



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 23161

Owner Name: MISSION STREET OFFICE LLC

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 01/21/2025

Project Location: 25987 Mission Street

APN #: 009353012000 **BLOCK/LOT:** 1/17

Applicant: Brittney Schloss, Agent on behalf of Thomas Bateman Hood, Architect

Project Description: Approval of a 12-month Time Extension for Design Study approval, DS 23-161 (Mission Street Office, LLC) for exterior restoration and in-kind repairs to the historic Mark Mills House located at 25987 Mission Street. If no appeals are filed, the new permit expiration will be Monday, November 24, 2025.

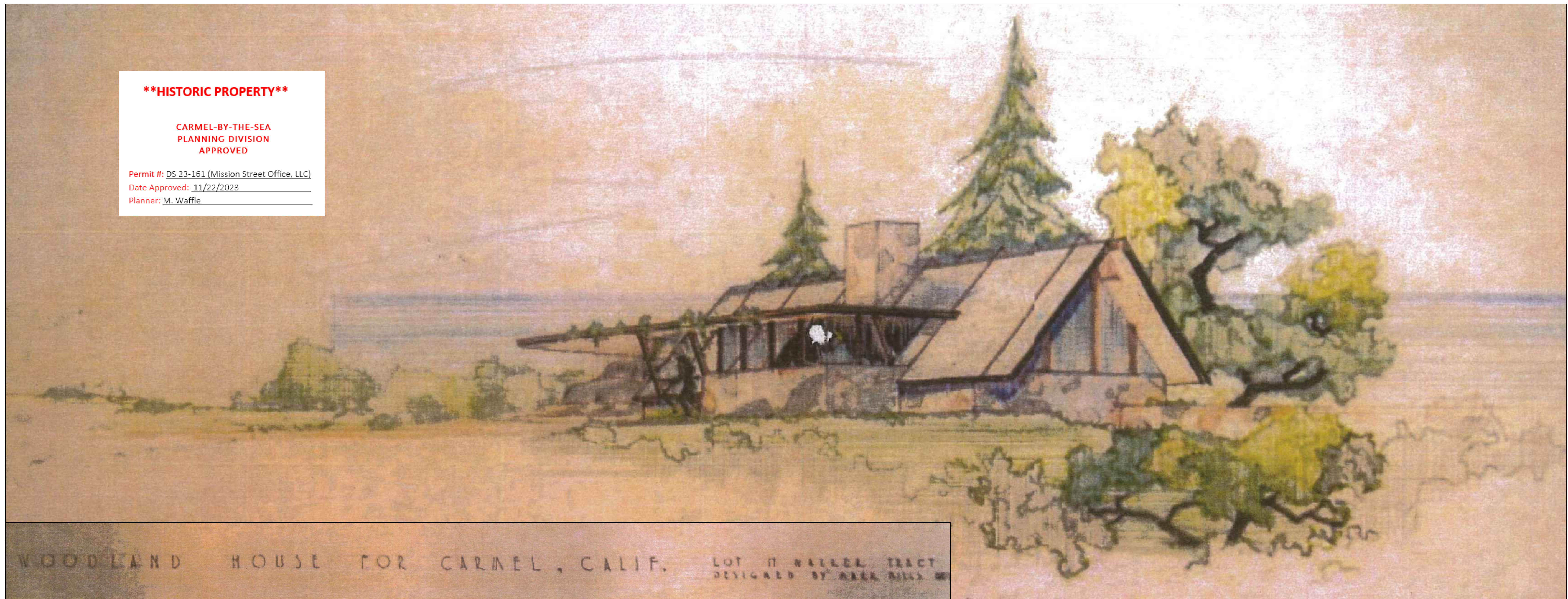
Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

****HISTORIC PROPERTY****

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 23-161 (Mission Street Office, LLC)
Date Approved: 11/22/2023
Planner: M. Waffle



MARK MILLS ORIGINAL SKETCH RENDERING



1953 ORIGINAL HOUSE PICTURES COLORED



CONSULTANTS

ARCHITECT: THOMAS BATEMAN HOOD
27880 DORRIS DRIVE, SUITE 200
CARMEL, CA 93923
415-509-7836
TOM@T-HOOD.COM
LIC # 019470

LANDSCAPE ARCHITECT: GREENLE & ASSOCIATES
284 VISITACION AVENUE
BRISBANE, CA 94005
415-468-1961
JULIANA@GREENLEEMEADOWS.COM

STRUCTURAL: MAYONE STRUCTURAL ENGINEERING, INC.
STEVEN MAYONE SE4459
187-B EL DORADO
MONTEREY, CA 93940
831-372-4455
MAYONESTRUCTURE.COM

CIVIL: C3 ENGINEERING, INC.
FRANK CAMPOS
126 BONIFACIO PLACE, SUITE C
MONTEREY, CA 93940
831-647-1192
MAIL@C3ENGINEERING.COM

PROJECT DESCRIPTION

RESTORATION TO AN EXISTING HISTORIC SINGLE FAMILY RESIDENCE. NO GRADING TO OCCUR BEYOND THE EXCAVATION TO WATERPROOF FOUNDATIONS. NO TREE REMOVAL IS BEING PROPOSED IN THIS APPLICATION.
MATERIALS WITHIN THE SCOPE OF THE PROJECT GENERALLY INCLUDE THE FOLLOWING SCOPE OF WORK:

- REMOVE CIRCA 2008 GLASS RAIL AND POSTS;
- REMOVE CIRCA 2008 SPIRAL STAIR;
- RESTORE PAINTING TO MATCH ORIGINAL COLORS;
- REINFORCE CARPORT STRUCTURE;
- COMPLETE AND RE-INSULATE FLAT ROOF;
- REMODEL GLASS WALL AND SKYLIGHT AT EAST ELEVATION;
- REPAIR WOOD PERIMETER FENCER TO MATCH WOOD SIDING AND BATTENS ON INSIDE FENCE ALONG MISSION STREET SIDE AND PORTION OF SOUTH PROPERTY LINE;
- RE-ROOF GABLE ROOF WITH A METAL "BERMUDA" STYLE ROOF THAT IS EVOCATIVE OF THE ORIGINAL (HISTORIC) METAL ROOF;
- REPLACE EXISTING SKYLIGHTS;
- MODIFY (NON-HISTORIC) REAR WALL OF CARPORT FOR NEW MECHANICAL AND ELECTRICAL EQUIPMENT. MATCH ORIGINAL REDWOOD SIDING;
- PROVIDE TRACK AND MECHANISM TO OPERATE THE EXISTING DRIVEWAY GATE (ORIGIN DATE UNKNOWN - NON ORIGINAL);
- RESTORE FASCIA, WOOD SIDING AND WINDOWS TO MATCH ORIGINAL REDWOOD (UNPAINTED, HISTORIC);
- REPLACE SINGLE GLAZED WINDOWS GLASS WITH 3/8" LOW E, INSULATING GLASS;
- REPLACE WINDOW SILLS AND JAMBS AT NORTH AND SOUTH GABLE ENDS WITH IDENTICAL REDWOOD UNITS WITH SILL FLASHING FOR WATER INTRUSION AT CONCRETE SILLS;
- WATERPROOF BELOW GRADE CONCRETE FOUNDATIONS AND INSTALL PERIMETER SUB-DRAINS TO DISPERSION TANKS.

SHEET INDEX

SITE	PROPOSED ROOF PLAN	STUDIO
A0.0 TITLE SHEET	A2.4 EXISTING ELEVATIONS	A7.1 EXISTING FLOOR PLAN
SU1.0 SURVEY	A3.0 EXISTING ELEVATIONS	A7.2 DEMOLITION & PROPOSED FLOOR PLANS
A1.0 PROPOSED SITE PLAN, GRADING & DRAINAGE	A3.1 WINDOW ELEVATIONS	A7.3 EXISTING/PROPOSED ROOF PLANS & SECTIONS
	A3.2 WINDOW SCHEDULE	A8.1 EXISTING ELEVATIONS
	A3.3 DOOR & SKYLIGHTS SCHEDULES	A8.2 PROPOSED ELEVATIONS
	A3.4 EXISTING DOOR & WINDOWS CONDITIONS	A8.3 EXISTING WINDOWS, DOORS & SKYLIGHT SCHEDULES
	A4.0 EXISTING FLAT ROOF, CARPORT & ENTRYWAY	A8.4 EXISTING WINDOWS, DOORS & SKYLIGHT CONDITIONS
	A4.1 EXISTING GLASS ROOM	A8.5 PROPOSED WINDOWS & DOORS
	A4.2 PROPOSED GLASS ROOM	
	A5.0 ROOF DETAILS	
	A5.1 ROOF DETAILS	
	A5.2 ROOF DETAILS	
	A5.3 ROOF DETAILS	
	A5.4 ROOF DETAILS	
	A6.0 SPECIFICATIONS	

THOMAS BATEMAN HOOD
27880 Dorris Drive, Suite 200
Carmel, California 93923
831 - 652 - 0012
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
Restoration, interior remodel and alterations to single family residence and studio at:

25987 Mission Street
Carmel, CA 93923
APN: 009-353-012
Block 1, Lot 17

OWNER:
Mission Street Office LLC
350 S. Grand Avenue, Suite 2000
Los Angeles, CA 90071
accountspayablesastgroup.org

Ynez Arce
ynez@shastagroup.com

REVISIONS:

△	
△	
△	
△	
△	
△	

OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS
The drawings, specifications and other documents prepared by the architect for this project are instrumentals of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: **JC**

PRINT DATE: **05/12/23**

DRAWING DATE: **05/12/23**

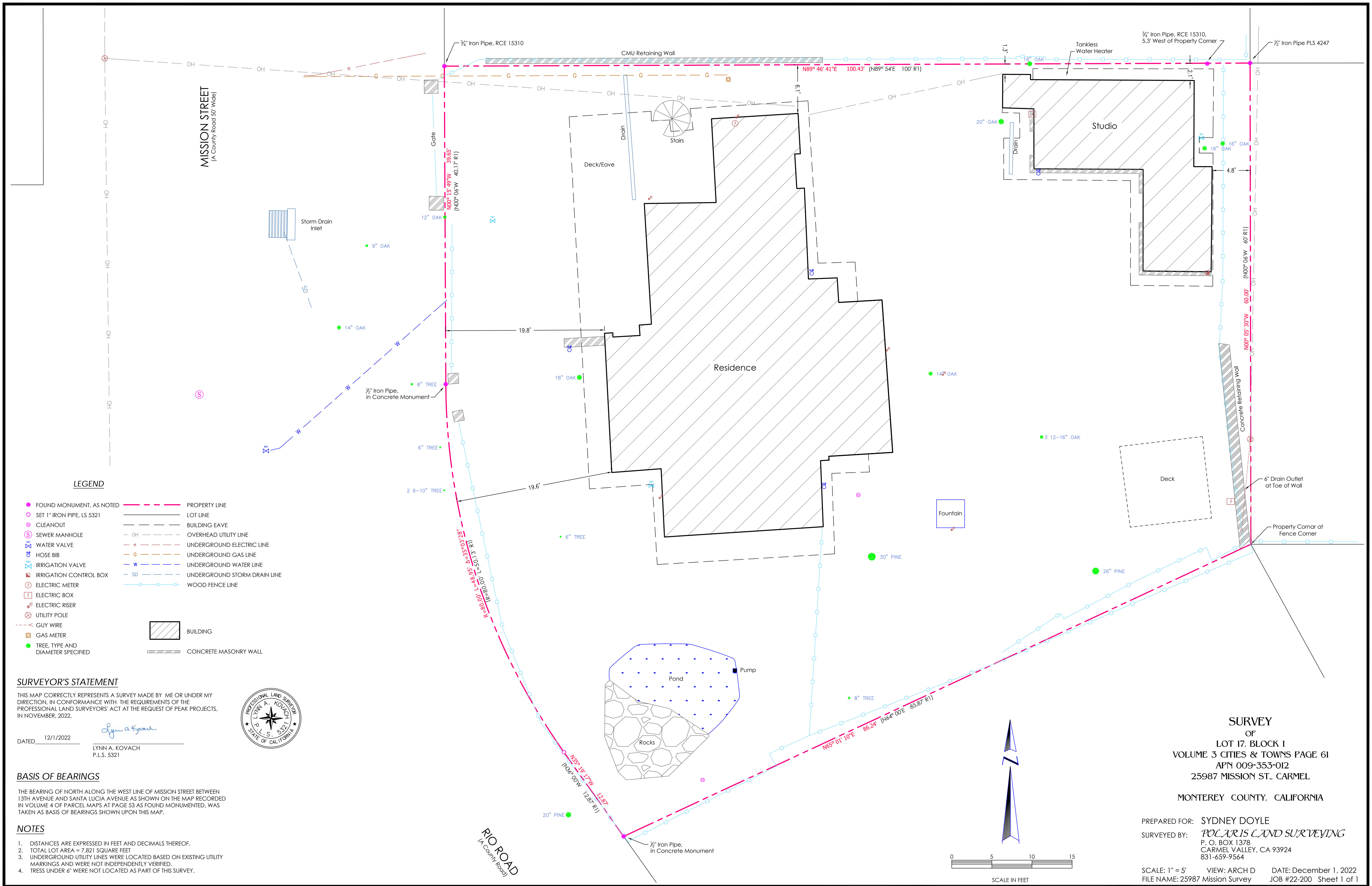
PAGE TITLE:

TITLE SHEET

SCALE: NTS

SHEET:

A0.0



LEGEND

- FOUND MONUMENT, AS NOTED
- SET 1" IRON PIPE, LS 5321
- CLEANOUT
- ⊙ SEWER MANHOLE
- ⊕ WATER VALVE
- ⊕ HOSE BIB
- ⊕ IRRIGATION VALVE
- ⊕ IRRIGATION CONTROL BOX
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC BOX
- ⊕ ELECTRIC RISER
- ⊕ UTILITY POLE
- GUY WIRE
- ⊕ GAS METER
- TREE, TYPE AND DIAMETER SPECIFIED
- PROPERTY LINE
- LOT LINE
- BUILDING EAVE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- UNDERGROUND STORM DRAIN LINE
- WOOD FENCE LINE
- ▨ BUILDING
- ▨ CONCRETE MASONRY WALL

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF PEAK PROJECTS, IN NOVEMBER, 2022.

DATED 12/1/2022

Lynn A. Kovach
 LYNN A. KOVACH
 P.L.S. 5321



BASIS OF BEARINGS

THE BEARING OF NORTH ALONG THE WEST LINE OF MISSION STREET BETWEEN 13TH AVENUE AND SANTA LUCIA AVENUE AS SHOWN ON THE MAP RECORDED IN VOLUME 4 OF PARCEL MAPS AT PAGE 53 AS FOUND MONUMENTED, WAS TAKEN AS BASIS OF BEARINGS SHOWN UPON THIS MAP.

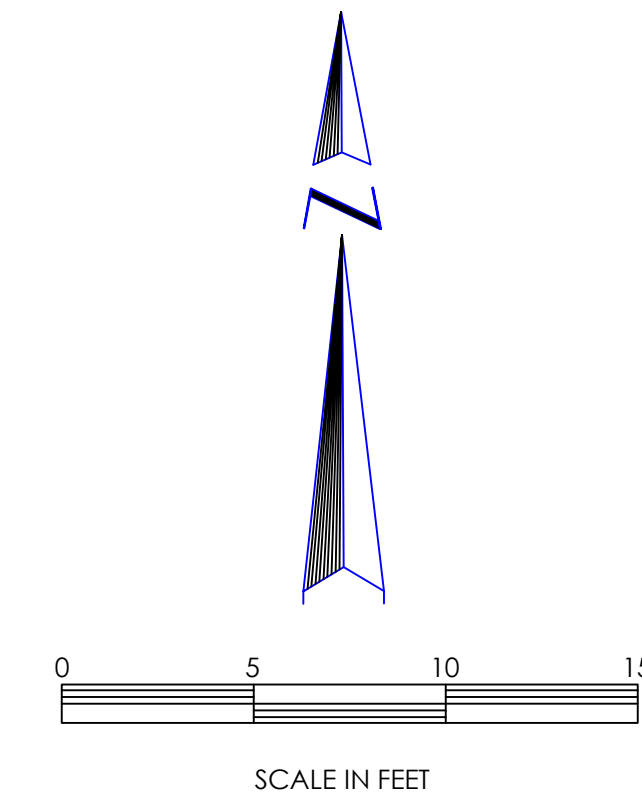
NOTES

1. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
2. TOTAL LOT AREA = 7,821 SQUARE FEET
3. UNDERGROUND UTILITY LINES WERE LOCATED BASED ON EXISTING UTILITY MARKINGS AND WERE NOT INDEPENDENTLY VERIFIED.
4. TREES UNDER 6" WERE NOT LOCATED AS PART OF THIS SURVEY.

SURVEY
 OF
 LOT 17, BLOCK 1
 VOLUME 3 CITIES & TOWNS PAGE 61
 APN 009-353-012
 25987 MISSION ST., CARMEL
 MONTEREY COUNTY, CALIFORNIA

PREPARED FOR: SYDNEY DOYLE
 SURVEYED BY: *POCARIS LAND SURVEYING*
 P. O. BOX 1378
 CARMEL VALLEY, CA 93924
 831-659-9564

SCALE: 1" = 5' VIEW: ARCH D DATE: December 1, 2022
 FILE NAME: 25987 Mission Survey JOB #22-200 Sheet 1 of 1



RIO ROAD
 (A County Road)

THOMAS BATEMAN HOOD
 27880 Dorris Drive, Suite 200
 Carmel, California 93923
 831-652-0012
 tom@thomasbaumhood.com
 www.thomasbaumhood.com

PROJECT:
 Restoration, interior remodel and alterations to single family residence and studio at

25987 Mission Street
 Carmel, CA 93923
 APN: 009-353-012
 Block 1, Lot 17

OWNER:
 Mission Street Office LLC
 350 S. Grand Avenue, Suite 2000
 Los Angeles, CA 90071
 accountspayables@shastagroup.org
 Ynez Arce
 ynez@shastagroup.com

REVISIONS:

OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS
 The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications and other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

DRAWN BY: FC, TH

PRINT DATE: 05/12/23

DRAWING DATE: 05/12/23

PAGE TITLE:

PROPOSED SITE PLAN, GRADING & DRAINAGE

SCALE: 1" = 5'-0"

SHEET:

A1.0



HATCH LEGEND

- AC PAVEMENT, (SEE A/C4)
- CONCRETE PAVEMENT, (SEE B/C4)
- LANDSCAPE, (SEE LANDSCAPE ARCHITECT'S PLANS)

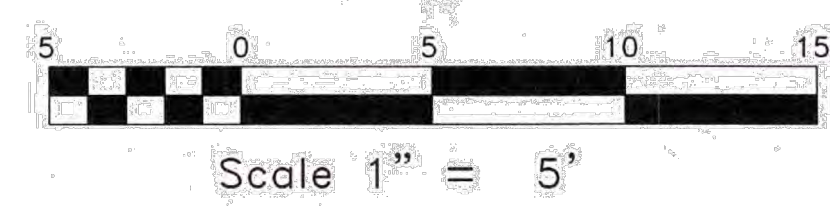
KEY NOTES

- ① FOUNDATION DRAIN (SEE H/C3)
- ② FOUNDATION DRAIN (SEE I/C3)
- ③ FLO-WELL (SEE J/C3)
- ④ POP-UP EMITTER (SEE L/C3)

1/2" IRON PIPE IN CONCRETE MONUMENT

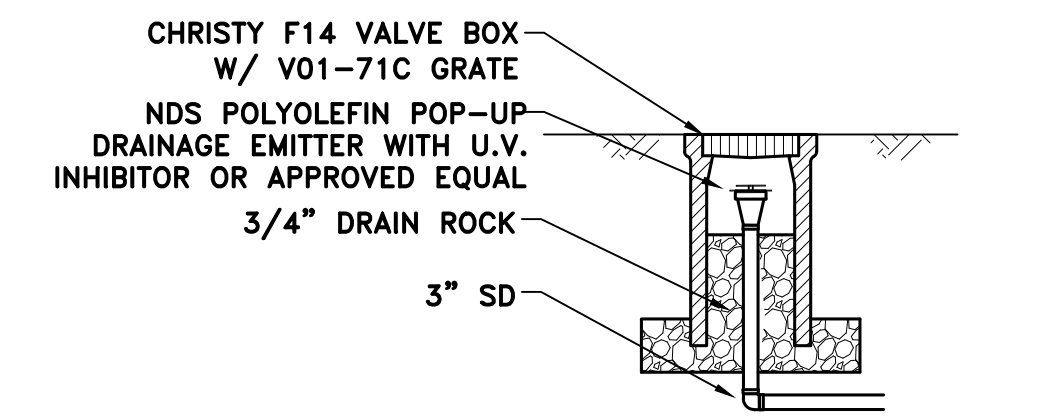
6" DEEP PVC PIPE - 6" DIA. DRAINAGE

GRADING & DRAINAGE
 1" = 5'

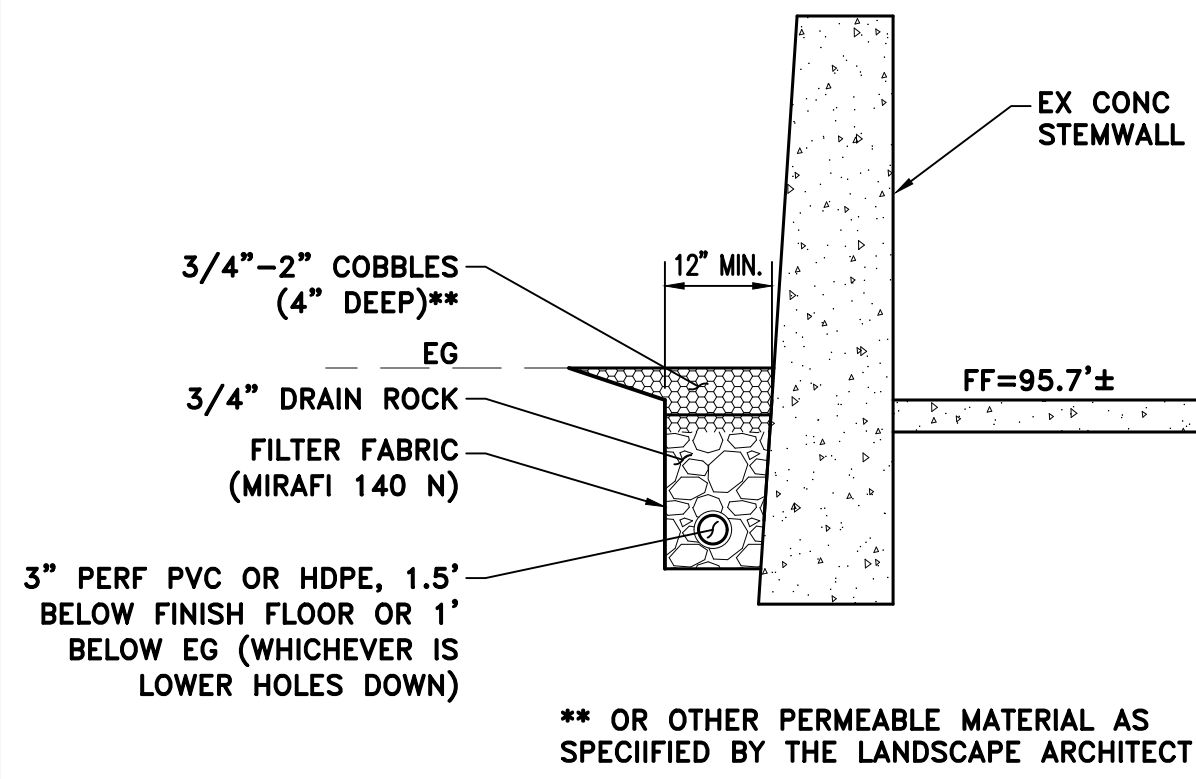


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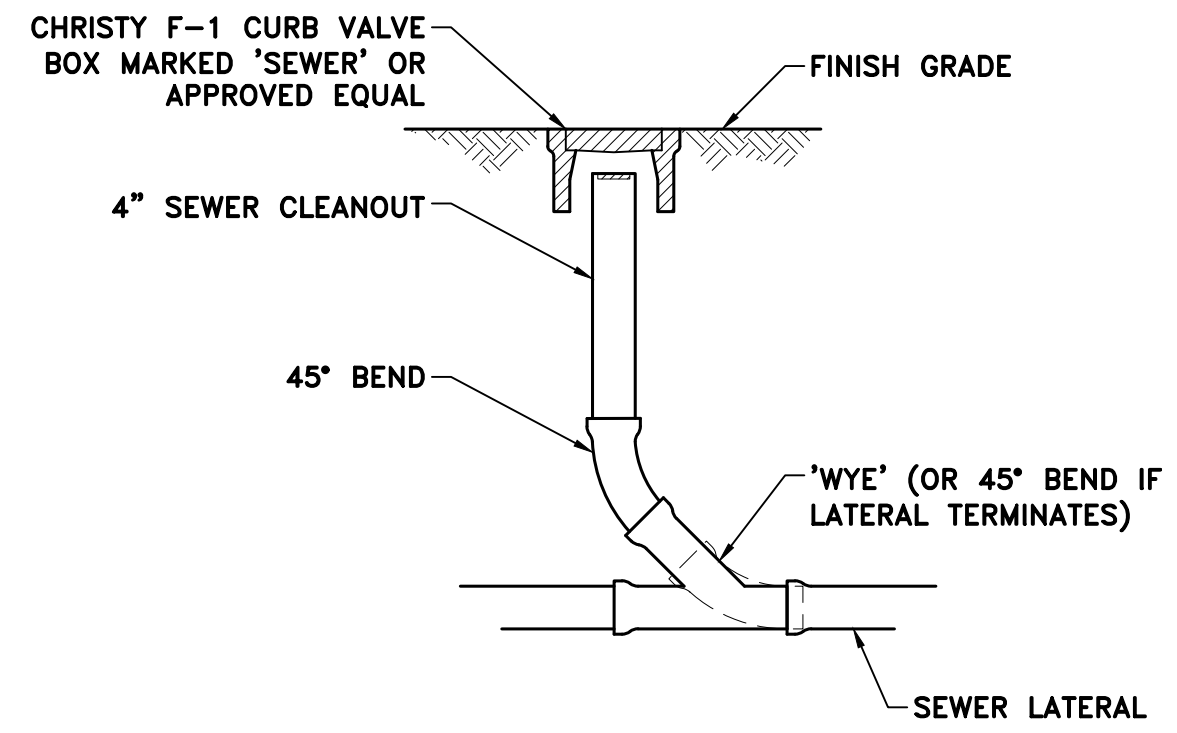
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 Plotted: Apr 25, 2023 - 2:38pm



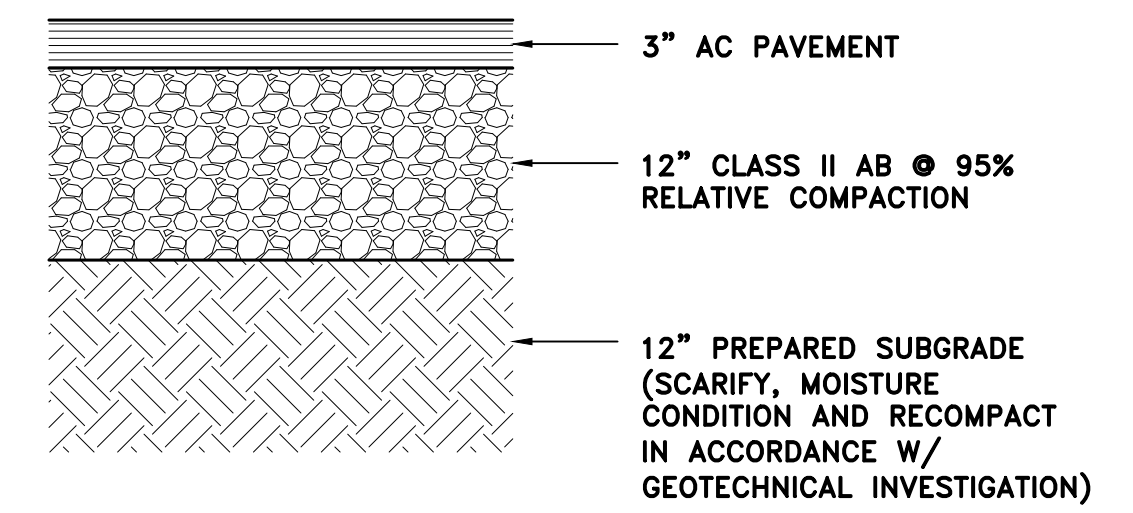
L
 C3 **BUBBLE UP**
 NTS



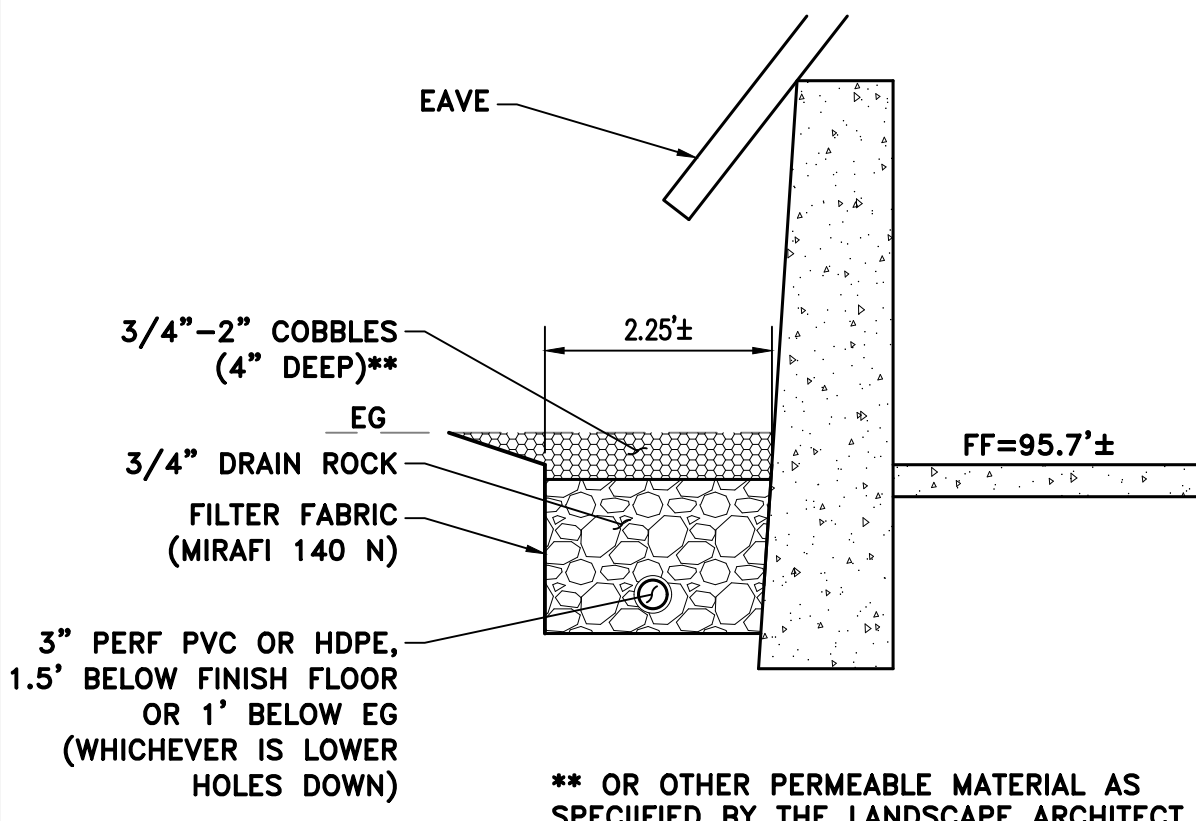
H
 C3 **FOUNDATION DRAIN**
 NTS



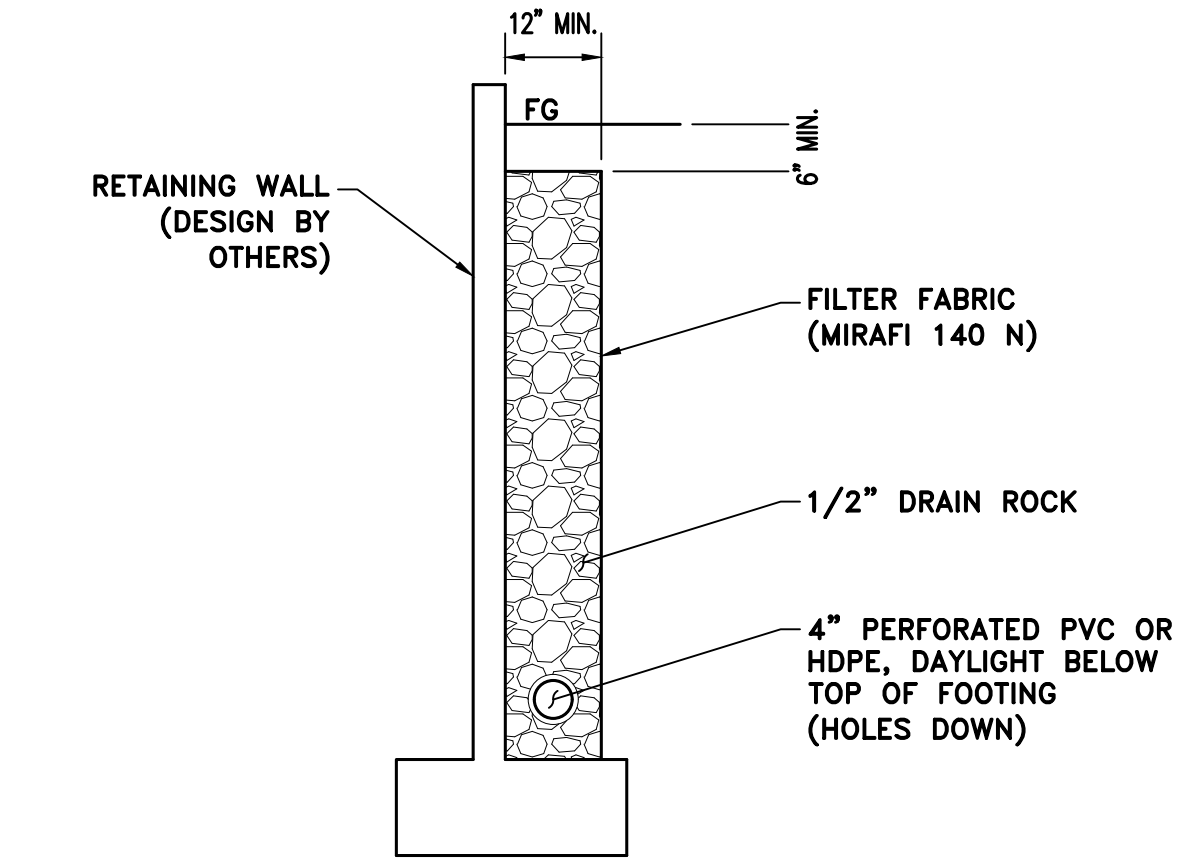
E
 C3 **CLEAN-OUT @ GRADE**
 NTS



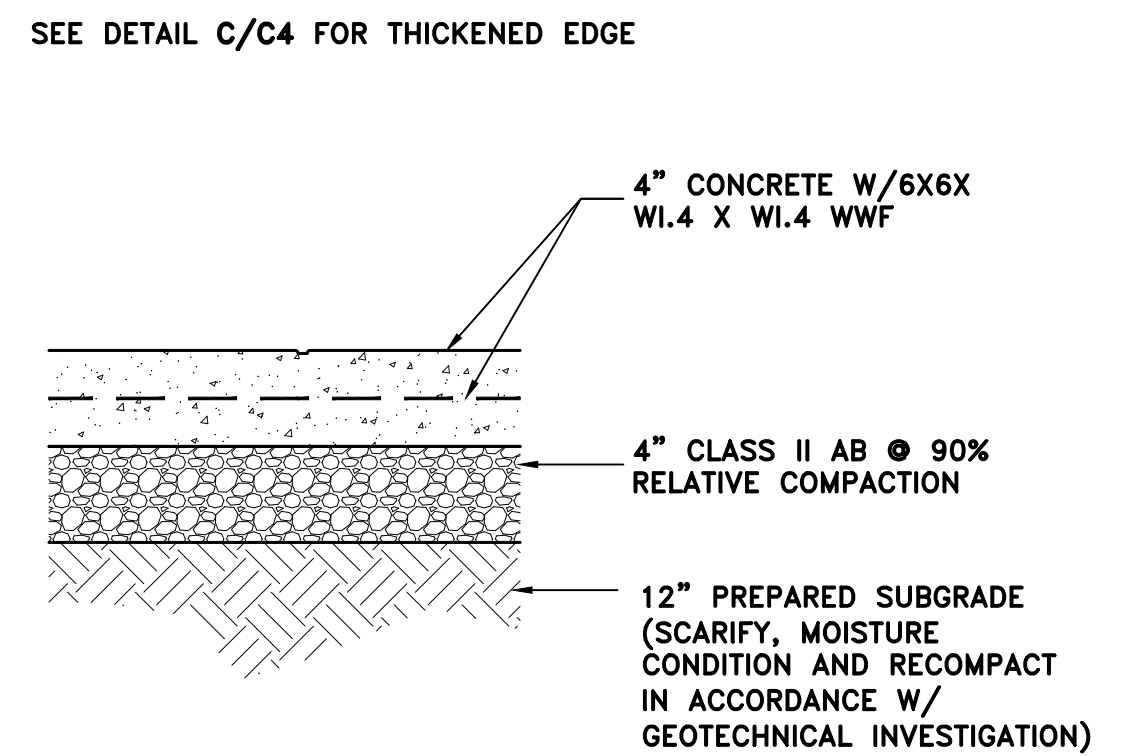
A
 C3 **A.C. PAVEMENT SECT.**
 NTS



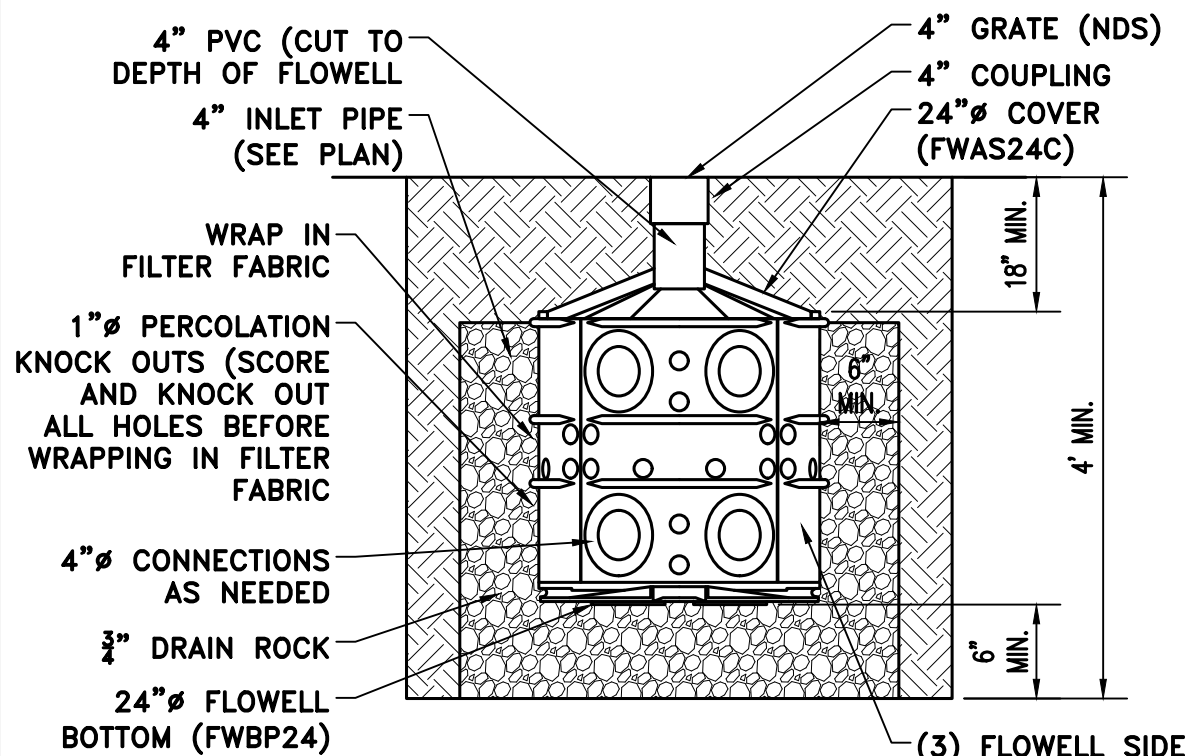
I
 C3 **FOUNDATION DRAIN**
 NTS



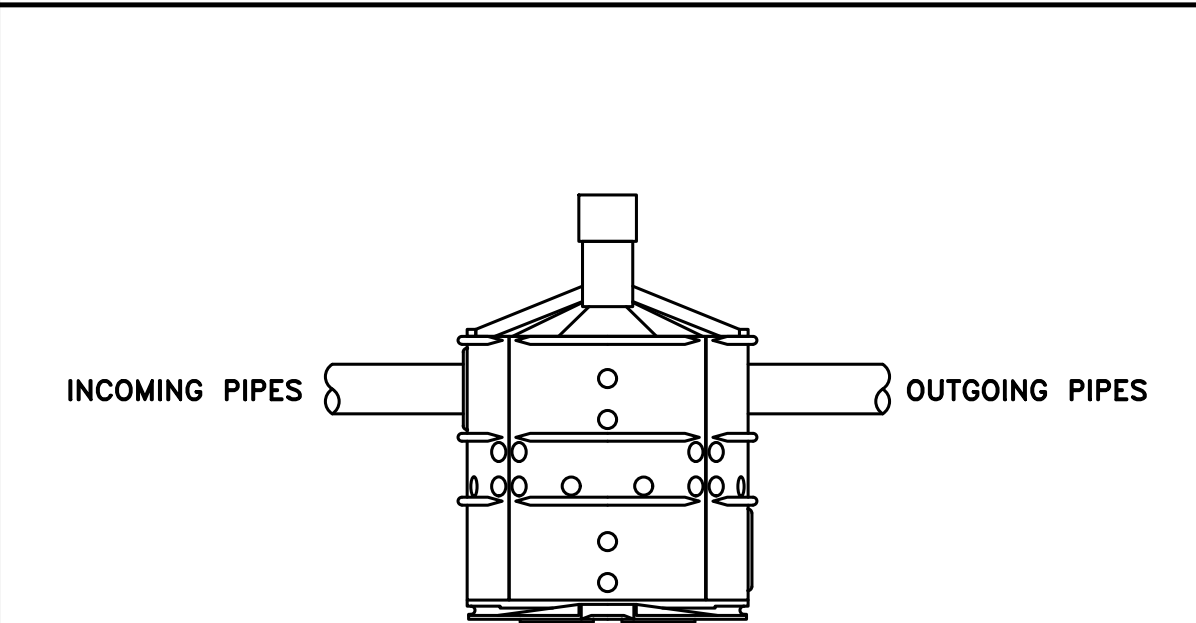
F
 C3 **RET. WALL SUBDRAIN**
 NTS



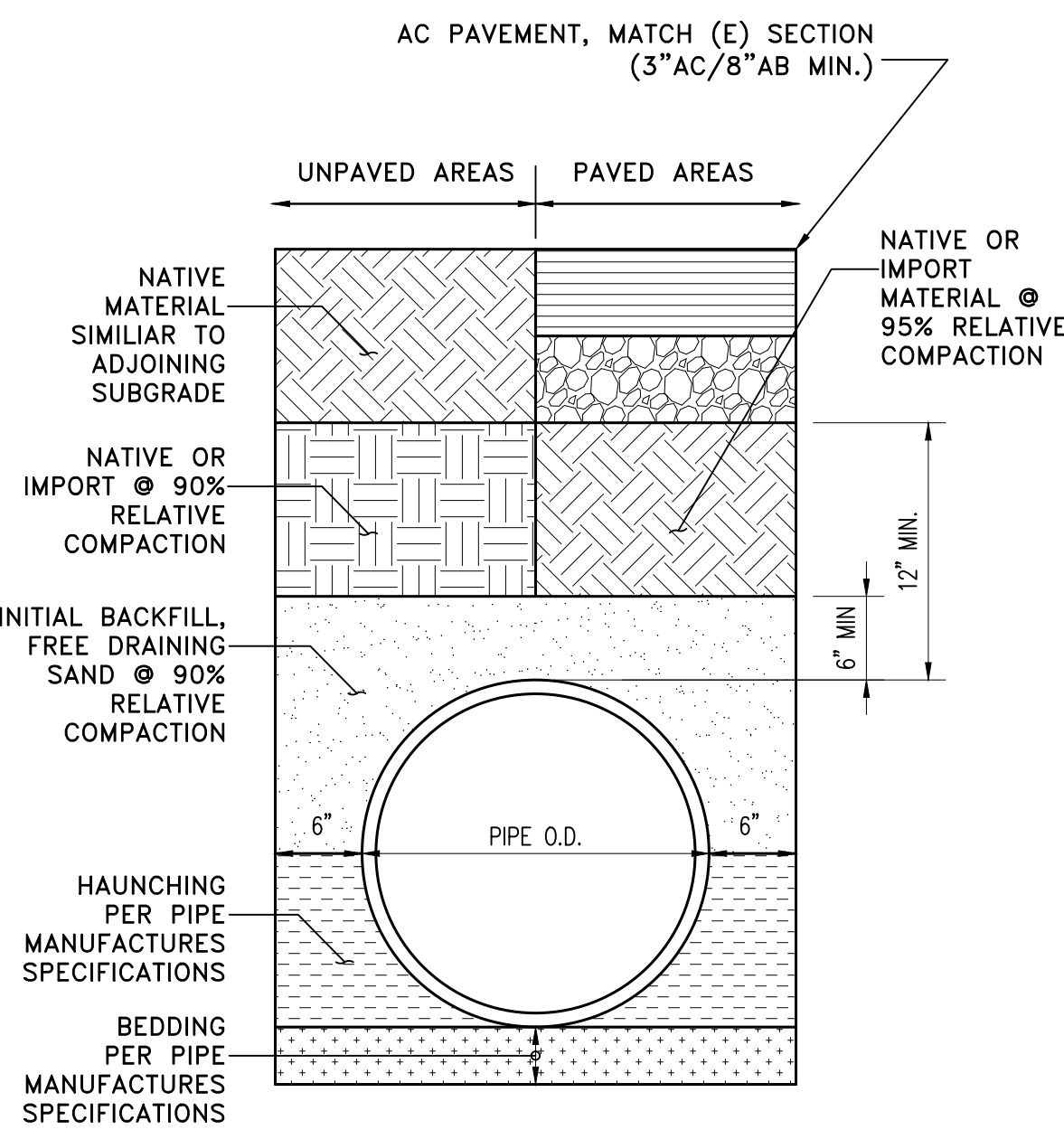
B
 C3 **CONCRETE PAVEMENT**
 NTS



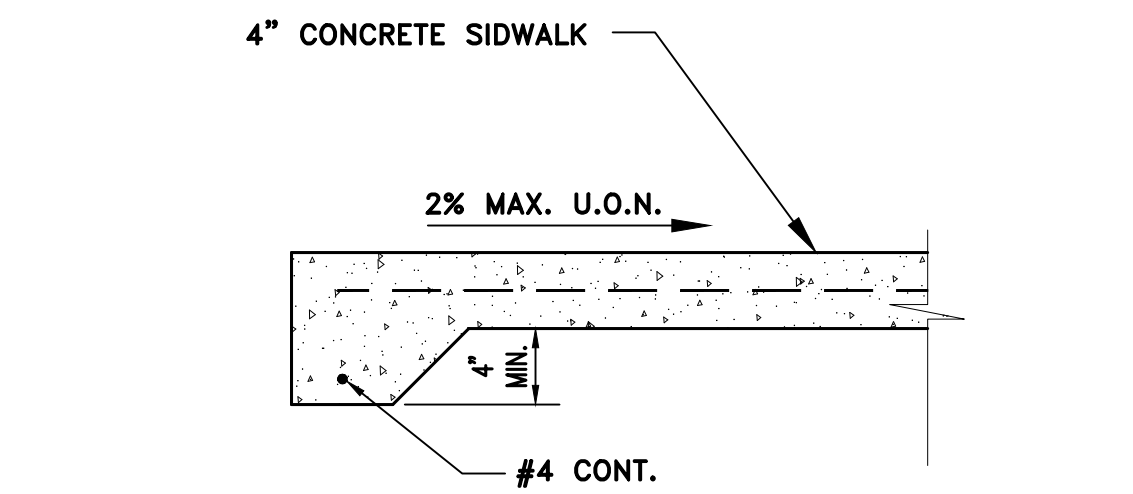
J
 C3 **FLO-WELL**
 NTS



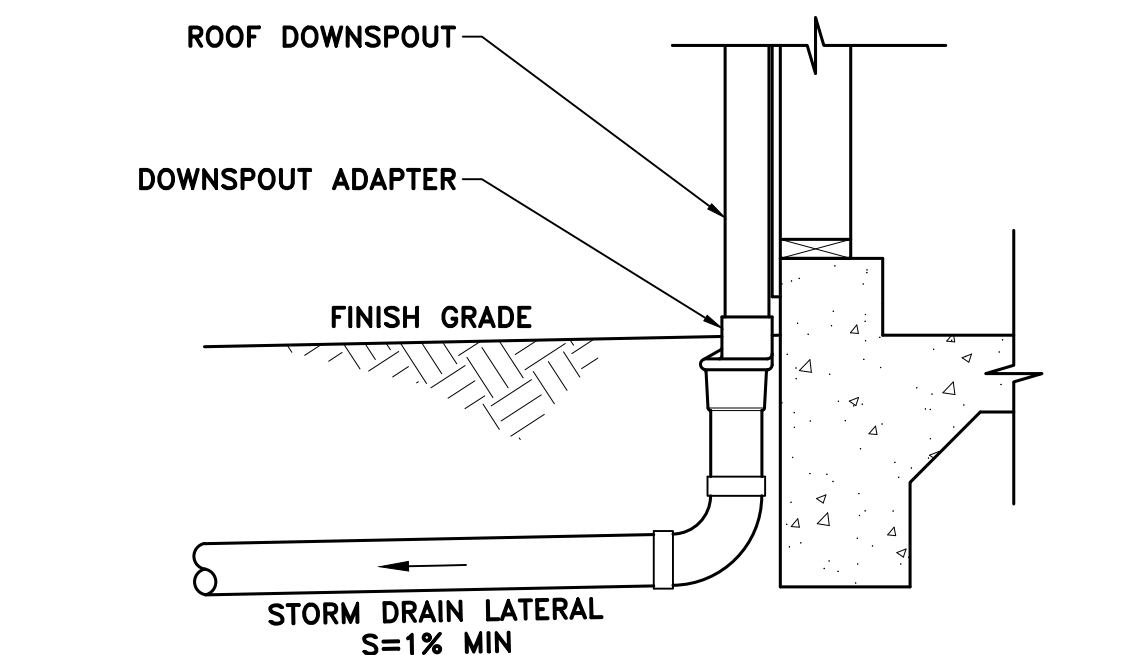
K
 C3 **FLO-WELL**
 NTS



G
 C3 **TRENCH BACKFILL**
 NTS



C
 C3 **THICKENED EDGE**
 NTS



D
 C3 **ROOF DRAIN CONNECTION**
 NTS

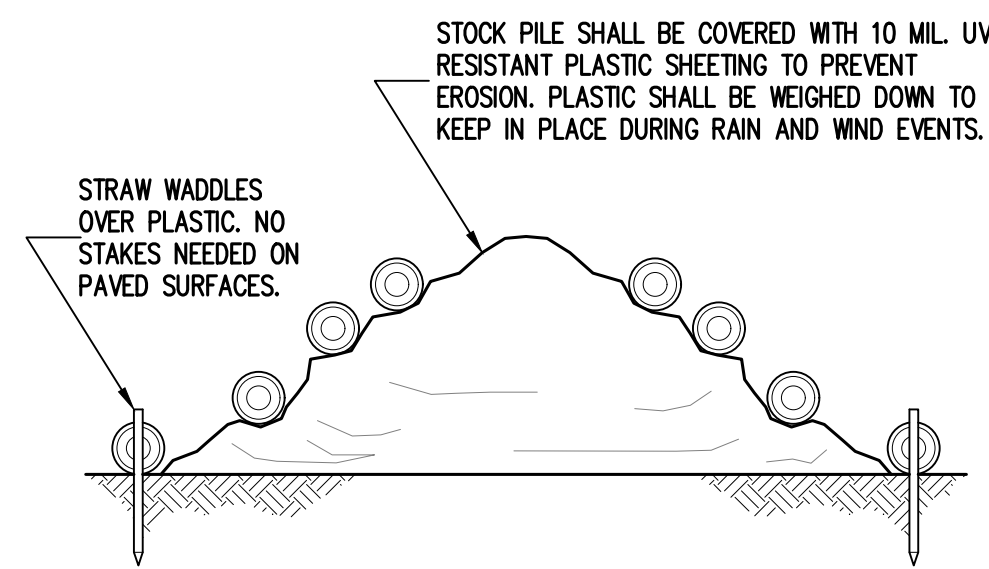
C3 ENGINEERING INCORPORATED
 Civil Engineering, Land Development,
 Stormwater Management
 126 Bonifacio Place, Suite C, Monterey, CA 93940
 Phone: (831) 647-1192 Fax (831) 647-1194
 mail@C3Engineering.net



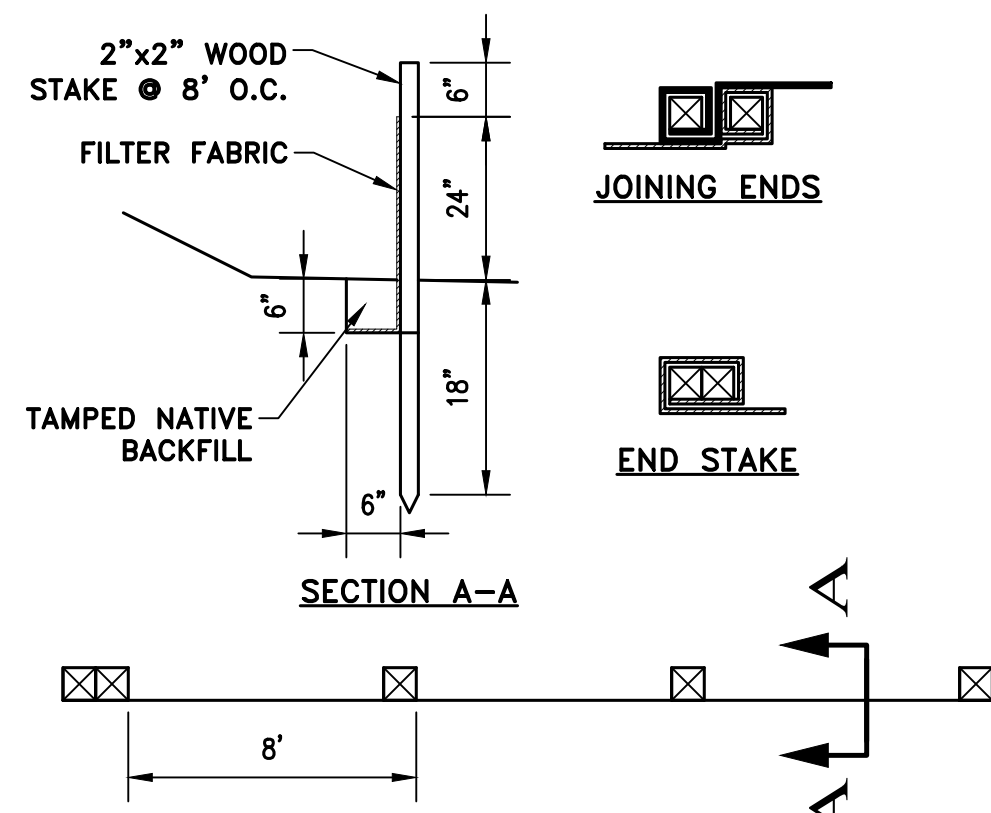
SECTIONS & DETAILS
 25987 Mission Street
 APN 009-353-012
 Project Location: 25987 Mission Street, Carmel
 PREPARED FOR:

SCALE: AS NOTED
 DATE: 04-12-2023
 DESIGN BY: FJC
 DRAWN BY: ECH
 CHECKED BY: FJC
 SHEET NUMBER:

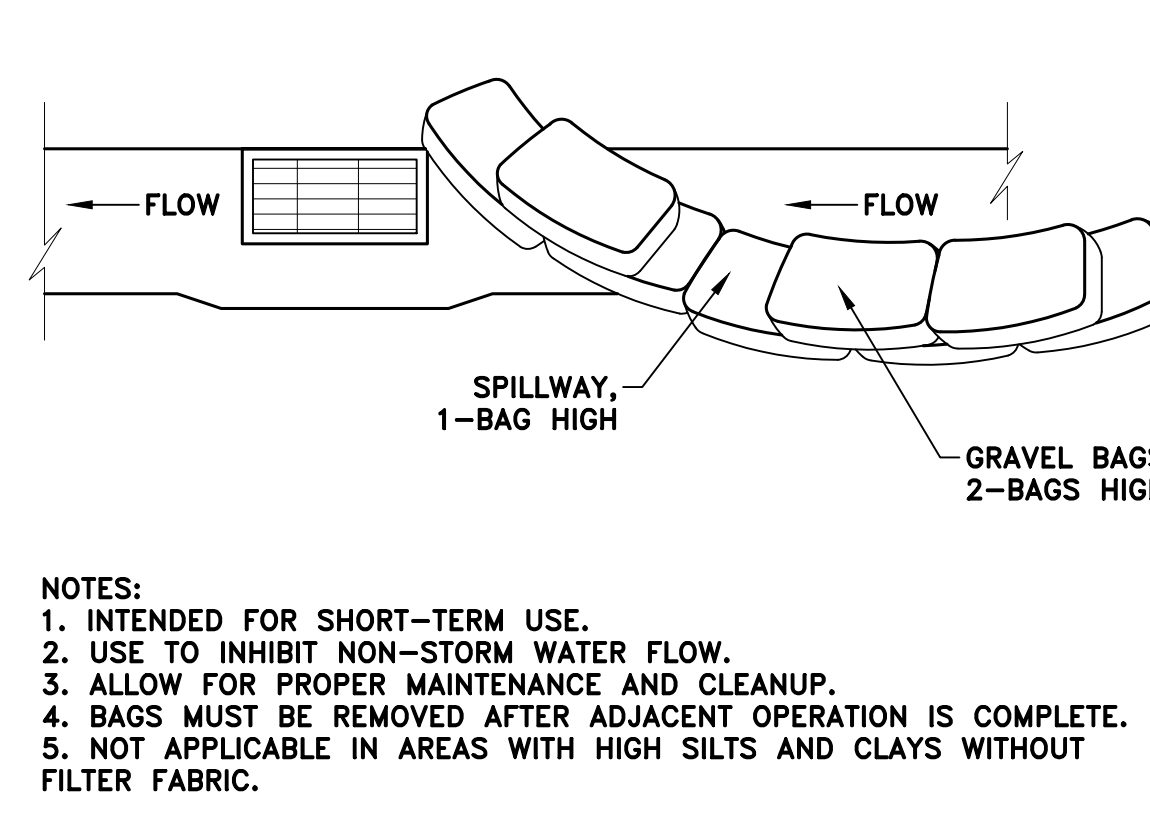
C3
 OF SHEETS
 PROJECT# 123117



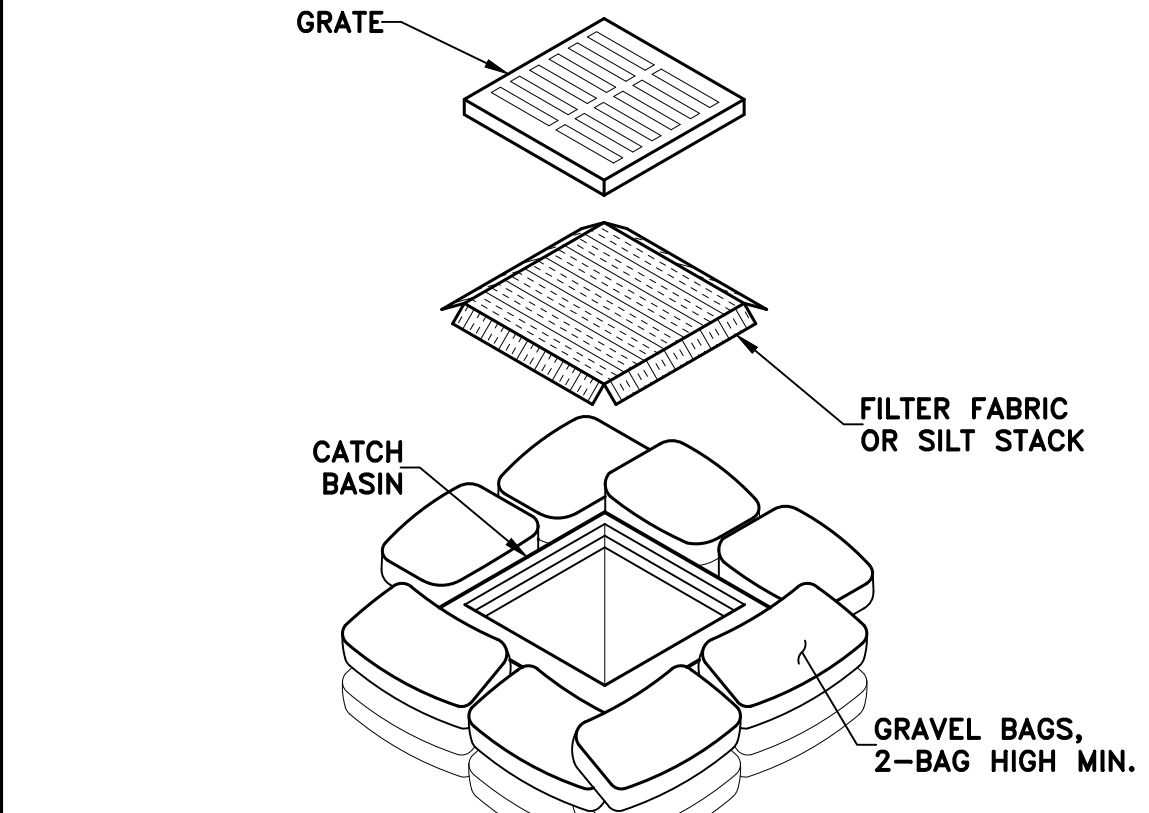
G STOCK PILE COVERING
C6 NTS



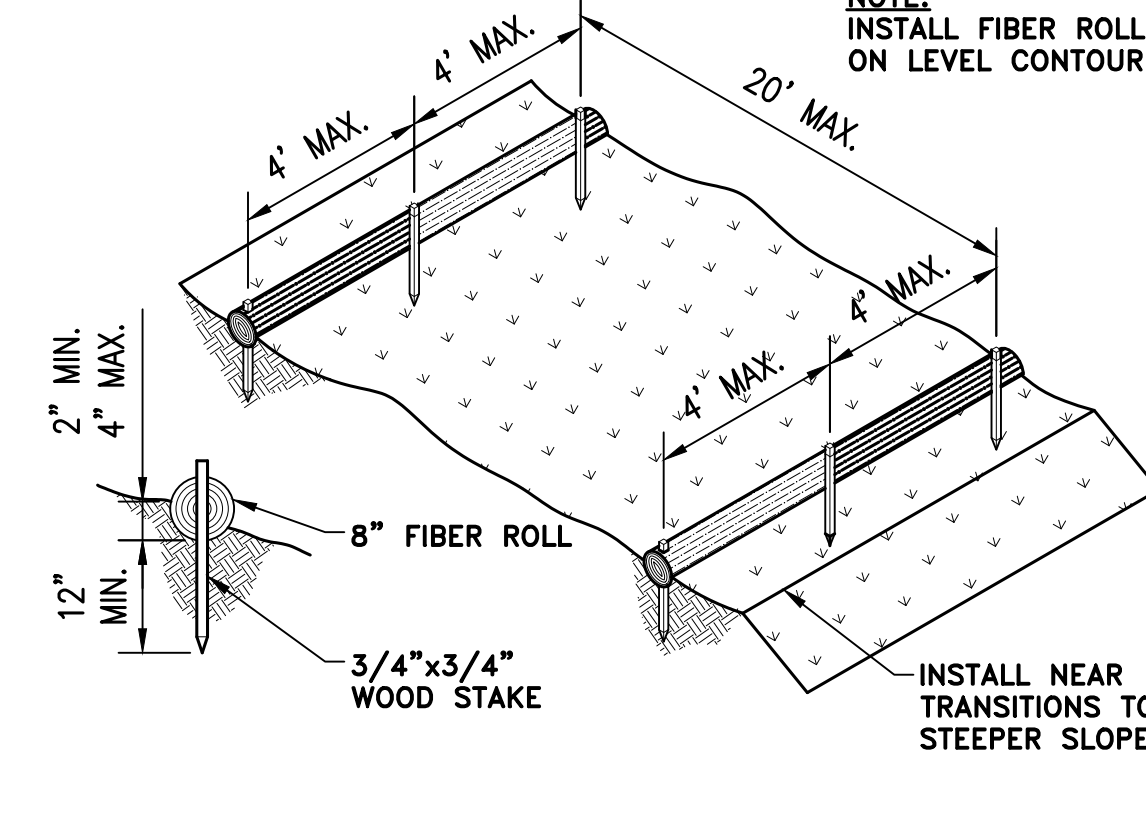
F SILT FENCE
C6 NTS



E CURB INLET PROTECTION
C6 NTS



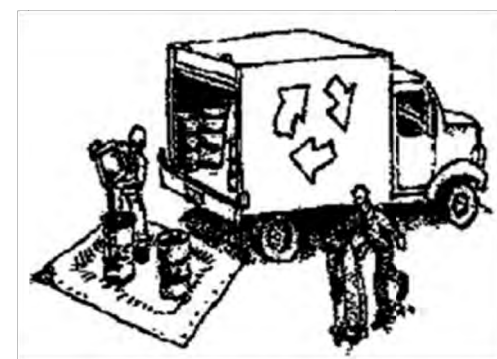
D DROP INLET PROTECTION
C6 NTS



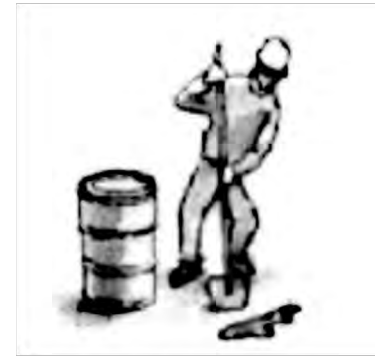
A FIBER ROLL
C6 NTS

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

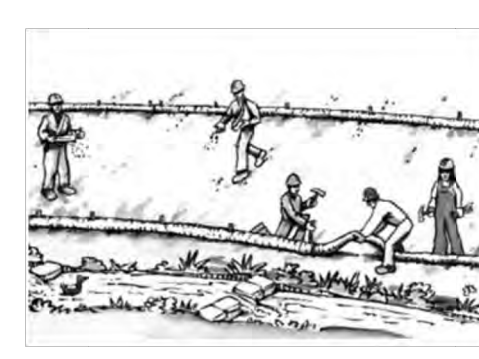
Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT



EQUIPMENT MANAGEMENT & SPILL CONTROL



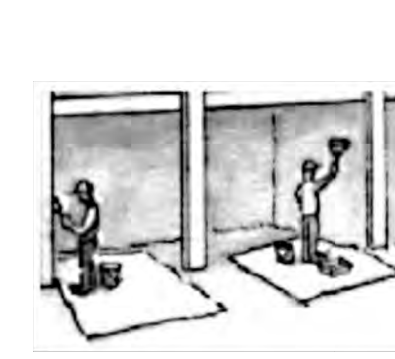
EARTHWORK & CONTAMINATED SOILS



PAVING/ASPHALT WORK



CONCRETE, GROUT & MORTAR APPLICATION



PAINTING & PAINT REMOVAL



DEWATERING

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

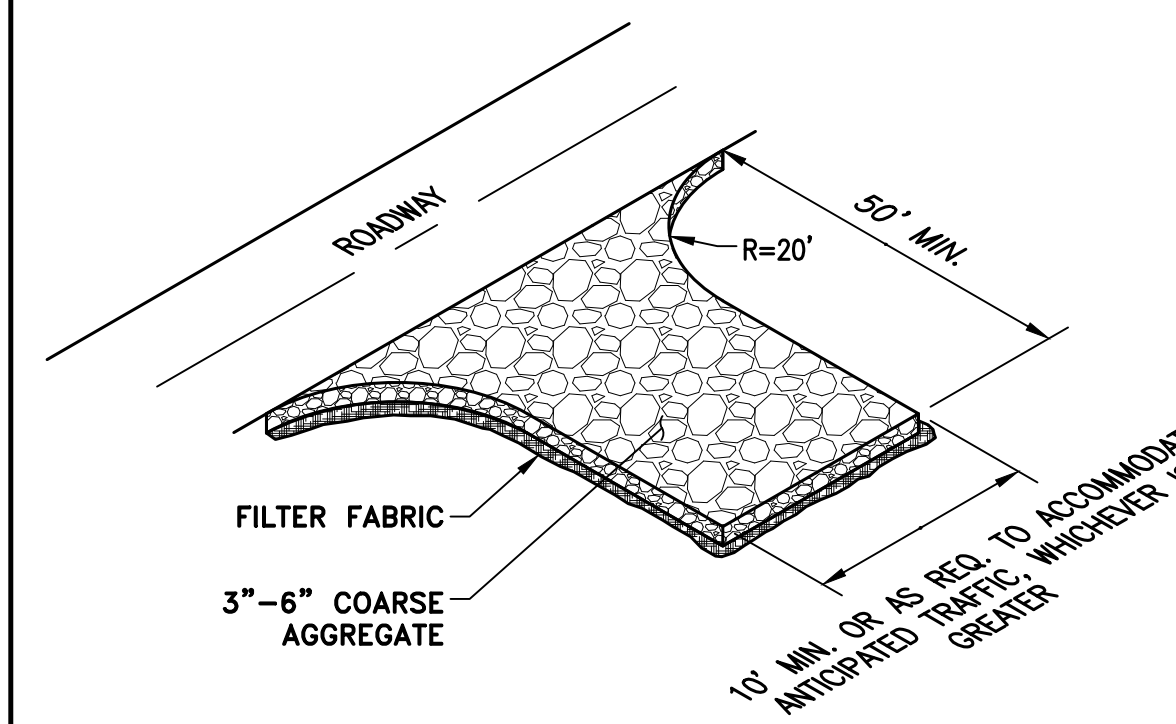
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



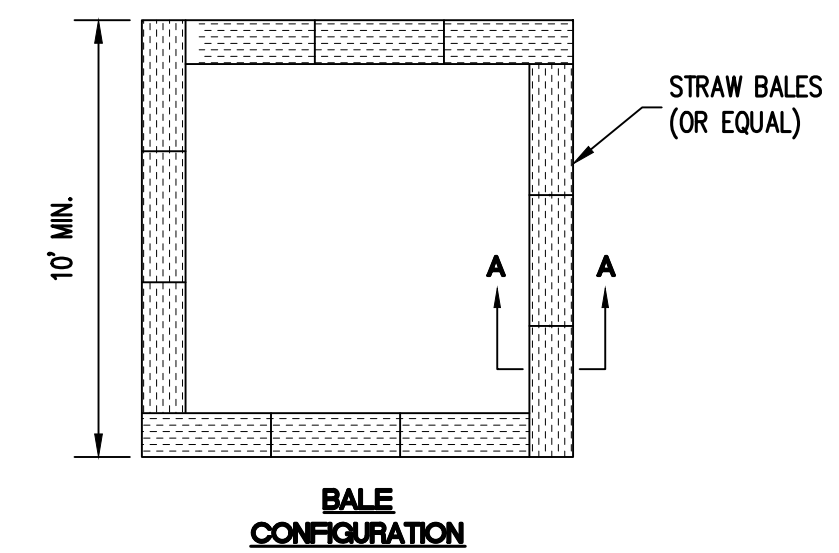
LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

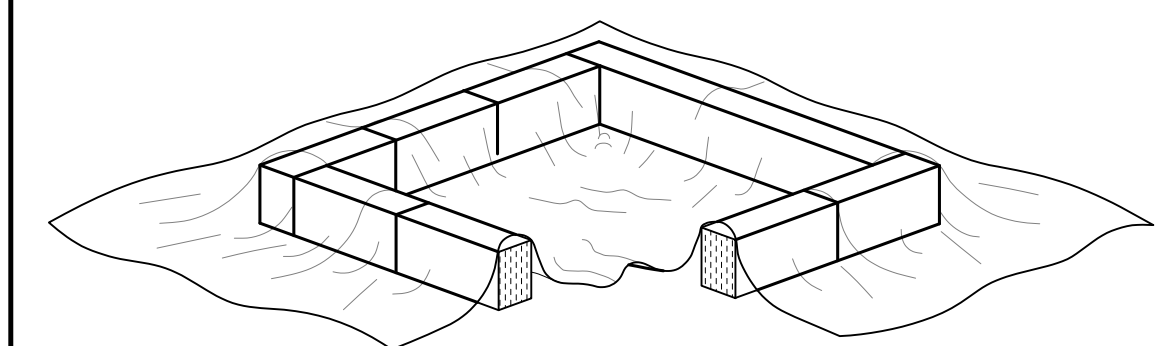
* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program



B STABILIZE ENTRANCE
C6 NTS



C CONCRETE WASHOUT
C6 NTS

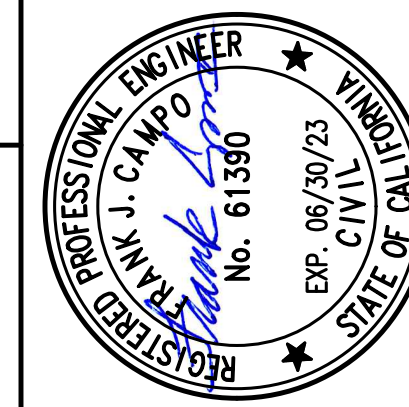


C CONCRETE WASHOUT
C6 NTS

- NOTES:
1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT
2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES

C CONCRETE WASHOUT
C6 NTS

AC3 ENGINEERING INCORPORATED
Civil Engineering, Land Development, Stormwater Management
126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mailto:AC3Engineering.net



EROSION AND SEDIMENT CONTROL PLAN DETAILS
25987 Mission Street
APN 009-353-012
Project Location: 25987 Mission Street, Carmel
PREPARED FOR:

SCALE: AS NOTED
DATE: 04-12-2023
DESIGN BY: FJC
DRAWN BY: ECH
CHECKED BY: FJC
SHEET NUMBER:

C5
OF SHEETS
PROJECT# 123117

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. REUSE, REPRODUCTION OR PUBLICATION, IN WHOLE OR IN PART, IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF AC3 ENGINEERING.
Drawing file: Z:\Projects\123117_Hood - 25987\Mission\04\123117_XBases.dwg
Plotted: Apr 25, 2023 - 2:39pm

MADE IN THE USA

THOMAS BATEMAN HOOD
 27880 Dorris Drive, Suite 200
 Carmel, California 93923
 831 - 652 - 0012
 tom@t-hood.com
 www.thomasbatemanhood.com

PROJECT:
 Restoration, interior remodel and alterations to single family residence
Banyan Mills House
 25987 Mission Street
 Carmel, CA 93923
 APN: 009-353-012
 Block 1, Lot 17

OWNER:
 Mission Street Office LLC
 350 S. Grand Avenue, Suite 2000
 Los Angeles, CA 90071
 accountspayablestgroup.org
 Ynez Arce
 ynez@shastagroup.com

REVISIONS:

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ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

DRAWN BY: **JC**

PRINT DATE: **05/12/23**

DRAWING DATE: **05/12/23**

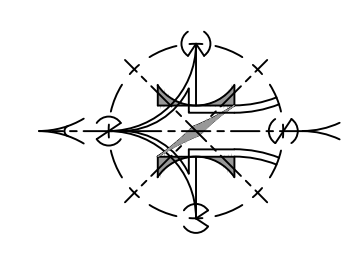
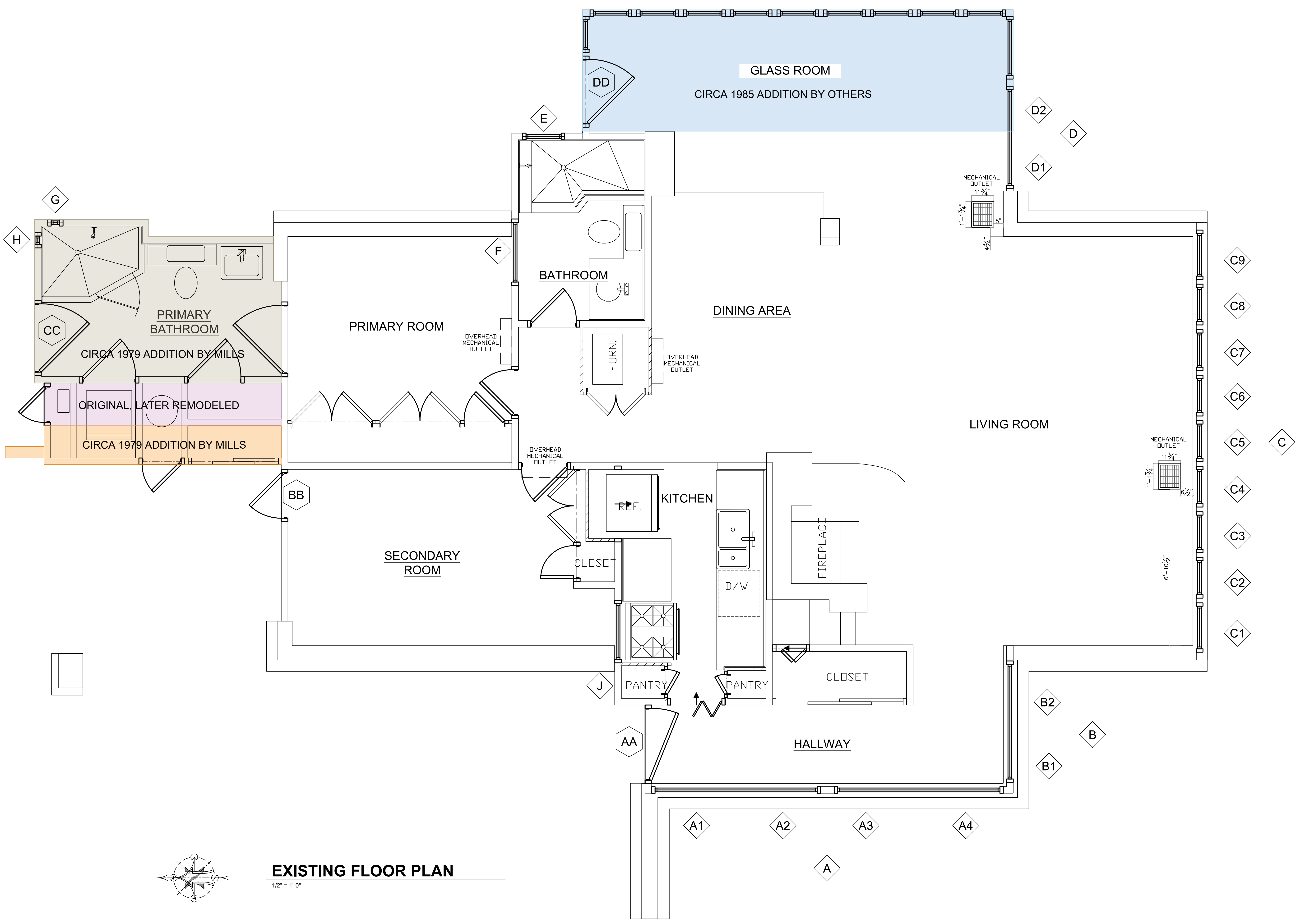
PAGE TITLE:

EXISTING FLOOR PLAN

SCALE: 1/4" = 1'

SHEET:

A2.0



EXISTING FLOOR PLAN

1/2" = 1'-0"

LEGEND:

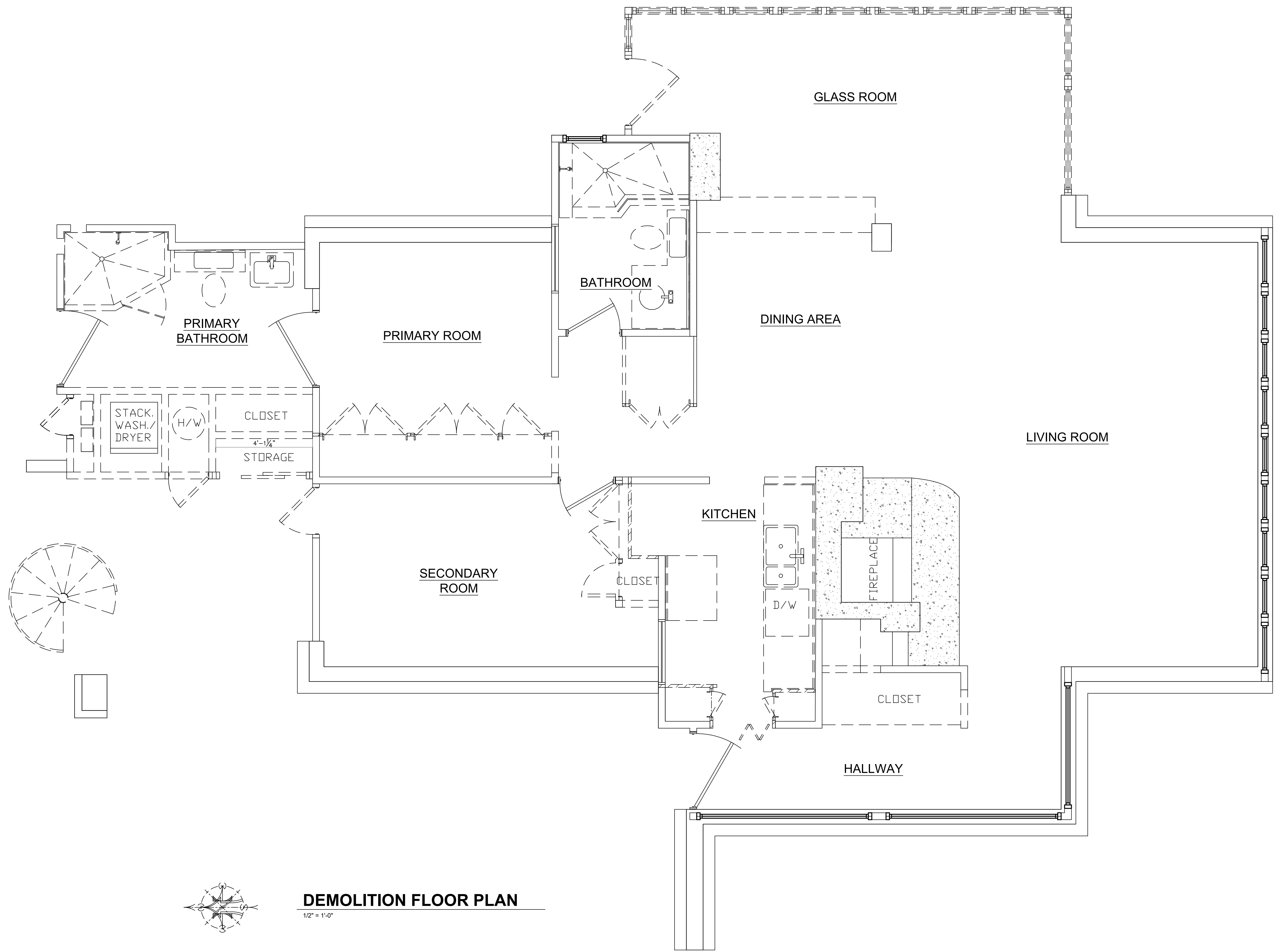
- (E) 2x4 FRAMING
- ▨ (E) 2x4 FRAMING TO BE ALTERED
- □ (E) 2x4 FRAMING TO BE REMOVED
- ELEMENTS TO BE REMOVED

NOTE:

- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES:

1. DEMOLISH (E) PRIMARY BATHROOM, VANITY, TOILET, FINISHES, CABINETS, CUBICLE AND FIXTURES. REMODEL SPACE FOR NEW PRIMARY BATHROOM PER PROPOSED.
2. DEMOLISH (E) EAST CARPORT WALL AND BUILT IN CABINETS. REMODEL WALL FOR NEW BUILT IN CABINETS PER PROPOSED.
3. DEMOLISH (E) SPIRAL STAIR.
4. REMOVE (E) PRIMARY ROOM CLOSET AND MAIN ACCESS DOOR. INSTALL NEW PRIMARY ROOM MAIN ACCESS DOOR PER PROPOSED.
5. REMOVE (E) SECONDARY ROOM CLOSET AND EXTERIOR ACCESS DOOR. INSTALL NEW WINDOW PER PROPOSED.
6. DEMOLISH (E) BATHROOM, VANITY, TOILET, FINISHES, CUBICLE AND FIXTURES. REMODEL SPACE FOR NEW BATHROOM PER PROPOSED.
7. DEMOLISH (E) GLASS ROOM, WINDOWS, DOORS, GLASS ROOF. REMODEL SPACE FOR NEW GLASS ROOM PER PROPOSED (SHEET A4.2).
8. DEMOLISH (E) FIXED DINING ROOM BENCH.
9. REMOVE CURRENT ACCESS TO FURNACE. REPLACE WITH NEW PER PROPOSED ON NEW LOCATION.
10. DEMOLISH (E) KITCHEN, CABINETS, FINISHES, APPLIANCES AND FIXTURES. REMODEL SPACE FOR NEW KITCHEN PER PROPOSED.
11. DEMOLISH (E) HALLWAY CLOSET DOORS AND WALLS PARTIALLY.
12. REPAIR (E) ALL WINDOWS AND DOORS PER SCHEDULES (A3.3 & A3.4).



DEMOLITION FLOOR PLAN

1/2" = 1'-0"

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ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

DRAWN BY: **JC**

PRINT DATE: **05/12/23**

DRAWING DATE: **05/12/23**

PAGE TITLE:

DEMOLITION FLOOR PLAN

SCALE: 1/2" = 1'

SHEET:

A2.1

LEGEND:

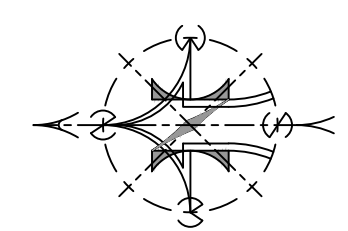
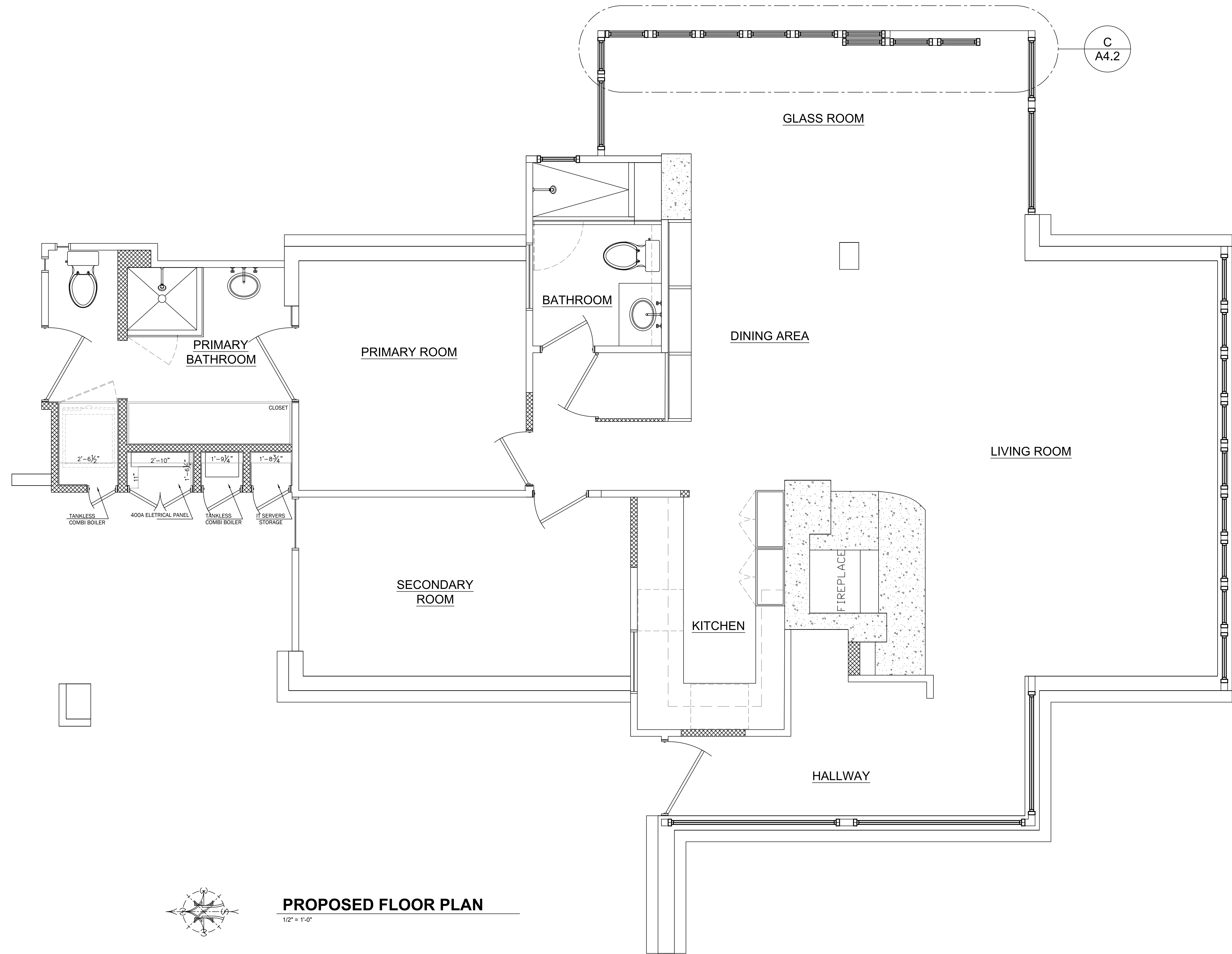
- (E) 2x4 FRAMING
- (E) 2x4 FRAMING TO BE ALTERED
- (E) 2x4 FRAMING TO BE REMOVED
- ELEMENTS TO BE REMOVED

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11. DEMOLISH (E) HALLWAY CLOSET DOORS AND WALLS PARTIALLY.
12. REPAIR (E) ALL WINDOWS AND DOORS PER SCHEDULES (A3.3 & A3.4).



PROPOSED FLOOR PLAN

1/2" = 1'-0"

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 Block 1, Lot 17

OWNER:
 Mission Street Office LLC
 350 S. Grand Avenue, Suite 2000
 Los Angeles, CA 90071
 accountspayablestastgroup.org
 Ynez Arce
 ynez@shastagroup.com

REVISIONS:

NO.	DESCRIPTION

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THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

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PRINT DATE: **05/12/23**

DRAWING DATE: **05/12/23**

PAGE TITLE:

PROPOSED FLOOR PLAN

SCALE: 1/2" = 1'

SHEET:

A2.2

THOMAS BATEMAN HOOD
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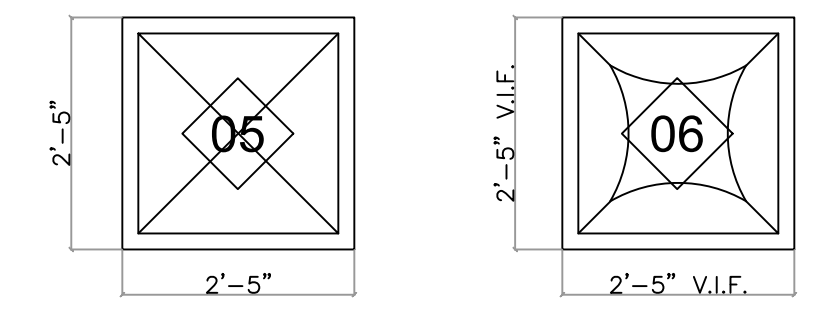
PAGE TITLE:

EXISTING ROOF PLAN

SCALE: **1/4" = 1'**

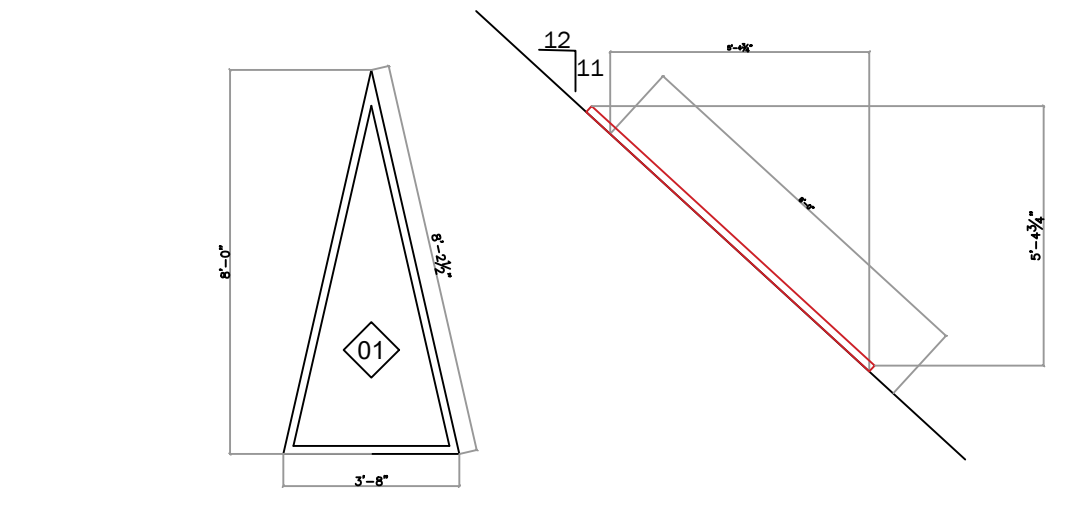
SHEET:

A2.3



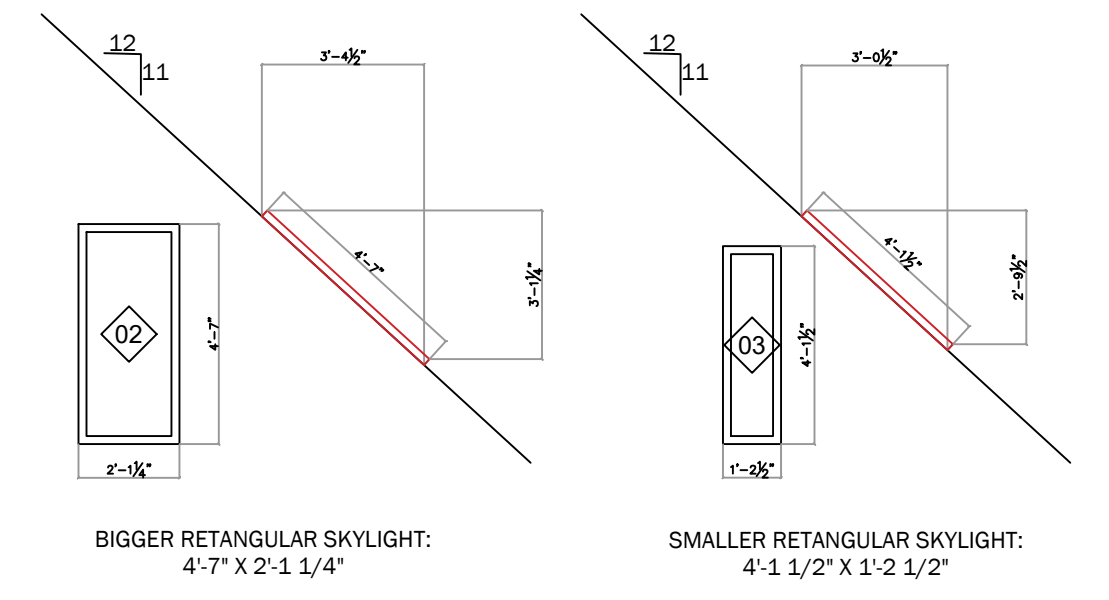
EXISTING SQUARE SKYLIGHTS

1/2" = 1'-0"



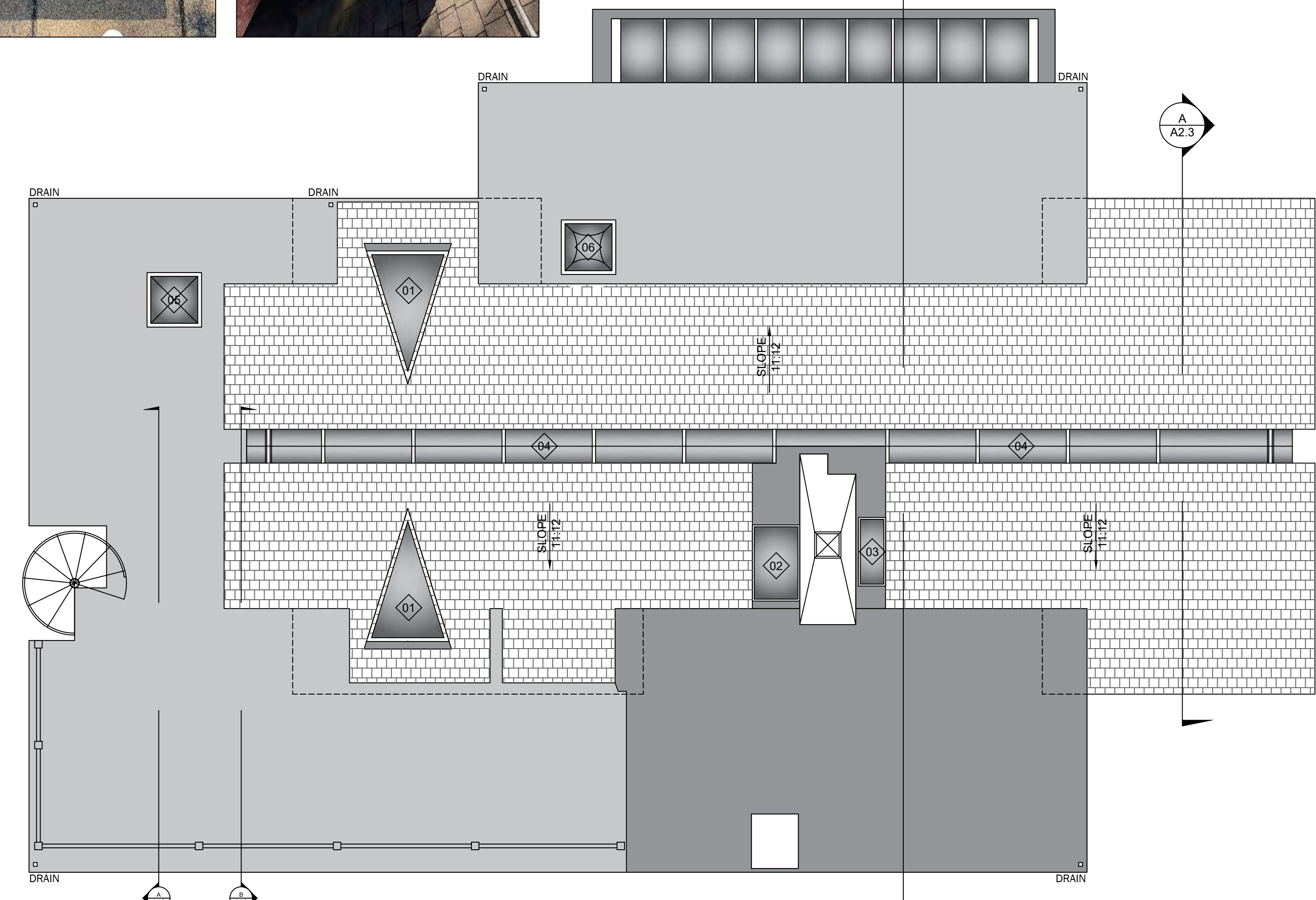
EXISTING TRIANGULAR SKYLIGHTS

1/4" = 1'-0"



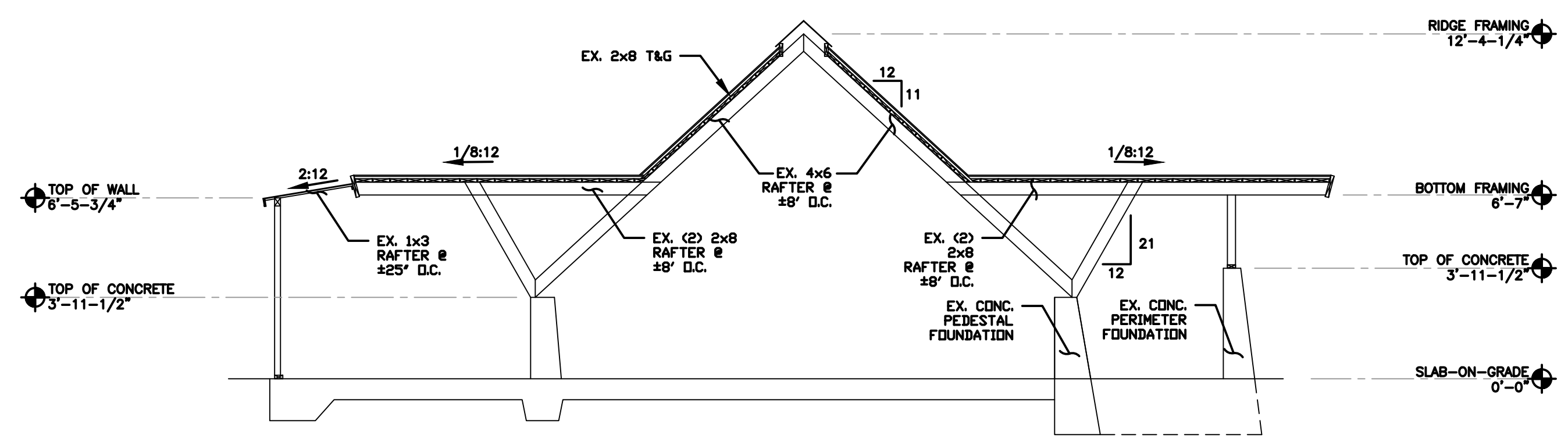
EXISTING RETANGULAR SKYLIGHTS

1/4" = 1'-0"



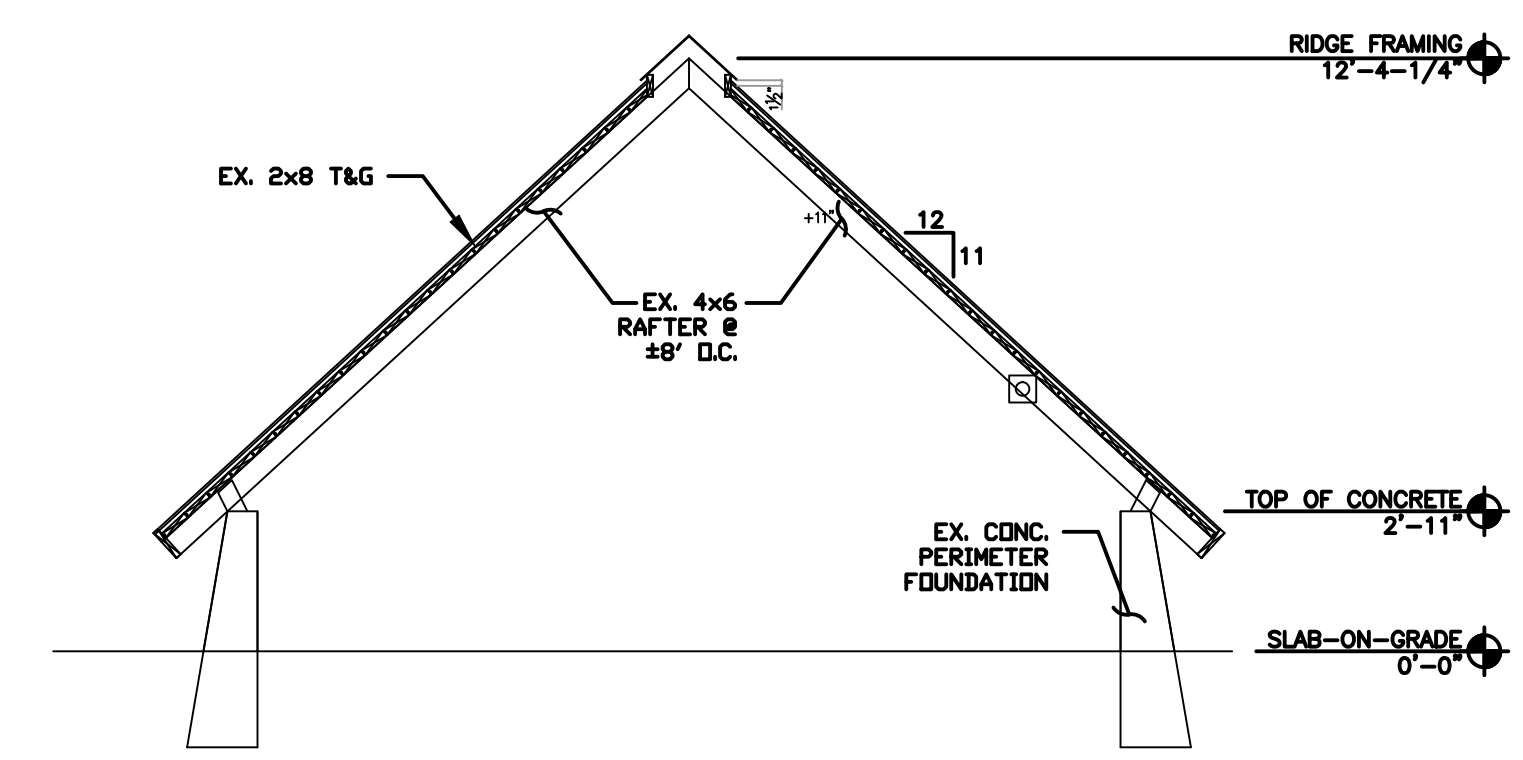
EXISTING ROOF PLAN

1/4" = 1'-0"



B TRANSVERSE SECTION

1/4" = 1'-0"



A TRANSVERSE SECTION

1/4" = 1'-0"

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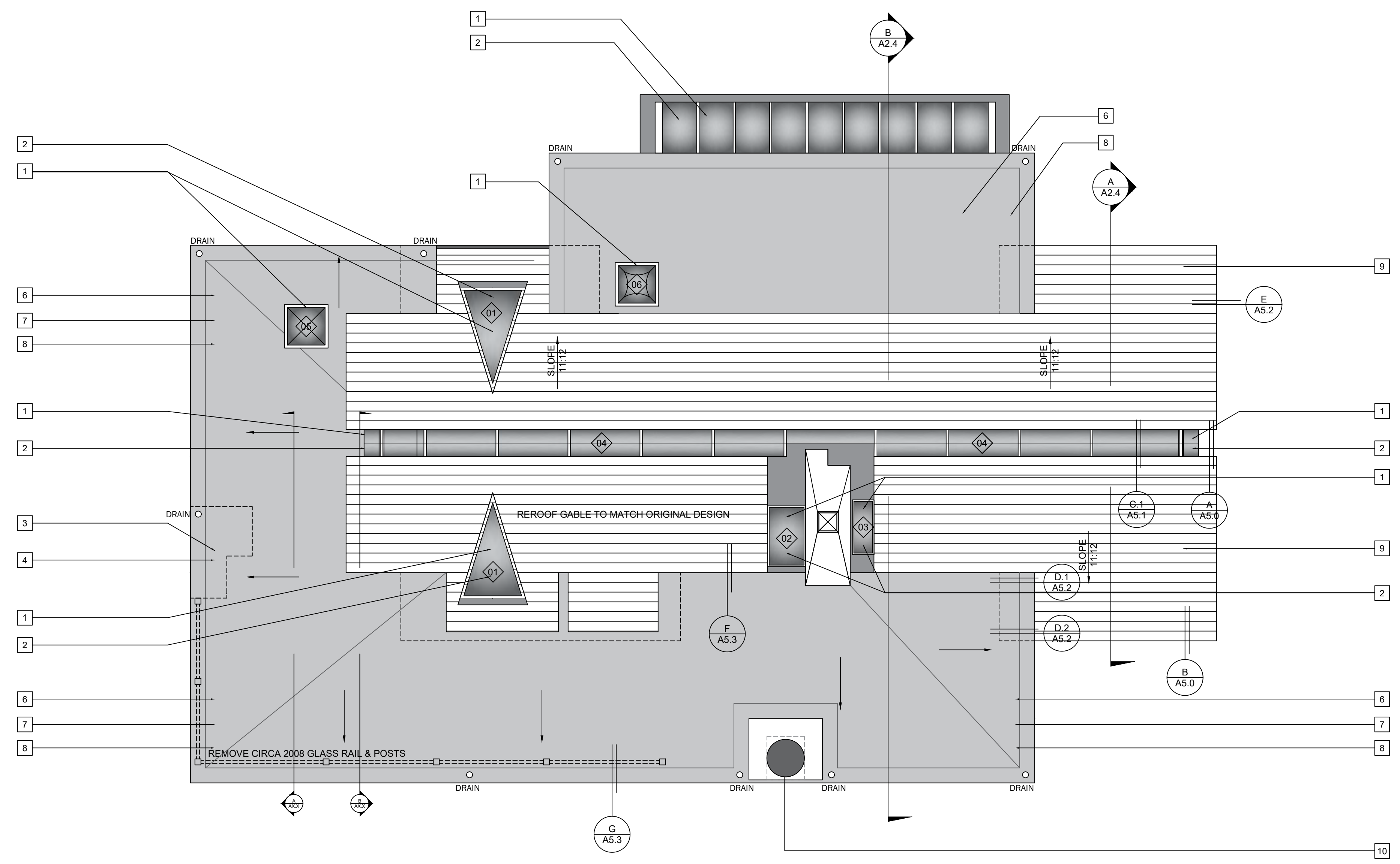
PAGE TITLE:

PROPOSED ROOF PLAN

SCALE: 1/4" = 1'

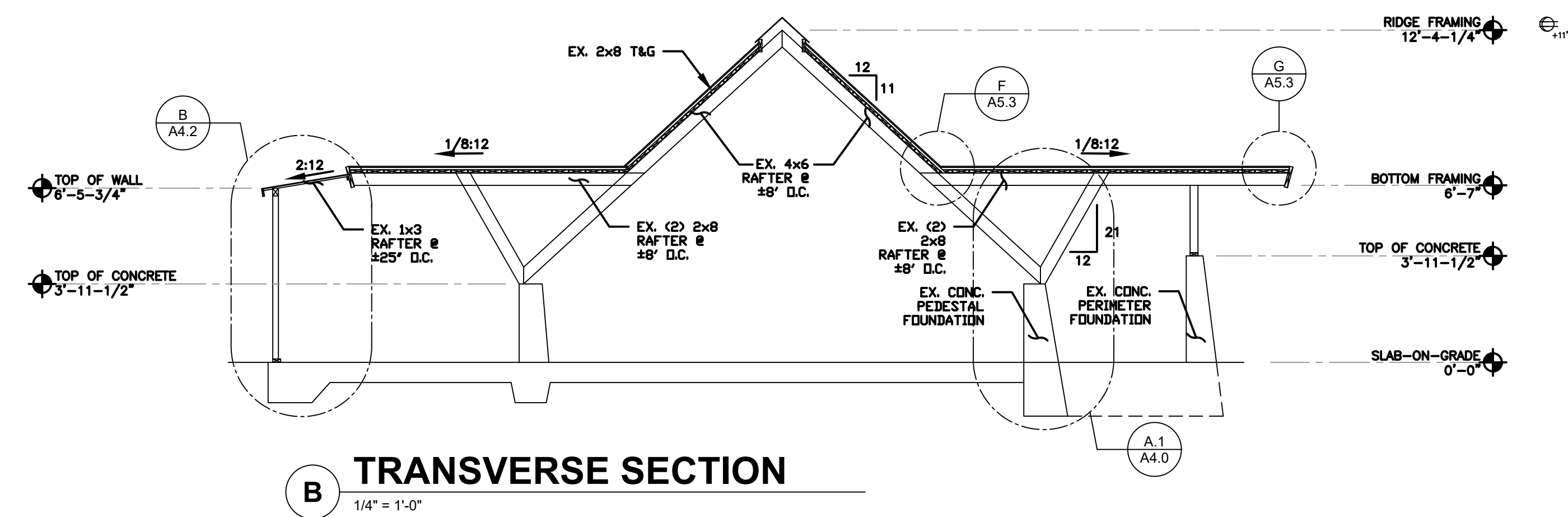
SHEET:

A2.4

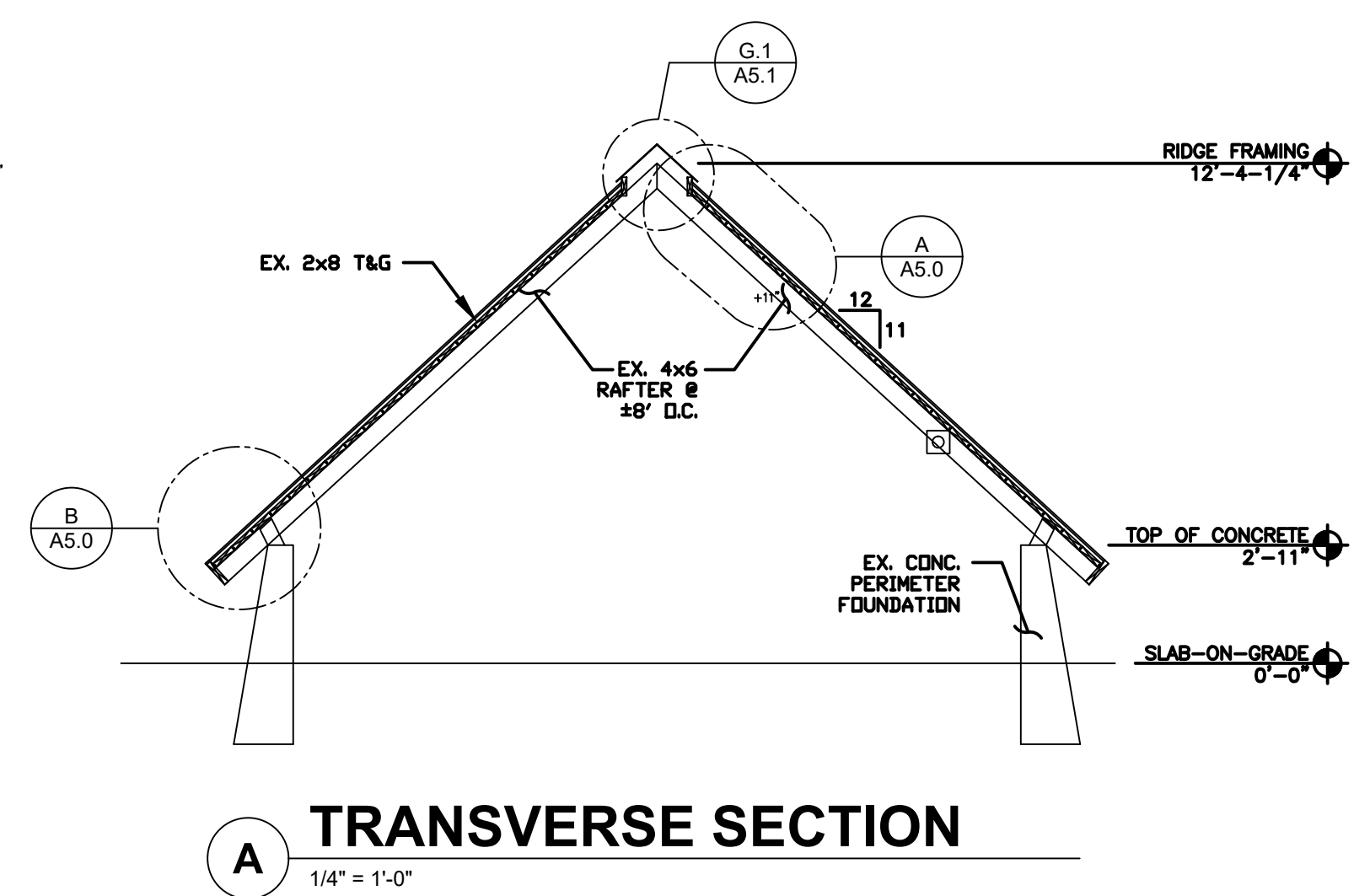


PROPOSED ROOF PLAN
 1/4" = 1'-0"

- | | |
|---|--|
| 1. SKYLIGHT LEAK REPAIR | 6. CORRECT FLAT ROOF SLOPE FOR DRAINAGE EFFICIENCY |
| 2. REPLACE SKYLIGHT GLASS | 7. LEVEL FLAT ROOF |
| 3. REMOVE SPIRAL STAIR | 8. REDO FLAT ROOF INSULATION |
| 4. COMPLETE FLAT ROOF | 9. REROOF GABLE TO MATCH ORIGINAL PROPOSED DESIGN |
| 5. REMOVE CIRCA 2008 GLASS RAIL & POSTS | 10. ENLARGE TREE OPENING |



B TRANSVERSE SECTION
 1/4" = 1'-0"



A TRANSVERSE SECTION
 1/4" = 1'-0"

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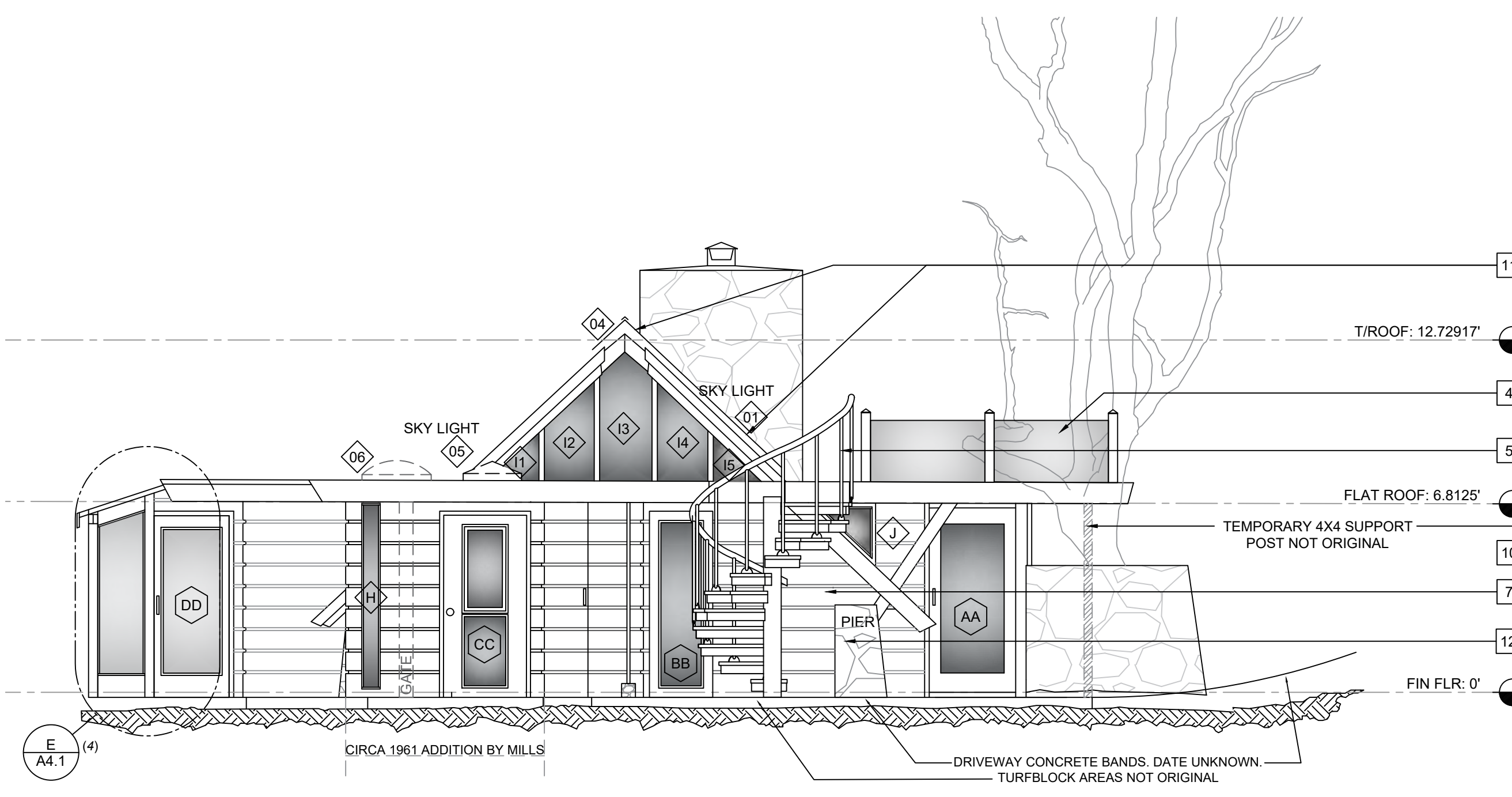
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EXISTING ELEVATIONS

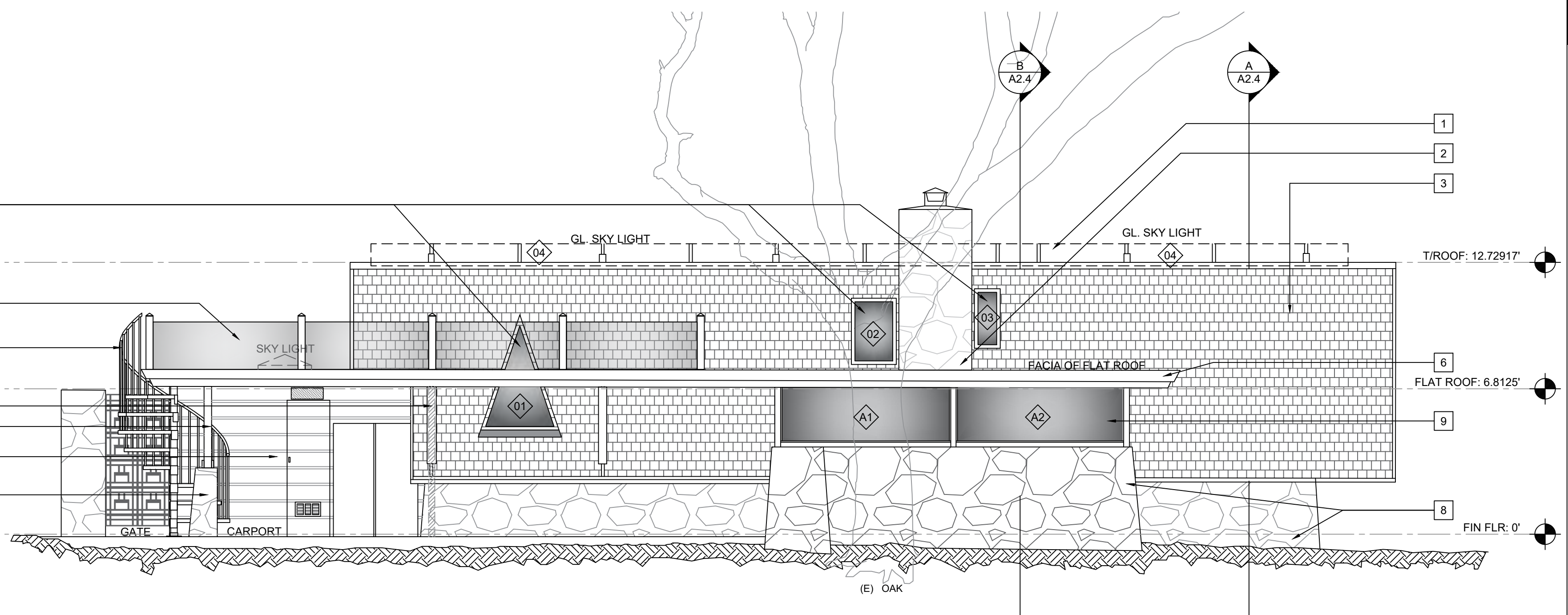
SCALE: **1/4" = 1'**

SHEET:

A3.0



EXISTING NORTH ELEVATION
1/4" = 1'-0"



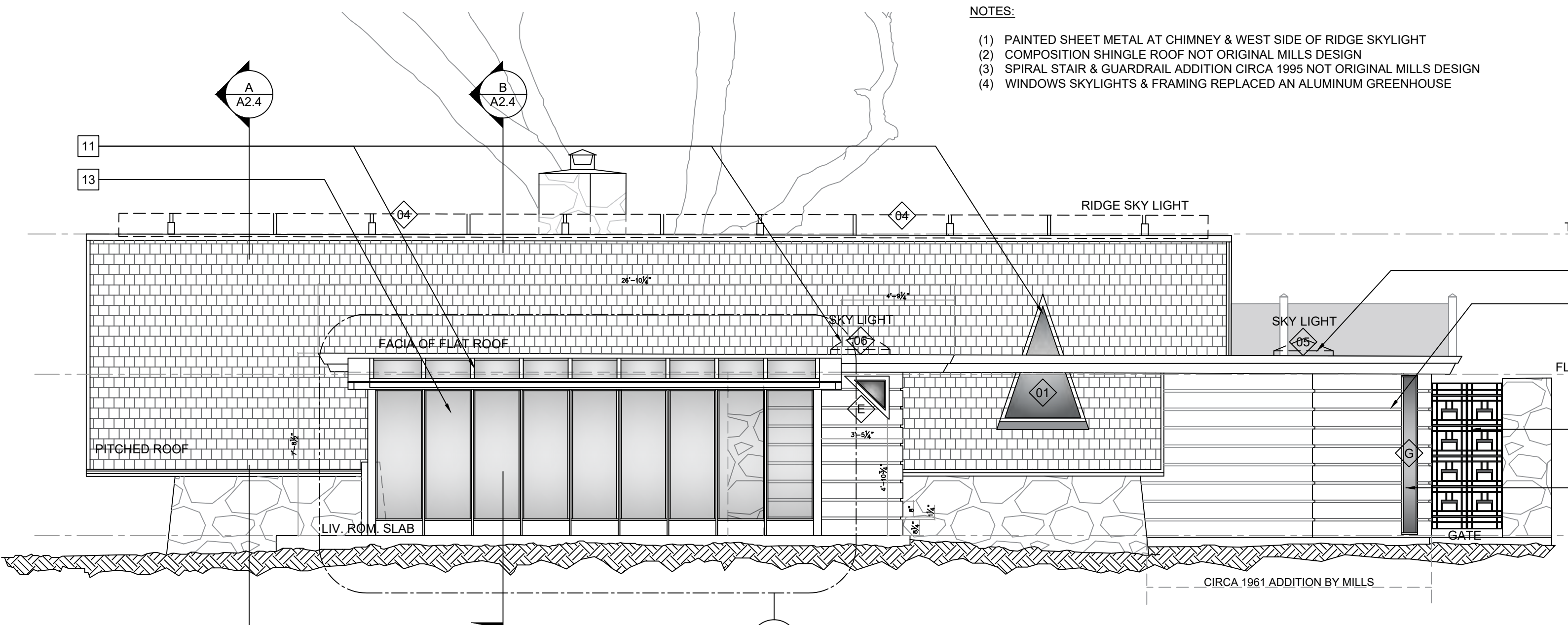
EXISTING WEST ELEVATION
1/4" = 1'-0"

MATERIALS LEGEND:

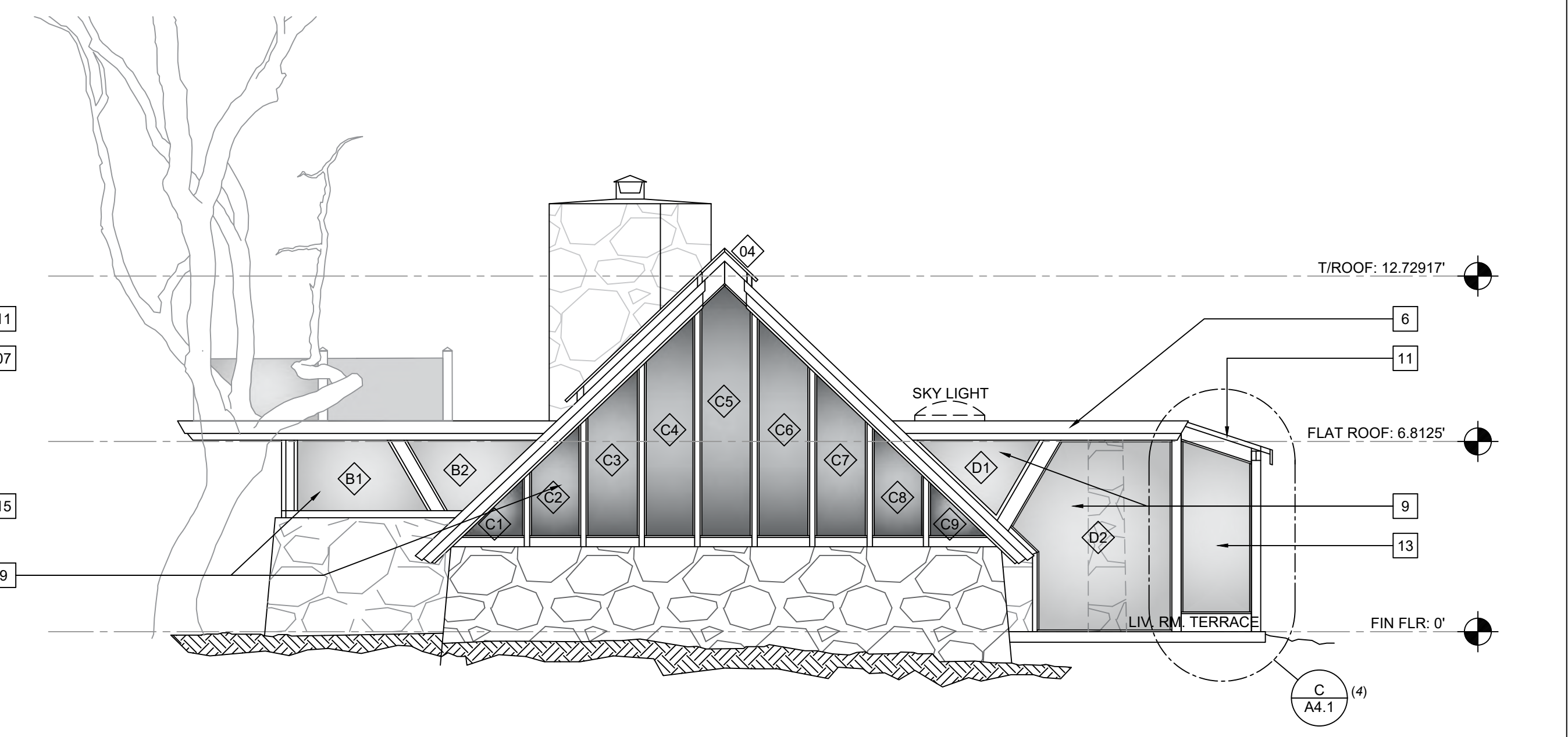
- | | |
|---|---|
| <ol style="list-style-type: none"> 1. GLASS RIDGE SKYLIGHT (1) 2. CONCRETE CHIMNEY 3. COMPOSITION SHINGLE ROOF (2) 4. GLASS GUARDRAIL (3) 5. SPIRAL STAIR (3) 6. WOOD FACIA 7. WOOD SIDING 8. DESERT MASONRY FOUNDATION | <ol style="list-style-type: none"> 9. SINGLE GLAZED WINDOWS IN REDWOOD FRAMES 10. 4X ROOF TRUSSES W/ 2X TOP CHORDS 11. FIXED SKYLIGHTS 12. CONCRETE PIER CARPORT SUPPORT 13. 5/8" INSULATING GLASS IN REDWOOD FRAMES (2000) (4) 14. PAINTED, GALVANIZED METAL FLASHING, TYPICAL 15. IRON GATES |
|---|---|

NOTES:

- (1) PAINTED SHEET METAL AT CHIMNEY & WEST SIDE OF RIDGE SKYLIGHT
- (2) COMPOSITION SHINGLE ROOF NOT ORIGINAL MILLS DESIGN
- (3) SPIRAL STAIR & GUARDRAIL ADDITION CIRCA 1995 NOT ORIGINAL MILLS DESIGN
- (4) WINDOWS SKYLIGHTS & FRAMING REPLACED AN ALUMINUM GREENHOUSE



EXISTING EAST ELEVATION
1/4" = 1'-0"



EXISTING SOUTH ELEVATION
1/4" = 1'-0"

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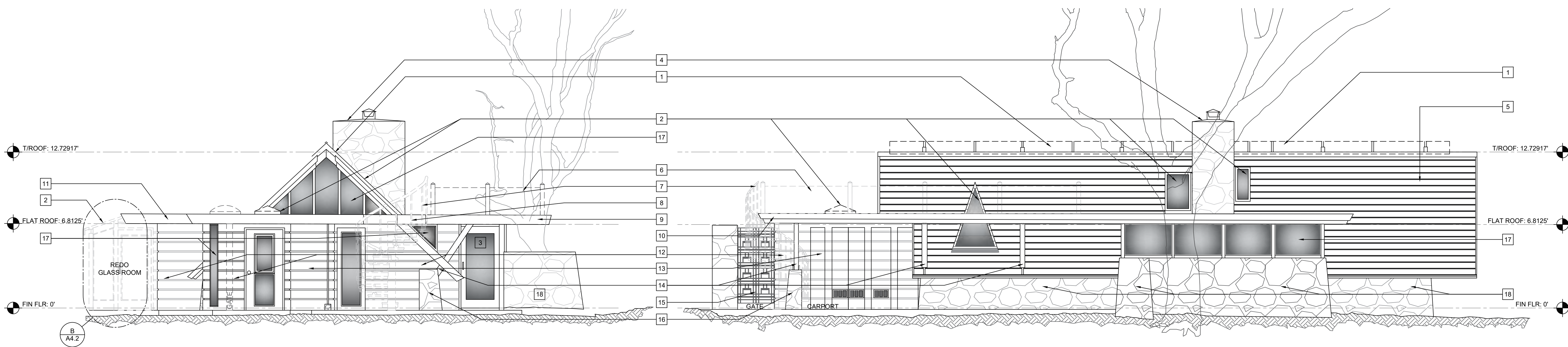
PAGE TITLE:

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'

SHEET:

A3.1



PROPOSED NORTH ELEVATION
 1/4" = 1'-0"

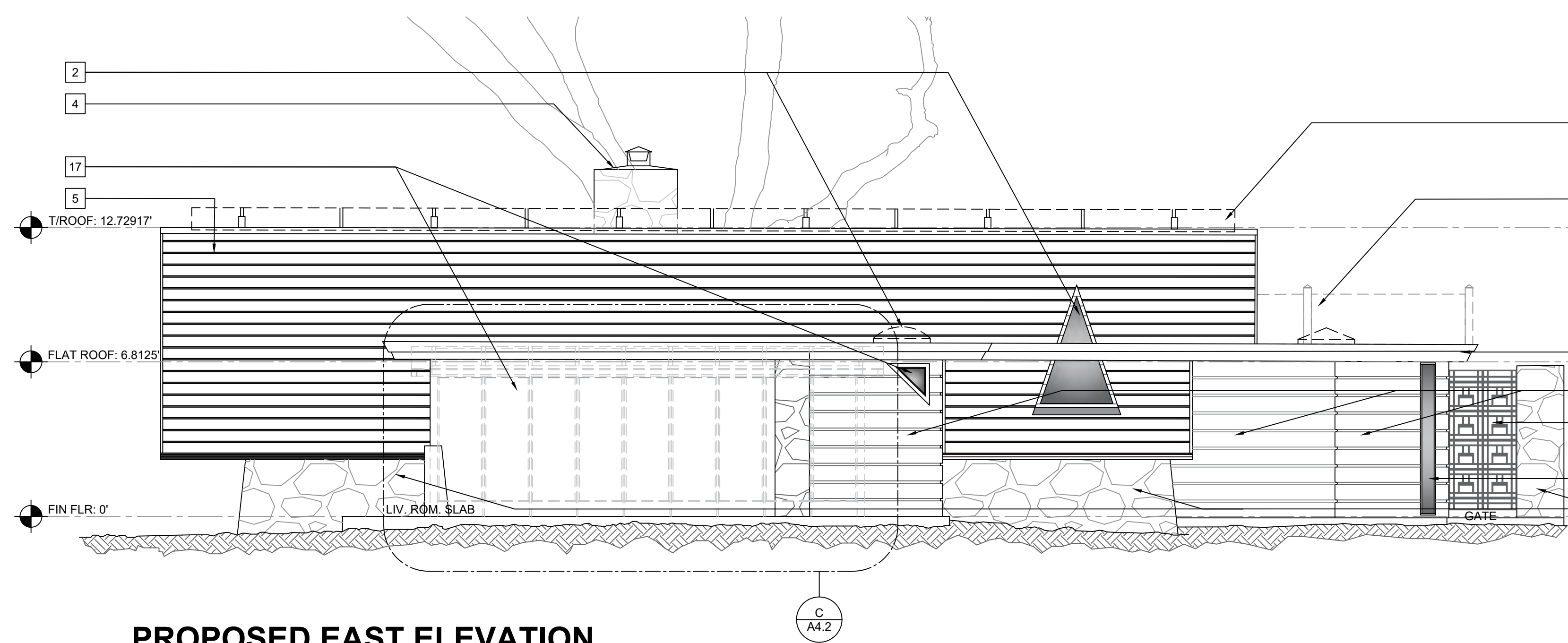
PROPOSED WEST ELEVATION
 1/4" = 1'-0"

PROPOSED MATERIALS LEGEND:

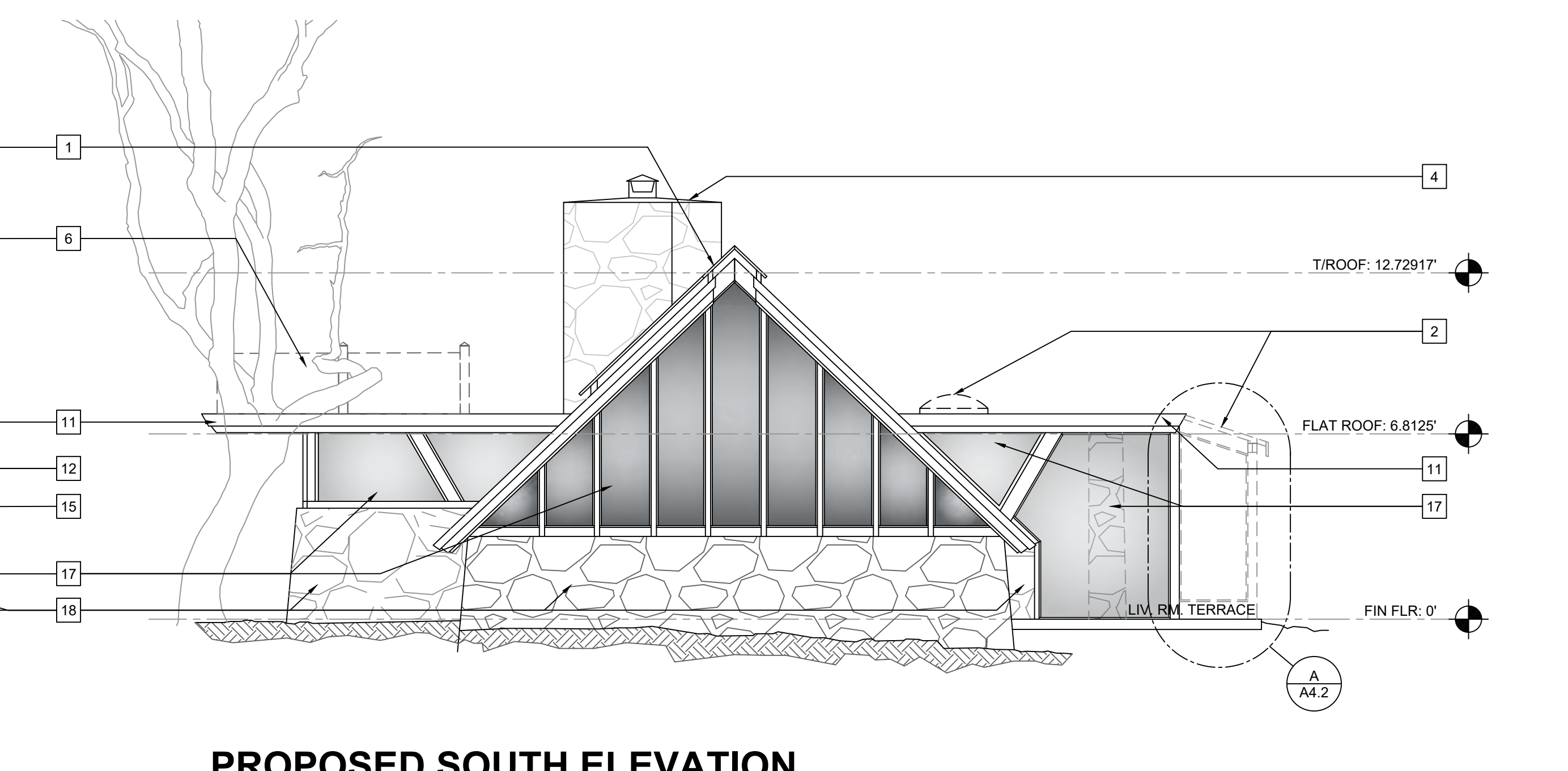
1. REPLACE RIDGE SKYLIGHT WITH TEMPERED OVER LAMINATED INSULATING GLASS.
2. REPLACE SKYLIGHTS.
3. REPLACE FRONT DOOR WITH NEW MAHOGANY SINGLE LITE DOOR WITH 5/8" CLEAR, LOW E INSULATING GLASS.
4. PLACE STAINLESS STEEL WITH LOW SHEEN, EPOXY PAINT FINISH SHEET METAL CAP OVER CHIMNEY. COLOR: GRAY.
5. METAL PANEL "BERMUDA" STYLE ROOF MANUFACTURED BBY ATAS INTERNATIONAL, INC., EVOCATIVE OF ARCHITECT'S ORIGINAL DESIGN. REPLACE PAINTED, GALVANIZED METAL FLASHINGS. ROOF AND FLASHINGS COLOR: "PIGMENTO BROWN" BY ATAS INTERNATIONAL, INC. SEE DETAILS A, B, C, 1, C, 2, D, 1, D, 2 & E, SHEETS A5.0, A5.1 & A5.2. SEE SPECS SHEET A6.0.
6. REMOVE GLASS GUARDRAIL (NON-HISTORIC).
7. REMOVE NON-HISTORIC SPIRAL STAIR.

8. RESTORE ORIGINAL 2X6 DOUG FIR FLAT ROOF FRAMING, 2X T&G FIR DECKING AND 2X10 REDWOOD FASCIA AT THE SPIRAL STAIR TO BE REMOVED.
9. REPLACE WOOD FASCIA ON FLAT ROOF TO BE REFILLED FACADE.
10. REMOVE 4X4 NON-HISOTRIC POST AND CORRECT FASCIA DEFLECTION OR REPLACE WITH NEW 2X REDWOOD TO ALIGN WITH ADJACENT MATERIAL. NATURAL FINISH.
11. REMOVE NON-HISTORIC PAINT FINISH, RESTORING THE ORIGINAL, NATURAL REDWOOD. SEAL WITH 2 COATS OF CABOT'S CLEAR, EXTERIOR WOOD PRESERVATIVE.
12. REMOVE NON-HISTORIC PAINT FINISH TO THE WOOD SIDING, RESTORING TO THE ORIGINAL, NATURAL REDWOOD FINISH WITH 2 COATS OF CABOT'S CLEAR, EXTERIOR WOOD PRESERVATIVE.
13. ALTERATIONS FOR NEW MECHANIC AND ELECTRIC CLOSETS AT NON-HISTORIC CARPORT WALL. MATCH ORIGINAL, NATURAL REDWOOD FINISH WITH 2 COATS OF CABOT'S CLEAR, EXTERIOR WOOD PRESERVATIVE.

14. REINFORCE CARPORT ROOF TRUSSES WITH CONCEALED GALVANIZED STEEL SECTIONS AND FLAT PLATE. SEE SECTION A.1, SHEET A4.0 AND DETAIL H, SHEET A 5.4.
15. POWDER BLAST AND REPAINT IRON GATES. COLOR: BRONZE.
16. REPAIR CONCRETE CARPORT SUPPORT AND REPLACE STEEL ANCHOR PLATE TO MATCH ORIGINAL. EPOXY PAINT FINISH: BRONZE.
17. AT SOUTH AND NORTH ELEVATION GABLE ENDS: REPLACE THE ORIGINAL REDWOOD WINDOW VERTICALS, SILL AND HEAD, MATCHING THE ARCHITECTS DIMENSIONS. INSTALL A CONTINUOUS SHEET METAL PAN AT SILL. INSTALL 5/8" CLEAR LOW E, INSULATING GLASS LITES WITH 3/4" REDWOOD STOPS. REPLACE ALL OTHER WINDOW GLASS WINDOWS WITH 5/8" CLEAR LOW E INSULATING GLASS IN ORIGINAL (RESTORED) FRAMES.
18. APPLY FLUID WATERPROOFING TO ALL BELOW GRADE CONCRETE FOUNDATIONS.



PROPOSED EAST ELEVATION
 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
 1/4" = 1'-0"

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PROJECT:
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 APN: 009-353-012
 Block 1, Lot 17

OWNER:
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 Los Angeles, CA 90071
 accountspayables@stgroup.org
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DRAWING DATE: 05/12/23

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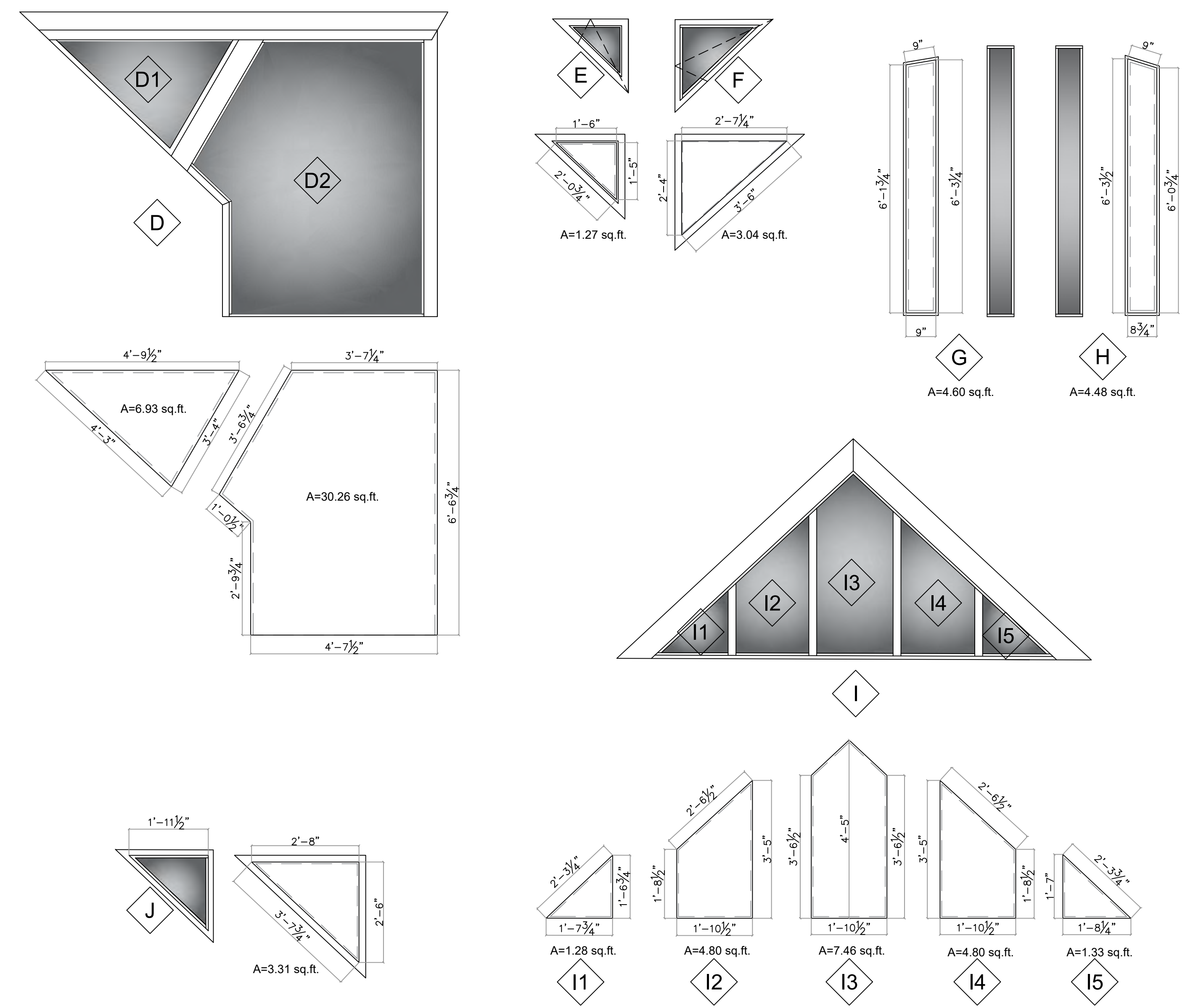
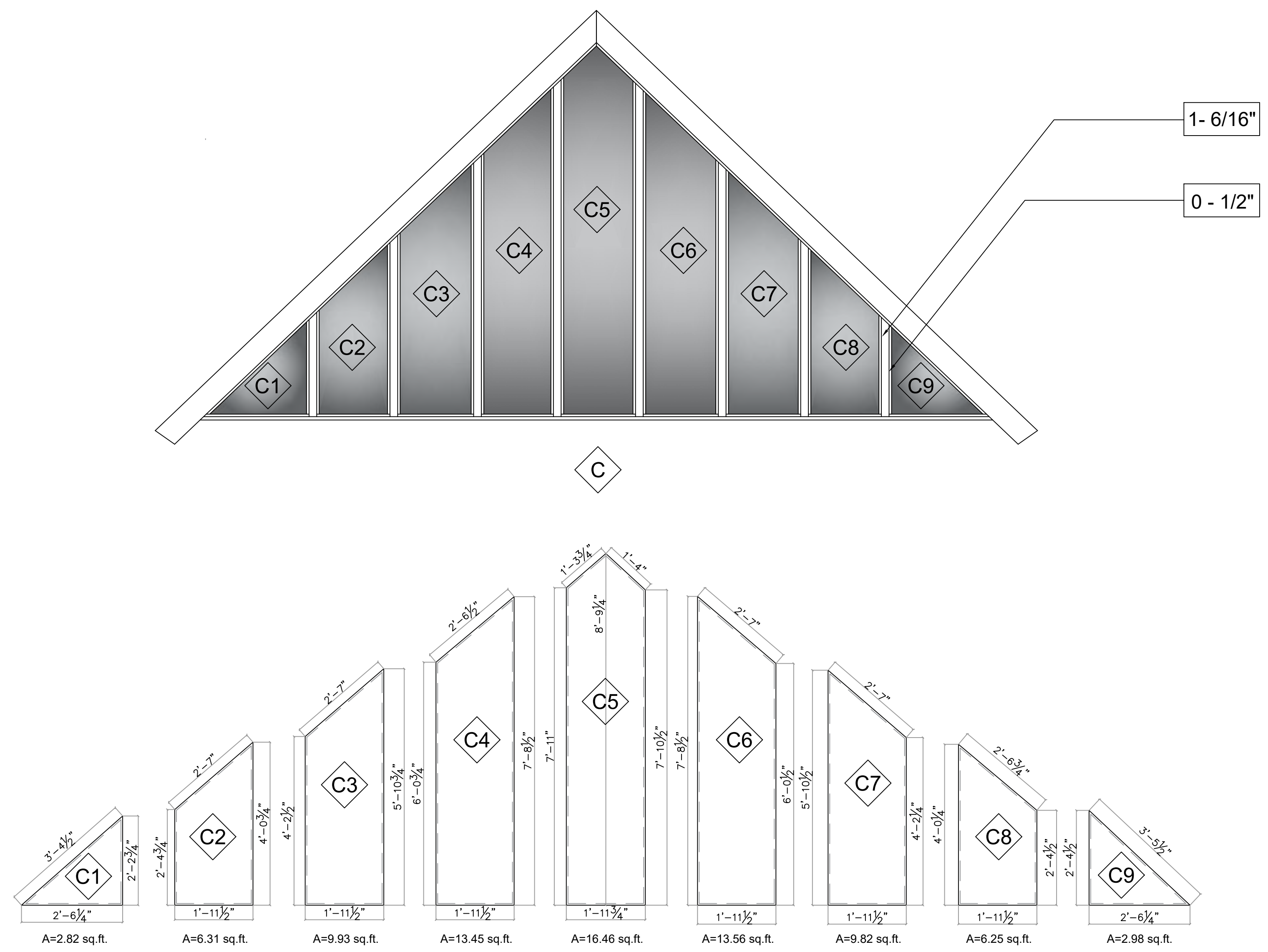
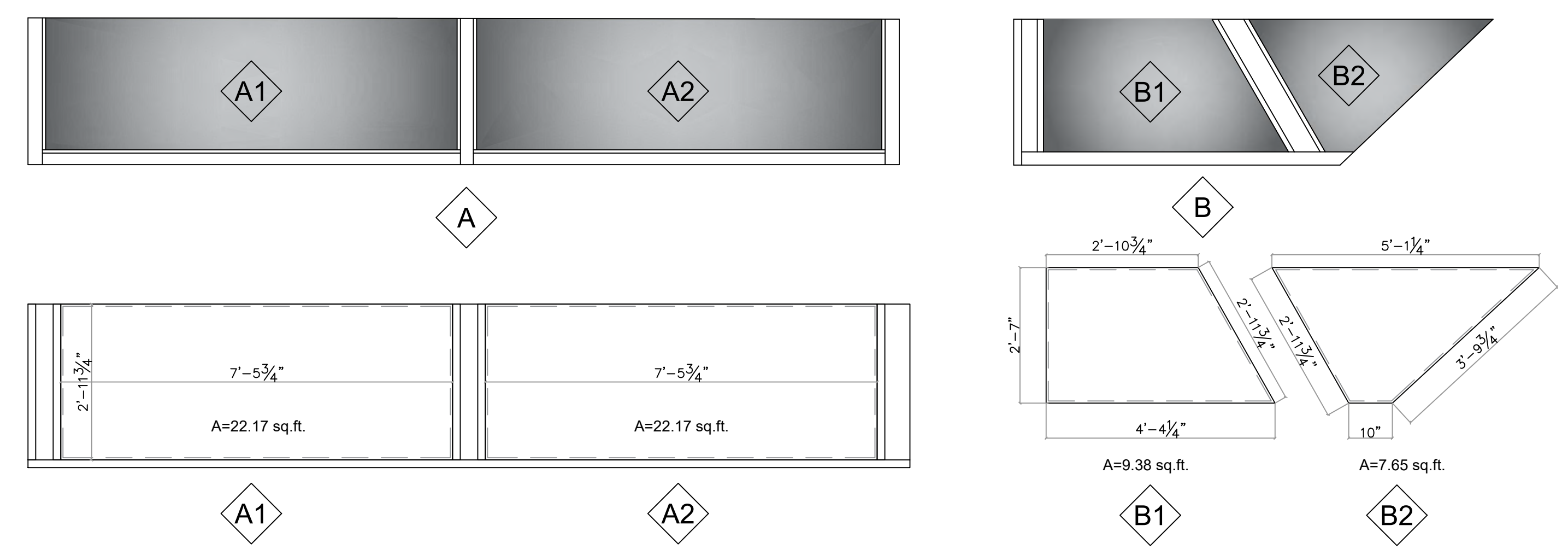
WINDOWS SCHEDULE

SCALE: 1/2" = 1'

SHEET:

A3.2

WINDOW SCHEDULE										
MARK	TYPE	STYLE	LOCATION	SIZE		SHAPE	FRAME	INT. FINISH	GLASS TYPE	REMARKS
				WIDTH	HEIGHT					
1	A	A1	FIXED	WEST FAÇADE - HALLWAY	7'-5 3/4"	2'-11 3/4"	RETANGULAR	REDWOOD	ORIGINAL REDWOOD FINISH TO BE RESTORED IF RETAINED	5/8" CLEAR, LOW E. INSULATING GLASS. TEMPERED AS REQUESTED BY CODE.
2	A	A2	FIXED	WEST FAÇADE - HALLWAY	7'-5 3/4"	2'-11 3/4"	RETANGULAR			
3	B	B1	FIXED	SOUTH FAÇADE - HALLWAY	VARIES	VARIES	TRAPEZOIDAL			
4	B	B2	FIXED	SOUTH FAÇADE - HALLWAY	VARIES	VARIES	TRAPEZOIDAL			
5	C	C1	FIXED	SOUTH FAÇADE - LIVING ROOM	2'-6 1/4"	2'-2 3/4"	TRIANGULAR			
6	C	C2	FIXED	SOUTH FAÇADE - LIVING ROOM	VARIES	VARIES	TRAPEZOIDAL			
7	C	C3	FIXED	SOUTH FAÇADE - LIVING ROOM	VARIES	VARIES	TRAPEZOIDAL			
8	C	C4	FIXED	SOUTH FAÇADE - LIVING ROOM	VARIES	VARIES	TRAPEZOIDAL			
9	C	C5	FIXED	SOUTH FAÇADE - LIVING ROOM	VARIES	VARIES	TRAPEZOIDAL			
10	C	C6	FIXED	SOUTH FAÇADE - LIVING ROOM	VARIES	VARIES	PENTAGONAL			
11	C	C7	FIXED	SOUTH FAÇADE - LIVING ROOM	VARIES	VARIES	TRAPEZOIDAL			
12	C	C8	FIXED	SOUTH FAÇADE - LIVING ROOM	VARIES	VARIES	TRAPEZOIDAL			
13	C	C9	FIXED	SOUTH FAÇADE - LIVING ROOM	2'-6 1/4"	2'-4 1/2"	TRIANGULAR			
14	D	D1	FIXED	SOUTH FAÇADE - GLASS ROOM	VARIES	VARIES	TRIANGULAR			
15	D	D2	FIXED	SOUTH FAÇADE - GLASS ROOM	VARIES	VARIES	IRREGULAR HEXAGON			
16	-	E	FIXED	EAST FAÇADE - BATHROOM	1'-6"	1'-5"	TRIANGULAR			
17	-	F	OUTSWING	NORTH ORIENTED - BATHROOM	2'-7 1/4"	2'-4"	TRIANGULAR			
18	-	G	FIXED	EAST FAÇADE - PRIMARY BATHROOM	VARIES	VARIES	TRAPEZOIDAL			
19	-	H	FIXED	NORTH FAÇADE - PRIMARY BATHROOM	VARIES	VARIES	TRAPEZOIDAL			
20	I	I1	FIXED	NORTH FAÇADE - OVER FLAT ROOF	1'-7 3/4"	1'-6 3/4"	TRIANGULAR			
21	I	I2	FIXED	NORTH FAÇADE - OVER FLAT ROOF	VARIES	VARIES	TRAPEZOIDAL			
22	I	I3	FIXED	NORTH FAÇADE - OVER FLAT ROOF	VARIES	VARIES	TRAPEZOIDAL			
23	I	I4	FIXED	NORTH FAÇADE - OVER FLAT ROOF	VARIES	VARIES	TRAPEZOIDAL			
24	I	I5	FIXED	NORTH FAÇADE - OVER FLAT ROOF	1'-8 1/4"	1'-7"	TRIANGULAR			
25	-	J	OUTSWING	NORTH FAÇADE - KITCHEN	2'-8"	2'-6"	TRIANGULAR			



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 CARMEL, CA

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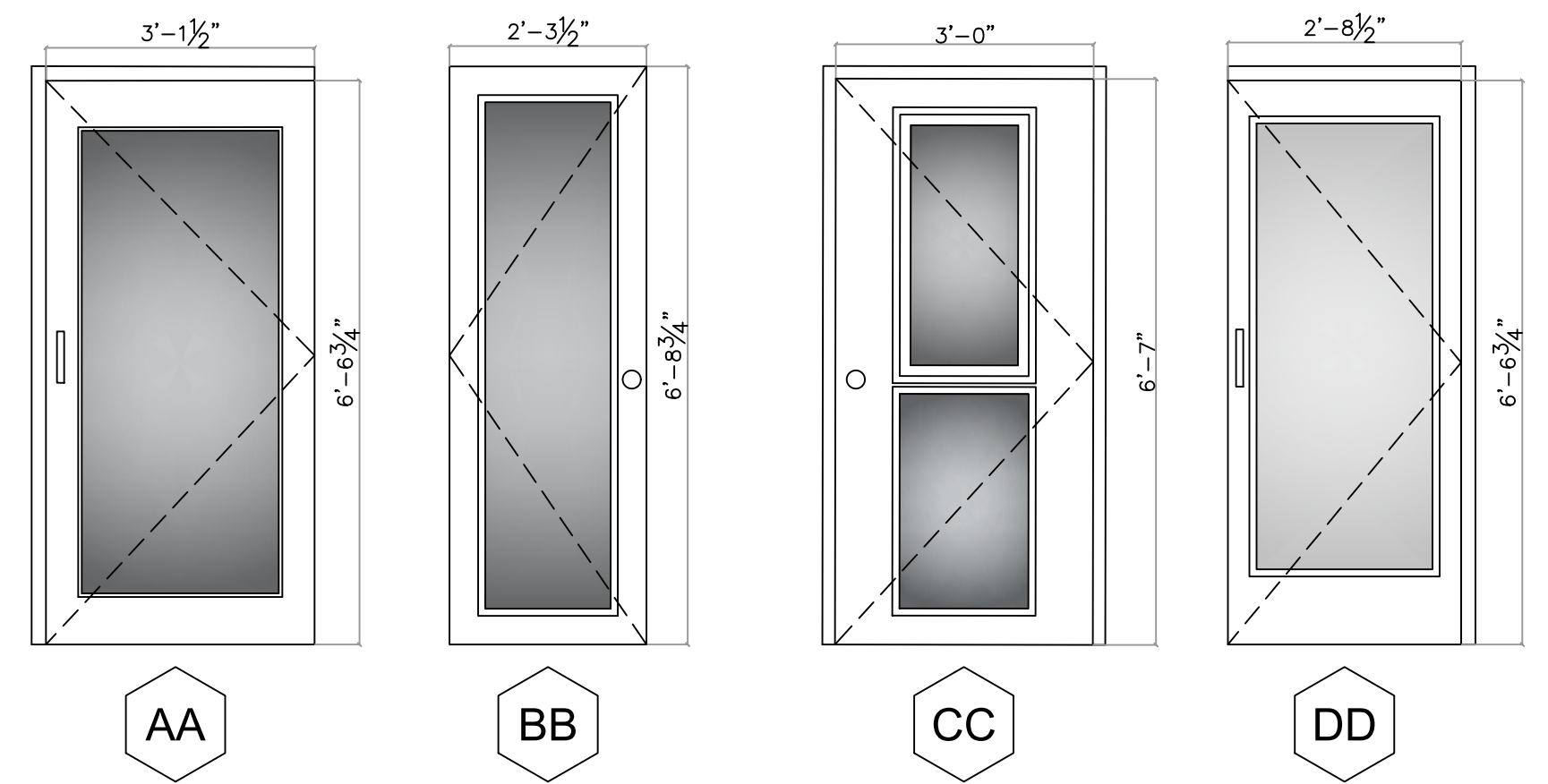
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PAGE TITLE:
DOORS & SKYLIGHTS SCHEDULES

SCALE: 1/2" = 1'
SHEET:

A3.3

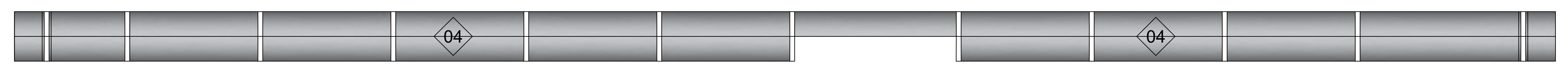
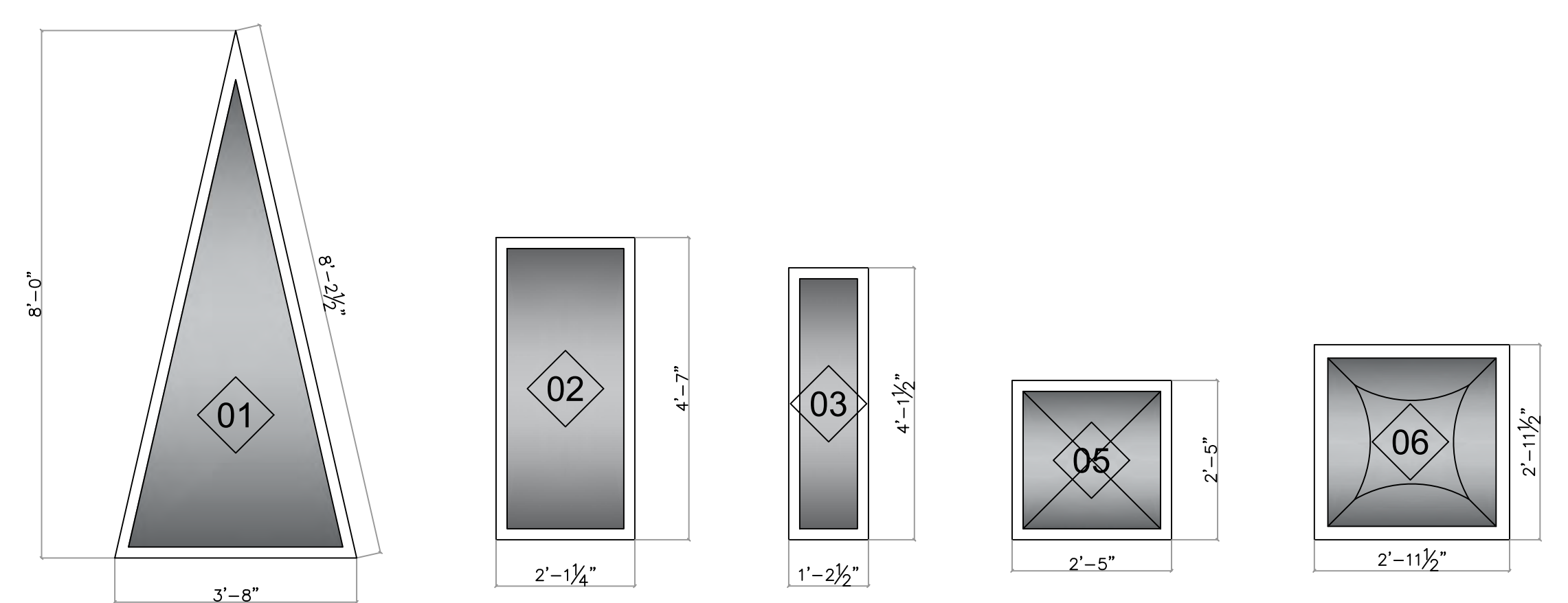
DOOR SCHEDULE											
MARK	TYPE	STYLE	LOCATION	SIZE		HEAD HEIGHT	ROUGH OPENING (WxH)	FRAME	INT. FINISH	GLASS TYPE	REMARKS
				WIDTH	HEIGHT						
1	AA	INSWING	NORTH FAÇADE - ENTRYWAY	3' - 0 5/8"	6' - 5 1/16"	V.I.F. (E) DIMS.	V.I.F. (E) DIMS.	(E) WOOD	RESTORE DOOR FRAME FINISH	V.I.F. IF TEMPERED . (N) GLASS IF REQ'D: TEMP.	REPLACE TO MATCH ORIGINAL
2	BB	OUTSWING	NORTH FAÇADE - BEDROOM	2'	6' - 7 3/8"						
3	CC	INSWING	NORTH FAÇADE - PRIMARY RESTROOM	2' - 10 1/8"	6' - 4 11/16"						
4	DD	INSWING	NORTH ORIENTED - GLASSROOM	2' 9 3/8"	6' - 1 3/4"						



DOOR TYPES

NTS

SKYLIGHT SCHEDULE										
MARK	QUANTITY	STYLE	LOCATION	SIZE		ROUGH OPENING (WxH)	FRAME	INT. FINISH	GLASS TYPE	REMARKS
				WIDTH	HEIGHT					
1	2	TRIANGULAR	GABLE - OVER BEDROOMS	3'-8"	8"	FIELD VERIFY	WOOD	STAIN MATCHING REDWOOD	TEMPERED OVER LAMINATED INSULATING	FIELD VERIFY ALL BEAM CONNECTIONS & DIMENSIONS
2	1	RECTANGULAR	GABLE - OVER KITCHEN	2'-1 1/4"	4'-7"	FIELD VERIFY	WOOD			
3	1	RECTANGULAR	GABLE - OVER FIREPLACE	1'-2 1/2"	4'-1 1/2"	FIELD VERIFY	WOOD			
4	1	RIDGE SKYLIGHT	GABLE RIDGE FOLLOWING THE LENGTH OF THE ROOF	Varies	Varies	FIELD VERIFY	CUSTOM MTL. FRAME	STAIN MATCHING REDWOOD	TEMPERED OVER LAMINATED INSULATING	FIELD VERIFY ALL BEAM CONNECTIONS & DIMENSIONS
5	1	SQUARE	FLAT ROOF - OVER PRIMARY BATHROOM	2'-5"	2'-5"	FIELD VERIFY	WOOD			
6	1	SQUARE	FLAT ROOF - OVER BATHROOM	2'-11 1/2"	2'-11 1/2"	FIELD VERIFY	WOOD			



43'-7"									
5'-1 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	6'-4 1/2"
4-2.1	4-2.2	4-2.3	4-2.4	4-2.5	4-2.6	4-2.7	4-2.8	4-2.9	4-2.10
4-1.1	4-1.2	4-1.3	4-1.4	4-1.5	SHEET METAL PANEL AROUND THE CHIMNEY	4-1.6	4-1.7	4-1.8	4-1.9
5'-1 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	3'-11 1/2"	5'-9"	2'-3 1/4"	3'-11 1/2"	3'-11 1/2"	6'-4 1/2"
21'-1 3/4"					04	16'-8 1/2"			

SKYLIGHT TYPES

1/2" = 1'-0"

SIDE 2
WEST FAÇADE

SIDE 1
EAST FAÇADE

A TOTAL = 135.71 sq.ft.

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 CARMEL, CA

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EXISTING DOOR & WINDOW CONDITIONS

SCALE: 1/4" = 1'

SHEET:

A3.4



A



A

B



C



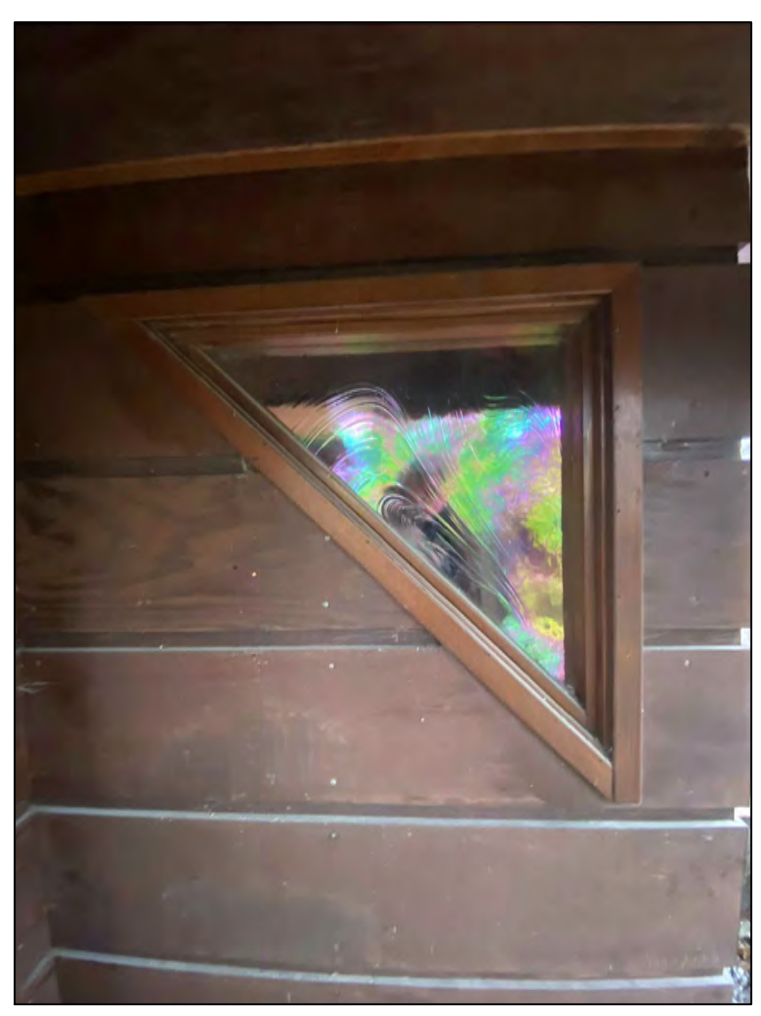
C



D



DD



E



F



G



H



I



I

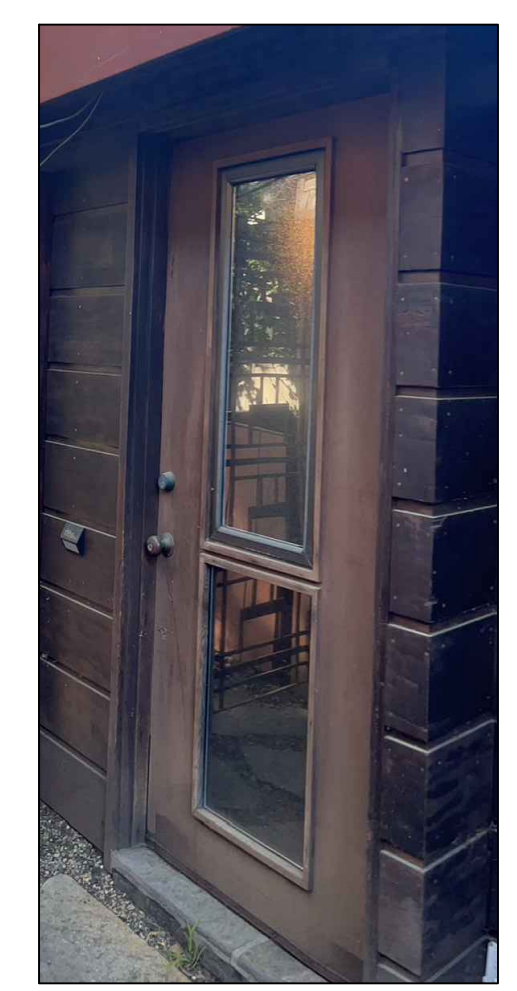


J

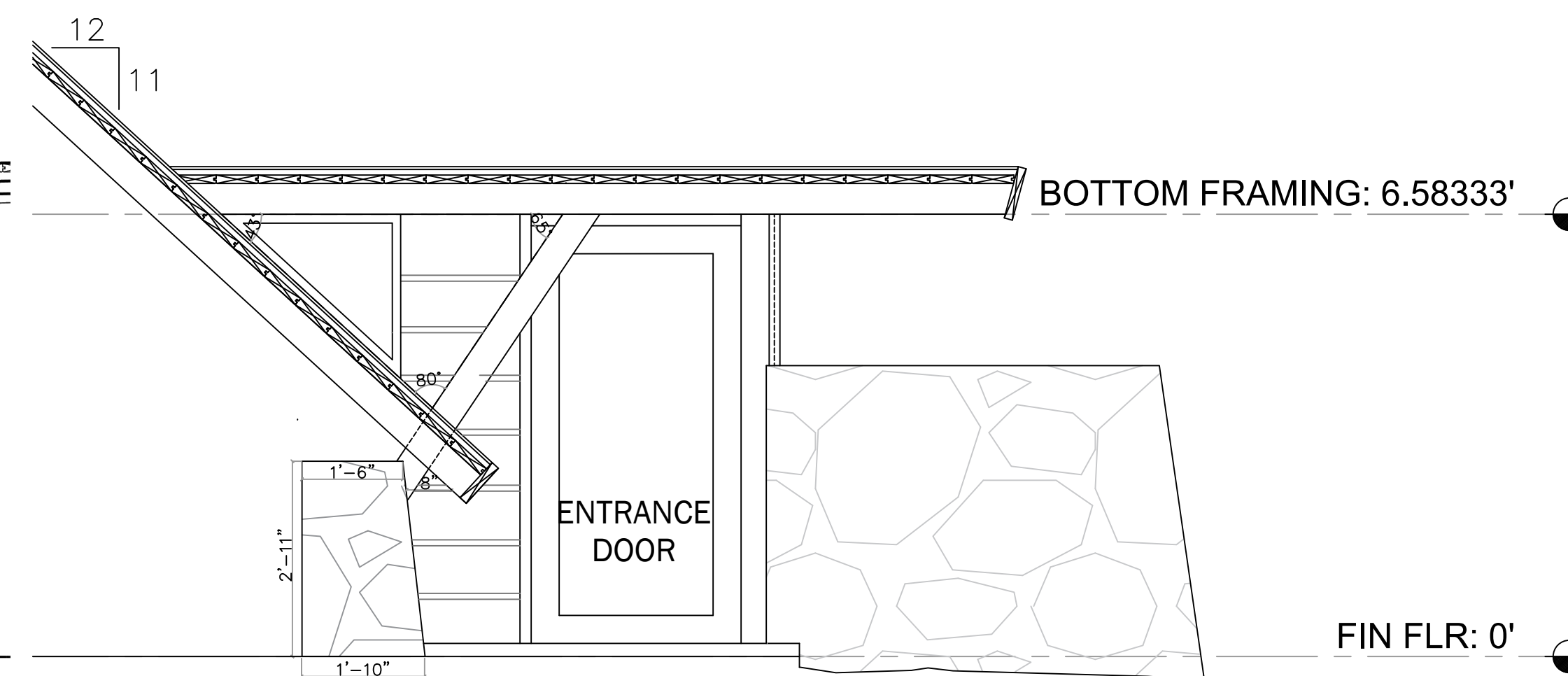
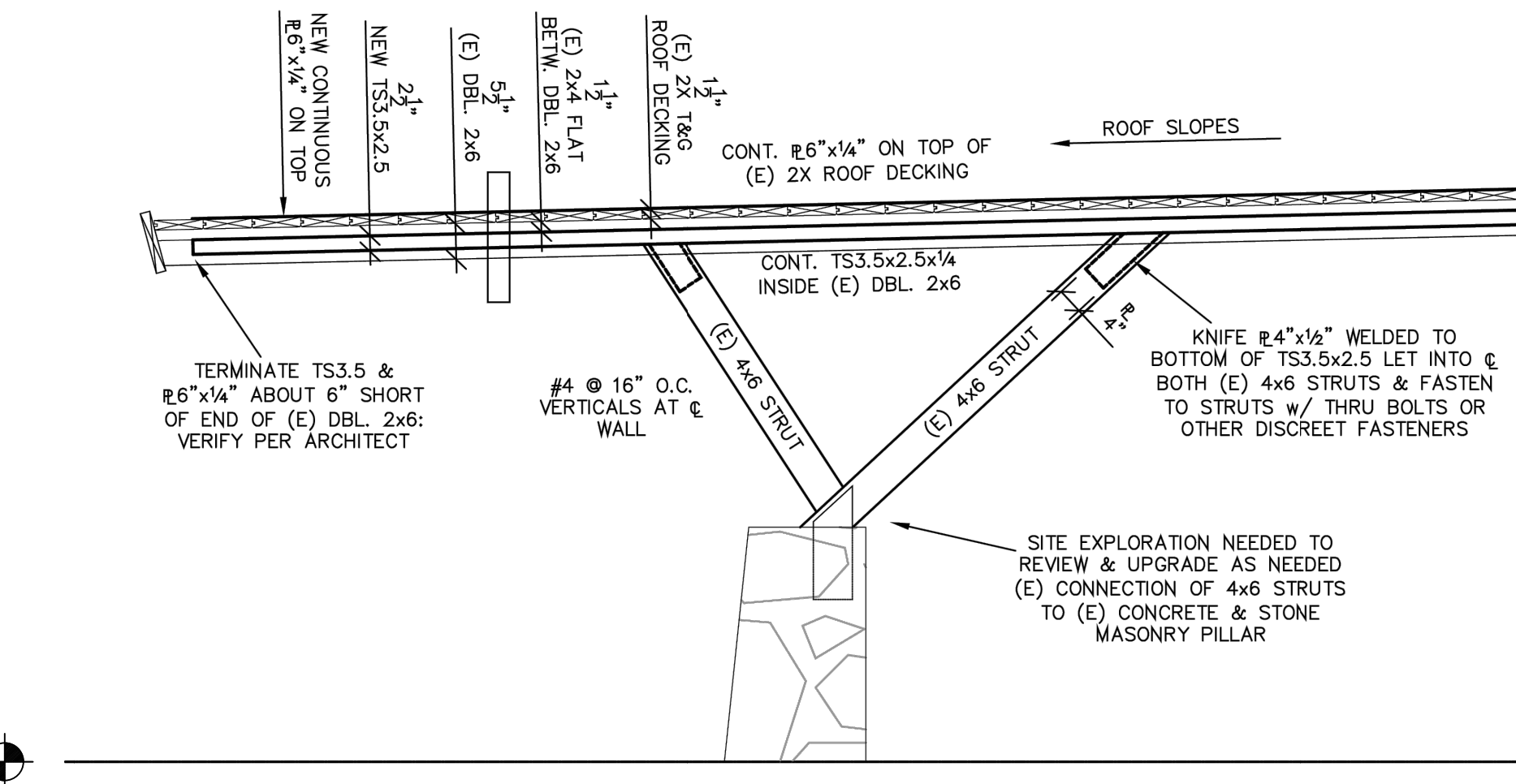
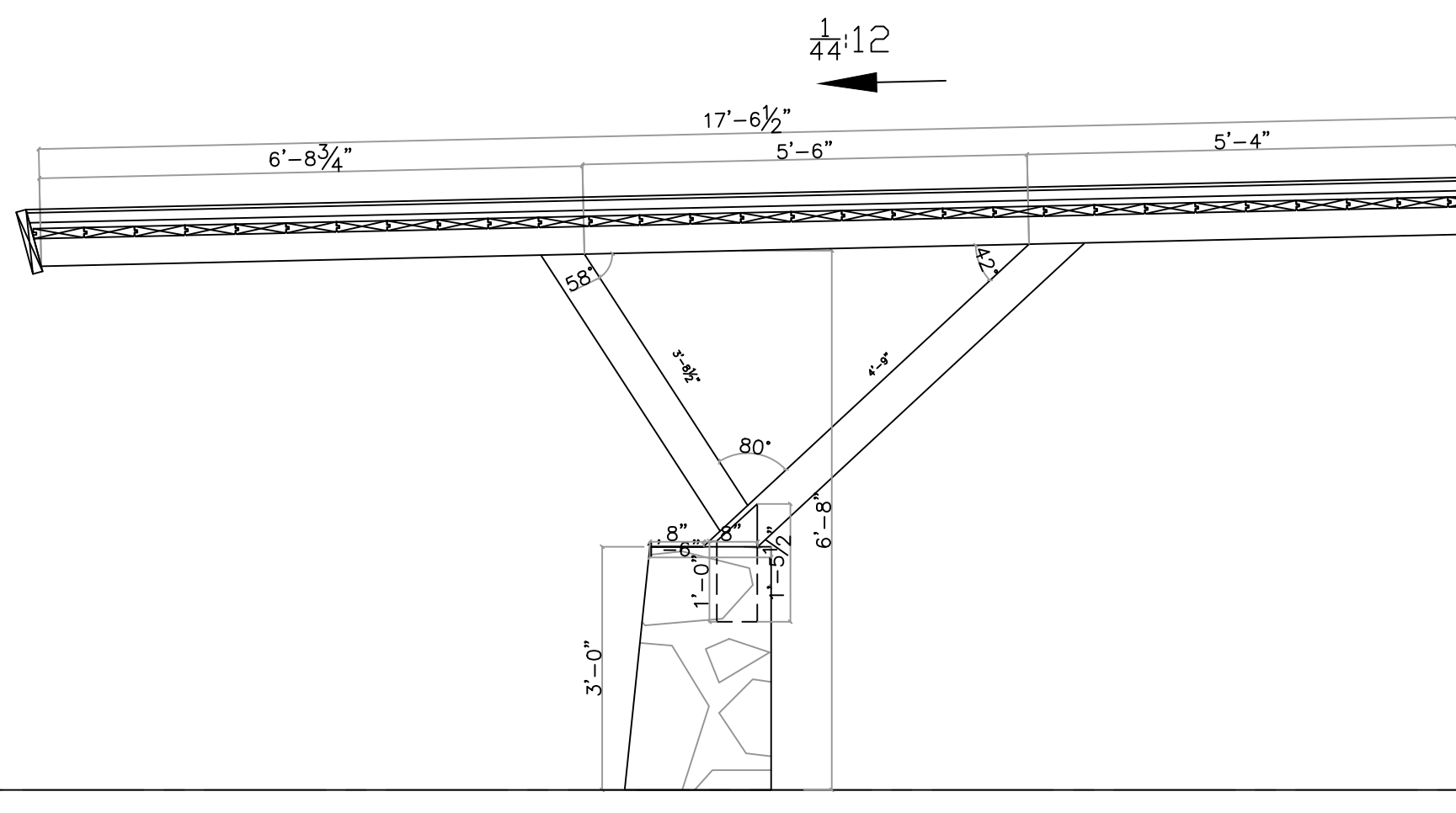
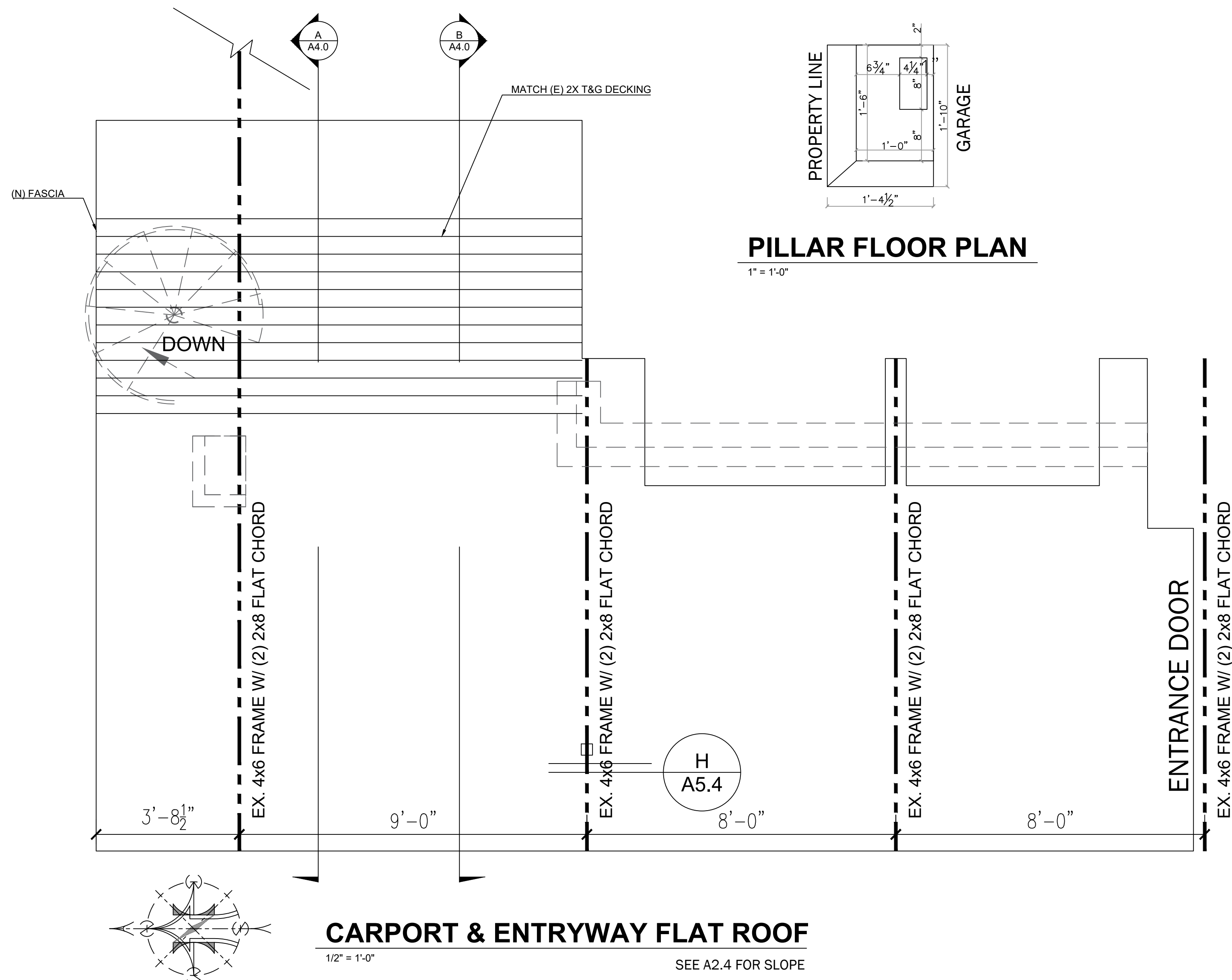
AA



BB



CC



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FLAT ROOF CARPORT ENTRYWAY

SCALE: 1/2" = 1'

SHEET:

A4.0

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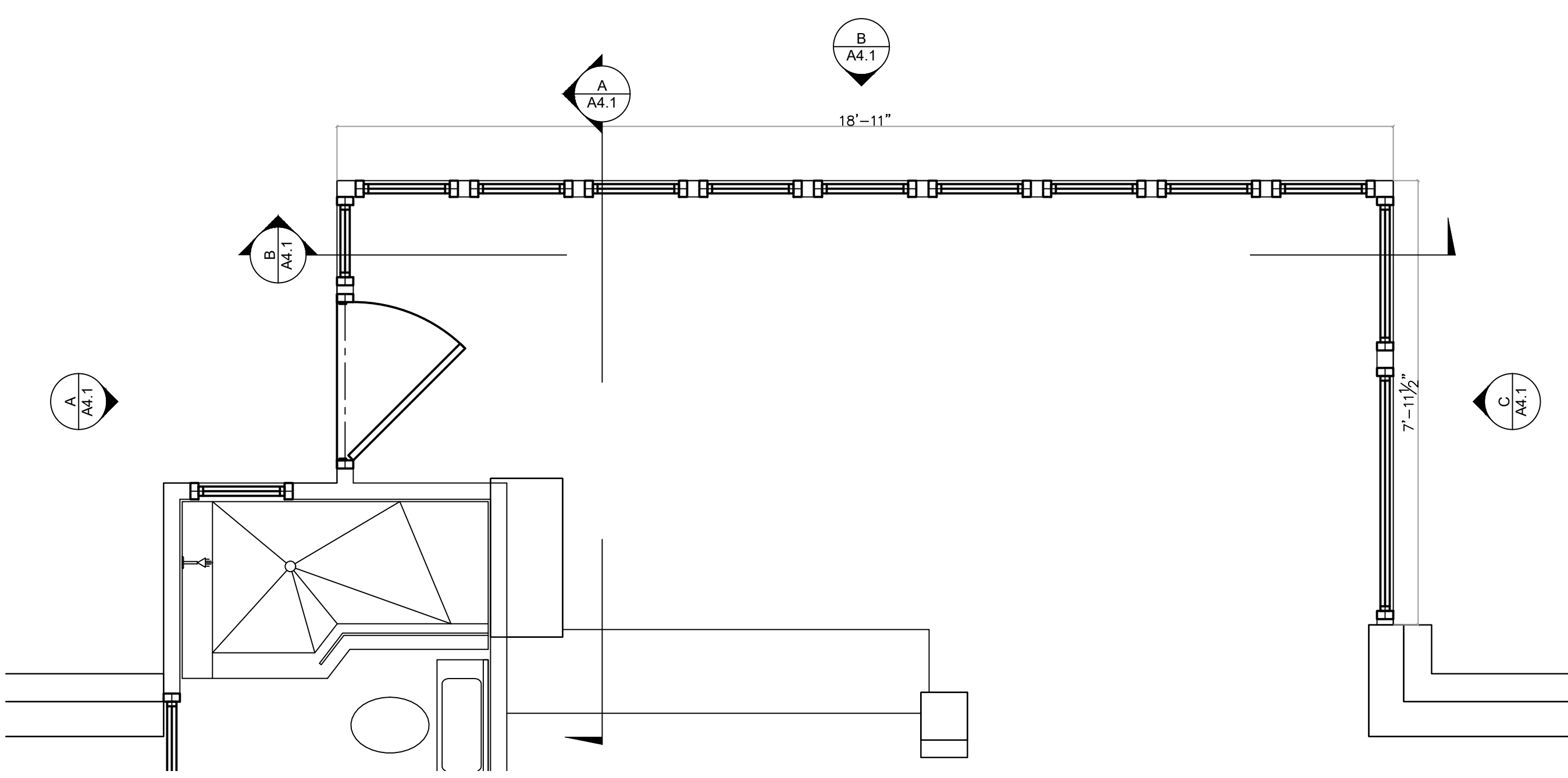
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EXISTING GLASS ROOM

SCALE: 1/2" = 1'

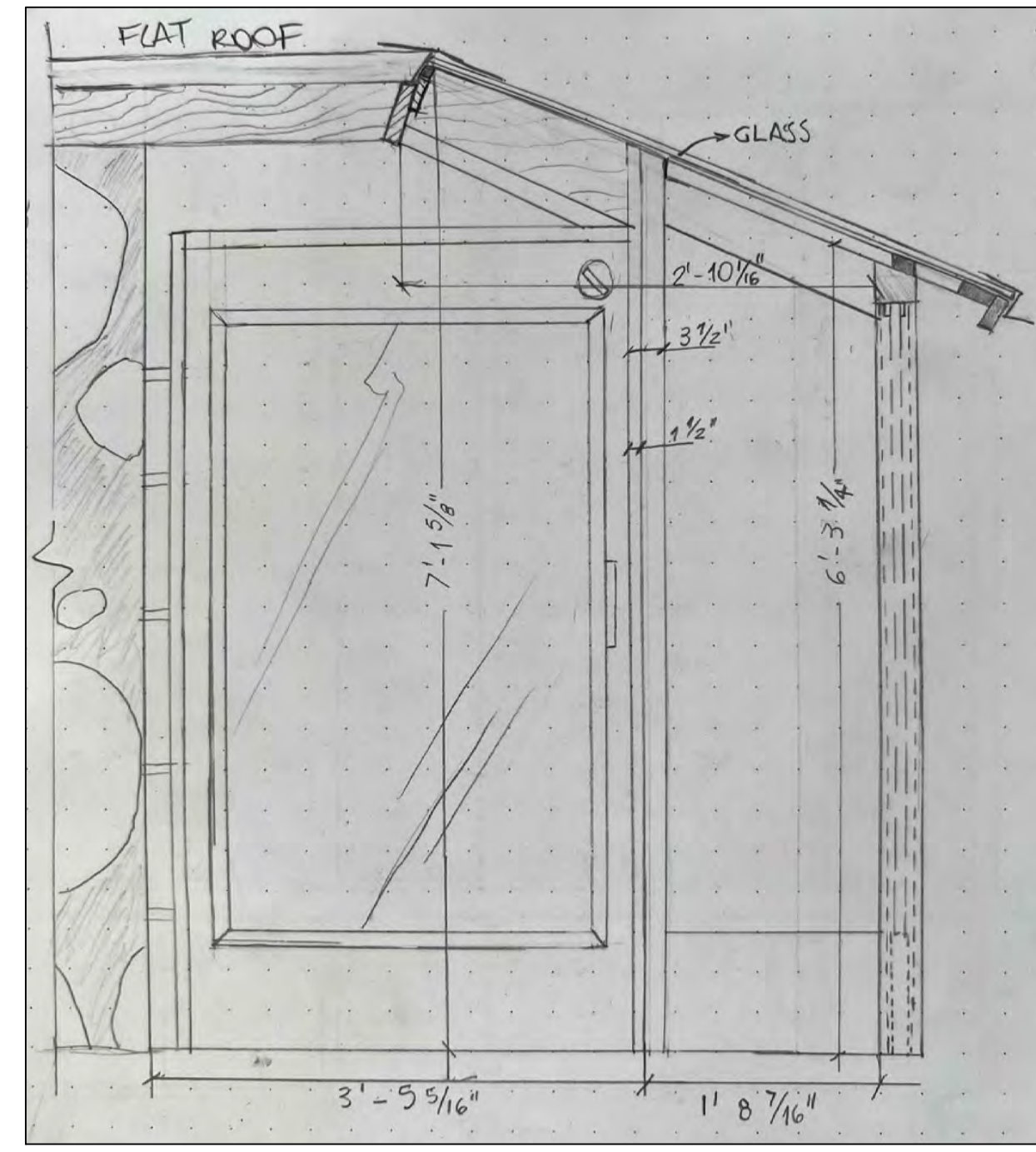
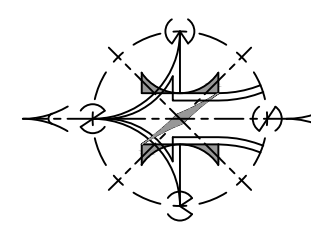
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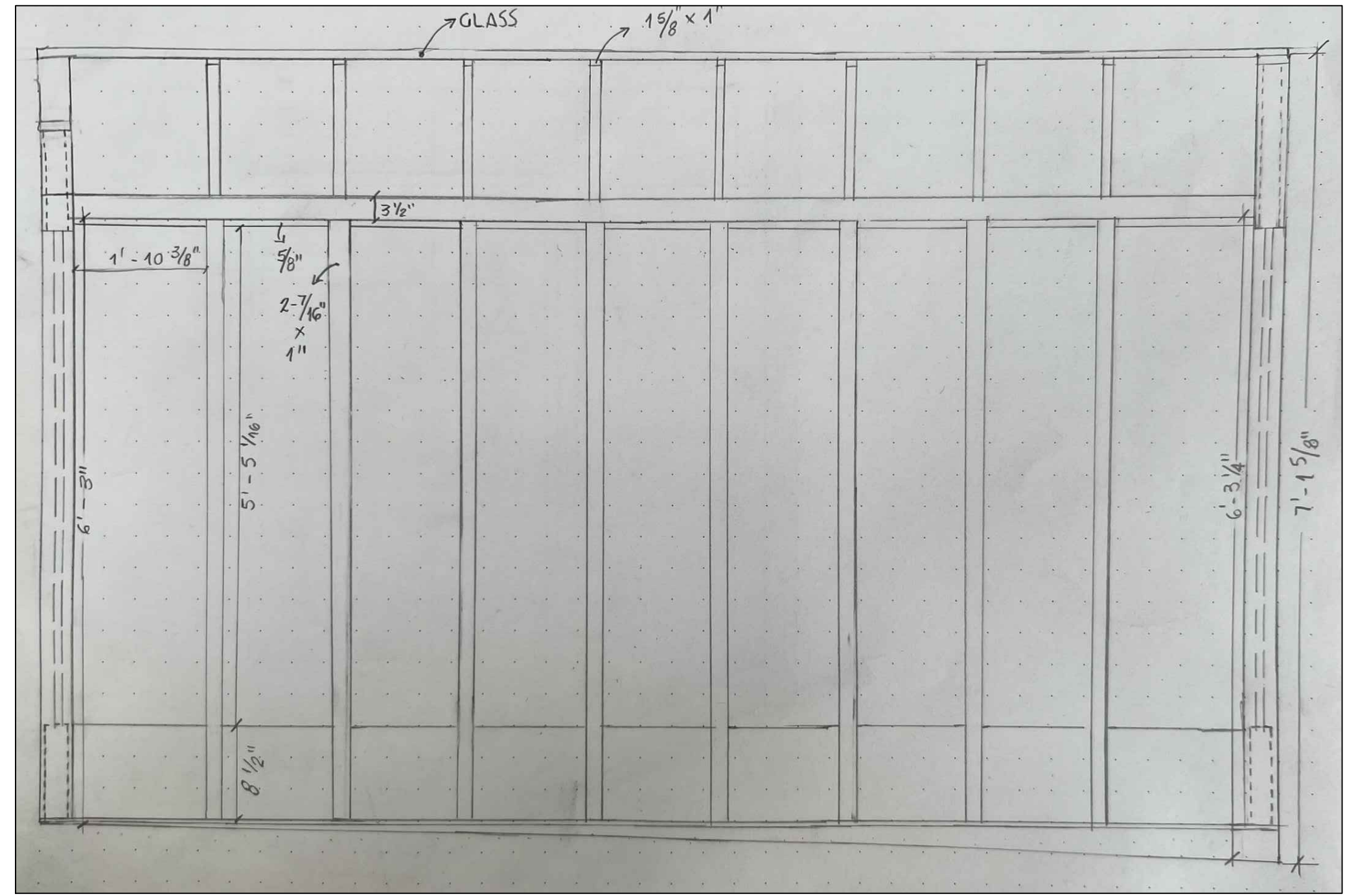
GLASS ROOM PARTIAL FLOOR PLAN

1/2" = 1'-0"



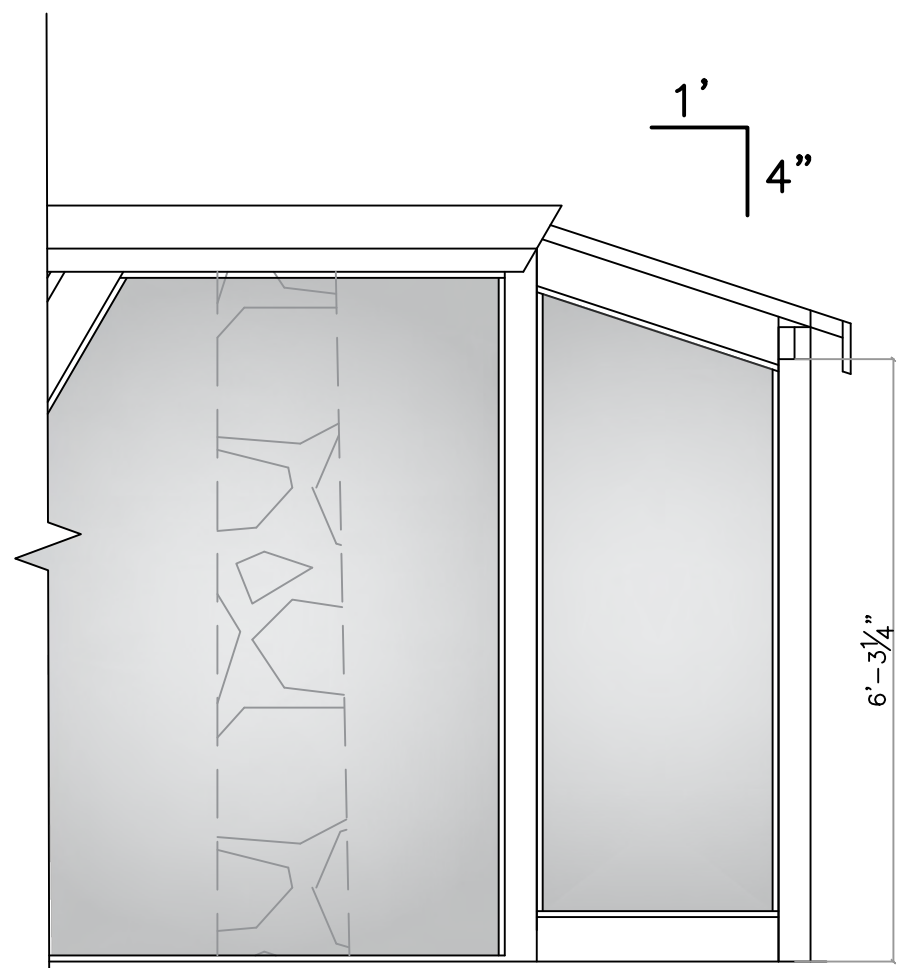
A TRANSVERSE SECTION

NTS



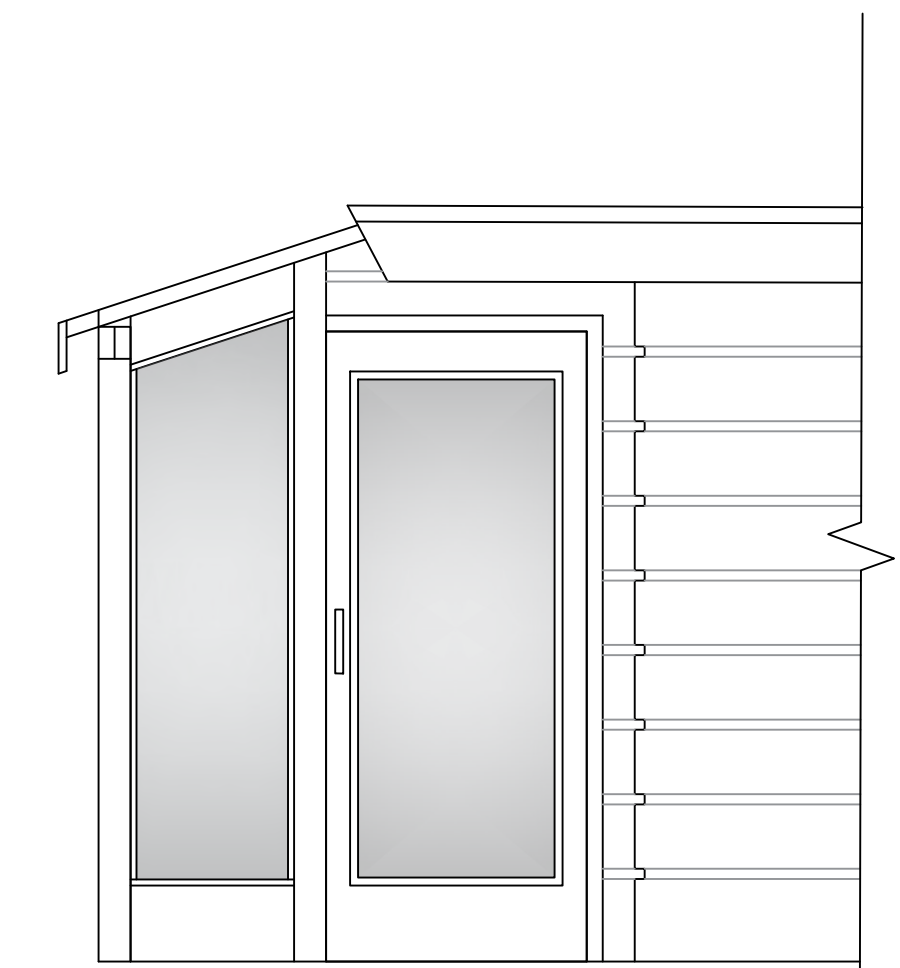
B TRANSVERSE SECTION

NTS



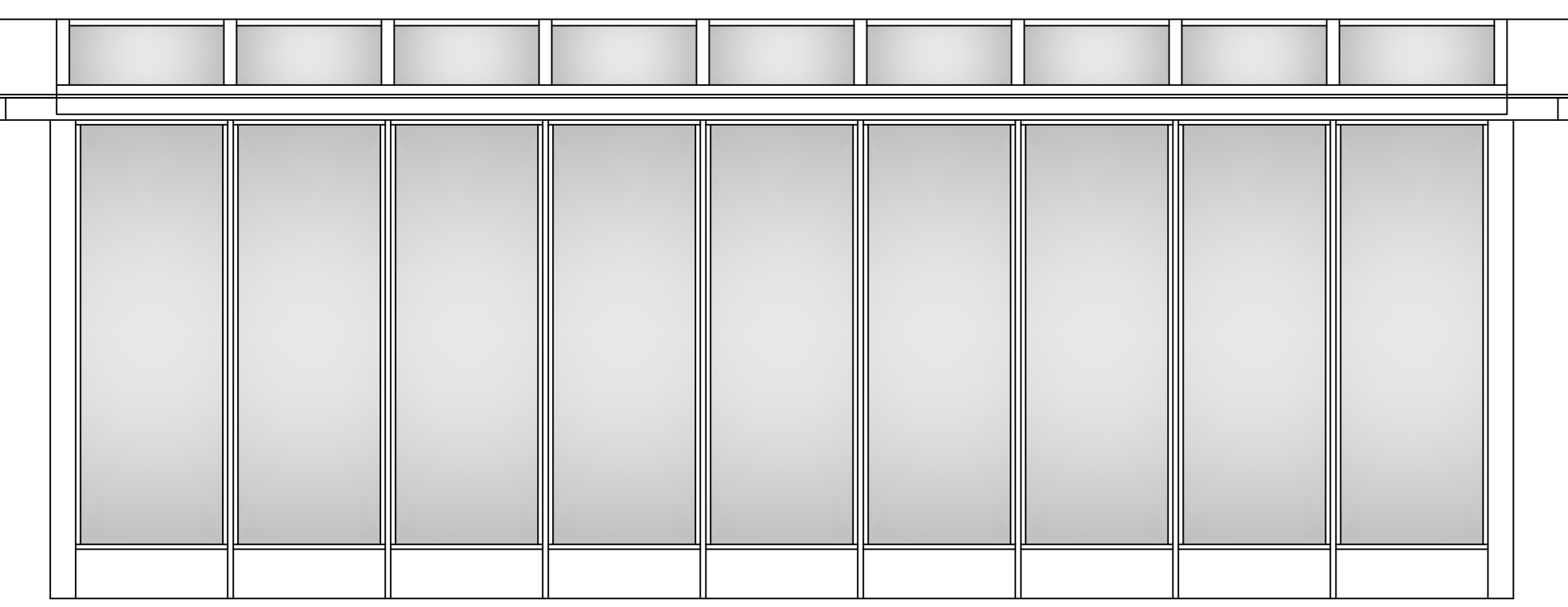
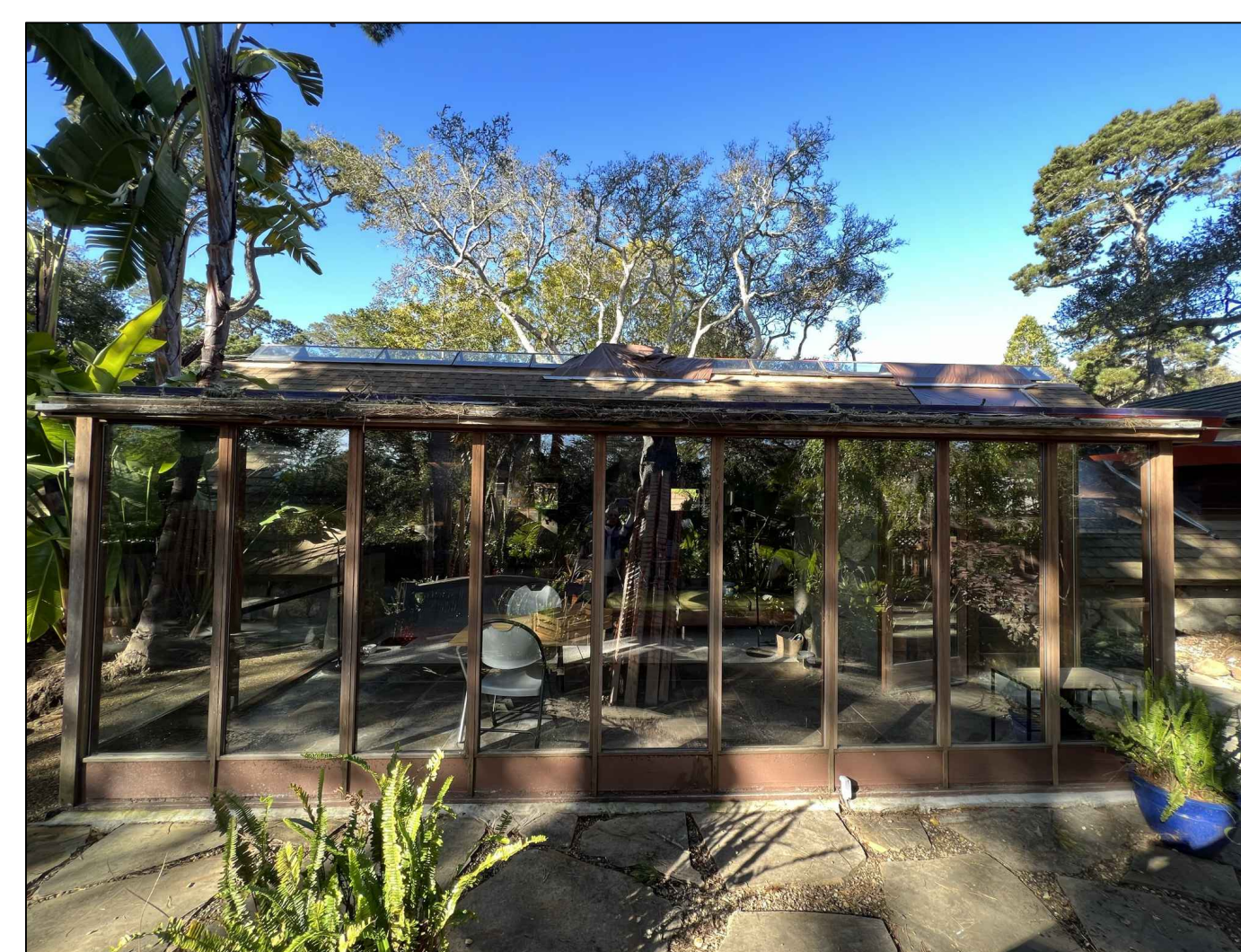
C NORTH ELEVATION

1/2" = 1'



E SOUTH ELEVATION

1/2" = 1'



D EAST ELEVATION

1/2" = 1'

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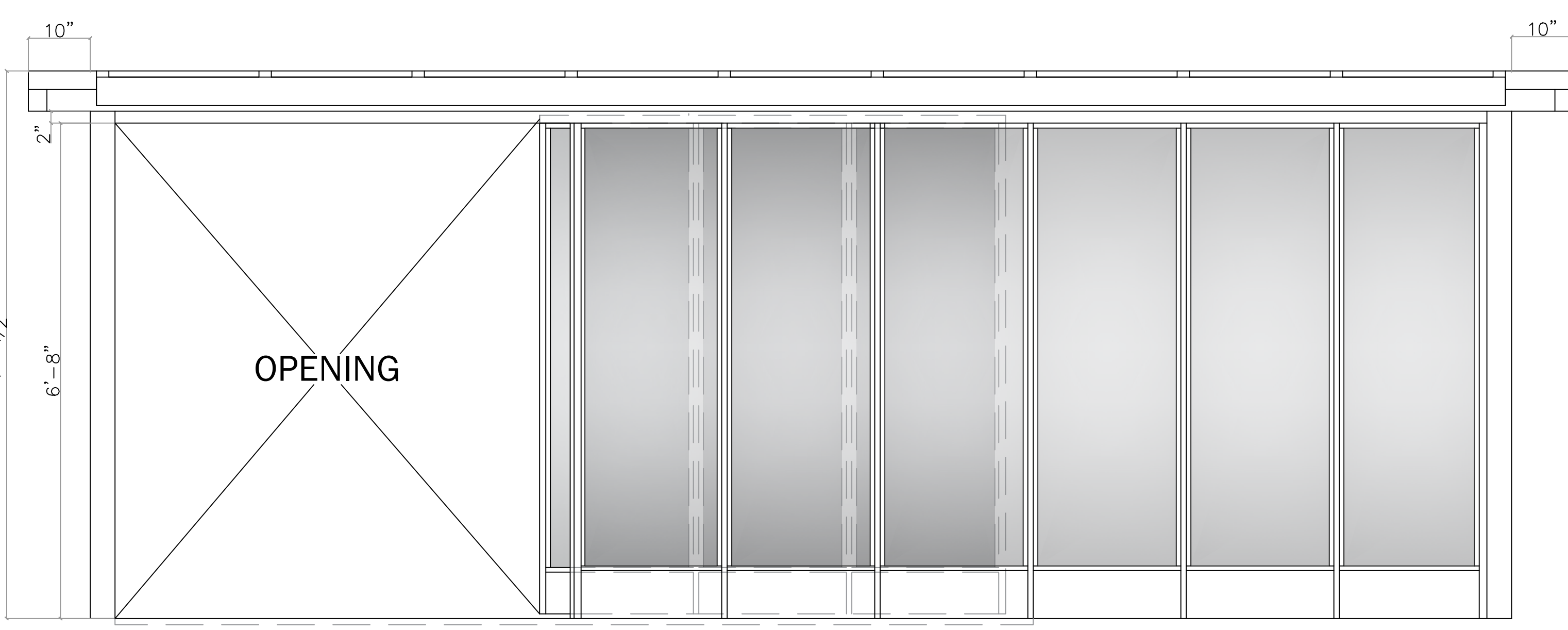
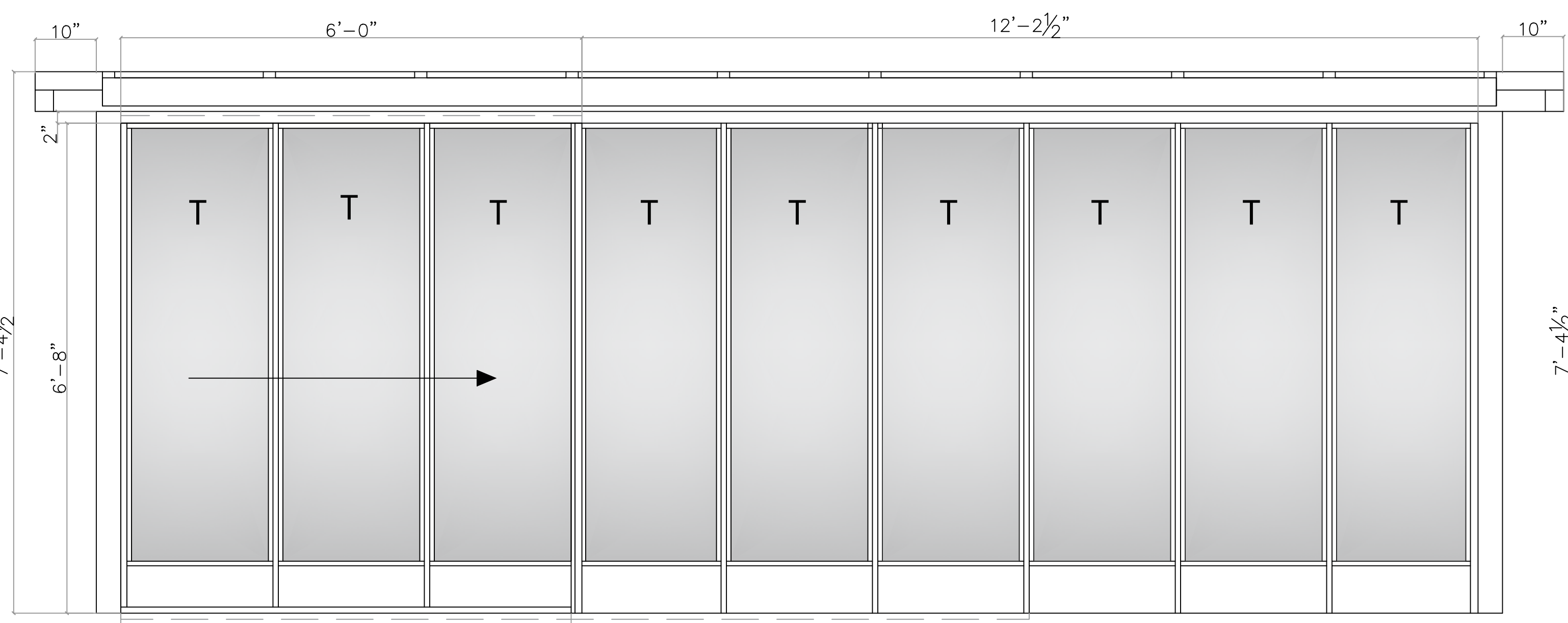
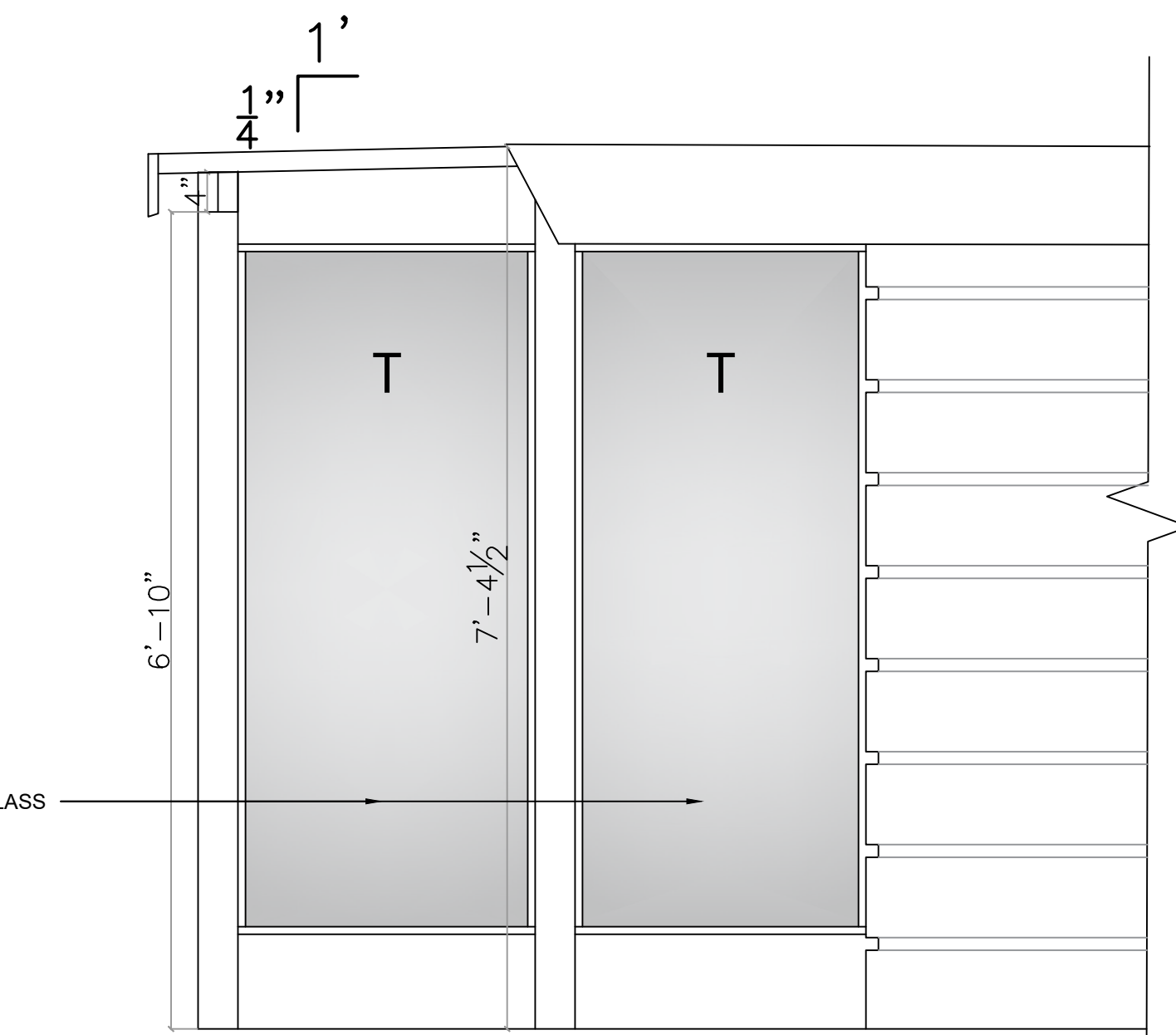
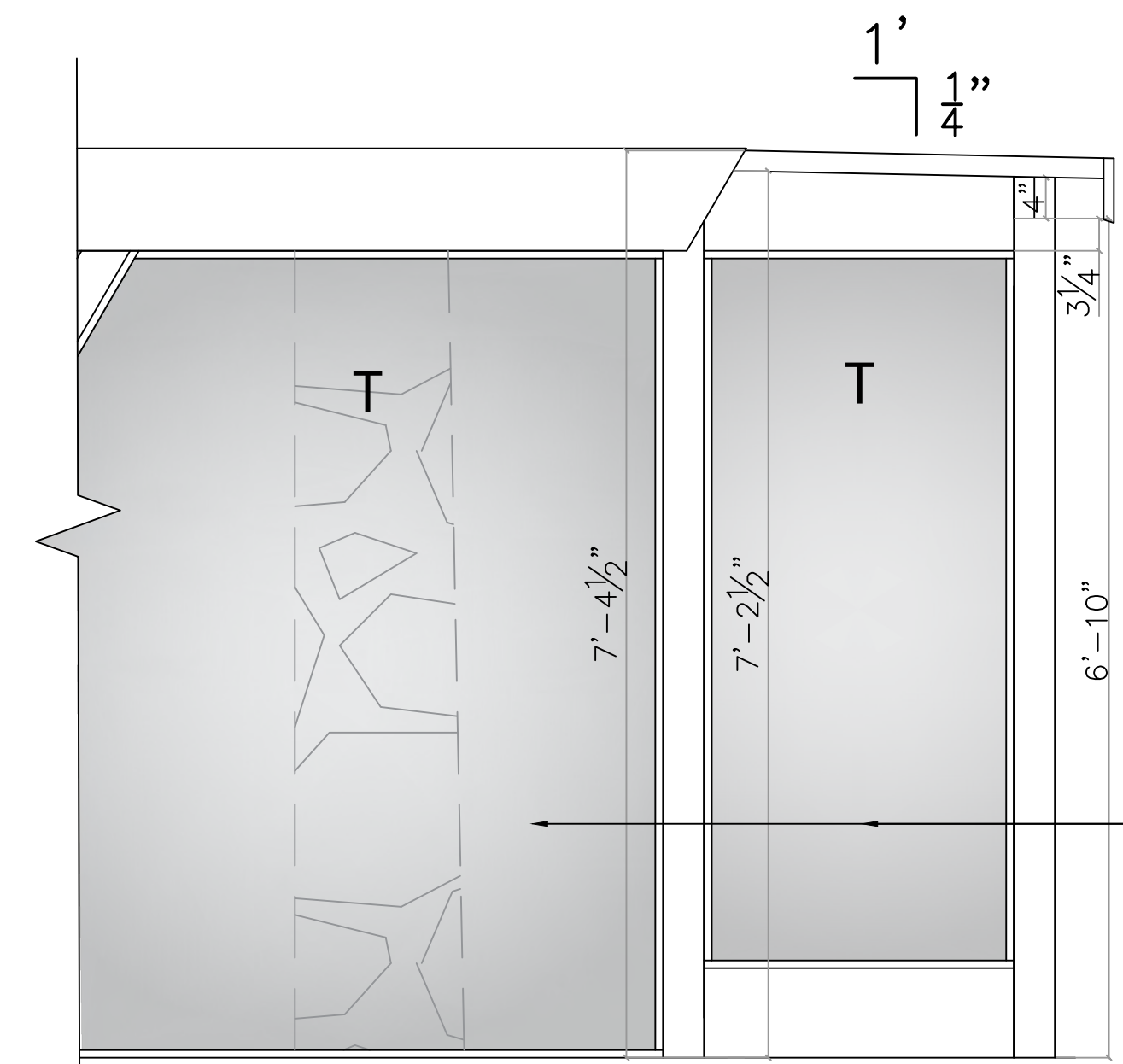
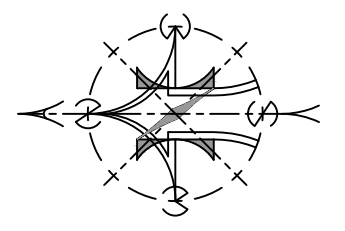
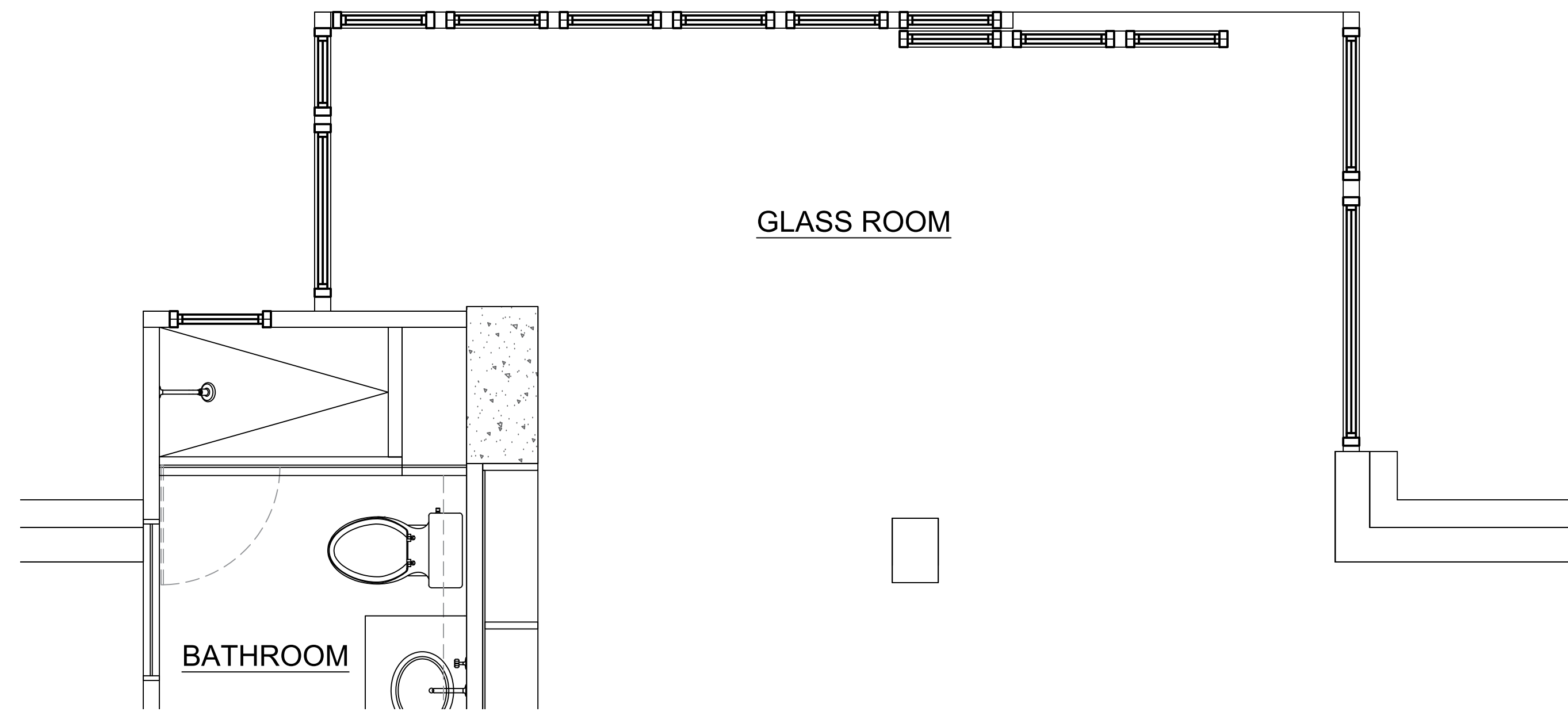
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PROPOSED GLASS ROOM DESIGN

SCALE: 3/4" = 1'

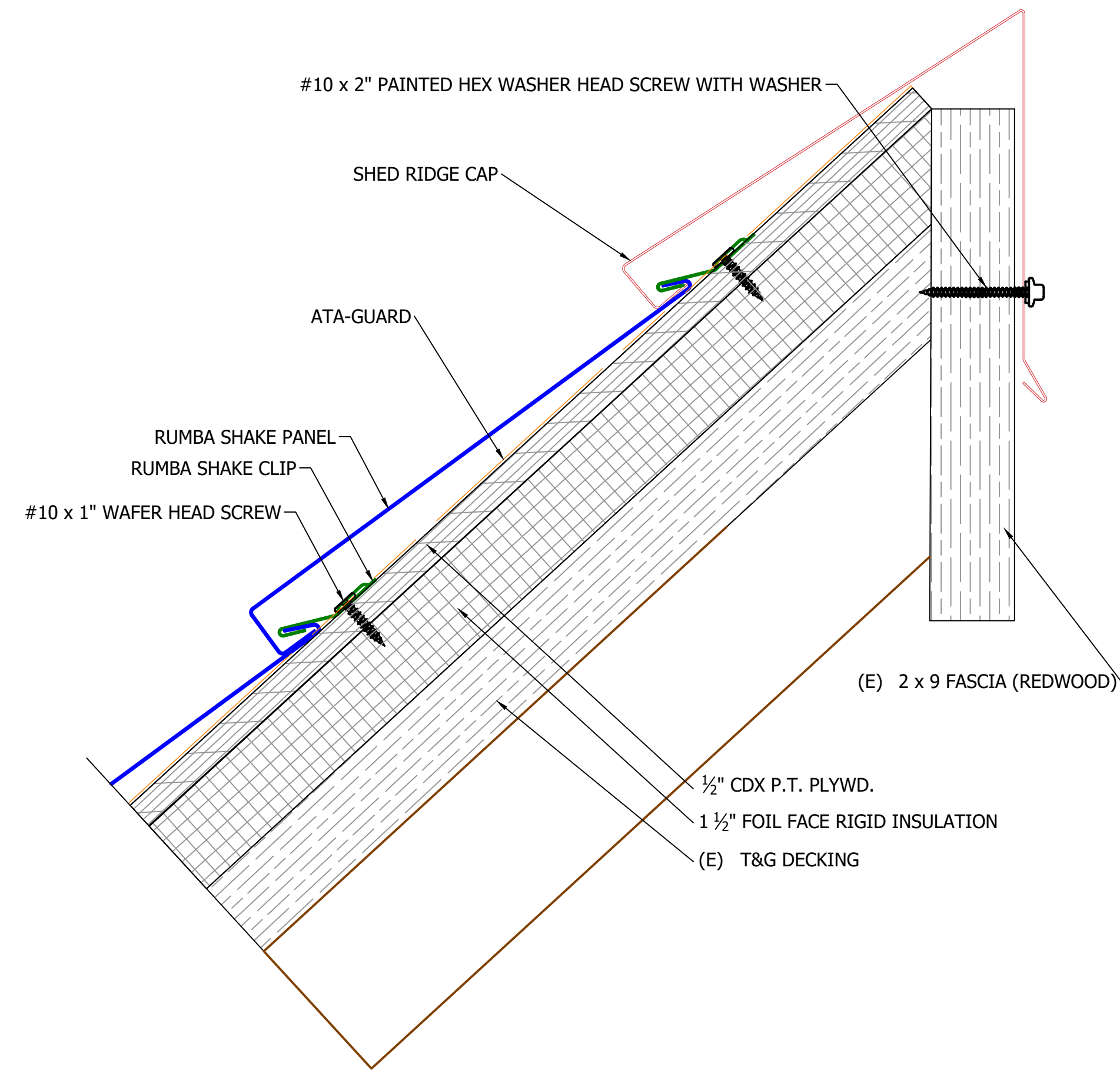
SHEET:

A4.2



NOTES:

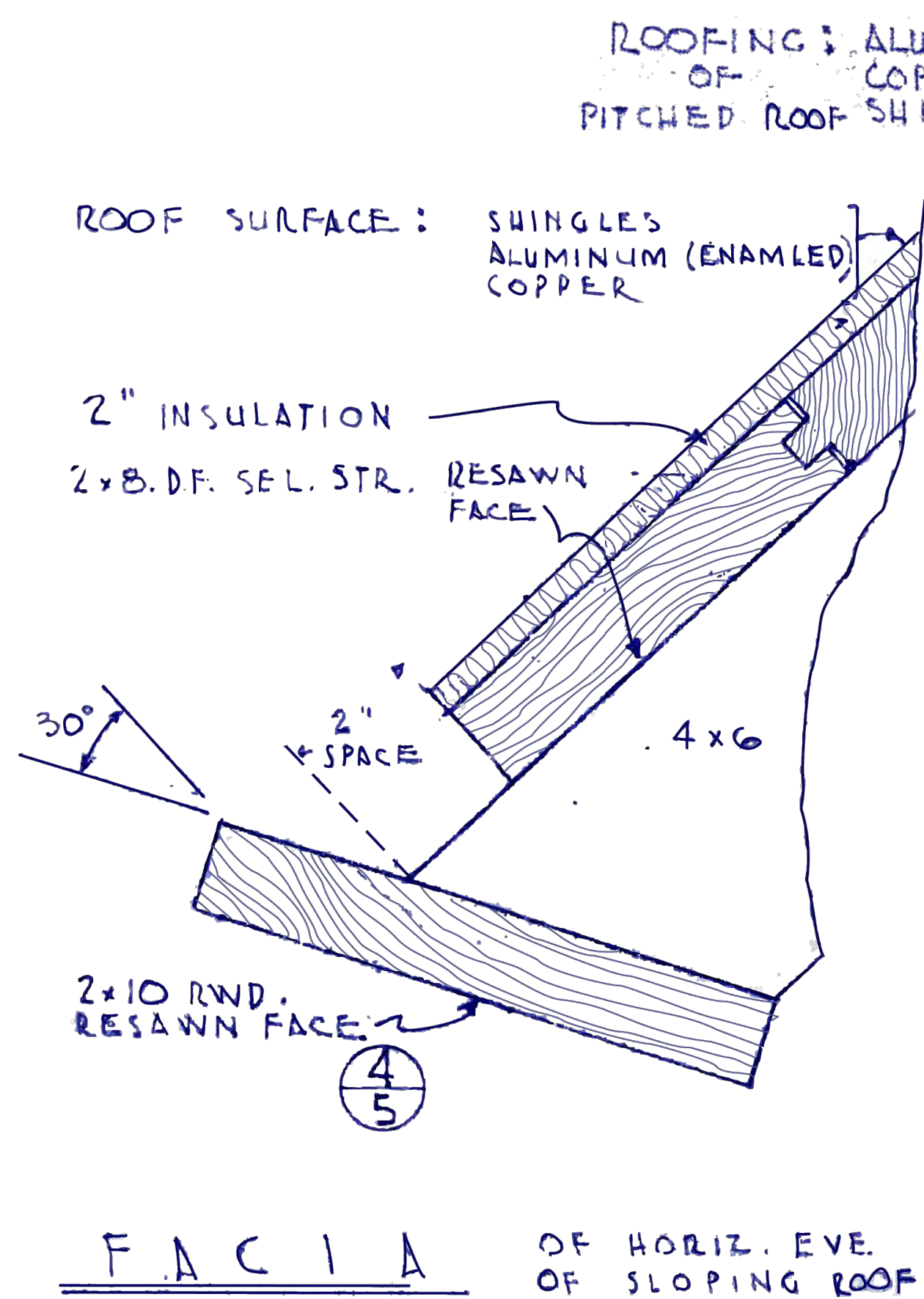
1. WINDOWS AND DOORS TO BE AFRICAN MAHOGANY OR CEPELE WOOD.
2. GLASS TO BE 5/8" CLEAR, LOW E INSULATING UNITS.
3. SLIDING DOOR HARDWARE TO BE OIL RUBBED BRONZE.



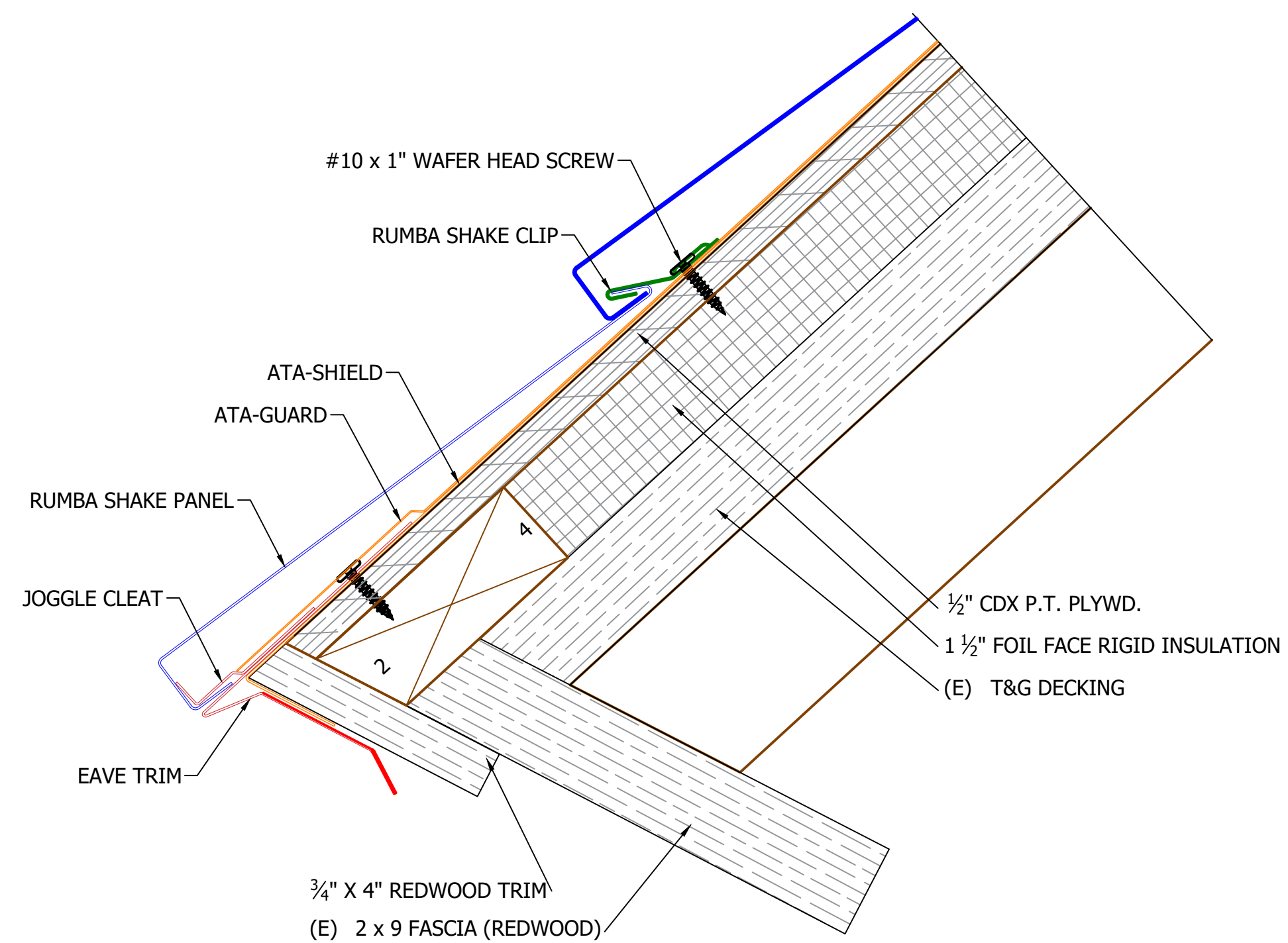
A PROPOSED GABLE RIDGE EXTERNAL FASCIA DETAIL
6" = 1'-0"



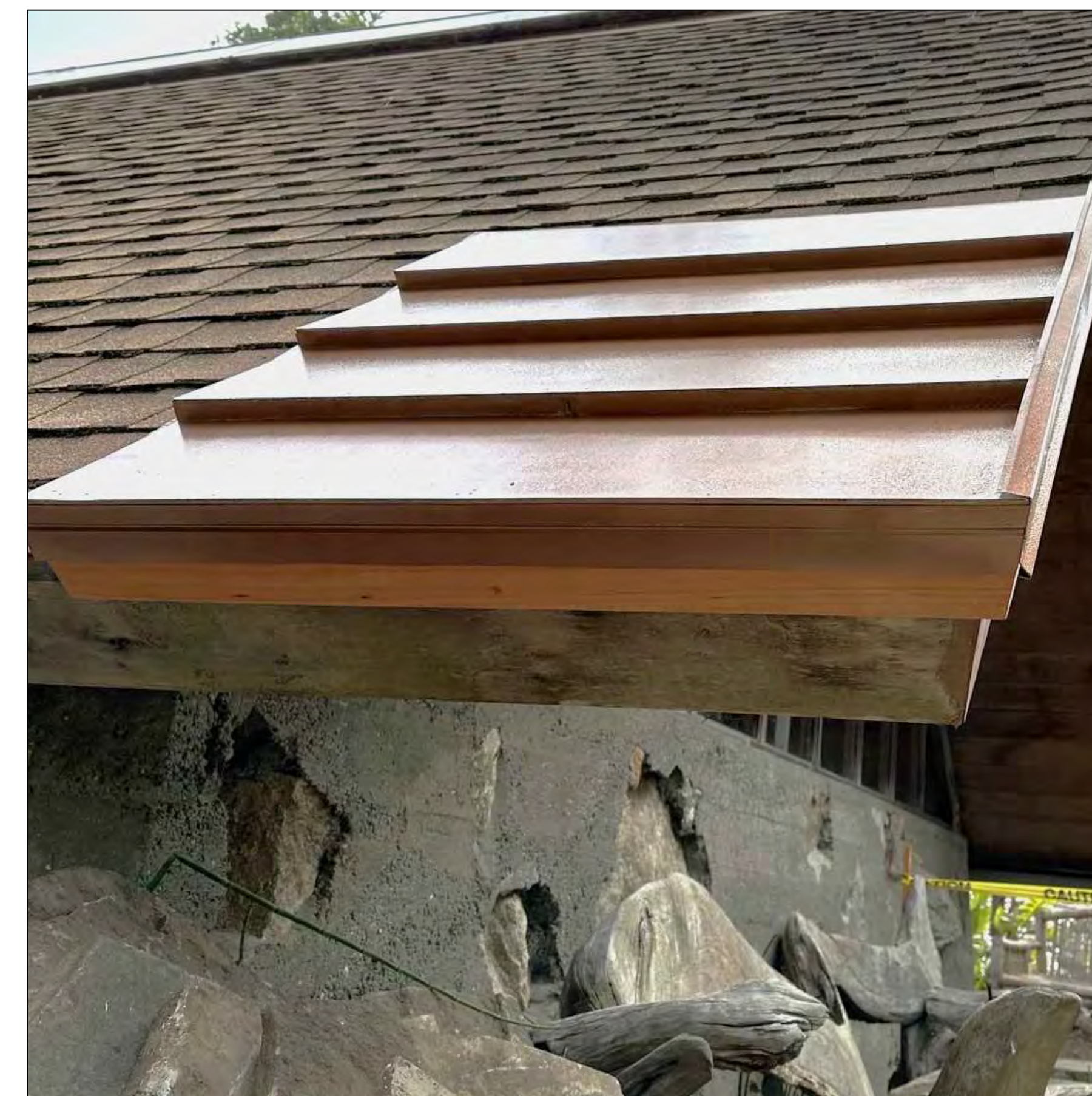
A EXISTING GABLE RIDGE FASCIA PHOTO
NTS



B ORIGINAL GABLE FASCIA DETAIL
6" = 1'-0"



B PROPOSED GABLE EAVE FASCIA DETAIL
6" = 1'-0"



B PROPOSED GABLE EAVE FASCIA MOCKUP PHOTO
NTS

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 831 - 652 - 0012
 tom@t-hood.com
 www.thomasbatemanhood.com

PROJECT:
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 25987 Mission Street
 Carmel, CA 93923
 APN: 009-353-012
 Block 1, Lot 17

OWNER:
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 350 S. Grand Avenue, Suite 2000
 Los Angeles, CA 90071
 accountspayablesastgroup.org
 Ynez Arce
 ynez@shastagroup.com

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THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

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PRINT DATE: 05/12/23

DRAWING DATE: 05/12/23

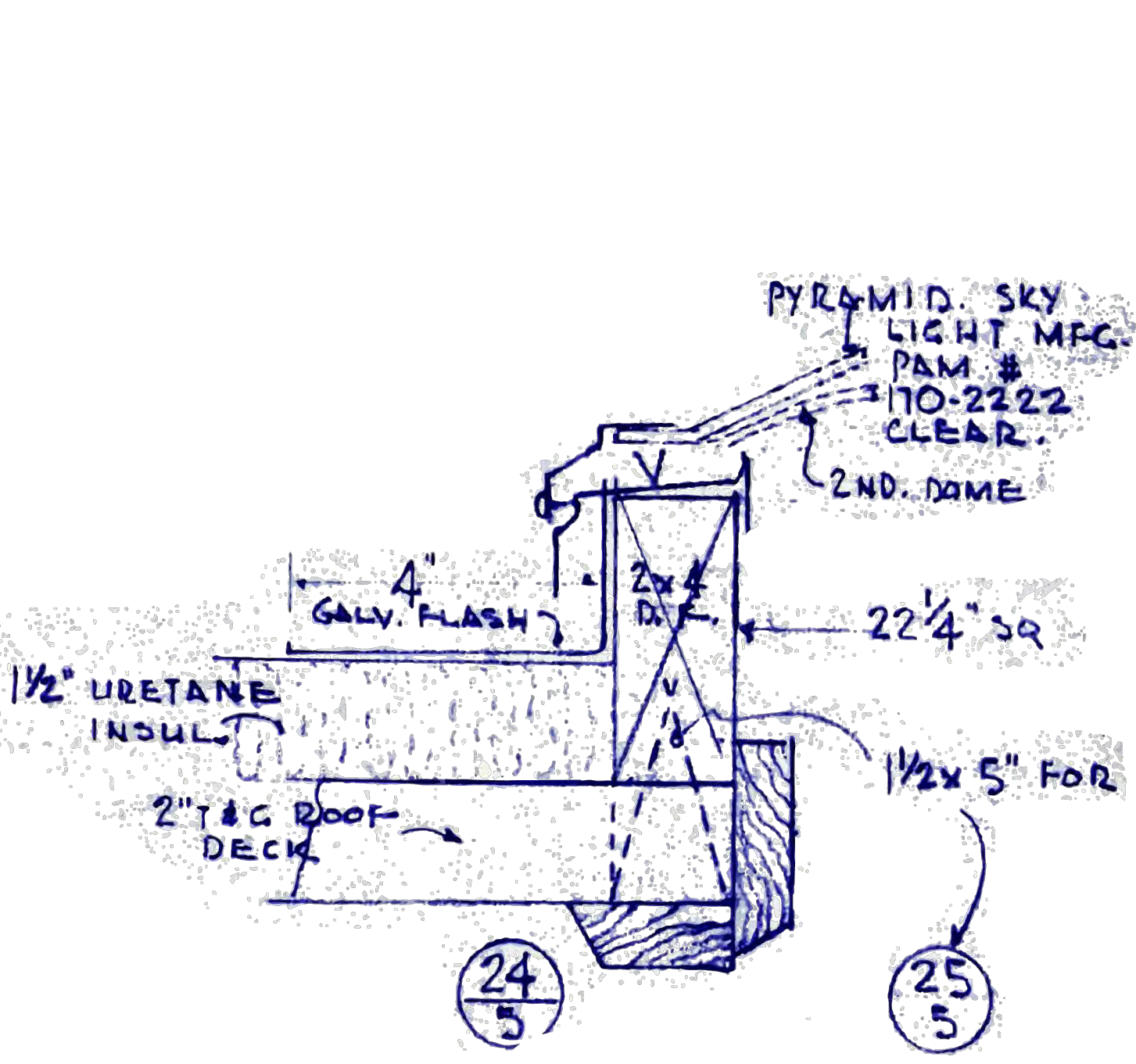
PAGE TITLE:

ROOF DETAILS

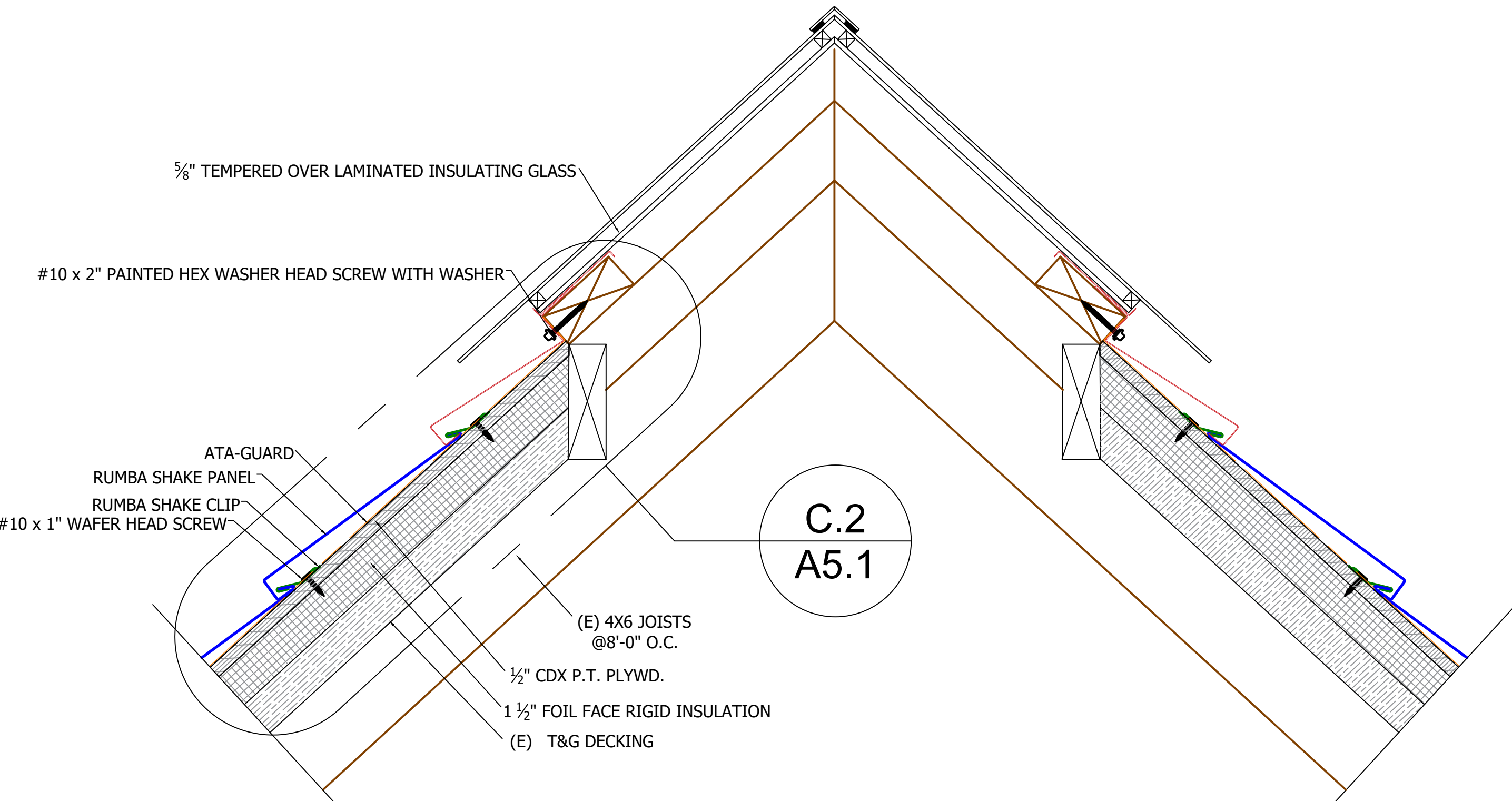
SCALE: 6" = 1'-0"

SHEET:

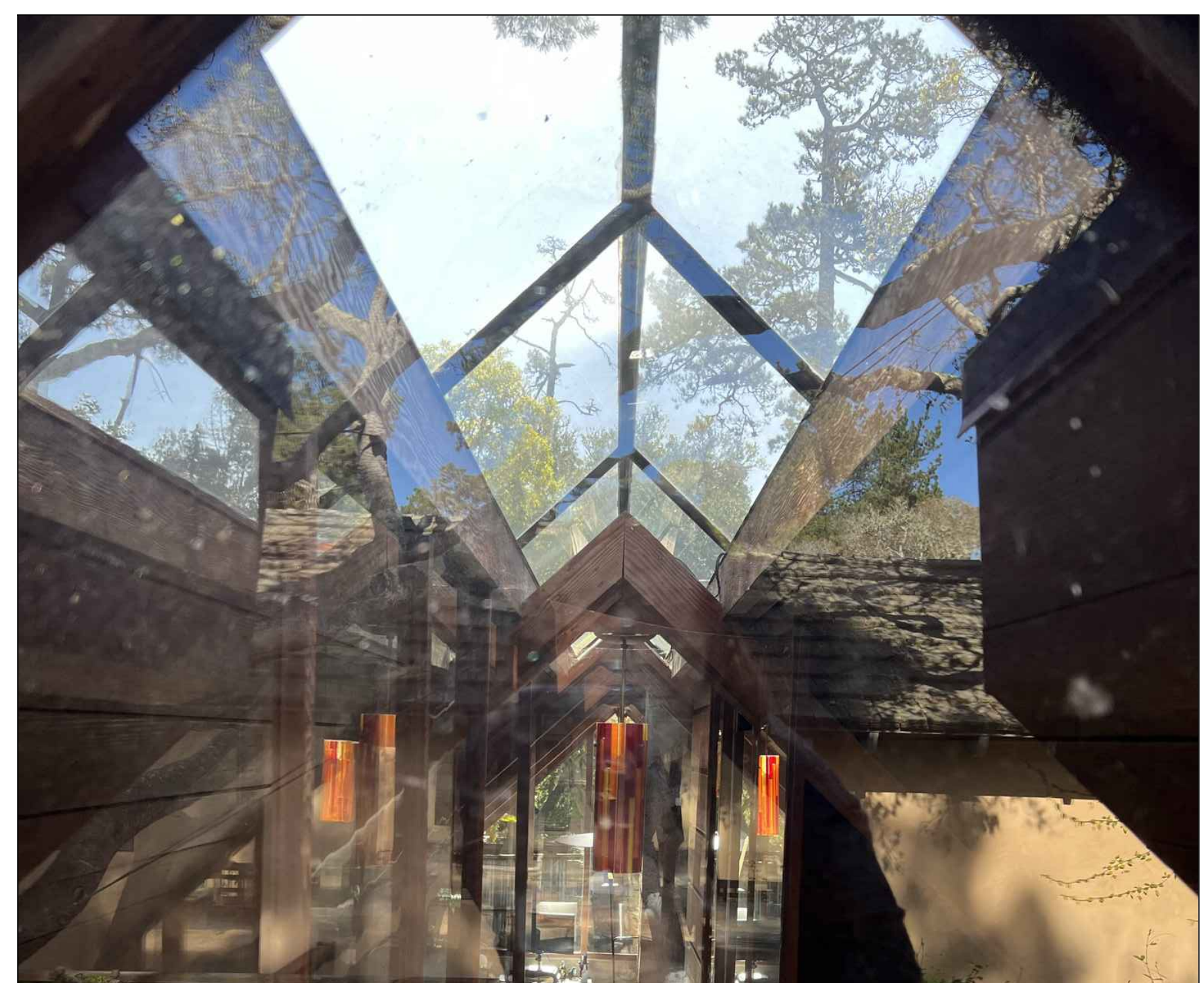
A5.1



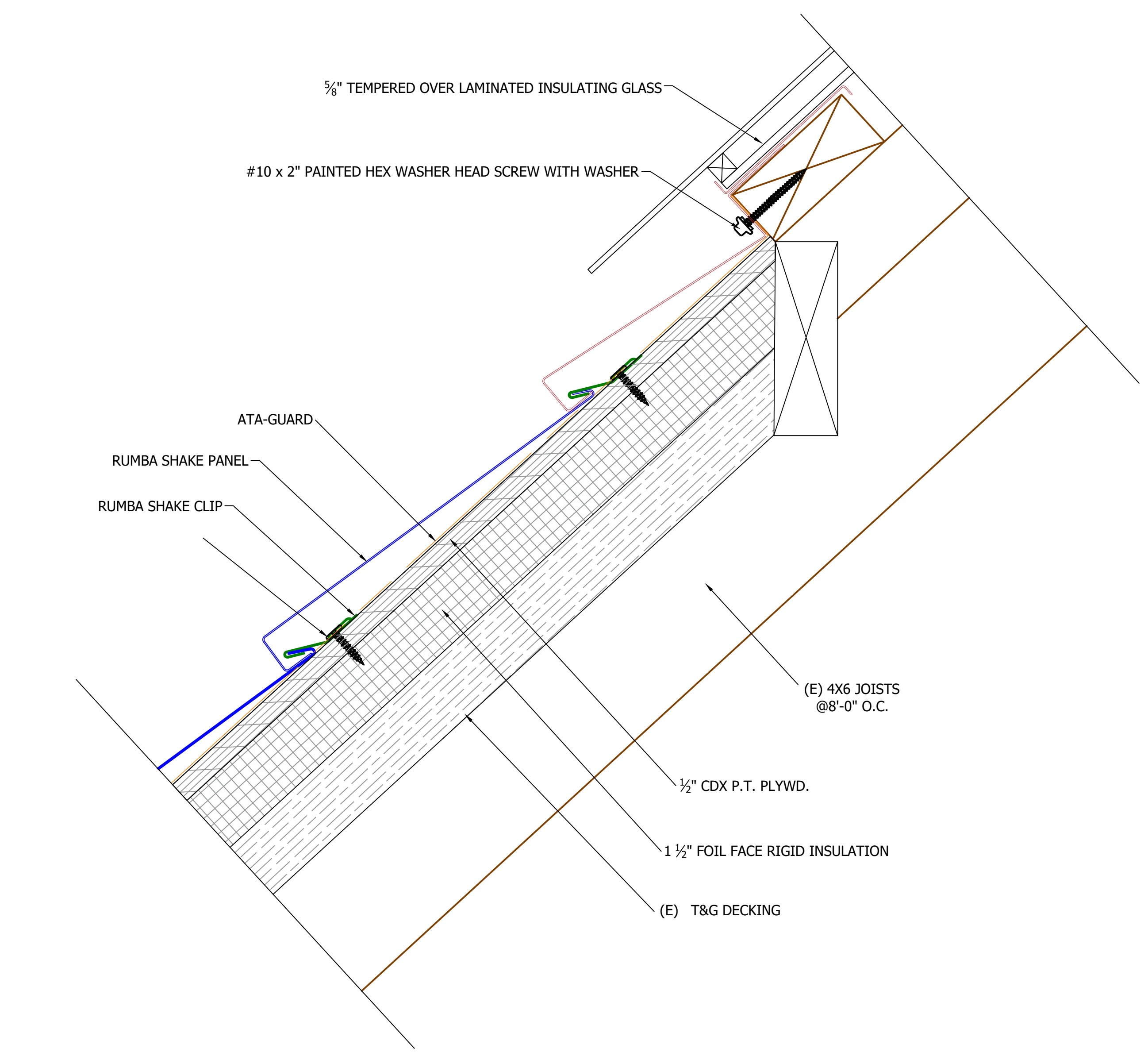
C.2 ORIGINAL INTERIOR SKYLIGHT FLASHING DETAIL
 6" = 1'-0"



C.1 PROPOSED INTERIOR SKYLIGHT FLASHING DETAIL
 3" = 1'-0"



C EXISTING RIDGE SKYLIGHT INTERIOR PHOTO
 NTS



C.2 PROPOSED INTERIOR SKYLIGHT FLASHING DETAIL
 6" = 1'-0"



C EXISTING RIDGE SKYLIGHT PHOTO
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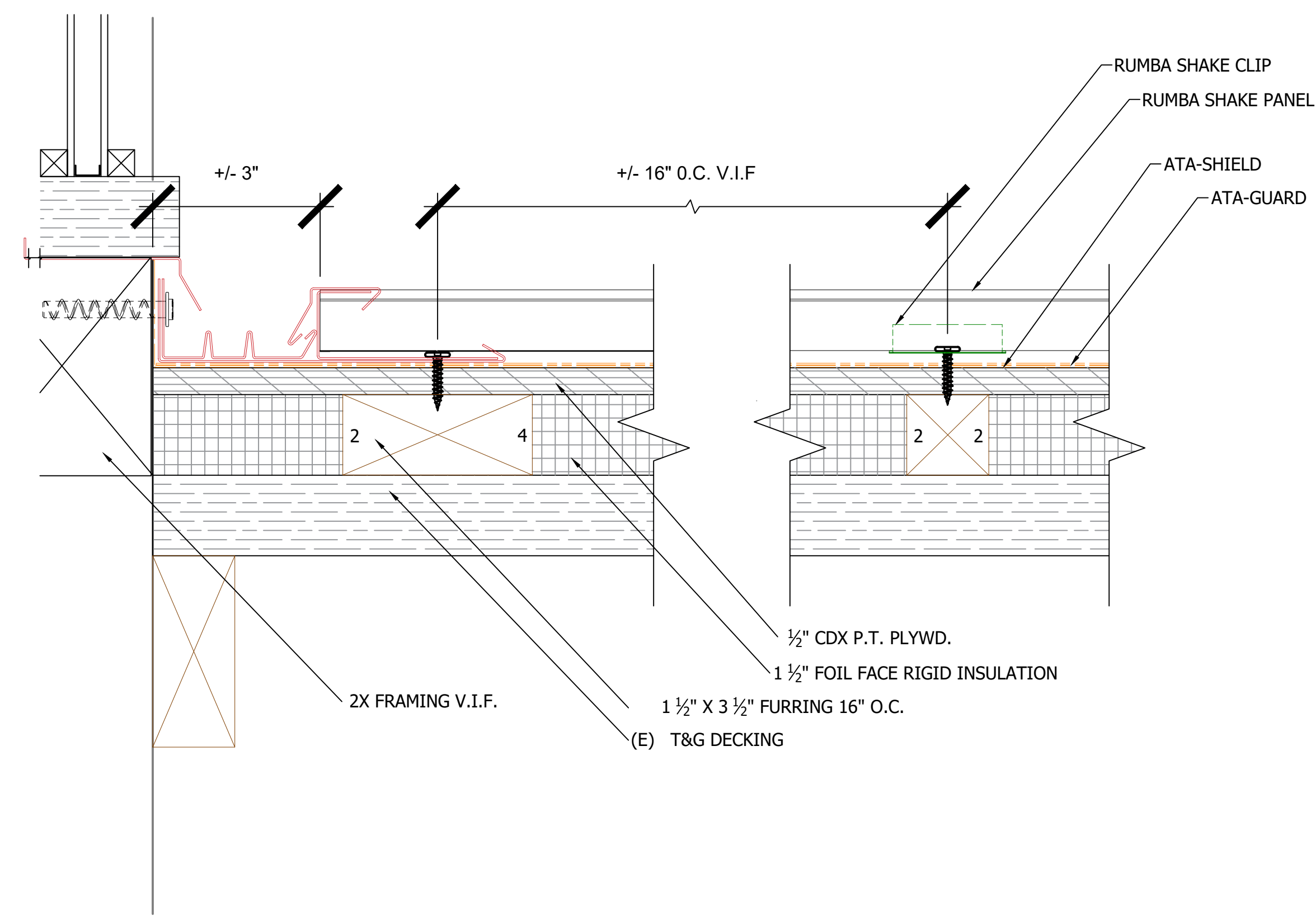
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ROOF DETAILS

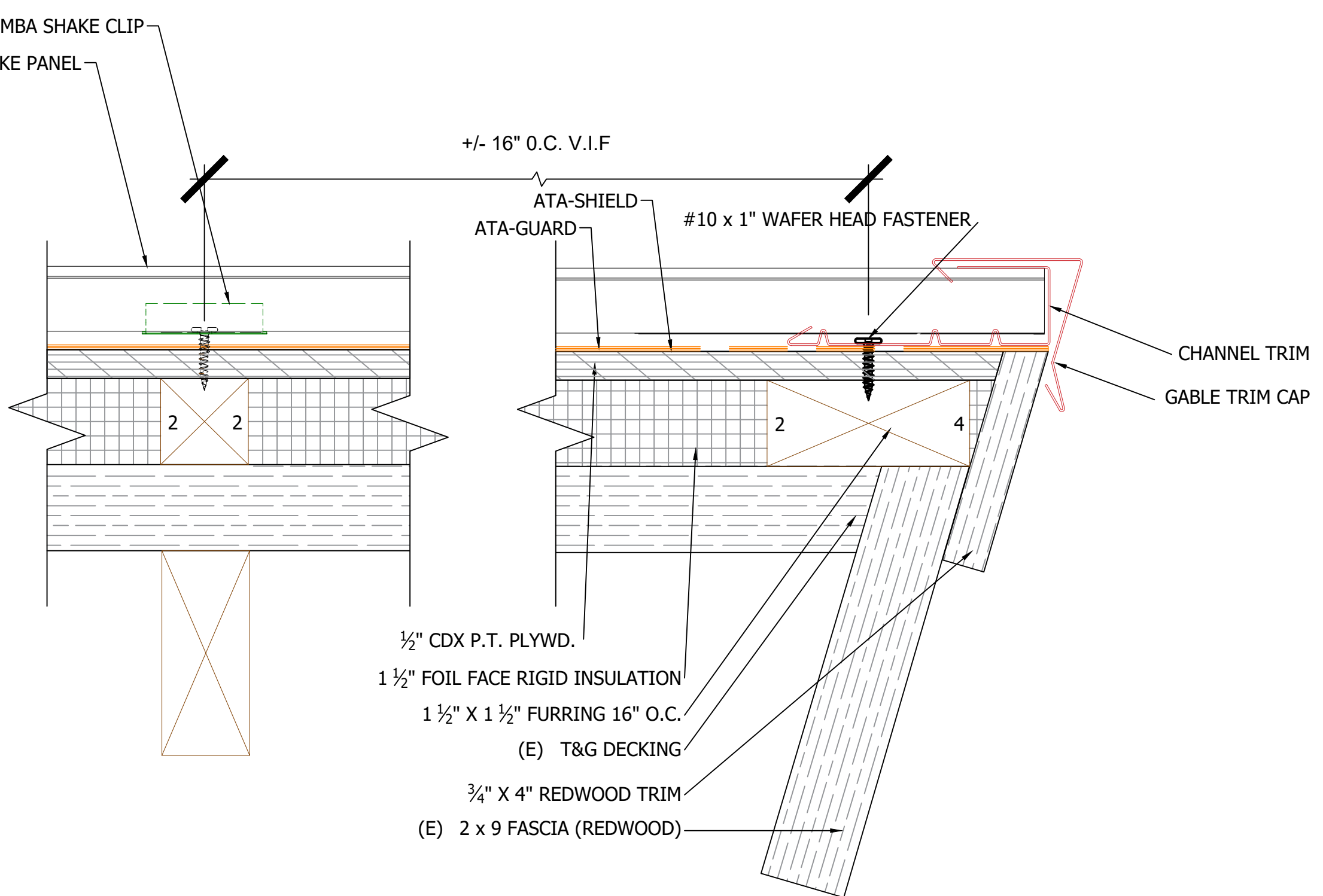
SCALE: 6" = 1'-0"

SHEET:

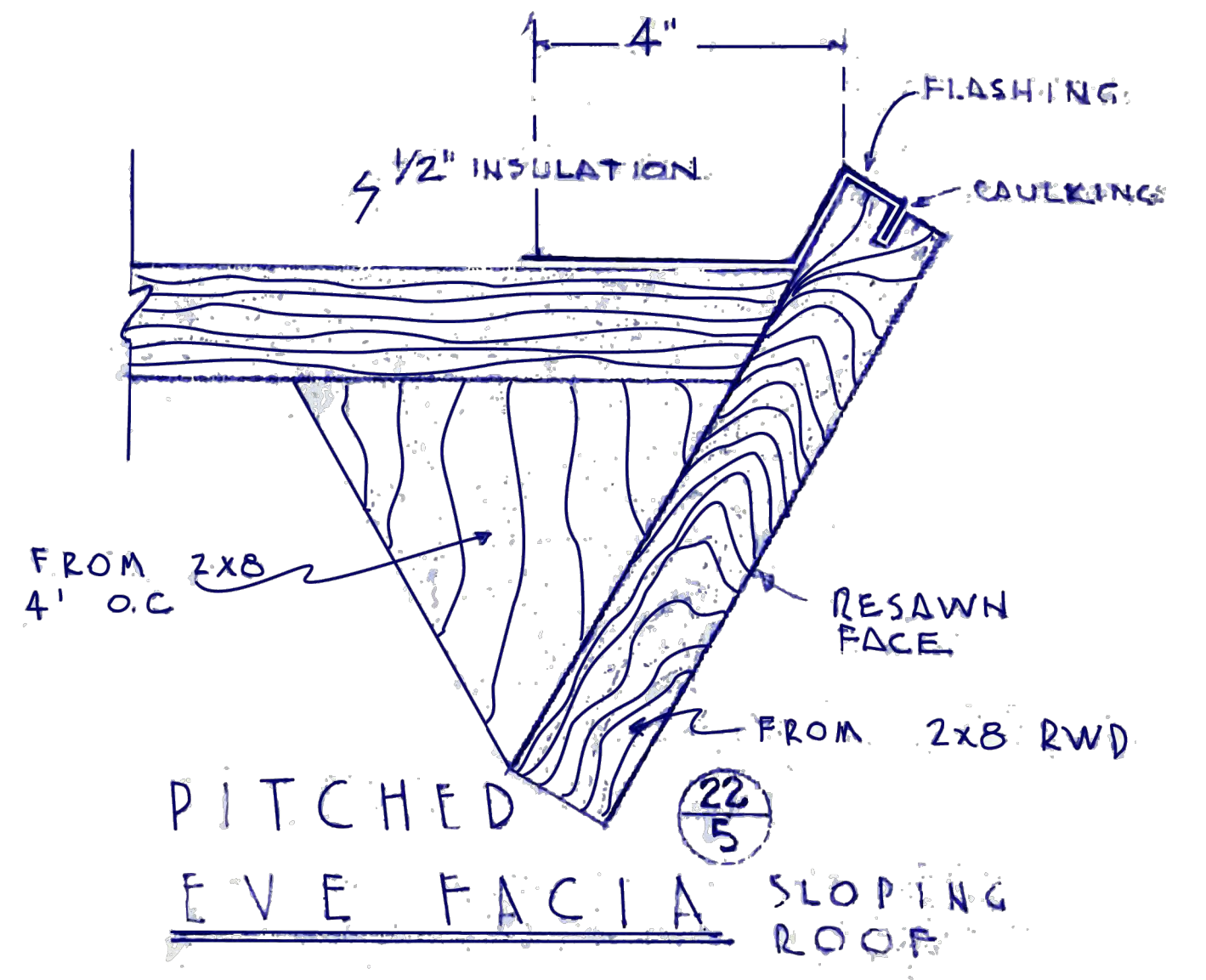
A5.2



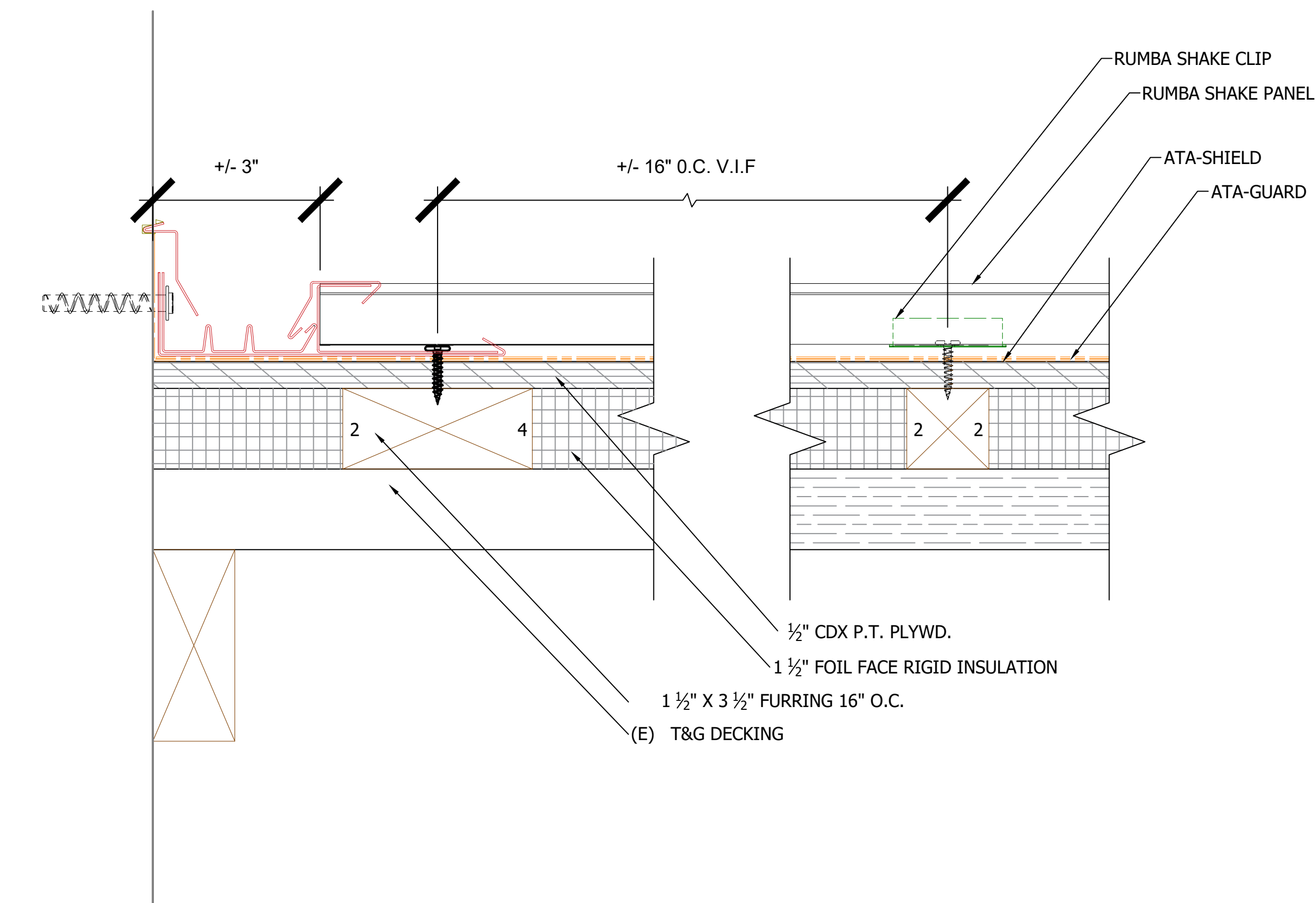
D.1 PROPOSED GABLE SIDE FLASHING DETAIL - WINDOW CONDITION
 6" = 1'-0"



E PROPOSED GABLE SIDE FASCIA DETAIL
 6" = 1'-0"



E ORIGINAL GABLE FASCIA DETAIL
 6" = 1'-0"



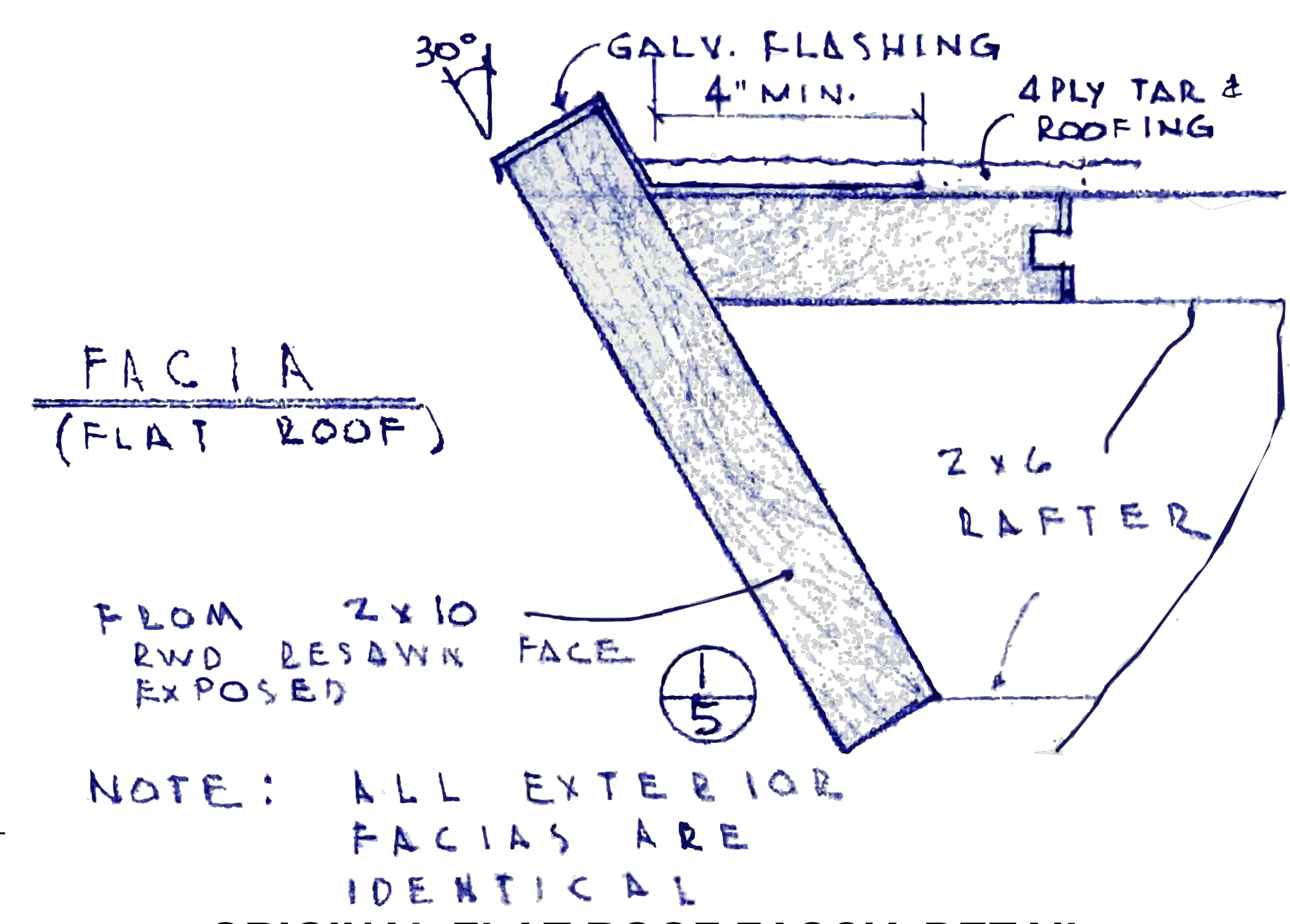
D.2 PROPOSED GABLE SIDE FLASHING DETAIL - CONCRETE WALL CONDITION
 6" = 1'-0"



D EXISTING GABLE SIDE CONDITION
 NTS

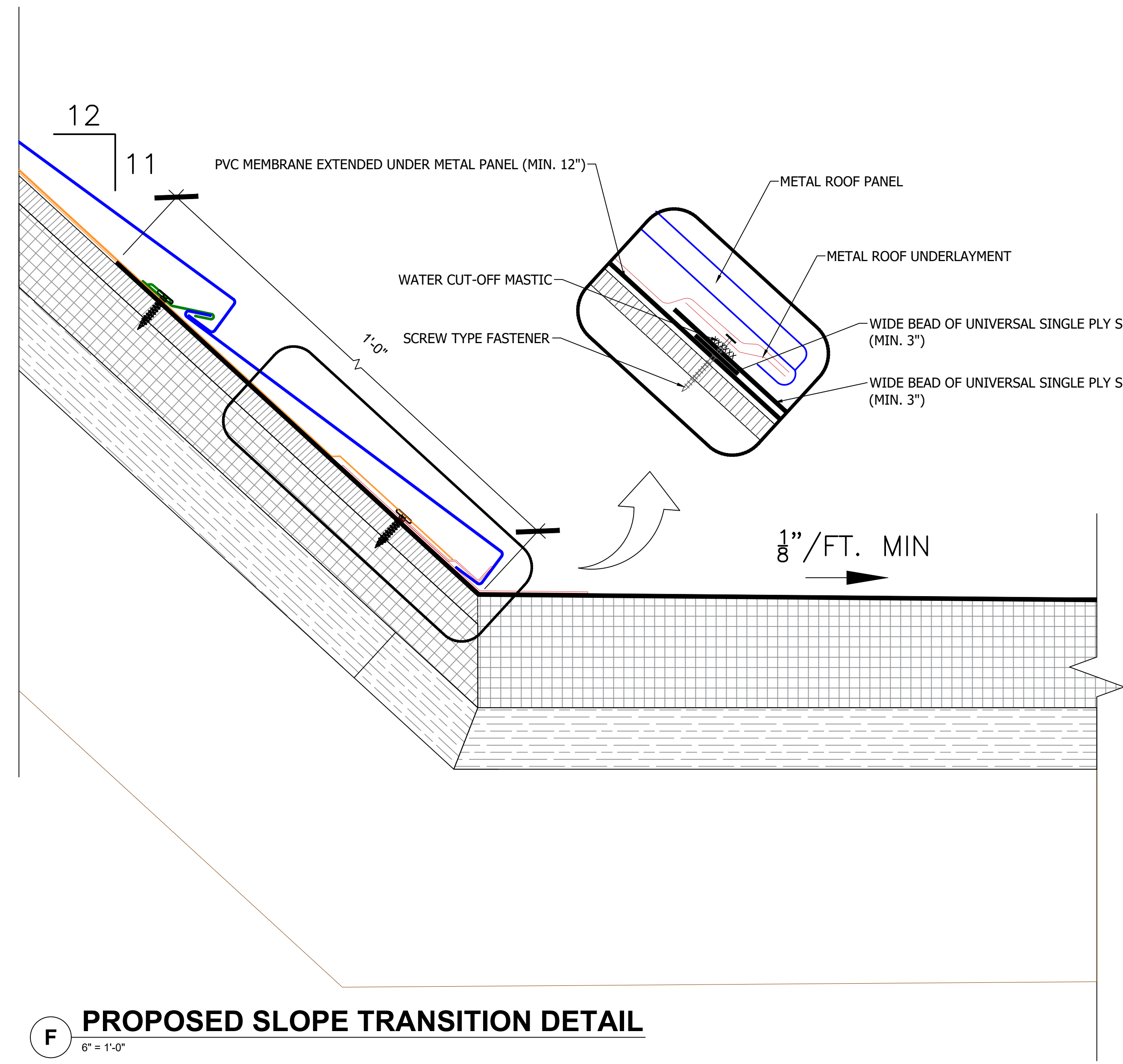


E PROPOSED GABLE SIDE FASCIA MOCKUP PHOTO
 NTS

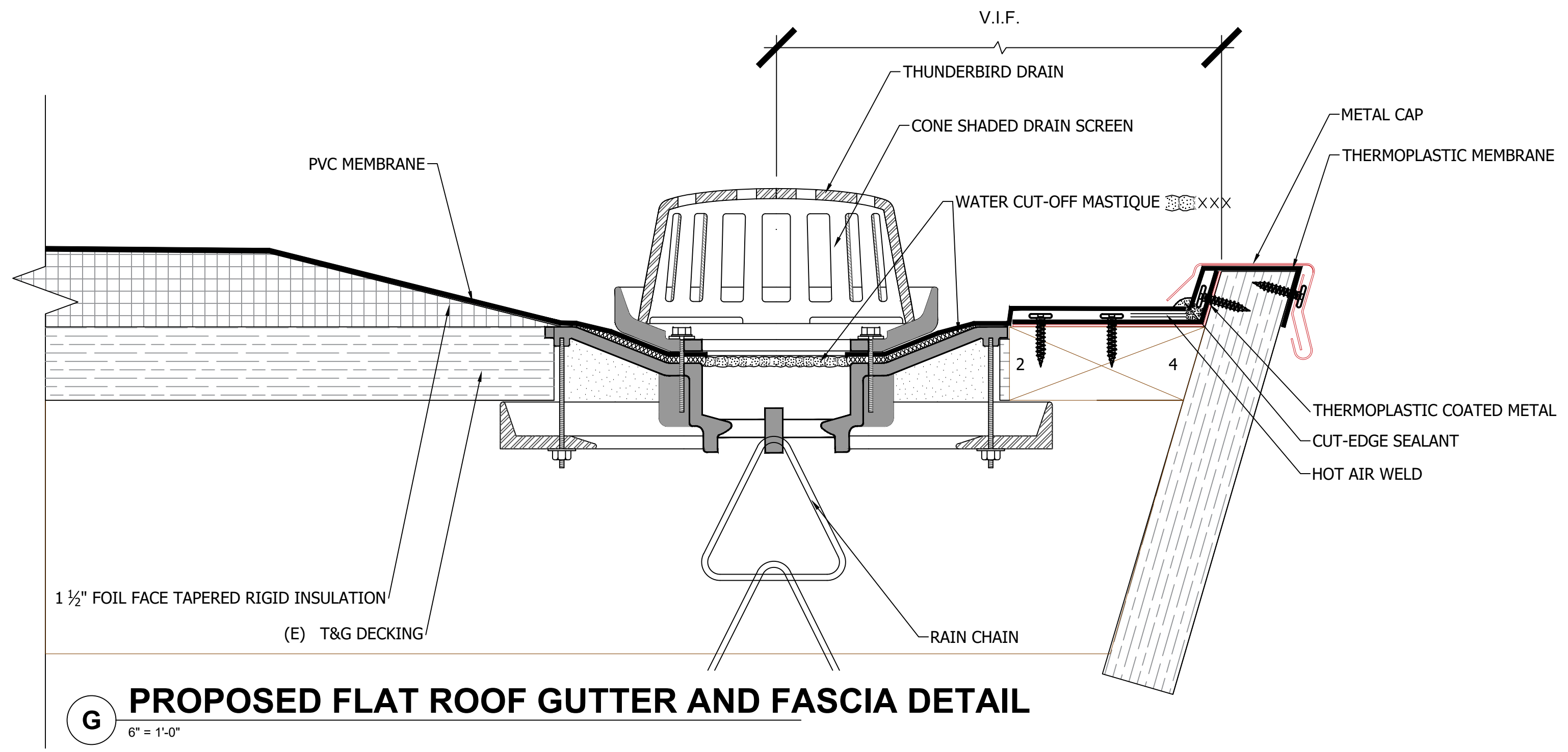


G ORIGINAL FLAT ROOF FASCIA DETAIL
 6" = 1'-0"

G EXISTING FLAT ROOF FASCIA PHOTO
 6" = 1'-0"



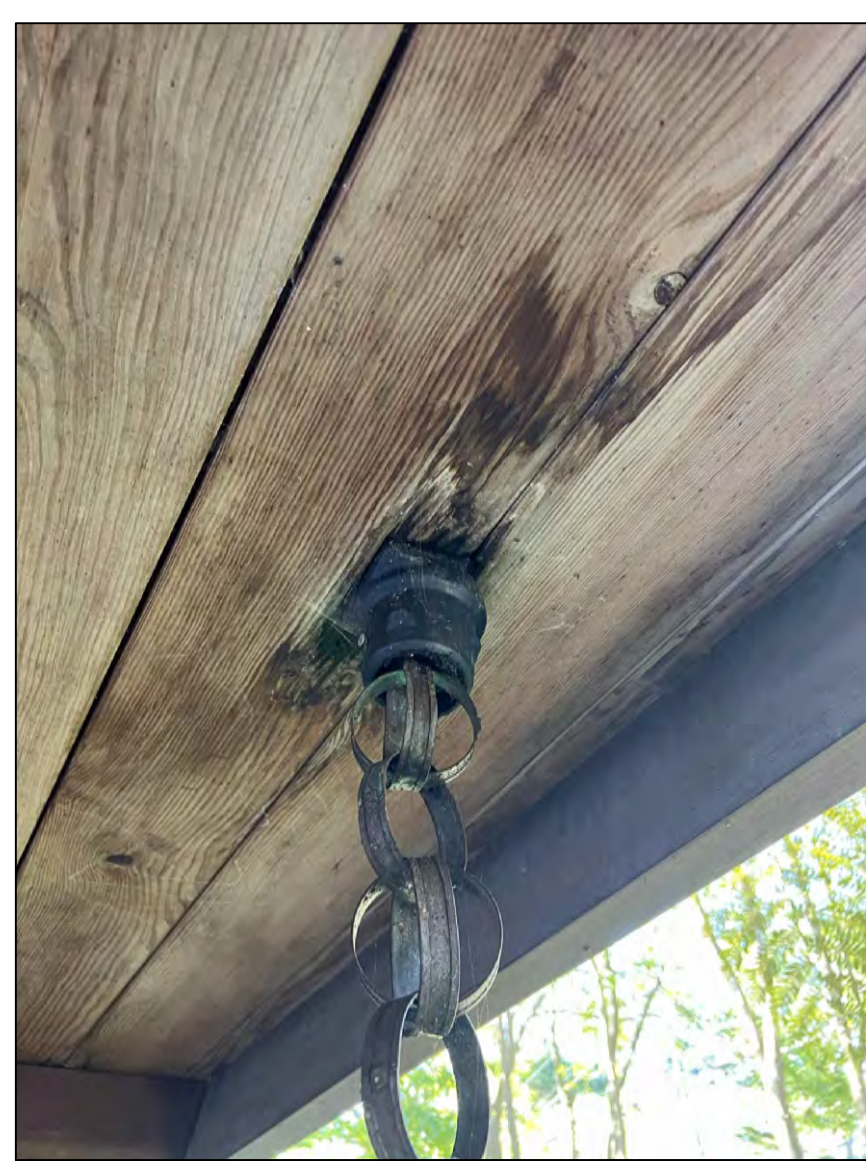
F PROPOSED SLOPE TRANSITION DETAIL
 6" = 1'-0"



G PROPOSED FLAT ROOF GUTTER AND FASCIA DETAIL
 6" = 1'-0"



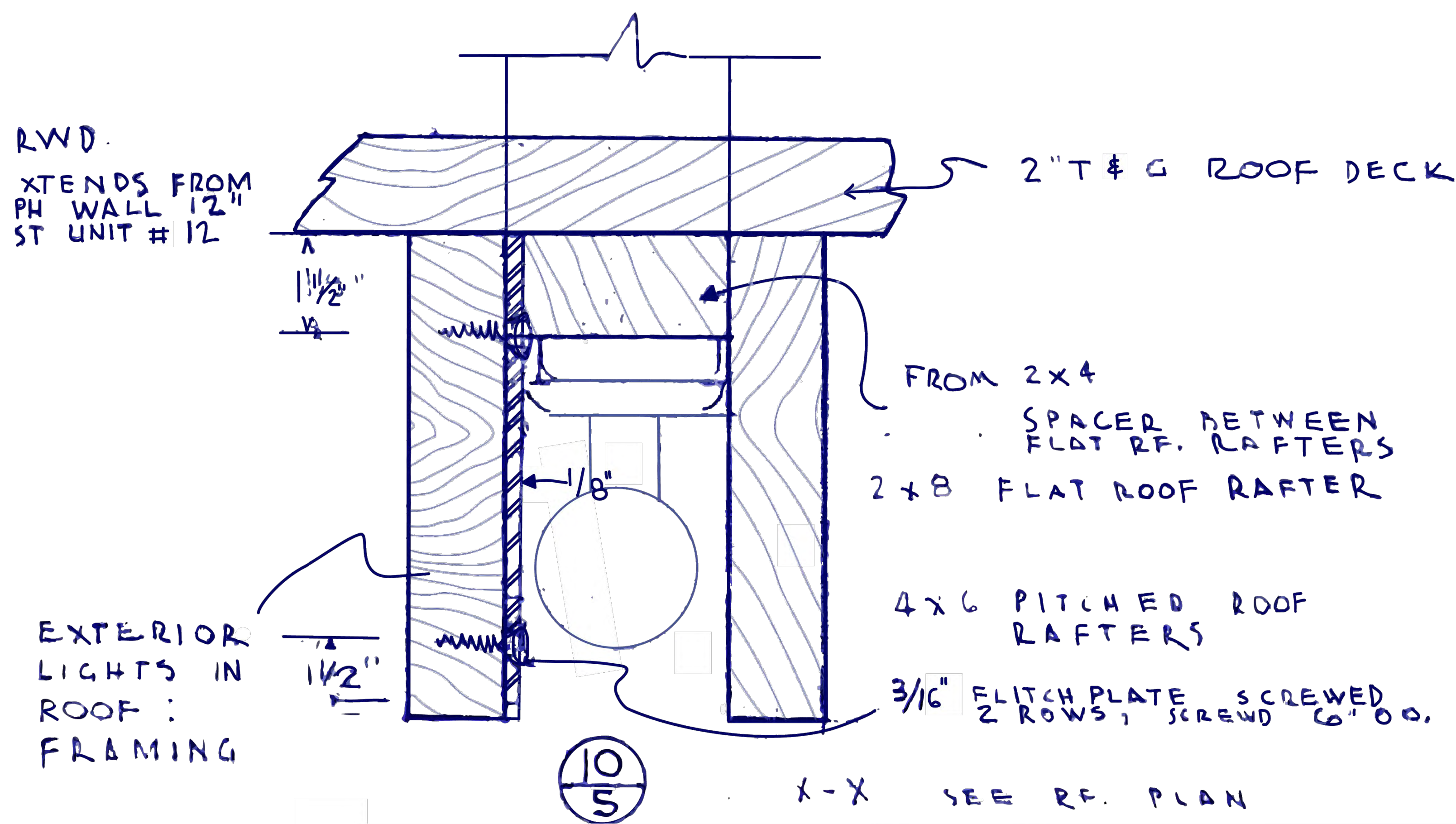
F EXISTING SLOPE TRANSITION PHOTOS
 NTS



G EXISTING GUTTER AND RAIN CHAIN PHOTOS
 NTS

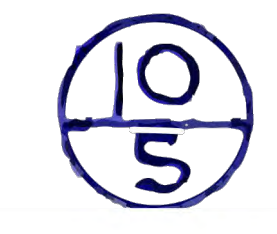


FLAT ROOF DRAINAGE ISSUE PHOTO
 NTS



RWD.
XTENDS FROM
PH WALL 12"
ST UNIT # 12

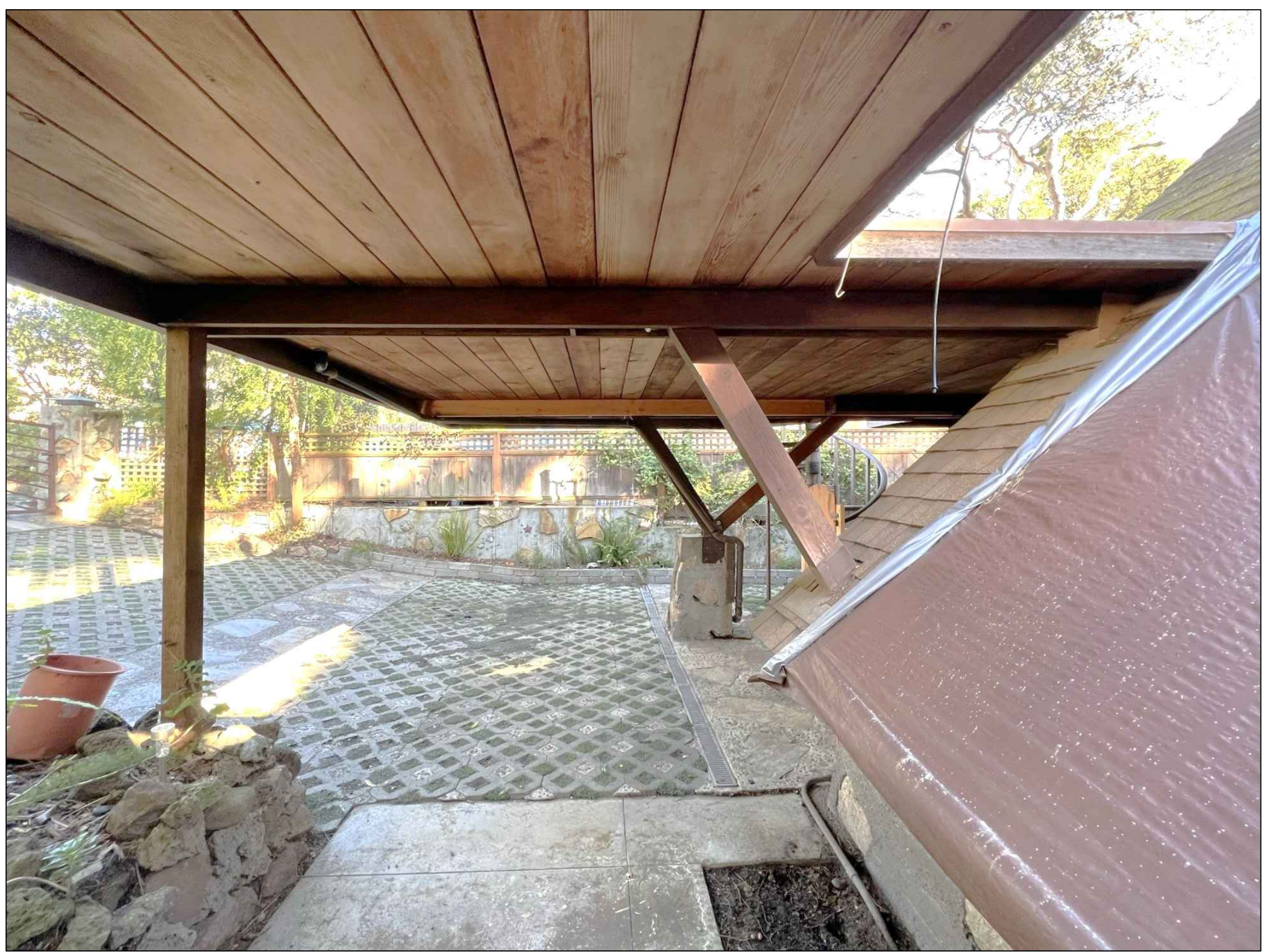
EXTERIOR
LIGHTS IN
ROOF:
FRAMING



X-X SEE REF. PLAN

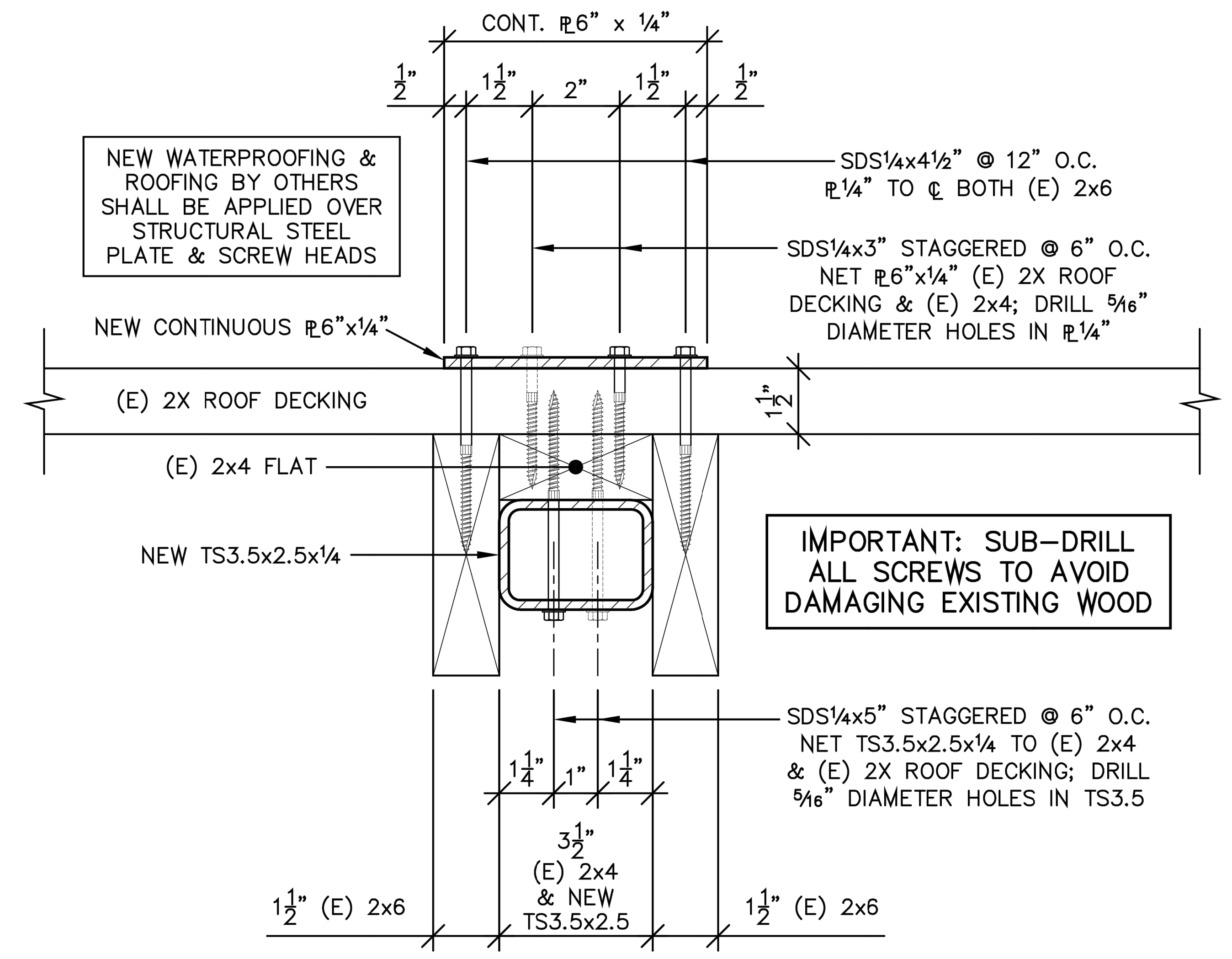
NOTE: ALL FLAT FRAMING { 2 - 2x6's VERT.
1 - 2x4 FLAT SPACER
EXCEPT SECTIONS MARKED X-X: { 2 - 2x8's VERT.
1/8" FLITCH PLATE
TAPER 2X8's FROM SUPPORT
EVE FACIA, FLITCH PLATE OF
RAFTER 1 1/2 EXTENDS FULL LENGTH

H ORIGINAL CARPORT TRUSS DETAIL
6" = 1'-0"



EXISTING CARPORT PHOTO

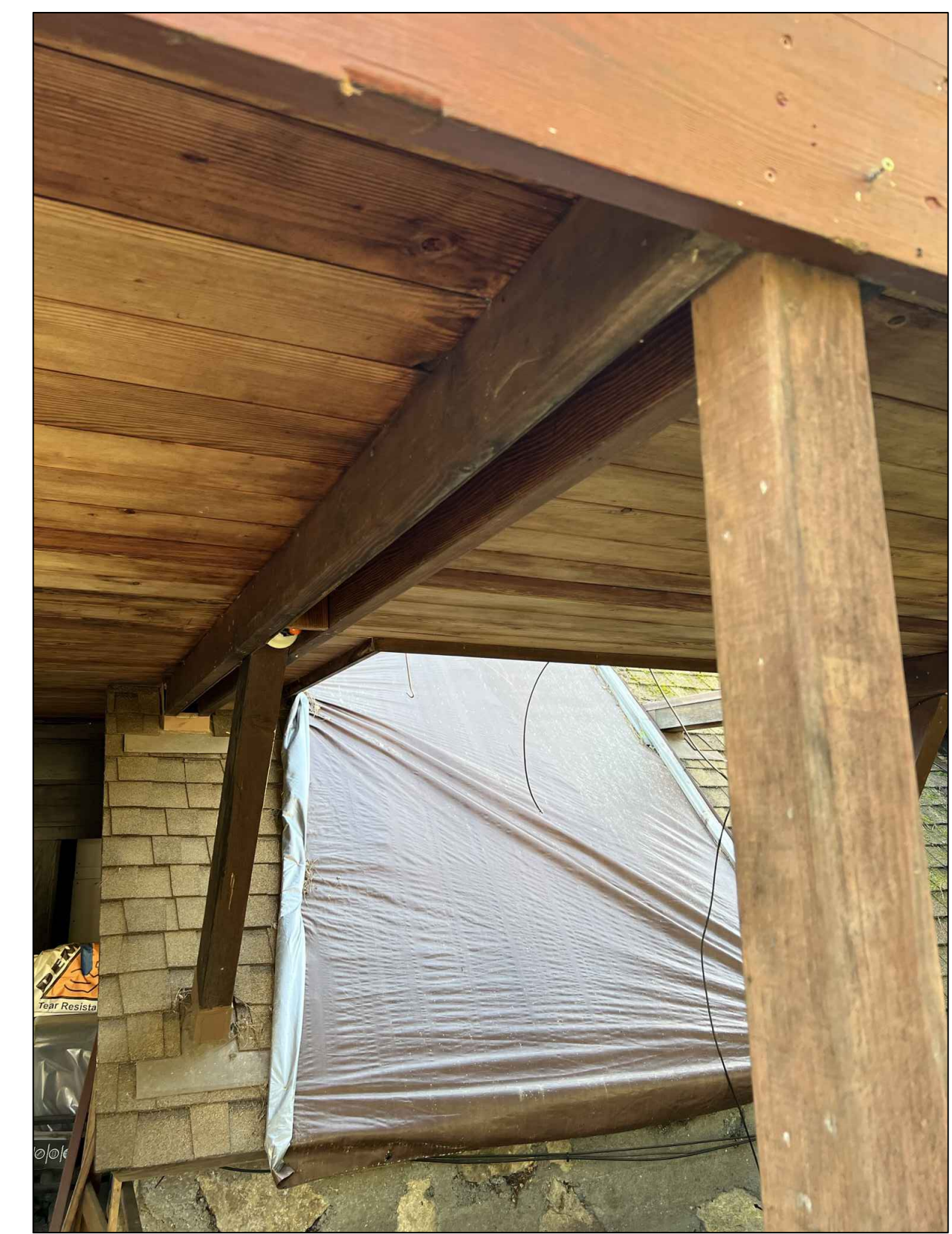
NTS



NEW WATERPROOFING &
ROOFING BY OTHERS
SHALL BE APPLIED OVER
STRUCTURAL STEEL
PLATE & SCREW HEADS

**IMPORTANT: SUB-DRILL
ALL SCREWS TO AVOID
DAMAGING EXISTING WOOD**

H PROPOSED CARPORT TRUSS STRENGTHENING DETAIL
6" = 1'-0"



TEMPORARY 4X4 POLE SUPPORT INTEGRATED TO ORIGINAL TRUSS

NTS

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Ynez Arce
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THOMAS BATEMAN HOOD, AIA
CARMEL, CA

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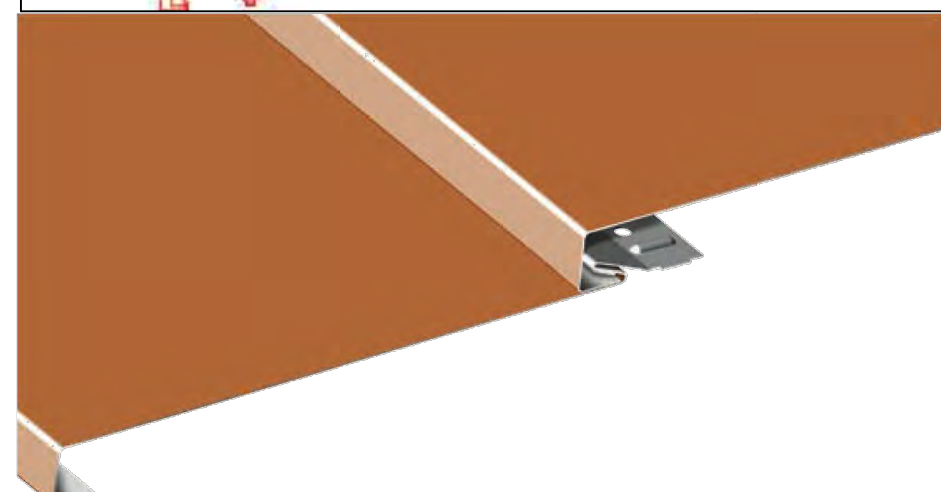
PAGE TITLE:

**ROOF
DETAILS**

SCALE: 6" = 1'-0"

SHEET:

A5.4



RUMBA SHAKE™

SKU: HBS090

MATERIAL

.032, .040 aluminum
24, 22* ga. metallic coated steel
16 oz. copper*
.8 mm zinc*

SHINGLE SPECS

Coverage: 9"
Length: 12'-0", 20'-0"

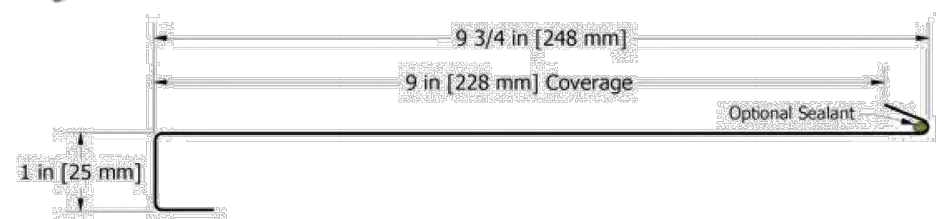
TEXTURE
Smooth, Stucco Embossed, or Wood Grain Embossed (24 ga. metallic coated steel, .032 aluminum & .040 aluminum only)

ANODIZED
Clear Satin, Dark Bronze

FASTENERS
Concealed fasteners and clips

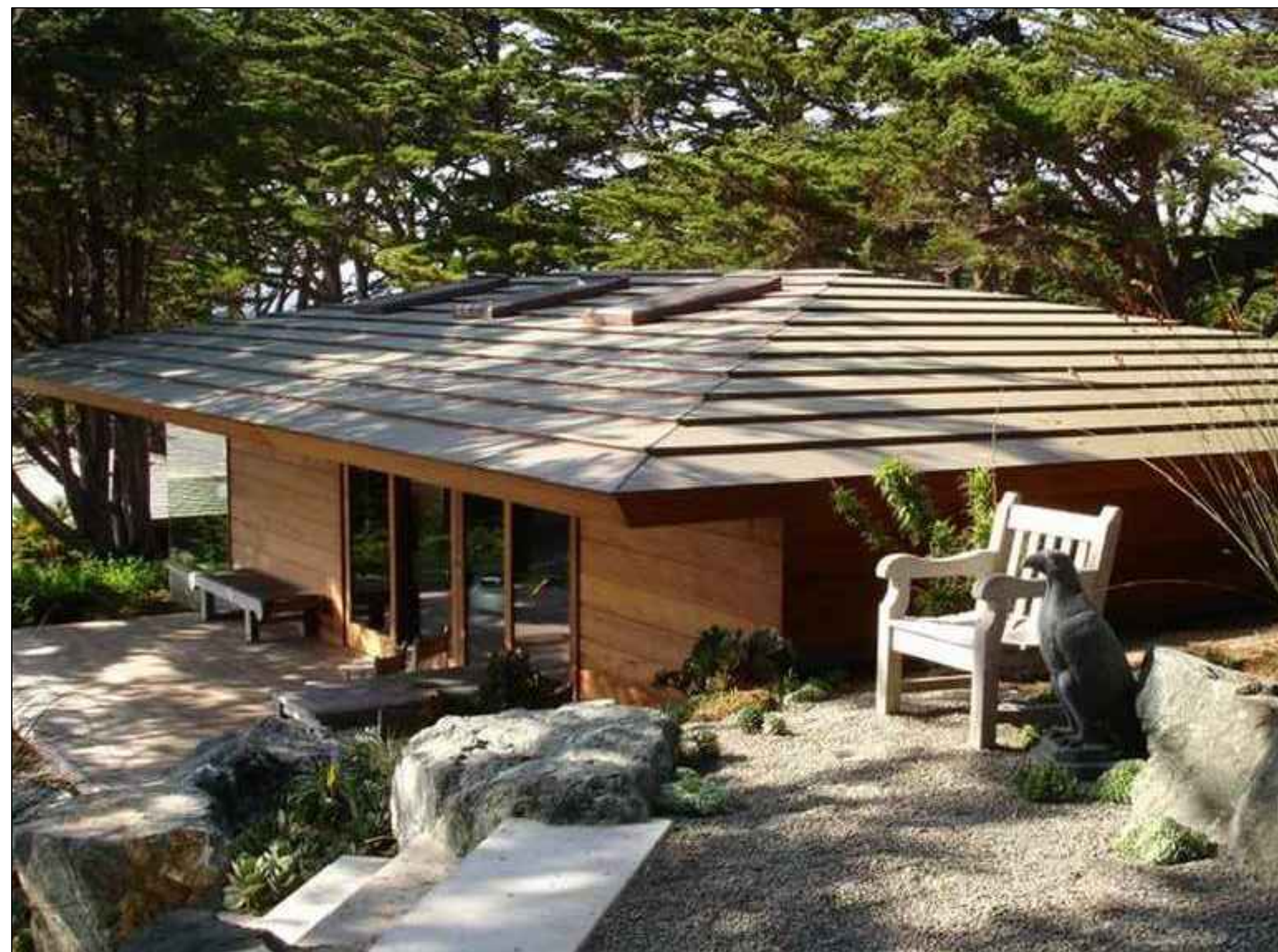
MINIMUM SLOPE
4:12

www.atas.com/rumbashake



BERMUDA STYLE ROOF PRODUCT SPEC AND COLOR SAMPLE

NTS



BERMUDA STYLE ROOF EXAMPLE BY DOROTY ROOFING

NTS

ROOF EXECUTED IN THE REGION



Cabot® Clear Wood Protector

Cabot® Clear Wood Protector is a deep, penetrating waterproofer with dual-action UV protection. Give your deck long-lasting protection with no added color. Easy to apply and easy to clean, choose a mold- & mildew-resistant finish that stands up to time and style.

- One-coat weatherproofing
- Dual UV protection
- Long-term water beading
- Deep penetrating sealer
- Resists lapping and peeling
- Creates a mold, mildew & algae-resistant finish
- Ideal for decks, porches, outdoor furniture, steps and railings

SEALANT WOOD PRESERVATIVE

NTS

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350 S. Grand Avenue, Suite 2000
Los Angeles, CA 90071
accountspayableshtgroup.org

Ynez Arce
ynez@shastagroup.com

REVISIONS:

NO.	DATE	DESCRIPTION

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PRINT DATE: **03/12/23**

DRAWING DATE: **03/12/23**

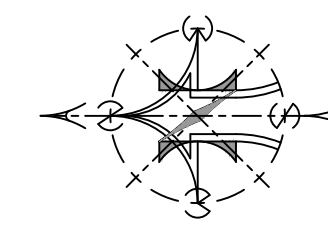
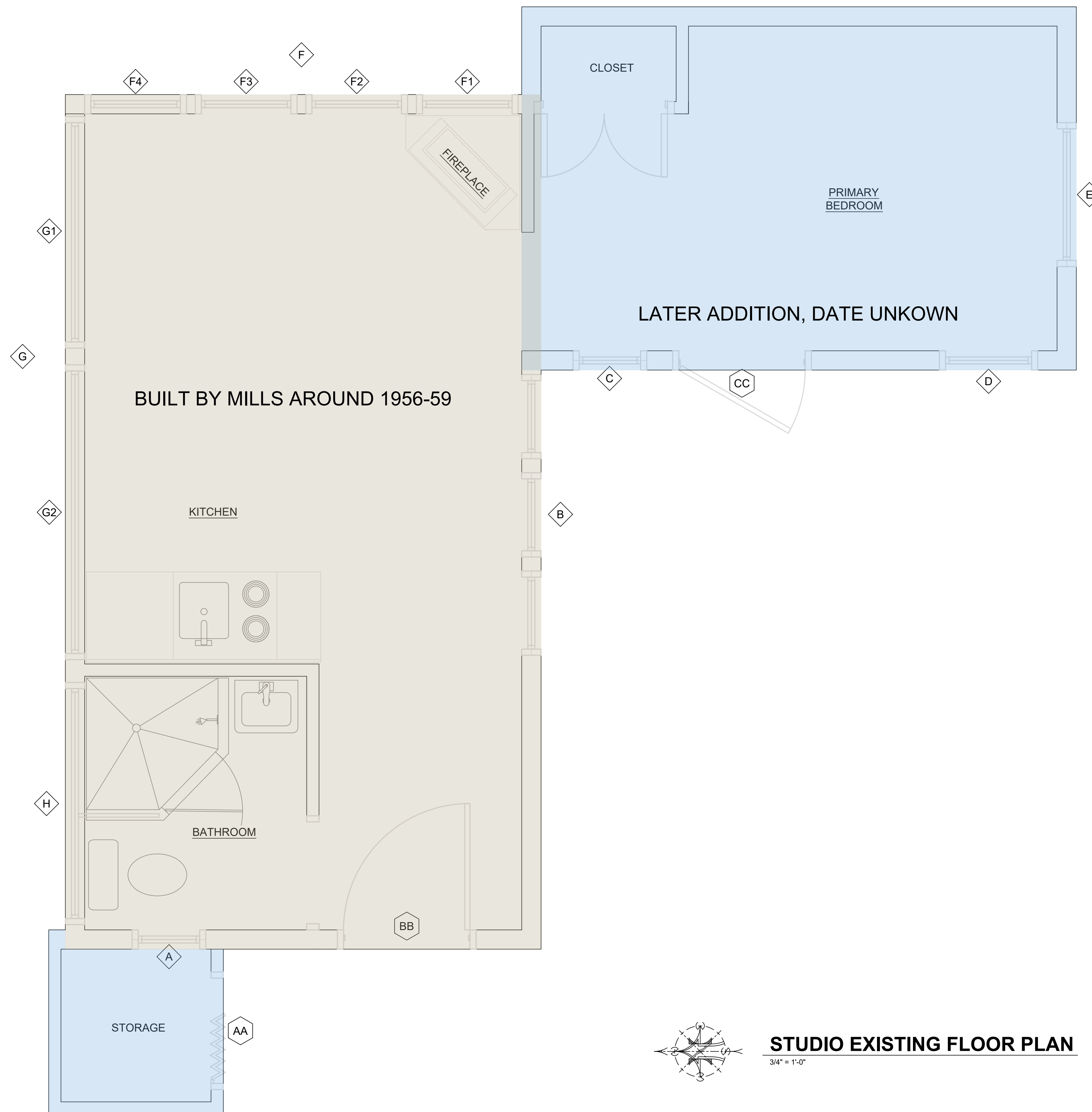
PAGE TITLE:

SPECIFICATION

SCALE: NTS

SHEET:

A6.0



STUDIO EXISTING FLOOR PLAN

3/4" = 1'-0"

THOMAS BATEMAN HOOD
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PRINT DATE: **05/12/23**

DRAWING DATE: **05/12/23**

PAGE TITLE:

STUDIO EXISTING FLOOR PLAN

SCALE: 3/4" = 1'

SHEET:

A7.1

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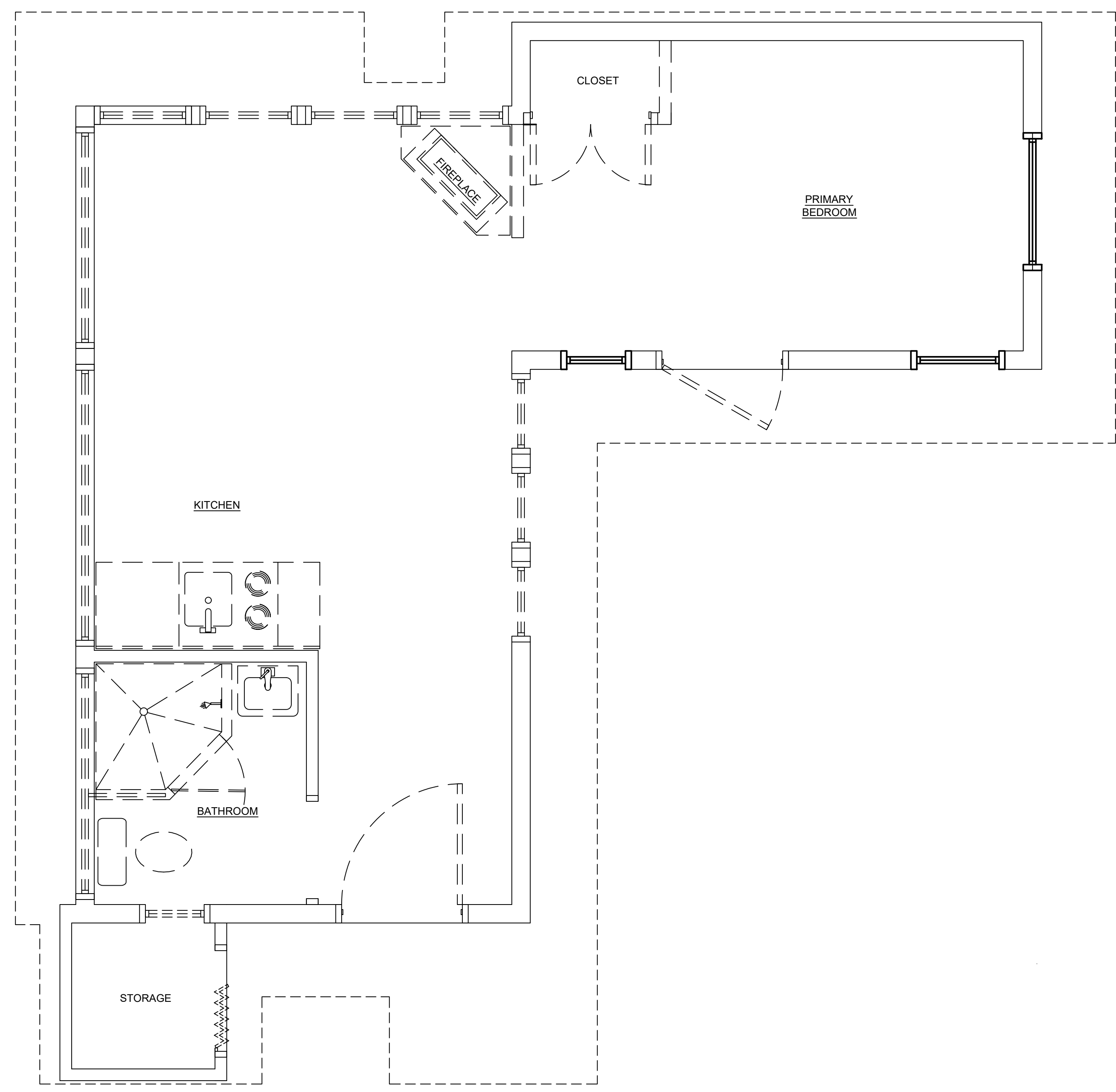
DRAWING DATE: **05/12/23**

PAGE TITLE:
**STUDIO
 DEMOLITION &
 PROPOSED
 FLOOR PLANS**

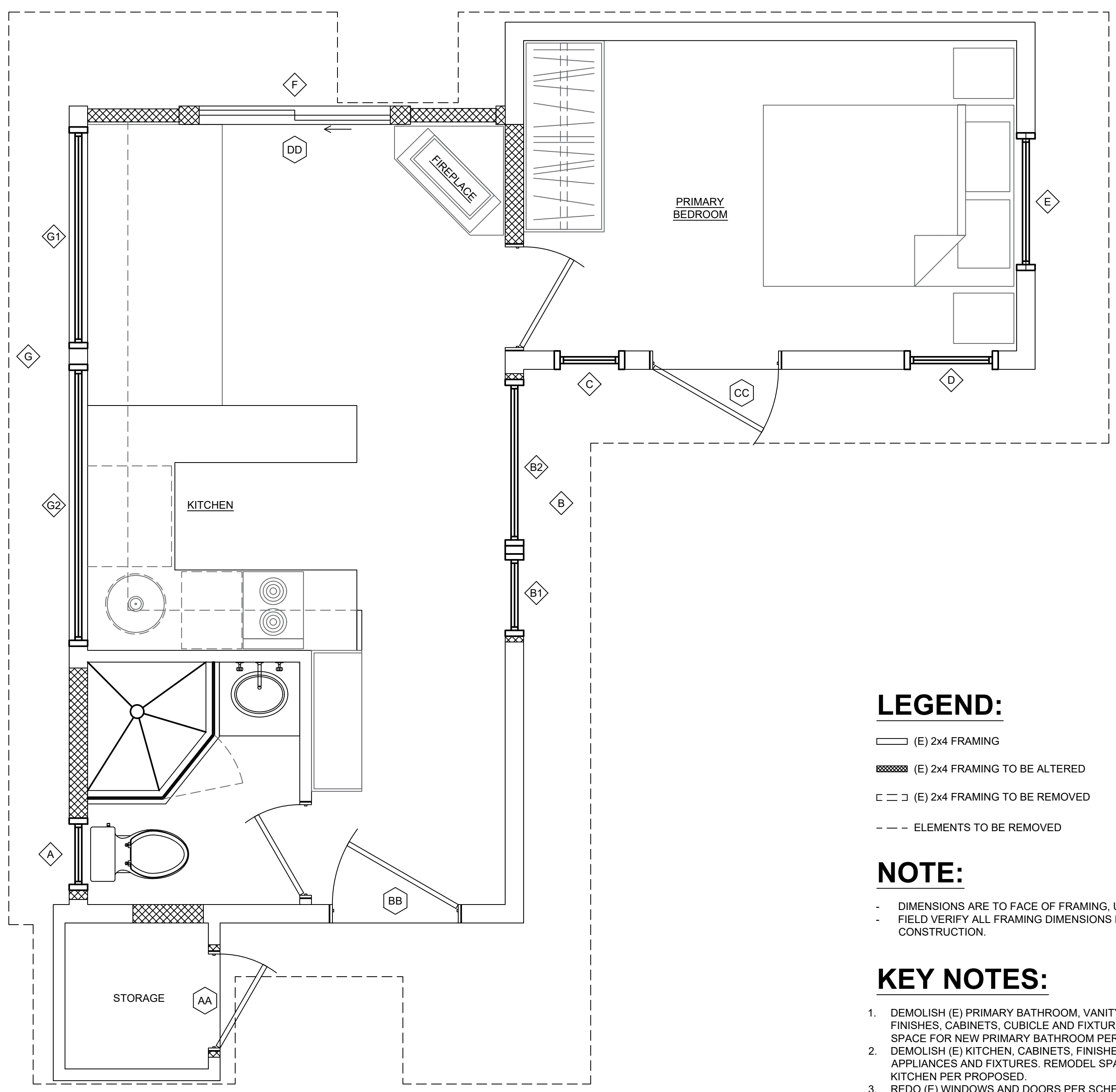
SCALE: 1/2" = 1'

SHEET:

A7.2



STUDIO DEMOLITION FLOOR PLAN
 1/2" = 1'-0"



STUDIO PROPOSED FLOOR PLAN
 1/2" = 1'-0"

LEGEND:

- (E) 2x4 FRAMING
- (E) 2x4 FRAMING TO BE ALTERED
- (E) 2x4 FRAMING TO BE REMOVED
- ELEMENTS TO BE REMOVED

NOTE:

- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES:

1. DEMOLISH (E) PRIMARY BATHROOM, VANITY, TOILET, FINISHES, CABINETS, CUBICLE AND FIXTURES. REMODEL SPACE FOR NEW PRIMARY BATHROOM PER PROPOSED.
2. DEMOLISH (E) KITCHEN, CABINETS, FINISHES, APPLIANCES AND FIXTURES. REMODEL SPACE FOR NEW KITCHEN PER PROPOSED.
3. REDO (E) WINDOWS AND DOORS PER SCHEDULES (A8.3 & A8.5).

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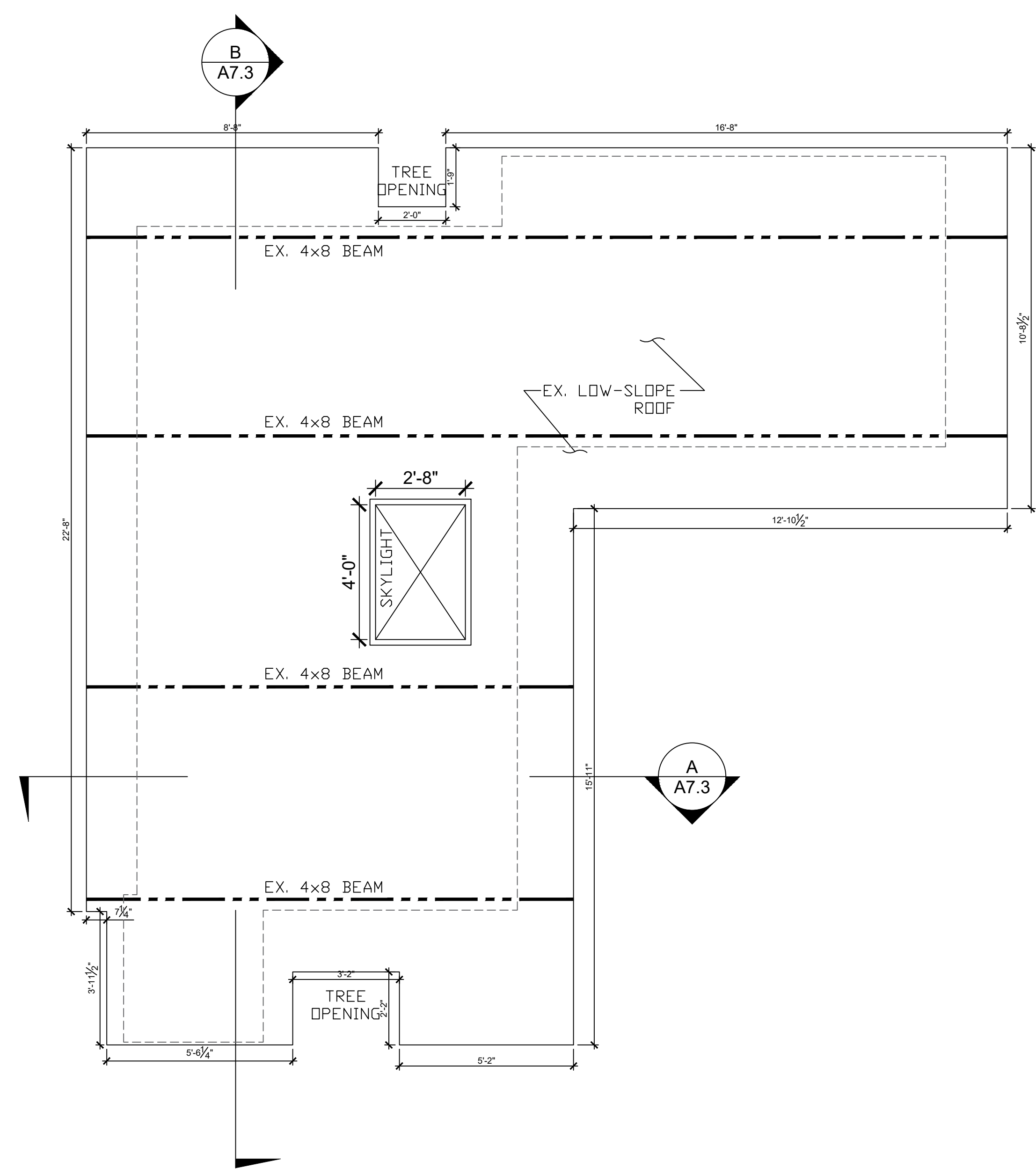
DRAWING DATE: 05/12/23

PAGE TITLE:
STUDIO
EXISTING ROOF
PROPOSED ROOF
& SECTIONS

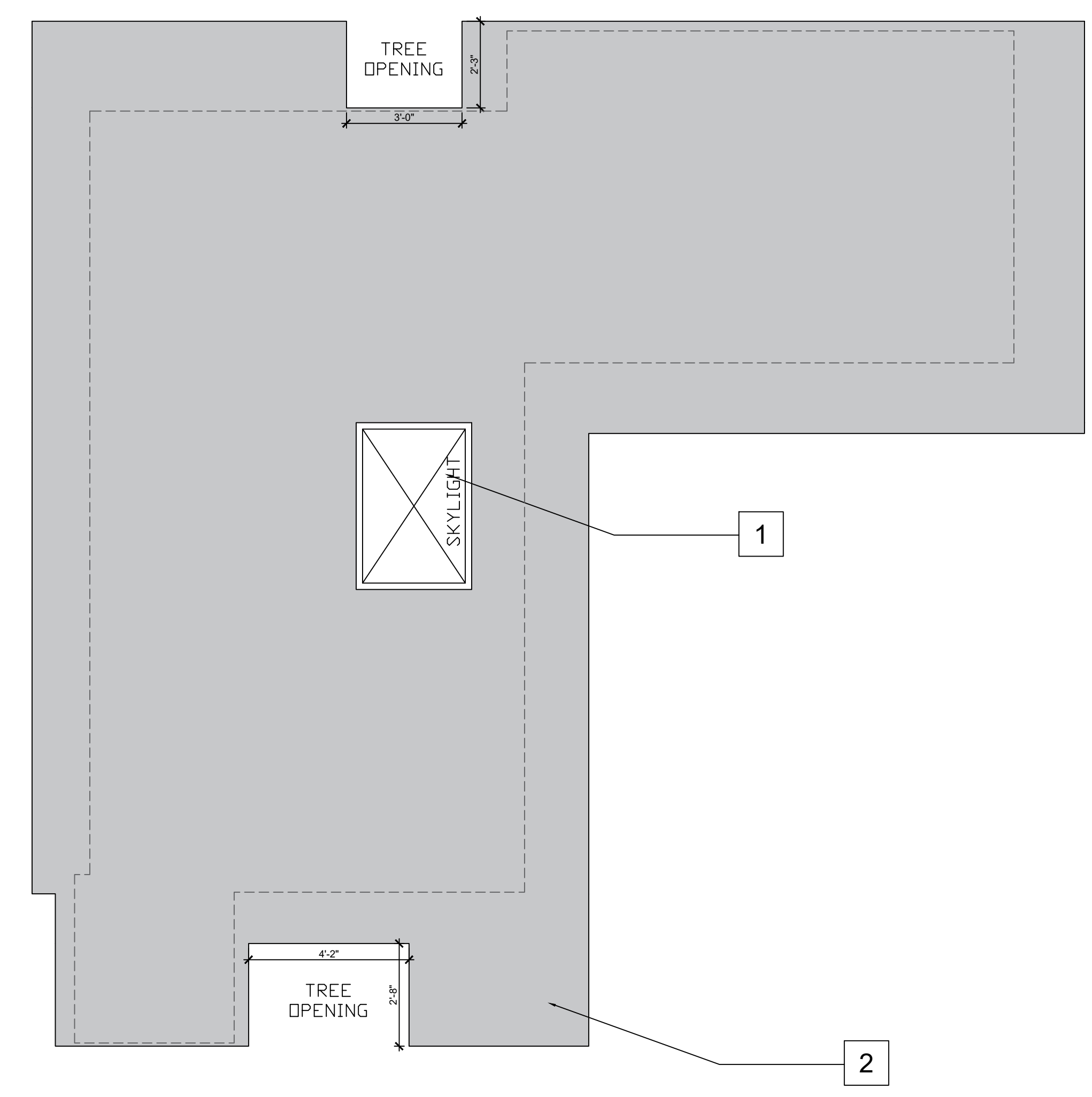
SCALE: 3/8" = 1'

SHEET:

A7.3

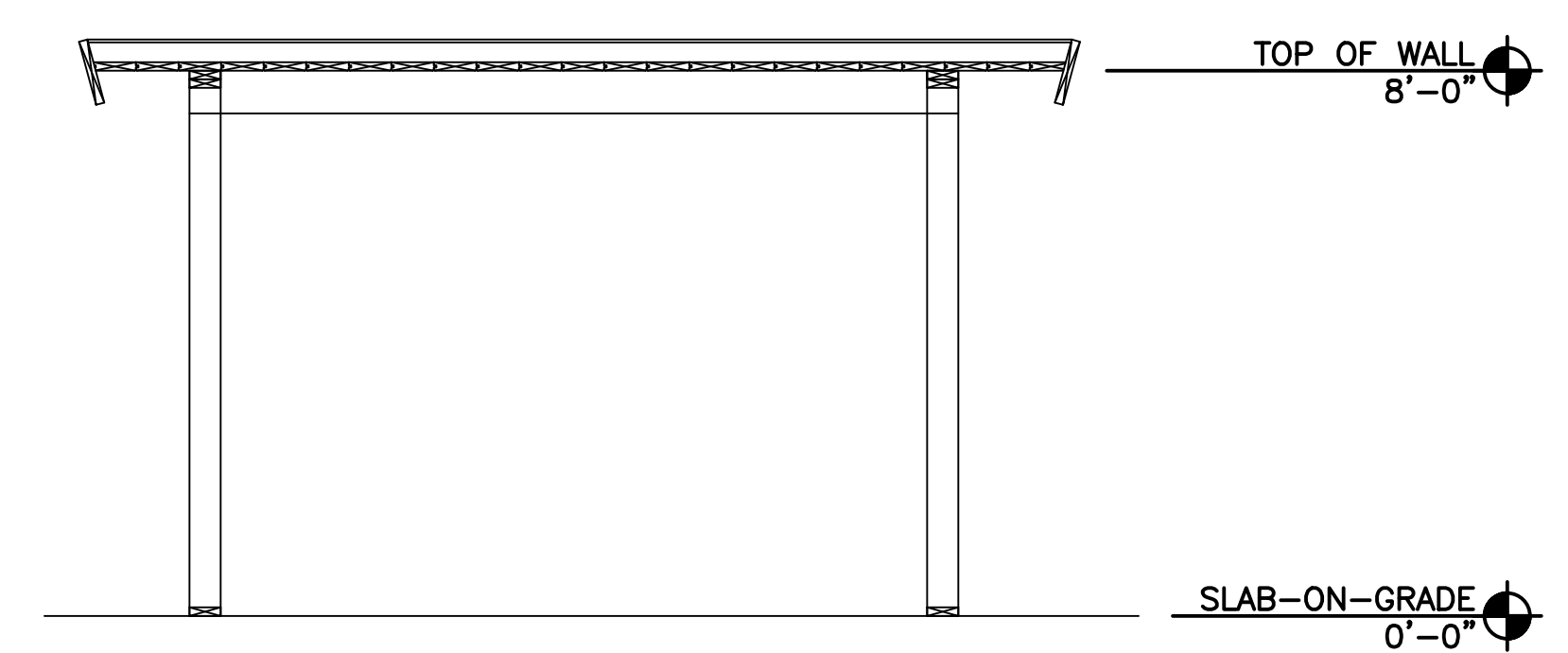


EXISTING ROOF PLAN
 3/8" = 1'-0"

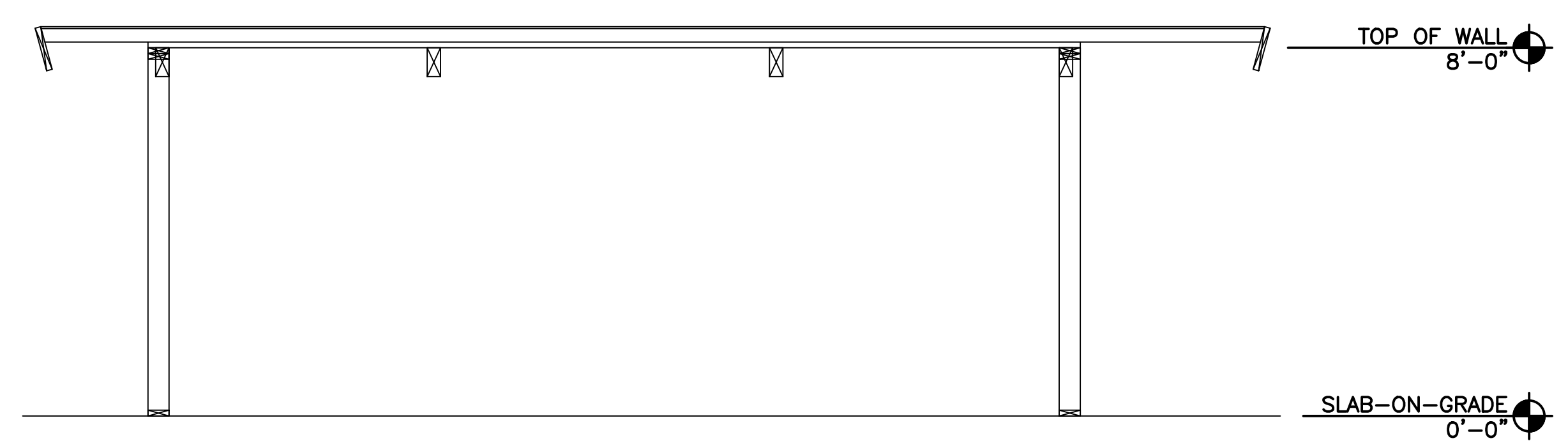


PROPOSED ROOF PLAN
 3/8" = 1'-0"

1. REPLACE SKYLIGHT
2. RESTORE 2X6 DOUG FIR FLAT ROOF FRAMING, 2X T&G FIR DECKING AND 2X10 REDWOOD FASCIAS



A TRANSVERSE SECTION
 3/8" = 1'-0"



B TRANSVERSE SECTION
 3/8" = 1'-0"

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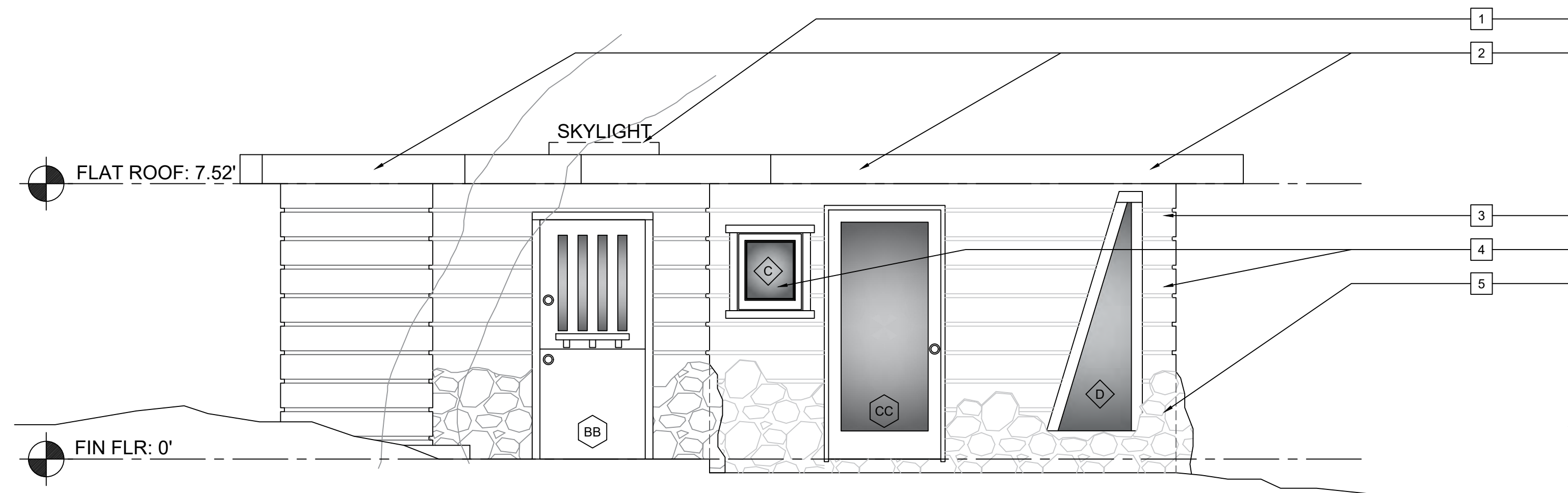
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STUDIO EXISTING ELEVATIONS

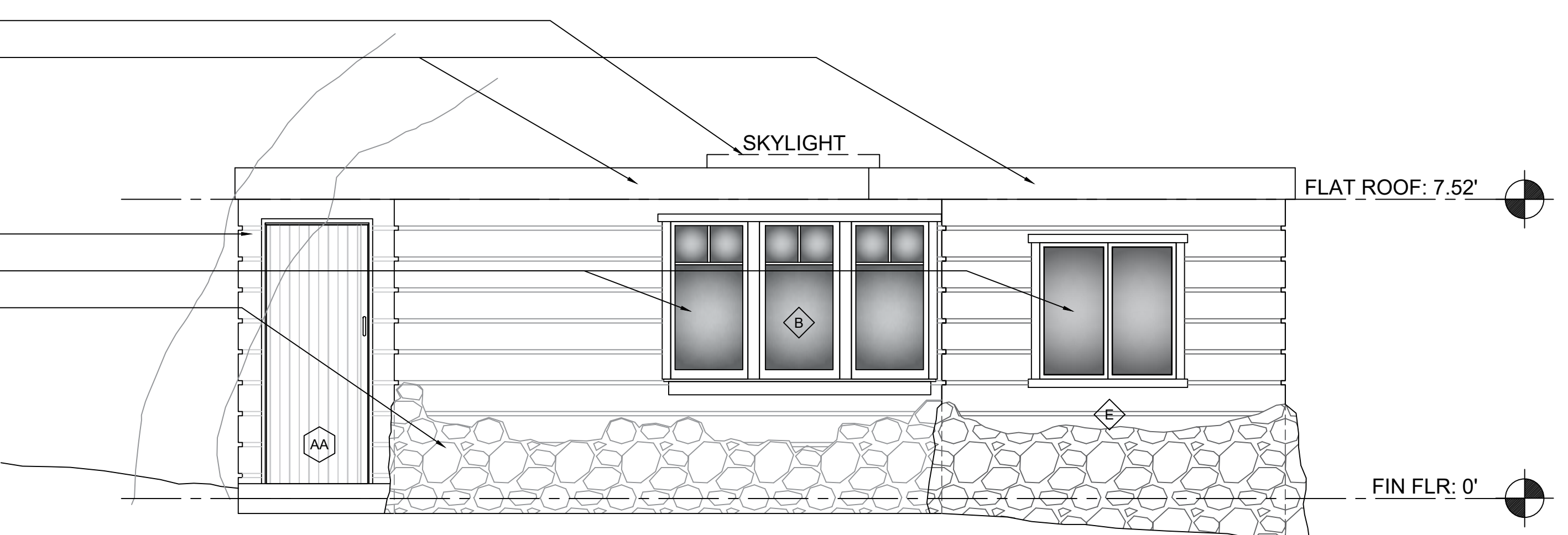
SCALE: 3/8" = 1'

SHEET:

A8.1

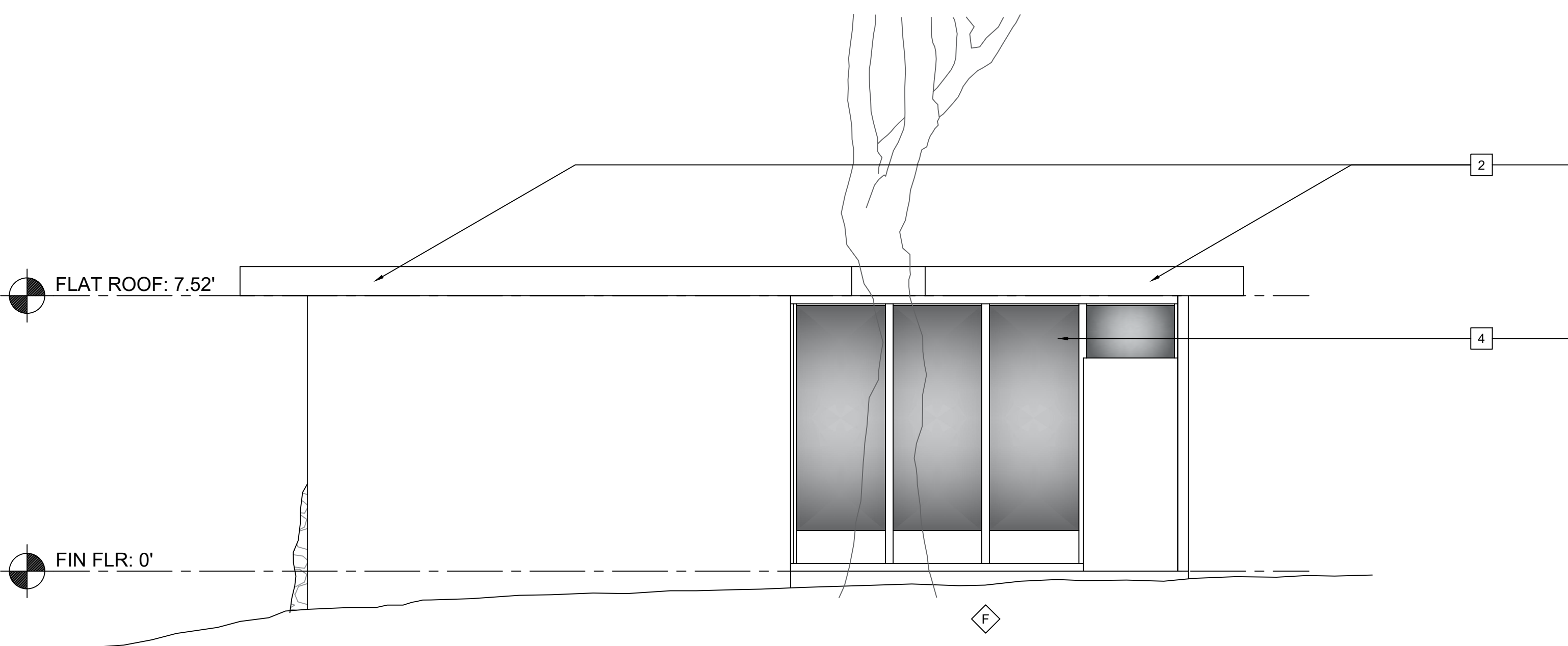


EXISTING WEST ELEVATION
 3/8" = 1'-0"

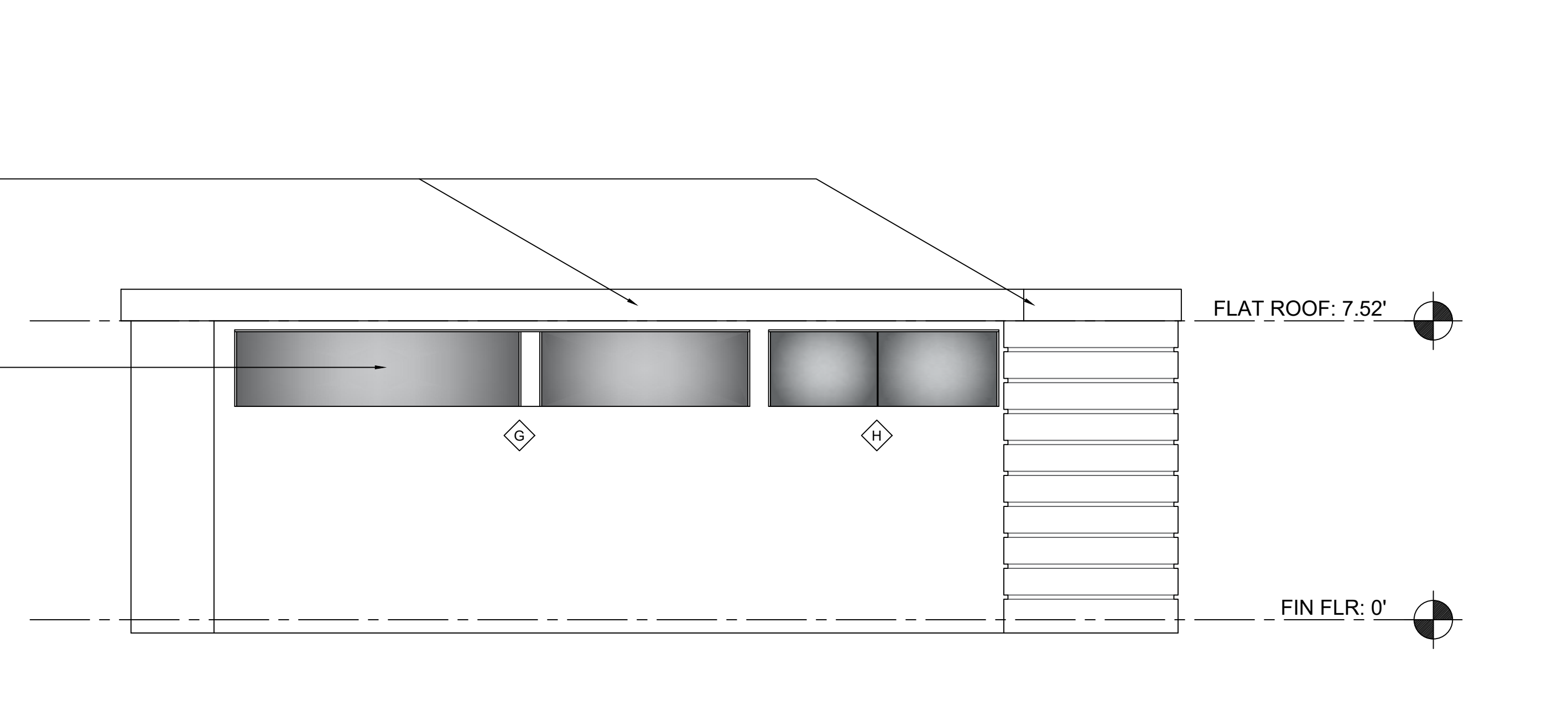


EXISTING SOUTH ELEVATION
 3/8" = 1'-0"

- MATERIALS LEGEND:**
1. FIXED SKLIGHT
 2. WOOD FACIA
 3. WOOD SIDING
 4. SINGLE GLAZED WINDOWS IN REDWOOD FRAMES
 5. STONE CLADDING APPLIED OVER WOOD SIDING
 6. PAINTED, GALVANIZED METAL FLASHING, TYPICAL



EXISTING EAST ELEVATION
 3/8" = 1'-0"



EXISTING NORTH ELEVATION
 3/8" = 1'-0"

THOMAS BATEMAN HOOD
 27880 Dorris Drive, Suite 200
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 831-652-0012
 tom@t-hood.com
 www.thomasbatemanhood.com

PROJECT:
 Restoration, interior remodel and alterations to single family residence and studio at:
 25987 Mission Street
 Carmel, CA 93923
 APN: 009-353-012
 Block 1, Lot 17

OWNER:
 Mission Street Office LLC
 350 S. Grand Avenue, Suite 2000
 Los Angeles, CA 90071
 accountspayablesastgroup.org
 Ynez Arce
 ynez@shastagroup.com

REVISIONS:

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ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

DRAWN BY: **JC**

PRINT DATE: **05/12/23**

DRAWING DATE: **05/12/23**

PAGE TITLE:

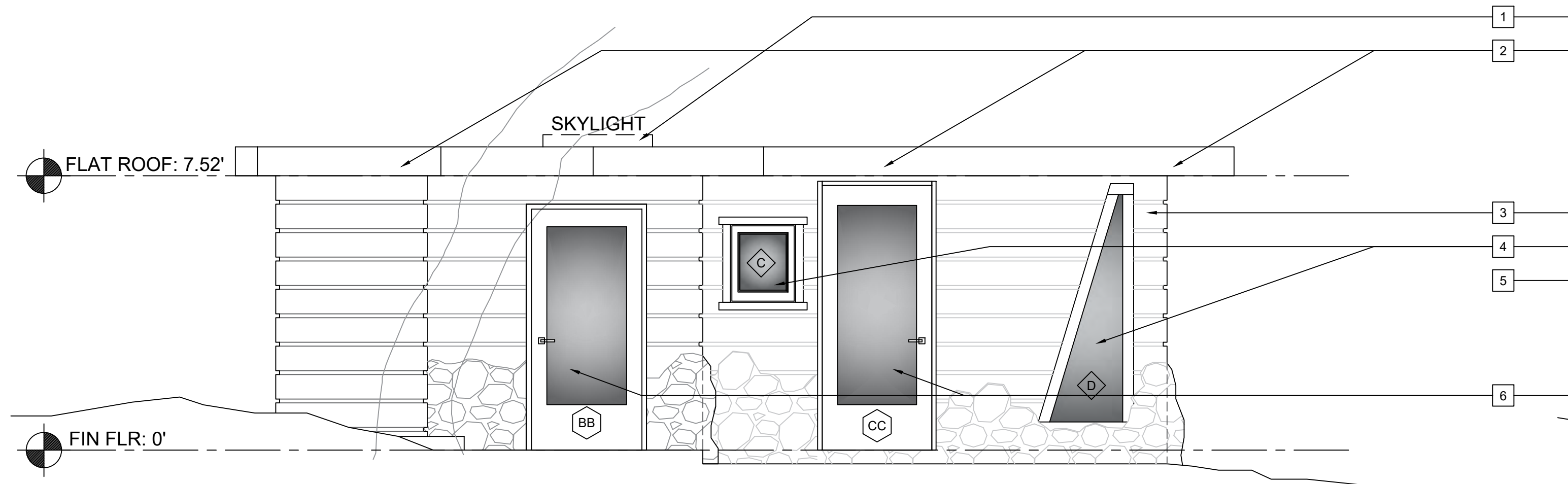
STUDIO PROPOSED ELEVATIONS

SCALE: 3/8" = 1'

SHEET:

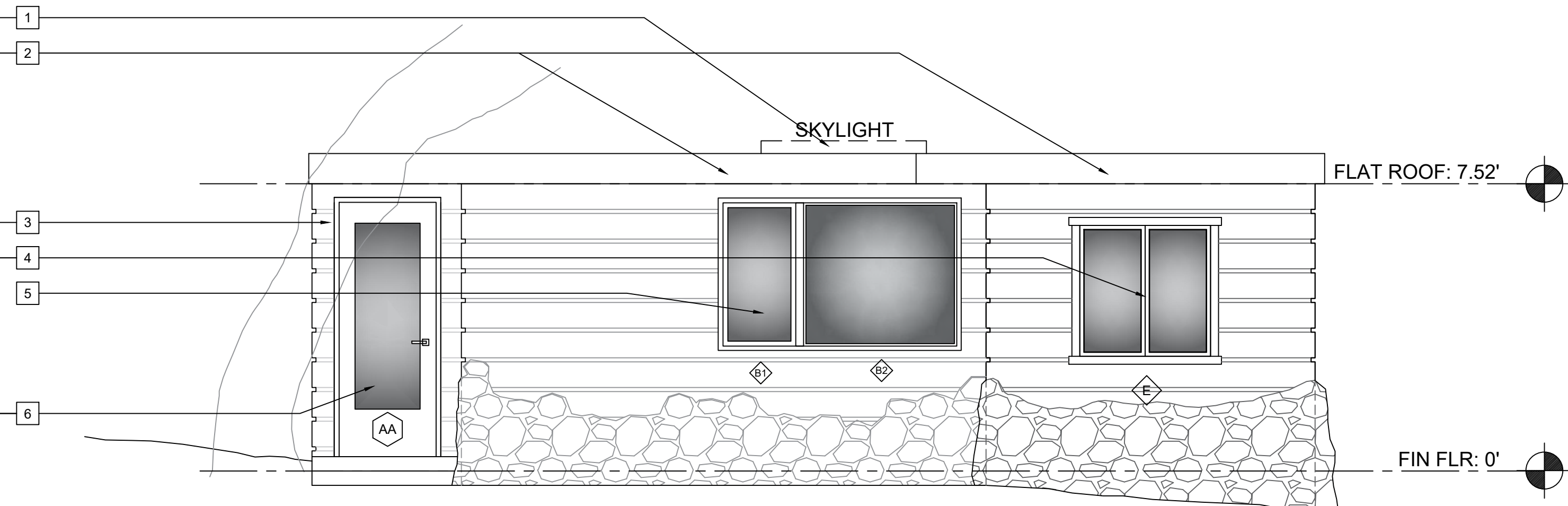
A8.2

30 OF 33 SHEETS



PROPOSED WEST ELEVATION

3/8" = 1'-0"

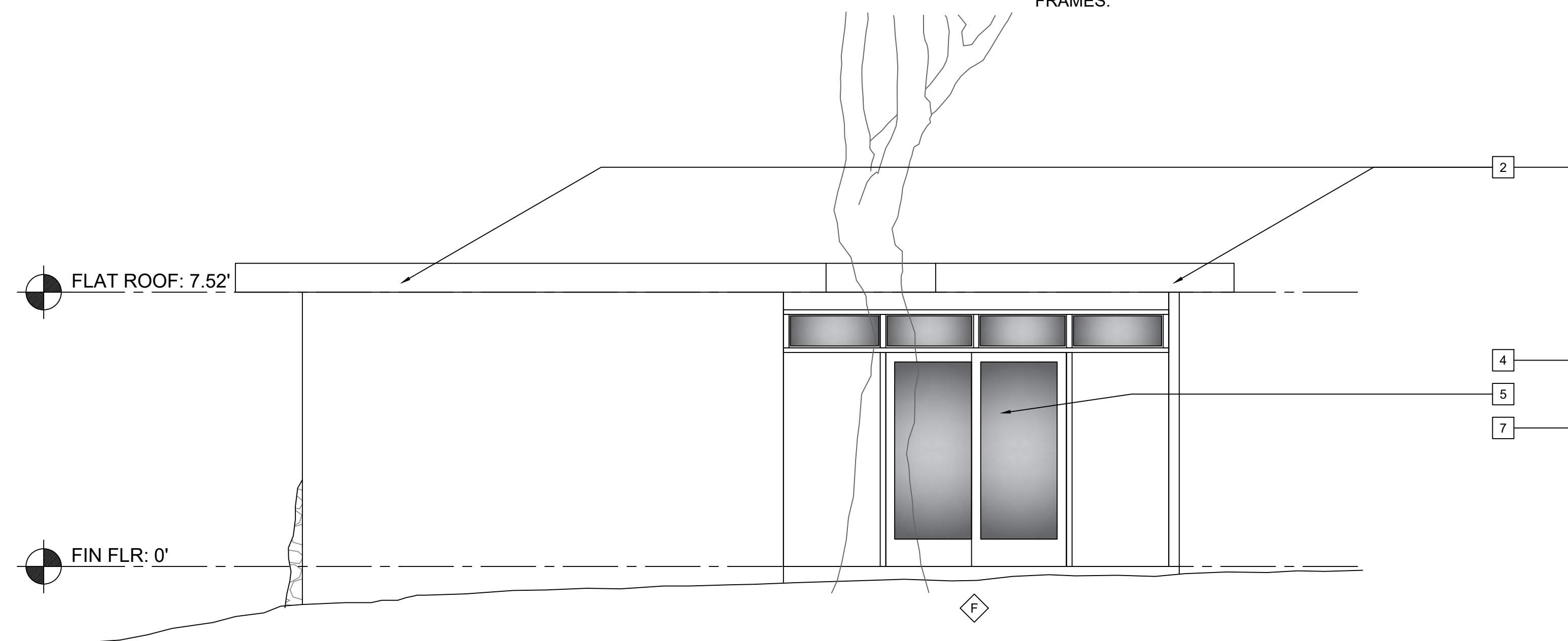


PROPOSED SOUTH ELEVATION

3/8" = 1'-0"

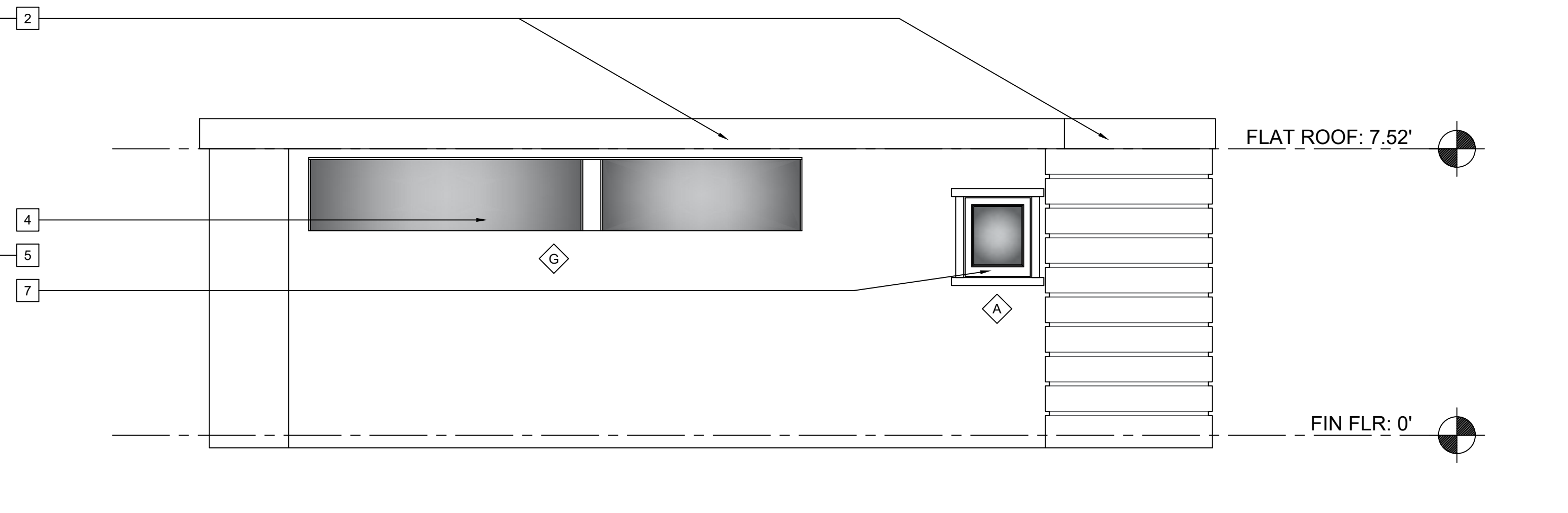
MATERIALS LEGEND:

1. REPLACE SKYLIGHT.
2. RESTORE 2X6 DOUG FIR FLAT ROOF FRAMING, 2X T&G FIR DECKING AND 2X10 REDWOOD FASCIA.
3. PAINT RESTORATION TO MATCH HOUSE'S WOOD SIDING, NATURAL REDWOOD.
4. REPLACE WINDOW'S GLASSES WITH 5/8" CLEAR LOW E INSULATING GLASS IN ORIGINAL (RESTORED) FRAMES.
5. REPLACE WINDOWS TO NEW PROPOSED DESIGN WITH 5/8" CLEAR LOW E INSULATING GLASS. SEE A8.5.
6. REPLACE DOORS TO NEW PROPOSED DESIGN, SEE A8.5.
7. MOVE ORIGINAL WINDOW TO NEW LOCATION PER PROPOSED DESIGN. SEE A7.1 & A7.2.



PROPOSED EAST ELEVATION

3/8" = 1'-0"



PROPOSED NORTH ELEVATION

3/8" = 1'-0"

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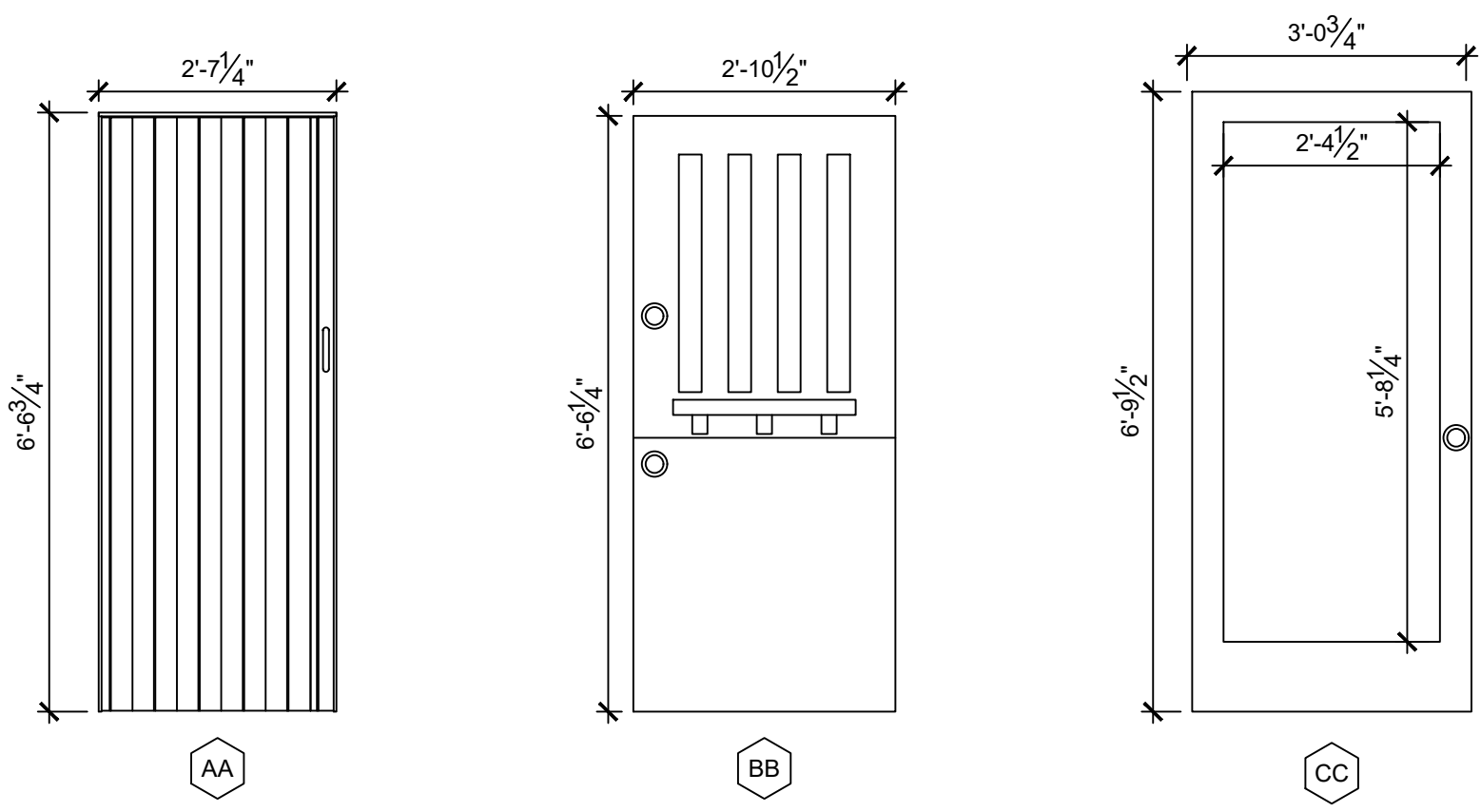
DRAWING DATE: **05/12/23**

PAGE TITLE:
STUDIO EXISTING WINDOWS, DOORS & SKYLIGHT SCHEDULES

SCALE: 1/2" = 1'

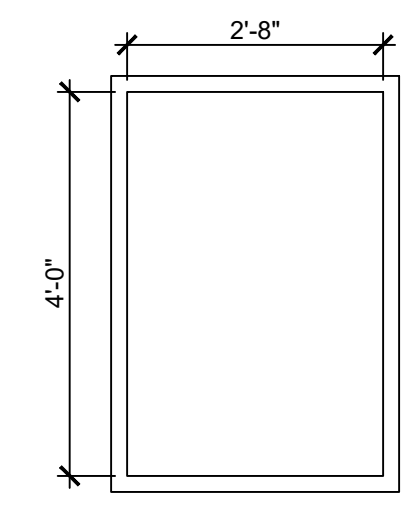
SHEET:

A8.3



EXISTING DOORS

1/2" = 1'-0"

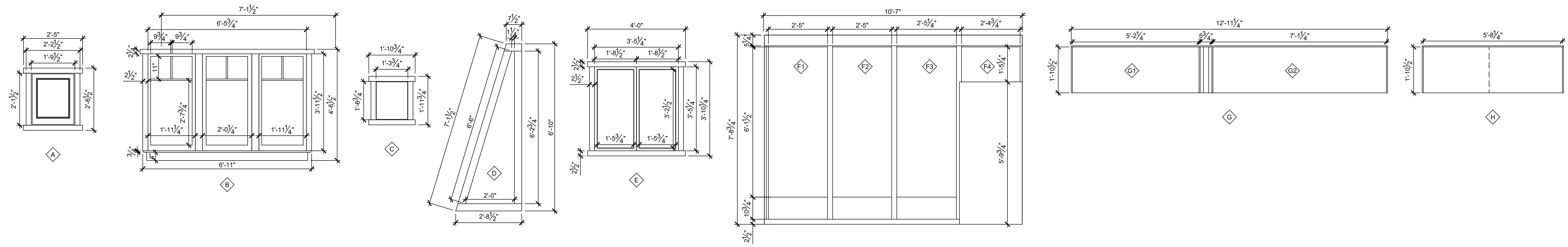


EXISTING SKYLIGHT

1/2" = 1'-0"

EXISTING DOOR SCHEDULE											
MARK	TYPE	STYLE	LOCATION	SIZE		HEAD HEIGHT	ROUGH OPENING (WxH)	FRAME	INT. FINISH	GLASS TYPE	REMARKS
				WIDTH	HEIGHT						
1	AA	ACCORDION	STORAGE	2' - 7 1/4"	6' - 6 3/4"						
2	BB	INSWING	WEST FAÇADE - MAIN DOOR	2' - 10 1/2"	6' - 6 1/4"	V.I.F. (E) DIMS.	V.I.F. (E) DIMS.	(E) WOOD	RESTORE DOOR FRAME FINISH	TEMPERED	
3	CC	OUTSWING	WEST FAÇADE - BEDROOM	3' - 0 3/4"	6' - 9 1/2"						

SKYLIGHT SCHEDULE									
MARK	STYLE	LOCATION	SIZE		ROUGH OPENING (WxH)	FRAME	INT. FINISH	GLASS TYPE	REMARKS
			WIDTH	HEIGHT					
1	RETANGULAR	FLAT ROOF NEAR KITCHEN	2'-8"	4'	FIELD VERIFY	WOOD	STAIN MATCHING REDWOOD	TEMPERED OVER LAMINATED INSULATING	



EXISTING WINDOWS

1/2" = 1'-0"

EXISTING WINDOW SCHEDULE											
MARK	TYPE	STYLE	LOCATION	SIZE		SHAPE	FRAME	INT. FINISH	GLASS TYPE	REMARKS	
				WIDTH	HEIGHT						
1	-	A	BETWEEN RESTROOM AND STORAGE	1'-9 1/2"	2'-6 1/2"	RETANGULAR					
2	B	B1	SOUTH FAÇADE - KITCHEN / LIVING	1' - 11 1/4"	3' - 11 1/2"	RETANGULAR					
3	B	B2	SOUTH FAÇADE - KITCHEN / LIVING	1' - 11 1/4"	3' - 11 1/2"	RETANGULAR					
4	B	B3	SOUTH FAÇADE - KITCHEN / LIVING	1' - 11 1/4"	3' - 11 1/2"	RETANGULAR					
5	-	C	WEST FAÇADE - BEDROOM	1'-3 3/4"	1'-11 3/4"	RETANGULAR					
6	-	D	WEST FAÇADE - BEDROOM	2' - 0"	6' - 2 3/4"	TRIANGULAR					
7	E	E1	SOUTH FAÇADE - BEDROOM	1'-5 3/4"	3'-5 1/4"	RETANGULAR					
8	E	E2	SOUTH FAÇADE - BEDROOM	1'-5 3/4"	3'-5 1/4"	RETANGULAR					
9	F	F1	EAST FAÇADE - LIVING ROOM	2'-5"	6'-1 1/2"	RETANGULAR	REDWOOD	ORIGINAL REDWOOD FINISH TO BE RESTORED IF RETAINED	5/8" CLEAR, LOW E. INSULATING GLASS. TEMPERED AS REQUESTED BY CODE.		
10	F	F2	EAST FAÇADE - LIVING ROOM	2'-5"	6'-1 1/2"	RETANGULAR					
11	F	F3	EAST FAÇADE - LIVING ROOM	2'-5 1/4"	6'-1 1/2"	RETANGULAR					
12	F	F4	EAST FAÇADE - LIVING ROOM	2' - 4 3/4"	1' - 5 1/4"	RETANGULAR					
13	G	G1	NORTH FAÇADE - KITCHEN / LIVING	5' - 2 1/4"	1' - 10 1/2"	RETANGULAR					
14	G	G2	NORTH FAÇADE - KITCHEN / LIVING	7' - 1 1/4"	1' - 10 1/2"	RETANGULAR					
15	-	H	NORTH FAÇADE - BATHROOM	5' - 8 1/4"	1' - 10 1/2"	RETANGULAR					

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 CARMEL, CA

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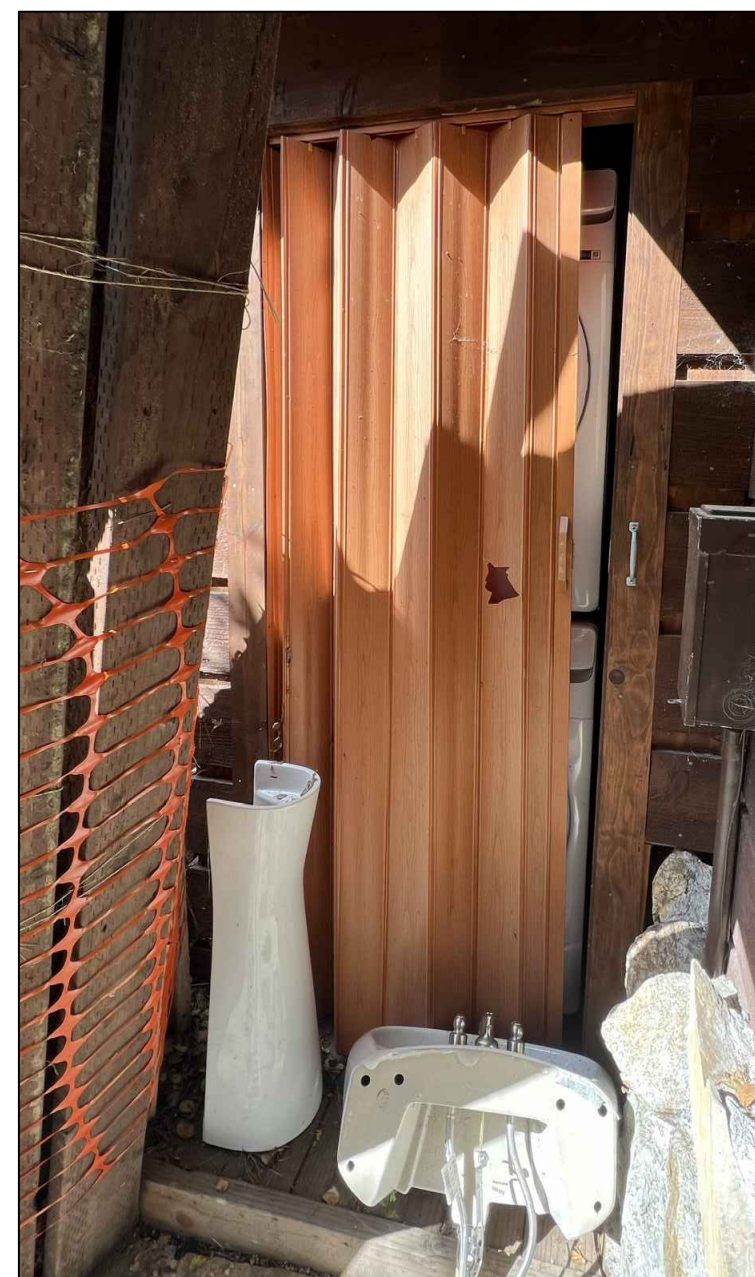
DRAWING DATE: **05/12/23**

PAGE TITLE:
STUDIO EXISTING WINDOWS, DOORS & SKYLIGHT CONDITIONS

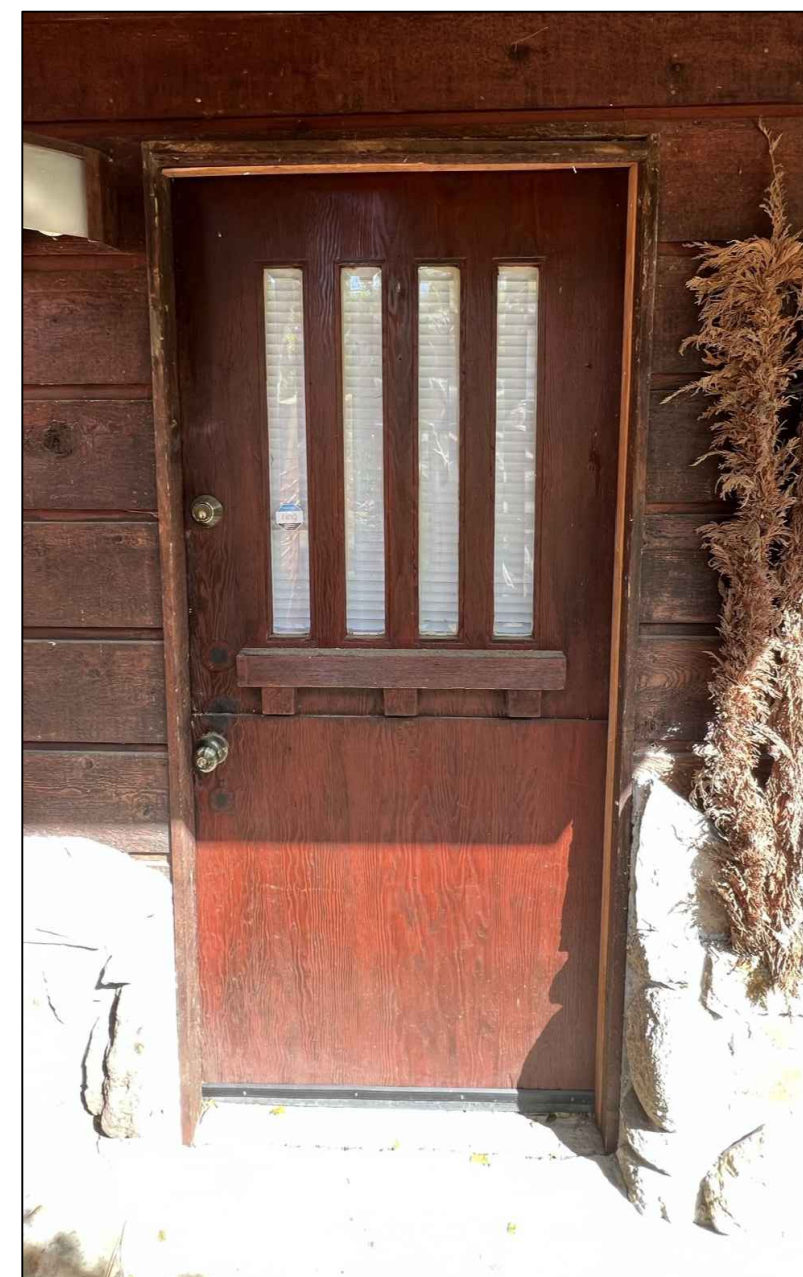
SCALE: NTS

SHEET:

A8.4



AA



BB



CC



SKYLIGHT



A



B



C



D



E



F



G



H

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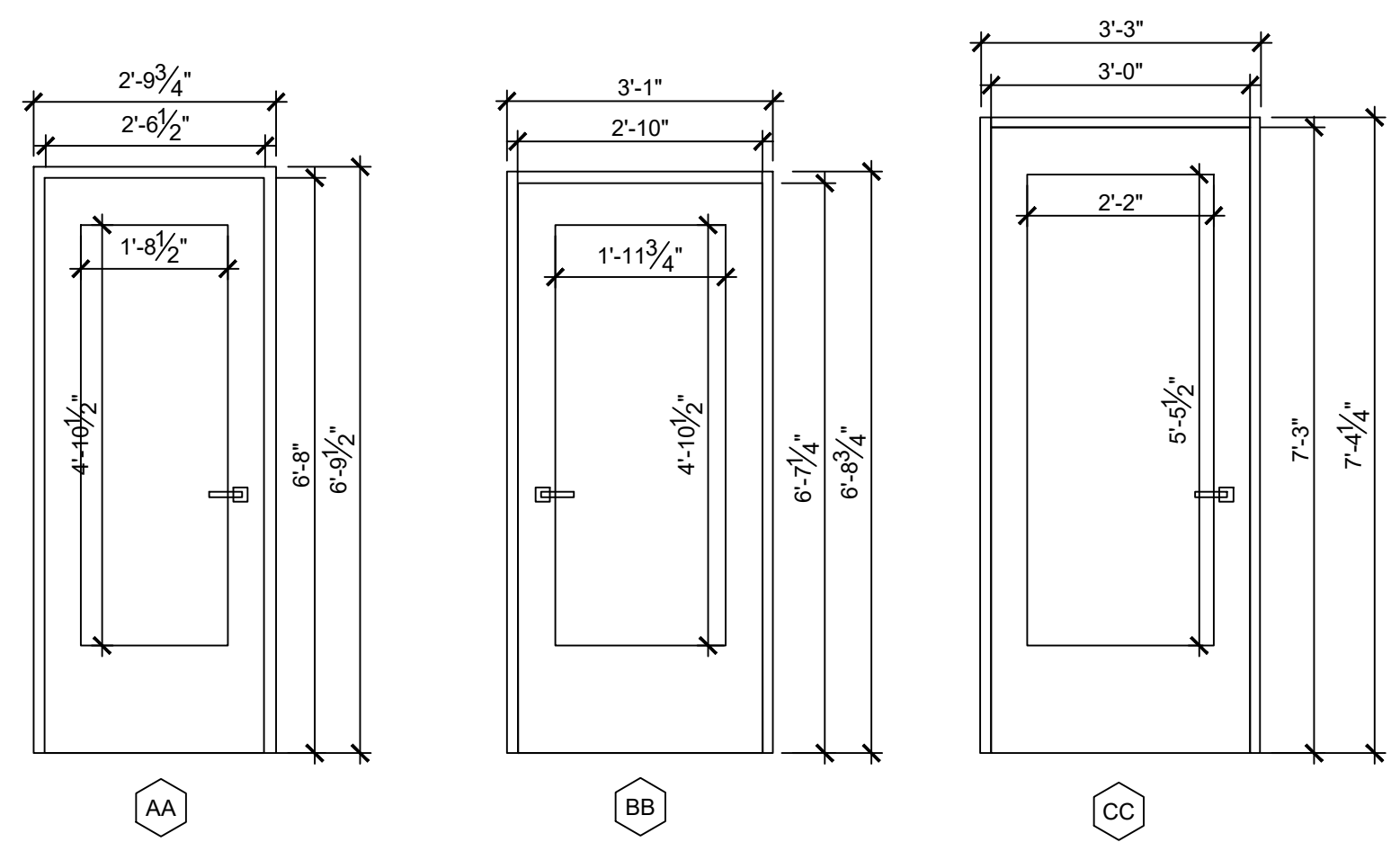
PRINT DATE: **05/12/23**

DRAWING DATE: **05/12/23**

PAGE TITLE:
STUDIO PROPOSED WINDOWS & DOORS
SCALE: 1/2" = 1'

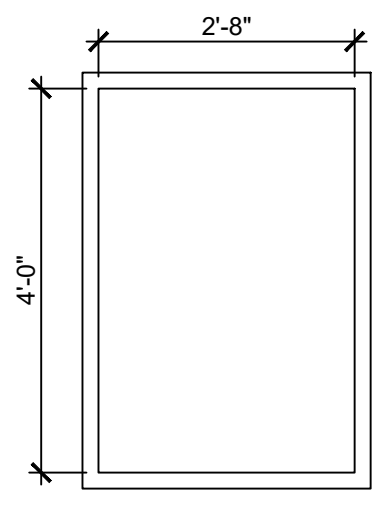
SHEET:

A8.5



PROPOSED DOORS

1/2" = 1'-0"

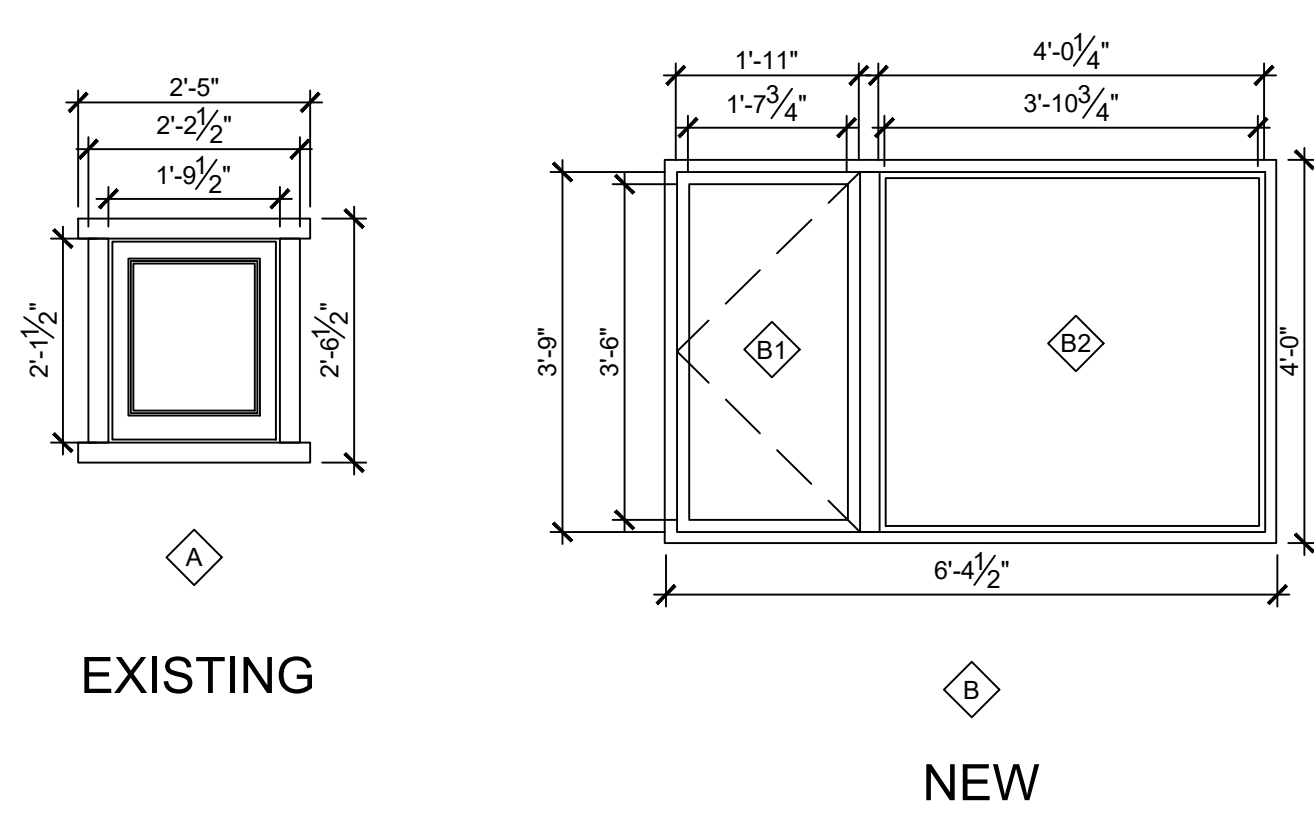


EXISTING SKYLIGHT

1/2" = 1'-0"

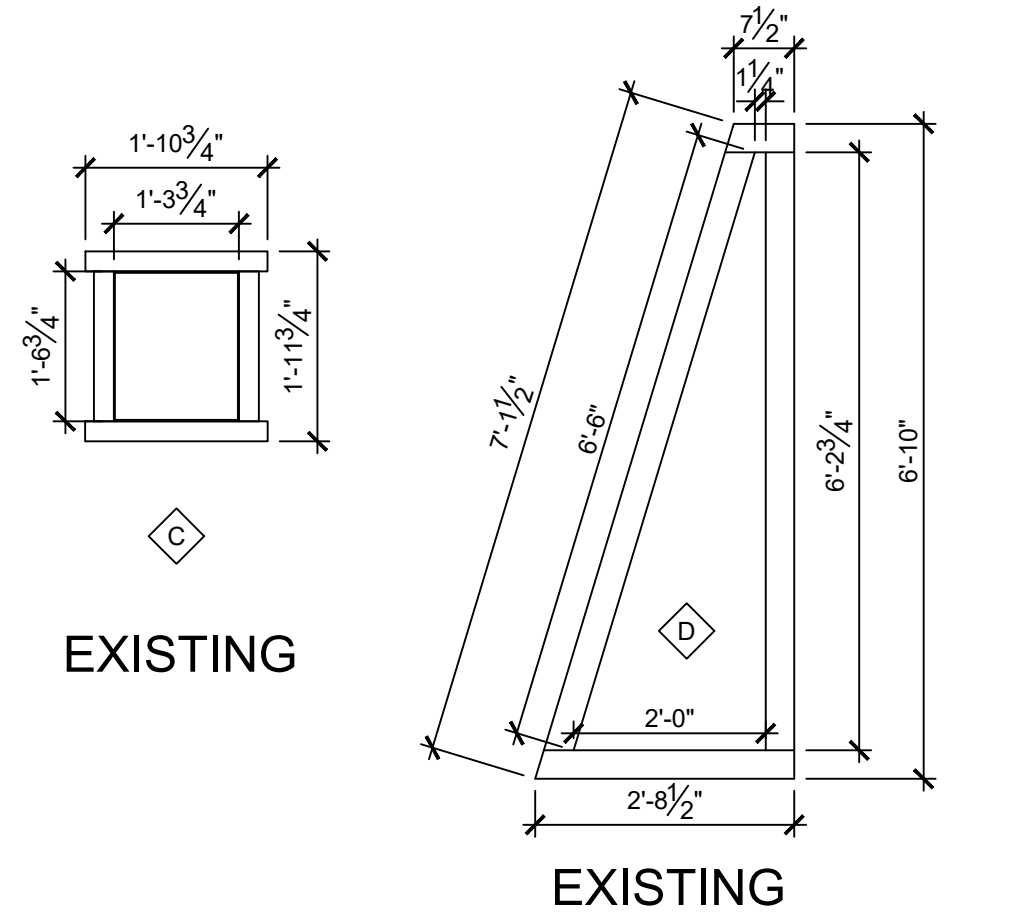
PROPOSED DOOR SCHEDULE											
MARK	TYPE	STYLE	LOCATION	SIZE		HEAD HEIGHT	ROUGH OPENING (WxH)	FRAME	INT. FINISH	GLASS TYPE	REMARKS
				WIDTH	HEIGHT						
1	AA	OUTSWING	STORAGE	2' - 6 1/2"	6' - 8"						
2	BB	INSWING	WEST FAÇADE - MAIN DOOR	2' - 10"	6' - 7 1/4"	V.I.F. (E) DIMS.	V.I.F. (E) DIMS.	(E) WOOD	RESTORE DOOR FRAME FINISH	TEMPERED	
3	CC	OUTSWING	WESTFAÇADE - BEDROOM	3' - 0"	7' - 3"						

SKYLIGHT SCHEDULE									
MARK	STYLE	LOCATION	SIZE		ROUGH OPENING (WxH)	FRAME	INT. FINISH	GLASS TYPE	REMARKS
			WIDTH	HEIGHT					
1	RETANGULAR	FLAT ROOF NEAR KITCHEN	2'-8"	4'	FIELD VERIFY	WOOD	STAIN MATCHING REDWOOD	TEMPERED OVER LAMINATED INSULATING	



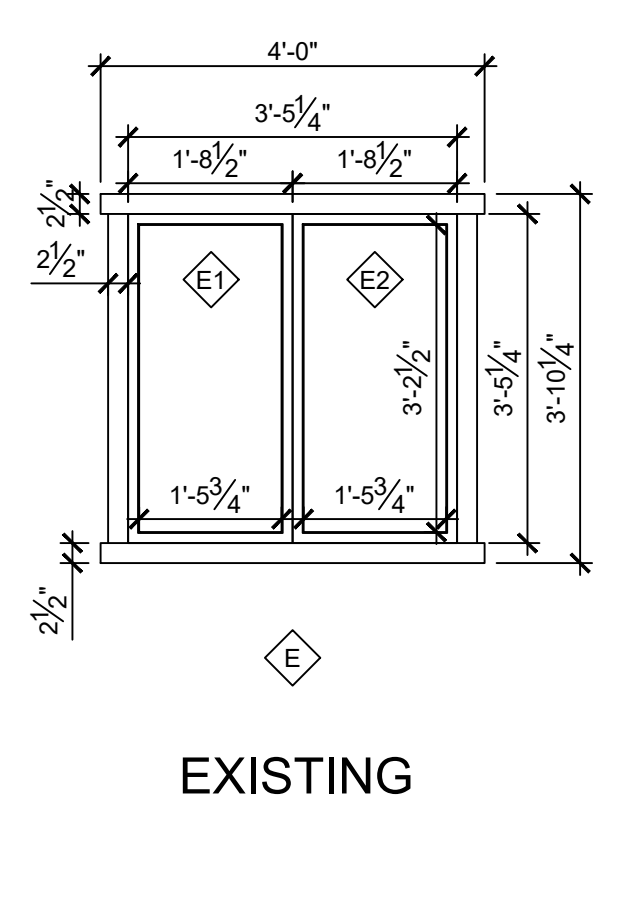
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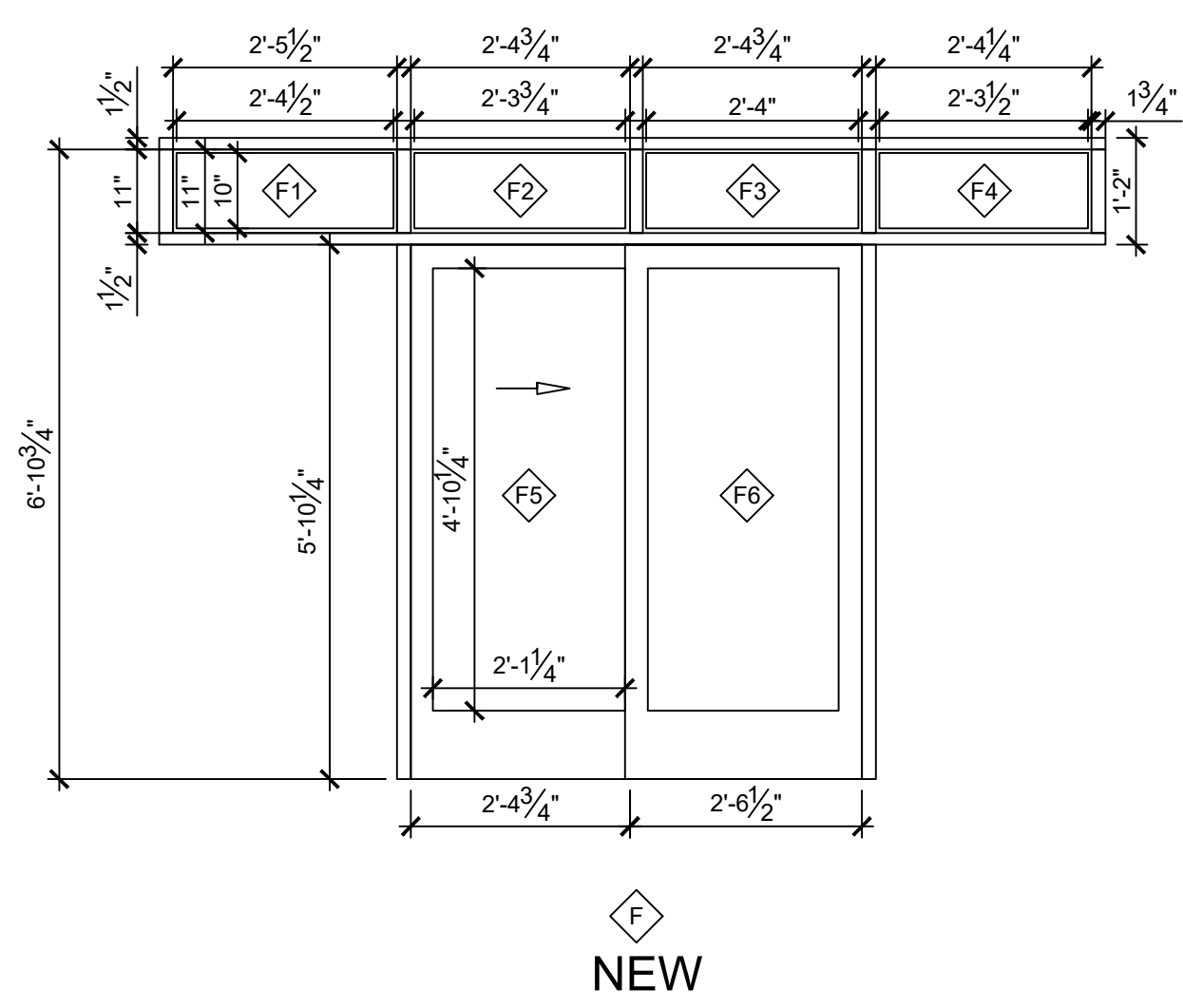


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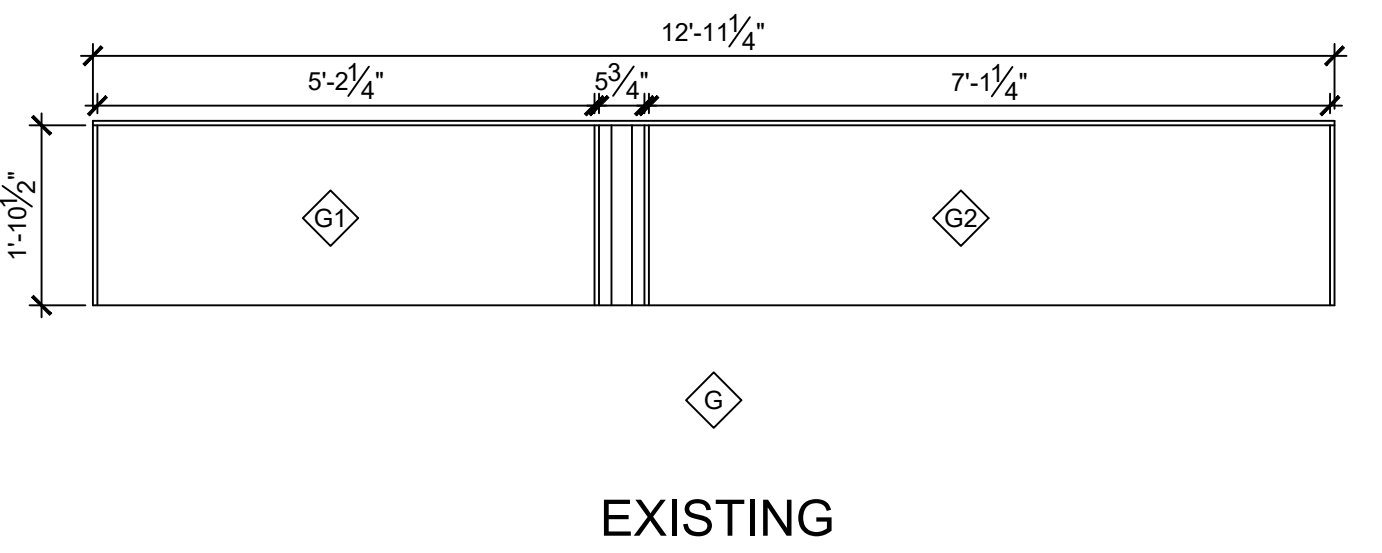
EXISTING



EXISTING



NEW



EXISTING

PROPOSED WINDOWS

1/2" = 1'-0"

PROPOSED WINDOW SCHEDULE											
MARK	TYPE	STYLE	LOCATION	SIZE		HEAD HEIGHT	FRAME	INT. FINISH	GLASS TYPE	REMARKS	
				WIDTH	HEIGHT						
1	-	A	CASEMENT	NORTH FAÇADE - BATHROOM	1'-9 1/2"	2'-6 1/2"	6' - 0"				
2	B	B1	CASEMENT	SOUTH FAÇADE - KITCHEN /LIVING	1' - 11"	3' - 9"	6' - 9"				
3		B2	FIXED	SOUTH FAÇADE - KITCHEN/LIVING	4' - 0 1/4"	3' - 9"	6' - 9"				
4	-	C	FIXED	WEST FAÇADE - BEDROOM	1'-3 3/4"	1'-11 3/4"	EXISTING				
5	-	D	FIXED	WEST FAÇADE - BEDROOM	2' - 0"	6' - 2 3/4"	EXISTING				
6	E	E1	CASEMENT	SOUTH FAÇADE - BEDROOM	1'-5 3/4"	3'-5 1/4"	EXISTING				
7		E2	CASEMENT	SOUTH FAÇADE - BEDROOM	1'-5 3/4"	3'-5 1/4"	EXISTING				
8	F	F1	FIXED	EAST FAÇADE - LIVING ROOM	2' - 5 1/2"	11"	6' - 10 3/4"	REDWOOD	ORIGINAL REDWOOD FINISH TO BE RESTORED IF RETAINED	5/8" CLEAR, LOW E. INSULATING GLASS. TEMPERED AS REQUESTED BY CODE.	
9		F2	FIXED	EAST FAÇADE - LIVING ROOM	2' - 4 3/4"	11"	6' - 10 3/4"				
10		F3	FIXED	EAST FAÇADE - LIVING ROOM	2' - 4 3/4"	11"	6' - 10 3/4"				
11		F4	FIXED	EAST FAÇADE - LIVING ROOM	2' - 4 3/4"	11"	6' - 10 3/4"				
12		F5	SLIDING	EAST FAÇADE - LIVING ROOM	2' - 5 3/4"	5' - 10 1/4"	5' - 10 1/4"				
13		F6	FIXED	EAST FAÇADE - LIVING ROOM	2' - 5 3/4"	5' - 10 1/4"	5' - 10 1/4"				
14	G	G1	FIXED	NORTH FAÇADE - KITCHEN/LIVING	5' - 2 1/4"	1' - 10 1/2"	EXISTING				
15		G2	FIXED	NORTH FAÇADE - KITCHEN/LIVING	7' - 1 1/4"	1' - 10 1/2"	EXISTING				