPLY WITH TITLE 24 AND 2022 CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA ENERGY CODE AS THEY MAY APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
4. IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
5. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT THE AUTHORIZATION OF THE ENGINEER SHALL BE VOID AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR THE ACCURACY OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY FACILITY SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 842-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
8. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
9. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE CITY AND OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE, WHETHER SHOWN ON THE PLANS OR NOT, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
11. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL, HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:  
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.  
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.  
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.  
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROCK BALLS AND FENCING.
15. CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 5:00 PM.
16. CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
17. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE (831) 443-3050.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
19. FOR ALL TRENCH EXCAVATIONS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 45, SALINAS CALIFORNIA 93906, PHONE (831) 443-3050, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
20. AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND THE CITY PLANNING AND BUILDING DEPARTMENT. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
21. A SEPARATE PERMIT IS REQUIRED FOR THE CONSTRUCTION OF ALL RETAINING WALLS.
22. TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

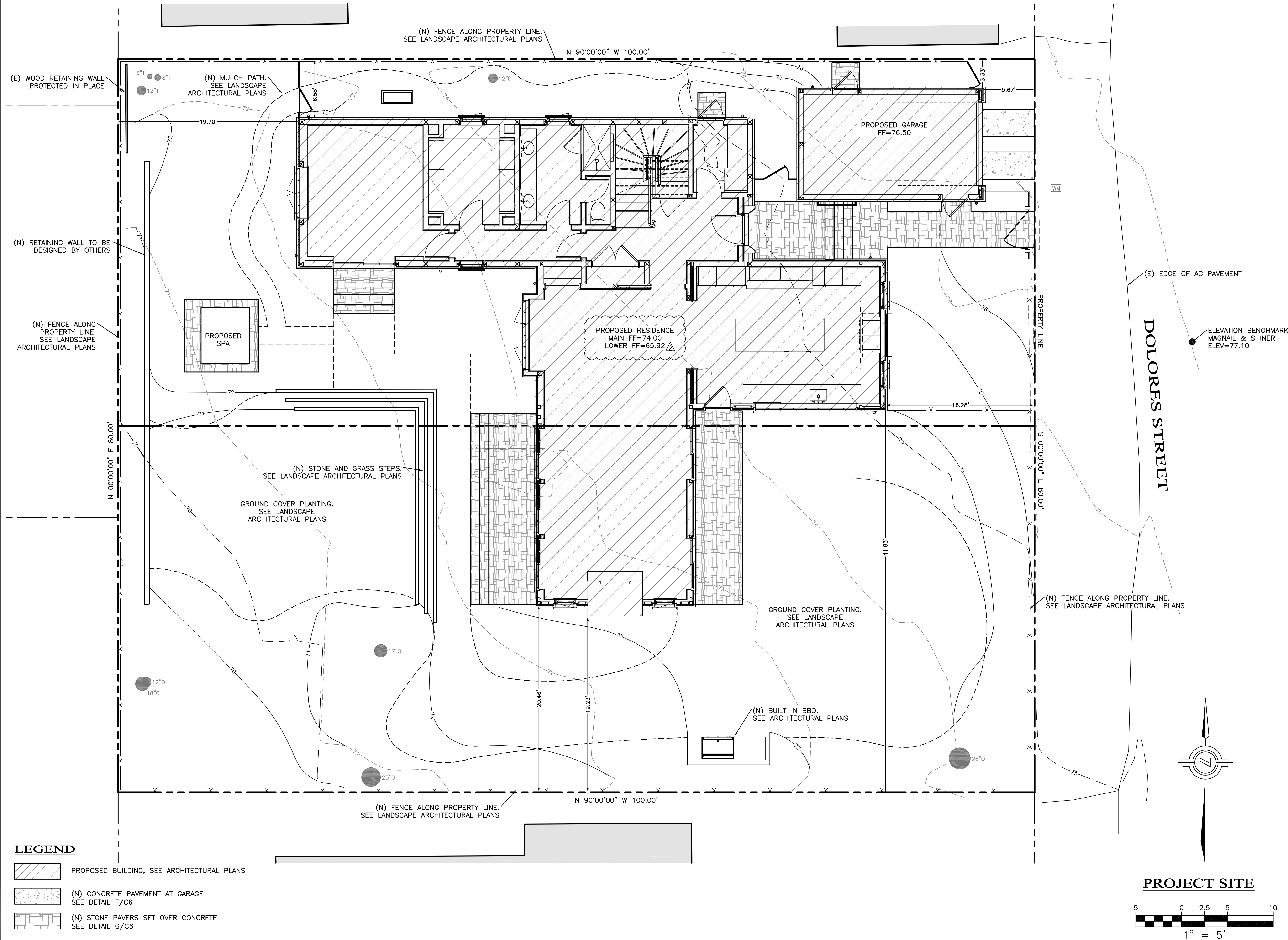
GRADING NOTES

1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2835, EROSION CONTROL ORDINANCE #2806, THE CALIFORNIA BUILDING CODE, AND GEOTECHNICAL REPORT ENTITLED:  
"GEOTECHNICAL INVESTIGATION DESIGN PHASE FOR PROPOSED RESIDENTIAL ADDITION DOLORES STREET 3 NW OF 13TH AVENUE CARMEL-BY-THE-SEA, CALIFORNIA"  
PREPARED BY: BUTANO GEOTECHNICAL ENGINEERING, INC.  
231 GREEN VALLEY ROAD, SUITE E  
FREEDOM, CA 95019  
(831) 724-2612
3. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT, WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORT FROM SOILS ENGINEER TO THE CITY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
6. WHERE UNSTABLE OR UNSUBSIDIARY MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER.
7. ELEVATION BENCHMARK: SEE SHEET C1.
8. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
9. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
10. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
11. STRIPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS.
12. IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED DURING CONSTRUCTION, WORK SHALL BE STOPPED IMMEDIATELY WITHIN 165 FT OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE CITY PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
13. EARTHWORK QUANTITIES ARE SHOWN ON SHEET C3.
14. ALL GRADES TO BE A MINIMUM OF 5% AWAY FROM FOUNDATIONS FOR 10 FEET UNLESS SPECIFIED OTHERWISE ON PLANS.
15. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 4" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
16. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:  
A) DISTURBED SURFACES IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
17. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
18. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH. NO ROCK OVER 12" IN MAXIMUM DIMENSION MAY BE USED IN A FILL.
19. ALL FILL SOILS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
20. OVER EXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
21. PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
22. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE CITY AT SCHEDULED INSPECTIONS.

STATEMENT OF PURPOSE

THESE PLANS WERE PRODUCED TO PROVIDE FOR GRADING, DRAINAGE, AND EROSION CONTROL FOR AND DURING THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE LOCATED AT DOLORES STREET 3NW OF 13TH AVENUE, CARMEL-BY-THE-SEA CA 93921

GRADING, DRAINAGE, & EROSION CONTROL PLANS



LEGEND

- PROPOSED BUILDING, SEE ARCHITECTURAL PLANS
- (N) CONCRETE PAVEMENT AT GARAGE  
SEE DETAIL F/C6
- (N) STONE PAVERS SET OVER CONCRETE  
SEE DETAIL G/C6

ABBREVIATIONS

- |      |                           |      |                          |
|------|---------------------------|------|--------------------------|
| AB   | AGGREGATE BASE            | N/A  | NOT APPLICABLE           |
| AC   | ASPHALT CONCRETE          | (N)  | NEW                      |
| AD   | AREA DRAIN                | NTS  | NOT TO SCALE             |
| BS   | BOTTOM OF STEP            | PG&E | PACIFIC GAS & ELECTRIC   |
| CB   | CATCH BASIN               | PVC  | POLYVINYL CHLORIDE       |
| CL   | CENTERLINE                | SD   | STORM DRAIN              |
| DIA  | DIAMETER                  | SS   | SLOPE                    |
| DS   | ROOF DRAINAGE DOWNSPOUT   | SS   | SANITARY SEWER           |
| E    | ELECTRICAL SERVICE        | SSCO | SANITARY SEWER CLEAN-OUT |
| (E)  | EXISTING                  | FM   | FORCE MAIN               |
| EL   | ELEVATION                 | TC   | TOP OF CURB              |
| EG   | EXISTING GROUND           | TD   | TRENCH DRAIN             |
| EP   | EXISTING PAVEMENT         | TS   | TOP OF STEP              |
| FC   | FACE OF CURB              | TW   | TOP OF WALL              |
| FP   | FINISHED PAVEMENT         | TYP  | TYPICAL                  |
| FF   | FINISHED FLOOR ELEVATION  | W    | WATER                    |
| FG   | FINISHED GRADE            |      |                          |
| FL   | FLOW LINE                 |      |                          |
| G    | GAS SERVICE               |      |                          |
| HDPE | HIGH DENSITY POLYETHYLENE |      |                          |
| INV  | INVERT                    |      |                          |
| JT   | JOINT UTILITY TRENCH      |      |                          |
| LF   | LINEAR FEET               |      |                          |
| ME   | MATCH EXISTING            |      |                          |
| MIN  | MINIMUM                   |      |                          |

LEGEND

- |     |                        |
|-----|------------------------|
| --- | PROPERTY LINE          |
| --- | (E) EDGE OF PAVEMENT   |
| --- | (E) MAJOR CONTOUR      |
| --- | (E) MINOR CONTOUR      |
| --- | BUILDING FOOTPRINT     |
| --- | (E) FENCE              |
| --- | (E) OVERHEAD UTILITY   |
| --- | (E) STORM DRAIN        |
| --- | (E) SANITARY SEWER     |
| --- | (E) WATER LINE         |
| --- | (E) GAS LINE           |
| --- | EDGE OF REMOVAL        |
| --- | (N) EDGE OF PAVEMENT   |
| --- | (N) STORM DRAIN        |
| --- | (N) SANITARY SEWER     |
| --- | (N) WATER LINE         |
| --- | (N) GAS LINE           |
| --- | (N) ELECTRICAL SERVICE |
| --- | (N) FOUNDATION DRAIN   |
| --- | (N) WALL               |
| --- | (N) FENCE              |
| --- | DESIGN MAJOR CONTOUR   |
| --- | DESIGN MINOR CONTOUR   |

SHEET INDEX

- |    |                              |
|----|------------------------------|
| C1 | GRADING TITLE SHEET          |
| C2 | SITE DEMOLITION PLAN         |
| C3 | SITE GRADING PLAN            |
| C4 | SITE DRAINAGE & UTILITY PLAN |
| C5 | DRAINAGE MANAGEMENT PLAN     |
| C6 | CONSTRUCTION DETAILS         |
| C7 | EROSION CONTROL PLAN         |

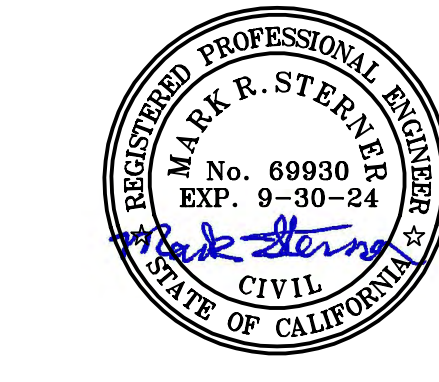
CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle  
\*Expansion of basement level and change in roof material.



DOLORES STREET  
Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

DRAWN BY	MRS
CHECKED BY	N/A
PROJECT NO	22-69
DATE	09.14.22
ISSUE	CONCEPT PLANNING
DATE	11.11.22
CONCEPT PL REV #1	
DATE	01.13.23
FINAL DETAILS PL	
DATE	03.03.23
PERMIT SET	
DATE	06.20.23
PERMIT REV #2	



GRADING TITLE SHEET

SCALE: AS SHOWN  
Design Development

C1



DOLORES STREET  
Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

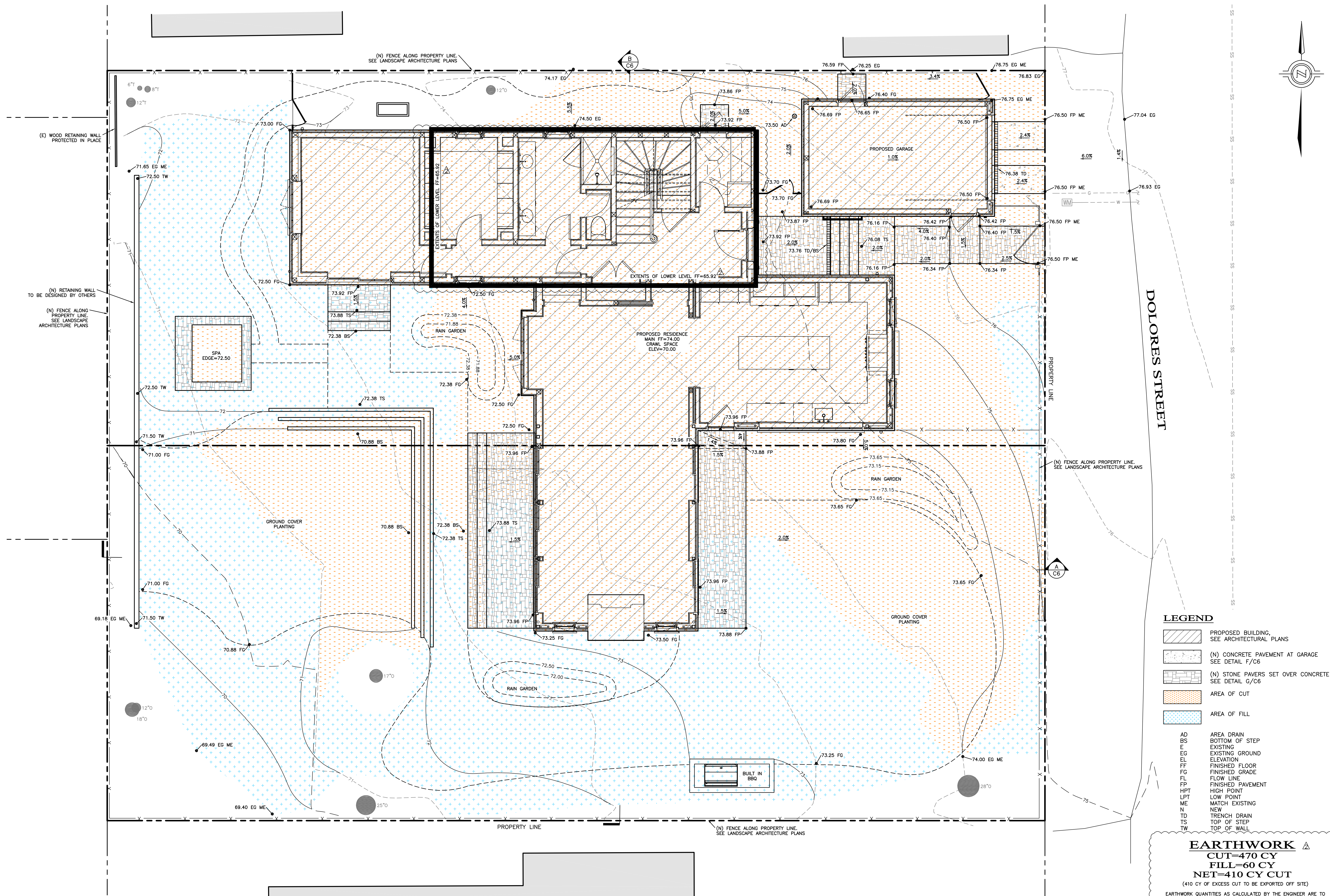
DRAWN BY	MRS
CHECKED BY	N/A
PROJECT NO	22-69
DATE	09.14.22
ISSUE	CONCEPT PLANNING
DATE	11.11.22
ISSUE	CONCEPT PL REV #1
DATE	01.13.23
ISSUE	FINAL DETAILS PL
DATE	03.03.23
ISSUE	PERMIT SET
DATE	06.20.23
ISSUE	PERMIT REV #2



SITE GRADING PLAN

SCALE: AS SHOWN  
Design Development

C3



A  
C3  
SITE GRADING PLAN  
SCALE: 1"=4'

CARMEL-BY-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle  
\*Expansion of basement level and change  
in roof material.

LEGEND

- PROPOSED BUILDING, SEE ARCHITECTURAL PLANS
- (N) CONCRETE PAVEMENT AT GARAGE SEE DETAIL F/C6
- (N) STONE PAVERS SET OVER CONCRETE SEE DETAIL G/C6
- AREA OF CUT
- AREA OF FILL

AD AREA DRAIN  
BS BOTTOM OF STEP  
E EXISTING  
EG EXISTING GROUND  
EL ELEVATION  
FF FINISHED FLOOR  
FG FINISHED GRADE  
FL FLOW LINE  
FP FINISHED PAVEMENT  
HPT HIGH POINT  
LPT LOW POINT  
ME MATCH EXISTING  
N NEW  
TD TRENCH DRAIN  
TS TOP OF STEP  
TW TOP OF WALL

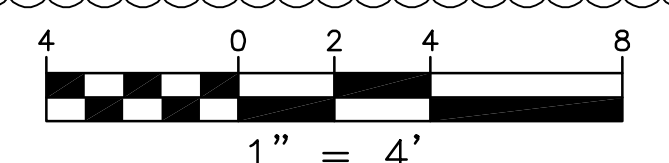
EARTHWORK  
CUT=470 CY  
FILL=60 CY  
NET=410 CY CUT  
(410 CY OF EXCESS CUT TO BE EXPORTED OFF SITE)

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO SUB GRADE IN PAVEMENT AREAS AND ARE ESTIMATES ONLY. AN 11" SECTION WAS ASSUMED FOR THE GARAGE AND LOWER LEVEL BUILDING SLABS. A 10" SECTION WAS ASSUMED FOR THE RAT SLAB, AN 11" SECTION WAS ASSUMED FOR THE DRIVEWAY, AND A 7" SECTION WAS ASSUMED FOR SITE FLAT WORK. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM RETAINING WALL BACKFILL AND UTILITY OR DRAINAGE TRENCHING WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

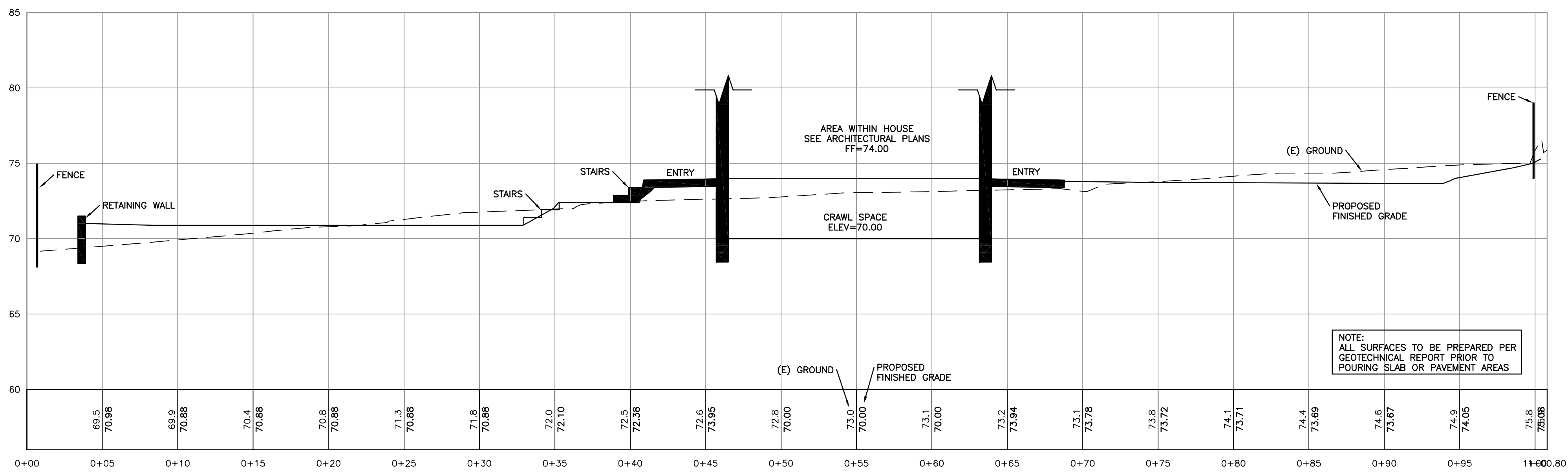
TRUCK HAUL TRIPS REQUIRED FOR GRADING OPERATIONS

DAY*	TRUCK TRIPS PER DAY	MATERIAL CY	TOTAL EXPORT CY
1	50	50	50
2	50	50	100
3	50	50	150
4	50	50	200
5	50	50	250
6	50	50	300
7	50	50	350
8	50	50	400
9	10	10	410

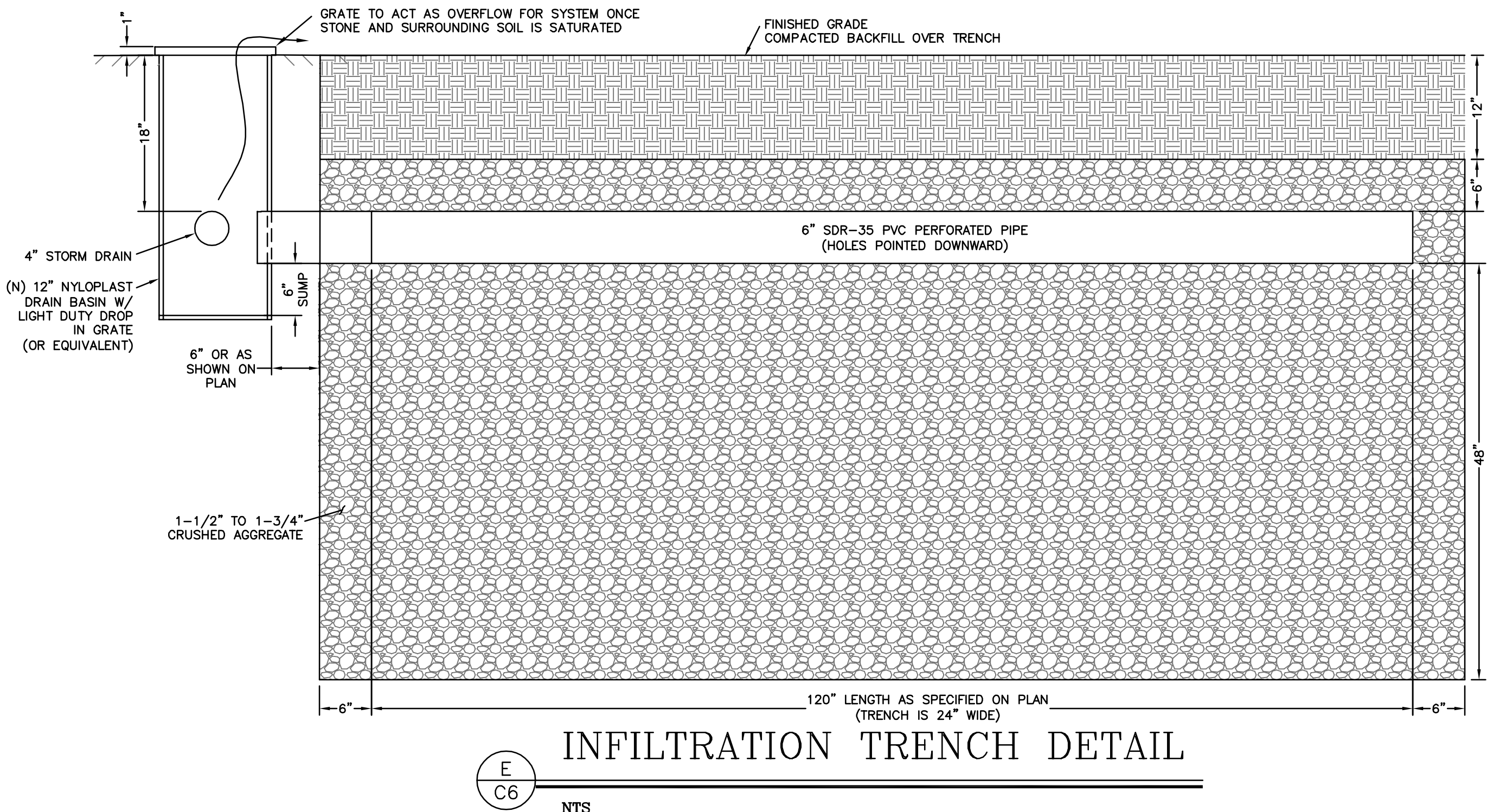
\*NOT CONSECUTIVE DAYS



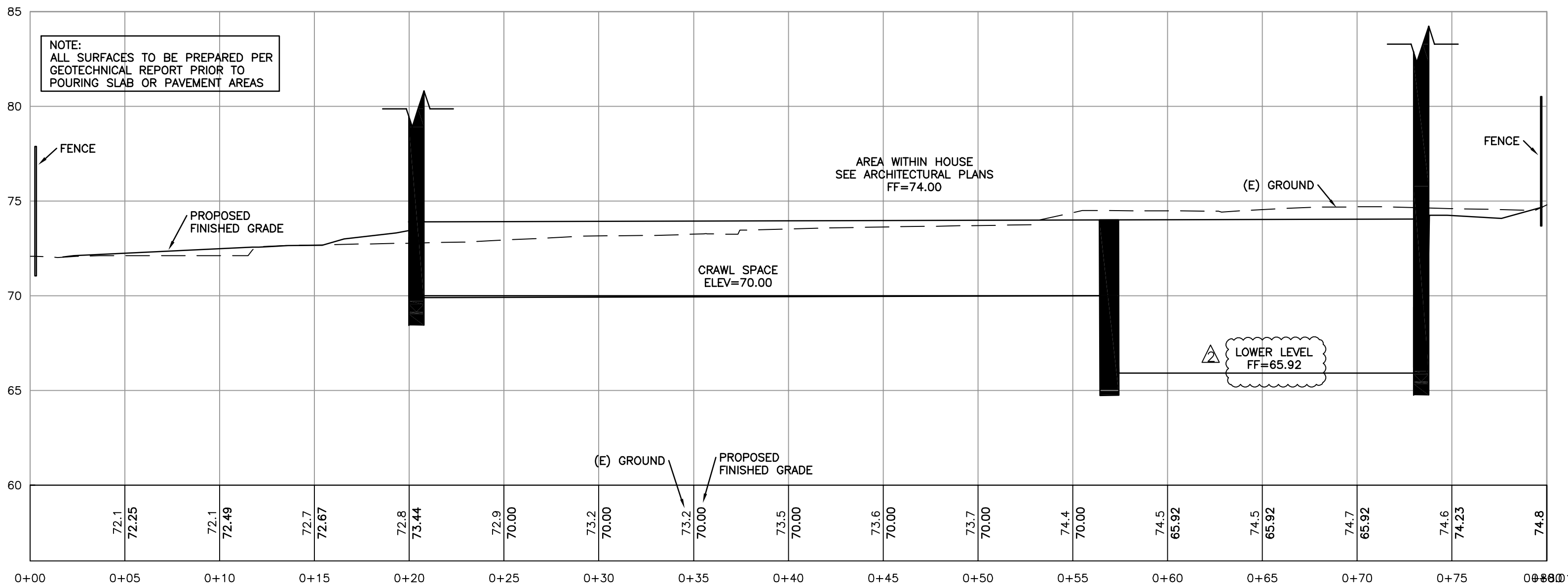




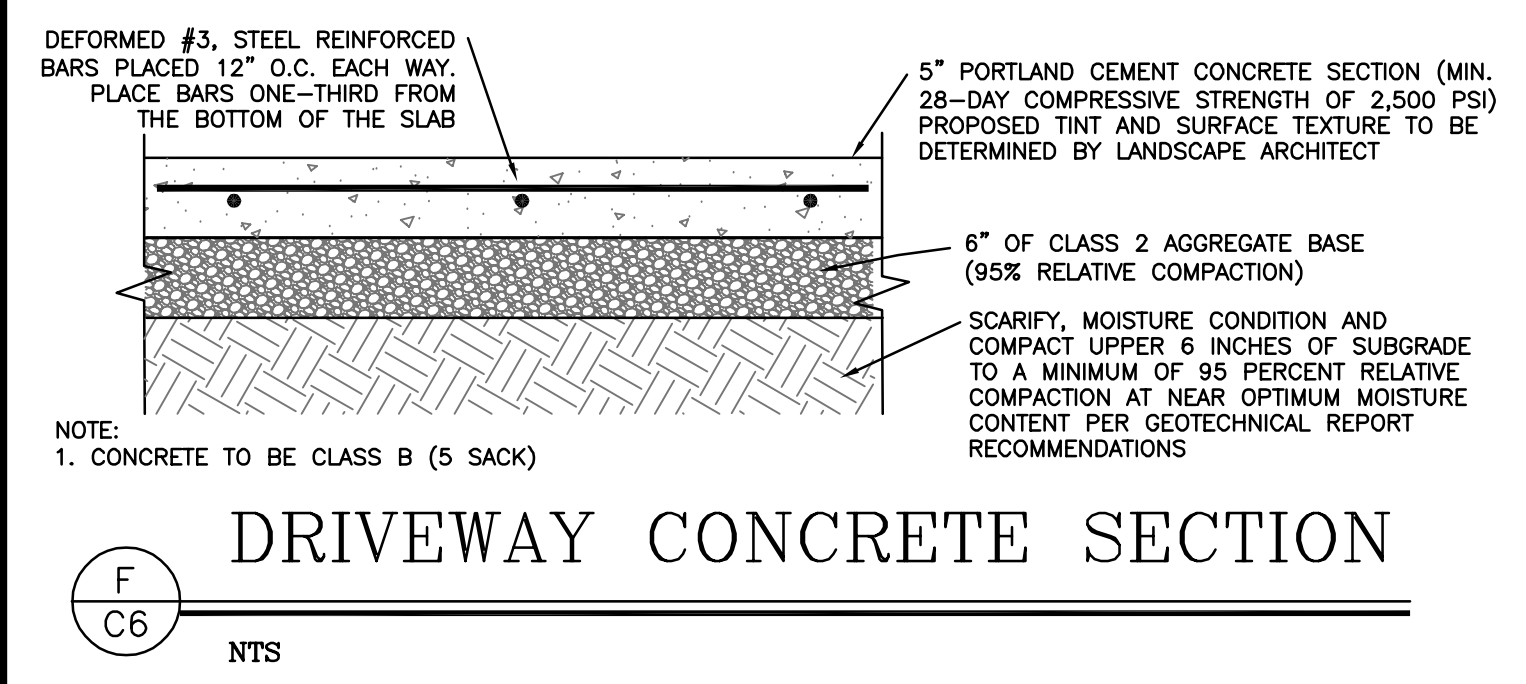
**SITE CROSS SECTION-LOOKING NORTH**  
SCALE: 1"=5'



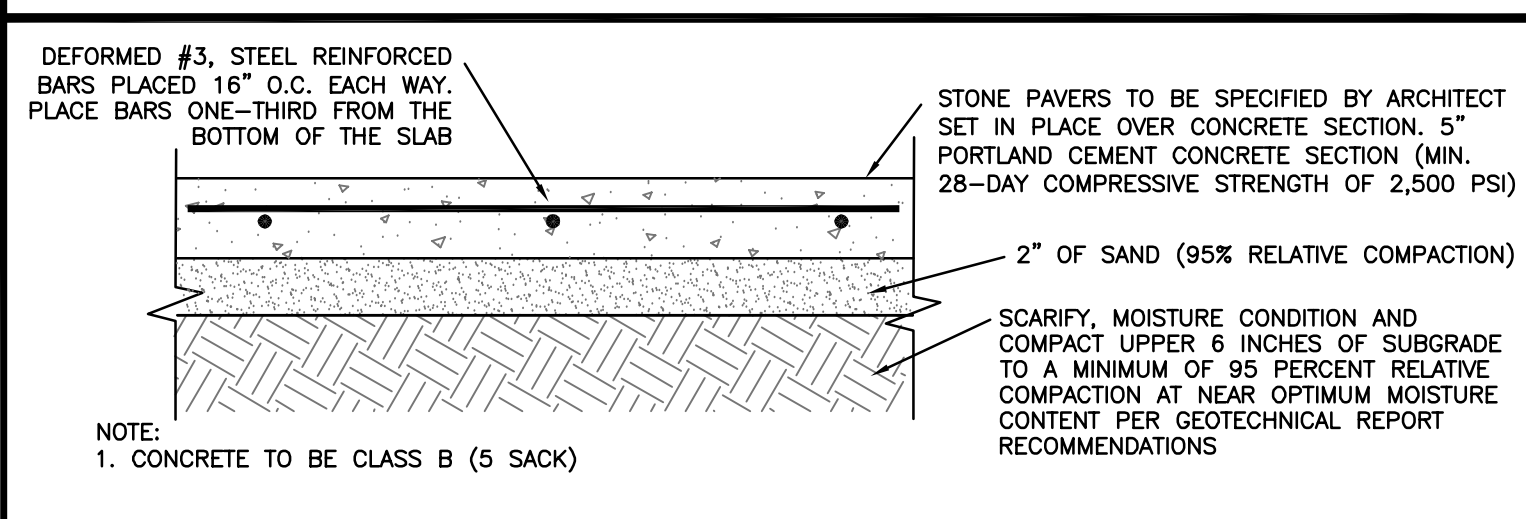
**INFILTRATION TRENCH DETAIL**  
SCALE: 1"=5'



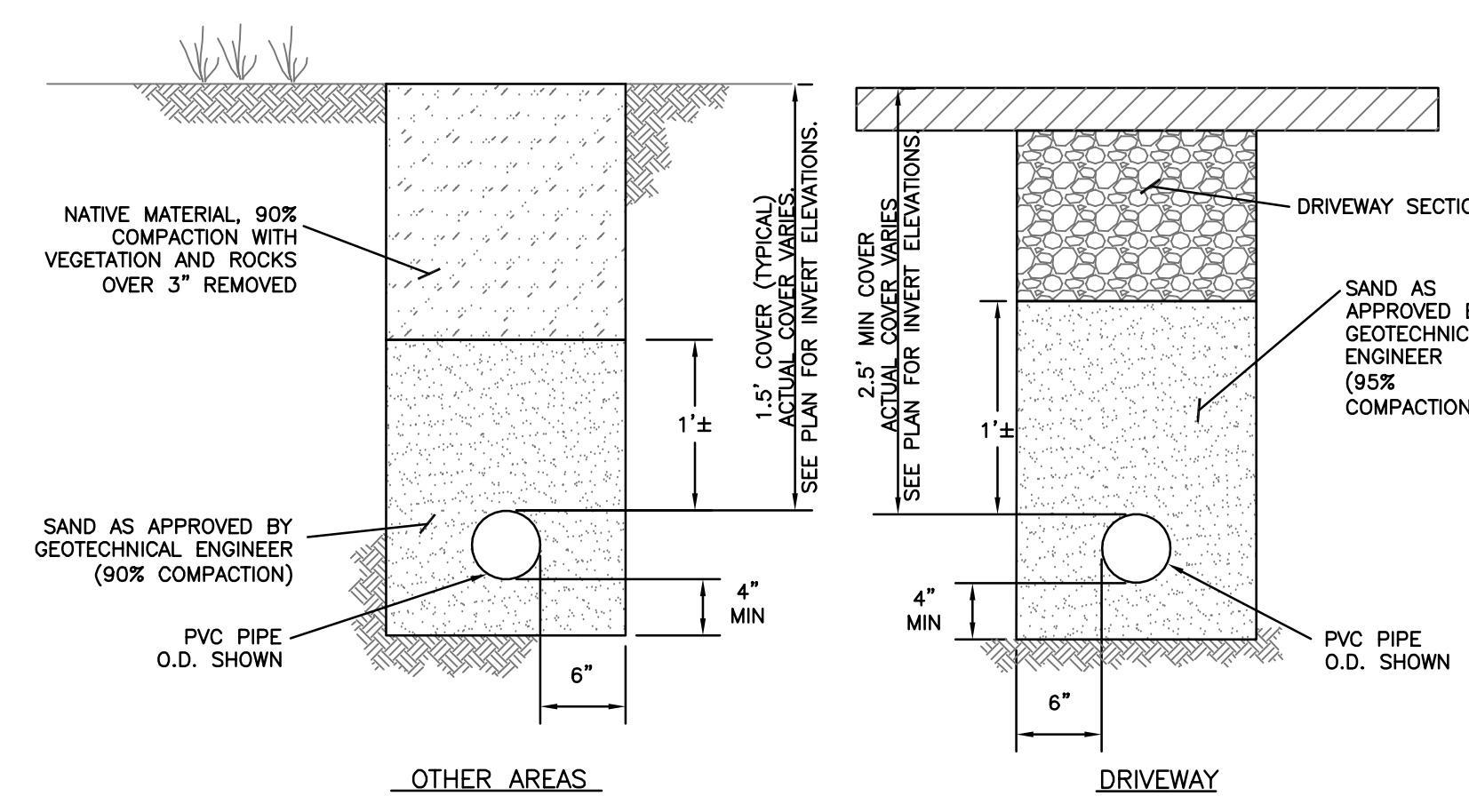
**SITE CROSS SECTION-LOOKING WEST**  
SCALE: 1"=5'



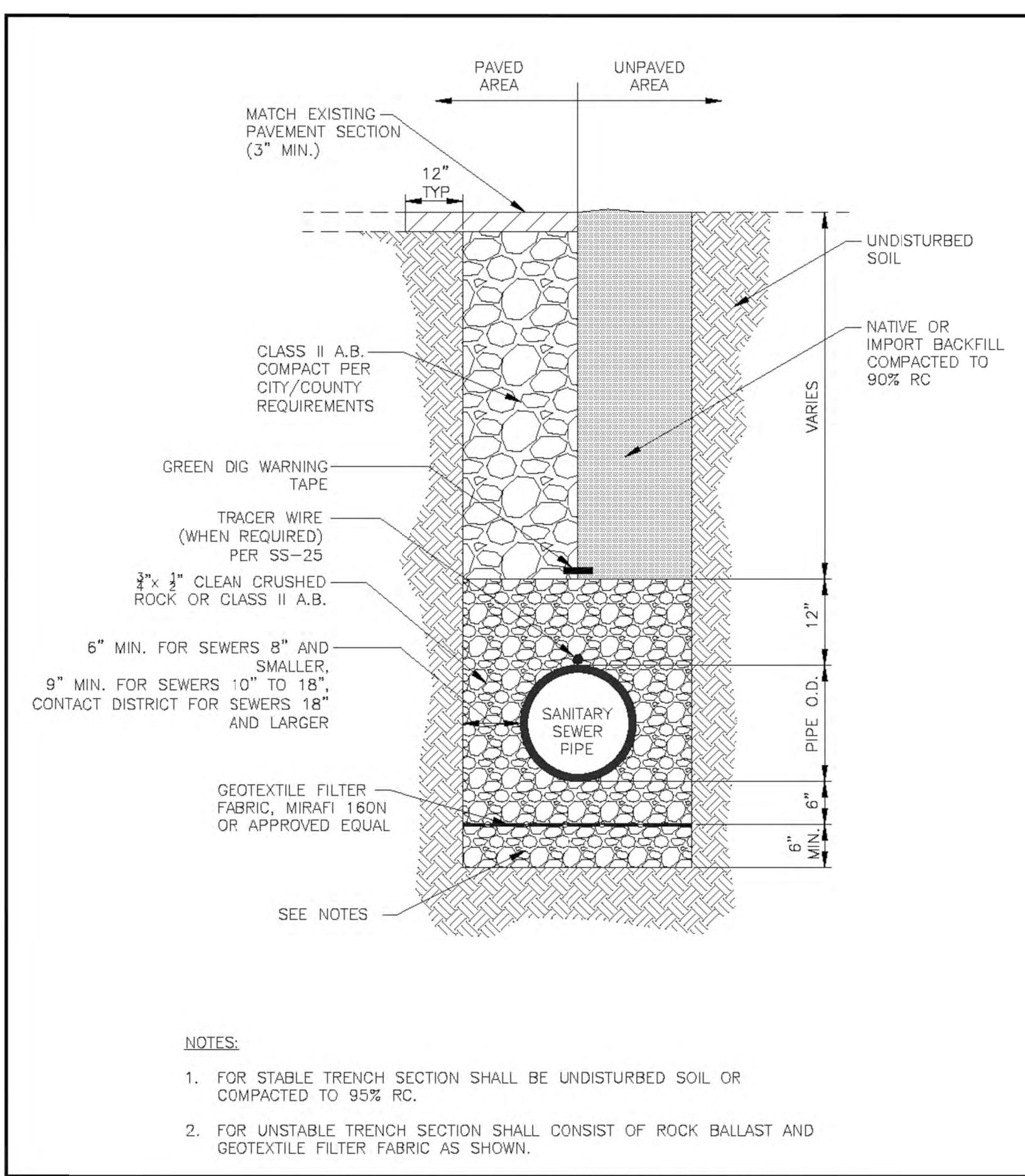
**DRIVEWAY CONCRETE SECTION**  
SCALE: 1"=5'



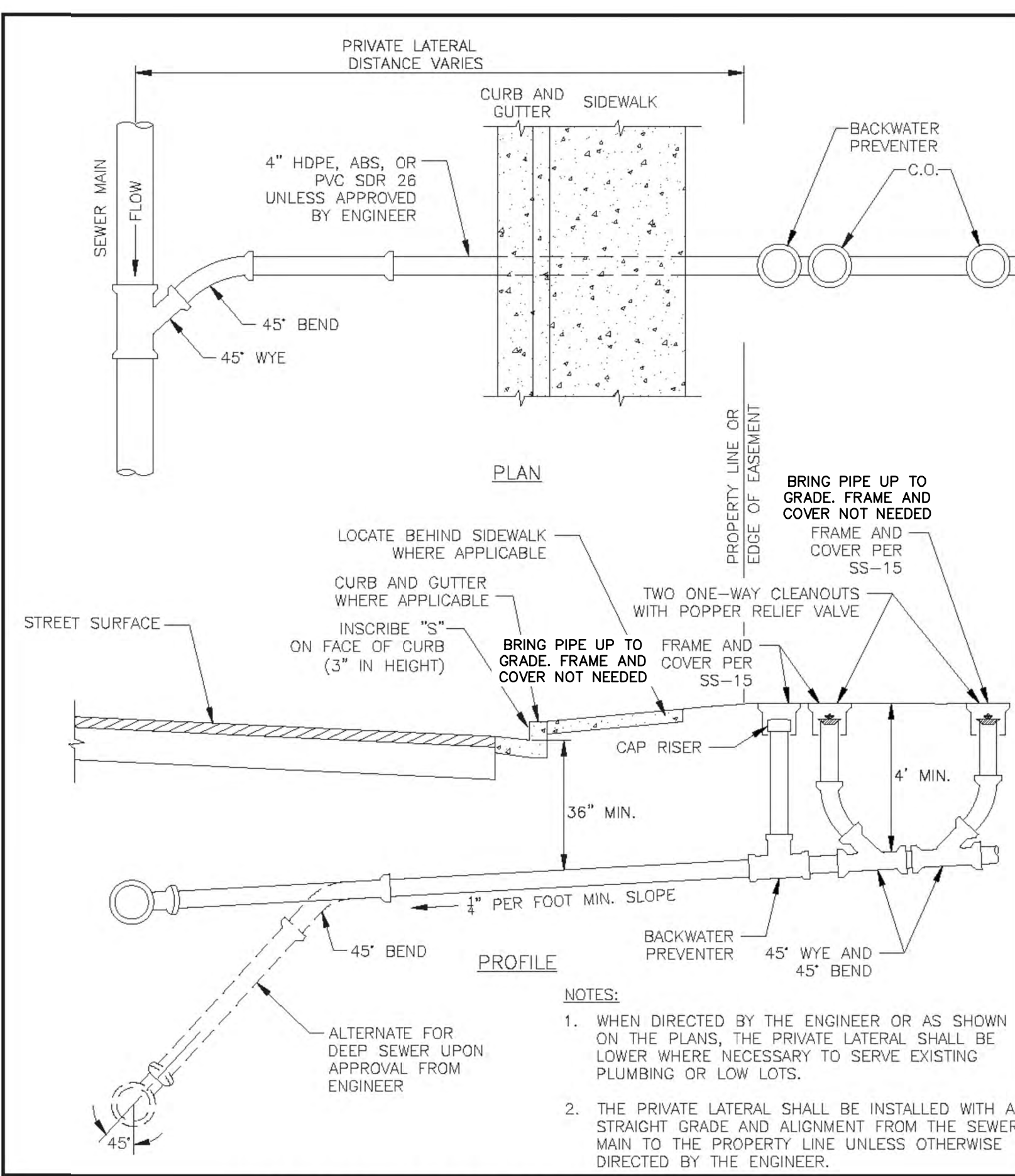
**STONE PAVERS SET OVER CONCRETE**  
SCALE: 1"=5'



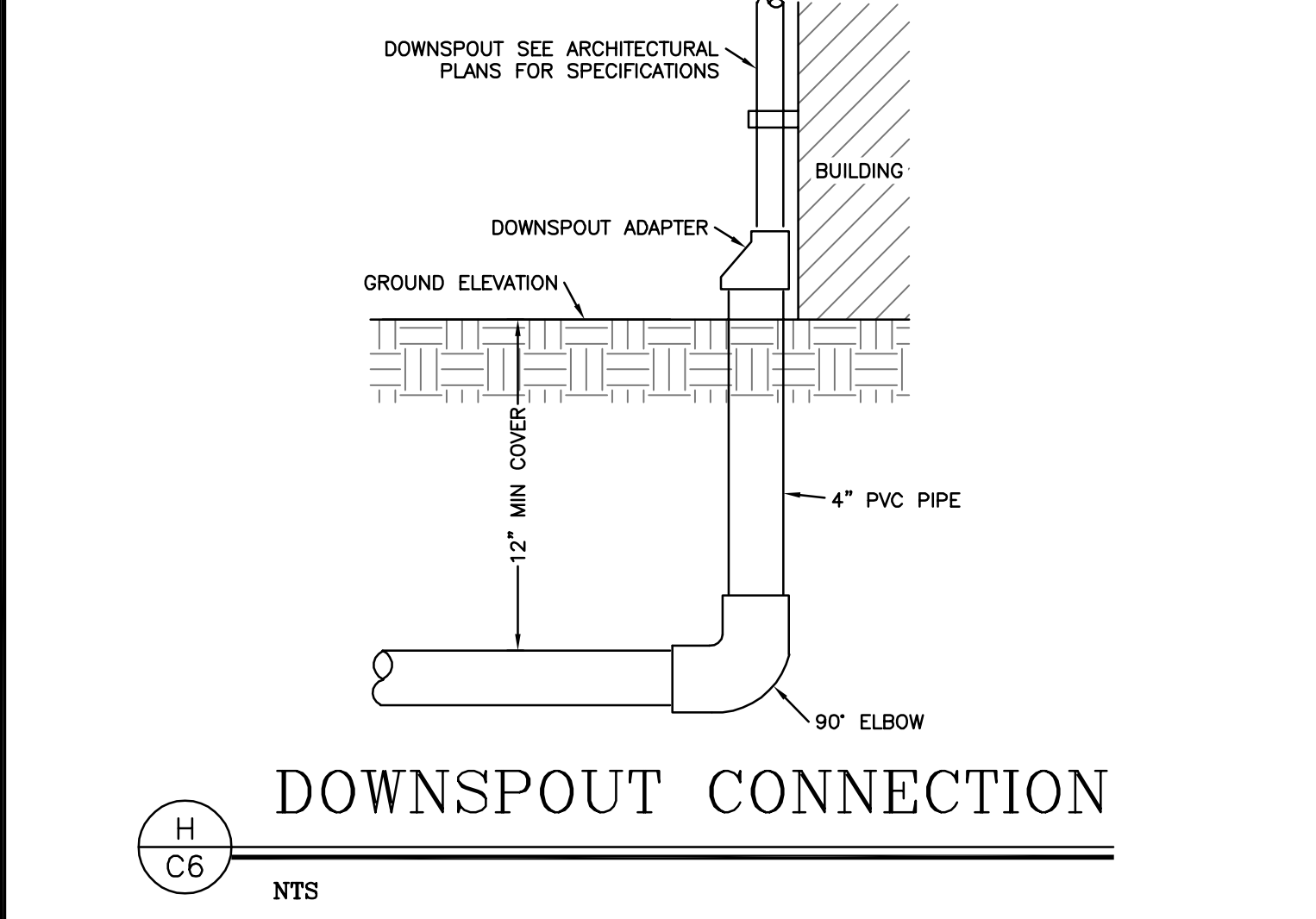
**TRENCHING DETAIL**  
SCALE: 1"=5'



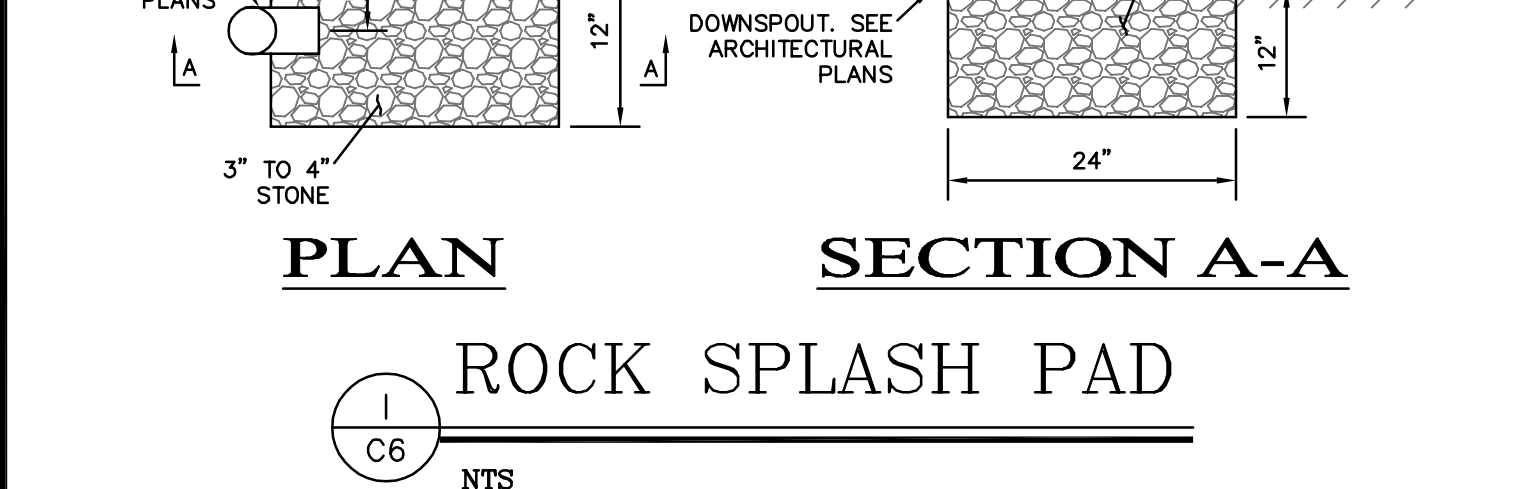
**CARMEL AREA WASTEWATER DISTRICT**  
STANDARD TRENCH SECTION  
DATE: JAN 2019  
DRAWING NO. SS-24



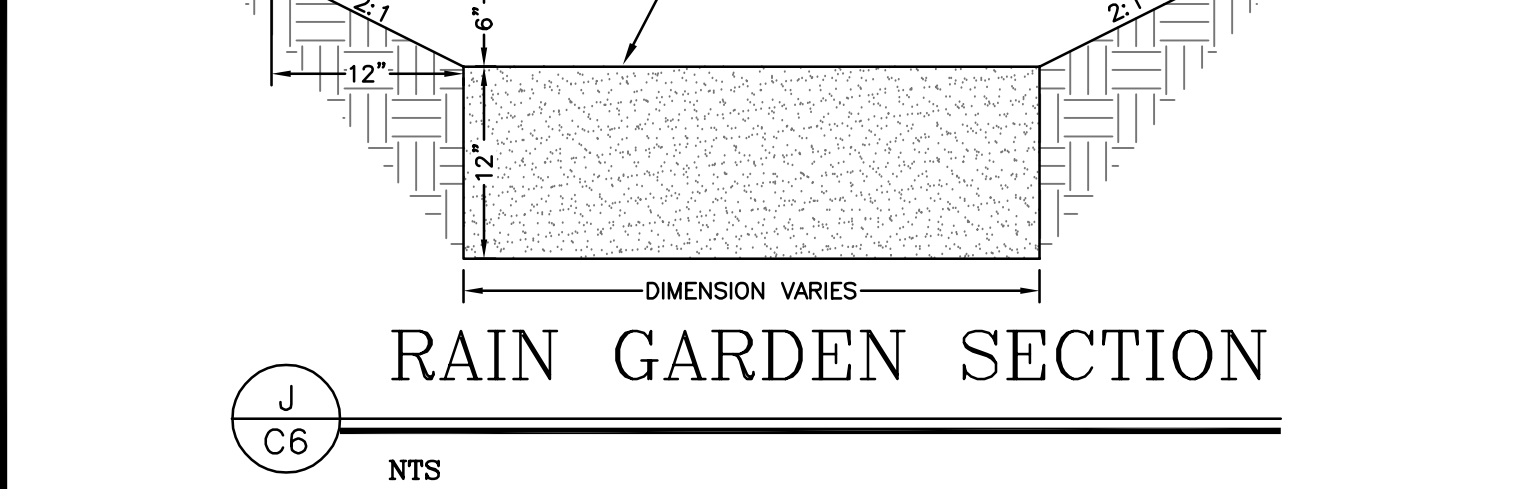
**CARMEL AREA WASTEWATER DISTRICT**  
STANDARD RESIDENTIAL PRIVATE LATERAL DEEPER THAN 4'  
DATE: JAN 2019  
DRAWING NO. SS-3



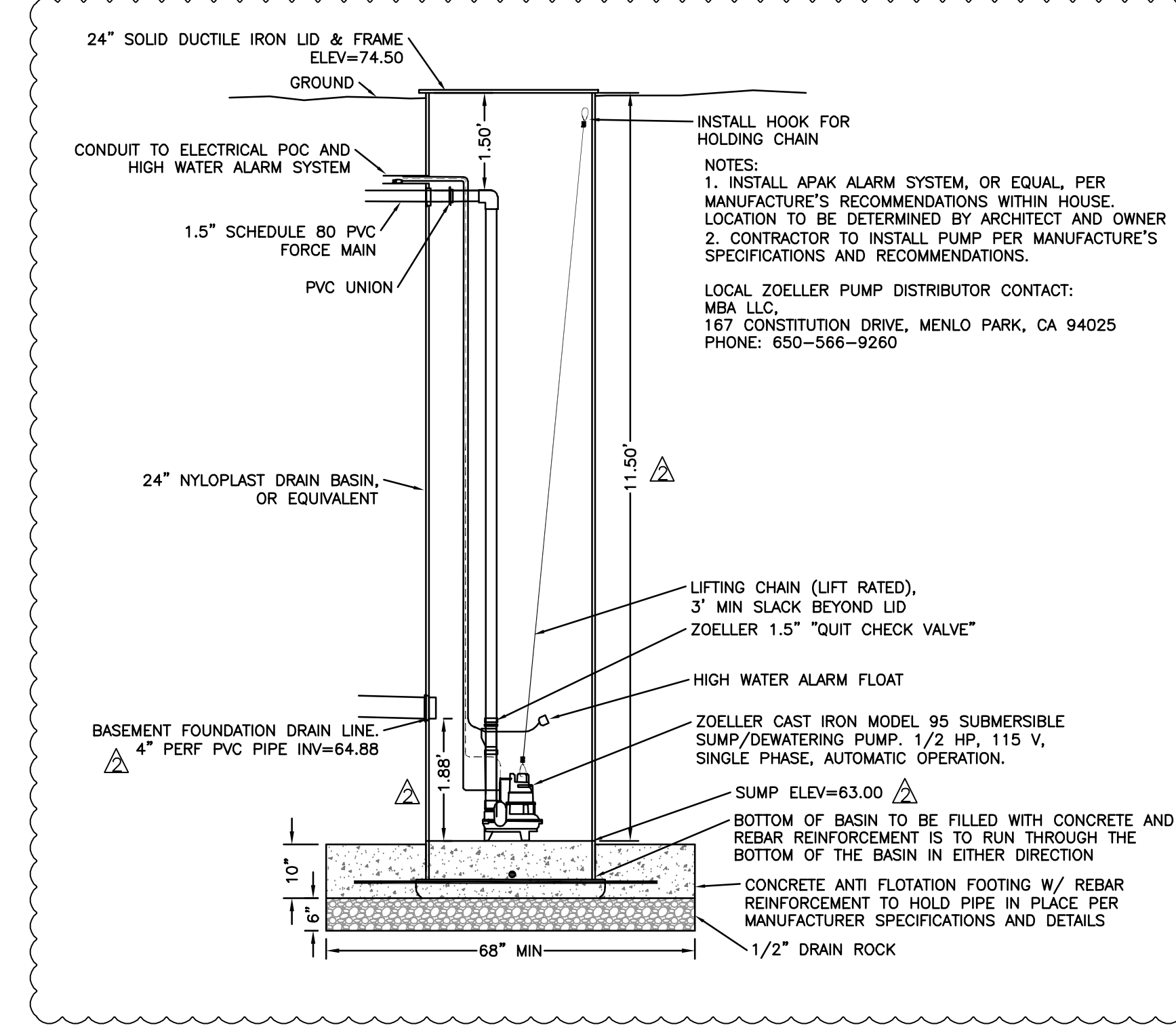
**DOWNSPOUT CONNECTION**  
SCALE: 1"=5'



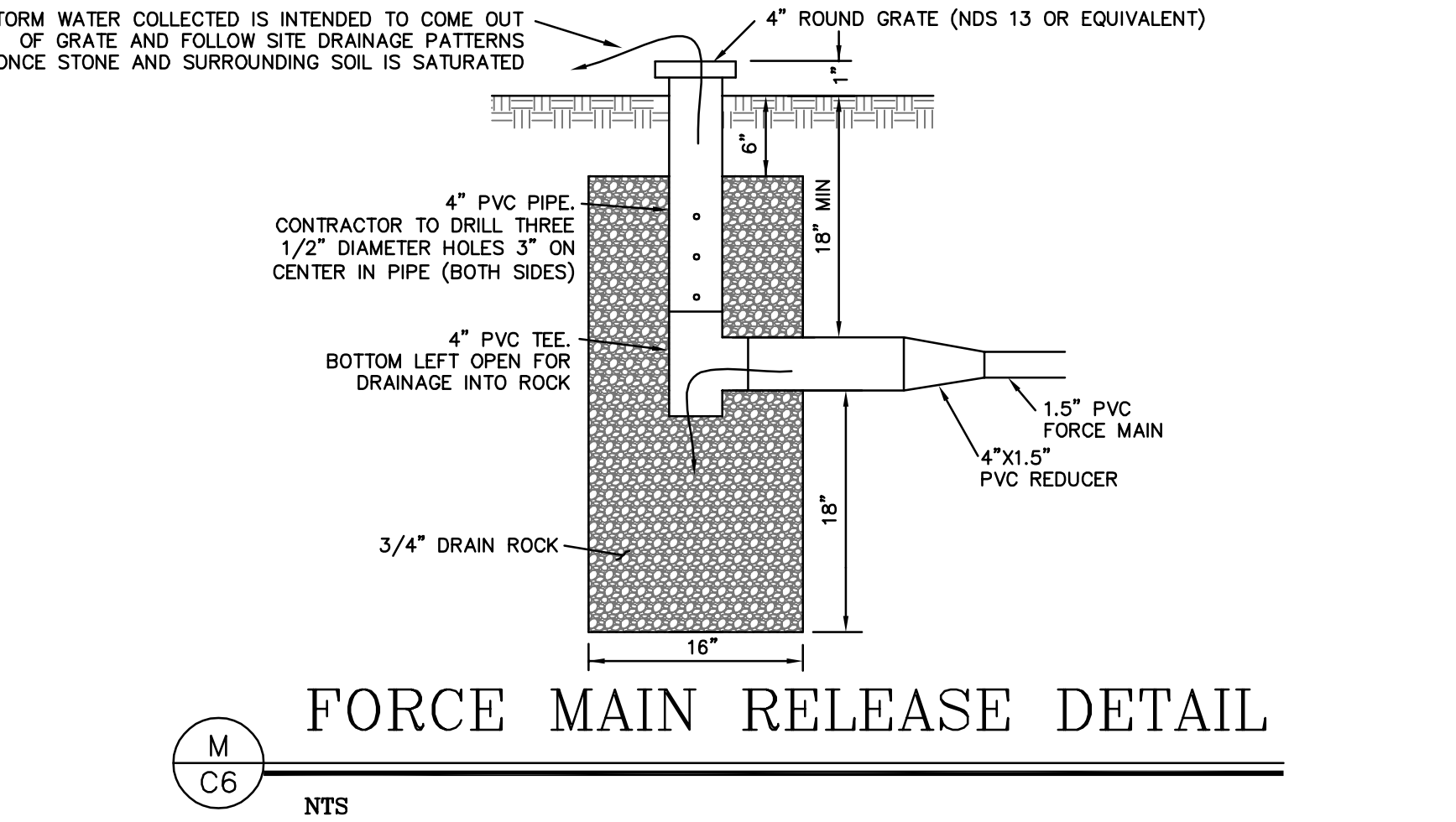
**ROCK SPLASH PAD**  
SCALE: 1"=5'



**RAIN GARDEN SECTION**  
SCALE: 1"=5'



**FOUNDATION DRAINAGE PUMP CHAMBER**  
SCALE: 1"=2'



**FORCE MAIN RELEASE DETAIL**  
SCALE: 1"=5'



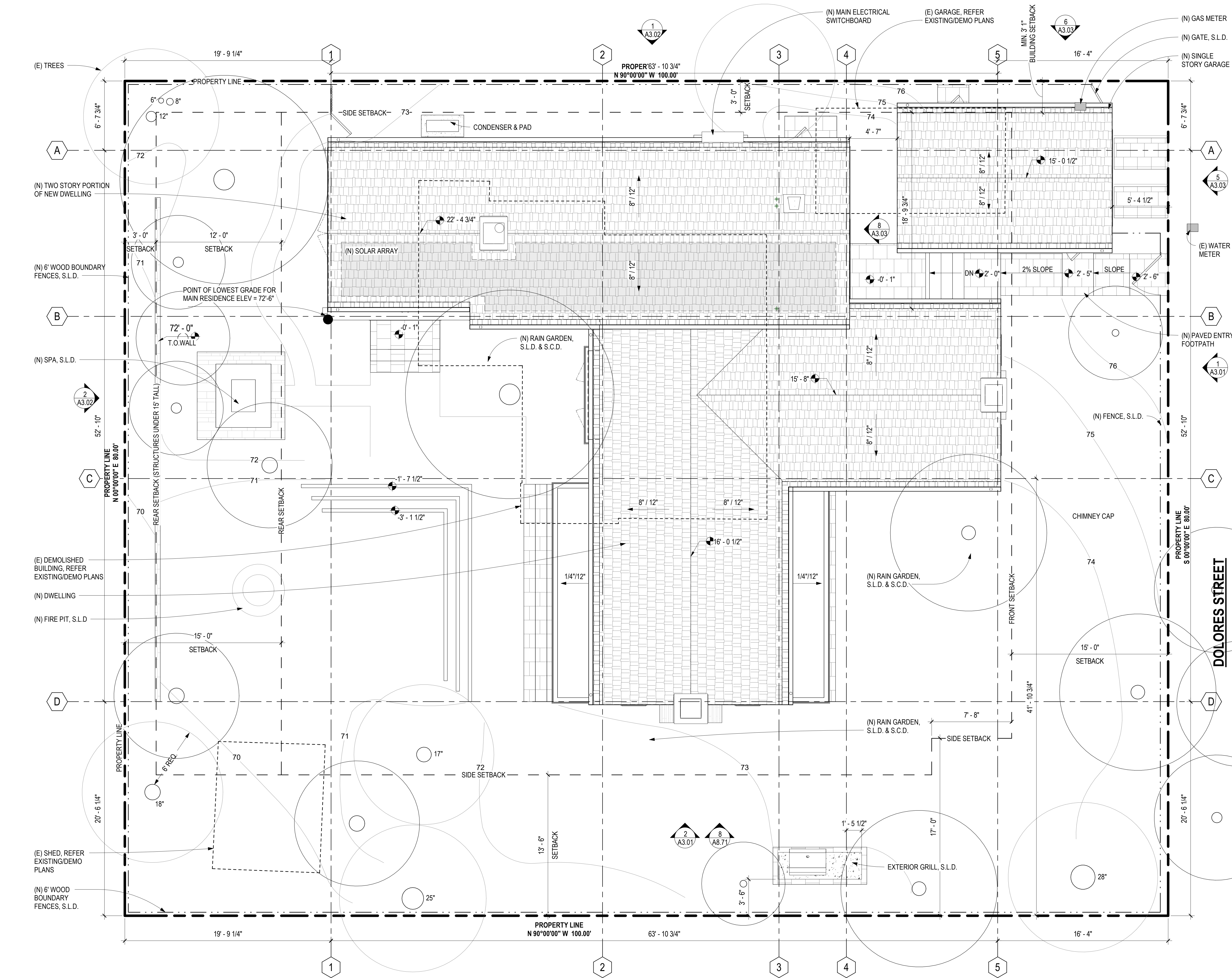
Carmel-by-the-Sea, CA 93921

DATE	ISSUE
14.22	CONCEPT PLANNING
11.22	CONCEPT PL REV #1
13.23	FINAL DETAILS PL
03.23	PERMIT SET
03.23	50% CD BACKGROUNDS
24.23	PLAN CHECK REVISIONS
15.23	100% CD BACKGROUNDS

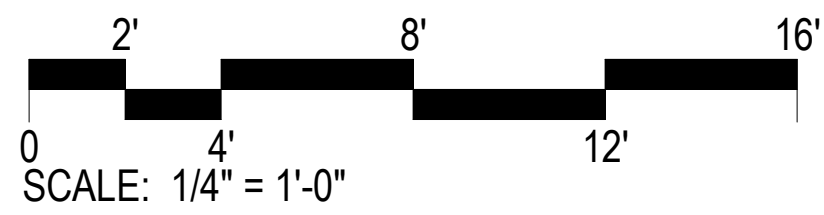






**SCALE:**  $1/4" = 1'-0"$

## A1.01



1 SITE PLAN  
A1.01 1/4" = 1'-0"

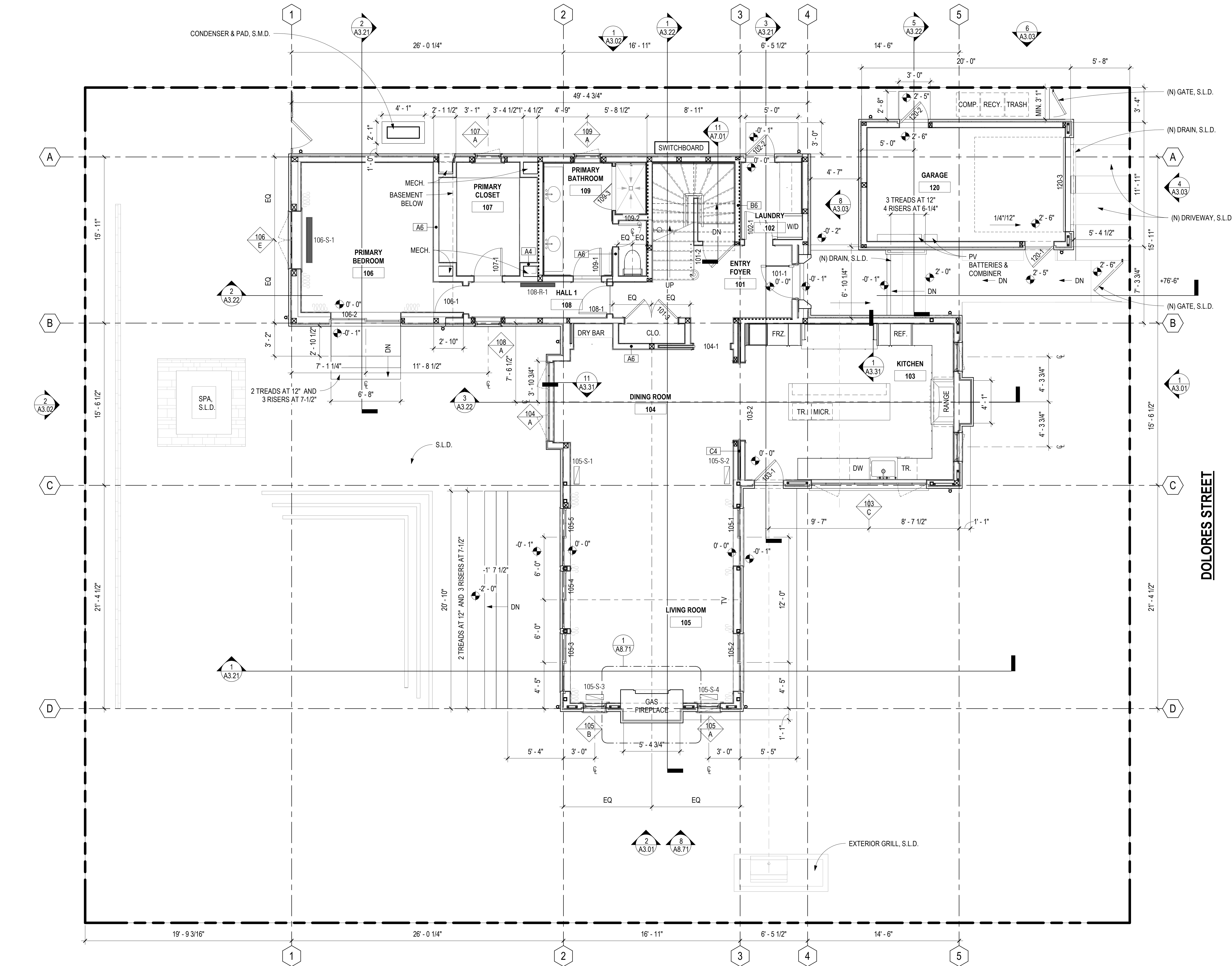


 LINE OF EXISTING BUILDING  
 (E) TREE TO REMAIN, S.L.D.  
 (N) TREES, S.L.D.  
 70 CONTOUR LINES  
 BOUNDARY FENCE, S.L.D.

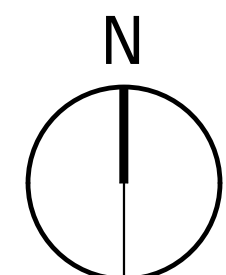
## SHEET NOTES

1. TOPOGRAPHIC CONTOUR LINES ARE BASED ON SURVEY BY L&S ENGINEERING AND SURVEYING INC.
2. NOT ALL TREES TO REMAIN. REFER NOTES ON THIS DRAWING, SEE CIVIL DETAILS FOR TREE PROTECTION DETAILS, REFER CITY FOREST REPORT ON G0.05 & ACCOMPANYING ARBORIST REPORT
3. SEE CIVIL DRAWINGS FOR PROPOSED GRADING AND SITE DRAINAGE. TOPOGRAPHIC CONTOURS SHOWN HERE ARE FOR REFERENCE ONLY.
4. SEE CIVIL AND MEP DRAWINGS FOR LOCATIONS OF UTILITIES.
5. SEE CIVIL DRAWINGS FOR CUT AND FILL QUANTITIES.





1 FIRST FLOOR PLAN  
1/4" = 1'-0"



#### LEGEND

----- SHEAR WALL, SHOWN ON INT. WALLS ONLY, S.S.D. FOR SHEAR WALL AT EXT. WALLS

#### SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- LANDSCAPING SHOWN FOR GRAPHIC REPRESENTATION ONLY, SEE LANDSCAPE PLANS FOR INFORMATION
- DOORS AND WINDOWS ARE DIMENSIONED TO CENTER LINES, U.O.N., WHERE LOCATIONS ARE NOT DIMENSIONED, CENTER DOORS AND WINDOWS IN THE WALL OR PLACE 4 INCHES NOMINAL FROM THE FACE OF FRAME TO THE FACE OF FINISH AT ADJACENT PERPENDICULAR WALL
- PROVIDE FIREBLOCKING IN CONCEALED SPACES AS FOLLOWS:
  - VERTICALLY AT CEILING & FLOOR LEVELS
  - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT
- S.S.D. FOR PLYWD SHEATHING LOCATIONS, TYP.
- SEE ENLARGED PLANS ON INTERIOR ELEVATIONS
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL INFORMATION AND DIMENSIONS
- FLOOR REGISTERS ARE LOCATED ON FINISH FLOOR PLANS

**CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED**

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle  
\*Expansion of basement level and change in roof material.

**RICHARD  
BEARD  
ARCHITECTS**

2475 THIRD STREET, STUDIO 252  
SAN FRANCISCO, CALIFORNIA 94107  
415-458-2600

**DOLORES STREET**  
Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

DRAWN BY JT  
CHECKED BY KS  
PROJECT NO 2114  
DATE 09.14.22 ISSUE CONCEPT PLANNING  
11.11.22 CONCEPT PL REV #1  
01.13.23 FINAL DETAILS PL  
03.03.23 PERMIT SET  
04.24.23 PLAN CHECK REVISIONS

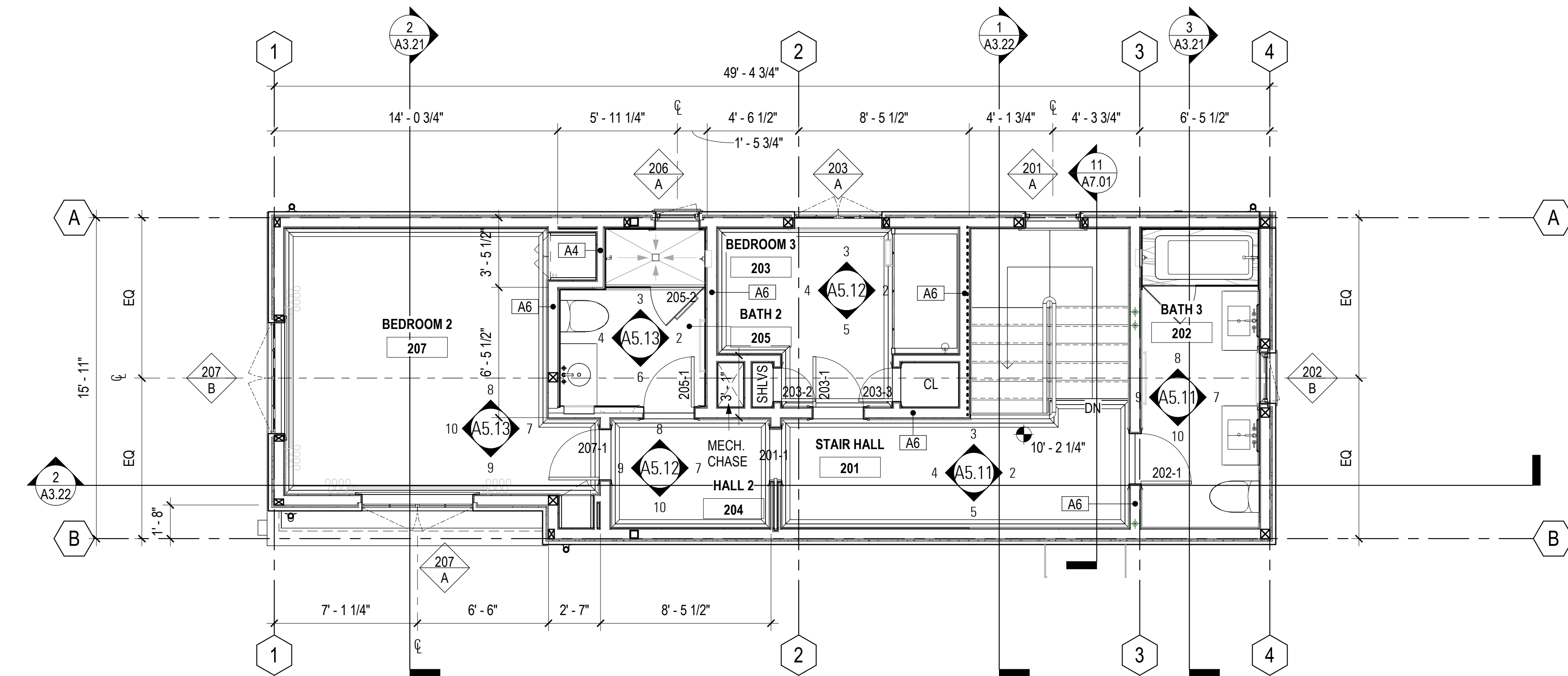


FIRST FLOOR PLAN

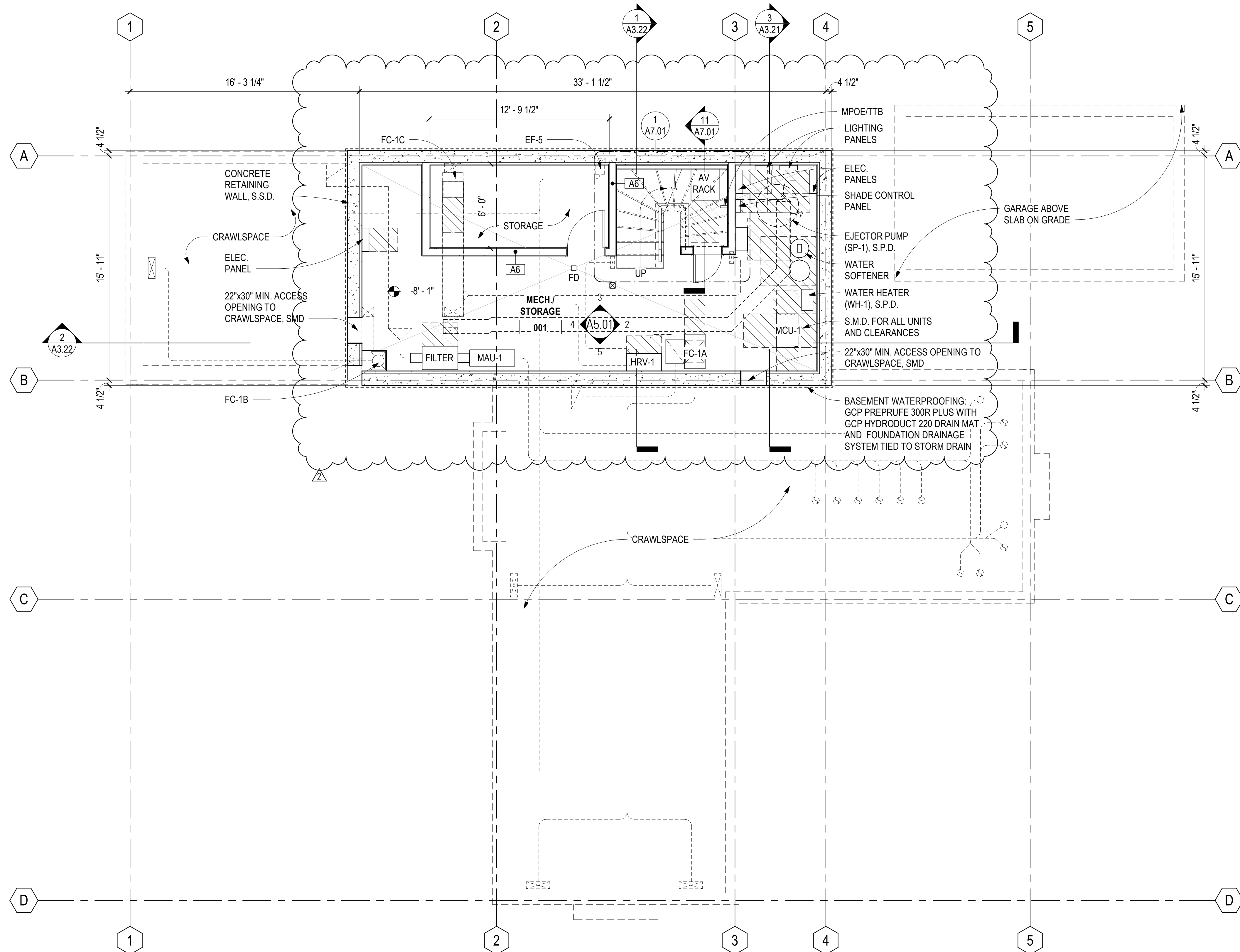
SCALE: 1/4" = 1'-0"

**A2.01**





2 SECOND FLOOR PLAN  
A2.02 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN  
A2.02 1/4" = 1'-0"

LEGEND

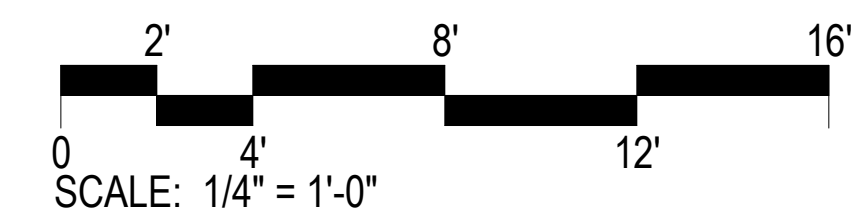
----- SHEAR WALL, SHOWN ON INT. WALLS ONLY, S.S.D. FOR SHEAR WALL AT EXT. WALLS

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- LANDSCAPING SHOWN FOR GRAPHIC REPRESENTATION ONLY. SEE LANDSCAPE PLANS FOR INFORMATION
- DOORS AND WINDOWS ARE DIMENSIONED TO CENTER LINES, U.O.N., WHERE LOCATIONS ARE NOT DIMENSIONED, CENTER DOORS AND WINDOWS IN THE WALL OR PLACE 4 INCHES NOMINAL FROM THE FACE OF FRAME TO THE FACE OF FINISH AT ADJACENT PERPENDICULAR WALL
- PROVIDE FIREBLOCKING IN CONCEALED SPACES AS FOLLOWS:
  - VERTICALLY AT CEILING & FLOOR LEVELS
  - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT
- S.S.D. FOR PLYWD SHEATHING LOCATIONS, TYP.
- SEE ENLARGED PLANS ON INTERIOR ELEVATIONS
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL INFORMATION AND DIMENSIONS
- FLOOR REGISTERS ARE LOCATED ON FINISH FLOOR PLANS

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle  
\*Expansion of basement level and change in roof material.



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2475 THIRD STREET, STUDIO 252  
SAN FRANCISCO, CALIFORNIA 94107  
415-458-2600

DOLORES STREET  
Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

DRAWN BY JT  
CHECKED BY KS  
PROJECT NO 2114  
DATE 09.14.22 ISSUE CONCEPT PLANNING  
11.11.22 CONCEPT PL REV #1  
01.13.23 FINAL DETAILS PL  
03.03.23 PERMIT SET  
06.20.23 2 PERMIT REV #2



SECOND & BASEMENT  
FLOOR PLANS

SCALE: 1/4" = 1'-0"

A2.02



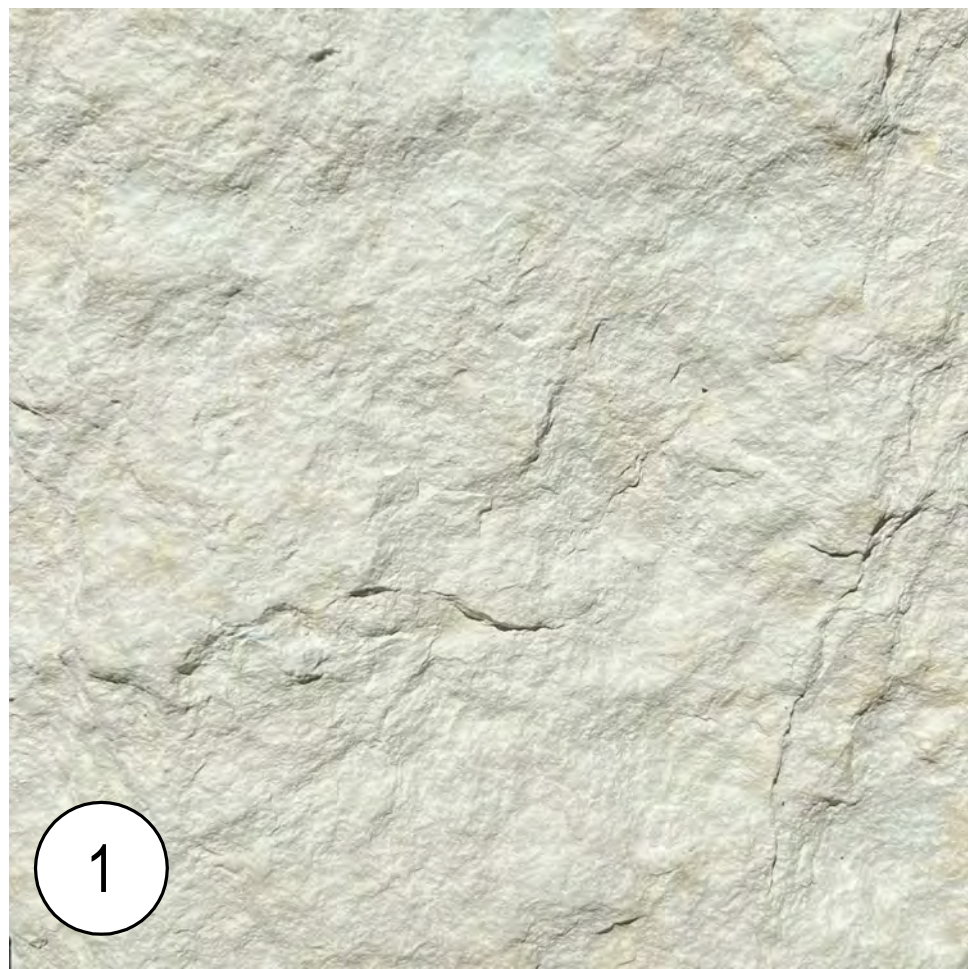


PHYSICAL MATERIAL SAMPLE BOARD

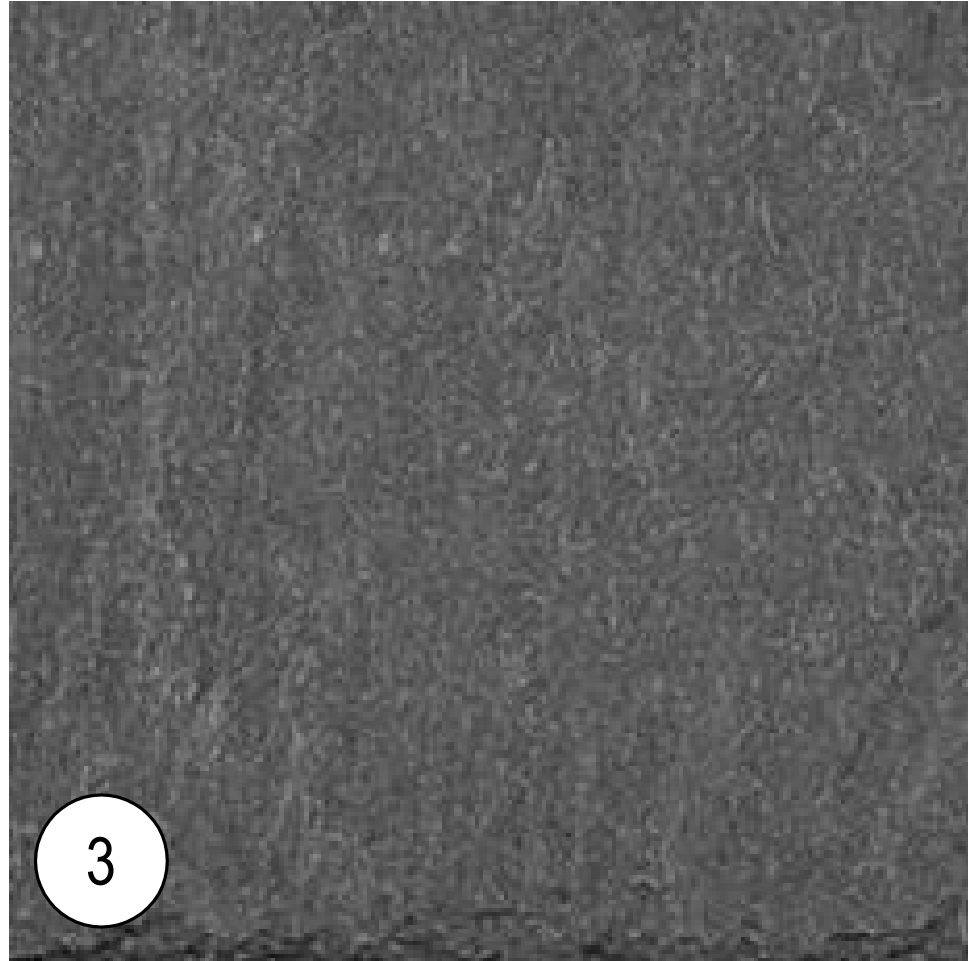
MATERIALS SHOWN WERE THE APPROVED SET FROM  
PLANNING REVIEW MEETINGS & PRESENTATIONS



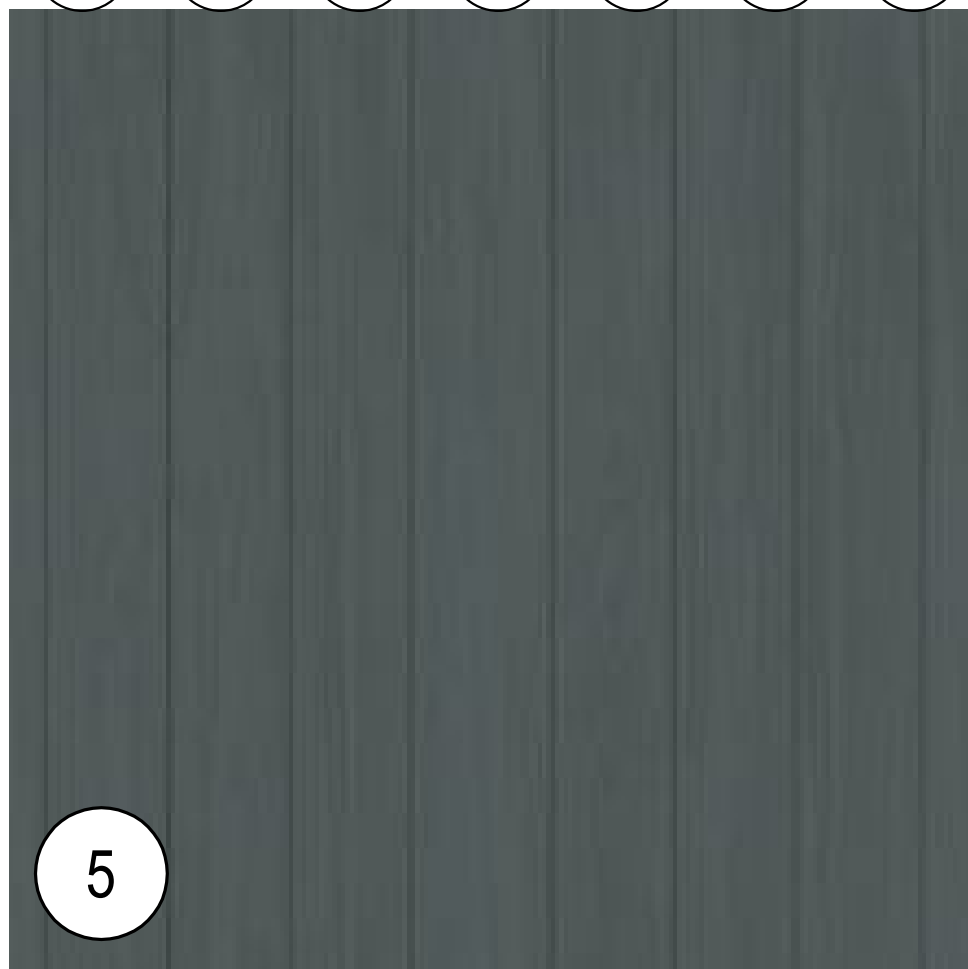
EXTERIOR STONE PAVING  
FAUNE LIMESTONE - "ROUGH BURNISHED"  
MAIDEN STONE



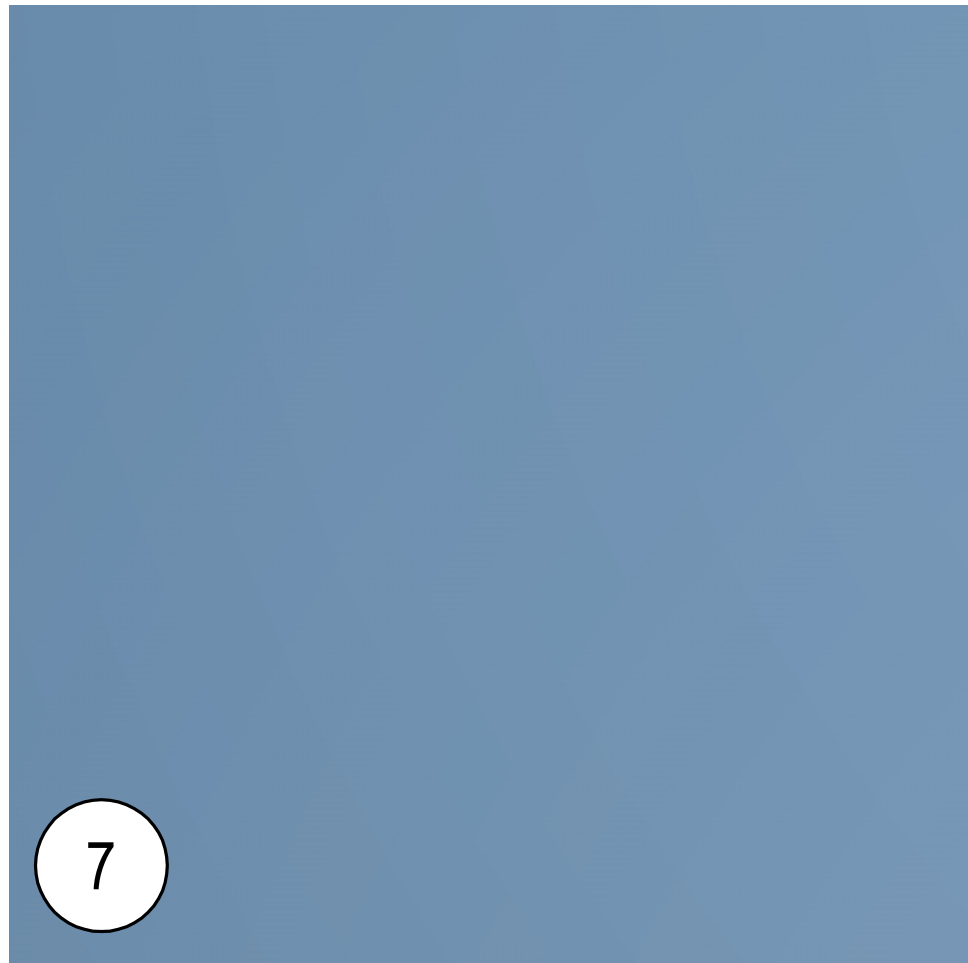
EXTERIOR WALL CLADDING  
AUGUSTINE WHITE LIMESTONE - "SPLIT FACE"  
MAIDEN STONE



SLATE ROOFING  
"DEL CASTILLO GRAY"  
CALIFORNIA SLATE COMPANY



PAINTED WOOD BUMP OUTS, DOORS, & GARAGE DOOR  
"FLINT" PAINT COLOR (AF-560)  
BENJAMIN MOORE

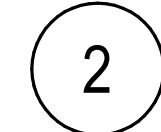


FRONT DOOR - PAINTED WOOD  
"COOK'S BLUE" PAINT COLOR (NO. 237)  
FARROW & BALL

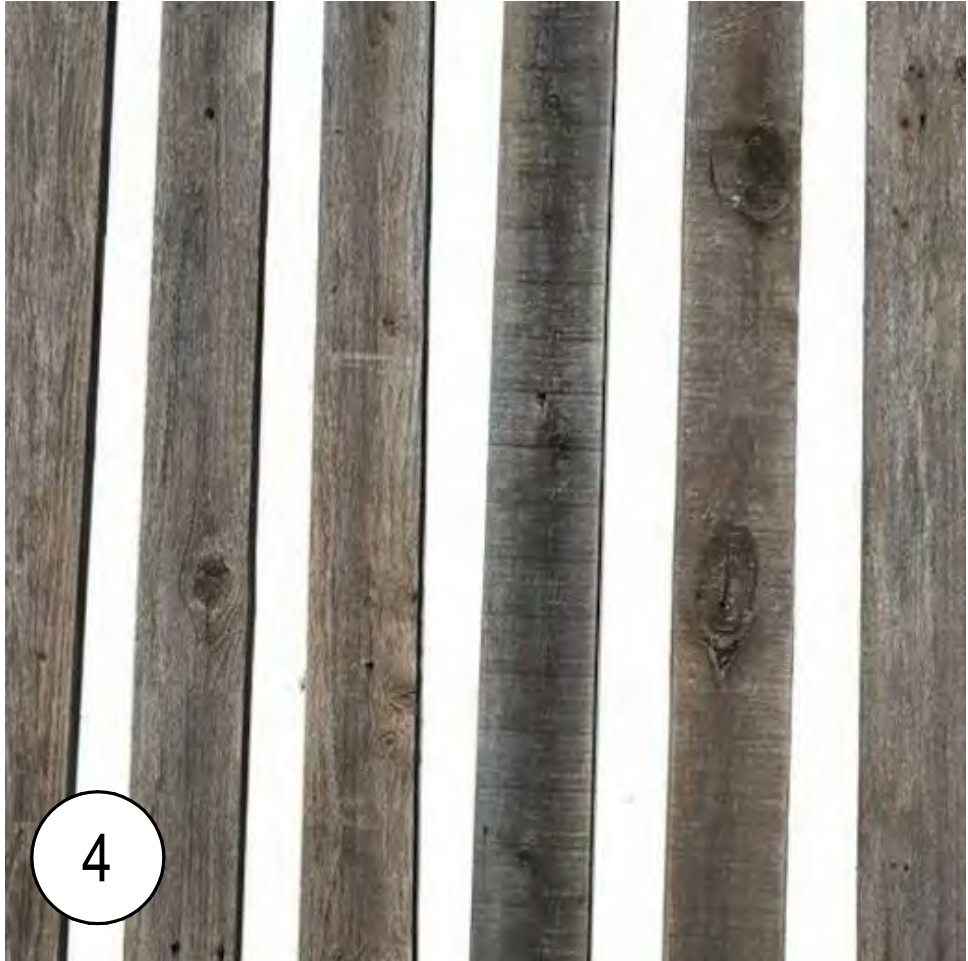
CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-238 (Hanson) \_\_\_\_\_  
Date Approved: 09.22.2023 \_\_\_\_\_  
Planner: M. Waffle \_\_\_\_\_

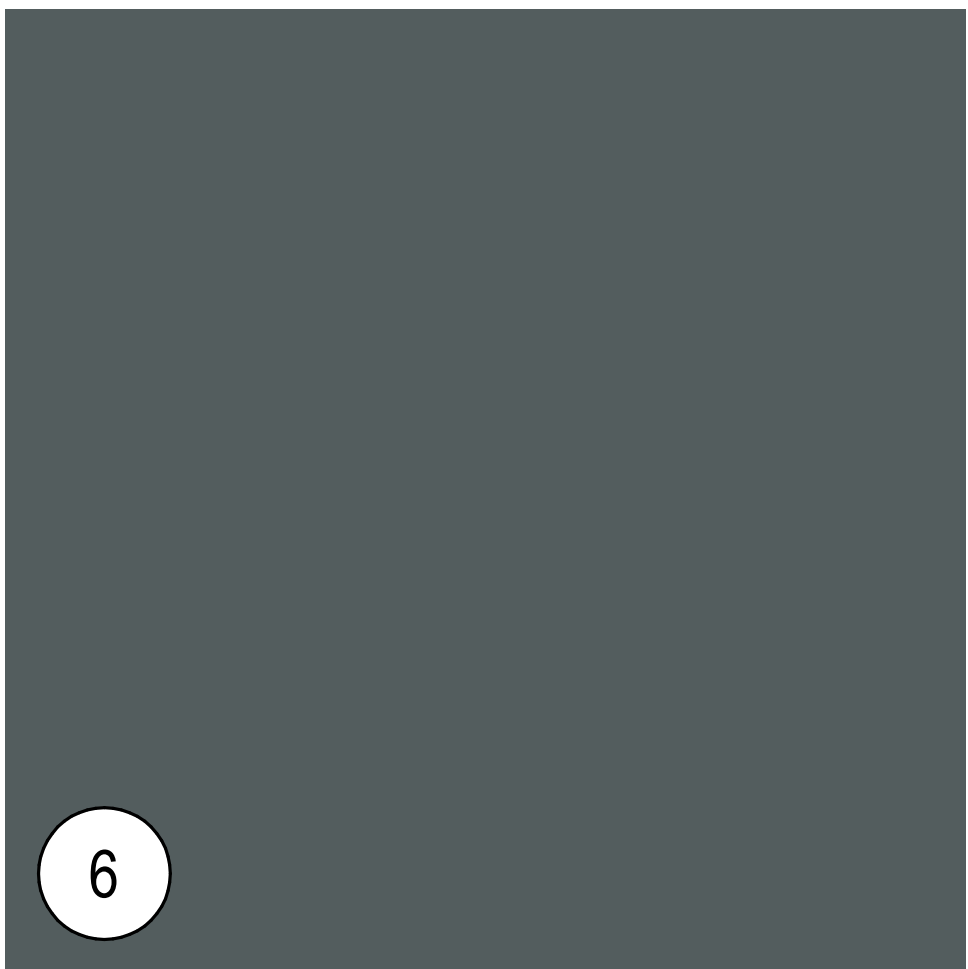
\*Expansion of basement level and change  
in roof material.



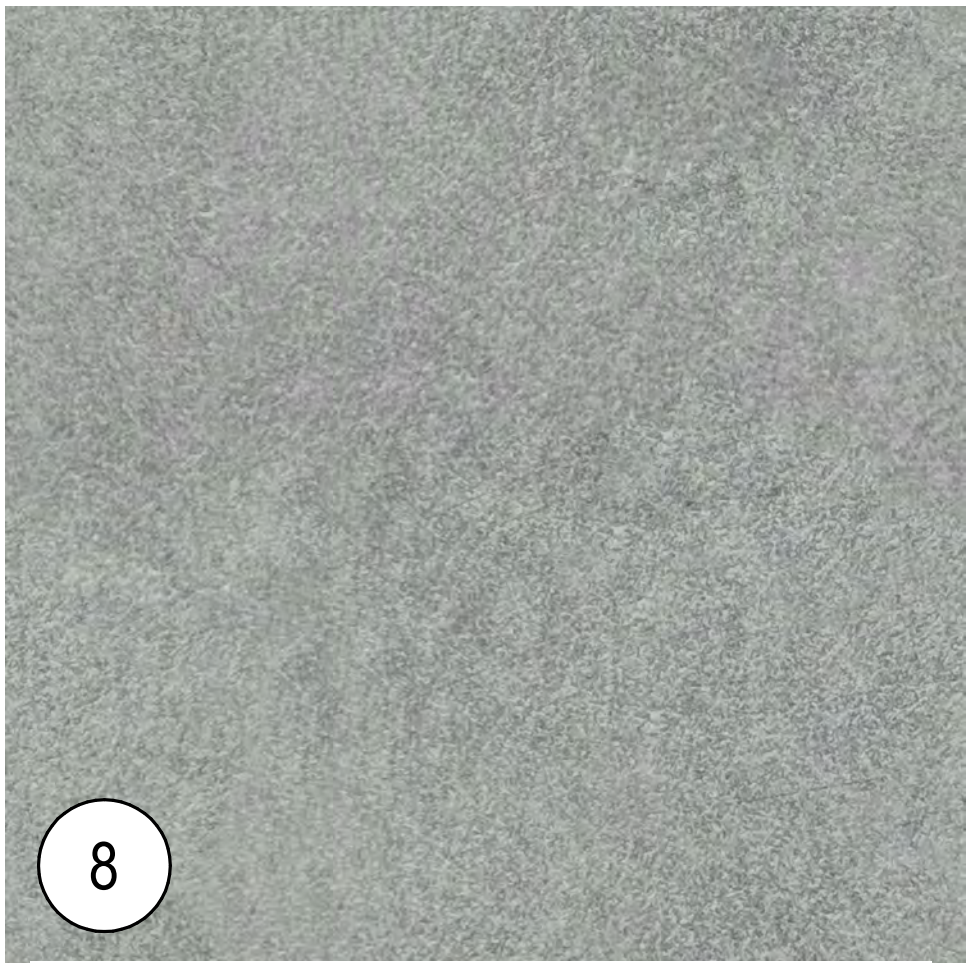
NO LONGER USED



STAINED EXTERIOR WOOD GARDEN FENCE  
STAINED GRAPE STAKE  
LOCAL SUBCONTRACTOR

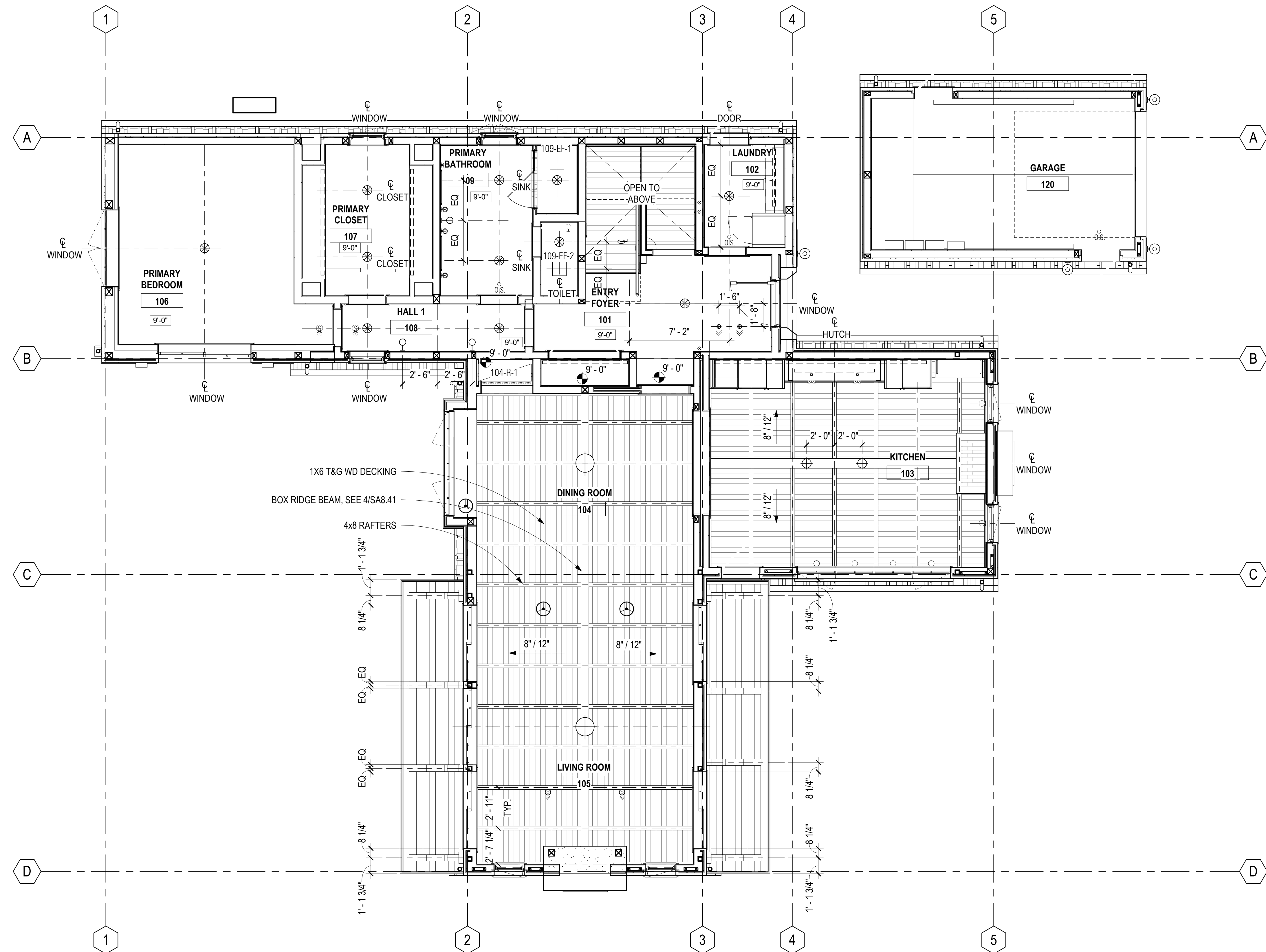


PAINTED METAL GUTTERS & DOWNSPOUTS  
"FLINT" PAINT COLOR (AF-560)  
BENJAMIN MOORE

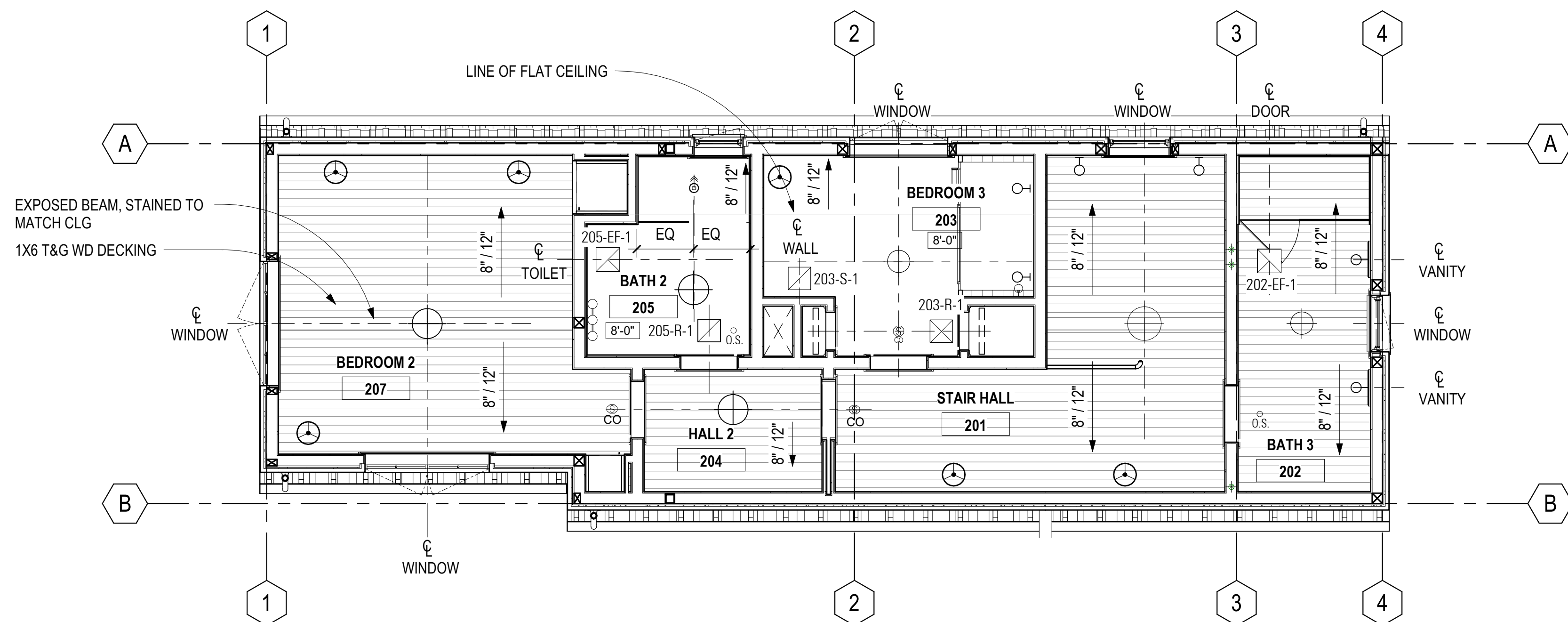


STEEL DOOR & WINDOW FRAMES  
"PEWTER" FINISH  
PORTELLA DOORS & WINDOWS

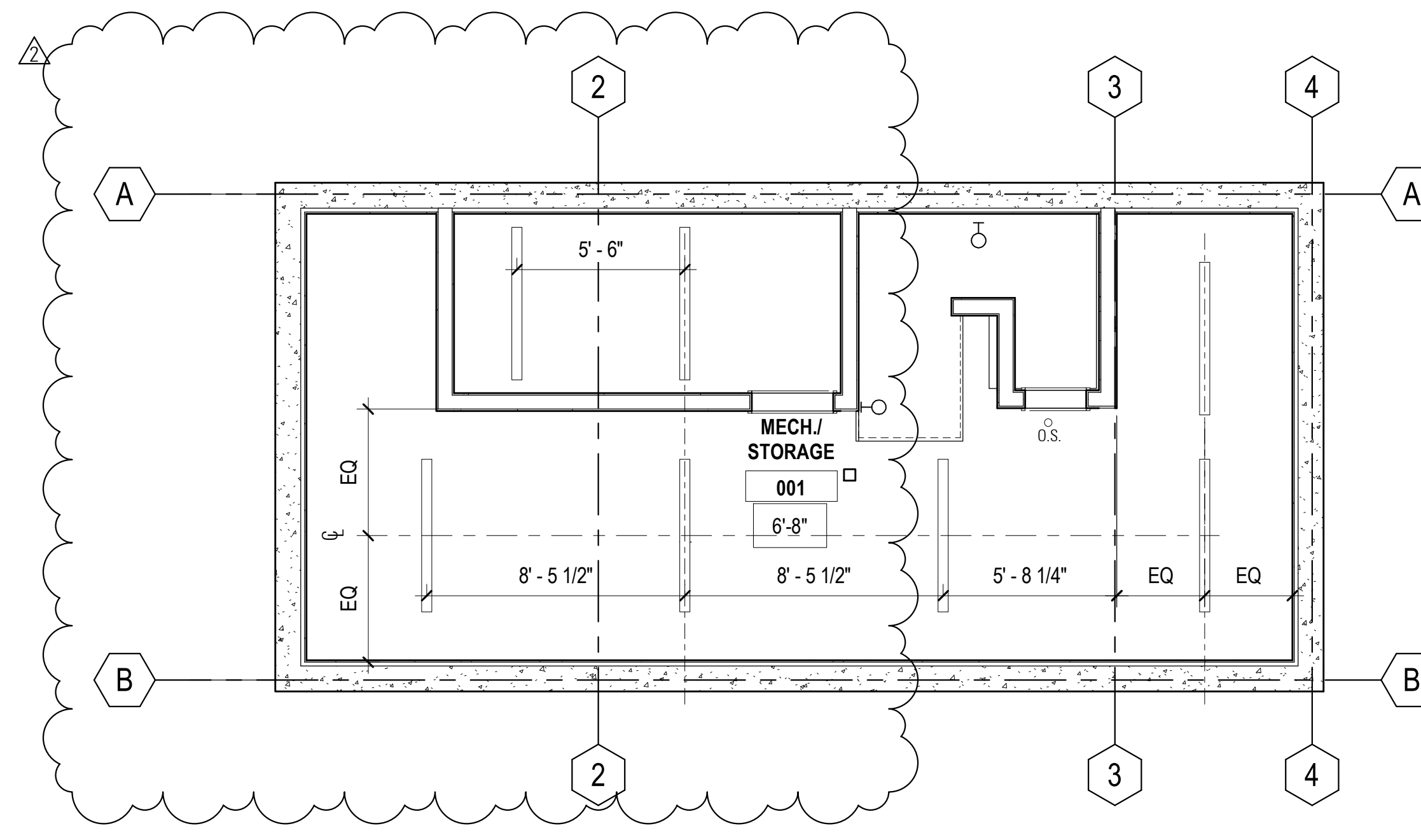




2 MAIN LEVEL RCP  
A6.01 1/4" = 1'-0"



3 SECOND LEVEL FIN. FLR.  
A6.01 1/4" = 1'-0"



5 BASEMENT LEVEL  
A6.01 1/4" = 1'-0"

## LEGEND

	RECESSED LIGHT
	DECORATIVE SCONCE
	DECORATIVE FLUSH MOUNT
	DECORATIVE PENDANT
	WALL SCONCE
	KEYPAD SWITCH
	DOOR JAMB SWITCH
	EXHAUST FAN
	LINEAR STRIP LIGHT
	SURFACE MOUNTED LINEAR LED
	DECORATIVE LAMP ON SWITCHED OUTLET
	O.S. OCCUPANCY SENSOR
	S.CO SMOKE ALARM/CARBON MONOXIDE COMBO
	LED SURFACE MOUNT
	AIR REGISTER
	FIRE SPRINKLER

## EXTERIOR FIXTURE COUNT

SYMBOL	FIXTURE TYPE	TOTAL FIXTURE COUNT	
		(E)	(N)
	EXTERIOR WALL SCONCE	5	14
	EXTERIOR LED DOWNLIGHT	0	2

## SHEET NOTES

- ALL DIMENSIONS ARE TO CENTER LINE OF FIXTURES AND TO F.O. FINISH, U.O.N.
- CENTER LIGHT FIXTURES, AND SPEAKERS ON BEAM, B/W BEAMS, SOFFIT, OR IN ROOM U.O.N.
- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. SMOKE DETECTORS SHALL BE "HARD WIRED" AND EQUIPPED WITH BATTERY BACK-UP, TYP. ALL LOCATIONS TO MEET 2022 CBC REQ.
- ALL EXHAUST FANS TO BE SWITCHED INDEPENDENTLY.
- HIGH EFFICACY FIXTURES ARE REQUIRED IN BATHROOMS AND CONTROLLED THROUGH AN OCCUPANCY SENSOR.
- LIGHT FIXTURES IN WET AREAS MUST BE LISTED FOR WET LOCATION AND REQUIRE WATER RESISTANT TRIMS.
- ALL OUTDOOR LIGHTING FIXTURES SHALL BE SHIELDED OR HOODED.
- LOCATE OCCUPANCY SENSORS 6" FROM F.O. GYP, U.O.N.
- SEE LIGHTING DRAWINGS FOR SWITCHING INFORMATION
- SEE LIGHTING DRAWINGS FOR TITLE 24 COMPLIANCE

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle  
\*Expansion of basement level and change in roof material.

RICHARD  
BEARD  
ARCHITECTS

2475 THIRD STREET, STUDIO 252  
SAN FRANCISCO, CALIFORNIA 94107  
415-458-2600

DOLORES STREET  
Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921

DRAWN BY JT  
CHECKED BY KS  
PROJECT NO 2114  
DATE 03.03.23 ISSUE PERMIT SET  
06.20.23 2 PERMIT REV #2

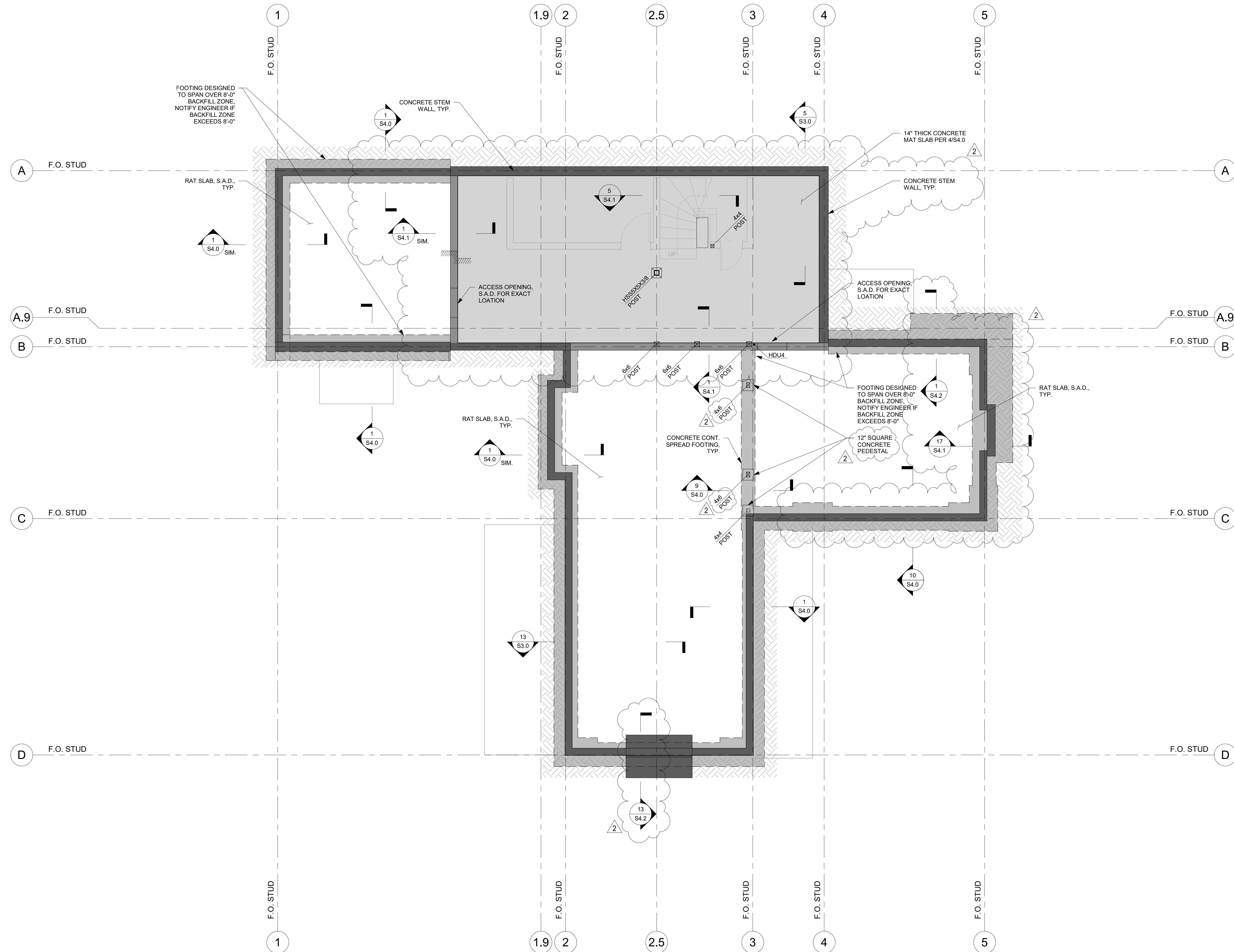


REFLECTED CEILING PLANS

SCALE: As indicated

A6.01



**PLAN LEGEND:**

	WALL ABOVE FRAMING PLAN, S.A.D. FOR WALL LAYOUT DIMENSIONS. SEE SHEET S1.1-S1.4 FOR FRAMING REQUIREMENTS & DETAILS
	WALL BELOW FRAMING PLAN
	NON-STRUCTURAL WALL ABOVE FRAMING PLAN, S.A.D.
	CONCRETE WALL ABOVE FOUNDATION PLAN
	CONCRETE CURB OR PARTIAL-HEIGHT WALL ABOVE PLAN
	HSS COLUMN & 4x MIN. NAILER AT END OF SHEAR WALL. SEE TYPICAL DETAIL 12/S1.4, U.O.N.
	"####" DENOTES SHEAR WALL HOLDOWN TYPE. SEE TYPICAL DETAILS 5/S1.2 AND 7/S1.2 FOR INFO AND MIN. END POST SIZE
	"#\"/>

**PLAN NOTES:**

- FOUNDATION PERIMETER, SUB-SLAB DRAINAGE, AND WATERPROOFING BY OTHERS.
- FOUNDATION AND SUBGRADE SHALL BE CONSTRUCTED AND PREPARED PER GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL COMPENSATE FOR BEAM DEFLECTIONS TO PROVIDE FOR LEVELED FINISHED SURFACES AND ACCOMMODATE FOR THE DEFLECTIONS LISTED BELOW FOR WINDOWS AND DOORS.
 

ALL BEAM DEFLECTIONS:  
TOTAL LOAD L/240  
LIVE LOAD L/360

BEAM DEFLECTIONS ABOVE AND BELOW WINDOWS AND GLASS DOORS, U.O.N.:  
TOTAL LOAD LESSER OF L/240, 1/4"

BEAM DEFLECTIONS ABOVE AND BELOW WOOD DOORS AND WOOD SLIDING DOORS, U.O.N.:  
TOTAL LOAD LESSER OF L/240, 3/4"

BEAM DEFLECTIONS AT CANTILEVERED END:  
TOTAL LOAD LESSER OF L/120, 1"  
LIVE LOAD LESSER OF L/180, 3/4"
- EXTERIOR STUDS SHALL BE 2x6 @16"o.c. U.O.N. AND INTERIOR STUDS SHALL BE 2x6 @16"o.c. U.O.N.
- ALL STEEL EXPOSED TO "WEATHER" AND PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL INCLUDING BUT NOT LIMITED TO WF BEAMS AND FASTENERS. AFTER WELDING, "WELDING SLAG" MUST BE REMOVED AND ZINC-RICH PAINT MUST BE APPLIED TO WELD AND ADJACENT AREAS WHERE COATING HAS BEEN DAMAGED. ZINC-RICH PAINT MUST BE APPLIED TO A THICKNESS EQUIVALENT TO HOT-DIPPED GALVANIZED COATING.
- LUMBER EXPOSED TO PROLONGED RAIN WILL LIKELY EXHIBIT DEFLECTIONS LARGER THAN ANTICIPATED

**CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED**

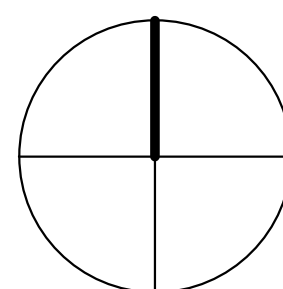
Permit #: DS 23-238 (Hanson)

Date Approved: 09.22.2023

Planner: M. Waffle

\*Expansion of basement level and change  
in roof material.

1 00 BASEMENT FOUNDATION PLAN  
1/4" = 1'-0"



DATE: ISSUE:

03/03/2023 PERMIT SET

04/24/2023 PLAN CHECK REV.

06/20/2023 PERMIT REV. #2

STAMP:



PROJECT NUMBER:

2234

TITLE:

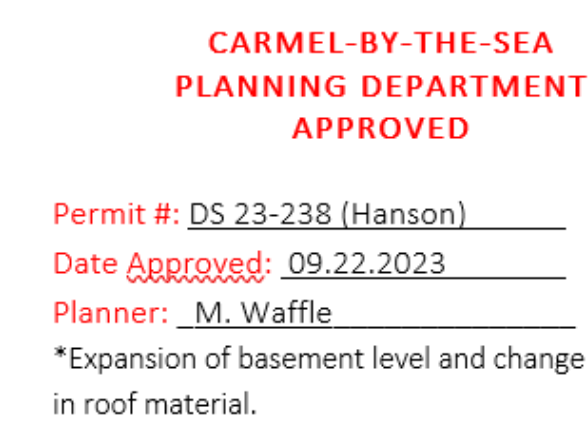
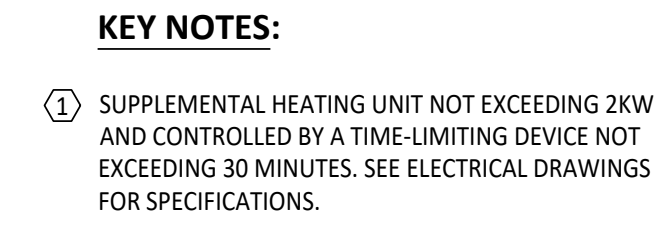
**BASEMENT  
FOUNDATION PLAN**  
SHEET:

**S2.0**

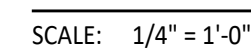
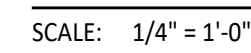
DOLORES STREET

Dolores St. 3NW of 13th  
Carmel-by-the-Sea, CA 93921









- ## E2.02

NO	DATE	ISSUE
11/22/2022	90% CD	
03/03/2023	PERMIT SET	
04/17/2023	90% CD	
06/22/2023	100% CD SET	

LIGHTING LEGEND

SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	LAMP
	L1	RECESSED ADJUSTABLE DOWNLIGHT - TRIMLESS	LUCIFER	12W LED
	L2	MONOPOINT	LUCIFER	17W LED
	L3	NO LONGER USED	--	--
	L4	LINEAR UNDERCABINET TASK LIGHT	O-TRAN	2WIFT LED
	L5	MILLWORK LIGHT	O-TRAN	2WIFT LED
	L6	CLOSET LIGHT	O-TRAN	4WIFT LED
	L7	LED STRIP LIGHT	PRUDENTIAL	9.4WFT LED
	L8	NO LONGER USED	--	--
	L9	PUCK LIGHT	LUCIFER	4.3W LED
	L10	UTILITY WALL SCONCE	KUZCO	16W LED
	L11	RECESSED LINEAR STRIP	FINELITE	18.4W LED
	E1	EXTERIOR SCONCE	JUSTICE DESIGN	(2) LED A19 RW EA
	E2	CUSTOM DECORATIVE EXTERIOR SCONCE	SPEC BY INTERIORS	TBD
	DX	DECORATIVE CEILING FLUSH MOUNT	SPEC BY INTERIORS	TBD
	DX	DECORATIVE SCONCE	SPEC BY INTERIORS	TBD
	DX	DECORATIVE ILLUMINATED MIRROR	SPEC BY INTERIORS	TBD
	DX	DECORATIVE PENDANT	SPEC BY INTERIORS	TBD
	TL / FL	TABLE LAMP / FLOOR LAMP	SPEC BY INTERIORS	TBD

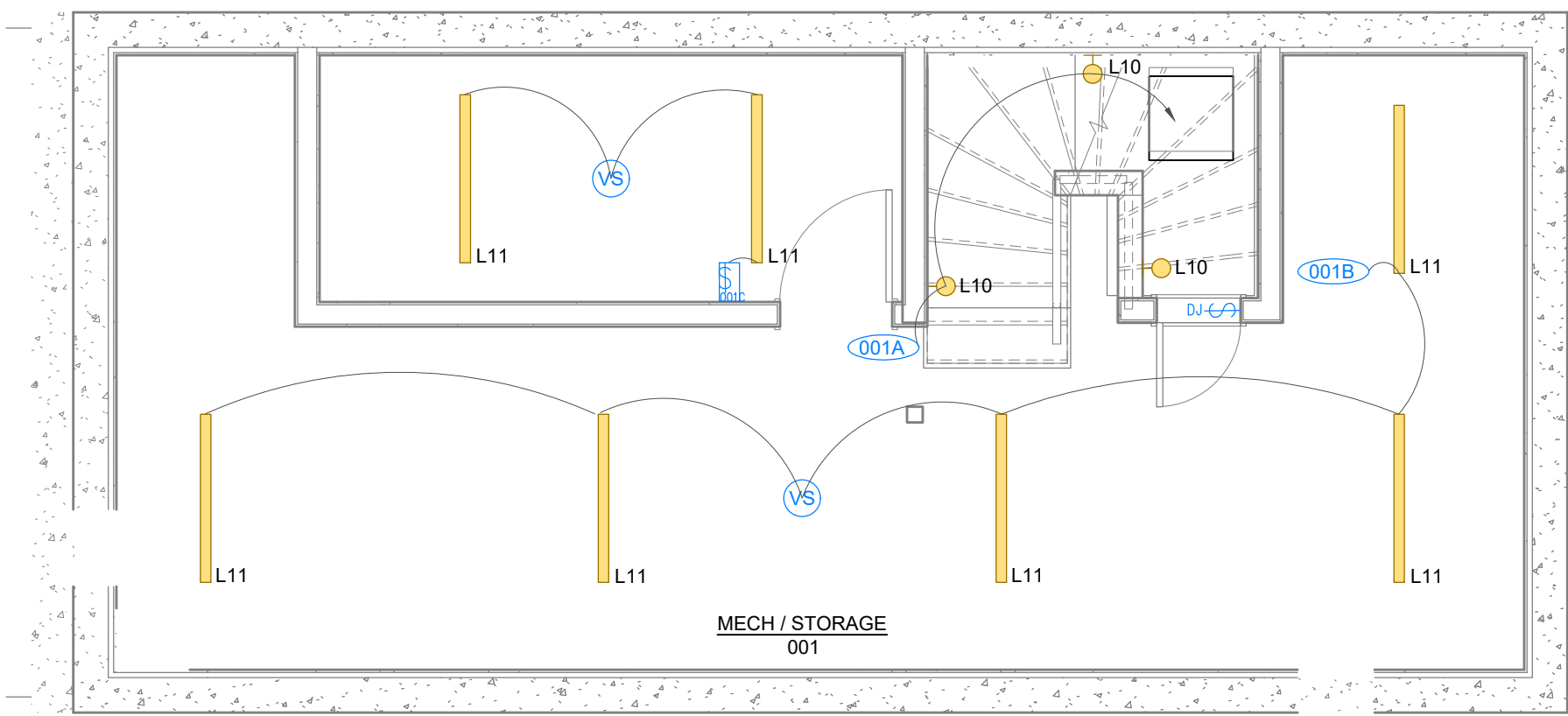
NOTES  
1. DECORATIVE FIXTURE QUANTITIES AND EXACT LOCATIONS TBD BY ARCHITECT.  
2. LIGHTING LOCATIONS MAY VARY BASED ON SITE CONDITIONS.  
3. REFER TO LIGHTING EQUIPMENT SPECIFICATIONS AND CUTSHEETS FOR MORE INFORMATION.  
4. ALL TYPE L4, L5, L6, AND L9 FIXTURES REQUIRE REMOTE DRIVERS. DRIVER LOCATIONS PER EC.

LIGHTING CONTROL LEGEND

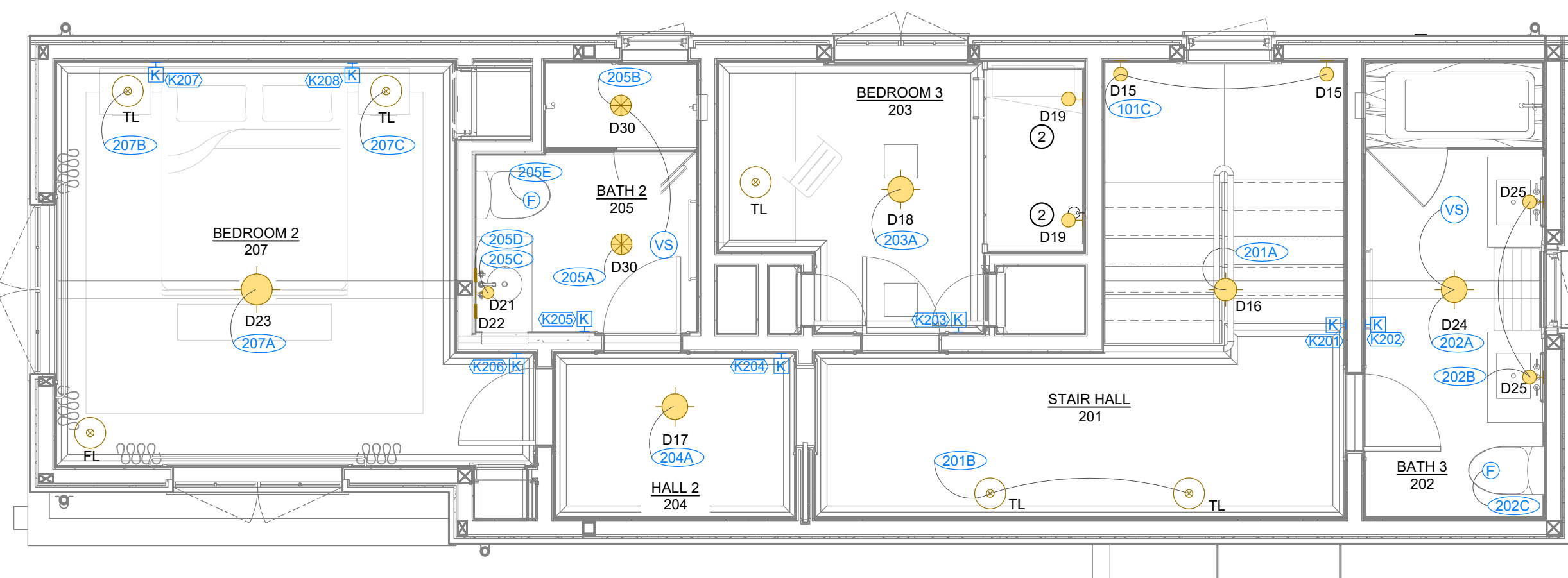
SYMBOL	DESCRIPTION
	SINGLE GANG LUTRON HOMEWORKS ALISSE KEYPAD CONTROLLING LIGHTING ZONES
	SINGLE GANG DOOR JAMB SWITCH, NOT ON LIGHTING CONTROL SYSTEM
	CEILING MOUNTED VACANCY SENSOR, MANUAL ON/AUTO OFF (SPEC BY OTHERS)
	CEILING MOUNTED FAN (SPEC BY OTHERS)
	KEYPAD TAG
	ZONE NUMBER

LIGHTING KEY NOTES

- ① MILLWORK COORDINATION REQUIRED. SEE ARCHITECTURAL / MILLWORK DETAIL. SEE LIGHTING FIXTURE SPEC FOR REMOTE DRIVER REQUIREMENTS.
- ② WALL SCONCE WITH INTEGRAL SWITCH.



2 LIGHTING LAYOUT - BASEMENT  
SCALE: 1/4" = 1' - 0'



1 LIGHTING LAYOUT - SECOND FLOOR  
SCALE: 1/4" = 1' - 0'

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-238 (Hanson)  
Date Approved: 09.22.2023  
Planner: M. Waffle  
\*Expansion of basement level and change  
in roof material.