



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 23229

**Owner Name:** NELSON KAREN STUART TR

**Case Planner:** Evan Kort, Associate Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 08/29/2023

**Project Location:** Guadalupe 4 SW of 2nd

**APN #:** 010025004000      **BLOCK/LOT:** 23/ALL LOT 7

**Applicant:** Karen Nelson

**Project Description:** This approval of Design Study (DS 23-229, Nelson) authorizes a partial after-the-fact approval for amendments to previously approved design studies (DS 19-489, DS 19-054) for alterations at an existing single-family residence with an active building permit (BP 20-260) located on Guadalupe 4 SW of 2nd the Single Family Residential (R-1) District. The modifications approved under this Design Study include: 1. Revise pathway plan, replace walkway and driveway with Calstone pavers, exterior courtyard door replaced with reused existing window, and revise location of exterior lights. Changes not expressly authorized above are prohibited. The project shall be consistent with the plans application materials dated approved by Community Planning & Building Department on August 28, 2023, unless modified by the conditions of approval contained herein. This approval does not lessen or supersede any previous planning approval associated with the current building permit and associated permit revisions unless expressly authorized by this approval.

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<p><b>Authorization.</b> This approval of Design Study (DS 23-229, Nelson) authorizes a partial after-the-fact approval for amendments to previously approved design studies (DS 19-489, DS 19-054) for alterations at an existing single-family residence with an active building permit (BP 20-260) located on Guadalupe 4 SW of 2<sup>nd</sup> the Single Family Residential (R-1) District. The modifications approved under this Design Study include:</p> <p>1. Revise pathway plan, replace walkway and driveway with Calstone pavers, exterior courtyard door replaced with reused existing window, and revise location of exterior lights.</p> <p>Changes not expressly authorized above are prohibited. The project shall be consistent with the plans application materials dated approved by Community Planning &amp; Building Department on August 28, 2023, unless modified by the conditions of approval contained herein. This approval does not lessen or supersede any previous planning approval associated with the current building permit and associated permit revisions unless expressly authorized by this approval.</p>	✓
2.	<p><b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Department.</p>	✓
3.	<p><b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>	✓
4.	<p><b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	✓
5.	<p><b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	✓

6.	<b>Conditions of Approval.</b> These Conditions of Approval shall be signed and returned to the Community Planning and Building Department prior to the issuance of a Notice of Authorized Work. A copy of these signed Conditions of Approval, as well as the conditions from the previous planning approvals, shall also be printed in the as-built plans submitted to the building division (see Condition #9).	✓
7.	<b>Building Permit Revision.</b> A revision to BP 21-476 is not required, however, a Notice of Authorized Work shall be obtained by the Building Division following the end of the 10-day appeal period and prior to commencement of work. The Notice of Authorized Work shall be obtained by uploading a complete " <a href="#">Scope of Work Declaration</a> " with a signed copy of these Conditions of Approval to the City's <a href="#">Online Permit Portal</a> . There shall be no fee for the review or issuance of the Notice of Authorized Work.	✓
8.	<b>Prior Conditions of Approval.</b> All conditions of approval of the previous Design Study approval(s) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.	✓
9.	<b>As-Built Plan Submittal.</b> A building permit revision is not required, however, prior to the issuance of a Notice of Authorized Work (see Condition #7), a complete set of as-built plans are required to be submitted to the building division. Please contact Jermel Laurie, Building Official ( <a href="mailto:jlaurie@cbts.us">jlaurie@cbts.us</a> ; 831-620-2055), for additional information.	✓

\*Acknowledgement and acceptance of conditions of approval.

---

Property Owner Signature

---

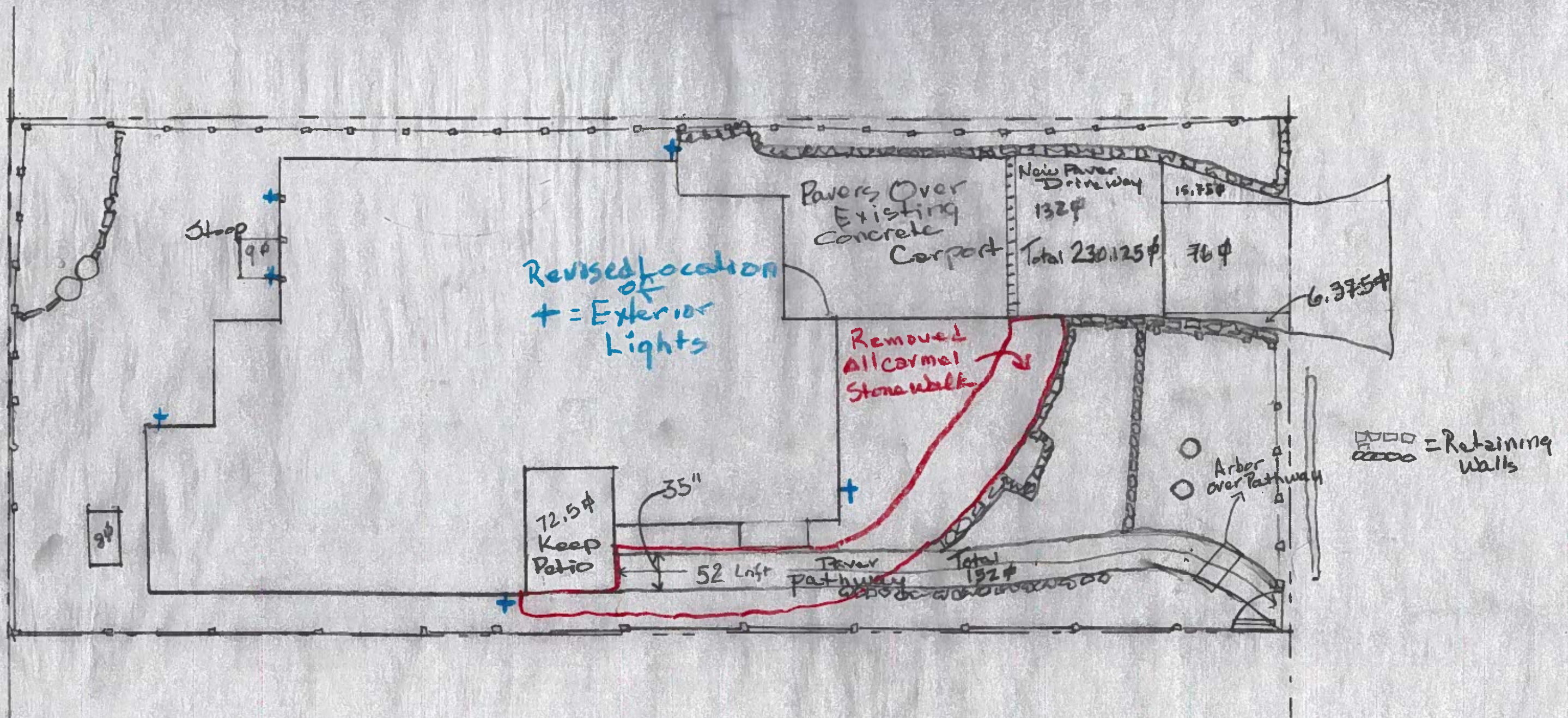
Printed Name

---

Date

*Once signed, please email to [ekort@ci.carmel.ca.us](mailto:ekort@ci.carmel.ca.us).*





APPROVED

08/29/2023

City of Carmel-by-the-Sea  
Planning & Building Dept.

Site Coverage Revised	7.25.23
Paver Driveway total	230.125 <sup>sq ft</sup>
Paver Walkway total	192.0 <sup>sq ft</sup>
Generator Pad	8.0 <sup>sq ft</sup>
Back Stoop	9.0 <sup>sq ft</sup>
Dining Patio	72.5 <sup>sq ft</sup>
Existing Deck (North Side)	62.0 <sup>sq ft</sup>

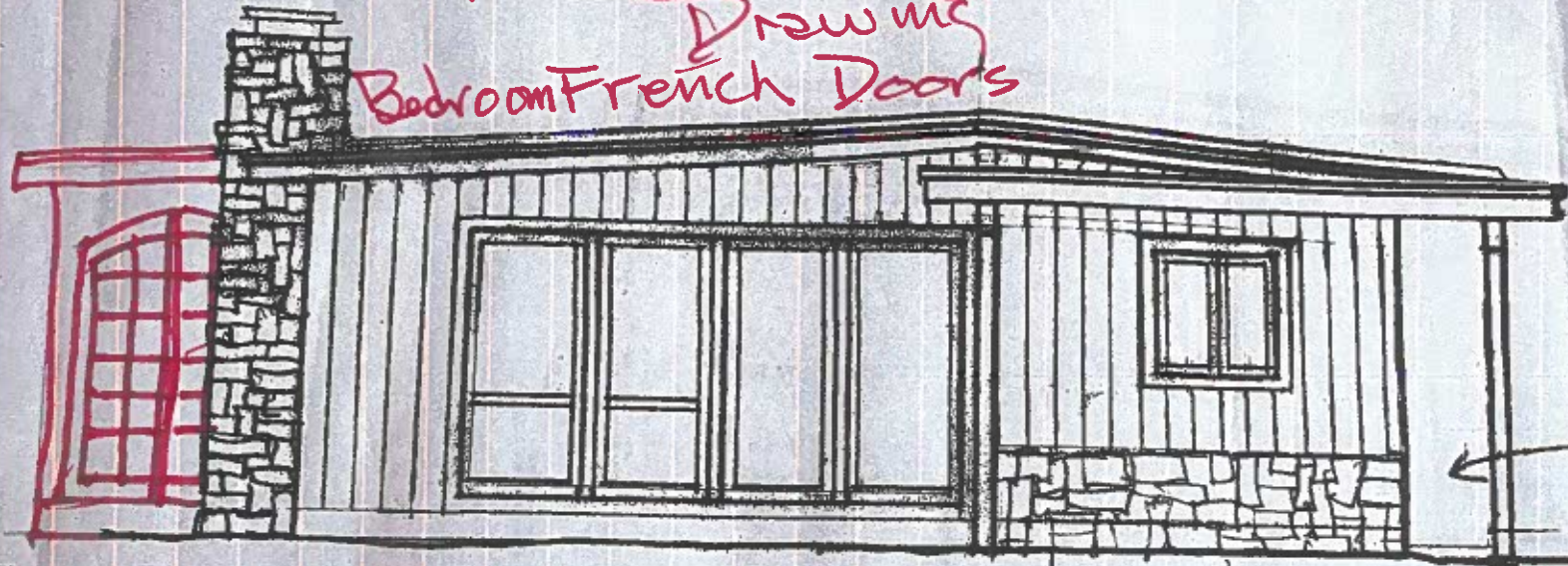
Revised Site Plan



WINDOWS:

WOOD-SASH WINDOWS

Missed on Original  
Drawing  
Bedroom French Doors



(E) STUCCO  
SECTION

APPROVED

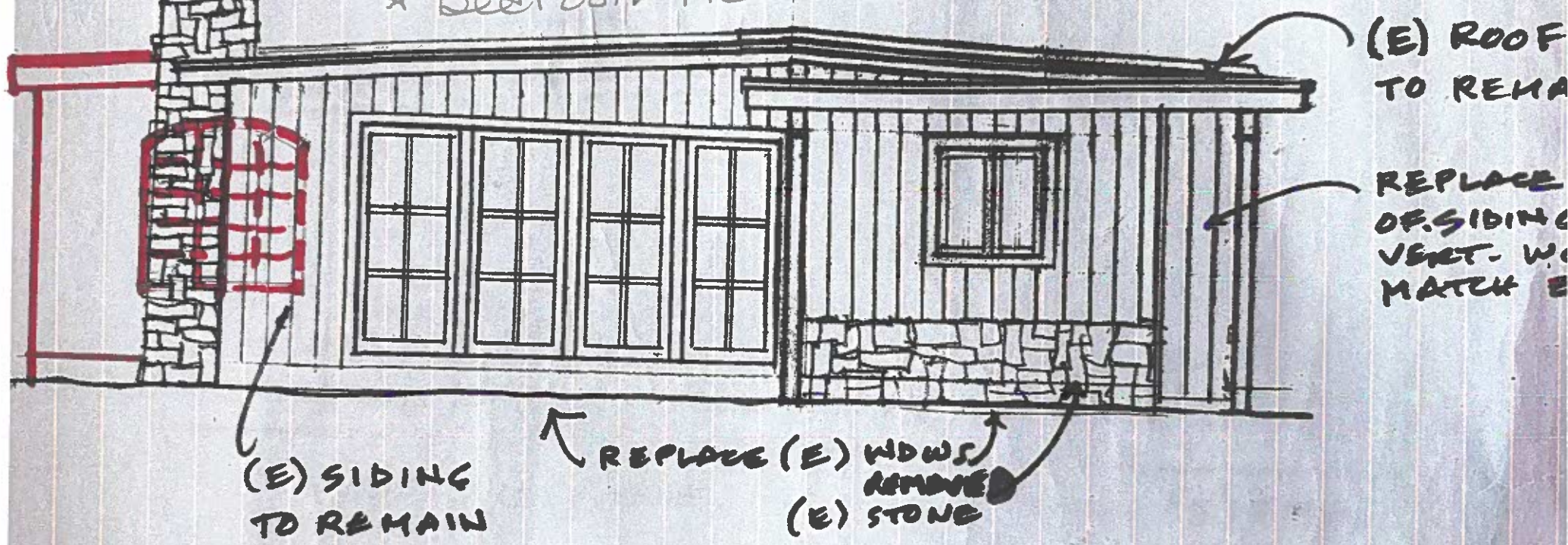
08/29/2023

**EAST ELEVATION - EXISTING**

City of Carmel-by-the-Sea  
Planning & Building Dept.



Red shows Missing on  
Original Drawings  
\* Window Not Seen from Front  
\* Bedroom Not Shown



APPROVED

08/29/2023

**EAST ELEVATION - PROPOSED**

City of Carmel-by-the-Sea  
Planning & Building Dept.



ReUsed old Bath Window  
Replaced French Doors  
to Master Bedroom from  
Patio

APPROVED

08/29/2023

City of Carmel-by-the-Sea  
Planning & Building Dept.



# CALSTONE

NARROW JOINT PERMEABLE

QUARRY STONE

SIERRA GRANITE

APPROVED

08/29/2023

City of Carmel-by-the-Sea  
Planning & Building Dept.





## Construction of Permeable Interlocking Concrete Pavement Systems

### INTRODUCTION

Permeable interlocking concrete pavement (PICP) is recognized by federal and state stormwater and transportation agencies as a Best Management Practice (BMP) and Low Impact Development (LID) tool to reduce runoff and water pollution. In addition, PICP offers unique design opportunities for addressing combined sewer overflows with green alleys and streets, as well as use in parking lot and pedestrian surfaces. Traditional stormwater management solutions focus on collecting, concentrating and centralizing the disposal of stormwater. As a key BMP and LID tool, PICP helps disconnect, decentralize and more widely distribute runoff through infiltration, detention, filtering and treatment.

The Interlocking Concrete Pavement Institute (ICPI) provides a comprehensive manual entitled *Permeable Interlocking Concrete Pavements*, which covers design, specifications, construction and maintenance. This manual is available on [www.icpi.org](http://www.icpi.org) and provides extensive information from academic research and practical field experience. This *Tech Spec* bulletin provides a summary of PICP construction

techniques outlined in the manual, as well as further guidance on best construction practices. This bulletin is intended for contractors and for project inspectors.

Figure 1 illustrates a typical PICP cross-section with the individual components defined below.

**Concrete pavers**—Solid concrete pavers with molded joints and/or openings that create an open area across the pavement surface. Concrete pavers should conform to ASTM C936 in the U.S. or CSA A231.2 in Canada. Pavers are typically a minimum of 3 1/8 in. (80 mm) thick for vehicular areas and pedestrian areas may use 2 3/8 in. (60 mm) thick units. Pavers are manufactured in a range of shapes and colors. Filled with permeable joint material, the openings allow water from storm events to freely infiltrate through the pavement surface. Figure 2 shows several paver configurations.

**Permeable Joint Material**—The joint material typically consists of angular ASTM No. 8, 89 or 9 stone. The permeable joints allow stormwater to infiltrate through joints in the pavement surface.

**Open-graded bedding course**—This permeable layer is typically placed as a 2 in. (50 mm) thick lift and provides a setting bed for the pavers. It consists of small-sized, open-graded angular aggregate, typically ASTM No. 8 stone or similar sized material. After paver compaction this lift will consolidate slightly.

**Open-graded base reservoir**—This is an aggregate layer that is typically 4 in. (100 mm) thick (for vehicular applications see exception under subbase definition). The base material is made of crushed stones ranging from 1 in. down to 1/2 in. (25 mm down to 13 mm). For pedestrian application the base layer is a minimum of 6 in. (150 mm) and the subbase may be omitted. Besides providing water storage capacity in the spaces among the stones, this highly permeable material also serves as a choking layer between the bedding and subbase layers. The stone size is typically ASTM No. 57 or similar sized material.

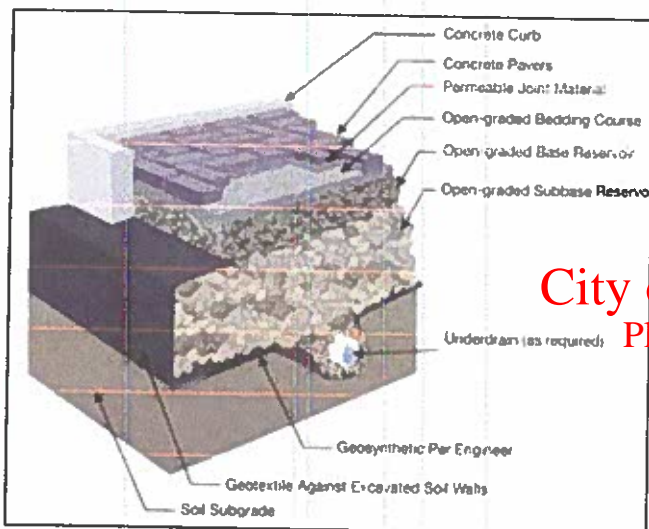


Figure 1. PICP typical cross section.