NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 23185

Owner Name: HOMRIG JEFFREY G & STACI TURNER

Case Planner: Katherine Wallace

Date Posted: _____

Date Approved: 09/11/2023

Project Location: San Carlos 7 SW of 13th

APN #: 010165037000 **BLOCK/LOT:** 143/ALL LOTS 15 AND 17

Applicant: Jay Auburn, Lewis Builders

Project Description: Reduce existing eaves throughout, remove the east brow roof, lower roof line, partially remove the south rake and wood lintel over the entryway on the east façade, demo exterior crawl space access well, add two (2) corbels to support south rake of primary suite and wood shutters at upstairs east windows, site coverage and new landscape work, and install a 24 kw gas backup generator in "Zombiebox' in the south yard

Can this project be appealed to the Coastal Commission? *Yes* ☐ *No* ☑

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	**Authorization.** Approval of Design Study (**DS 23-185, Homrig**) authorizes Design Study 23-185 (Homrig) as a revision of Design Study 22-029 (Homrig) for the exterior remodeling to reduce existing eaves throughout, remove the east brow roof, lower roof line, partially remove the south rake and wood lintel over the entryway on the east façade, demo exterior crawl space access well, add two (2) corbels to support south rake of primary suite and wood shutters at upstairs east windows, site coverage and new landscape work, and install a 24 kw gas backup generator in "Zombiebox' in the south yard located on **San Carlos 7 SW of 13th** Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Lewis Builders stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.	✓
2.	**Codes and Ordinances.** The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	**Permit Validity.** This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	**Water Use**. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	**Service Laterals.** All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than $200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	**Modifications.** The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff	✓

	has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
7.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	
8.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	
	Landscape Conditions	
9.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
10.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
11.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. ● Prior to grading, excavation, or construction, the developer shall clearly tag	✓

	or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.	
12.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination	✓

	information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	
13.	Skylights & Skylight Shades. The applicant shall submit product information for the skylights and skylight shades prior to issuance of a building permit. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.	✓
14.	Aluminum-Clad Wood Frame Windows and Doors. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.	✓
15.	Asphalt Shingle Roofing. The material shall convey a color and texture similar to that of wood shingles.	✓
16.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
17.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
19.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days,	✓

	but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	
20.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	SPECIAL CONDITIONS	
21.	**Building Permit.** The applicant shall apply for and obtain a building permit prior to commencing work on the approved Design Study (DS 23-185).	✓

Acknowledgement and acceptance of conditions of approval:

_____ _____ _____

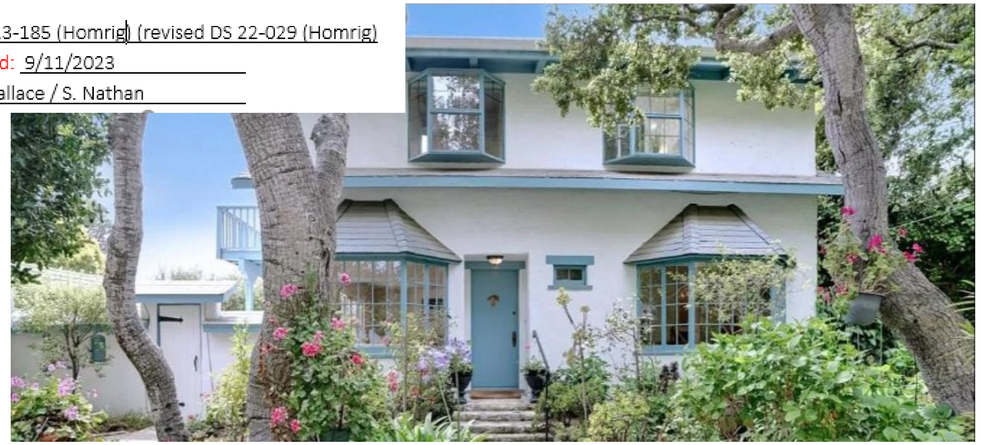
Property Owner Signature | Printed Name | Date

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED

Permit #: DS 23-185 (Homrig) (revised DS 22-029 (Homrig)
Date Approved: 9/11/2023
Planner: K. Wallace / S. Nathan



HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.
DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES :
SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

SITE SPECIFIC INSTRUCTIONS

1) WORKERS TO BE AWARE OF SOUTH NEIGHBOR EASEMENT AT GARAGE AND TAKE APPROPRIATE PRECAUTIONS OUTLINED ON SHEETS A-0.1, T-1.1, A-1.1.
2) PRESERVE AS MUCH LANDSCAPING PLANTS IN FRONT YARD AS POSSIBLE.
3) CLEAR STREET RIGHT OF WAY (PARKING) OF GLASS, NAILS, SCREWS, SHARP OBJECTS, DEBRIS AND TRASH EVERY DAY BEFORE LEAVING SITE. 8

CONTACT INFO

LEGAL OWNER	APPLICANT
JEFF & STACI HOMRIG 12 COLTON COURT REDWOOD CITY, CA 94062 (650) 722-7061	LEWIS BUILDERS 3706 The Barnyard G11 Carmel, CA (831) 250 7168
ENGINEERING	**ENERGY COMPLIANCE**
CHRISTIAN K LEE #C62330 STRUCTURAL - E, INC 230 6TH STREET PACIFIC GROVE, CA 93950 831.424.9000 StructuralPlans@gmail.com	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD #8 CARMEL, CA 93923 831.372.8328 cad@meg4.com

SITE DETAILS

LAND USE:	SINGLE FAMILY RESIDENTIAL
ZONING:	R-1
SITE AREA:	8,000 SF
YEAR BUILT:	1933
OCCUPANCY TYPE:	R-1
CONSTRUCTION TYPE:	V-B
SPRINKLED:	YES
LIVING AREA:	3,508 SF
HOUSE:	*3,172 SF*
GARAGE:	*336 SF*
JURISDICTION:	CARMEL-BY-THE-SEA
WATER:	CALAM
SEWER:	SEWER
ELECTRICITY/GAS:	PGE
HISTORIC BLDG:	NO
ARCHEOLOGY:	NO
FLOODPLAIN:	NO
WUI:	NO

PROJECT DESCRIPTION

PLANNING
REPLACE ALL WINDOWS & DOORS, UPDATE COLOR OF WINDOWS, DOORS, TRIM.
CHANGE MAIN ROOF TO CHARCOAL STONE COATED STEEL SHAKES & BAYS TO CURVED METAL IN MATTE BLACK.
DEMO CHIMNEY, FOUR ORIEL BAY WINDOWS, JULIETTE BALCONY
REPLACE WHITE STUCCO EXTERIOR OF HOUSE & GARAGE, EXCEPT SOUTH WALL OF GARAGE (REPAINT ONLY) 3
CHANGE STYLE TO SPANISH MODERN.
UPDATE TO 4.5 BATHROOMS.
6 SF REDUCTION IN FLOOR AREA AT FRONT ENTRY. 35 SF REDUCTION W/ BAY REMOVALS.
MINOR REDUCTION IN SITE COVERAGE DUE TO ORIEL BAY & BALCONY REMOVAL. ADD NEW STEPS AT RECONFIGURED DOORS.
REPLACE 70 LF FENCING IN NORTH YARD WITH 6' SOLID WOOD FENCE.
REPLACE 115 LF FRONT YARD FENCING WITH 3' TALL GRAPESTAKE FENCE. REPLACE EXISTING FRONT GATES AND 7' TALL WOOD ARBOR. 3
REMOVE THREE STREET FACING (EAST) SKYLIGHTS. RETAIN ONE STREET FACING SKYLIGHT AT NORTHEAST CORNER OF PRIMARY BATHROOM, UPDATE SKYLIGHT TO LOW PROFILE AND ENERGY EFFICIENT WITH BLACKOUT BLIND.

TREE REMOVAL
REMOVE STUMP AT NORTHEAST CORNER OF GARAGE
NO OTHER TREE REMOVAL OR TRIMMING

BUILDING
COMPLETE INTERIOR AND EXTERIOR REMODEL OF EXISTING RESIDENCE.
NO CHANGE TO FOUNDATION FOOTPRINT. MINOR RECONFIGURATION/ REDUCTION OF FLOOR AREA AT ENTRY AND REMOVAL OF 2ND FLOOR BAY WINDOWS.
REPLACE ALL ELECTRICAL, PLUMBING, MECHANICAL.
SPRINKLERS ARE REQUIRED.
BURY PG&E LINES. METER TO BE RELOCATED TO GARAGE.
~~NO CHANGE TO EXISTING LANDSCAPING OR IRRIGATION.~~

CHANGE ORDER #3 8
EAVES REDUCED TO 12" OR 16" THROUGHOUT
REMOVE EAST BROW ROOF, PARTIALLY REMOVE SOUTH RAKE
WOOD LINTEL OVER ENTRYWAY ON EAST FACADE
TWO CORBELS TO SUPPORT SOUTH RAKE OF PRIMARY SUITE LOWER ROOFLINE
SITE COVERAGE UPDATED TO REFLECT NEW LANDSCAPE PLAN
DEMO EXTERIOR CRAWL SPACE ACCESS WELL. CRAWL ACCESS ESTABLISHED IN BASEMENT
INCLUSION OF LANDSCAPE PLAN
24KW GAS GENERAC BACK UP GENERATOR & IN ZOMBIEBOX SOUND REDUCTION ENCLOSURE IN SOUTH YARD
WOOD SHUTTERS ON UPSTAIRS EAST WINDOWS, STAINED TO MATCH FRONT DOOR
FOUNDATION VENTING CALCULATION ADDED TO BASEMENT PLAN
GABLE ATTIC VENTING ADDED TO RCP & ELEVATIONS
SOUTH EXTERIOR LIGHT AT DINING FRENCH DOOR IS ON APPROVED ELECTRICAL PLAN, WAS MISSING ON FLOOR & SITE PLANS & WEST ELEVATION

PAGE INDEX

PERMITTING REVISION HISTORY

1 **03/25/2022 R1 PLN IFR#1 PS1.8 PLANNING_1.0**
INFORMAL REQUEST TO EDIT SCOPE OF WORK

2 **04/20/2022 R2 PLN RFI#1 PS2.1 PLANNING_2.0**
FENCING, LANDSCAPE, FIREPIT, SKYLIGHTS

3 **05/10/2022 R3 PLN CO#1 PS2.1.7 PLANNING_3.0**
ELECTRICAL, LINTELS, ELEVATIONS

4 **05/17/2022 R4 PLN RFI#2 PS2.1.8 PLANNING_4.0**
NEIGHBOR EASEMENT, SKYLIGHTS, ARBOR, FENCING

5 **07/26/2022 R5 CO#2 PS3.0 BUILDING_1.0**
CHANGE BETWEEN PLANNING AND 1ST BUILDING SUBMISSION
SITE COVERAGE CALCULATIONS UPDATED TO REFLECT SURVEY RECEIVED MAY 2022.

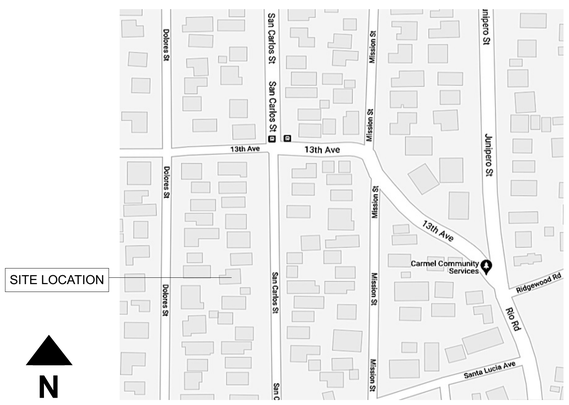
6 **08/18/2022 R6 BLDG RFI#1 PS3.1 BUILDING_2.0**
BUILDING RFI #1 TREE PROTECTION
REVISED: A-1.1

7 **08/25/2022 R7 BLDG RFI#2 PS3.2 BUILDING_3.0**
BUILDING RFI #2 TREE PROTECTION
REVISED: A-1.1 NEW SHEET: T-1.0

8 **06/21/2023 R8 BLDG CO#3 PS3.6 BUILDING_4.0**
CHANGES SINCE PERMIT APPROVAL SET, COMBO SET FOR PLN/BLDG APPROVAL
REVISED: A-0, A-1.1, A-2.4, A-2.5, A-2.6, A-2.7, A-2.8, A-2.9, A-3.1, A-3.2, A-3.3, A-3.4, A-4.1, M-1.1, P-1.1, E-1.1, A-6.1 NEW SHEETS: A-6.3, L1.0, L1.1

9 **08/18/2023 R9 BLDG RFI#3 PS4.1 BUILDING_5.0**
RFI FROM SURAY PLANNING (GEN SPECS, PLANTS, LAND LIGHTING, EROSION)
REVISED: A-0, A-2.7, A-2.8, A-3.1, A-3.2, A-3.3, A-3.4, L1.0, L1.1 NEW: A-6.4, L2.1

VICINITY MAP



NOTES

WATER FIXTURE EFFICIENCY UPGRADES: SEE SHEET A-N.2

SPRINKLERS ARE REQUIRED.

BURY PG&E LINES. METER TO BE RELOCATED TO GARAGE.

ZONING CONFORMANCE

GARAGE	(E) 336 SF	(P) 336 SF
BASEMENT	(E) 282 SF	(P) 282 SF
1ST FLOOR	(E) 1,666 SF	(P) 1,660 SF
2ND FLOOR	(E) 1,263 SF	(P) 1,260 SF
TOTAL	(E) 3,547 SF	(P) 3,538 SF
FLOOR AREA RATIO	(E) 44.34%	(P) 44.22%

SETBACKS FOR 100' X 80' INTERIOR LOT
FRONT 15'
SIDES: 8' SOUTH, 12' NORTH
REAR: 3' STRUCTURES UNDER 15' HEIGHT
REAR: 15' STRUCTURES EXCEEDING 15' HEIGHT 3

BUILDING CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING:
- CALIFORNIA BUILDING CODE 2019
- CALIFORNIA RESIDENTIAL CODE 2019
- CALIFORNIA MECHANICAL CODE 2019
- CALIFORNIA PLUMBING CODE 2019
- CALIFORNIA ELECTRICAL CODE 2019
- CALIFORNIA FIRE CODE 2019
- CALIFORNIA ENERGY CODE 2019
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2019
- CARMEL-BY-THE-SEA MUNICIPAL CODES 2021

DEFERRED SUBMITTAL

FIRE SUPPRESSION
SPECIAL INSPECTIONS
GAS, WATER & RADIANT HEATING PIPE SIZE & LENGTHS
GAS SCHEMATIC
PLUMBING SCHEMATIC
GENERATOR DECIBEL TESTING 9

SITE COVERAGE TABLE

EXISTING SITE COVERAGE REMOVED & BROUGHT INTO COMPLIANCE 8

LOT SIZE	8000
PERMEABLE COVERAGE (NOT IN ROW)	**PROPOSED**
Existing wood deck south yard	**0**
New gravel generator pad (exclusive of impermeable enclosure)	**5**
New small flagstone paths & driveway strips in gravel	**573**
TOTAL PERMEABLE COVERAGE	**578**
TOTAL PERMEABLE PERCENTAGE	**7.2%**

IMPERMEABLE COVERAGE (NOT IN ROW)	**PROPOSED**
Existing impermeable walkways, patios, landings, steps & balconies	**0**
New front entry tile landing & steps (exclusive of 2nd story overhang)	**26**
New pantry north door tile steps	**9**
New west dining french door tile landing	**16**
New tile steps at garage man doors (2)	**24**
New Zombiebox generator enclosure	**19**
New tile patio (& 2nd floor tile deck above) and steps	**282**
New decorative boulders in south yard	**17**
TOTAL IMPERMEABLE COVERAGE	**393**
TOTAL IMPERMEABLE COVERAGE LIMIT	**486**
TOTAL IMPERMEABLE PERCENTAGE	**4.9%**

TOTAL GROSS COVERAGE	**971**
TOTAL GROSS COVERAGE LIMIT IF 50% PERMEABLE	**971**
TOTAL GROSS PERCENTAGE	**12.1%**

A-0

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

COVER: PROJECT DATA

REV #	DATE / DESCRIPTION	BY
7	08/25/22 BLDG RFI#2: FORESTER	ER
8	06/21/23 PLN/BLD CO#3	ER
9	08/18/23 PLN/BLDG RFI#3	ER

HOMRIG RESIDENCE REMODEL
SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED ON THESE PLANS ARE THE PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS. ALL DRAWINGS ARE THE INSTRUMENTS OF SERVICE AND ENSURE THE ACCURACY OF THESE PLANS IF CHANGES ARE MADE DURING THE BUILDING CIRCUMSTANCES ARISE IT IS THE RESPONSIBILITY OF THE OWNER AND THE CONTRACTOR TO NOTIFY LEWIS BUILDERS IN WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

LEWIS BUILDERS
CA. LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

CONDITIONS OF APPROVAL

DocuSign Envelope ID: A6270FE9-F5D1-449C-90DF-46A31573733F

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	**Authorization.** Approval of Design Study (**DS 22-029, Homrig**) authorizes a revision that includes the addition of a skylight at the front elevation, a 7-foot arbor, and no change to the fence on the south elevation to a previously approved Design Study (**DS 22-029, Homrig**) on May 3, 2022 that includes an **external remodeling that includes replacing windows and doors, grapestakes fence, re-roofing, replacing stucco, moving the chimney, and the demolition of a Juliette balcony** located on **San Carlos 7 SW of 13th** Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Lewis Builders stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.	✓
2.	**Codes and Ordinances.** The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
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5.	**Service Laterals.** All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than $200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	**Modifications.** The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and	✓

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	submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
	Landscape Conditions	
7.	**Tree Removal.** Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
8.	**Significant Trees.** All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
9.	**Tree Protection Measures.** Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. • Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. • Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not	✓

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	sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. • If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.	
10.	**Exterior Lighting.** Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
11.	**Skylights & Skylight Shades.** The applicant shall submit product information for the skylights and skylight shades prior to issuance of a building permit. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.	✓
12.	**Aluminum-Clad Wood Frame Windows and Doors.** The applicant shall submit product information for the aluminum-clad wood windows and doors prior to issuance of a building permit. The window style shall be consistent with authentic wood wincows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.	✓
13.	**Asphalt Shingle Roofing.** The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.	✓
14.	**Indemnification.** The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and	✓

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	shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
15.	**Hazardous Materials Waste Survey.** A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
16.	**Cultural Resources.** All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
17.	**USA North 811.** Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
18.	**Conditions of Approval.** All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	SPECIAL CONDITIONS	
19.	**Notice of Authorization.** A Notice of Authorization to work is required after the 10 calendar day appeal period and prior to commencing work.	✓

Acknowledgement and acceptance of conditions of approval:

Staci Homrig — Staci Homrig — 5/20/2022
Property Owner Signature — Printed Name — Date

Once signed, please email to snathan@ci.carmel.ca.us.

LANDSCAPE EASEMENT (SOUTH NEIGHBOR)

Signature of declarant

GRANT OF EASEMENT

FOR VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Grantor Mervin R. Sutton and Daphne Lewis, Co-Trustees of the Sutton Family Living Trust Dated February 13, 1973 ("Grantor"), at San Carlos 7th S.W. of 13th, Carmel-By-The-Sea, California (the "Grantor Parcel") hereby grants Grantees Frederick J. Benn III and Kathy L. Benn, Co-Trustees of the Benn 2006 Family Trusts UDT dated November 2, 2006 (collectively, "Grantee"), at San Carlos 8th S.W. of 13th, Carmel-By-The-Sea, California (the "Grantee Parcel"), a perpetual and non-exclusive easement for landscaping, on and along the Grantor Parcel, for the benefit of the Grantee Parcel, as described in Exhibit "A" and Exhibit "B" attached hereto. The landscaping shall be reasonably maintained at all times. All landscaping mut be kept below eight feet in height.

Grantee agrees to indemnify and defend Grantor, to the full extent allowed by law, for any damages, claims or injuries arising out of or relating to Grantee's use, and/or Grantee's contractor's, agents', officers', members', employees', invitees', or licensees' use of the Grantor Parcel as allowed by this easement.

Grantor reserves to itself all other uses in the Easement Area.

Binding Effect. The easement granted herein is binding upon and inures to the benefit of the parties, their heirs, successors, assigns and representatives. The easement shall be permanent and perpetual.

Entire Agreement; Amendment. This Agreement contains the entire agreement between the Parties regarding the subject easement and may be signed in counterparts. This Agreement may not be amended, modified or supplemented except by a written agreement executed by all Parties.

Attorneys' Fees. In the event any Party hereto institutes an action or proceeding to enforce any rights arising under this Agreement, the Party prevailing in such action or proceeding shall be paid all reasonable attorneys' fees and costs. These costs include, without limitation, expert witness fees, investigation costs, costs of tests and analysis, travel and accommodation expenses, deposition and trial transcript costs and court costs. A court, and not a jury, will set all such fees and costs, all of which will be included in the judgment entered in such proceeding.

1

EXHIBIT A

LEGAL DESCRIPTION for a Landscape Easement being a portion of LOT 17 in Block 143 as shown on VOLUME 1 of CITIES & TOWNS at PAGE 44½

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CARMEL-BY-THE-SEA, COUNTY OF MONTEREY, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

Beginning at a point distant West, 17.40 feet from the easterly corner in common to Lot 17 and Lot 19 in Block 143 as shown on the map of Addition Number 2, Carmel-By-The-Sea, in the City of Carmel, County of Monterey County, State of California, according to map filed April 5, 1906 in Volume 1, Page 44 ½, of Maps of Cities and Towns, in the office of the County Recorder of said County; thence westerly along the line in common to said Lot 17 and said Lot 19 in said Block and Map

1) West, 50.60 feet; thence leaving said line in common
2) North, 4.65 feet; thence
3) East, 27.00 feet to an existing structure; thence southerly along said existing structure
4) South, 1.00 feet to the corner of said existing structure; thence easterly along said existing structure
5) East, 23.60 feet to the corner of said existing structure; thence
6) South 3.65 feet to the **point of beginning.**

Containing 211 square feet, more or less

See attached Exhibit B

PROFESSIONAL LAND SURVEYOR FRANK LUCIDO JR Exp. 12-31-21 No. 8368 STATE OF CALIFORNIA

Frank Lucido Jr., PLS 8368
December 23, 2020
Project #2632

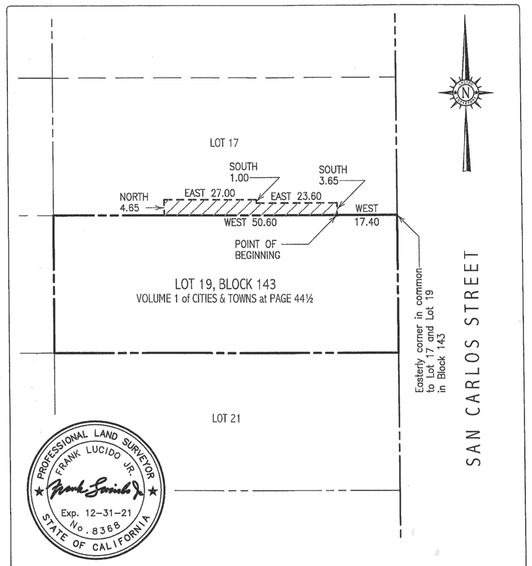


EXHIBIT "B"

LEGAL DESCRIPTION for a Landscape Easement being a portion of LOT 17 in Block 143
as shown on VOLUME 1 of CITIES & TOWNS at PAGE 44½
Records of Monterey County, STATE OF CALIFORNIA

by LUCIDO SURVEYORS — Del Rey Oaks, California

SCALE: 1" = 20' — PROJECT No. 2632 — DECEMBER 2020

SPECIAL INSTRUCTIONS IN LANDSCAPE EASEMENT

(E) NEIGHBOR PLANTS IN VICINITY OF GARAGE WORK TO BE PROTECTED.

VINES CLIMBING SOUTH WALL OF GARAGE TO BE CAREFULLY DETACHED, LAID ON GROUND, AND PROTECTED DURING PAINTING.

CLIMBING PLANTS TO BE RE-STORED TO SIDE OF GARAGE AFTER PAINTING.

SOUTH WALL OF GARAGE TO BE REPAINTED ONLY, NO STUCCO REPLACEMENT UNLESS DAMAGED.

A-0.1

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

COA & EASEMENT INFORMATION

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RFI#2: FORESTER	ER
	06/21/23 PLN/BLD COI#3	ER
	08/18/23 PLN/BLDG RFI#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PLANS ARE THE PROPERTY OF LEWIS BUILDERS AND ARE NOT TO BE USED TO CONSTRUCT ANY BUILDING OR PART THEREOF, MAY NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF LEWIS BUILDERS. ALL CONTRACTORS ARE TO REVIEW AND VERIFY ALL PLANS AND EXISTING CONDITIONS AND TO ENSURE THE ACCURACY OF THESE PLANS. IF THERE ARE ANY DISCREPANCIES UNDER THESE CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY LEWIS BUILDERS IN WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

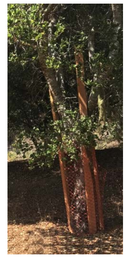
LEWIS BUILDERS
CA. LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS DESIGN/BUILD

TREE PROTECTION NOTES

1) PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
   A) EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED.
   B) NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
2) PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
3) TREE PROTECTION ZONE -- THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
4) THE STRUCTURAL ROOT ZONE -- STRUCTURAL ROOT ZONE SHALL BY 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
5) IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
6) IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

CONIFER

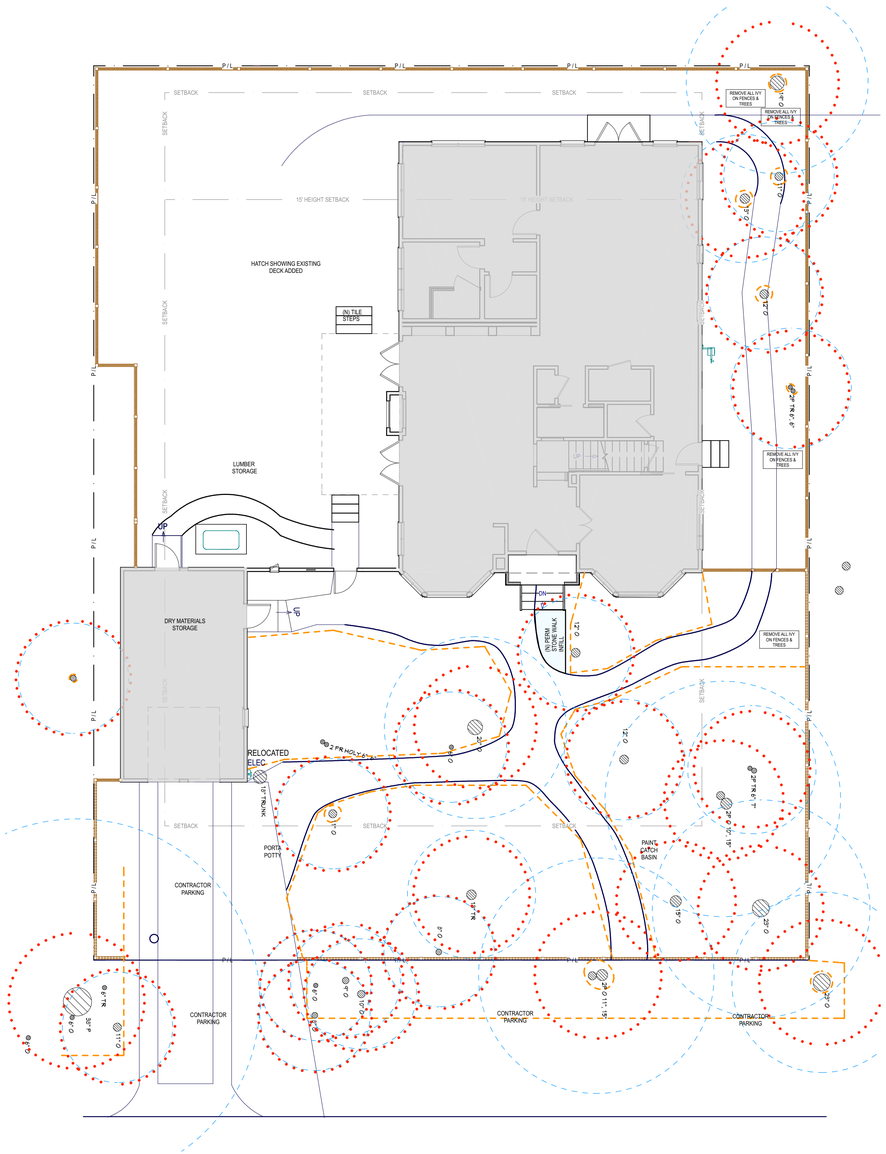


OAK

CLUSTER

OVERHEAD LIMB

LARGE GROUP FENCING



EXAMPLE OF IVY TO REMOVE FROM TREES & NORTH FENCE

LEGEND

- TREE PROTECTION FENCING
- STRUCTURAL ROOT ZONE
- NO EXCAVATION ZONE

ALL TREES ON THE BUILDING SITE AND NEIGHBORING PROPERTY WITHIN 8' OF GARAGE WORK SHALL HAVE PROTECTIVE BARRICADES OF UPRIGHT TWO INCH BY 4 INCH PLANTS STANDING A MINIMUM OF EIGHT FEET VERTICALLY, CONFORMING TO THE TREE, TIED WITH WIRE OR ROPE, FORMING A MXIMUM OF ONE INCH SPACE BETWEEN THE PLANKS.

ALL IVY AND NOXIOUS PLANTS MUST BE REMOVED FROM PROPERTY, INCLUDING FENCES & TREES

TREE PROTECTION ADDED TO SIGNIFICANT TREES ON SITE & IN NEIGHBOR EASEMENT

NO CHANGES TO TREES, EXCEPT REMOVAL OF STUMP AT GARAGE CORNER. REMOVAL APPROVED BY CITY FORESTER. SEE SURVEY DATED MAY 2022 FOR SIZE AND SPECIES OF TREES AND LARGE SHRUBS.

TREE PROTECTION PLAN

SCALE: 1/8"=1'

STRUCTURAL ROOT ZONE TABLE

TRUNK DIAMETER IN INCHES	STRUCTURAL ROOT ZONE IN INCHES	DIAMETER THROUGH CENTER OF TREE		DIAMETER W 6' PERIMITER
2	60	122		146
4	60	124		148
6	60	126		150
8	60	128		152
10	60	130		154
12	72	156		156
14	84	182		158
16	96	208		160
18	108	234		162
20	120	260		164
22	132	286		166
24	144	312		168
26	156	338		170
28	168	364		172
30	180	390		174
32	192	416		176
36	216	468		180
38	228	494		182
40	240	520		184
42	252	546		186
44	264	572		188
46	276	598		190

T-1.1

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

TREE PROTECTION PLAN

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RFI#2: FORESTER	ER			
	06/21/23 PLN/BLD CO#3	ER			
	08/18/23 PLN/BLDG RFI#3	ER			

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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LEWIS BUILDERS
CA. LICENSE
#B-844741
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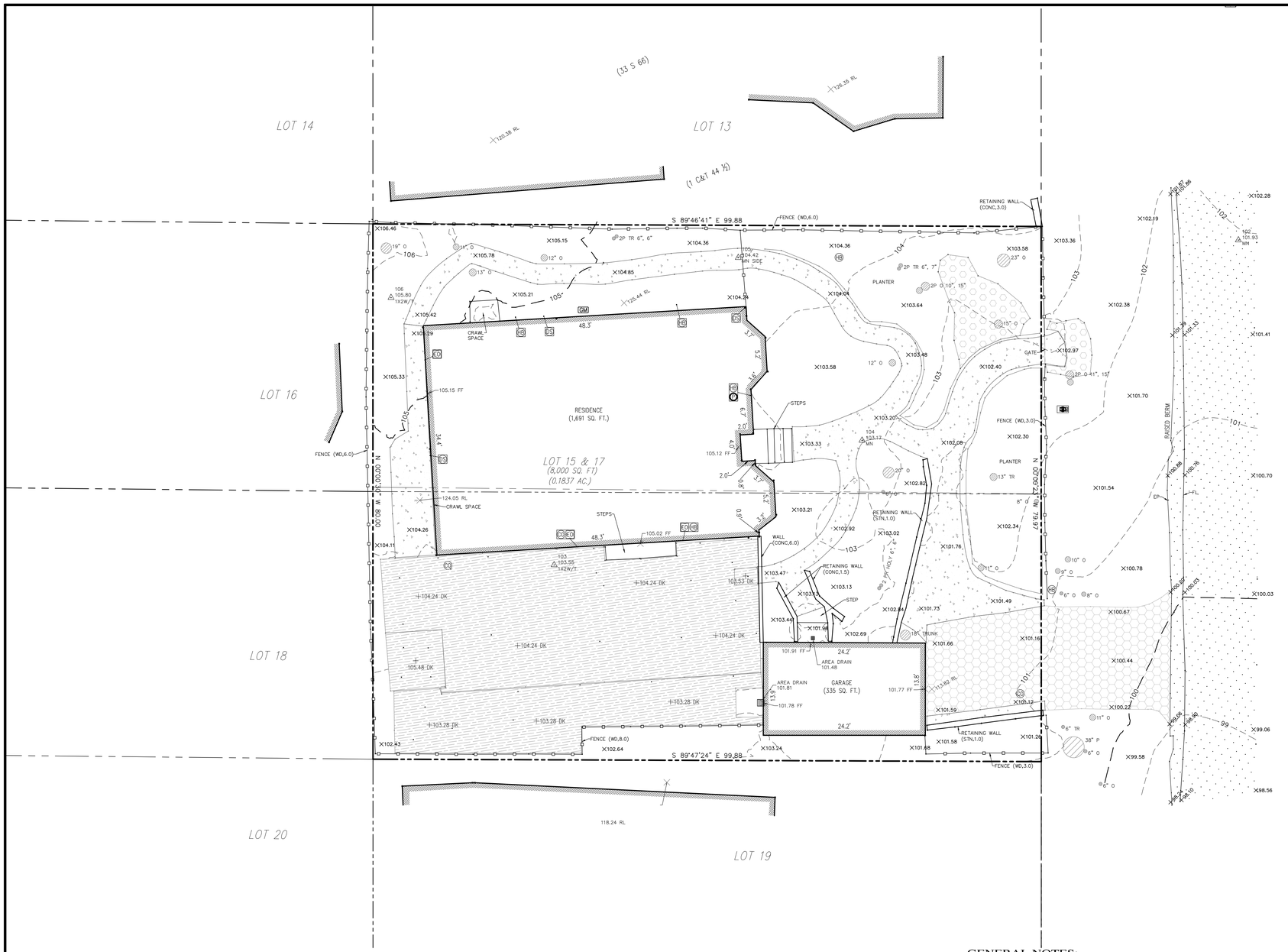
LEWIS BUILDERS DESIGN+BUILD



LEGEND:

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- ORIGINAL PROPERTY BOUNDARY LINE
- EASEMENT LINE (TYPE AS SHOWN)
- ROADWAY CENTERLINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE (TYPE AS MARKED)
- ASPHALT CONCRETE SURFACE
- CONCRETE SURFACE
- ROCK SURFACE
- WOODEN SURFACE
- PAVER SURFACE
- NATURAL GROUND SURFACE/LANDSCAPED AREA

- CONDUIT
- PIPE
- CLEANOUT
- DOWNSPOUT
- HOSEBIB
- WATER SERVICE
- IRRIGATION BOX
- IRRIGATION CONTROL VALVE
- WATER VALVE
- DRAIN LINE
- STREET LIGHT
- GAS LINE
- TELEPHONE SERVICE
- UNKNOWN UTILITY
- FUSE BOX
- ELECTRICAL OUTLET
- UTILITY POLE
- GUY WIRE
- MAILBOX
- AREA DRAIN
- HYDRANT
- SIGN
- GAS METER
- WATER METER
- PGE BOX
- UTILITY HUB
- TELEPHONE BOX
- ELECTRICAL HUB
- ELECTRICAL PANEL
- ELECTRICAL METER
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- PGE GAS MANHOLE
- ELECTRICAL MANHOLE
- FOUND MONUMENT – TYPE NOTED
- SURVEY H&V CONTROL POINT
- SPOT ELEVATION
- RIDGELINE
- FINISHED FLOOR
- TREE (TYPE AND SIZE AS MARKED) CENTER OF SYMBOL IS APPROX. CENTER OF TREE
- TWO–PRONGED TREE (2P)
- THREE–PRONGED TREE (3P)
- MULTIPRONGED TREE (MP)

CE = CEDAR
CW = COTTON WOOD
CYP = CYPRESS
E = EUCALYPTUS
H = HOLLY
O = OAK
PA = PALM
PE = PEPPER
P = PINE
R = REDWOOD
TR = TREE
W = WILLOW

GENERAL NOTES:

1) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED APPROXIMATELY 25.9' NORTHERLY & 42.6' EASTERLY FROM THE SOUTHEASTERLY PROPERTY CORNER , ELEVATION = 100.00' AS SHOWN.
2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB–SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS–BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
3) TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (04/13/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
5) BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
6) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
7) STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.
8) LOT BEARINGS & DIMENSIONS BASED ON BLOCK RE–ESTABLISHMENT PER 33 S 66 .

CONTACT INFORMATION:

OWNER:
JEFFREY AND STACI HOMRIG

ARCHITECT:
ATTN: DAMIEN GEORIS
LEWIS BUILDERS
3706 THE BARNYARD #G–11
CARMEL, CA 93923

SITE LOCATION:
SAN CARLOS STREET, 7 SW OF 13TH AVENUE
CARMEL–BY–THE–SEA, CA 93921

No.	DATE	BY	REVISION
	05/09/22	JAN	RELEASED TO CLIENT
	4/29/22	AL	RELEASED TO CLIENT

APPROVED BY:
GUY R. GIRAUDO P.L.S. No. 8703

PROFESSIONAL LAND SURVEYOR ★ GUY R. GIRAUDO ★ No. 8703 EXP. 12-31-23 ★ STATE OF CALIFORNIA

LANDSET ENGINEERS, INC.
520-B Cosy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

TOPOGRAPHIC MAP

OF

THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2021056611
OFFICIAL RECORDS OF MONTEREY COUNTY
CARMEL–BY–THE–SEA, CALIFORNIA

FOR

MR. & MRS. JEFFREY & STACI HOMRIG

A.P.N.: 010-165-037

SCALE: 1" = 8'
DATE: MAY 2022
JOB NO. 2488–01

SHEET 1
OF 1 SHEETS

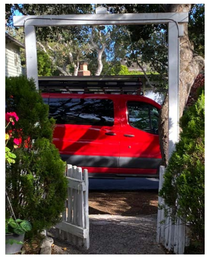
(E) PERMEABLE WOOD DECK IN SOUTH SIDE YARD

DEMO JULIET BALCONY ON NORTH FACADE

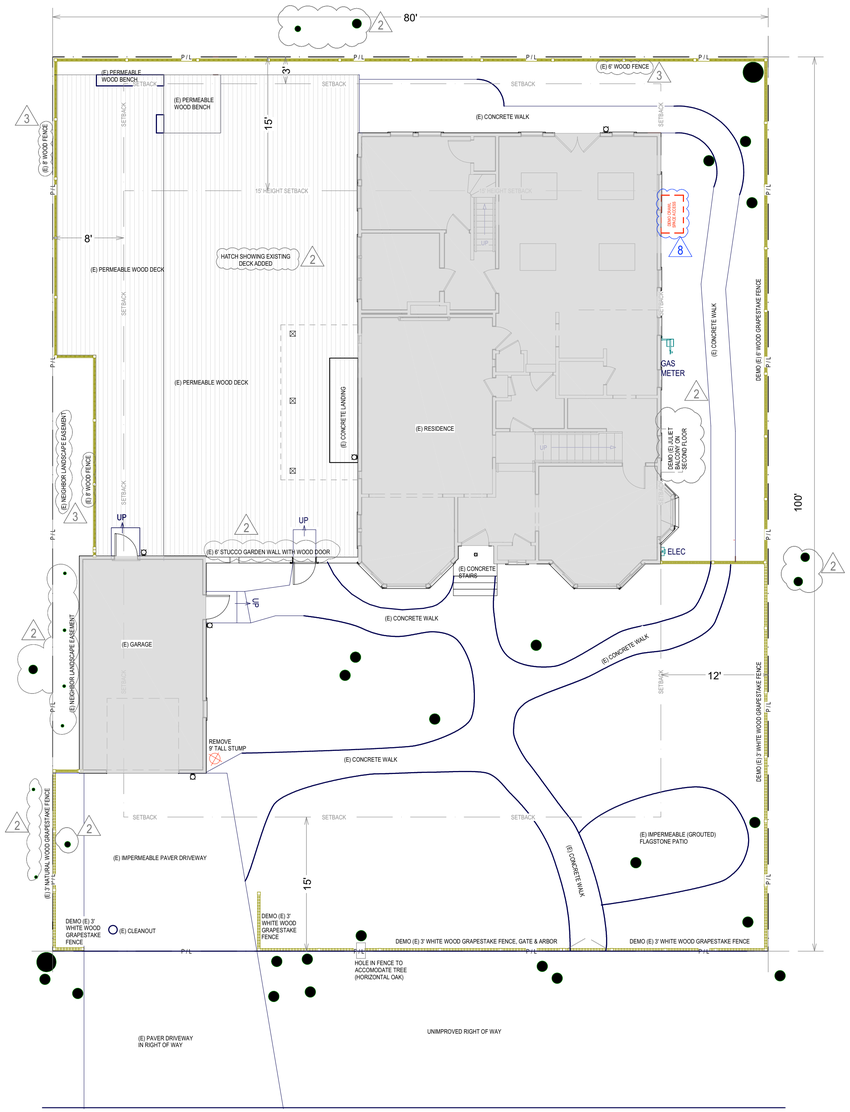
(E) IMPERMEABLE FLAGSTONE PATIO IN FRONT YARD 2

(N) 6' WOOD FENCE NORTH YARD 3

(E) 3' GRAPESTAKE FENCE SOUTH PROPERTY LINE TO MATCH 2



(E) ARBOR AT FRONT (EAST) GATE. REPLACE WITH SAME STYLE, BUT NATURAL WOOD TO MATCH NEW GRAPESTAKE FENCING. MAXIMUM HEIGHT 7'. 4



SAN CARLOS

EXISTING SITE PLAN

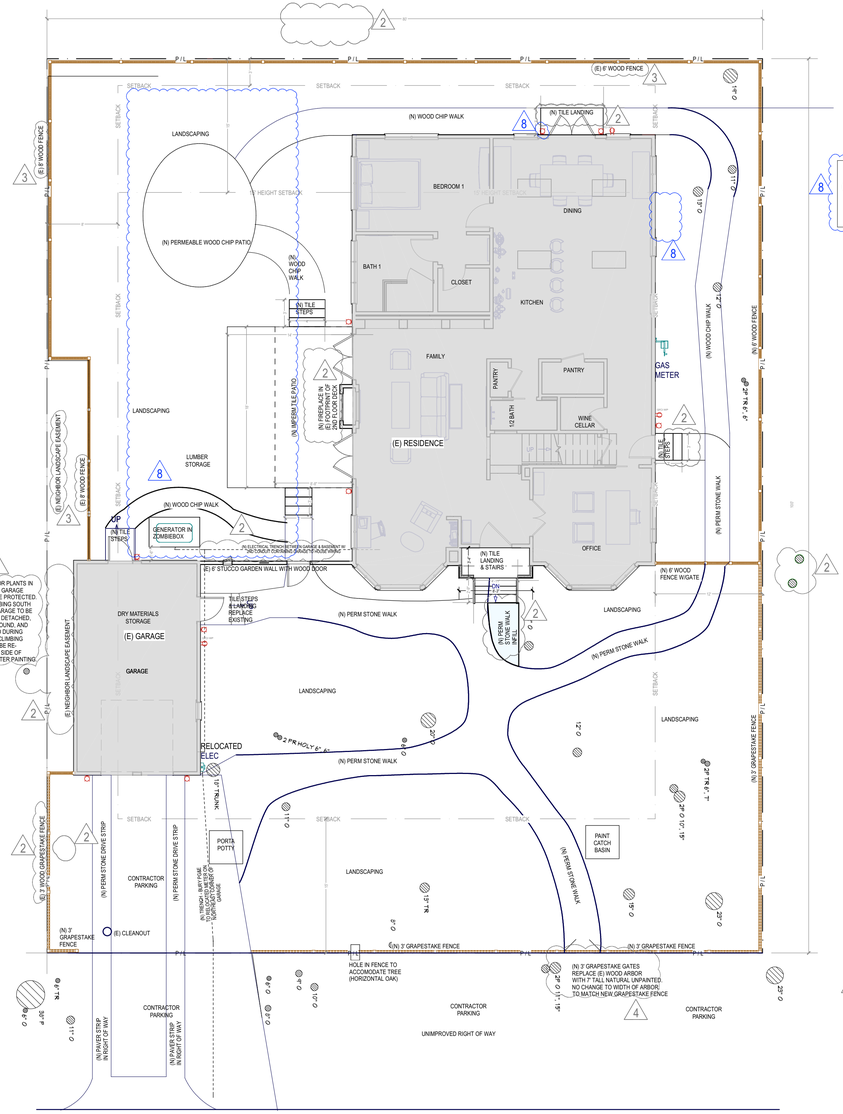
SCALE: 1/8"=1'

ALL REFERENCES TO DEMOLITION OF SITE COVERAGE (PERMEABLE AND IMPERMEABLE) HAVE BEEN REMOVED. ORIGINAL COVERAGE WILL BE RETAINED.

FRONT AND NORTH YARD FENCES & GATES TO BE DEMOLISHED AND REPLACED.EXCEPT EXISTING 3' GRAPESTAKE FENCE ON SOUTH PROPERTY LINE / SOUTHEAST GARAGE CORNER. 2

SITE PLANS SHOW APPROXIMATE PLACEMENT OF HOUSE, GARAGE, SITE COVERAGE, TREES AND FENCES. PLEASE SEE SEE SURVEY DATED MAY 2022 FOR ACCURATE PLACEMENT.

SEE SURVEY FOR STRUCTURE ALIGNMENT TO PROPERTY LINES, TREE SPECIES AND SIZE (NO CHANGE); EXISTING UTILITY LOCATIONS (NO CHANGE TO GAS OR WATER); GRADE CONTOURS (NO CHANGE); ELEVATION DATA POINTS (NO CHANGE); RETAINING WALL LOCATIONS (NO CHANGE), PERMEABLE AND IMPERMEABLE COVERAGE. 4



SAN CARLOS

PROPOSED SITE PLAN

SCALE: 1/8"=1'

ALL TREES ON THE BUILDING SITE AND NEIGHBORING PROPERTY WITHIN 6' OF GARAGE WORK SHALL HAVE PROTECTIVE BARRICADES OF UPRIGHT TWO INCH BY 4 INCH PLANTS STANDING A MINIMUM OF EIGHT FEET VERTICALLY, CONFORMING TO THE TREE, TIED WITH WIRE OR ROPE, FORMING A MINIMUM OF ONE INCH SPACE BETWEEN THE PLANKS. 2

ALL SITE COVERAGE ITEMS RETURNED TO EXISTING CONDITIONS EXCEPT WHERE NOTED 2

TREE PROTECTION ADDED TO SIGNIFICANT TREES ON SITE & IN NEIGHBOR EASEMENT

NO CHANGES TO TREES. EXCEPT REMOVAL OF STUMP AT GARAGE CORNER. REMOVAL APPROVED BY CITY FORESTER. SEE SURVEY DATED MAY 2022 FOR SIZE AND SPECIES OF TREES AND LARGE SHRUBS.

ALL LANDSCAPE & HARDSCAPE CHANGED 06/09/2023. ITEMS SHOWN ARE APPROXIMATE. SEE SHEETS L1.0 & L1.1 FOR LANDSCAPE PLAN AND DETAILS. 8

EXTERIOR WALL LIGHT
ELLINGTON
DARK SKY
OIL RUBBED BRONZE

S21703	
Shape	B11
Watts	4.5W
Lumens	350L
Color	2700
Base	Medium

A-1.1

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

SITE PLANS

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
8	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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CONSTRUCTION MANAGEMENT PLAN

PROJECT SCHEDULE:
START AROUND AUGUST 15TH, 2022 AND END AROUND JULY 15TH 2023. MONDAY THROUGH SATURDAY. 7AM TO 5PM
EMPLOYEES:
4 CREW MEMBERS WILL BE ON SITE FULL TIME AND 1 PROJECT MANAGER WILL BE ON SITE 50%. ADDITIONAL 5 CREW SUBS INTERMITENTLY
PARKING:
PARKING ON SITE WILL BE DONE WHENEVER POSSIBLE. PUBLIC PARKING ALONG EGAN AND MONARCH WILL BE USED WHEN NECESSARY DURING TRUCK DELIVERIES AND DEMO PHASE (3 WEEKS), OBEYING ALL PARKING LAWS
TRUCK STAGING AREA
1200 SF OF ON-SITE DUMPSTER STAGING, TRUCK STAGING AND INTERMITTENT PARKING SPACE IS AVAILABLE DURING ALL THE CONSTRUCTION PHASE
MATERIAL STAGING
1000 SF OF STAGING AREA WILL BE AVAILABLE INSIDE THE GARAGE AND BEHIND A FENCE
MATERIAL DELIVEREIES SHALL BE SCHEDULED SUCH AS THEY ARE USED PROMPTLY AND STORAGE IS MINIMIZED
TRUCK TRIPS:
6 TRUCK LOADS TOTAL LEAVING THE JOBSITE DURING DEMOLITION (3 WEEKS)
20 TRUCK LOADS OF MATERIAL DELIVERED DURING CONSTRUCTION
26 TRIPS TOTAL
HAUL ROUTES:
HAUL TRUCK WILL BACK UP IN THE TRUCK STAGING AREA. THEY WILL LEAVE THE SITE ON SAN CARLOS, RIGHT ON 12TH, LEFT ON JUNIPERO, RIGHT ON OCEAN, OCEAN TO HIGHWAY 1 NORTH, NORTH ON 1 TO DEL MONTE BLVD, TAKE EXIT 412, TAKE CHARLES BENSON ROAD TO THE MARINA LANDFILL.

RUBBISH TRUCK HAULING ROUTE MAP

SITE CONTROL DURING CONSTRUCTION

THE APPLICANT AND/OR PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING DUST CONTROL MEASURES:
1 WATER ALL ACTIVE CONSTRUCTION ARES TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM.
2 COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL.
3 PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS.
4 SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY.
5 SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

EROSION CONTROL NOTES

1 INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2 MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3 ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
4 DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

6.1 STANDARD NOTES FOR EROSION CONTROL PLAN

Include erosion and sediment control notes on all plans. Additional notes are required to direct the contractors and crew on site specific conditions.

1. THIS PLAN MAY NOT COVER ALL THE SITUATIONS OR PHASES THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS IN GENERAL. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF FROM LEAVING THE SITE. SEDIMENT ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
2. EROSION CONTROL FACILITIES SHALL BE MAINTAINED DAILY. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION--CAUSED SILT DEPOSITS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT FREE STORM WATER INTO EXISTING AND PROPOSED STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED AND UPDATED EACH YEAR BY THE ENGINEER (OCTOBER 15 TO APRIL 15).
3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES & IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR A PROJECT STOP ORDER.
4. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
5. IF EXISTING DRIVEWAY IS REMOVED DURING CONSTRUCTION, THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (8" MINIMUM THICKNESS FOR THE FULL WIDTH AND LENGTH OF SITE EGRESS AREA AS DEFINED IN THESE PLANS) AT ENTRANCE TO THE SITE. CONSTRUCTION EGRESS SHALL BE EQUIPPED WITH A TRUCK WASHING STATION. ALL TRUCKS SHALL WASH TIRES AND UNDERSIDE OF VEHICLES AS APPROPRIATE WHEN LEAVING THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE CITY ENGINEER.
6. DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAIN SYSTEM.
7. DURING PERIODS WHEN STORMS ARE FORECAST:
   A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
   B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
   C. WHERE STOCKPILING IS NECESSARY, USE A TARPAULIN OR SURROUND THE STOCKPILED MATERIAL WITH FIBER ROLLS, GRAVEL SEDIMENT BARRIER, SILT FENCE, OR OTHER RUNOFF CONTROLS.
   D. USE INLET CONTROLS AS NEEDED (E.G. BLOCK & GRAVEL SEDIMENT BARRIER) FOR STORM DRAIN ADJACENT TO THE PROJECT SITE OR STOCKPILED SOIL.
8. THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION AND PLACEMENT.
9. STAND-BY CREWS SHALL BE ALERTED BY THE PERMIT APPLICANT OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
10. AFTER OCTOBER 15TH TO APRIL 15TH, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. BREACHES IN DIKES AND TEMPORARY SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
11. AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES SHALL BE INSTALLED COMPLETE AS SHOWN ON THE IMPROVEMENT PLANS.
12. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
13. SANDBAGS SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR.
14. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE SAND, DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING SAFETY OF VEHICLES OPERATING IN ROADWAY ADJACENT TO EROSION CONTROL FACILITIES.
16. AFTER RAINSTORMS CONTRACTOR SHALL CHECK FOR AND REMOVE SEDIMENT TRAPPED BY SAND BAGS AT STAGING AREA. REPLACE SAND BAGS IF DETERIORATION IS EVIDENT.
17. DUST CONTROL SHOULD BE PRACTICED ON ALL CONSTRUCTION SITES WITH EXPOSED SOILS AS NEEDED. IT IS IMPORTANT IN WINDY OR WIND-PRONE AREAS. DUST CONTROL IS CONSIDERED A TEMPORARY MEASURE AND AS AN INTERMEDIATE TREATMENT BETWEEN SITE DISTURBANCE AND CONSTRUCTION, PAVING, OR REVEGITATION.

EROSION CONTROL PLAN

SCALE: 1/4"=1'

A-1.2

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

EROSION CONTROL, CMP NOTES

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
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HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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LEWISBUILDERS DESIGN/BUILD

DEMO LOWER FLOOR

105.12' FFE RESIDENCE
101.77' FFE GARAGE

DEMO UPPER FLOOR

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF DEMO
- AREA OF ADDITION

DEMO FLOOR PLANS

SCALE: 1/4"=1'

A-2.1

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

DEMO FLOOR PLANS

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RFI#2- FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
	08/18/23 PLN/BLDG RFI#3	ER

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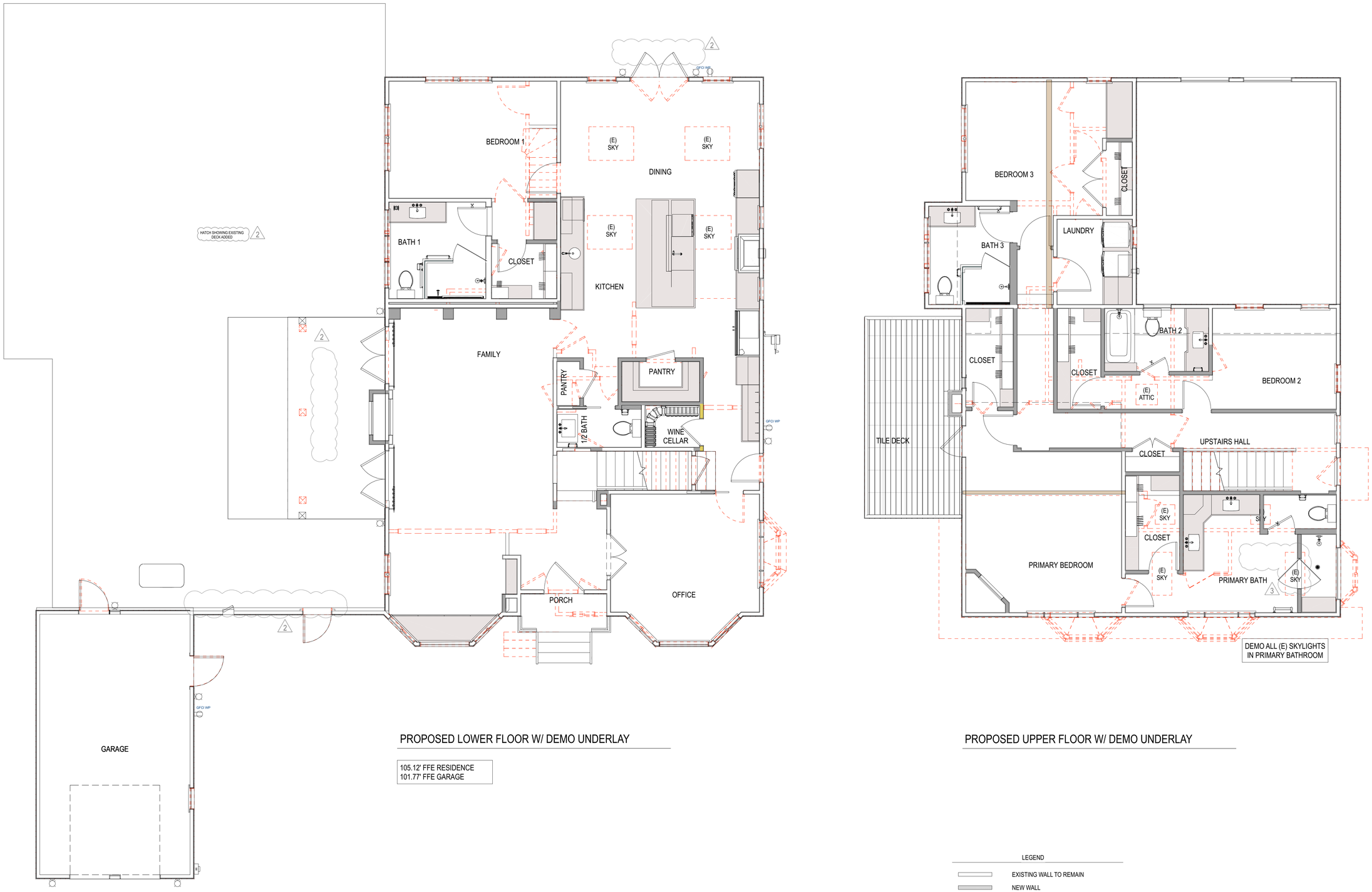

PROPOSED LOWER FLOOR W/ DEMO UNDERLAY

105.12' FFE RESIDENCE
101.77' FFE GARAGE

PROPOSED UPPER FLOOR W/ DEMO UNDERLAY

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF DEMO
- AREA OF ADDITION

PROPOSED FLOOR PLANS W/ DEMO UNDERLAY

SCALE: 1/4"=1'

A-2.2

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

PROPOSED FLOOR PLANS W/ DEMO

REV #	DATE / DESCRIPTION	BY
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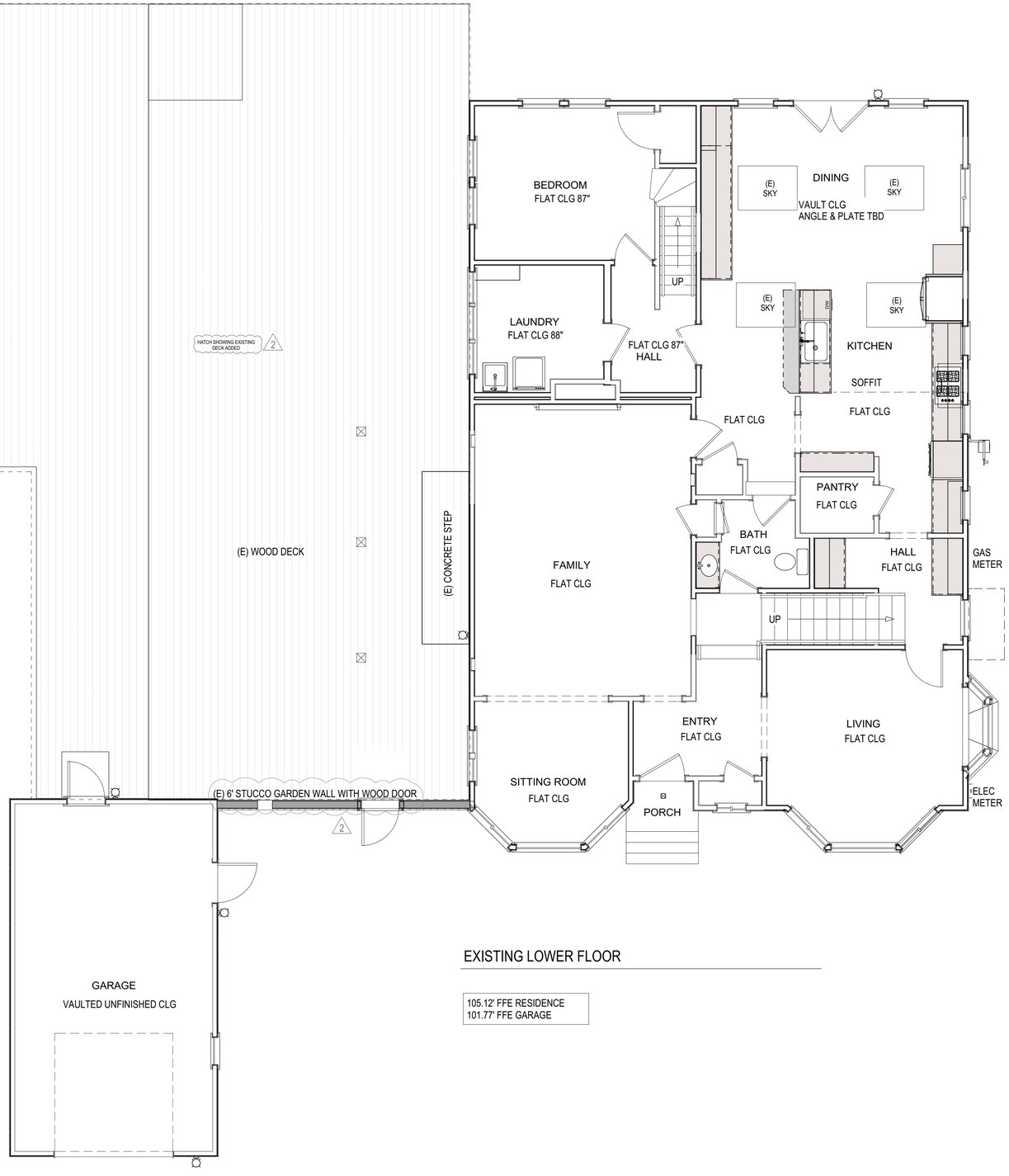
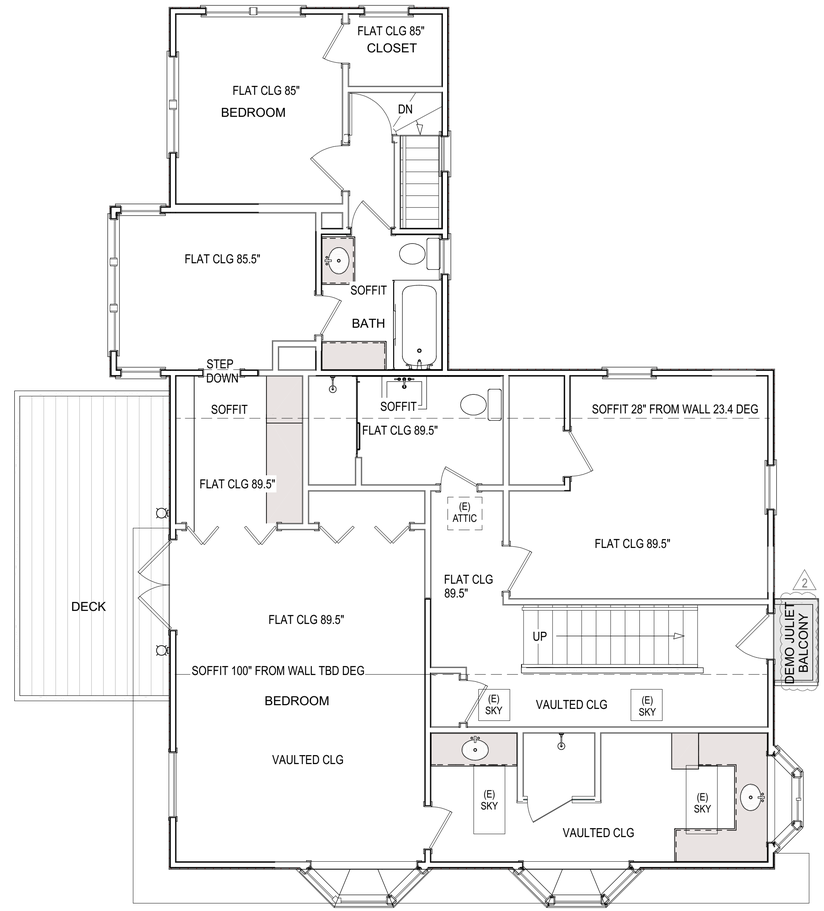


EXISTING LOWER FLOOR

105.12' FFE RESIDENCE
101.77' FFE GARAGE



EXISTING UPPER FLOOR

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
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- EXISTING WALL TO BE REMOVED
- AREA OF DEMO
- AREA OF ADDITION

EXISTING FLOOR PLANS

SCALE: 1/4"=1'

A-2.3

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

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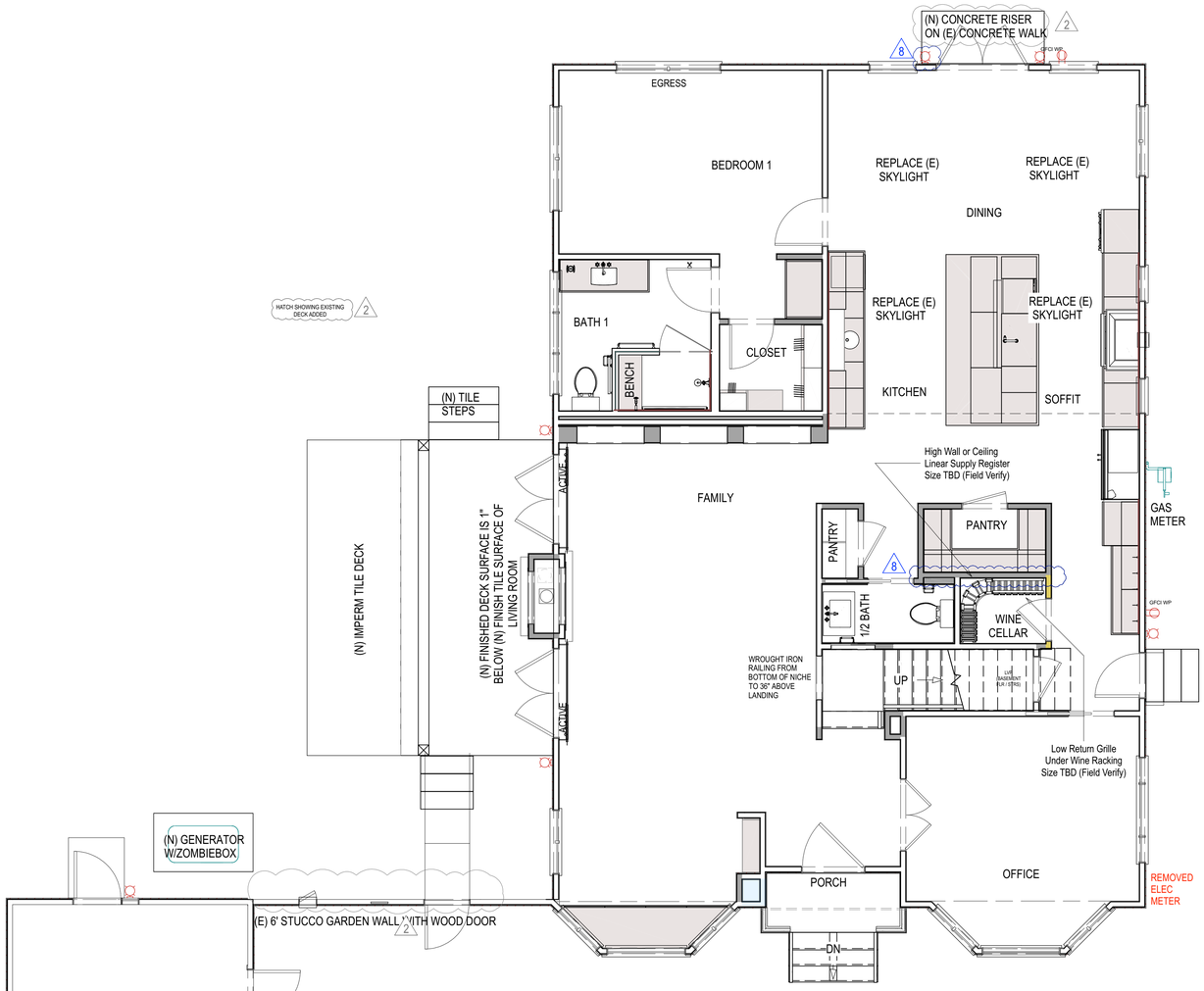

PROPOSED LOWER FLOOR

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101.77' FFE GARAGE

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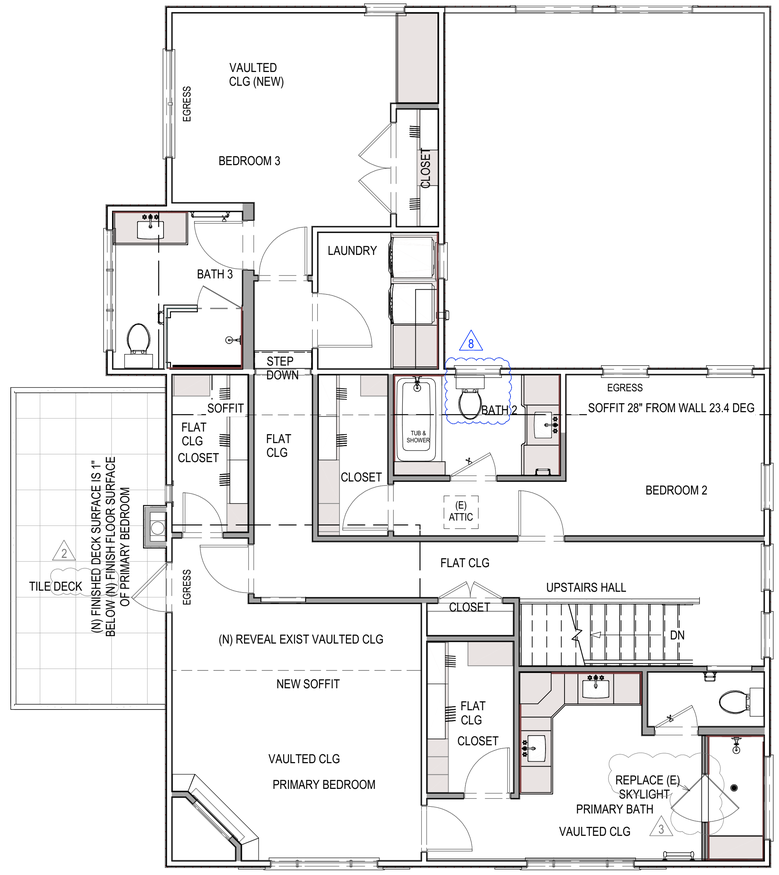
PROPOSED FLOOR PLANS

SCALE: 1/4"=1'



PROPOSED UPPER FLOOR

FLOOR PLAN NOTES

1 ALL NEW STUDS PER STRUCTURAL PLANS UNO.
2 GLASS SHOWER WALL NOTES
2.1 GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.
2.2 SHOWERS SHALL BE PROVIDED WITH DAMS/THRESHOLDS AT LEAST 2 " AND NOT MORE THAN 9 " ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 " INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22 " UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6.
2.3 ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.
2.4 SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN.
2.5 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

STAIRS AND GUARDRAILS

STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7]
A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2]
B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]
C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1¼ INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]

MINIMUM CODE REQUIREMENTS:
A) MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2]
B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2]
C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]
D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]
E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]

UNDERSTAIR AREAS:
HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM GWB, PER CRC R302.7

A-2.4

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	06/21/23 PLN/BLD CO#3	ER
8	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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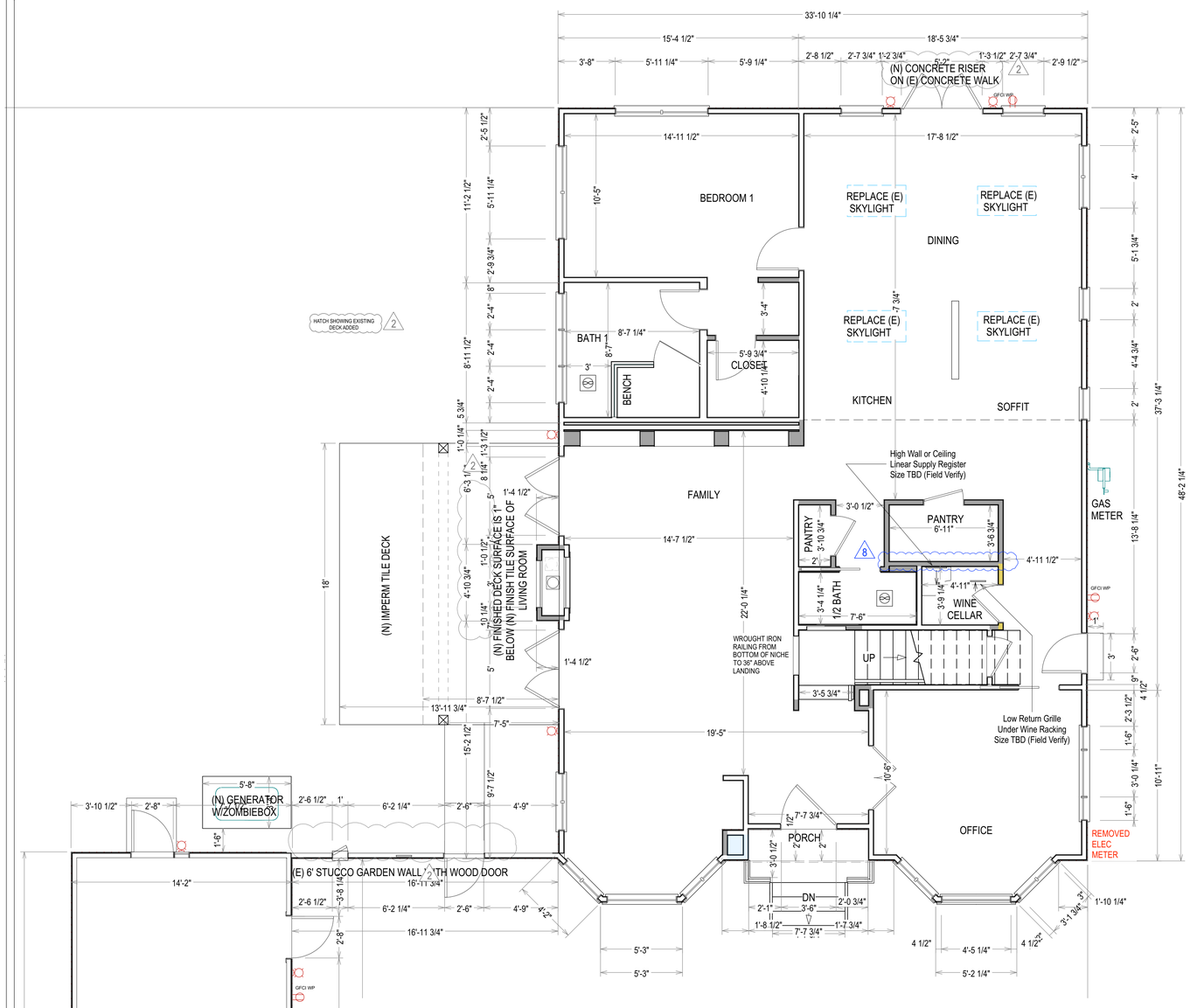


PROPOSED LOWER FLOOR

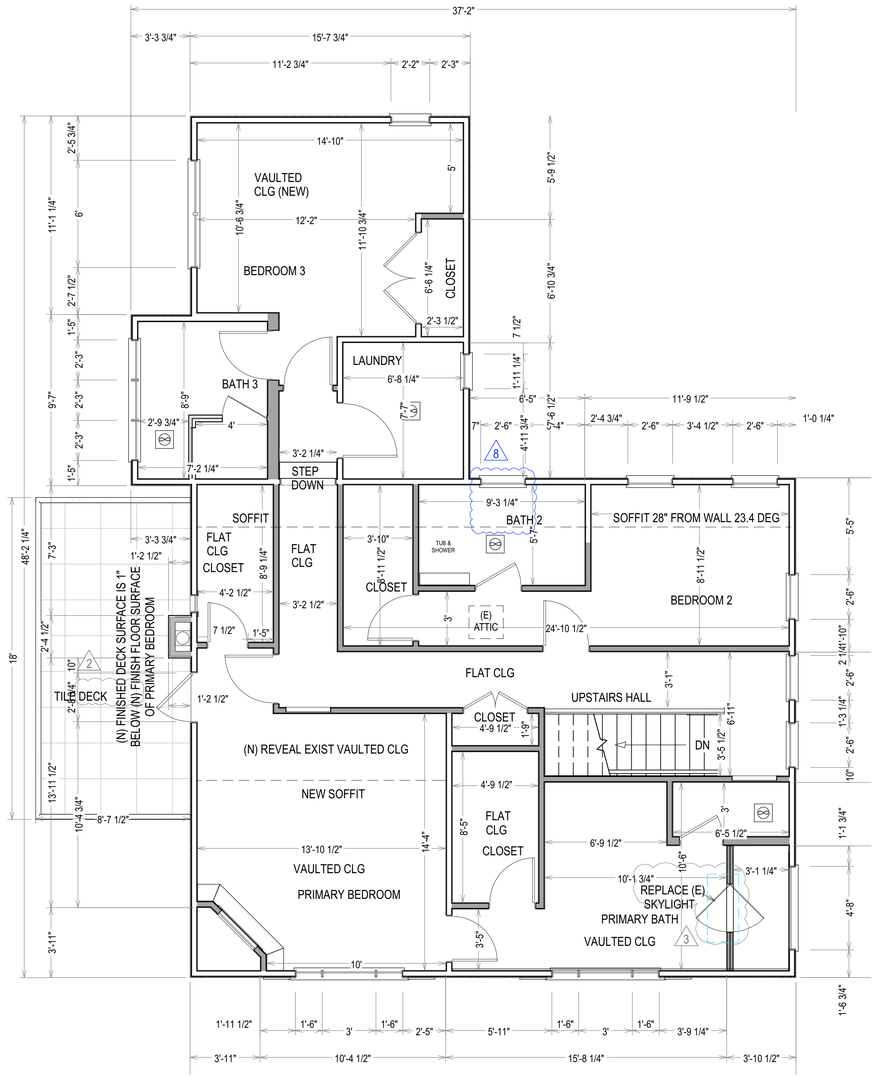
105.12' FFE RESIDENCE
101.77' FFE GARAGE

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF DEMO
- AREA OF ADDITION

PROPOSED FLOOR PLANS - DIMS

SCALE: 1/4"=1'



PROPOSED UPPER FLOOR

FLOOR PLAN NOTES

1 ALL NEW STUDS PER STRUCTURAL PLANS UNO.
2 GLASS SHOWER WALL NOTES
2.1 GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.
2.2 SHOWERS SHALL BE PROVIDED WITH DAMS/THRESHOLDS AT LEAST 2 " AND NOT MORE THAN 9 " ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 " INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22 " UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6.
2.3 ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.
2.4 SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN.
2.5 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

STAIRS AND GUARDRAILS

STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7]
A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2]
B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]
C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1¼ INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]

MINIMUM CODE REQUIREMENTS:
A) MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2]
B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2]
C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]
D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]
E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]

UNDERSTAIR AREAS:
HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM GWB, PER CRC R302.7

A-2.5

VERSION: 4.1 PLN/BLD
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PROPOSED FLOOR PLANS - DIMS

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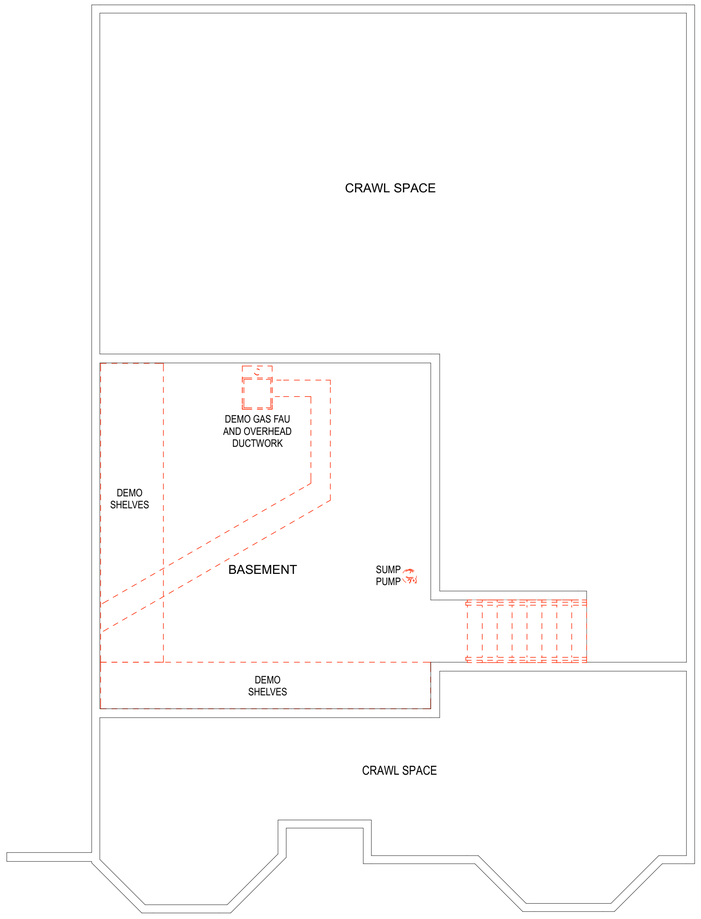
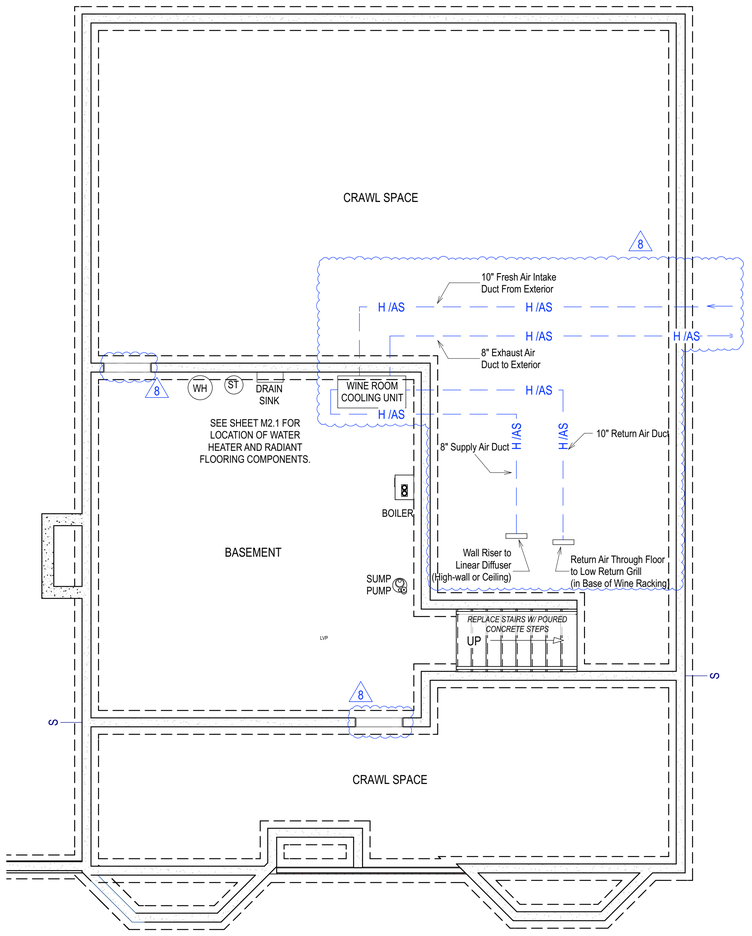


EXISTING / DEMO BASEMENT PLAN



PROPOSED BASEMENT PLAN

BASEMENT PLANS / MECHANICAL

SCALE: 1/4"=1'

A-2.6

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

BASEMENT PLANS / MECHANICAL

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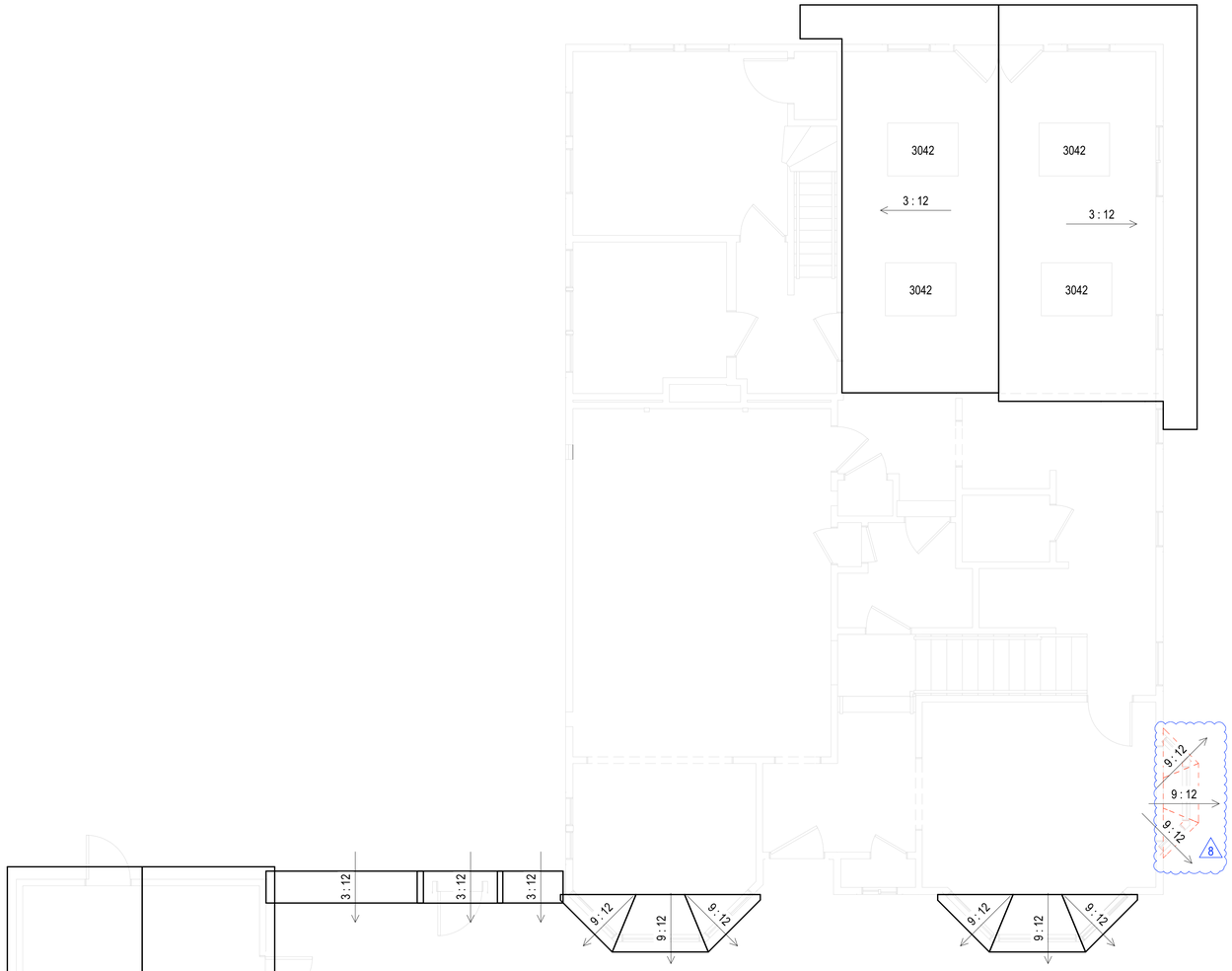
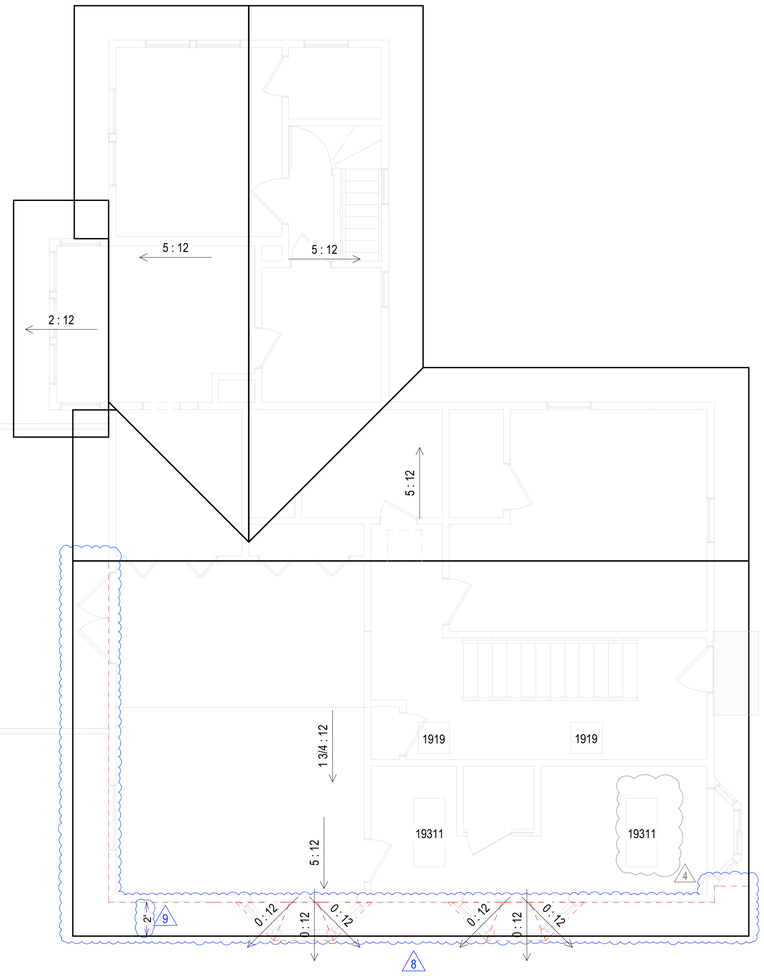


EXISTING LOWER FLOOR ROOF



EXISTING UPPER FLOOR ROOF

ALL ROOFING TO BE REMOVED AND REPLACED.
DEMO SKYLIGHTS IN PRIMARY BATHROOM.
REPLACE SKYLIGHTS IN DINING ROOM.

CUT BACK ALL EAVES& RAKES, EXCEPTING GARAGE AND NORTH & SOUTH RAKES OF EAST FACING SECOND FLOOR SHED ROOF ON PRIMARY SUITE. SEE DETAILS ON SHEET A-6.3 FOR EAVE & RAKE DEPTHS.
LOWER BROW ROOF ON EAST FACADE REMOVED

8

EXISTING ROOF PLAN

SCALE: 1/4"=1'

A-2.7

VERSION: 4.1 PLN/BLD

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EXISTING ROOF PLAN

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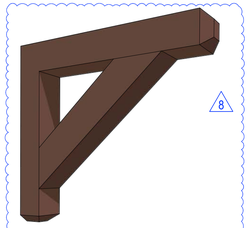
ROOF PLAN NOTES

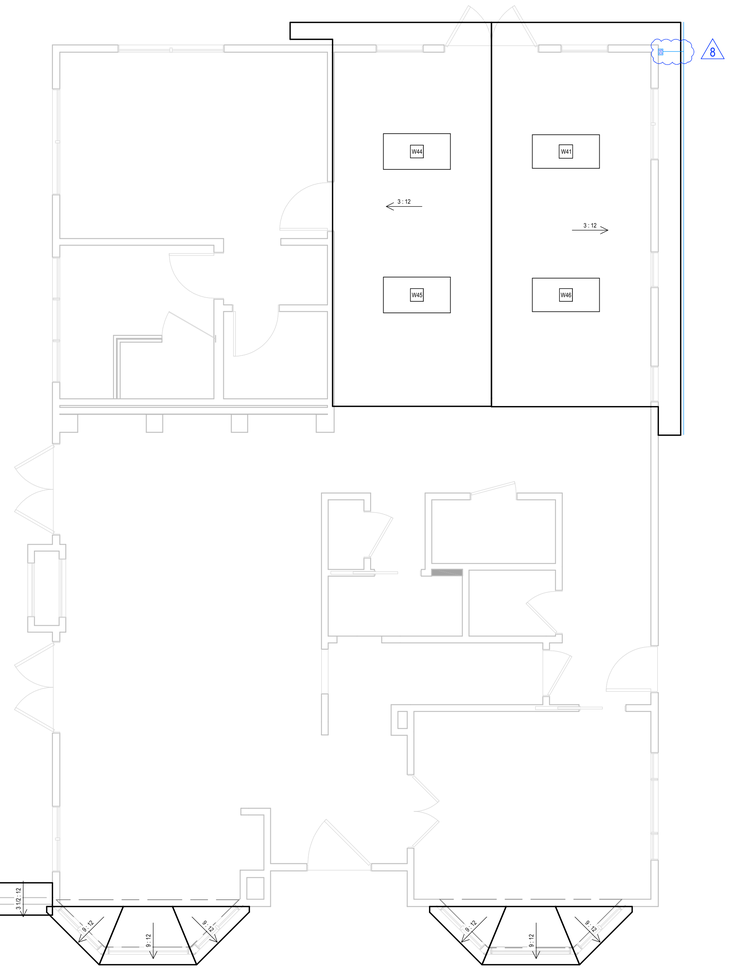
1. PROVIDE ATTIC VENT PER CRC SECTION R806.
2. MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE WHEN AT LEAST 40% BUT NOT MORE THAN 50% OF THE VENT IS LOCATED IN THE UPPER PART OF THE ATTIC SPACE.
   ATTIC SPACE OVER 2ND FLOOR = 822 SF/150 = 6 SF
   PROVIDE 6 SF OF NET FREE VENTILATION AREA
3. EXISTING ROOF AREA TO HAVE ROOF VENTILATION PER CRC SECTION R806.2 MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. WHERE EAVE AND CORNICE VENTS ARE INSTALLED, BLOCKING, BRIDGING AND INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

DRAINAGE NOTES

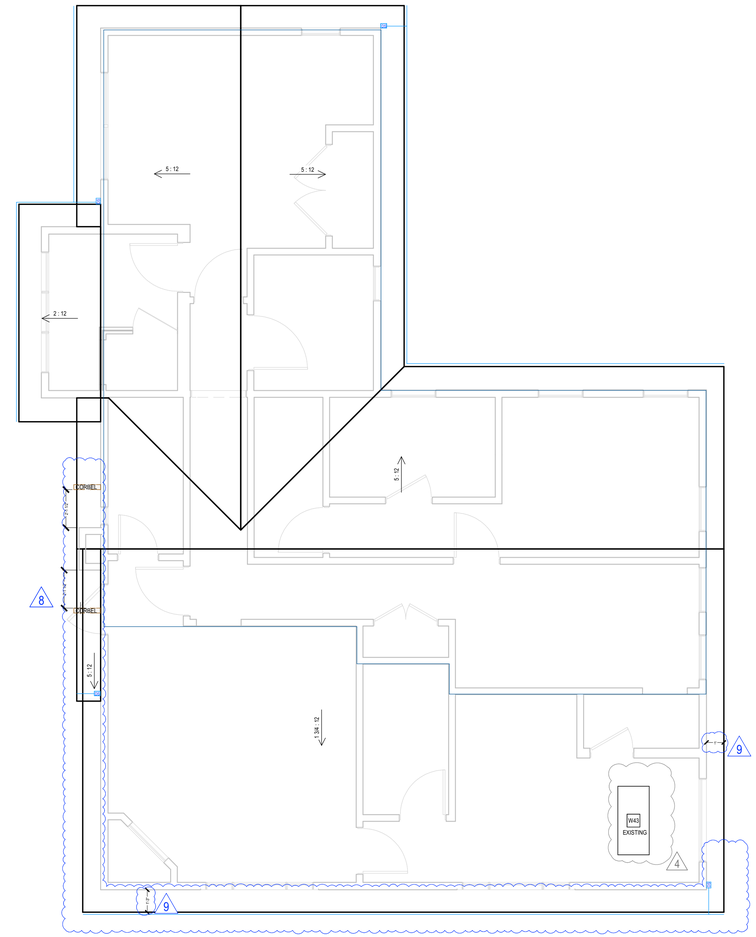
1. NEW BLACK (MATCH FASCIA COLOR) METAL GUTTERS WHERE AS SHOWN
2. NEW WHITE (MATCH COLOR OF HOUSE) METAL DOWNSPOUTS WHERE SHOWN
3. ALL DOWNSPOUTS DRAIN TO SPLASH BLOCKS, RUNOFF DISPERSED TO LANDSCAPING.
4. REDUCTION IN ROOF AREA DUE TO REDUCED EAVE DEPTHS.
5. NO CHANGE TO NUMBER OF DOWNSPOUTS.
6. UPPER DECK DRAINS TO CDECORATIVE CHAINS INTO SMALL RIVER ROCK DECORATIVE POTS.
7. ALL RUNOFF FROM SPLASH BLOCKS TO BE DIRECTED AWAY FROM FOUNDATION.
8. NO RUNOFF SHALL ENTER THE STREET RIGHT OF WAY.



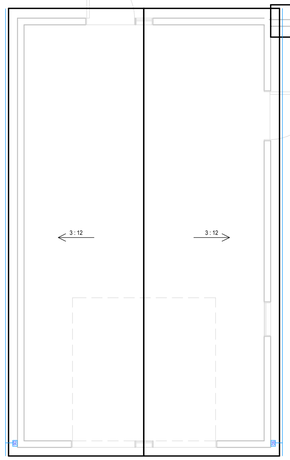
WOOD CORBEL
APPROX 18" x 18"



PROPOSED LOWER FLOOR ROOF



PROPOSED UPPER FLOOR ROOF



CURVED BAY ROOF

ALL ROOFING TO BE REMOVED AND REPLACED.
DEMO SKYLIGHTS IN PRIMARY BATHROOM.
REPLACE SKYLIGHTS IN DINING ROOM.

CUT BACK ALL EAVES& RAKES, EXCEPTING GARAGE AND NORTH & SOUTH RAKES OF EAST FACING SECOND FLOOR SHED ROOF ON PRIMARY SUITE. SEE DETAILS ON SHEET A-6.3 FOR EAVE & RAKE DEPTHS.
LOWER BROW ROOF ON EAST FACADE REMOVED

ROOF LEGEND

DS — DOWNSPOUT TO SPLASH BLOCK WHICH DISPERSE TO LANDSCAPING

GUTTER W/ DEBRIS SCREEN

PROPOSED ROOF PLAN

SCALE: 1/4"=1'

A-2.8

VERSION: 4.1 PLN/BLD

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PROPOSED ROOF PLAN

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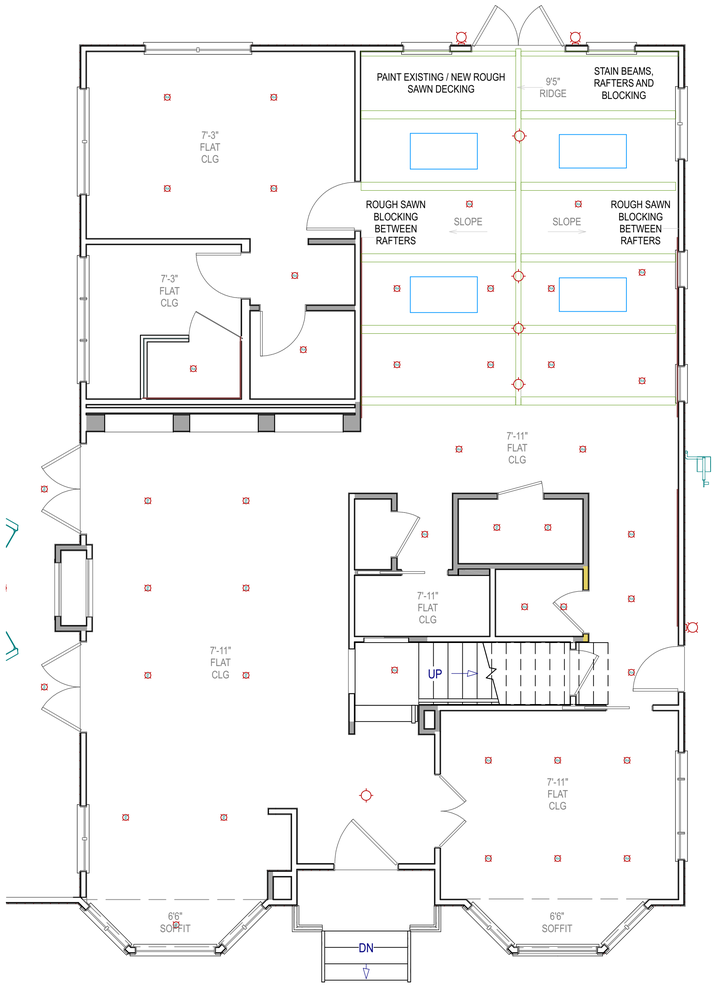
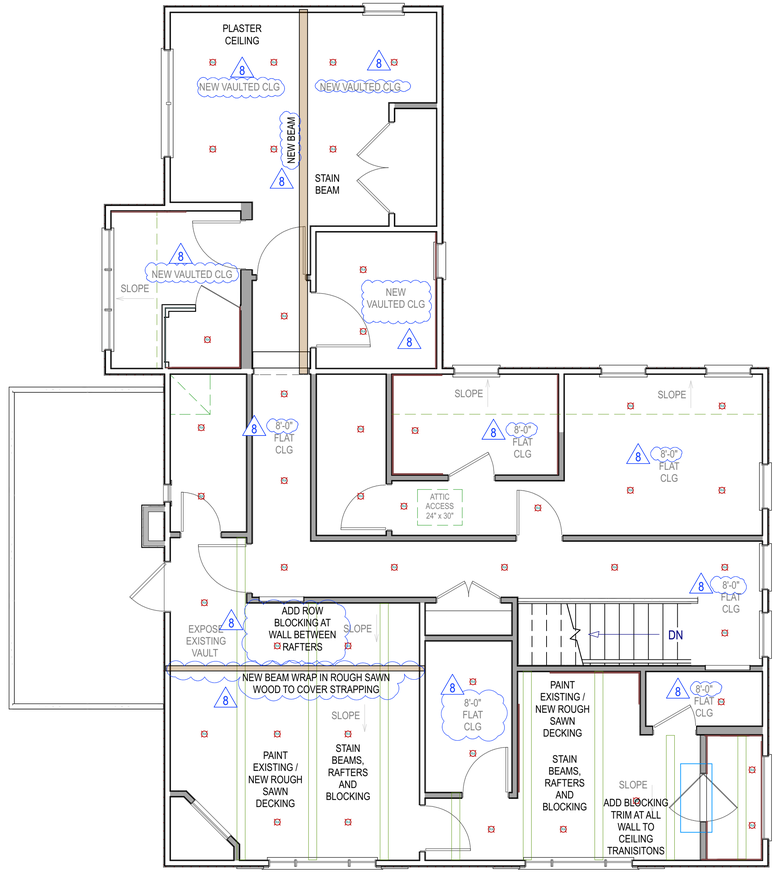


PROPOSED REFLECTED CEILING PLAN LOWER FLOOR



PROPOSED REFLECTED CEILING PLAN UPPER FLOOR

ATTIC VENTILATION CALCULATIONS
ATTIC VENTING IS 1FT VENTING FOR EVERY 150 SF OF ATTIC, WITH A MINIMUM OF TWO VENTS PER ATTIC SPACE.

HOUSE ATTIC IS 420 SF
420 SF / 150 SF = 2.8 SF
THUS HOUSE ATTIC REQUIRES 2.8 SF OF VENTILATION
PROVIDE AT LEAST TWO 1.4 SF VENTS

GARAGE ATTIC IS 312 SF
312 SF / 150 SF = 2.2 SF
THUS GARAGE ATTIC REQUIRES 2.2 SF OF VENTILATION
PROVIDE AT LEAST TWO 1.1 SF VENTS

COMMON VENT SIZES:
7"X14" = .68 SF
12"X14" = 1.17 SF
14"X16" = 1.56 SF
16"X18" = 2.0 SF

REFLECTED CEILING PLAN

SCALE: 1/4"=1'

A-2.9

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

REFLECTED CEILING PLAN

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HOMRIG RESIDENCE REMODEL

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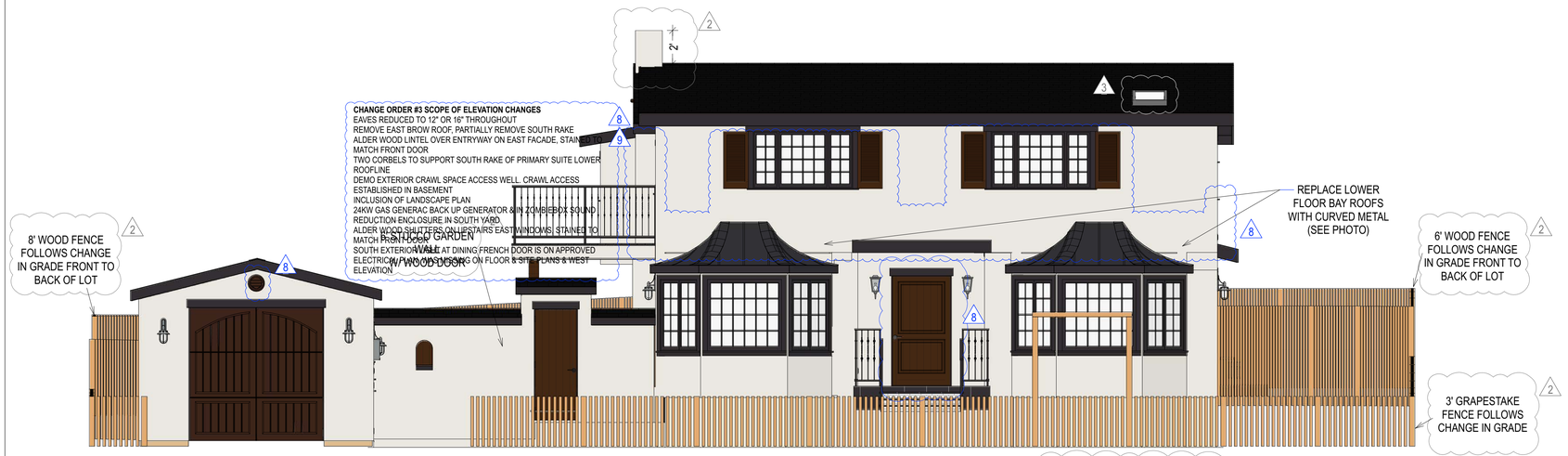
DESIGN BUILD

EXISTING ELEVATION - EAST (STREET VIEW)



CHANGE ORDER #3 SCOPE OF ELEVATION CHANGES
EAVES REDUCED TO 12" OR 16" THROUGHOUT
REMOVE EAST BROW ROOF, PARTIALLY REMOVE SOUTH RAKE
ALDER WOOD LINTEL OVER ENTRYWAY ON EAST FACADE, STAINED TO MATCH FRONT DOOR
TWO CORBELS TO SUPPORT SOUTH RAKE OF PRIMARY SUITE LOWER ROOFLINE
ALDER WOOD SHUTTERS ON UPSTAIRS EAST WINDOWS, STAINED TO MATCH FRONT DOOR
ROUND GABLE VENT ON GARAGE, STAINED TO MATCH FRONT DOOR

8
9

PROPOSED ELEVATION - EAST (STREET VIEW)

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

8
CUT BACK ALL EAVES & RAKES, EXCEPTING GARAGE AND NORTH & SOUTH RAKES OF EAST FACING SECOND FLOOR SHED ROOF ON PRIMARY SUITE. SEE DETAILS ON SHEET A-6.3 FOR EAVE & RAKE DEPTHS.
LOWER BROW ROOF ON EAST FACADE REMOVED

REPLACE EXISTING FOUNDATION VENTS WITH SIMLAR, PAINTED TO MATCH STUCCO. FOUNDATION VENT LOCATIONS ARE NOT SHOWN ON ELEVATIONS

EXTERIOR ELEVATIONS - EAST

SCALE: 1/4"=1'

ADDRESS IDENTIFICATION

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

EXTERIOR STUCCO / PLASTER NOTES

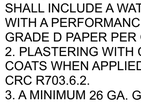
1. WEATHER RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN CRC R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER PER CRC R703.6.
2. PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3 COATS WHEN APPLIED OVER METAL LATHE OR WIRE FABRIC LATH PER CRC R703.6.2.
3. A MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT WEEP SCREED SHALL BE INSTALLED WITH:
A. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
B. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.

EXTERIOR MATERIALS

Swiss Coffee
OC-45

STUCCO
BENJAMIN MOORE
SWISS COFFEE

ROOFING
BORAL STONE STEEL SHAKE
CHARCOAL



Cool MATTE BLACK
SRI: 29 • LRV: 5 • GA: 24 & 22

LOWER BAY ROOFING
AEP SPAN DESIGN SPAN HP
COOL MATTE BLACK (LRV 5)

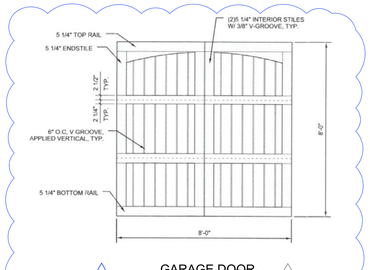
WINDOWS / DOORS
SIERRA PACIFIC
ALUMINUM CLAD WOOD BLACK 023

42" RAILING SECOND FLOOR DECK
WROUGHT IRON
FLAT BLACK

LOWER BAY ROOFING
CURVED METAL ROOF
MATTE BLACK

SHUTTERS
CYPRESS WOOD
STAINED WALNUT

FRONT DOOR
ALDER WOOD
STAINED WALNUT



GARAGE DOOR
HEM FIR WOOD
STAINED WALNUT TO MATCH FRONT DOOR

A-3.1

VERSION: 4.1 PLN/BLD
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EXTERIOR ELEVATIONS - EAST

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APN #010-165-037-000

STAMP/SIGNATURE

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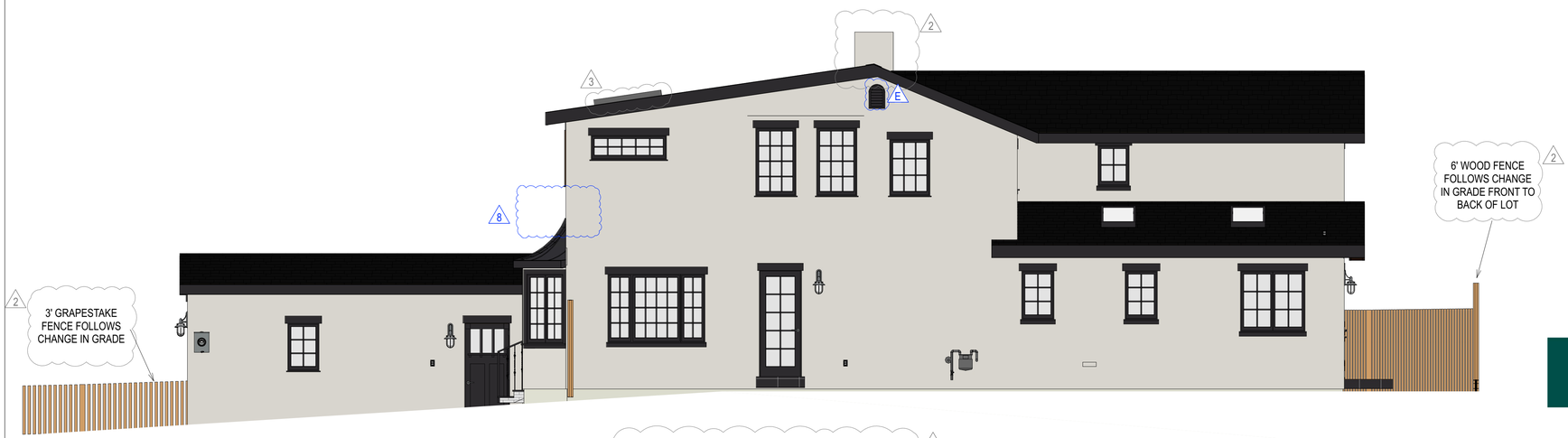
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS DESIGN/BUILD

EXISTING ELEVATION - NORTH



PROPOSED ELEVATION - NORTH

CHANGE ORDER #3 SCOPE OF ELEVATION CHANGES
EAVES REDUCED TO 12" OR 16" THROUGHOUT
REMOVE EAST BROW ROOF
WOOD ATTIC VENT IN SOUTH AND NORTH GABLES, STAIN TO MATCH FRONT DOOR

8 9

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

CUT BACK ALL EAVES & RAKES, EXCEPTING GARAGE AND NORTH & SOUTH RAKES OF EAST FACING SECOND FLOOR SHED ROOF ON PRIMARY SUITE. SEE DETAILS ON SHEET A-6.3 FOR EAVE & RAKE DEPTHS.
LOWER BROW ROOF ON EAST FACADE REMOVED

8

REPLACE EXISTING FOUNDATION VENTS WITH SIMLAR, PAINTED TO MATCH STUCCO. FOUNDATION VENT LOCATIONS ARE NOT SHOWN ON ELEVATIONS

EXTERIOR ELEVATIONS - NORTH

SCALE: 1/4"=1'

Boral Roofing
Build something great™

BoralSTEEL
STONE COATED ROOFING

PRODUCT INFORMATION

Profile:	**PINE-CREST Shake**
Color Name:	**Charcoal**
SKU Number:	**4DAP9104000**
Product Weight:	**Lightweight 1.5 Lbs per Sq Ft**
Installation Type:	**Direct or Batten**
Pallet Layout:	**Left-to-Right or Right-to-Left**
Fastening:	**Exposed**
Batten Spacing:	**14.5" (368mm)**
Available Regions:	**Nationwide**

Reflectivity:	**0.04**
Aged Ref. (3 yr):	**N/A**
Emmisivity:	**0.89**
Aged Em. (3 yr)	**N/A**
SRI:	**-2**
Aged SRI (3 yr):	**N/A**

Product Specifications

Size:	**18" x 52.5" (457 x 1334 mm)**
Coverage:	**14.625" x 49.5" (371 x 1257 mm)**
Panels per 100 Sq Ft:	**20**
Sq M per Panel:	**0.46**
Sq M per Pallet:	**186**
Panels per Pallet:	**400**
Squares per Pallet:	**20**
Pallets per Full Truck:	**15**
Squares per Full Track:	**300**
Panels per Container Size 20ft (6.1M) With Accessories:	**5,600**
No Accessories:	**6,400**
Pallets per Container Size 20ft (6.1M) With Accessories:	**14**
No Accessories:	**16**

The printed color shown here may vary from actual available tile color and should not be used to color match. Please contact your local Sales Representative for actual panel samples.

800.669.8453 | BoralRoof.com

BORAL®

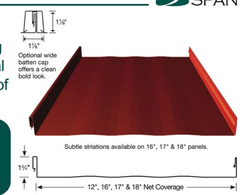
ROOFING
BORAL STONE STEEL SHAKE
CHARCOAL

Design Span® *hp*

AEP SPAN

Design Span *hp* is a performance-rated structural standing seam, concealed fastener metal roof system with net coverage of 12", 16", 17" & 18".

Design Span *hp* is excellent as a roof over metal or wood decking, and as a fascia or mansard over plywood or supports.



Section Properties

Width	Gauge	Base Steel Thickness (in)	Yield (ksi)	Tensile (ksi)	Wt. (lbs/ft²)	I+ (in⁴/ft)	S+ (in³/ft)	I- (in⁴/ft)	S- (in³/ft)
12"	24	0.0232	50	65	1.45	0.1185	0.0820	0.0762	0.0586
	22	0.0294	50	65	1.83	0.1522	0.1080	0.0997	0.0771
16"	24	0.0232	50	65	1.34	0.0943	0.0624	0.0593	0.0440
	22	0.0294	50	65	1.68	0.1213	0.0825	0.0773	0.0580
17"	24	0.0232	50	65	1.31	0.0901	0.0589	0.0562	0.0414
	22	0.0294	50	65	1.65	0.1158	0.0779	0.0734	0.0546
18"	24	0.0232	50	65	1.30	0.0858	0.0557	0.0533	0.0391
	22	0.0294	50	65	1.63	0.1104	0.0737	0.0696	0.0515

NOTE: The hybrid positive moment of inertia, I, presented for determining deflection is: $(I_{Positive} + I_{Pmod})/3$

standard features

- Offered in 12", 16", 17" & 18" widths.
- Factory applied sealant is a standard offer.
- Custom manufactured sheet lengths from 5'-3" to 45'-0".
- Subtle striations between ribs available for 16" and wider panels.
- Available in 24ga and 22ga in standard finishes - Refer to AEP Span Color Charts for full range of color options, prints, textures, finishes and paint systems.
- Recommended minimum slope of 2:12. Inquire for slopes below 2:12.
- Tested in accordance with UL580-Class 90 & ASTM E1592.
- Has been tested for air infiltration per ASTM E1680, and water infiltration per ASTM E1646.
- Snap-together panel, no field seaming required.
- Panel evaluated by accredited third party. All structural performance data is contained within an IBC/IRC 2018 code compliance report #ER-0309.

optional features

- Short cut sheets from 6'-0" to 1'-0". Additional fees and lead times may apply.
- Lengths over 45' available for additional charge.
- Additional wide batten cap option offers a clean bold look with the structural capacity and weather resistance of regular Design Span hp.
- Factory notching available for turn under at the eave.

Cool **MATTE BLACK**
SRI: 29 • LRV: 5 • GA: 24 & 22

Customer Service Center
Tacoma, WA
Phone: 800-733-4955 Fax: 253-272-0791
For most current versions of literature please visit
www.aepspan.com

LOWER BAY ROOFING
AEP SPAN DESIGN SPAN HP
COOL MATTE BLACK (LRV 5)

A-3.2

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

EXTERIOR ELEVATIONS - NORTH

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
8	06/21/23 PLN/BLD C0#3	ER
9	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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WEST FENCE NOT SHOWN FOR CLEAR VIEW OF WEST FACADE

2

EXISTING ELEVATION - WEST

WEST FENCE NOT SHOWN FOR CLEAR VIEW OF WEST FACADE

2

PROPOSED ELEVATION - WEST

CHANGE ORDER #3 SCOPE OF ELEVATION CHANGES
EAVES REDUCED TO 12" OR 16" THROUGHOUT
24KW GAS GENERAC BACK UP GENERATOR & IN ZOMBIEBOX SOUND REDUCTION ENCLOSURE IN SOUTH YARD
ROUND GABLE VENT ON GARAGE, STAINED TO MATCH FRONT DOOR
8
9

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

CUT BACK ALL EAVES & RAKES, EXCEPTING GARAGE AND NORTH & SOUTH RAKES OF EAST FACING SECOND FLOOR SHED ROOF ON PRIMARY SUITE. SEE DETAILS ON SHEET A-6.3 FOR EAVE & RAKE DEPTHS.
LOWER BROW ROOF ON EAST FACADE REMOVED

REPLACE EXISTING FOUNDATION VENTS WITH SIMLAR, PAINTED TO MATCH STUCCO. FOUNDATION VENT LOCATIONS ARE NOT SHOWN ON ELEVATIONS

8

EXTERIOR ELEVATIONS - WEST

SCALE: 1/4"=1'

9

EXTERIOR PATH LIGHT - RUBBED BRONZE

Brand	Kichler
Light fixture form	Path
Room Type	Kitchen
Product Dimensions	6"L x 6"W x 20"H
Indoor/Outdoor Usage	Outdoor
Power Source	Hardwired
Control Method	App
Light Source Type	LED
Number of Light Sources	1
Voltage	12 Volts
Included Components	Includes one 3 watt GU4 base LED starter bulb and 36-in wire leads to make connections easily
Part Number	28315
Item Weight	3.39 pounds
Item model number	28315
Collection	Showscape
Plug Format	A- US style
Switch Installation Type	Surface
Batteries Included?	No
Batteries Required?	No
Luminous Flux	200 Lumen

EXTERIOR WALL LIGHT
ELLINGTON
DARK SKY
OIL RUBBED BRONZE

2PK
Carded

S21703	
Shape	B11
Watts	4.5W
Lumens	350L
Color	2700
Base	Medium

A-3.3

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

EXTERIOR ELEVATIONS - WEST

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2- FORESTER	ER
8	06/21/23 PLN/BLD CO#3	ER
9	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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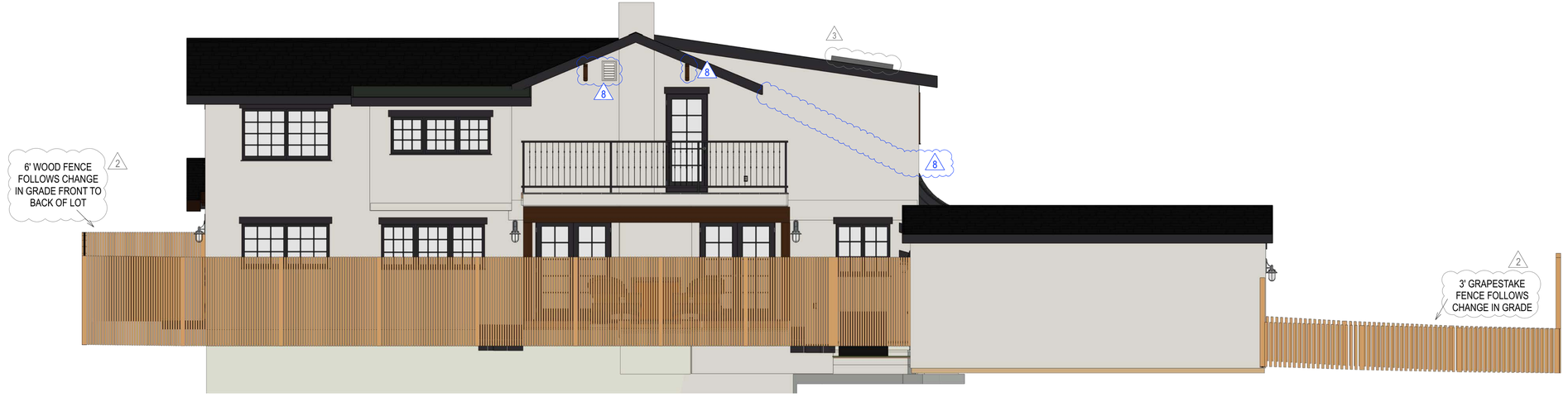
LEWIS BUILDERS DESIGN/BUILD

EXISTING ELEVATION - SOUTH



PROPOSED ELEVATION - SOUTH

CHANGE ORDER #3 SCOPE OF ELEVATION CHANGES 8 9
EAVES REDUCED TO 12" OR 16" THROUGHOUT
REMOVE EAST BROW ROOF, PARTIALLY REMOVE SOUTH RAKE
TWO CORBELS TO SUPPORT SOUTH RAKE OF PRIMARY SUITE LOWER ROOFLINE
WOOD ATTIC VENT, STAINED TO MATCH FRONT DOOR

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

CUT BACK ALL EAVES & RAKES, EXCEPTING GARAGE AND NORTH & SOUTH RAKES OF EAST FACING SECOND FLOOR SHED ROOF ON PRIMARY SUITE. SEE DETAILS ON SHEET A-6.3 FOR EAVE & RAKE DEPTHS.
LOWER BROW ROOF ON EAST FACADE REMOVED
8

REPLACE EXISTING FOUNDATION VENTS WITH SIMLAR, PAINTED TO MATCH STUCCO. FOUNDATION VENT LOCATIONS ARE NOT SHOWN ON ELEVATIONS

EXTERIOR ELEVATIONS - SOUTH

SCALE: 1/4"=1'

A-3.4

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

EXTERIOR ELEVATIONS - SOUTH

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
8	06/21/23 PLN/BLD CO#3	ER
9	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

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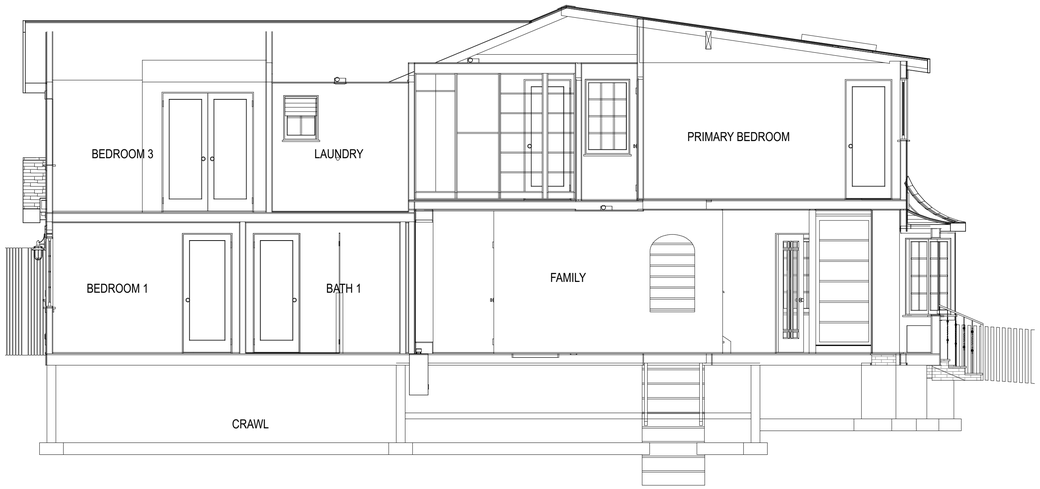
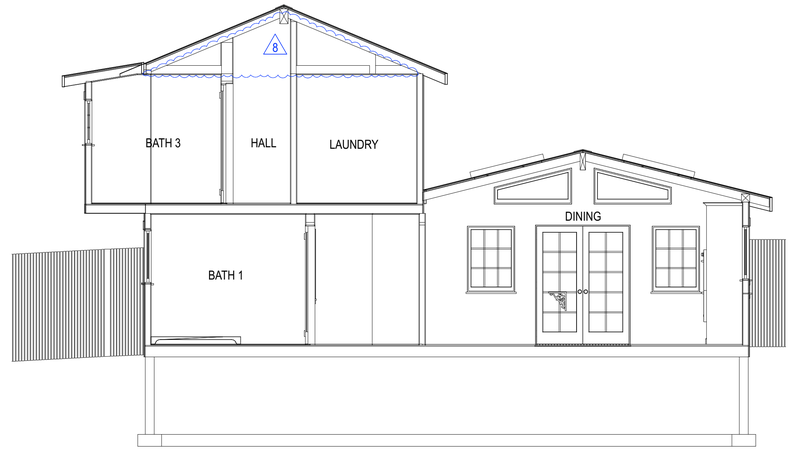


CROSS SECTIONS EAST/ WEST @ SUITE 1, LIVING ROOM, PRIMARY SUITE & SUITE 3

SCALE: 1/4"=1'

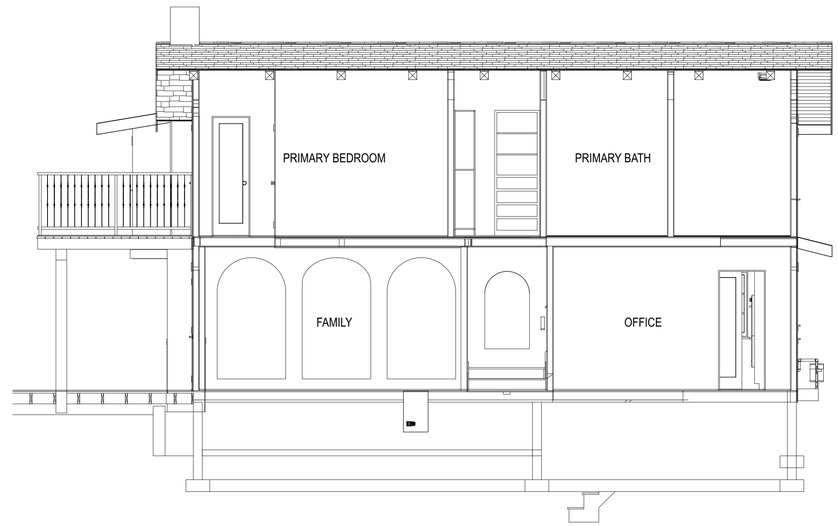


CROSS SECTIONS NORTH / SOUTH @ BEDROOM 1 & DINING

SCALE: 1/4"=1'

NO CHANGE TO EXISTING RIDGE, ROOF PITCH, EAVE DEPTHS, FFE OF FIRST AND SECOND FLOORS, CEILING HEIGHTS, EXCEPTING PARTIAL VAULT OF PRIMARY BEDROOM TO UNDERSIDE OF EXISTING RAFTERS.

SEE T-24 FOR INSULATION REQUIREMENTS



CROSS SECTIONS

SCALE: 1/4"=1'

CROSS SECTIONS NORTH / SOUTH @ FAMILY ROOM

SCALE: 1/4"=1'

A-4.1

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

CROSS SECTIONS

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2- FORESTER	ER
8	06/21/23 PLN/BLD CO#3	ER
	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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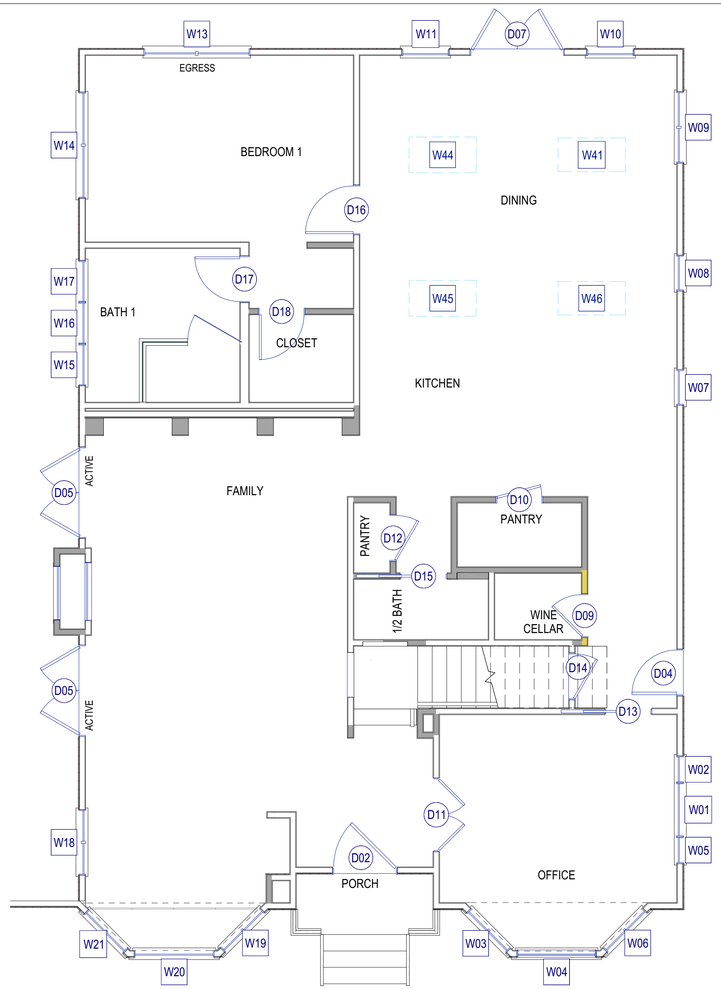

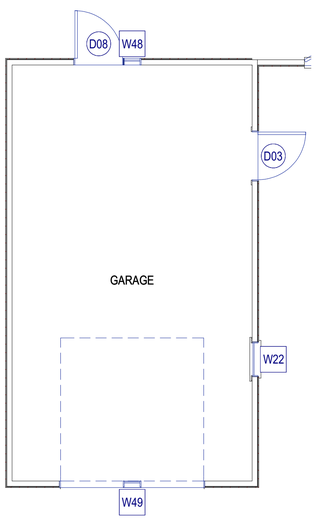

DOOR & WINDOW SCHEDULE 1ST FL

SCALE: 1/4"=1'

DOOR SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	DESCRIPTION	TEMPERED	COMMENTS	3D INTERIOR ELEVATION
D01	1	1	GARAGE	8080	GARAGE-GARAGE DOOR CHD18		WOOD TEXTURED STEEL, COLOR WALNUT	
D02	1	1	FAMILY	3668 R EX	EXT. HINGED-DOOR P04			
D03	1	1	GARAGE	2868 L EX	EXT. HINGED-DOOR E21	YES		
D04	1	1	KITCHEN	2668 L EX	EXT. HINGED-GLASS PANEL	YES		
D05	2	1	FAMILY/DECK	5068 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	YES		
D06	1	2	PRIMARY BEDROOM/TILE DECK	2968 R EX	EXT. HINGED-GLASS PANEL	YES		
D07	1	1	DINING	5266 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	YES		
D08	1	1	GARAGE/UNSPECIFIED	2868 L EX	EXT. HINGED-DOOR E21	YES		
D09	1	1	WINE CELLAR/KITCHEN	2468 L IN	HINGED-DOOR D505		WINE CELLAR; INSULATED	
D10	1	1	PANTRY/KITCHEN	2668 L IN	HINGED-GLASS PANEL		PAINT GRADE INT / EXT TO MATCH WINDOW AND EXT DR PACKAGE	
D11	1	1	OFFICE/FAMILY	4068 L/R IN	DOUBLE HINGED-DOOR F06			
D12	1	1	PANTRY/KITCHEN	2668 R IN	HINGED-DOOR P01			
D13	1	1	KITCHEN/OFFICE	2668 L	POCKET-DOOR P01			
D14	1	1	KITCHEN/FAMILY	2660 R IN	HINGED-DOOR P01			
D15	1	1	KITCHEN/1/2 BATH	2668 L	POCKET-DOOR P01			
D16	1	1	BEDROOM 1/DINING	2868 L IN	HINGED-DOOR P01			
D17	1	1	BATH 1/BEDROOM 1	2668 R IN	HINGED-DOOR P01			
D18	1	1	BEDROOM 1/CLOSET	2668 R IN	HINGED-DOOR P01			

* NOT ALL DOOR SHAPES ARE INDICATIVE TO FINAL DESIGN

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	WIDTH	HEIGHT	DESCRIPTION	EGRESS	TEMPERED	COMMENTS	3D EXTERIOR ELEVATION
W01	1	1	OFFICE	3043FX	36 1/4"	50 1/2"	FIXED GLASS				
W02	1	1	OFFICE	1643SC	18"	50 1/2"	SINGLE CASEMENT-HR				
W03	1	1	OFFICE	3244DC	37 3/4"	51 1/2"	DOUBLE CASEMENT-LHL				
W04	2	1	OFFICE	4544FX	53 3/8"	51 1/2"	FIXED GLASS				
W05	1	1	OFFICE	1643SC	18"	50 1/2"	SINGLE CASEMENT-HL				
W06	1	1	OFFICE	3244DC	37 3/4"	51 1/2"	DOUBLE CASEMENT-RHR				
W07	1	1	KITCHEN	2030SC	24"	36"	SINGLE CASEMENT-HL				
W08	1	1	KITCHEN	2030SC	24"	36"	SINGLE CASEMENT-HR				
W09	1	1	DINING	4036DC	48"	45"	DOUBLE CASEMENT-LHL/RHR				
W10	1	1	DINING	2838SC	31 3/4"	44 1/4"	SINGLE CASEMENT-HL		YES		
W11	1	1	DINING	2838SC	31 3/4"	44 1/4"	SINGLE CASEMENT-HR		YES		
W12	2	2		4420FX	52"	24 5/16"	FIXED GLASS				
W13	1	1	BEDROOM 1	5113110DC	71 1/4"	46 7/8"	DOUBLE CASEMENT-LHL/RHR	YES			
W14	1	1	BEDROOM 1	51130DC	71 1/4"	36"	DOUBLE CASEMENT-LHL/RHR				
W15	1	1	BATH 1	2430SC	28"	36"	SINGLE CASEMENT-HR				
W16	1	1	BATH 1	2430FX	28"	36"	FIXED GLASS				
W17	1	1	BATH 1	2430SC	28"	36"	SINGLE CASEMENT-HL				
W18	1	1	FAMILY/UNSPECIFIED	3636DC	44"	42"	DOUBLE CASEMENT-LHL/RHR				
W19	1	1	LIBRARY NOOK	3244DC	37 3/4"	51 3/4"	DOUBLE CASEMENT-RHR				
W20	1	1	LIBRARY NOOK	4644FX	53 3/4"	51 1/2"	FIXED GLASS				
W21	1	1	LIBRARY NOOK	3144DC	37 1/4"	51 3/4"	DOUBLE CASEMENT-LHL				
W22	1	1	GARAGE	111211SC	23 1/4"	35 1/4"	SINGLE CASEMENT-HL				
W41	1	1	DINING	111310	22 1/2"	46 3/8"	RECT. SKYLIGHT				

DOOR NOTES

1 ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE
2 INTERIOR DOORS SHALL BE PAINTED.
3 EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

DOOR AND WINDOW GLAZING NOTES :

REQUIRED SAFETY GLAZING SHALL CONFORM TO THE HUMAN IMPACT LOADS PER CRC R308.3, R308.4
GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
EXCEPTIONS:
- GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3-INCH-DIAMETER SPHERE IS UNABLE TO PASS.
- DECORATIVE GLAZING.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
- WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLAN OF THE DOOR IN A CLOSED POSITION.
- WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITIONS AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.

EXCEPTIONS:
- DECORATIVE GLAZING.
- WHERE THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING.
- WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH. GLAZING IN THIS APPLICATION SHALL COMPLY WITH SECTION R308.4.3.
- GLAZING THAT IS ADJACENT TO THE FIXED PANEL OF PATIO DOORS.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE WINDOW PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
- THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
- THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
- THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

EXCEPTIONS:
- DECORATIVE GLAZING.
- WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED 34 TO 38 INCHES ABOVE THE WALKIN SURFACE. THE RAIL SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS AND HAVE A CROSS-SECTIONAL HEIGHT OF NOT LESS THAN 1-1/2 INCHES.
- OUTBOARD PANES IN INSULATED GLASS UNITS AND OTHER MULTIPLE GLAZING PANELS WHERE THE BOTTOM EDGE OF THE GLASS IS 25 FEET OR MORE ABOVE GRADE, A ROOF, WALKING SURFACES OR OTHER HORIZONTAL SURFACE ADJACENT TO THE GLASS EXTERIOR.

SKYLIGHT NOTES

4

1. SKYLIGHTS SHALL BE FLAT
2. THE FLASHING SHALL MATCH THE ROOF COLOR
3. SKYLIGHT SHALL HAVE NON-REFLECTIVE GLASS
4. SKYLIGHT TO BE EQUIPPED WITH AN INTERIOR SHADE THAT CAN BE PULLED ACROSS THE SKYLIGHT TO PREVENT GLARE TO NEIGHBORING PROPERTIES.
5. SKYLIGHT SHADE TO BE VELUX CLOTH BLACK OUT SHADE, MANUALLY OPERATED.

A-5.1

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

DOOR & WINDOW SCHEDULE 1ST FL

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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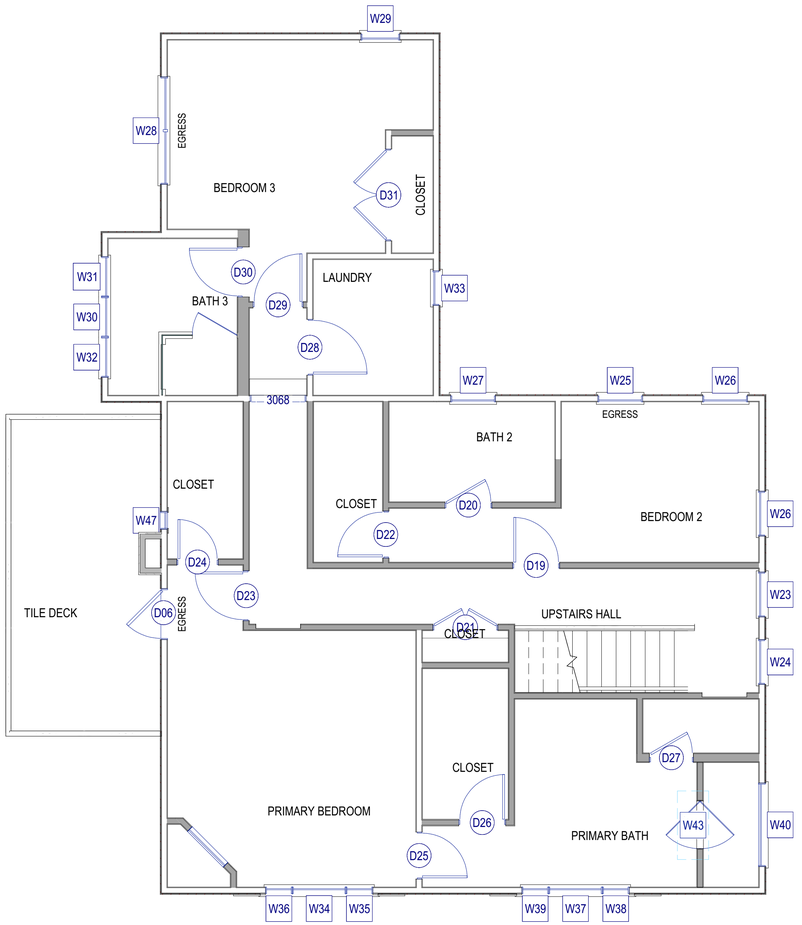

DOOR SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	DESCRIPTION	TEMPERED	COMMENTS	3D INTERIOR ELEVATION
D19	1	2	BEDROOM 2/UPSTAIRS HALL	2668 L IN	HINGED-DOOR P01			
D20	1	2	BATH 2/BEDROOM 2	2668 L IN	HINGED-DOOR P01			
D21	1	2	UPSTAIRS HALL/CLOSET	3668 L/R IN	DOUBLE HINGED-DOOR P01			
D22	1	2	CLOSET/BEDROOM 2	2668 L IN	HINGED-DOOR P01			
D23	1	2	UPSTAIRS HALL/PRIMARY BEDROOM	2868 R IN	HINGED-DOOR P01			
D24	1	2	CLOSET/PRIMARY BEDROOM	2268 L IN	HINGED-DOOR P01			
D25	1	2	PRIMARY BEDROOM/ PRIMARY BATH	2668 R IN	HINGED-DOOR P01			
D26	1	2	PRIMARY BATH/CLOSET	2668 R IN	HINGED-DOOR P01			
D27	1	2	PRIMARY BATH/PRIMARY BATH	2468 L IN	HINGED-DOOR P01			
D28	1	2	HALL/LAUNDRY	3068 R IN	HINGED-DOOR P01			
D29	1	2	HALL/BEDROOM 3	2868 R IN	HINGED-DOOR P01			
D30	1	2	BEDROOM 3/BATH 3	2868 R IN	HINGED-DOOR P01			
D31	1	2	CLOSET/BEDROOM 3	5068 L/R IN	DOUBLE HINGED-DOOR P01		MIRRORED CENTER PANELS	

* NOT ALL DOOR SHAPES ARE INDICATIVE TO FINAL DESIGN

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	WIDTH	HEIGHT	DESCRIPTION	EGRESS	TEMPERED	COMMENTS	3D EXTERIOR ELEVATION
W23	1	2	UPSTAIRS HALL	2643SC	30"	50 1/2"	SINGLE CASEMENT-HR				
W24	1	2	UPSTAIRS HALL	2643SC	30"	50 1/2"	SINGLE CASEMENT-HL				
W25	1	2	BEDROOM 2	2636SC	30"	42"	SINGLE CASEMENT-HR	YES			
W26	2	2	BEDROOM 2	2636SC	30"	42"	SINGLE CASEMENT-HL				
W27	1	2	BATH 2	2626SC	30"	30"	SINGLE CASEMENT-HR				
W28	1	2	BEDROOM 3	6036DC	72"	42"	DOUBLE CASEMENT-LHL/RHR	YES			
W29	1	2	BEDROOM 3	2238FX	26"	44"	FIXED GLASS				
W30	1	2	BATH 3	2326FX	27"	30"	FIXED GLASS				
W31	1	2	BATH 3	2326SC	27"	30"	SINGLE CASEMENT-HL				
W32	1	2	BATH 3	2326SC	27"	30"	SINGLE CASEMENT-HR				
W33	1	2	LAUNDRY	111265C	23 1/4"	30"	SINGLE CASEMENT-HR				
W34	1	2	PRIMARY BEDROOM	3035FX	36"	41 1/4"	FIXED GLASS				
W35	1	2	PRIMARY BEDROOM	1635SC	18"	41 1/4"	SINGLE CASEMENT-HR				
W36	1	2	PRIMARY BEDROOM	1635SC	18"	41 1/4"	SINGLE CASEMENT-HL				
W37	1	2	PRIMARY BATH	3035FX	36"	41 1/4"	FIXED GLASS				
W38	1	2	PRIMARY BATH	1635SC	18"	41 1/4"	SINGLE CASEMENT-HR				
W39	1	2	PRIMARY BATH	1635SC	18"	41 1/4"	SINGLE CASEMENT-HL				
W40	1	2	PRIMARY BATH	4816AW	56"	18"	SINGLE AWNING				
W43	1	2	PRIMARY BATH	19311	21"	46 1/2"	RECT. SKYLIGHT				
W44	1	1	DINING	20310	24"	46 3/8"	RECT. SKYLIGHT				
W45	1	1	KITCHEN	20310	24"	46 3/8"	RECT. SKYLIGHT				
W46	1	1	KITCHEN	111310	22 1/2"	46 3/8"	RECT. SKYLIGHT				

DOOR NOTES

ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE
INTERIOR DOORS SHALL BE PAINTED.
EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

DOOR AND WINDOW GLAZING NOTES :

REQUIRED SAFETY GLAZING SHALL CONFORM TO THE HUMAN IMPACT LOADS PER CRC R308.3, R308.4
GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
EXCEPTIONS:
- GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3-INCH-DIAMETER SPHERE IS UNABLE TO PASS.
- DECORATIVE GLAZING.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
- WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLAN OF THE DOOR IN A CLOSED POSITION.
- WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITIONS AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.

EXCEPTIONS:
- DECORATIVE GLAZING.
- WHERE THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING.
- WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH. GLAZING IN THIS APPLICATION SHALL COMPLY WITH SECTION R308.4.3.
- GLAZING THAT IS ADJACENT TO THE FIXED PANEL OF PATIO DOORS.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE WINDOW PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
- THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
- THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
- THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

EXCEPTIONS:
- DECORATIVE GLAZING.
- WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED 34 TO 38 INCHES ABOVE THE WALKIN SURFACE. THE RAIL SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS AND HAVE A CROSS-SECTIONAL HEIGHT OF NOT LESS THAN 1-1/2 INCHES.
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DOOR & WINDOW SCHEDULE 2ND FL

SCALE: 1/4"=1'

A-5.2

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

DOOR & WINDOW SCHEDULE 2ND FL

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
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HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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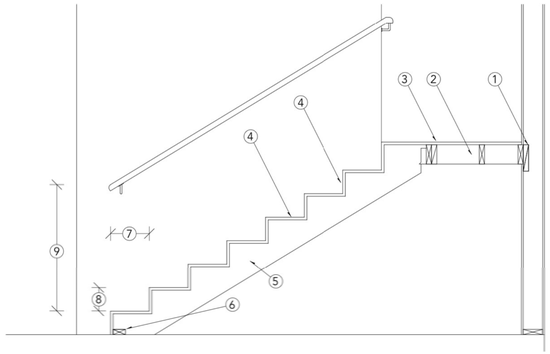
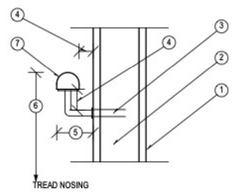
LEWISBUILDERS DESIGN+BUILD

1 2X BLOCKING
2 3/4" PLYWOOD O/ 2X JOISTS, PER PLANS
3 LANDING, MIN 36" DEEP
4 3/4" PLYWOOD TREADS AND RISERS
5 (3) 2X12 DF STRINGERS SPACED EQUALLY
6 2X NAILER
7 TREAD DEPTH: 10" MINIMUM DEPTH
8 RISER HEIGHT: 7-3/4" MAXIMUM HEIGHT
9 HEIGHT OF HANDRAIL 34" MIN TO 38" MAX ABOVE NOSING OF STAIR TREADS



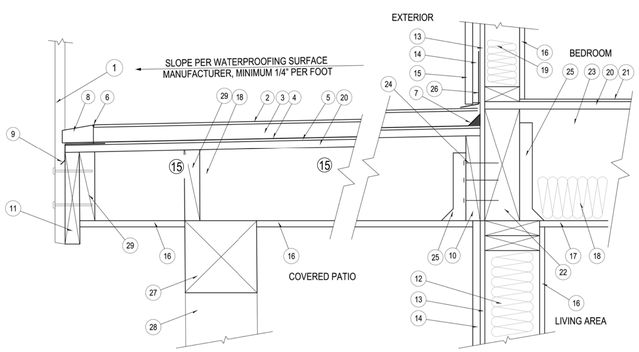
INTERIOR STAIR DETAIL scale: 1/2" = 1' 0"

1) 1/2" GWB
2) 2X FRAMING, PER PLAN
3) 3/8"ø X 3" LAG SCREW @ 48" OC
4) 1-1/2" MINIMUM
5) 4-1/2" MINIMUM
6) 34" TO 38" TOP OF HANDRAIL TO TOP OF STAIR TREAD NOSING
7) CONTINUOUS HANDRAIL, FULL LENGTH OF STAIRS. NO LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION, OR SHAPE MUST PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAIL SHALL BE RETURNED OR END AT A NEWEL POST OR SAFETY TERMINAL



HANDRAIL DETAIL
scale: 1-1/2" = 1' 0"

1. HANDRAIL SHALL BE NO LESS THAN 34" AND NO MORE THAN 38" ABOVE THE NOSING OF THE STAIR TREADS
2. HANDRAILS FOR STAIRWAY SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM THE POINT DIRECTLY ABOVE THE TOP RISER TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT.
3. THE HANDGRIP OF THE HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION . HANDGRIP MUST BE OF GRASPABLE SHAPE.
4. HANDRAIL TO TERMINATE INTO POST AT EACH END OF THE FLIGHT OF STAIRS.
5. VERTICAL RAILINGS:
6. A 4-3/8" DIAMETER SPHERE CANNOT PASS THROUGH VERTICAL GUARD RAILS ON STAIRS
7. A 6" SPHERE CANNOT PASS BETWEEN STAIR TREAD AND LOWER GUARDRAIL ON STAIRS

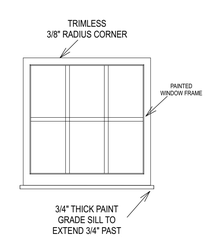


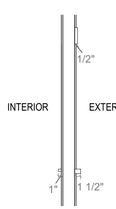
DETAIL: WATERPROOF TILE DECK OVER PATIO

1) WROUGHT IRON RAILING, 42" HIGH
2) EXTERIOR GRADE TILE
3) 1-1/2" MORTAR BED
4) TWO LAYER WATERPROOFING: GRACE BITUTHENE 4000 ATOP PLYWOOD, WITH TPO MEMBRANE ATOP THE BITUTHENE. BOTH SYSTEMS INSTALLED PER MANUFACTURER SPECIFICATIONS.
5) 1/4" PROTECTION/DRAINAGE BOARD
6) SEALANT
7) FILLET 3/4" OF LIQUID BITUTHENE TO CREATE INSIDE CORNER CANT (OR EQUIVALENT COMPATIBLE CANT STRIP IF TPO MEMBRANE USED).
8) STONE OR CONCRETE SLOPED SILL
9) METAL DRIP EDGE FLASHING
10) 2X LEDGER
11) 2X RIM JOIST, PER STRUCTURAL
12) 2X6 STUD WALL W/ R-19 BATT INSULATION
13) 1/2" CDX EXTERIOR PLYWOOD SHEATHING
14) STUCCO OR SIDING O/ TWO LAYERS GRADE 'D' BLDG PAPER
15) 3/4" SHIPLAP, PAINTED
16) 1/2" GWB TAPED & TEXTURED
17) 5/8" GWB TAPED & TEXTURED
18) 2X RAFTER, PER STRUCTURAL, CUT TOP EDGE FOR (MIN 1/4") SLOPE PER FOOT. W/ R-30 BATT INSULATION
19) 2X4 STUD WALL
20) 3/4" T&G PLYWOOD SUBFLOOR GLUED TO STRUCTUTAL MEMBER
21) FLOOR FINISH - CARPET
22) GIRDER, PER STRUCTURAL
23) 2X FLOOR JOISTS, PER STRUCTURAL, W/ R-19 BATT INSULATION
24) 3 ROWS 3-1/2" 16d NAILS AT 4" OC
25) HANGER @ EACH RAFTER/JOIST
26) FLASHING
27) - - - - - - - - - - - - - - - -
28) - - - - - - - - - - - - - - - -
29) 2X BLOCKING, PER STRUCTURAL

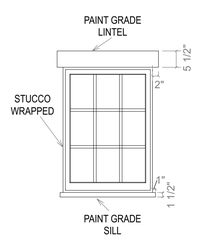
NOTES:
A. CONTRACTOR SHALL INSTALL FLASHING AND WATERPROOFING SURFACES AS SPECIFIED BY MANUFACTURER.
B. HOMEOWNER IS RESPONSIBLE FOR THE REQUIRED PERIODIC MAINTENANCE AND REPLACEMENT OF WATERPROOF SURFACES.

INTERIOR WINDOW TRIM DETAIL





EXTERIOR WINDOW TRIM DETAIL



A-6.1

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

CONSTRUCTION DETAILS

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2- FORESTER	ER
8	06/21/23 PLN/BLD CO#3	ER
	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
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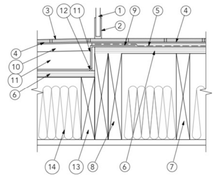
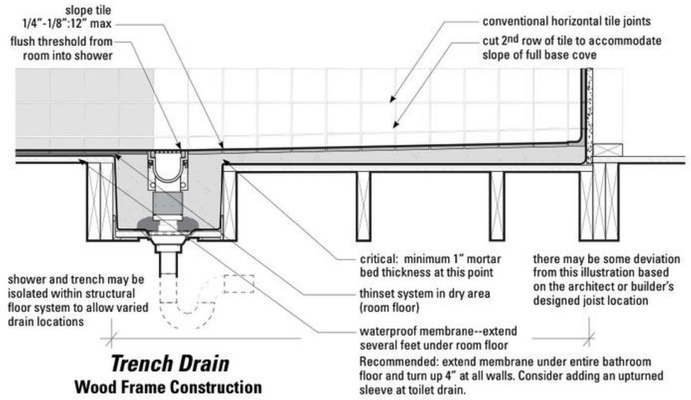
LEWIS BUILDERS DESIGN/BUILD

1. 1/2" SHOWER GLASS - OPTIONAL
2. SHOWER GLASS BRACKET - OPTIONAL, PER MANUFACTURER'S INSTRUCTIONS
3. THINSET FLOOR TILE
4. CEMENTICIOUS TILE BACKER BOARD W/ CLEAVAGE MEMBRANE
5. WATERPROOF MEMBRANE
6. 3/4" T&G PLYWOOD
7. FLOOR JOIST
8. DOUBLE FLOOR JOIST @ SHOWER EDGE
9. WATERPROOF SHOWER MEMBRANE, LAP 5" OVER RECESS LIP
10. TILE SETTING BED
11. SLOPED SHOWER BED
12. SEALANT CANT
13. 2X FLOOR JOISTS CUT DOWN, ALIGN WITH BOTTOM OF (E) JOISTS
14. SUB-AREA BELOW FLOOR

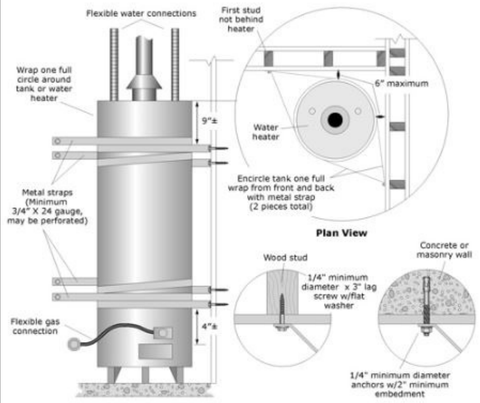


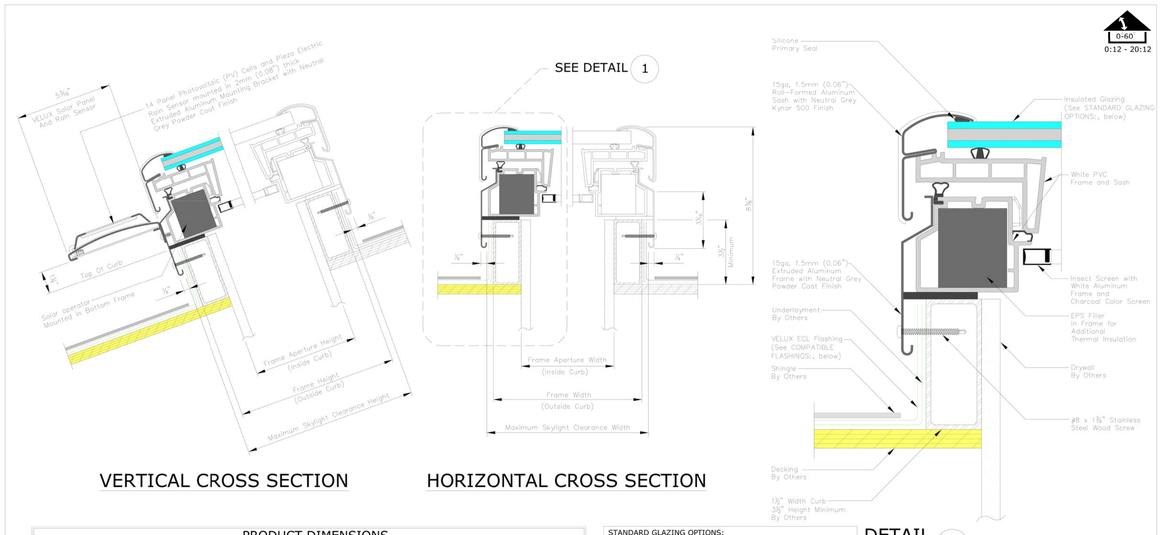
CURBLESS SHOWER PAN DETAIL



Trench Drain
Wood Frame Construction

WATER HEATER STRAPPING DETAILS





VERTICAL CROSS SECTION

HORIZONTAL CROSS SECTION

DETAIL 1

PRODUCT DIMENSIONS

METRIC UNITS (MILLIMETERS)

Size	Frame Width	Frame Aperture Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Maximum Skylight Clearance Height	Daylight Area* (Sq. Meters)
2222	648	572	675.3	648	572	675.3	0.24
2234	648	572	675.3	952	876	980	0.39
2246	648	572	675.3	1257	1181	1284.8	0.55
3030	851	775	878.4	851	775	878.4	0.49
3046	851	775	878.4	1257	1181	1284.8	0.77
3434	952	876	980	952	876	980	0.64
4646	1257	1181	1284.8	1257	1181	1284.8	1.22

IMPERIAL UNITS (INCHES)

Size	Frame Width	Frame Aperture Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Maximum Skylight Clearance Height	Daylight Area* (Sq. Feet)
2222	25 1/2	22 1/2	26 9/16	25 1/2	22 1/2	26 9/16	2.58
2234	25 1/2	22 1/2	26 9/16	37 1/2	34 1/2	38 9/16	4.20
2246	25 1/2	22 1/2	26 9/16	49 1/2	46 1/2	50 9/16	5.92
3030	33 1/2	30 1/2	34 9/16	33 1/2	30 1/2	34 9/16	5.27
3046	33 1/2	30 1/2	34 9/16	49 1/2	46 1/2	50 9/16	8.29
3434	37 1/2	34 1/2	38 9/16	37 1/2	34 1/2	38 9/16	6.89
4646	49 1/2	46 1/2	50 9/16	49 1/2	46 1/2	50 9/16	13.13

NOTES:
1. Max sash opening is 11" by stainless steel chain.

STANDARD GLAZING OPTIONS:
- Laminated LowE3 (04)
- Impact (06)
- White Laminated (08)

*Tempered Exterior Pane used with all options

COMPATIBLE FLASHINGS:
- ECL Step flashing
- ECW Tile flashing

ELECTRICAL/CONTROL DATA:
- VCS Skylight controlled via 2.4 GHZ radio frequency KLR 200 remote control provided with skylight. Optional controls for VCS Skylight are KLI 110 Wall Mounted Keypad or KLF 100 Home Automation Integration Kit.
- Solar Operator, Powered by Battery Pack with 24VDC output. Battery Pack is a 9 Cell NiMH 10.8V, 2100mAH.

VELUX
Sky-Global Product Management
VELUX
1418 Evans Pond Road
Greenwood, SC 29649
1-800-88-VELUX
www.VELUXUSA.com

VCS - Venting Solar Curb Mounted Skylight

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ODFORTG-36

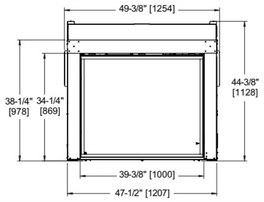
Majestic 36" Fortress Traditional Indoor/ Outdoor See-Through Direct Vent Gas Fireplace with IntelliFire Touch Ignition System

Specifications

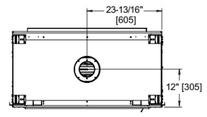
Appliance Width	49-3/8"
Appliance Height	44-3/8"
Appliance Depth[1]	25-5/8"
Appliance Rear Width	49-3/8"
Framing Width	49-1/2"
Framing Height	44-1/2"
Framing Depth	23"
Framing Front Width	49-1/2"
Framing Back Width	49-1/2"
BTU/hr Input	56,000 NG
Heating Capacity[2]	2,200 sq ft
Viewing Area	36 x 30"

Model	Front Width		Back Width		Height		Depth		Viewing Area	BTU/Hour Input
	Unit	Framing	Unit	Framing	Unit	Framing	Unit	Framing		
Fortress	49-3/8" [1254]	49-1/2" [1257]	49-3/8" [1254]	49-1/2" [1257]	44-3/8" [1154]	44-1/2" [1130]	25-5/8" [650]	23" [584]	36" x 30" [915 x 762]	56,000 (NG/LP)

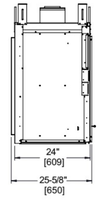
Front View



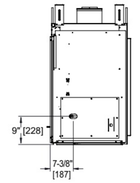
Top View

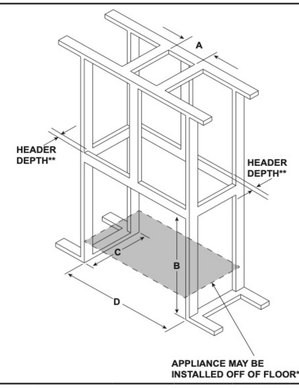


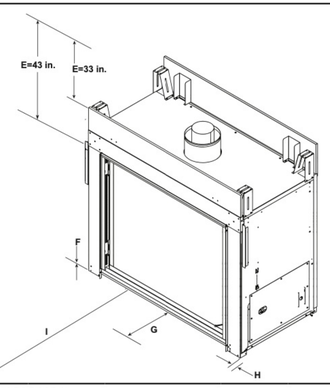
Left Side View



Right Side View







MINIMUM FRAMING DIMENSIONS*

	A	B**	C*	D	E		F**	G**	H	I
	Rough Opening (Vent Pipe)	Rough Opening (Height)	Rough Opening (Depth)	Rough Opening (Width)	Clearance to ceiling from opening	Clearance to ceiling from top of appliance	Combustible Floor	Combustible Flooring	Sides of Appliance	Front or Rear of Appli-ance
Inches	10	44-1/2	23	49-1/2	37-3/4	33-1/2	0	See Note Below	1	48
Millime-ters	254	1130	584	1257	959	851	0	See Note Below	25	1219

* Adjust framing dimensions for interior sheathing (such as sheetrock)
** Fireplace may need to be elevated from the floor affecting framing height B, depending on hearth construction. See Section 3.D for hearth and combustible floor requirements.

Figure 3.7 Clearances to Combustibles

A-6.2

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

CONSTRUCTION DETAILS

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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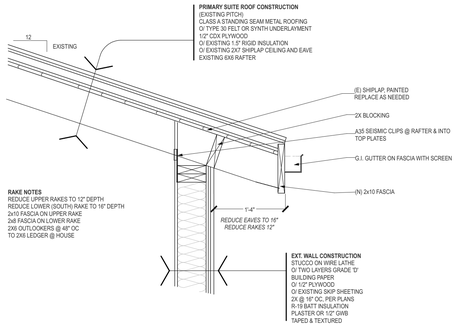
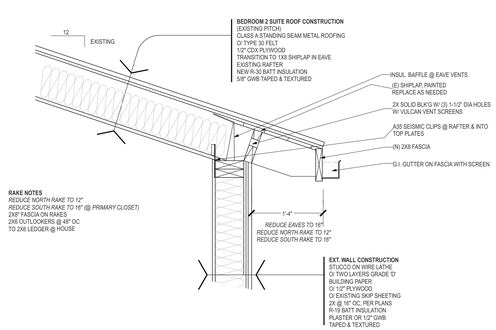
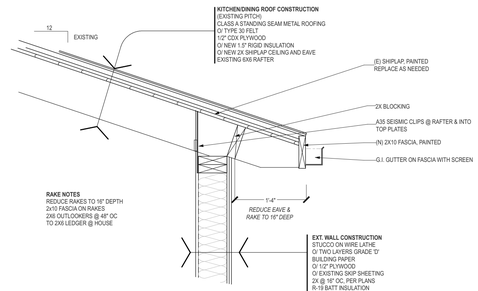


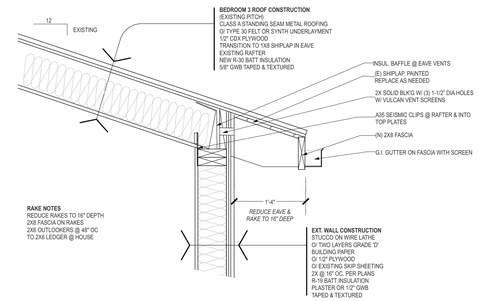
EAVE: PRIMARY SUITE



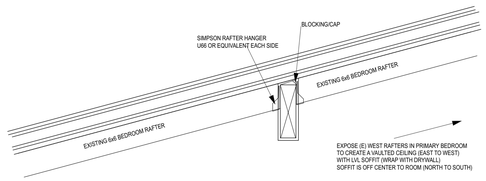
EAVE: BEDROOM 2 SUITE



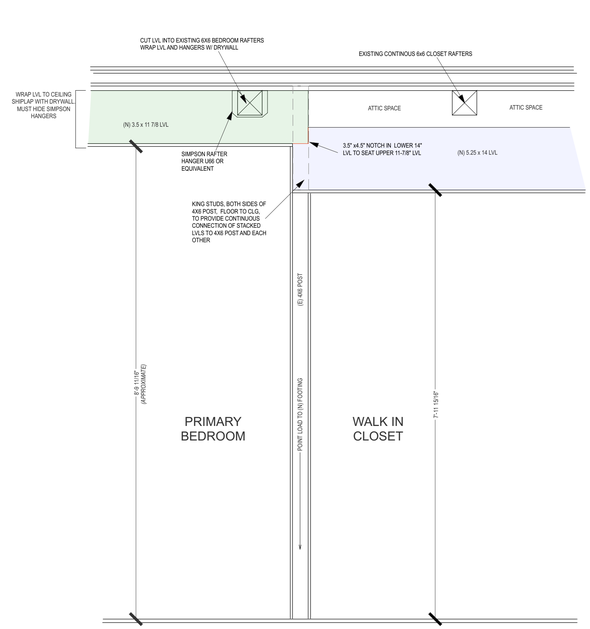
EAVE: KITCHEN & DINING



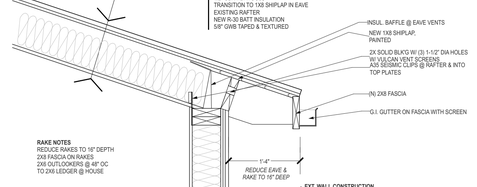
EAVE: BEDROOM 3



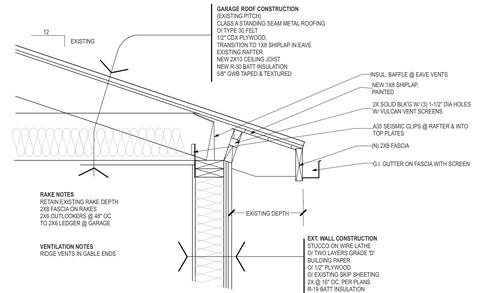
PRIMARY BEDROOM LVL @ RAFTER SECTION
ASSUMING CUT-IN LVL IN BEDROOM
8' 9" SOFFIT IN BEDROOM



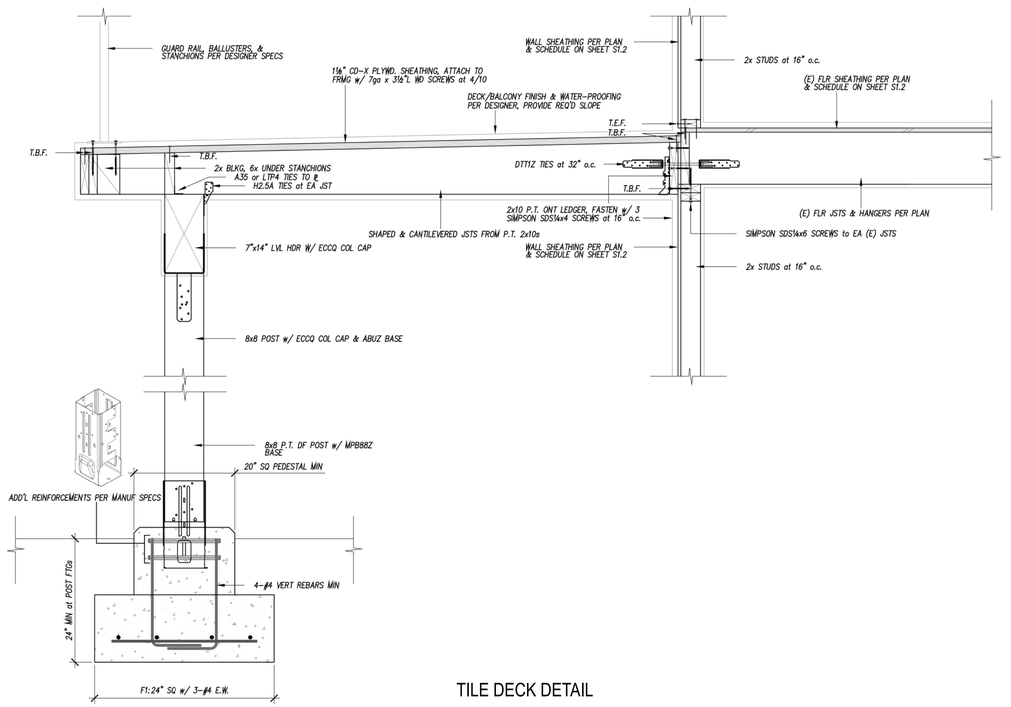
PRIMARY SUITE STACKED LVL ELEVATION
ASSUMING CUT-IN LVL IN BEDROOM
8' 9" SOFFIT IN BEDROOM
8' FLAT CEILING IN CLOSET



EAVE: BATHROOM 3



EAVE: GARAGE



TILE DECK DETAIL

A-6.3

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

CONSTRUCTION DETAILS

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
8	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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LEWISBUILDERS
DESIGN/BUILD

GENERAC®

GUARDIAN® SERIES
Residential Standby Generators
Air-Cooled Gas Engine

20/22/24 kW

20/22/24 kW

1 of 6

Standby Power Rating

G007038-1, G007039-1, G007038-3, G007039-3 (Aluminum - Bisque) - 20 kW 60 Hz
G007042-2, G007043-2, G007042-3, G007043-3 (Aluminum - Bisque) - 22 kW 60 Hz
G007209-0, G007210-1 (Aluminum - Bisque) - 24 kW 60 Hz

INCLUDES:

- True Power™ Electrical Technology
- Two-line multilingual digital LCD Evolution™ controller (English/Spanish/French/Portuguese)
- 200 amp service rated transfer switch available
- Electronic governor
- Standard Wi-Fi® connectivity
- System status & maintenance interval LED indicators
- Sound attenuated enclosure
- Flexible fuel line connector
- Natural gas or LP gas operation
- 5 Year limited warranty
- Listed and labeled for installation as close as 18 in (457 mm) to a structure.*

**Must be located away from doors, windows, and fresh air intakes and in accordance with local codes.*

c ETL us or c UL us LISTED QUIET TEST Mobile Link

Note: CETL or CUL certification only applies to unbundled units and units packaged with limited circuit switches. Units packaged with the Smart Switch are ETL or UL certified in the USA only.

FEATURES

- **INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING** are at the heart of Generac's success in providing the most reliable generators possible. Generac's G-Force engine lineup offers added peace of mind and reliability for when it's needed the most. The G-Force series engines are purpose built and designed to handle the rigors of extended run times in high temperatures and extreme operating conditions.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **TEST CRITERIA:**
  - ✓ PROTOTYPE TESTED
  - ✓ SYSTEM TORSIONAL TESTED
  - ✓ NEMA MG1-22 EVALUATION
  - ✓ MOTOR STARTING ABILITY
- **MOBILE LINK® CONNECTIVITY:** FREE with select Guardian Series Home standby generators, Mobile Link Wi-Fi allows users to monitor generator status from anywhere in the world using a smartphone, tablet, or PC. Easily access information such as the current operating status and maintenance alerts. Users can connect an account to an authorized service dealer for fast, friendly, and proactive service. With Mobile Link, users are taken care of before the next power outage.
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at ±1%.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line is offered with its own transfer systems and controls for total system compatibility.

KOHLER.

Models: 20RCA(L)

Multi-Fuel
LPG/Natural Gas

ISO 9001 KOHLER. NATIONALLY REGISTERED

The Kohler® Advantage

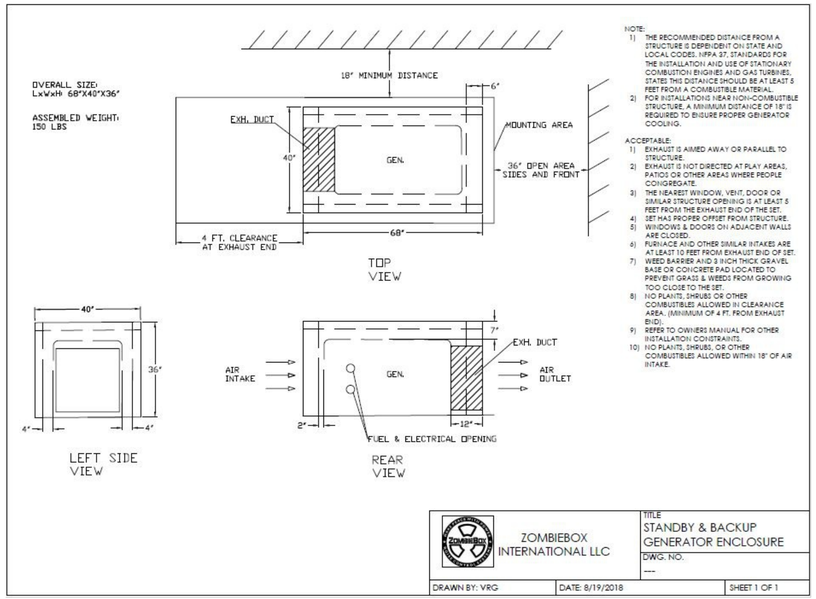
- **High Quality Power**
  Kohler home generators provide advanced voltage and frequency regulation along with ultra-low levels of harmonic distortion for excellent generator power quality to protect your valuable electronics.
- **Extraordinary Reliability**
  Kohler is known for extraordinary reliability and performance and backs that up with a premium 5-year or 2000 hour limited warranty.
- **Powerful Performance**
  Exclusive Powerboost™ technology provides excellent starting power. §
- **Aluminum Enclosure**
  - Attractive aluminum enclosure allows installation as close as 18 inches from your home or small business. †
  - Enclosure panels can be removed without tools to allow easy access for maintenance and service.

Standard Features

- **RDC2 Controller**
  - One digital controller manages both the generator set and transfer switch functions (with optional Model RXT).
  - Electronic speed control responds quickly to varying demand.
  - OnCue® Plus Generator Management System for remote monitoring is included with the generator.
- **Kohler Command PRO Engine Features**
  - Kohler Command PRO® OHV engine with hydraulic valve lifters for reliable performance without routine valve adjustment or lengthy break-in requirements.
- **Designed for Easy Installation**
  - Sturdy aluminum base can be mounted on gravel or a concrete mounting pad.
  - Fuel and electrical connections through the enclosure wall eliminate the need for stub-ups through the base.
  - Customer connection terminal block located near the controller allows easy access for field wiring.
  - Designed for outdoor installation only.
- **Certifications**
  - Meets emission regulations for U.S. Environmental Protection Agency (EPA) with both natural gas and LPG.
  - UL 2200/cUL listed (60 Hz model).
  - CSA certification available (60 Hz model).
  - Accepted by the Massachusetts Board of Registration of Plumbers and Gas Fitters.
  - Meets 181 mph wind rating.
- Approved for stationary standby applications in locations served by a reliable utility source.
- 20RCAL models packaged with a Model RXT automatic transfer switch are available. See page 4 and the Model RXT ATS specification sheet.
- **Warranty**
  - 5-year/2000 hour limited warranty for on-grid (standby) applications in locations served by a reliable utility source.

A DECIBEL (DB) READING FROM THE PROPERTY LINE SHALL BE REQUIRED BEFORE THE FINAL INSPECTION. IF THE DECIBEL LEVEL IS OVER 60 DB, THE UNITS SHALL BE MITIGATED OR MOVED TO COMPLY WITH THE DECIBEL LEVEL STANDARD. A CITY-APPROVED SPECIAL INSPECTION AGENCY MUST DO THE READING.

ZOMBIEBOX "STANDBY" KIT : GENERATOR SILENCING PAD & ENCLOSURE



ZOMBIEBOX INTERNATIONAL LLC

TITLE: STANDBY & BACKUP GENERATOR ENCLOSURE
DWG. NO.: ---
DRAWN BY: VRG | DATE: 8/19/2018 | SHEET 1 OF 1

NEW SHEET JULY 2023 9

A-6.4

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

GENERATOR SPECIFICATIONS

REV #	DATE / DESCRIPTION	BY
7	08/25/22 BLDG RFI#2: FORESTER	ER
8	06/21/23 PLN/BLD COM#3	ER
9	08/18/23 PLN/BLDG RFI#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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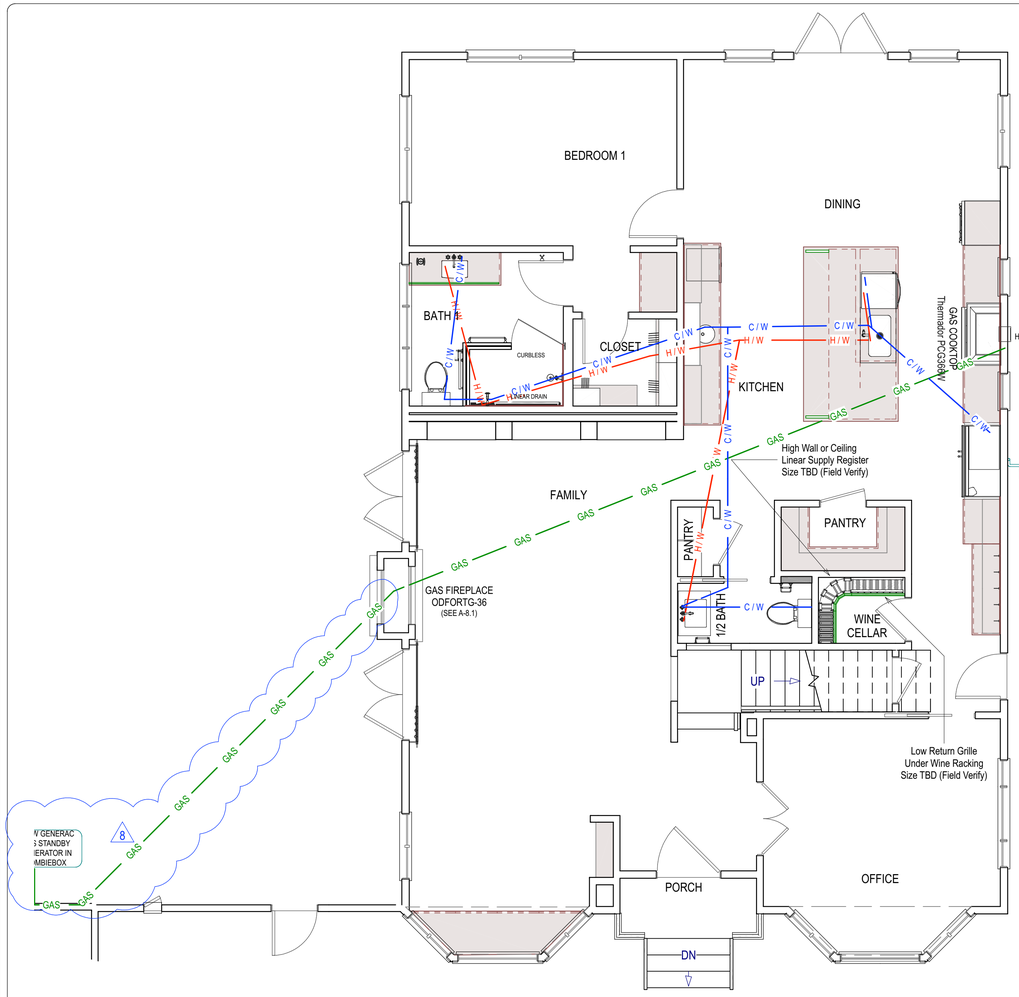
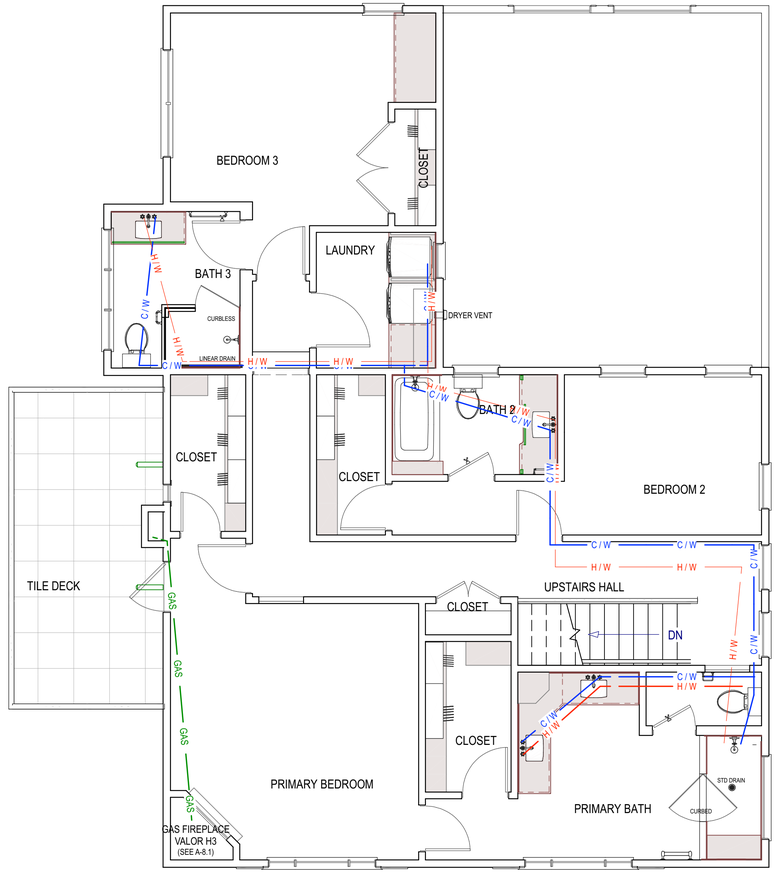
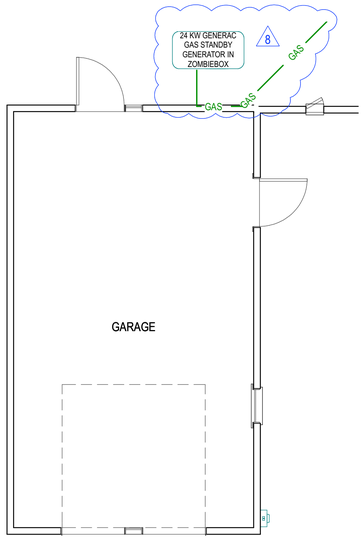
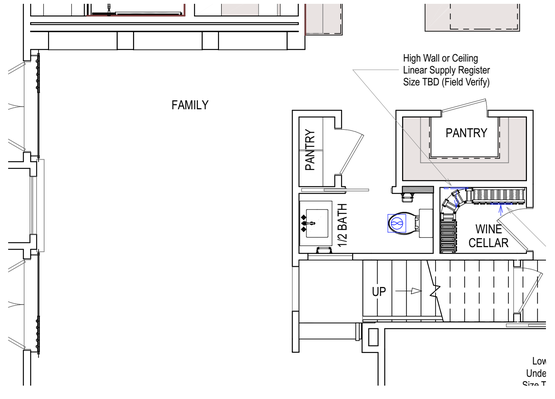






PLUMBER TO DETERMINE FINAL LOCATION GAS AND WATER LINES



PLUMBING PLAN

SCALE: 1/4"=1'

PLUMBING NOTES

1 SEE SHEET A-N.1 FOR MAXIMUM FIXTURE FLOW RATES
2 WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVE WITH DRAIN TO EXTERIOR OF BUILDING. PROVIDE APPROVED SEISMIC STRAPPING. CPC 504.4, 504.6, 608.5.
3 GAS UTILIZATION EQUIPMENT IN GARAGES SHALL BE INSTALLED SO THAT ALL BURNERS AND BURNER IGNITION DEVICES ARE LOCATED NO LESS THEN 18" ABOVE THE FLOOR UNLESS LISTED OTHERWISE. CPC 507.13.
4 APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES SHALL BE PROVIDED ON ALL HOSE BIBS. CPC 602.3.
5 PROVIDE COMBUSTION AIR TO ALL GAS FIRED APPLIANCES.
6 LISTED HEAT PRODUCTION EQUIPMENT SHALL MAINTAIN THE REQUIRED CLEARANCES TO COMBUSTIBLE CONSTRUCTION SPECIFIED IN THE LISTING. CMC 904.2
7 TIE PLUMBING VENTS TOGETHER WHERE PERMISSIBLE TO LIMIT ROOF PENETRATIONS.
8 ADD RECIRCULATION LINE TO ALL HOT WATER FIXTURES. PER CPC
9 ALL HOT WATER LINES TO BE INSULATED.
10 PROVIDE CONDENSATE DRAIN TO WATER HEATER AND AIR EXCHANGE SYSTEM.
11 WRAP ALL PIPE AND CONDUIT THROUGH CONCRETE WITH INSULATION TAPE.
12 FIXTURES SHALL BE SET LEVEL AND IN PROPER ALIGNMENT WITH REFERENCE TO ADJACENT WALLS. NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO A SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR BIDET SHALL BE NOT LESS THAN 24 INCHES. NO URINAL SHALL BE SET CLOSER THAN 12 INCHES FROM ITS CENTER TO A SIDE WALL OR PARTITION NOR CLOSER THAN 24 INCHES CENTER TO CENTER. CPC 402.5
13 SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. CPC 408.3.
14 CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, ARRANGED SO THAT THE SHOWER HEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY.
15 A SEWAGE EJECTOR OR SEWAGE PUMP RECEIVING THE DISCHARGE OF WATER CLOSETS OR URINALS:
15.1 SHALL HAVE A DISCHARGE CAPACITY OF NOT LESS THAN 20 GPM (1.26 L/S).
15.2 IN SINGLE DWELLING UNITS, THE EJECTOR OR PUMP SHALL BE CAPABLE OF PASSING A 11/2 INCH (38 MM) DIAMETER SOLID BALL, AND THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP SHALL HAVE A BACKWATER VALVE AND GATE VALVE, AND BE NOT LESS THAN 2 INCHES (50 MM) IN DIAMETER.
15.3 IN OTHER THAN SINGLE-DWELLING UNITS, THE EJECTOR OR PUMP SHALL BE CAPABLE OF PASSING A 2 INCH (50 MM) DIAMETER SOLID BALL, AND THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP SHALL HAVE A BACKWATER VALVE AND GATE VALVE, AND BE NOT LESS THAN 3 INCHES (80 MM) IN DIAMETER.

P-1.1

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

PLUMBING PLAN

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
2	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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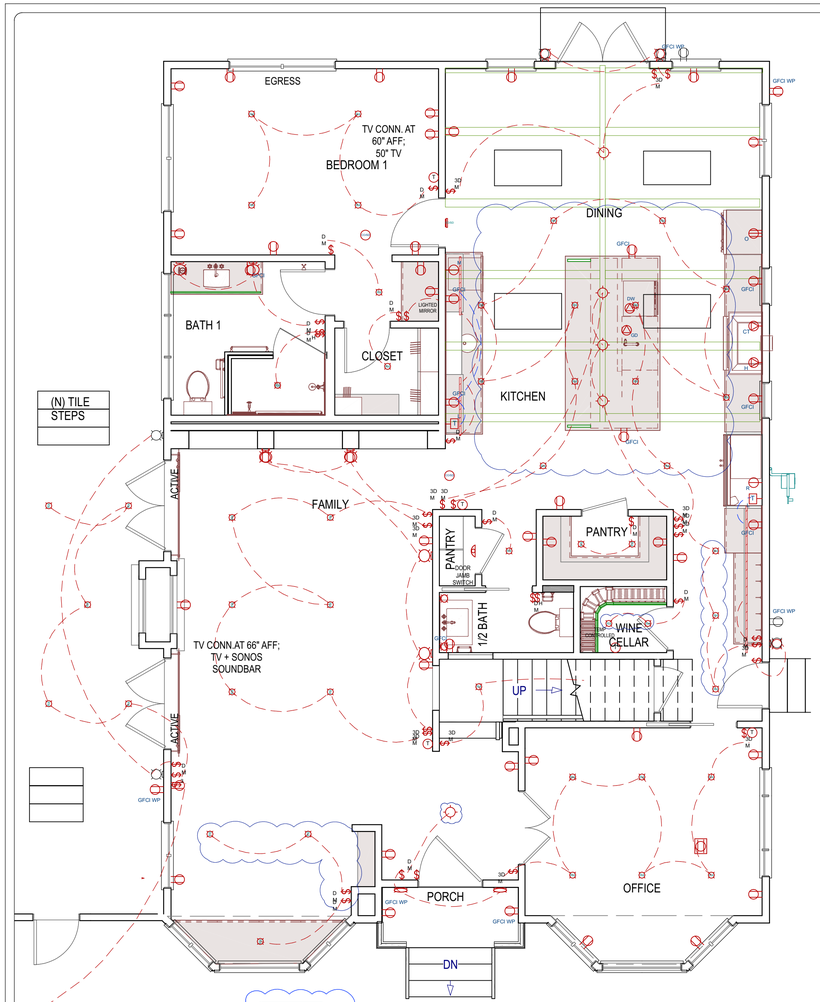

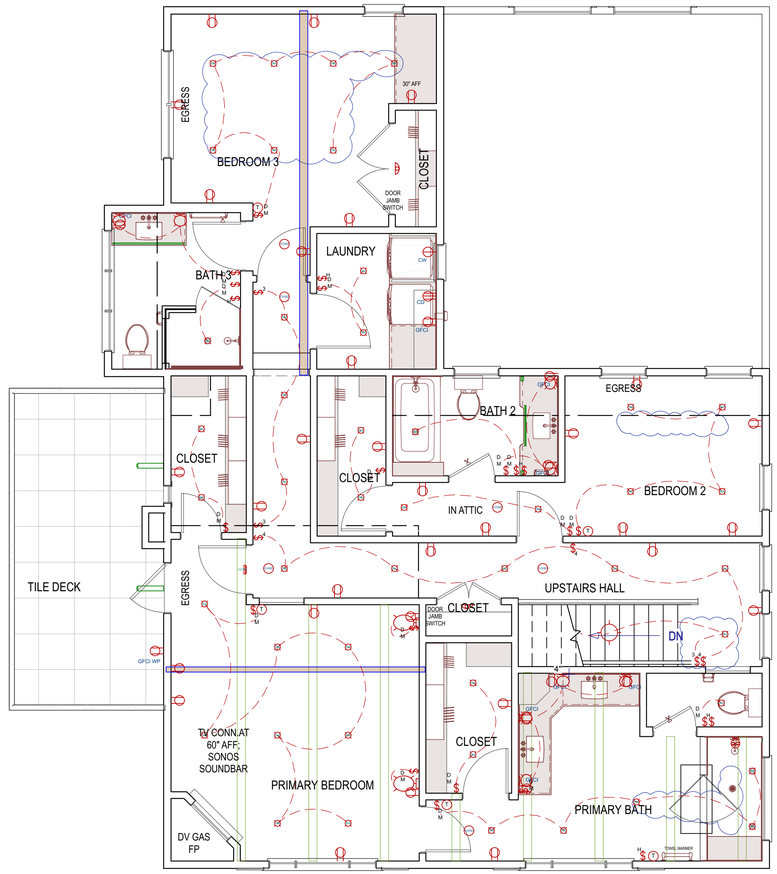

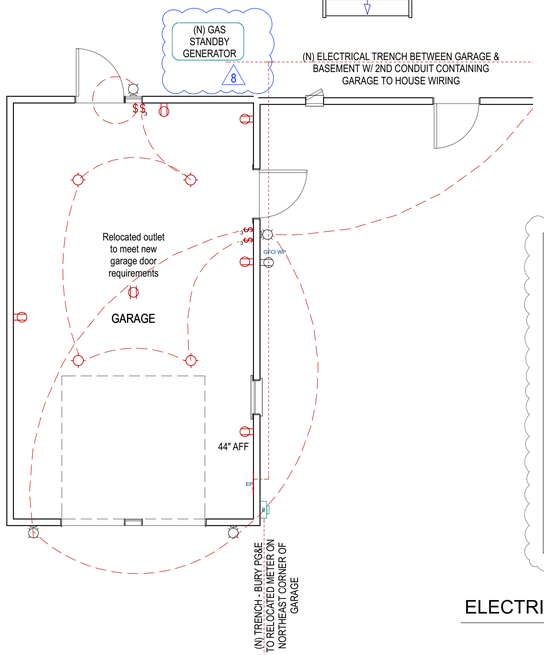

ELECTRICIAN TO DETERMINE FINAL LOCATION OF PG&E TRENCH, GARAGE ELEC METER, TRENCH TO HOUSE & LOCATION OF SUBPANEL IN BASEMENT

EXTERIOR WALL LIGHT
ELLINGTON
DARK SKY
OIL RUBBED BRONZE

5

2PK
Carded

S21703	
Shape	B11
Watts	4.5W
Lumens	350L
Color	2700
Base	Medium

ELECTRICAL PLAN

SCALE: 1/4"=1'

ELECTRICAL & DATA NOTES:
ALL WORK SHALL CONFORM TO THE 2019 CALIFORNIA ELECTRIC CODE

HOMEOWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

1 ALL 125-VOLT, SINGLE-PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTSIDE, CRAWL SPACES, BASEMENTS, KITCHENS, SINKS, BOATHOUSE, BATHTUB, AND LAUNDRY AREAS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION IN ACCORDANCE WITH CEC 210.8.
2 ALL NEW OR RECONFIGURED 120-VOLT, SINGLE-PHASE, 15 AND 20 AMP BRANCH CIRCUITS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS IN ACCORDANCE WITH CEC 210.12.
3 PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
4 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5 ELECTRICAL RECEPTACLE OUTLETS AT COUNTERTOPS 44" MIN. FROM FINISHED FLOOR. CBC 11B-308.2.2.
6 ELECTRICAL RECEPTACLE OUTLETS TO BE 44" MAX. AND 15" MIN. ABOVE FINISHED FLOOR. CBC 11B-308.2.1.
7 PROVIDE CONCRETE-ENCASED ELECTRODE PER CEC 250.50, 250.52 (A)
8 KITCHEN AND DINING MUST HAVE A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS. KITCHEN COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" OR WIDER, NOT GREATER THAN 4'-0" ON CENTER AND WITHIN 24" OF THE END OF ANY COUNTER SPACE. CEC 210.52, 210.11(C)(1).
9 AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER PER CEC 210.
10 KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND AND PENINSULA COUNTERTOPS, SHALL HAVE GFCI AND AFCI PROTECTION.
11 BATHROOM RECEPTACLE OUTLETS TO BE SUPPLIED BY A DEDICATED 20 AMP BRANCH CIRCUIT. PROVIDE MINIMUM ONE 20-AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON CIRCUIT. (WHERE A 20-AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OTHER OUTLETS, LIGHTING WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED BY THIS CIRCUIT). CEC 210.11(C)(3) AND EX. 210.23(A)(2).
12 BATHROOM EXHAUST FAN VENTED TO THE EXTERIOR FOR EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR COMBINATION FOR PURPOSE OF HUMIDITY CONTROL WITH A MINIMUM OF 50 CFM. IF BATH FAN INCLUDES A LIGHT, THEY MUST BE SWITCHED SEPARATELY, BATH FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. CRC 303.3.1, CBC 1203.4.2.1, CMC 4.02.5
13 FOR SINGLE-FAMILY RESIDENCES, ALL LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICIENCY, OR CONTROLLED BY A MOTION SENSOR AND EITHER A PHOTOCELL OR AN ASTRONOMICAL TIME CLOCK THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING SYSTEM OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM PER CA ENERGY COMMISSION
14 RECESSED CAN LIGHTS NEED TO BE 1-HR RATED UNITS. IC RATED FOR DIRECT CONTACT TO INSULATION AND BE AIR TIGHT TO PRECLUDE INFILTRATION FROM ATTIC TO CONDITIONED SPACE.
15 AT LEAST ONE LUMINAIRE IN ALL BATHROOMS, GARAGES, UTILITY AND LAUNDRY ROOMS SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR.
16 PERMANENTLY INSTALLED LUMINARIES IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICIENCY LUMINARIES, AT LEAST ONE LUMINAIRE IN THESE ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH CEC119(D)
17 RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
18 ELECTRICAL PANEL BOARDS INSTALLED OUTDOORS NEED TO BE WEATHERPROOF AND LISTED FOR DAMP/WET LOCATIONS. CEC 408.37, 312.2(A)
19 DWELLING RECEPTACLES ON 120 VOLT 15 AND 20 AMP CIRUITS SHALL BE TAMPER RESISTANT PER CEC 406.12
20 BRANCH CIRCUITS FOR LIGHTING AND APPLIANCES, INCLUDING MOTOR OPERATED APPLIANCES, SHALL BE PROVIDED TO SUPPLY THE LOADS CALCULATED IN ACCORDANCE WITH CEC 210.10, CEC 210.11. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, 2 OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS REQUIRED BY 210.52(B), CEC 210.11(1)
21 SEPARATE BRANCH CIRCUIT FOR DISHWASHER SHALL BE GFCI PROTECTED.
22 RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.

ELECTRICAL SCHEDULE

SQ.D SYMBOL	IN/ABBR	QNTY	DESCRIPTION	COMMENTS
T	E01	2	LOW VOLTAGE TRANSFORMER	
	E02	1	ELEMENTAL FLUSH MOUNT 3	
	E03	2	STILETTO SCONCE	
CO/SD	E04	12	CO/SMOKE DETECTOR	
$ 3D	E05	15	THREE WAY SLIDING DIMMER	
M CT	E06	1	GAS COOKTOP	
H	E07	1	HOOD W/ VENT	
DW	E08	1	DISHWASHER	
	E09	1	DUPLEX, FLOOR MOUNTED	
GD	E10	1	GARBAGE DISPOSAL	
GFCI WP	E11	8	GFCI WP	
	E12	3	HORIZONTAL BAR SCONCE	
	E13	1	DUPLEX, CEILING MOUNTED	
M	E14	1	MICROWAVE	
O	E15	1	OVEN	
R	E16	1	REFRIGERATOR	
C	E17	3	CABLE JACK	
	E18	1	EXHAUST (WALL MOUNTED)	
C6	E19	10	CAT6	
	E20	2	PORCH LANTERN	
	E21	5	SAG HARBOR CHANDELIER 4	
	E22	1	CAMERA DOORBELL	
	E24	3	SAG HARBOR PENDANT	
EP	E25	1	ELECTRICAL PANEL	
	E26	10	MADISON SCONCE 1	
	E27	2	VERONIK WALL SCONCE	
	E28	1	PENDANT	
$ 3	E29	7	DECORATOR SWITCH 3-WAY	
$ 4	E30	3	DECORATOR SWITCH 4-WAY	
$ D	E31	33	DECORATOR SWITCH SLIDE DIMMER	
$ M	E32	6	SWITCH (DECORATOR)	
CD	E33	1	CLOTHES DRYER	
CW	E34	1	CLOTHES WASHER	
	E35	70	DUPLEX	
GFCI	E36	17	GFCI	
H	E37	7	DECORATOR SWITCH HUMIDISTAT	
	E38	4	SHADED CANDLE SCONCE	
R4	E40	83	RECESSED DOWN LIGHT 4	
R4	E41	6	RECESSED DOWN LIGHT 4	WET RATED
T	E42	10	THERMOSTAT	
	E45	6	EXHAUST	
	E46	12	CAGED LANTERN SCONCE	

E-1.1

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

ELECTRICAL PLAN

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
8	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF LEWIS BUILDERS AND ARE NOT TO BE USED TO CONSTRUCT ANY BUILDING OR PART THEREOF. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS. ALL CONTRACTORS ARE TO REVIEW THESE PLANS TO ENSURE THE ACCURACY OF THESE PLANS. IF DISCREPANCIES ARE FOUND, OR IF UNDER CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY LEWIS BUILDERS IN WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION RELATED TO SUCH.

LEWIS BUILDERS
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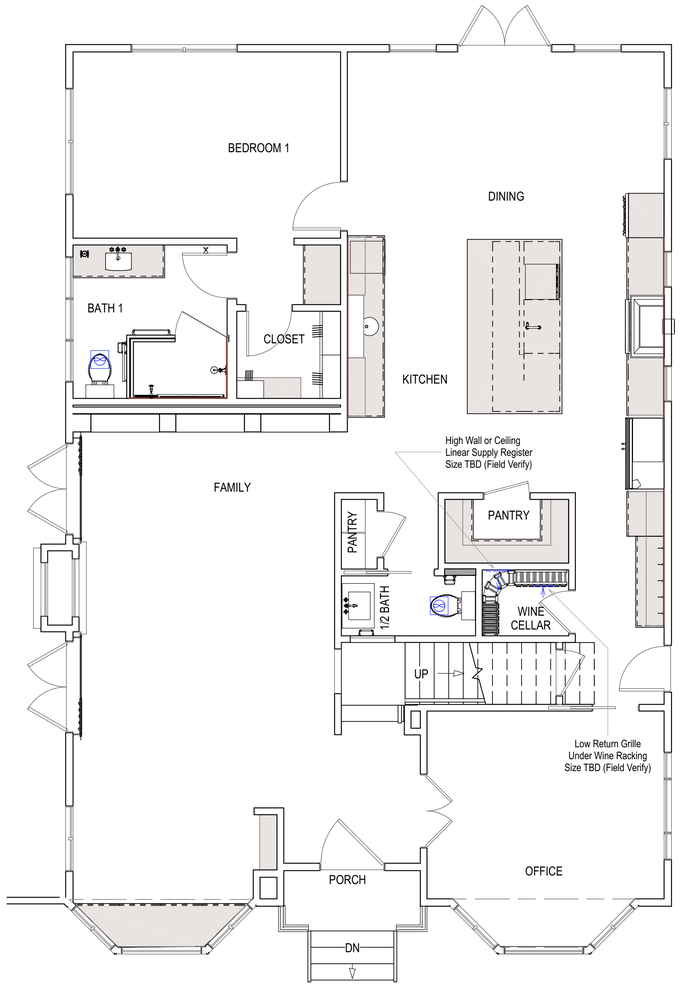

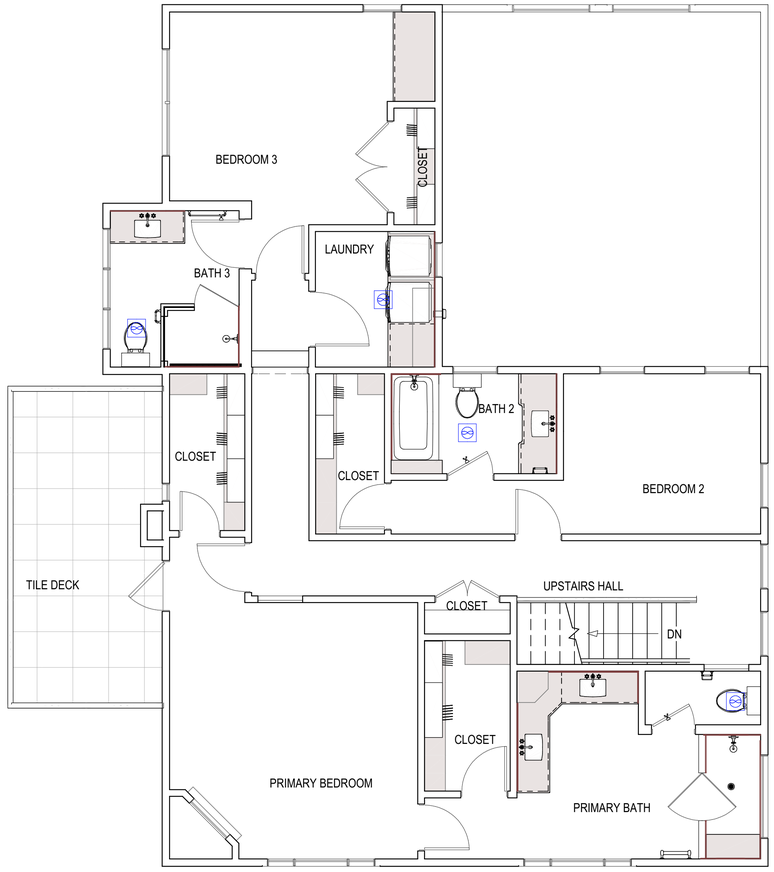

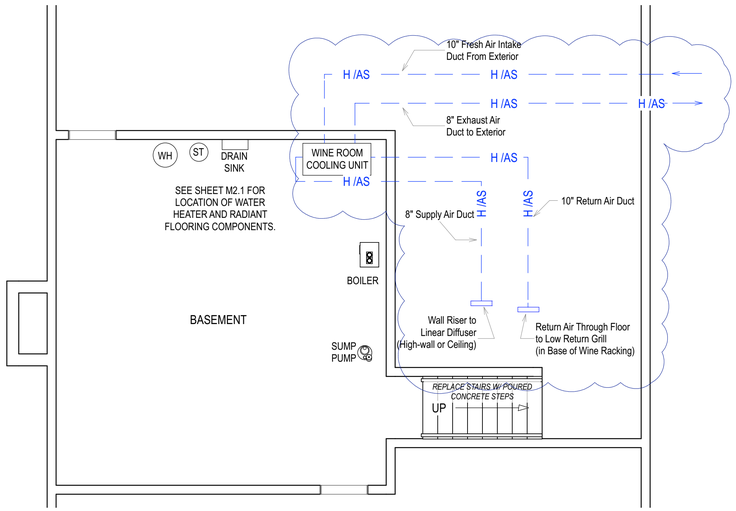

RADIANT FLOORING TRADE PARTNER TO DETERMINE FINAL LOCATION, ROUTING & CONNECTIONS OF RADIANT FLOORING COMPONENTS.

HVAC TRADE PARTNER TO DETERMINE FINAL LOCATION, ROUTING & CONNECTIONS OF RADIANT FLOORING COMPONENTS.

NEW RADIANT HEATING THROUGHOUT HOUSE. SEE SPECIFICATIONS, PIPING LAYOUT & BOILER SPECIFICATION ON SHEETS M2.1 THROUGH M6.4 BY MONTEREY ENERGY GROUP INC DATED MAY 2022.

MECHANICAL PLAN

SCALE: 1/4"=1'

MECHANICAL CODE NOTES

1 BACKDRAFT PROTECTION EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS OR WITH MOTORIZED DAMPERS THAT AUTOMATICALLY SHUT WHERE THE SYSTEMS OR SPACES SERVED ARE NOT IN USE. *[OSHPD 1, 2 & 4]*
EXCEPTION: *BACKDRAFT DAMPERS ARE NOT REQUIRED WHEN THE EXHAUST FAN MUST OPERATE CONTINUOUSLY. (CMC 504.1.1)*
2 DOMESTIC RANGE DUCTS USED FOR DOMESTIC KITCHEN RANGE VENTILATION SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. (CMC 504.3)
EXCEPTION: DUCTS FOR DOMESTIC KITCHEN DOWNDRAFT GRILL-RANGE VENTILATION INSTALLED UNDER A CONCRETE SLAB FLOOR SHALL BE PERMITTED TO BE OF APPROVED SCHEDULE 40 PVC PROVIDED:
2.1 THE UNDER-FLOOR TRENCH IN WHICH THE DUCT IS INSTALLED SHALL BE COMPLETELY BACKFILLED WITH SAND OR GRAVEL.
2.2 NOT MORE THAN 1 INCH OF 6 INCH DIAMETER PVC COUPLING SHALL BE PERMITTED TO PROTRUDE ABOVE THE CONCRETE FLOOR SURFACE.
2.3 PVC PIPE JOINTS SHALL BE SOLVENT CEMENTED TO PROVIDE AN AIR AND GREASE TIGHT DUCT.
2.4 THE DUCT SHALL TERMINATE ABOVE GRADE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER.
3 MECHANICAL DRAFT VENTING SYSTEM A MECHANICAL DRAFT VENTING SYSTEM OF OTHER THAN DIRECT-VENT TYPE SHALL TERMINATE NOT LESS THAN 4 FEET BELOW, 4 FEET HORIZONTALLY FROM, OR 1 FOOT ABOVE A DOOR, OPERABLE WINDOW, OR GRAVITY AIR INLET INTO A BUILDING. THE BOTTOM OF THE VENT TERMINAL SHALL BE LOCATED NOT LESS THAN 12 INCHES ABOVE FINISHED GROUND LEVEL. [NFPA 54:12.9.2] (CMC 802.8.1.)
4 RESIDENTIAL TYPE APPLIANCES VENT CONNECTORS FOR RESIDENTIAL-TYPE APPLIANCES SHALL COMPLY WITH THE FOLLOWING (CMC 802.10.1.2):
4.1 VENT CONNECTORS FOR LISTED APPLIANCES HAVING DRAFT HOODS, APPLIANCES HAVING DRAFT HOODS AND EQUIPPED WITH LISTED CONVERSION BURNERS, AND CATEGORY I APPLIANCES THAT ARE NOT INSTALLED IN ATTICS, CRAWL SPACES, OR OTHER UNCONDITIONED AREAS SHALL BE ONE OF THE FOLLOWING:
4.1.1 TYPE B OR TYPE L VENT MATERIAL
4.1.2 GALVANIZED SHEET STEEL NOT LESS THAN 0.018 OF AN INCH (0.457 MM) THICK.
4.1.3 ALUMINUM (1100 OR 3003 ALLOY OR EQUIVALENT) SHEET NOT LESS THAN 0.027 OF AN INCH (0.686 MM) THICK.
4.1.4 STAINLESS STEEL SHEET NOT LESS THAN 0.012 OF AN INCH (0.305 MM) THICK.
4.1.5 SMOOTH INTERIOR WALL METAL PIPE HAVING RESISTANCE TO HEAT AND CORROSION EQUAL TO OR EXCEEDING THAT OF SECTION 802.10.1.2(1)(B), SECTION 802.10.1.2(1)(C), OR SECTION 802.10.1.2(1)(D) ABOVE.
4.1.6 A LISTED VENT CONNECTOR.
4.2 VENT CONNECTORS SHALL NOT BE COVERED WITH INSULATION.
EXCEPTION: LISTED INSULATED VENT CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. [NFPA 54:12.11.2.3]
5 EACH BATHROOM SHALL HAVE AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AS FOLLOWS:
5.1 HAVE A MINIMUM VENTILATION RATE OF 50 CFM *BE ENERGY STAR COMPLIANT
5.2 BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BTWN A RELATIVE HUMIDITY OF 50% TO 80%.
5.3 BE SWITCHED SEPARATELY FROM THE LIGHTING
6 DRYER MUST BE EQUIPPED WITH A BACKDRAFT DAMPER WITH NO SCREEN. THE DUCT IS LIMITED TO 14 FEET IN LENGTH WITH TWO 90 DEGREE ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. CMC 504.4.2.1
7 ALL ENVIRONMENTAL AIR DUCTS SHALL TERMINATE A MINIMUM OF 3 FEET FROM A PROPERTY LINE, ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC.), 10 FEET FROM A FORCED AIR INLET, AND MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS. ENVIRONMENTAL EXHAUST DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WAY. CMC 502.2.1.

VENTILATION REQUIREMENTS

1 VENTILATION RATE SHALL BE PER ASHRAE 62.2
A MECHANICAL EXHAUST SYSTEM, SUPPLY SYSTEM, OR COMBINATION THEREOF, SHALL BE INSTALLED TO OPERATE FOR EACH DWELLING UNIT TO PROVIDE CONTINUOUS DWELLING-UNIT VENTILATION WITH OUTDOOR AIR AT A RATE NOT LESS THAN SPECIFIED BELOW:

(0.03)(FLOOR AREA) + 7.5(NUMBER OF BEDROOMS +1) = TOTAL REQUIRED VENTILATION RATE, CFM

2 LOCAL MECHANICAL EXHAUST SYSTEM SHALL BE INSTALLED IN EACH KITCHEN AND BATHROOM.
3 NONENCLOSED KITCHENS SHALL BE PROVIDED WITH A DEMAND-CONTROLLED MECHANICAL EXHAUST SYSTEM. ALL OTHER KITCHEN AND BATHROOMS SHALL BE EITHER A DEMAND-CONTROLLED MECHANICAL EXHAUST SYSTEM OR A CONTINUOUS MECHANICAL EXHAUST SYSTEMS MEETING ASHRAE 62.2 REQUIREMENTS.
4 DEMAND-CONTROLLED MECHANICAL EXHAUST SYSTEMS SHALL BE DESIGNED TO BE OPERATED AS NEEDED AND SHALL HAVE EITHER A READILY ACCESSIBLE OCCUPANT-CONTROLLED ON-OFF CONTROL OR AN AUTOMATIC CONTROL THAT DOES NOT IMPEDE OCCUPANT ON CONTROL.
5 CONTINUOUS MECHANICAL EXHAUST SYSTEM SHALL BE INSTALLED TO OPERATE CONTINUOUSLY. THE SYSTEM MAY BE PART OF A BALANCED MECHANICAL VENTILATION SYSTEM PER ASHRAE GUIDELINE 24, CHAPTER 10. CONTINUOUS MECHANICAL EXHAUST SYSTEMS SHALL HAVE A READILY ACCESSIBLE MANUAL ON-OFF CONTROL BE DESIGNED TO OPERATE DURING ALL OCCUPIABLE HOURS.
6 KITCHENS WITH A VENTED RANGE HOOD SHALL HAVE 100 CFM WITH 5 ACH AND A SOUND RATING OF 3 SONES OR LESS.
7 EACH BATHROOM SHALL HAVE AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AS FOLLOWS:
7.1 HAVE A MINIMUM VENTILATION RATE OF 50 CFM *BE ENERGY STAR COMPLIANT
7.2 BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BTWN A RELATIVE HUMIDITY OF 50% TO 80%.
7.3 BE SWITCHED SEPARATELY FROM THE LIGHTING BATHROOMS WITH A DEMAND-CONTROLLED LOCAL VENTILATION EXHAUST SHALL HAVE 50 CFM AND HAVE A SOUND RATING OF 3 SONES OR LESS.
8 BAHTROOMS WITH A CONTINUOUS LOCAL VENTILATION EXHAUST SHALL HAVE 20 CFM AND HAVE A SOUND RATING OF 1 SONE OR LESS.
9 BATH EXHAUST FAN MUST BE 1 HR FIRE RATED WITH A FIRE DAMPER.
10 provide occupancy / HUMIDITY sensor for bathroom EXHAUST fan.
11 INFORMATION ON THE VENTILATION DESIGN AND/OR VENTILATION SYSTEM INSTALLED, INSTRUCTIONS ON THEIR PROPER OPERATION TO MEET THE REQUIREMENTS OF THIS STANDARD, AND INSTRUCTIONS DETAILING ANY REQUIRED MAINTENANCE SHALL BE PROVIDED TO THE OWNER AND THE OCCUPANT OF THE DWELLING UNIT.
12 CONTROLS SHALL BE LABELED AS TO THEIR FUNCTION
13 CLOTHES DRYERS SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.
14 COMBUSTION AND SOLID-FUEL BURNING APPLIANCES MUST BE PROVIDED WITH ADEQUATE COMBUSTION AND VENTILATION AIR AND INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS. NFPA 31, NFPA 54/ANSI Z223.1, NFPA 211. OR OTHER EQUIVALENT CODE ACCEPTABLE TO THE BUILDING OFFICIAL.

M-1.1

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

MECHANICAL PLAN

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER			
2	06/21/23 PLN/BLD C#3	ER			
	08/18/23 PLN/BLDG RF#3	ER			

HOMRIG RESIDENCE REMODEL
SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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LEWIS BUILDERS
CA. LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS DESIGN BUILD

S 89°46'41" E 99.88

S 89°47'24" E 99.88

N 00°00'30" W 80.00

N 00°00'23" W 79.97

SAN CARLOS ST.
(A 60' WIDE CITY STREET)

232 SF

16 SF

640 SF

794 SF

26 SF

9 SF

349 SF

12 SF

9 SF

17 SF

9 SF

100 SF

252 SF

6 SF

9 SF

60 SF

268 SF

9 SF

193 SF

193 SF

377 SF

85 SF

47 SF

SCALE: 1/4" = 1'-0"

NORTH

Environmental Planning & Design , Inc.
LANDSCAPE ARCHITECTURE
LEED, BIG & ARCCA CERTIFIED
p. 831.596.6664
w. WWW.EPDLA.COM

DATE:
05/23/2023

SCALE:
AS NOTED

DRAWN BY:
MCW

LICENSED LANDSCAPE ARCHITECT
AARON WEAVER NO. 5178
Signature
05-31-24
Renewal Date
Date
STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions:

PROJECT TITLE:

Homrig Residence

San Carlas 7 SW
of 13th Street
Carmel by the Sea, CA 93921
Lot 15&17, Block xxx
APN #010-165-037-000

SHEET TITLE:

LANDSCAPE SITE PLAN

Project #22.013

SHEET #

L1.0

SITE COVERAGE CALCULATION:

BASE FLOOR AREA FOR 8,000 SF LOT = 2,960 SF
22% OF BASE FLOOR AREA = 651 SF

4% of 8,000 SF SITE = 320 SF BONUS COVERAGE

651 S.F.
+320 S.F.
971 S.F. ALLOWED

573 S.F. PAVED PATHWAYS & DRIVEWAY STRIPS
357 S.F. TILE DECK, FRONT PORCH, LANDINGS & STAIRS
24 S.F. GRAVEL BASE FOR GENERATOR
17 S.F. LANDSCAPE BOULDERS
971 S.F. PROPOSED

LANDSCAPED AREA CALCULATION:

HOUSE FOOT PRINT	1,691 S.F.
GARAGE FOOT PRINT	+335 S.F.
TILE DECK, FRONT PORCH & LANDINGS & STAIRS	+357 S.F.
GENERATOR	+ 9 S.F.
TOTAL IMPERMEABLE AREA:	2,392 S.F.
PAVED PATHWAYS & DRIVEWAY STRIPS	573 S.F.
GRAVEL BASE FOR GENERATOR	5 S.F.
TOTAL PROPOSED PERMEABLE PAVING:	578 S.F.

TOTAL: 2,392 .F. + 578 S.F. = 2,970 S.F.

TOTAL SITE AREA: 8,000 S.F.
-2,970 S.F.
TOTAL LANDSCAPED AREA: 5,030 S.F.

REFERENCE NOTES SCHEDULE

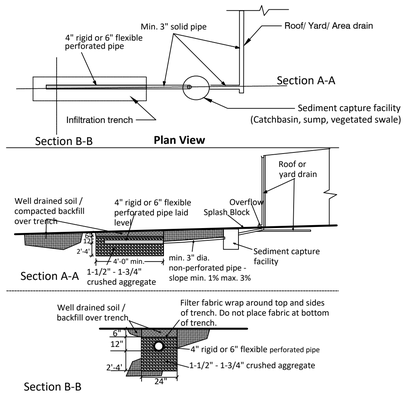
SYMBOL	DESCRIPTION	QTY
1	Property line	
2	Standard setback line	
3	Existing fence, typ.	
SYMBOL	**DESCRIPTION**	**QTY**
4	New permeable paving through right-away (select by owner)	135 sf
5	New permeable paving:Flagstone Antique Black (West) from Stone Universe, set in sand, with gravel joints.	573 sf
6	New deck/patio/steps and landings:MSI Montauk tile	357 sf
7	New curbwall	
9	New dining area	
10	Infiltration system setback line	
11	New subsurface drain pipe	
12	New downspout extension "swale". Subsurface new crushed aggregate, filter fabric channel around dain pipe, keep final grade 8 to 10" below sill, refer to prescriptive infiltration system details SOG 17-07 does not count as site coverage	228 sf
13	New hose bib	
14	New rain garden, infiltration area, does not count towards site coverage	418 sf
15	New catch basin	
16	Tree protection line, typ.	
17	New splash block, typ,	
18	New edged woodchip path, does not count as site coverage	339 sf
19	New boulder arrangements, may be repetitive feature in landscape, lining raingardens and used for casual seating, Final location to be determined.	
20	New shade tree (Fruitless Olive)	
21	Planting area	
22	New electrical outlet	
23	New generator, set on gravel (baserock) in Zombi box	19 sf
24	Baserock (permeable) surrounding Zombie box	5 sf

ABBREVIATIONS:

EO	Electric Outlet
DS	Down Spout
HB	Hose Bib
CO	Clean Out
GM	Gas Meter
WM	Water Meter

SITE DRAINAGE NOTES:

All site and roof runoff shall be directed onto private property of its origin and filtered through seepage pits, French drains, and/or leach fields where possible and may not cross lot lines to adjoining properties. Any runoff waters from the site that may be directed onto the public right-of-way or City storm drain system must be done with prior approval of the Building Official and/or Public Works Superintendent.
Drainage from downspouts and paved areas shall be directed to landscaped areas. Downspouts shall drain via splash blocks or be hard piped into min. 3" solid pipe and connected into an infiltration trench, see City of Carmel Infiltration Trench detail.
Runoff shall be dispersed throughout the site into rain garden detention areas.
Site soils are well-drained and belong to Hydrologic Soil Group A, as determined by the USDA web soil surveys Hydrologic Soil Group map.
The landscaped area size is at least 50% of the size of the contributing impervious surface.
All runoff shall be directed away from building foundations, min. 2%. Keep minimum 8 inch clear between final grade and bottom of wood sill of all buildings. Waterproof masonry with Tamo seal (or equal masonry waterproofing) where necessary.
Infiltration swales (see details) are used to convey runoff to rain garden(s) for infiltration. Rain garden area shall be designed in accordance with the Bay Area Stormwater Management Agencies Association (BASMAA) publication Rain Gardens, Stormwater Control for Small Projects. Keep rain gardens minimum 10 feet from building foundations. Improve infiltration in rain garden by adding 3 inches of compost to existing soil and tilt in to a depth of min. 12 inches. Select from Bioretention Plant List by Central Coast LIDI (Low Impact Development Initiative) for rain garden planting.
Drainage and infiltration features shall be located at least 6 feet away from neighboring properties and 3 feet away from any public street right-of-way.



1 CITY OF CARMEL INFILTRATION TRENCH
Not to Scale P-DR-02

RAIN GARDEN NOTES:

Keep rain garden away from roots of oaks and pines. Rain garden shall have min. 6 inch ponding depth,. Verify in field that water infiltrates quickly. Size rain garden to approximately 4% of the contributing impermeable area. For projects in excess of 2,000 S.F. add 20 S.F. of rain garden surface area per every 500 S.F. of additional area.

4% of 2,392 S.F.	=	96 S.F.
2 * 20 S.F.(per 500 S.F. above 2,000 S.F.)	=	40 S.F.
Minimum Rain Garden size:		136 S.F.

Environmental Planning & Design , Inc.
LANDSCAPE ARCHITECTURE
LEED, BIG & ARCCA CERTIFIED
p. 831.596.6664
w. WWW.EPDLA.COM

DATE:
05/23/2023

SCALE:
AS NOTED

DRAWN BY:
MCW

LICENSED LANDSCAPE ARCHITECT
MARION WEAVER NO. 5178
Signature
05-31-24
Renewal Date
State
STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions:

PROJECT TITLE:

Homrig Residence

San Carlas 7 SW of 13th Street
Carmel by the Sea, CA 93921
Lot 15&17, Block xxx
APN #010-165-037-000

SHEET TITLE:
LANDSCAPE SITE NOTES & DETAILS

Project #22.013

SHEET #
L1.1

FULL SUN IRRIGATION ZONE

SHADE IRRIGATION ZONE

PART SUN/SHADE IRRIGATION ZONE

NON IRRIGATED AREA (XERISCAPE)
IRISH MOSS GROUND COVER

EXISTING DIRT PARKING AREA IN R.O.W.

NEW EDGED WOODCHIP PATH

NEW CONCRETE PAVING AND STEPS

NEW PERMEABLE PAVING

NEW PERMEABLE PAVING THROUGH RIGHT-WAY

NEW TILE/DECK PATIO

EXISTING TREES
STRUCTURAL ROOT ZONE
1) 120"
2) 66"
3) 78"
4) 72"
5) 60"
6) 60"
7) 60"
8) 60"
9) 126"
10) 126"
11) 90"
12) 66"
13) 78"
14) 72"
15) 120"
16) 60"
17) 78"
18) 60"
19) 60"
20) 60"
21) 60"
22) 60"
23) 66"
24) 60"
25) 60"
26) 60"
27) 66"
28) 60"
29) 60"
30) 60"
31) 60"
32) 60"

EXISTING PLANTS TO KEEP:
- HYDRANGEAS

Proposed Plants

		botanical name	common name	type	Cultivars	Size	Qty
1		ASPARAGUS setaceus	Asparagus Fern	Fern		1 gal	12
2		ASPLENIUM bulbiferum	Mother Fern	Fern		5 gal	5
3		AZALEA girards fuschia	Azalea	Shrub		5 gal	29
4		COLEONEMA pul gold	Breath of Heaven	Shrub	Sunset Gold	5 gal	32
5		BUXUS microphylla japonica	Winter Gem	Shrub		5 gal	12
6		LAVANDULA angustifolia	English Lavender	Shrub		5 gal	26
7		MAGNOLIA little gem	Little Gem	Tree		1 gal	1
8		OLEA europaea wils	Fruitless Olive Tree	Tree	Wilsoni	24 box	1
9		PITTOSPORUM ten sil	Silver Sheen	Shrub		15 gal	11
10		POLYSTICHUM munitum	Western Swordfern	Fern		1 gal	7
11		DRYOPTERIS arguta	Coastal Wood Fern	Fern		1 gal	15
12		PRATIA penduculata isotoma	Blue Star Creeper	Ground c		1 gal	13
13		VINCA minor	Dwarf Periwinkle	Ground c	Variegated	1 gal	13
14		DICHONDRA donelliana	California Dichondria	Ground c		1 gal	43
15		SAGINA subulata	Irish moss	Ground c		1 gal	6
		EXISTING PLANTS	Hydrangeas	Shrub			8
		EXISTING TREES	Coast Live Oak	Tree			32

EXTERIOR LIGHT LEGEND	QUANTITY
PATHWAY LIGHT 225 LUMEN	23
WALL SCONCE 350 LUMEN	8

PLANT PLAN

L-2.1

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

LANDSCAPE PLANT PLAN

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
9	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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LEWIS BUILDERS
CA. LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

GENERAL LANDSCAPE NOTES

1. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANING.
2. CONTRACTOR TO OBTAIN SIL ANALYSIS PRIOT TO BEGINNING OF PLANTING AND TO PREPARE, AMEND AND FERTILIZE EXISTING SOIL FOLLOWING RECOMMENDATIONS IN THE SOIL ANALYSIS.
3. PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLODS INTO SMALL PIECES.
4. STAKE ALL TREES WITH MINIMUM 6' TALL LODGEPOLE STAKES, FOLLOW STANDARD NURSERY PRACTICES.
5. INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
6. COMPOST MINIMUM OF FOUR CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA TILLED TO A DEPTH OF SIX INCHES (6")
7. ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTE, IRRIGATION CONTROLLER TO HAVE EITHER EVAPOTRANSPIRATION OR SIL MOISTURE SENSING CAPABILITIES, AND A RAIN SENSOR.
8. IF SPECIFIED, THE IRRIGATION SYSTEM TO HAVE AUTO LEAK DETECTION WITH SMART-ALERT SOFTWARE AND AUTO-OFF.
9. IRRIGATION SYSTEM TO HAVE A DEDICATED BACK FLOW PREVENTER AND MASTER SHUT OFF VALVE AT THE POINT OF CONNECTION.
10. PRESSURE REGULATORS SHALL BE INSTALLED AT EACH DRIP VALVE AND SET TO THE OPTIMAL PRESSURE AS SUGGESTED BY THE MANUFACTURER OF THE DRIP EMITTERS. ALL DRIP ZONES INSTALLED ON SLOPES TO BE FITTED WITH CHECK VALVES AND ALL LINES TO INCLUDE FLUSH PORTS.
11. MANUAL SHUT OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION AND AT VALVE MANIFOLDS.
12. IRRGATION VALUVES TO CORRESPOND TO HYDRO ZONE LIMITS.
13. IRRIGATION SYSTEM TO BE A DESIGN BUILT. ALL SHRUB AREAS TO BE DRIP IRRIGATED.
14. LOW AND VERY-LOW WATER XERISCAPING DOES NOT REQUIRE DRIP IRRIGATION. HAND WATERI DURING FIRST YEAR OF GROWTH UNTIL ESTABLISHED.

IRRIGATION COMPONENTS

Pressure Regulator: Rainbird 1" PEB w/filter regulator combo

Filter: Rainbird 1" PEB w/filter regulator combo

Backflow Prevention Device: Wilkens 975 XL 1" backflow

Timer: Rainbird ESP-SMT smart controller

1/2" Polypropene drip tubing

SIZE	GPH	QTY EMITTERS PER PLANT
1 gal	1	1
5 gal	1	2
15 gal	1	3-4

IRRIGATION TIMING SCHEDULE

SEASON	CYCLES / WEEK	MINUTES / CYCLE
spring	2	7
summer	2	10
fall	2	6
winter	water only during extended dry periods	

NEW IRRIGATION SYSTEMS TO BE INSTALLED WITH THE FOLLOWING COMPONENTS, PER CODE:

A. GATE VALVE INSTALLED WITHIN TWO FEET OF EXISTING WATER METER
B. REMOTE CONTROL VALVE + ANTISPHON, ONE PER IRRIGATION ZONE
C. PVC SCH 40 FROM WATER METER TO CONTROL VALVES
D. PVC CLASS 200 FOR IRRIGATION ZONES
E. TRANSITIONS BETWEEN PVC PIPE AND DRIP TUBING
F. DEDICATED LANDSCAPING WATER METER WITH TIMER

DRIP IRRIGATION SYSTEM TO BE INSTALLED FOR ALL NEW SHRUBS, TREES AND NON-XERISCAPE GROUNDCOVER.

RE-USE VIABLE COMPONENTS OF ANY EXISTING IRRIGATION SYSTEMS. ASSUME ALL DRIP TUBING AND EMITTERS SHOULD BE REPLACED.

NEW PATH LIGHTING
MAX 225 LUMENS
LED DOWNLIGHTING

Brand	Kichler
Light fixture form	Path
Room Type	Kitchen
Product Dimensions	6"L x 6"W x 20"H
Indoor/Outdoor Usage	Outdoor
Power Source	Hardwired
Control Method	App
Light Source Type	LED
Number of Light Sources	1
Voltage	12 Volts
Included Components	Includes one 3 watt GU4 base LED starter bulb and 36-in wire leads to make connections easily
Part Number	28315
Item Weight	3.39 pounds
Item model number	28315
Collection	Showscape
Plug Format	A- US style
Switch Installation Type	Surface
Batteries Included?	No
Batteries Required?	No
Luminous Flux	200 Lumen

EXTERIOR WALL LIGHT
ELLINGTON
DARK SKY
OIL RUBBED BRONZE

2PK
Carded

S21703	
Shape	B11
Watts	4.5W
Lumens	350L
Color	2700
Base	Medium

L-2.2

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

LANDSCAPE NOTES, IRRIGATION & LIGHTING

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
9	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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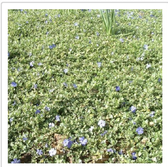
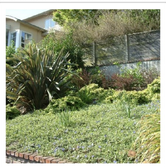
LEWISBUILDERS DESIGN/BUILD

PLANT SELECTIONS

Vinca minor 'Variegata'

Variegated Dwarf Periwinkle


PLANT TYPE
Ground cover

HEIGHT
1 ft.

WIDTH
6-20 ft.

SUN
Half, Shade, Deep Shade

WATER
Very Low, Low

SOIL
Sandy, Loam

LEAF SEASON

LEAF COLOR
Variegated

FLOWER COLOR
Blue

FLOWER SEASON
Spring

FRUIT SEASON
n/a

FRUIT TYPE
n/a

DESIGN STYLES
English Cottage, Meadow, Woodland

LOCATION USES
Entry, Parking Strip, Walkways

ATTRACTS WILDLIFE
n/a

DESCRIPTION
This groundcover will grow less than 1' tall and has small, glossy, dark green and white variegated leaves with blue, purple, lavender, or white flowers that bloom in the spring.

Pratia pedunculata

Blue Star Creeper



PLANT TYPE
Ground cover

HEIGHT
0.1 ft.

WIDTH
1-1.5 ft.

SUN
Full, Half, Shade

WATER
Medium

SOIL
Loam

LEAF SEASON
Evergreen

LEAF COLOR
Light Green

FLOWER COLOR
Blue

FLOWER SEASON
Spring, Summer

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Prostrate

DESIGN STYLES
English Cottage, Japanese, Meadow, Mediterranean, Seascape, Spanish, Water Garden, Woodland

LOCATION USES
Entry, Parking Strip, Raised Planter, Walkways, With Rocks

ATTRACTS WILDLIFE
n/a

DESCRIPTION
Pratia pedunculata has bright green, nearly stemless, 1/4" leaves. In late spring and summer, these form a backdrop for equally tiny, star-shaped pale blue flowers.

Polystichum munitum

Western Sword Fern



PLANT TYPE
Fern

HEIGHT
2-3 ft.

WIDTH
2-4 ft.

SUN
Half, Shade

WATER
Medium

SOIL
Loam

LEAF SEASON
Evergreen

LEAF COLOR
Dark Green

FLOWER COLOR
n/a

FLOWER SEASON
n/a

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Arching

DESIGN STYLES
Formal, Japanese, Meadow, Wetlands, Woodland

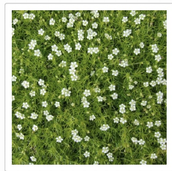
LOCATION USES
Entry, Foundation, Patio, With Rocks

ATTRACTS WILDLIFE
n/a

DESCRIPTION
This Fern produces upright fronds, reaching 4'-5' tall in moist, cool forests in Northern California. This size is usually lower, especially without summer watering. It is great in containers or dry shade landscapes. This species is especially useful to give the illusion of lush, moist gardens where little water is actually being used. It should receive part shade to dense shade. -Monterey Bay Nursery

Sagina subulata

Irish Moss


PLANT TYPE
Ground cover

HEIGHT
0.2-0.4 ft.

WIDTH
0.75 ft.

SUN
Full, Half

WATER
Medium

SOIL
Sandy, Loam, Rocky

LEAF SEASON
Evergreen, Semi-evergreen

LEAF COLOR
Light Green

FLOWER COLOR
White

FLOWER SEASON
Spring, Summer

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Mound, Prostrate

DESIGN STYLES
Japanese, Woodland

LOCATION USES
Entry, Patio, Walkways, With Rocks

ATTRACTS WILDLIFE
n/a

DESCRIPTION
This perennial is mainly used as a groundcover and is less than 1' tall and wide. It has small, grass-like, light green flowers with insignificant white flowers that bloom in spring and summer.

Pittosporum tenuifolium 'Silver Sheen'

Silver Sheen Pittosporum



PLANT TYPE
Shrub

HEIGHT
12-16 ft.

WIDTH
5-6 ft.

SUN
Full

WATER
Medium

SOIL
Sandy, Clay, Loam, Rocky, Unparticular

LEAF SEASON

LEAF COLOR
Green, Silver, Variegated

FLOWER COLOR
n/a

FLOWER SEASON
n/a

FRUIT SEASON
n/a

FRUIT TYPE
n/a

DESIGN STYLES
Japanese, Meadow, Mediterranean, Ranch, Seascape, Spanish, Tropical

LOCATION USES
Shrub Border, Foundation, Patio, Walls / Fences

ATTRACTS WILDLIFE
n/a

DESCRIPTION
Silver Sheen Pittosporum is an everygreen shrub with an upright habit. It grows from 12-16 ft high. It has very small silvery green leaves on narrow blackish branches. It is tolerant of coastal conditions. It is not as dense as other pittosporums. It has a willowy look and moves gracefully with the wind. It is a fast growing plant.

Lavandula angustifolia 'Lavance Purple'

Lavance Purple English Lavender



PLANT TYPE
Perennial

HEIGHT
1.2-1.5 ft.

WIDTH
1.8-2 ft.

SUN
Full

WATER
Low

SOIL
Sandy, Loam, Rocky, Unparticular

LEAF SEASON

LEAF COLOR
Grey Green, White

FLOWER COLOR
Purple

FLOWER SEASON
Summer

FRUIT SEASON
n/a

FRUIT TYPE
Nut / Nutlet

HABIT
Upright

DESIGN STYLES
English Cottage, Meadow, Mediterranean, Ranch, Spanish, Wild Garden, Woodland

LOCATION USES
Perennial Border, Shrub Border, Patio, Raised Planter, Walkways, With Rocks

ATTRACTS WILDLIFE
Pollinators, Bees, Butterflies

DESCRIPTION
Lavance Purple English Lavender blooms the first year with dark purple, persistent flowers. The foliage is gray-green and very aromatic. It has a bushy, upright, compact form which allows Lavance Purple to be a great selection for a smaller garden. It is an excellent choice for edging and works in containers.

Rhododendron 'Irene Koster'

Irene Koster Rhododendron



PLANT TYPE
Shrub

HEIGHT
3-4 ft.

WIDTH
3 ft.

SUN
Half, Shade

WATER
Medium, High

SOIL
Loam

LEAF SEASON

LEAF COLOR
Dark Green

FLOWER COLOR
Pink, Multi-Colored

FLOWER SEASON
Spring, Summer

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Round

DESIGN STYLES
Formal, Japanese, Woodland

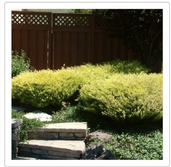
LOCATION USES
Entry, Foundation, Lawn, Patio, Park, Walkways

ATTRACTS WILDLIFE
n/a

DESCRIPTION
This shrub will grow 3' tall and 3' wide. It has small, glossy, dark green leaves with pinkish white flowers that bloom in spring and summer.

Coleonema pulchellum 'Sunset Gold'

Golden Breath Of Heaven


PLANT TYPE
Shrub

HEIGHT
2-3 ft.

WIDTH
3-4 ft.

SUN
Full, Half

WATER
Medium, Extra in Summer

SOIL
Sandy, Clay, Loam, Rocky, Unparticular

LEAF SEASON
Evergreen

LEAF COLOR
Yellow Green

FLOWER COLOR
Pink

FLOWER SEASON
Winter, Spring

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Broad, Round, Upright

DESIGN STYLES
Meadow, Mediterranean, Ranch, Seascape, Spanish, Woodland

LOCATION USES
Entry, Shrub Border, Foundation, Parking Strip, Patio, Parking Lot, Raised Planter, Swimming Pool, Walkways, With Rocks

ATTRACTS WILDLIFE
n/a

DESCRIPTION
'Sunset Gold' is a reliable hardy shrub reaching 2' tall and 3-4' wide. Leaves are needle-like, evergreen, yellow green, aromatic and finely textured. Small, pale pink flowers appear on the plant from winter through spring. This plant does best in full to part sun with well draining soil. It needs regular watering. It tolerates coastal areas. Grown more for foliage than flowers.

Buxus microphylla japonica 'Winter Gem'

Winter Gem Hardy Boxwood



PLANT TYPE
Shrub

HEIGHT
4-6 ft.

WIDTH
4-6 ft.

SUN
Full, Half

WATER
Medium, Extra in Summer

SOIL
Sandy, Clay, Loam, Rocky, Unparticular

LEAF SEASON
Evergreen

LEAF COLOR
Green

FLOWER COLOR
n/a

FLOWER SEASON
n/a

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Upright

DESIGN STYLES
English Cottage, Formal, Mediterranean, Ranch

LOCATION USES
Entry, Foundation, Parking Strip, Park, Walls / Fences, Walkways

ATTRACTS WILDLIFE
n/a

DESCRIPTION
This 4-6' shrub has a slow growth rate, and will become either an informal hedge, or, with pruning, a formal hedge or standard topiary. Its small, compact foliage is bright green during the summer. The 'Winter Gem' best retains its winter color.

L-2.3

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

LANDSCAPE PLANT CATALOG

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
9	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS
DESIGN/BUILD

PLANT SELECTIONS

Olea europaea 'Wilsoni'

Wilson Fruitless Olive



PLANT TYPE
Tree

HEIGHT
25 ft.

WIDTH
25 ft.

SUN
Full

WATER
Low

SOIL
Sandy, Loam, Rocky

LEAF SEASON
Evergreen

LEAF COLOR
Grey Green

FLOWER COLOR
n/a

FLOWER SEASON
n/a

FRUIT SEASON
Fall

FRUIT TYPE
Fleshy

HABIT
Broad

DESIGN STYLES
Mediterranean, Ranch, Seascape, Spanish

LOCATION USES
Background, Lawn, Patio, Park

ATTRACTS WILDLIFE
n/a

DESCRIPTION
'Wilsonii™ olive is a Mediterranean native seemingly tailor-made for California landscapes where water is precious and heat is expected. This evergreen olive is not like other 'Wilsonii' varieties in the industry and is distinguished by its very low fruiting custom. Topping out at about 25 feet tall and wide, it has a lovely open form that appeals to landscape architects and contractors seeking a less densely foliated olive. As with all olives, the gray/green narrow leaves and bumpy trunk offers fantastic character and individuality to each specimen. Olea europaea 'Wilsonii™ enjoys full sun, low water, and placement in Sunset Garden zones 8, 9, 11-24, H1 and H2. -Boething Treeland Nursery

Asparagus setaceus

Fern Asparagus



PLANT TYPE
Ground cover

HEIGHT
10-20 ft.

WIDTH
2-3 ft.

SUN
Full, Half, Shade

WATER
Low

SOIL
Sandy, Clay, Loam, Rocky, Unparticular

LEAF SEASON
Evergreen

LEAF COLOR
Light Green

FLOWER COLOR
n/a

FLOWER SEASON
n/a

FRUIT SEASON
Intermittent

FRUIT TYPE
Berry

HABIT
Arching, Prostrate

DESIGN STYLES
Mediterranean, Tropical, Water Garden

LOCATION USES
Entry, Perennial Border, Indoor, Patio, Raised Planter, Swimming Pool

ATTRACTS WILDLIFE
n/a

DESCRIPTION
Fern Asparagus is an attractive herbaceous perennial that is easy to grow, though not actually a fern. Plant asparagus fern in garden beds where it is used as a creeper in warmer climates. It can be invasive, so keep an eye on it. You will more often find asparagus fern growing indoors as a dense, bushy houseplant with lace-like foliage that forms an incredible mound.

Asplenium bulbiferum

Mother Fern



PLANT TYPE
Fern

HEIGHT
4 ft.

WIDTH
3 ft.

SUN
Shade, Deep Shade

WATER
Medium

SOIL
Loam

LEAF SEASON
Evergreen

LEAF COLOR
Light Green

FLOWER COLOR
n/a

FLOWER SEASON
n/a

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Arching

DESIGN STYLES
Meadow, Tropical, Woodland

LOCATION USES
Entry, Foundation, Patio

ATTRACTS WILDLIFE
n/a

DESCRIPTION
The Mother Fern is an evergreen fern with lacy, light green fronds that reach 3' in height, often with miniature "babies" produced along the margins of the fronds. It should receive part sun to shade, with average watering.
It is not frost hardy, and like most ferns, does excellent in containers.

Magnolia grandiflora 'Little Gem'

Little Gem Dwarf Southern Magnolia



PLANT TYPE
Tree

HEIGHT
15-20 ft.

WIDTH
8-10 ft.

SUN
Full, Half

WATER
Medium, Extra in Summer

SOIL
Sandy, Clay, Loam, Rocky, Unparticular

LEAF SEASON
Evergreen

LEAF COLOR
Bronze, Brown, Dark Green

FLOWER COLOR
White

FLOWER SEASON
Summer, Fall

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Broad, Irregular, Round

DESIGN STYLES
English Cottage, Formal, Meadow, Ranch, Seascape, Tropical, Woodland

LOCATION USES
Entry, Foundation, Lawn, Patio, Park, Raised Planter

ATTRACTS WILDLIFE
n/a

DESCRIPTION
This slow-growing evergreen tree will grow 15-20' high x 8-10' wide and has an abundance of leathery, dark green leaves with fragrant, white flowers that bloom during summer.

Dichondra donelliana

California Dichondra



PLANT TYPE
Ground cover

HEIGHT
0.3 ft.

WIDTH
0.5-1 ft.

SUN
Shade

WATER
Medium

SOIL
Loam

LEAF SEASON
Evergreen

LEAF COLOR
Green

FLOWER COLOR
White

FLOWER SEASON
Spring

FRUIT SEASON
n/a

FRUIT TYPE
n/a

DESIGN STYLES
English Cottage, Formal, Meadow, Mediterranean, Seascape, Spanish, Tropical, Water Garden, Wetlands, Wild Garden, Woodland

LOCATION USES
Entry, Foundation, Walls / Fences, Walkways, With Rocks

ATTRACTS WILDLIFE
n/a

DESCRIPTION
Dichondra is a uncommon native perennial herb or vine that grows in northern, southern and central California. It tends to grow in open slopes and moist fields, at elevations from 0-1000 feet. -Calscape.com

Dryopteris arguta

Coastal Wood Fern



PLANT TYPE
Fern

HEIGHT
2-3 ft.

WIDTH
2-4 ft.

SUN
Shade

WATER
Medium, High, Extra in Summer

SOIL
Sandy, Clay, Loam, Rocky, Unparticular

LEAF SEASON
Evergreen

LEAF COLOR
Green, Red

FLOWER COLOR
n/a

FLOWER SEASON
n/a

FRUIT SEASON
n/a

FRUIT TYPE
n/a

HABIT
Arching, Upright

DESIGN STYLES
Formal, Japanese, Seascape, Wetlands, Woodland

LOCATION USES
Entry, Perennial Border, Foundation, Patio, With Rocks

ATTRACTS WILDLIFE
n/a

DESCRIPTION
Dryopteris arguta, with the common name coastal woodfern, is a species of wood fern that grows to about 2'. It is native to the west coast and western interior mountain ranges of North America, from British Columbia, throughout California, and into Arizona. Dryopteris arguta is somewhat variable in appearance. Leaflets sometimes turn at an angle from the leaf, giving it a ruffled or lacy look, and the toothed leaflets may have bristles at their tips.

L-2.4

VERSION: 4.1 PLN/BLD
DATE: 8/18/23

LANDSCAPE PLANT CATALOG

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD CO#3	ER
9	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PLANS ARE THE INSTRUMENTS OF THE PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS. ALL ATTEMPTS HAVE BEEN MADE IN THESE PLANS TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY ERRORS OR OMISSIONS ARE FOUND TO EXIST IN THESE PLANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY LEWIS BUILDERS IN WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

LEWIS BUILDERS
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#B-844741
CARMEL CA 93923
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LEWIS BUILDERS DESIGN BUILD

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY METHODS

EFFECTIVE JAN. 1, 2020

CHAPTER 3
GREEN BUILDING CODE
SECTION 301 GENERAL

301.1 SCOPE. BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE APPLICATIONS CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE, BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY, COUNTY, OR CITY OR COUNTY AS SPECIFIED IN SECTION 101.7.

301.1.1 ADDITIONS AND ALTERATIONS. THE MANDATORY PROVISIONS OF CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

NOTE- ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

301.2 LOW RISE AND HIGH RISE RESIDENTIAL BUILDINGS. THE PROVISIONS OF INDIVIDUAL SECTIONS OF CALGREEN MAY APPLY EITHER TO LOW RISE RESIDENTIAL BUILDS, HIGH RISE RESIDENTIAL BUILDINGS, OR BOTH.

302.1 MIXTED OCCUPANCY BUILDINGS. IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN

SECTION 4.102 DEFINITIONS
THE FOLLOWING ITEM ARE DEFINED IN CHAPTER 2 AND INCLUDED HERE FOR REFERENCE.

FRENCH DRAIN. A TRENCH, HOLE OR OTHER DEPRESSED ARE LOOSELY FILLED WITH ROCK, GRAVEL, FRAGMENTS OF BRICK OR SIMILAR PERVIOUS MATERIAL USED TO COLLECT OR CHANNEL DRAINAGE OR RUNOFF WATER.

WATTLES. WATTLES ARE USED TO REDUCE SEDIMENT IN RUNOFF. WATTLES ARE OFTEN CONSTRUCTED OF NATURAL PLANT MATERIALS SUCH AS HAY, STRAW OR SIMILAR MATERIAL SHAPED IN THE FORM OF TUBES AND PLACED ON A DOWNFLOW SLOPE. WATTLES ARE ALSO USED FOR PERIMETER AND INLET CONTROLS.

4.106 SITE DEVELOPMENT

4.106 GENERAL. PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH THIS SECTION.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. PROJECTS WHICH DISTURB LESS THEN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.

1. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE.
2. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.

4.106.3 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INCLUDE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

1. SWALES
2. WATER COLLECTION AND DISPOSAL SYSTEMS
3. FRENCH DRAINS
4. WATER RETENTION GARDENS
5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

4.106.4 ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION. NEW CONSTRUCTION SHALL COMPLY WITH SECTIONS 4.106.4.1, 4.106.4.2, 4.106.4.3 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

4.106.4.1 NEW ONE- AND TWO- FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES. FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THEN TRADE SIZE 1 (NOMINAL 1-INCH DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

4.106.4.1.1 IDENTIFICATION. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKET AS "EV CAPABLE".

CHAPTER 4.2 ENERGY EFFICIENCY
4.201 GENERAL
4.201.1 SCOPE FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION
4.303 INDOOR WATER USE
4.303.1 AFTER CONSERVATION PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

4.303.1.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATIONS FOR TANK-TYPE TOILETS.

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

4.303.1.2 URINALS. THE EFFECTIVE FLUSH VOLUME OF WALL MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME OF ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

4.303.1.3 SHOWERHEADS.

4.303.1.3.1 SINGLE SHOWERHEAD. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATIONS FOR SHOWERHEADS.

4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THEN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

4.303.1.4 FAUCETS.

4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT TO EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC RUSE AREAS. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.

4.303.1.4.3 METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE.

4.303.1.4.4 KITCHEN FAUCETS. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

MAXIMUM FIXTURE FLOW RATES

SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX 1.2 GPM @ 60 PSI MIN 0.8 GPM @ 60 PSI
LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCET	0.2 GAL / CYCLE
WATER CLOSET	1.28 GAL / FLUSH
URINALS	0.125 GAL / FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREA. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

NOTE: THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IS LOCATED IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 23, CHAPTER 2.7, DIVISION 2.

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.

EXCEPTIONS:
1. EXCAVATED SOIL AND LAND CLEARING DEBRIS.
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM OR DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.

408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE. PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DUE NOT EXCEED 3.4 LBS./ SQ.FT. OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENTS IN SECTION 4.408.1.

4.408.5 DOCUMENTATION. DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 4.408.2, ITEMS 1 THROUGH 5, SECTRIONS 4.408.3, SECTION 4.408.4.

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATIONS AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:

   A. EQUIPMENT AND APPLIANCES, INCLUDING WATER SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
   B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
   C. SPACE CONDITIONING SYSTEMS.
   D. LANDSCAPE IRRIGATION SYSTEMS.
   E. WATER REUSE SYSTEMS.

3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS OR METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OF THIS (CALIFORNIA GREEN BUILDING STANDARDS) CODE.

DIVISION 4.5 ENVIRONMENTAL QUALITY
SECTION 4.501.1 GENERAL
4.505.1. SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUALITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING AND/OR HARMFUL TO THE COMFORT AND WELL BEING OF THE BUILDINGS INSTALLERS, OCCUPANTS AND NEIGHBORS.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 AND INCLUDED HERE FOR REFERENCE:

AGRIFIBER PRODUCTS.
COMPOSITE WOOD PRODUCTS.
DIRECT VENT APPLIANCE.
MAXIMUM INCREMENTAL REACTIVITY (MIR).
MOISTURE CONTENT.
PRODUCT-WEIGHTED MIR (PWMIR).
REACTIVE ORGANIC COMPOUND (ROC).
VOC.

4.503 FIREPLACES
4.503.1. GENERAL. ANY INSTALLED GAS FIREPLACE SHALL DIRECT VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH THE U.S. EPA NEW SOURCE PERFORMANCE STANDARD (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATION THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

4.504 POLLUTION CONTROL
4.504.1 COVERING OR DUCT OPENINGS & PROTECTION OR MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUST AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS WHICH MAY ENTER THE SYSTEM.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH THIS SECTION.

4.504.2.4 VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
1. MANUFACTURER'S PRODUCT SPECIFICATION.
2. FIELD VERIFICATION OF ON SITE PRODUCT CONTAINERS.

TABLE 4.504.2 SEALANT VOC LIMIT

SEALANT	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.1 ADHESIVE VOC LIMIT

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVE	50
CARPET PAD ADHESIVE	50
OUTDOOR CARPET ADHESIVE	150
WOOD FLOORING ADHESIVE	100
RUBBER FLOOR ADHESIVE	60
SUBFLOOR ADHESIVE	50
CERAMIC TILE ADHESIVE	65
VCT AND ASPHALT TILE ADHESIVE	50
DRYWALL AND PANEL ADHESIVE	50
COVE BASE ADHESIVE	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVE	100
SINGLE PLY ROOF MEMBRANE ADHESIVE	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP AND TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NON-FLAT HIGH GLOSS COATINGS	150
SPECIALITY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALITY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISH COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALITY PRIMERS, SEALERS AND UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB AND TILE REFINISH COATINGS	420
WATERPROOF MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC RICH PRIMERS	340

A-N.1

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DATE: 8/18/23

CAL GREEN NOTES

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HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF LEWIS BUILDERS AND ARE NOT TO BE USED IN CONNECTION WITH ANY WORK OTHER THAN THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY EXTENSION OF THIS PROJECT, EXCEPT BY WRITTEN CONSENT OF LEWIS BUILDERS. ALL DIMENSIONS AND CONDITIONS MUST BE FIELD ENSURE THE ACCURACY OF THESE PLANS. IF DISCREPANCIES ARE FOUND UNDER NO CIRCUMSTANCES SHOULD WORK PROCEED. CONTRACTOR TO NOTIFY LEWIS BUILDERS IN WRITING BEFORE THE COMMENCEMENT OF ANY DISPUTED WORK.

LEWIS BUILDERS
CA. LICENSE
#B-844741
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LEWISBUILDERS
DESIGN+BUILD

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY METHODS

EFFECTIVE JAN. 1, 2020

TABLE 4.504.5 FORMALDEHYDE LIMITS	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	**CURRENT LIMIT**
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13

DIVISION 4.5 ENVIRONMENTAL QUALITY (CONTINUED)

4.505.3 CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF AT LEAST ONE OF THE FOLLOWING:
1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM,
2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350.)
3. NSF/ANSI 140 AT THE GOLD LEVEL.
4. SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE (TM) GOLD.

4.504.3.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

4.504.3.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

4.504.4 RE4SILIANT FLOORING SYSTEMS. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
1. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
2. PRODUCTS CERTIFIED UNDER UL GREENGAURD GOLD (FORMERLY THE GREENGAURD CHILDREN & SCHOOLS PROGRAM).
3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350.)

4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ABB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ES SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.

4.504.1 DOCUMENTATION. VERIFICATION OF COMPLOANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
1. PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
2. CHAIN OF CUTODY CERTIFICATIONS.
3. PRODUCT LABELED ANBD INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKET AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIA AS/NXA 2269, EUROPEAN 6363S, AND CANADIAN CSA 0121, CSA 0151, CSA 0153 AND CSA 0325 STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 GENERAL. BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE.

4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA BUILDING CODE, CHAPTER 19 OR CONCRETE SLAB ON GRADE FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION.

4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
1. A 4" THICK (101.6 MM) BASE OF 1/2 INCH (12.7 MM) OR LARGER CLEAN AGGRIGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH THE CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLY SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2. MOISTURE READING SHALL BE TAKEN AT A POINT 2 FEET (610MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLE WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURES' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND COMPLY WITH THE FOLLOWING:
1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF <50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILD IN).

NOTE:
1. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION.
2. LIGHTING INTEGRAL TO A BATHROOM EXHAUST FAN SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

4.507 ENVIRONMENTAL CONTROL

4.507.2 HEATING AND AIR CONDITIONING SYSTEM DESIGN. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 (RESIDENTIAL LOAD CALCULATIONS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEM FUNCTIONS ARE ACCEPTABLE.

CHAPTER 7 INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS

702. QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONAL OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1. STATE CERTIFIED APPRENTICESHIP PROGRAMS.
2. PUBLIC UTILITY TRAINING PROGRAMS.
3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATE WIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS.
4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS.
5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

702.2 SPECIAL INSPECTIONS. WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THIS PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WITH EVALUATING THE QUALIFICATIONS OF THE SPECIAL INSPECTOR:
1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTE:
1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS).

[BSC-CG] WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE THE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPLIANCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION, THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION, AS DETERMINED BY THE LOCAL AGENCY. THE AREA OF CERTIFICATION SHALL BE CLOSELY RELATED TO THE PRIMARY JOB FUNCTION, AS DETERMINED BY THE LOCAL AGENCY.

NOTE: SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

703 VERIFICATIONS

703.1 DOCUMENTATION. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IN NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.

MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials
- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials
- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter
- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking
- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleanings must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control
- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

EARTHWORK & CONTAMINATED SOILS

Erosion Control
- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control
- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.

Contaminated Soils
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks
  - Abandoned wells
  - Buried barrels, debris, or trash.

PAVING/ASPHALT WORK
- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal
- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

CONCRETE, GROUT & MORTAR APPLICATION
- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

LANDSCAPE MATERIALS
- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

PAINTING & PAINT REMOVAL

Painting cleanup
- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING
- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO $10,000 PER DAY!

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture		Value		Count
Washbasin	3	x	1.0	=	3
Two Washbasins in the Master Bathroom*	1	x	1.0	=	1
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	4	x	1.8	=	7.2
Toilet, High Efficiency (HET)		x	1.3	=	
Toilet, Ultra High Efficiency (UHET)		x	0.8	=	
Urinal, Pint (0.125 gallon maximum)		x	0.1	=	
Urinal, Zero Water Consumption		x	0.0	=	
Masterbath (one per Dwelling): Tub & Shower Stall*		x	3.0	=	
Large Bathtub (may have Showerhead above)		x	3.0	=	
Standard Bathtub or Shower Stall (one head)	3	x	2.0	=	6
Shower, each additional (heads, body spray, etc)		x	2.0	=	
Shower system, Rain Bar/ Custom Shower (specs)		x	2.0	=	
Kitchen Sink (with optional Dishwasher)	1	x	2.0	=	2
Kitchen Sink with High Efficiency Dishwasher		x	1.5	=	
Dishwasher, each additional (with optional sink)		x	2.0	=	
Dishwasher, High Efficiency (with opt. sink)		x	1.5	=	
Laundry Sink/Utility Sink (one per Site)	1	x	2.0	=	2
Clothes Washer	1	x	2.0	=	2
Clothes Washer, (HEW) 5.0 water factor or less		x	1.0	=	
Bidet		x	2.0	=	
Bar Sink		x	1.0	=	
Entertainment Sink		x	1.0	=	
Vegetable Sink		x	1.0	=	
Swimming Pool (each 100 sq-ft of pool surface)		x	1.0	=	
Other _____Instant Hot Water_____		x	-0.5	=	
Other _____		x		=	
Other _____		x		=	
Other _____		x		=	

* Use this fixture count if a previous Permit was issued utilizing the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT **TOTAL** = **23.2**

Table No. 2 Proposed Property Fixture Count
(All fixtures after project)

Type of Fixture	Fixture		Value		Count
Washbasin	4	x	1.0	=	4
Two Washbasins in the Master Bathroom*	1	x	1.0	=	1
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	1	x	1.8	=	1.8
Toilet, High Efficiency (HET)	4	x	1.3	=	5.2
Toilet, Ultra High Efficiency (UHET)		x	0.8	=	
Urinal, Pint (0.125 gallon maximum)		x	0.1	=	
Urinal, Zero Water Consumption		x	0.0	=	
Masterbath (one per Dwelling): Tub & Shower Stall*		x	3.0	=	
Large Bathtub (may have Showerhead above)		x	3.0	=	
Standard Bathtub or Shower Stall (one head)	4	x	2.0	=	8
Shower, each additional (heads, body spray, etc)		x	2.0	=	
Shower system, Rain Bar/ Custom Shower (specs)		x	2.0	=	
Kitchen Sink (with optional Dishwasher)		x	2.0	=	
Kitchen Sink with High Efficiency Dishwasher	1	x	1.5	=	1.5
Dishwasher, each additional (with optional sink)		x	2.0	=	
Dishwasher, High Efficiency (with opt. sink)		x	1.5	=	
Laundry Sink/Utility Sink (one per Site)		x	2.0	=	
Clothes Washer		x	2.0	=	
Clothes Washer, (HEW) 5.0 water factor or less	1	x	1.0	=	1
Bidet		x	2.0	=	
Bar Sink	1	x	1.0	=	1
Entertainment Sink		x	1.0	=	
Vegetable Sink		x	1.0	=	
Instant-Access-Hot-Water System (fixture credit)	1	x	-0.5	=	-0.5
Subtotal proposed indoor fixtures					23
New Connection - Refer to District Rule 24-A5 "Exterior Residential Water Demand Calculations"		x		=	
Swimming Pool (each 100 sq-ft of pool surface)		x	1.0	=	

PROPOSED FIXTURE UNIT COUNT **TOTAL** = **23**

A-N.2

VERSION: 4.1 PLN/BLD

DATE: 8/18/23

CAL GREEN, BMP'S, MPWMD

REV #	DATE / DESCRIPTION	BY
	08/25/22 BLDG RF#2: FORESTER	ER
	06/21/23 PLN/BLD COM#3	ER
	08/18/23 PLN/BLDG RF#3	ER

HOMRIG RESIDENCE

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED ON THESE PLANS ARE THE PROPERTY OF LEWIS BUILDERS AND ARE NOT TO BE USED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT OF LEWIS BUILDERS. ALL ATTEMPTS HAVE BEEN MADE TO FASHION THESE PLANS TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY DISCREPANCIES ARE FOUND TO EXIST OR CIRCUMSTANCES ARISE IT'S THE RESPONSIBILITY OF THE OWNER OR THE GENERAL CONTRACTOR TO NOTIFY LEWIS BUILDERS IN WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION RELATED TO THE DISCREPANCY.

LEWIS BUILDERS
CA. LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWIS BUILDERS DESIGN BUILD

FIRE DEPARTMENT NOTES

PL03.1 DRIVEWAYS. (FIRE 007). DRIVEWAY IDENTIFIED IN THIS SECTION IS DEFINED AS A VEHICLE ACCESS THAT SERVES UP TO TWO (2) PARCELS WITH NO MORE THAN TWO (2) RESIDENTIAL UNITS AND ANY NUMBER ON NON-COMMERCIAL OR INDUSTRIAL BUILDINGS ON EACH PARCEL. DRIVEWAYS SHALL NOT BE LESS THAN TWELVE (12) FEET WIDE TRAFFIC LANE AND MINIMUM FOURTEEN (14) FEET WIDE UNOBSTRUCTED CLEARANCE, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN FIFTEEN (15) FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED FIFTEEN PERCENT (15%) WITH A MAXIMUM SIDE SLOPE OF FIVE PERCENT (5%). WHERE DRIVEWAY GRADES ARE EIGHT PERCENT (8%) OR LESS, AN ALL-WEATHER SURFACE SUCH AS AN AGGREGATE BASE SHALL MEET MINIMUM FIRE REQUIREMENTS. OTHER TYPES OF MATERIAL FOR DRIVEWAYS MAY BE REQUIRED BY MONTEREY COUNTY CODE. WHERE THE GRADE EXCEEDS EIGHT PERCENT (8%), A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS FORTY THOUSAND (40,000) POUNDS, AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS NINETY (90) DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE TWENTY-FIVE (25) FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN NINETY (90) DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE TWENTY-EIGHT (28) FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF FOUR (4) FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING ONE HUNDRED FIFTY (150) FEET IN LENGTH, BUT LESS THAN EIGHT HUNDRED (800) FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS EIGHT HUNDRED (800) FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN FOUR HUNDRED (400)-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF TWELVE (12) FEET WIDE AND THIRTY (30) FEET LONG WITH A MINIMUM OF TWENTY (25) FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF ONE HUNDRED FIFTY (150) FEET OF SURFACE LENGTH AND SHALL BE THIRTY (30) FEET LONG WITH A MINIMUM TWENTY-FIVE (25) FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF ONE HUNDRED FIFTY (150) FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN FIFTY (50) FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE FORTY (40) FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD/T IS USED, THE TOP OF THE " T" SHALL BE A MINIMUM OF SIXTY (60) FEET IN LENGTH.

P103.2 GATES. (FIRE 008). ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST THIRTY (30) FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST TWO (2) FEET WIDER THAN THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE BE LESS THAN FOURTEEN (14) FEET WIDE UNOBSTRUCTED AND UNOBSTRUCTED VERTICAL CLEARANCE OF FIFTEEN (15) FEET. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A FORTY (40) FOOT TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.

P103.3 BRIDGES. (FIRE 009). ALL NEW AND RECONSTRUCTED BRIDGES SHALL BE AT LEAST THE WIDTH OF THE ROADBED AND BERMS, BUT IN NO CASE LESS THAN TWELVE (12) FEET WIDE. BRIDGE WIDTH ON ALL ROADS EXCEEDING TERTIARY STANDARDS SHALL NOT BE LESS THAN THE WIDTH OF THE TWO LANES WITH BERMS. ALL BRIDGES SHALL BE DESIGNED FOR HS15-44 LOADING AND HAVE GUARDRAILS. APPROPRIATE SIGNAGE, INCLUDING BUT NOT LIMITED TO, WEIGHT RATINGS OR VERTICAL CLEARANCE LIMITATIONS, AND ONE-WAY ROAD OR SINGLE-LANE ROAD CONDITIONS, SHALL BE PROVIDED AT BOTH ENTRANCES TO ANY BRIDGE. ONE-LANE BRIDGES MAY BE PERMITTED IF THERE IS UNOBSTRUCTED VISIBILITY ACROSS THE ENTIRE BRIDGE, AND TURNOUTS ARE PROVIDED AT BOTH BRIDGE ENDS. THE FIRE AUTHORITY MAY IMPOSE MORE STRINGENT REQUIREMENTS FOR BRIDGES.

P104.2 ADDRESSES FOR BUILDINGS. (FIRE 011). ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS. EACH OCCUPANCY, INCLUDING DETACHED ACCESSORY DWELLING UNITS (ADU), EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF FOUR-INCH (4") HEIGHT, 1/2- INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

P109.1 STANDARD DEFENSIBLE SPACE REQUIREMENTS. (FIRE O19). REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF ONE HUNDRED (1 00) FEET OR TO THE PROPERTY LINE FROM STRUCTURES, WHICHEVER IS CLOSER. VEGETATION SHALL BE NO TALLER THAN FOUR INCHES (4") HIGH. LIMB TREES SIX FEET UP FROM GROUND. REMOVE LIMBS WITHIN TEN (10) FEET OF CHIMNEYS. ADDITIONAL OR ALTERNATE FIRE PROTECTION APPROVED BY THE FIRE CODE OFFICIAL MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY THE FIRE CODE OFFICIAL AND OTHER JURISDICTIONAL AUTHORITIES.

P110.1 RESIDENTIAL FIRE SPRINKLER SYSTEMS (STANDARD). (FIRE 021). THE BUILDING(S) AND ATTACHED STRUCTURE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

PLL0.4 RESIDENTIAL FIRE ALARM SYSTEMS. (FIRE 024). THE RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NFPA 72. PLANS AND SPECIFICATIONS FOR THE HOUSEHOLD FIRE WARNING SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. HOUSEHOLD FIRE WARNING SYSTEMS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE CALIFORNIA RESIDENTIAL CODE SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA RESIDENTIAL CODE.

Q103.2 VERY HIGH HAZARD SEVERITY ZONE. (FIRE 027). ROOFING REQUIREMENTS FOR EXISTING BUILDINGS WITHIN A VERY HIGH HAZARD SEVERITY ZONE WHEN FIFTY PERCENT (50%) OR MORE OF THE ROOF AREA IS REROOFED WITHIN A ONE-YEAR PERIOD AFTER THE ISSUANCE OF A BUILDING PERMIT SHALL BE A MINIMUM CLASS "A" ROOF ASSEMBLY AS DEFINED BY THE INTERNATIONAL BUILDING CODE. WHERE THERE IS NO PERMIT ISSUED, THIS SECTION IS APPLICABLE TO SUCH BUILDINGS CONSTRUCTED AFTER THE EFFECTIVE DATE OF THIS CODE AND TO BUILDINGS WHERE FIFTY PERCENT (50%) OR MORE OF THE ROOF AREA IS REROOFED WITHIN A ONE-YEAR PERIOD AFTER COMMENCING CONSTRUCTION.

GENERAL ARCHITECTURAL NOTES

GENERAL NOTES:
1 THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK.
2 WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.
3 ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
4 WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
5 PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:
1 HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES.
2 SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
3 ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.
4 ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

CALIFORNIA GREEN BUILDING NOTES:
1 SEPERATE AND RECYCLE ATLEAST 65% OF ALL CONSTRUCTION WASTE.
2 ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET FORTH IN TABLE 4.504.1, TABLE 4.504.2 AND TABLE 4.504.3.
3 CANTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON REQUEST.
4 AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

CONCRETE NOTES:
1 ALL CONCRETE AND REINFORCEMENT SHALL CONFORM TO THE MORE STRINGENT REQUIREMENTS OF THE LATEST EDITION OF EITHER THE A.C.I., C.R.C., OR C.B.C.
2 ALL CONCRETE SHALL ATTAIN A MINIMUM STRENGTH OF 2500 P.S.I. IN 28 DAYS U.N.O. DESIGN MIXTURE SHALL BE 5-1/2 SACK CEMENT PER CUBIC YARD CONCRETE. COARSE AGGREGATE SHALL BE 3/4" U.N.O. THE USE OF A DESIGN PUMP MIXTURE MAY BE SUBSTITUTED IF THE CEMENT RATIO IS INCREASED TO 6 SACKS U.N.O.
3 ALL CEMENT SHALL BE PORTLAND TYPE I OR TYPE II OF A.S.T.M. (C-150)
4 THERE SHALL BE NO ADMIXTURES USED UNLESS SPECIFIED OR APPROVED BY THE ENGINEER.
5 ALL CONCRETE SHALL BE VIBRATED AND PLACED IN ACCORDANCE WITH A.S.T.M. (C-143) U.N.O.
6 ALL CONCRETE SHALL BE CURED BY KEEPING THE EXPOSED SURFACES CONTINUOUSLY MOIST FOR A 7 DAY PERIOD AND BY USING AN APPROVED CURING COMPOUND AFTER 7 DAY WET CURE.
7 ALL CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
8 SLABS SHALL NOT EXCEED 20' IN ANY DIRECTION WITHOUT A CONTROL JOINT PERPENDICULAR TO THAT DIRECTION U.N.O.
9 THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF: CONCRETE WHICH SHOWS HONEYCOMBING, SPALLING, CRACKING, OR OTHER SIGNS OF INADEQUATE STRENGTH; LACK, MISPLACEMENT, OR UNDER SIZING OF ANCHOR HARDWARE. ANY UNCERTAINTY ABOUT HARDWARE OR REINFORCEMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PLACING OF CONCRETE.
10 THE BUILDING INSPECTOR AND, WHEN SPECIFIED, ENGINEER SHALL INSPECT REINFORCEMENT AND HARDWARE BEFORE CONCRETE IS PLACED.
11 ALL FALSEWORK AND FORMING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. FALSEWORK MUST STAY IN PLACE UNTIL CONCRETE REACHES A STRENGTH OF 2000 P.S.I.
12 CONCRETE CYLINDER SAMPLES SHOULD BE TAKEN THROUGHOUT EACH STAGE OF THE FOUNDATION PLACEMENT AND TESTED FOR COMPRESSIVE STRENGTH WHERE MINIMUM REQUIRED STRENGTH IS GREATER THAN 2500 P.S.I
13 ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
14 HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
15 ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER

STRUCTURAL HARDWARE:
1 ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
2 HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
3 ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER.

CARPENTRY:
1 SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR ICF SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL CONFORM TO CBC 2304.10.1.
2 PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
3 GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:
4 PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER may VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

SECTION R311 MEANS OF EGRESS

R311.1 MEANS OF EGRESS DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R311.2 EGRESS DOOR NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.

R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.

R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.

R311.3.3 STORM AND SCREEN DOORS STORM AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER EXTERIOR STAIRS AND LANDINGS.

R311.4 VERTICAL EGRESS EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTICS AND BASEMENTS THAT ARE NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R311.2 SHALL BE BY ONE OR MORE RAMPS IN ACCORDANCE WITH SECTION R311.8 OR ONE OR MORE STAIRWAYS IN ACCORDANCE WITH SECTION R311.7 OR BOTH. FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (15 240 MM).

R311.5 LANDING, DECK, BALCONY AND STAIR CONSTRUCTION AND ATTACHMENT EXTERIOR LANDINGS, DECKS, BALCONIES, STAIRS AND SIMILAR FACILITIES SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES OR SHALL BE DESIGNED TO BE SELF-SUPPORTING. ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL.

R311.6 HALLWAYS THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 3 FEET (914 MM).

R311.7 STAIRWAYS R311.7.1 WIDTH STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 311/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES. EXCEPTION: THE WIDTH OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.

R311.7.2 HEADROOM THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. EXCEPTIONS:
1 WHERE THE NOSINGS OF TREADS AT THE SIDE OF A FLIGHT EXTEND UNDER THE EDGE OF A FLOOR OPENING THROUGH WHICH THE STAIR PASSES, THE FLOOR OPENING SHALL NOT PROJECT HORIZONTALLY INTO THE REQUIRED HEADROOM MORE THAN 43/4 INCHES (121 MM).
2 THE HEADROOM FOR SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.

R311.7.3 VERTICAL RISE A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 151 INCHES (3835 MM) BETWEEN FLOOR LEVELS OR LANDINGS.

R311.7.4 WALKLINE THE WALKLINE ACROSS WINDER TREADS AND LANDINGS SHALL BE CONCENTRIC TO THE TURN AND PARALLEL TO THE DIRECTION OF TRAVEL ENTERING AND EXITING THE TURN. THE WALKLINE SHALL BE LOCATED 12 INCHES (305 MM) FROM THE INSIDE OF THE TURN. THE 12-INCH (305 MM) DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE. WHERE WINDERS ARE ADJACENT WITHIN A FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED.

R311.7.5 STAIR TREADS AND RISERS STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION. FOR THE PURPOSES OF THIS SECTION, DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RUNNERS.

R311.7.5.1 RISERS THE RISER HEIGHT SHALL BE NOT MORE THAN 73/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW SHALL NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE. EXCEPTIONS:
1 THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON SPIRAL STAIRWAYS.
2 THE RISER HEIGHT OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.

R311.7.5.2 TREADS THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

R311.7.5.2.1 WINDER TREADS WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES (254 MM) MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES (152 MM) AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH (9.5 MM). CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND SHALL NOT BE REQUIRED TO BE WITHIN 3/8 INCH (9.5 MM) OF THE RECTANGULAR TREAD DEPTH. EXCEPTION: THE TREAD DEPTH AT SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.

R311.7.5.3 NOSINGS NOSINGS AT TREADS, LANDINGS AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER THAN 9/16 INCH (14 MM) OR A BEVEL NOT GREATER THAN 1/2 INCH (12.7 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19 MM) AND NOT MORE THAN 11/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) WITHIN A STAIRWAY. EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11 INCHES (279 MM). R311.7.5.4 EXTERIOR PLASTIC COMPOSITE STAIR TREADS PLASTIC COMPOSITE EXTERIOR STAIR TREADS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION AND SECTION R507.2.2.

R311.7.6 LANDINGS FOR STAIRWAYS THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. FOR LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR, THE DEPTH AT THE WALK LINE AND THE TOTAL AREA SHALL BE NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM). EXCEPTION: A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED THAT A DOOR DOES NOT SWING OVER THE STAIRS. R311.7.7 STAIRWAY WALKING SURFACE THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN ONE UNIT VERTICAL IN 48 INCHES HORIZONTAL (2-PERCENT SLOPE).

R311.7.8 HANDRAILS HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.

R311.7.8.1 HEIGHT HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM). EXCEPTIONS:
1 THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
2 WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITIONS AT WINDER TREADS, THE TRANSITION FROM HANDRAIL TO GUARD, OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED 38 INCHES (965 MM).

R311.7.8.2 HANDRAIL PROJECTION HANDRAILS SHALL NOT PROJECT MORE THAN 41/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY. EXCEPTION: WHERE NOSINGS OF LANDINGS, FLOORS OR PASSING FLIGHTS PROJECT INTO THE STAIRWAY REDUCING THE CLEARANCE AT PASSING HANDRAILS, HANDRAILS SHALL PROJECT NOT MORE THAN 61/2 INCHES (165 MM) INTO THE STAIRWAY, PROVIDED THAT THE STAIR WIDTH AND HANDRAIL CLEARANCE ARE NOT REDUCED TO LESS THAN THAT REQUIRED.

R311.7.8.3 HANDRAIL CLEARANCE HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 11/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.

R311.7.8.4 CONTINUITY HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. EXCEPTIONS:
1 HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT WITH WINDERS, AT A LANDING, OR OVER THE LOWEST TREAD.
2 A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED TO TERMINATE OVER THE LOWEST TREAD.

R311.7.8.5 GRIP SIZE REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.
1 TYPE I. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 11/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4 INCHES (102 MM) AND NOT GREATER THAN 61/4 INCHES (160 MM) AND A CROSS SECTION OF NOT MORE THAN 21/4 INCHES (57 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).
2 TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 61/4 INCHES (160 MM) SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 5/16 INCH (8 MM) WITHIN 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/8 INCH (10 MM) TO A LEVEL THAT IS NOT LESS THAN 13/4 INCHES (45 MM) BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 11/4 INCHES (32 MM) AND NOT MORE THAN 23/4 INCHES (70 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).

R312.1.3 OPENING LIMITATIONS REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER.

SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. EXCEPTIONS:
1 STORM SHELTERS AND BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT EXCEEDING A TOTAL FLOOR AREA OF 200 SQUARE FEET (18.58 M2).
2 WHERE THE DWELLING OR TOWNHOUSE IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION P2904, SLEEPING ROOMS IN BASEMENTS SHALL NOT BE REQUIRED TO HAVE EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THAT THE BASEMENT HAS ONE OF THE FOLLOWING:
1 2.1. ONE MEANS OF EGRESS COMPLYING WITH SECTION R311 AND ONE EMERGENCY ESCAPE AND RESCUE OPENING.
2 2.2. TWO MEANS OF EGRESS COMPLYING WITH SECTION R311.

R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090.

R310.2 EMERGENCY ESCAPE AND RESCUE OPENINGS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1 MINIMUM OPENING AREA EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM). EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET (0.465 M2). R310.2.2 WINDOW SILL HEIGHT WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

A-N.3

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GENERAL NOTES, FIRE DEPT NOTES

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
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	06/21/23 PLN/BLD CO#3	ER			
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