



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 23068

Owner Name: GIBBS JON M & COPE-GIBBS AMY M TRS

Case Planner: Katherine Wallace

Date Posted: _____

Date Approved: 04/28/2023

Project Location: Monte Verde 7 SE of 12th

APN #: 010174014000 **BLOCK/LOT:** /

Applicant: Matt Hanner / Carmel Building & Design

Project Description: replace existing divided-light windows with new aluminum-clad wood windows featuring narrow divided-light arched uppers; modify one window opening at the west façade from an arch-top to a rectilinear opening; repaint the exterior of the building; change the roofing material from wood shake to presidential triple-layer asphalt shingle; replace the garage door and the entry door within existing openings; remove the second-story master bedroom balcony and exterior door (and complete necessary garage roof patching) and replace with a horizontally-oriented window opening; replace three existing bubble skylights with new flat skylights with automatic shades within the existing openings and add one new south-facing skylight opening; and replace the non-compliant light fixtures with compliant light fixtures at the existing fixture locations

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of Design Study (DS 23-068, Gibbs) authorizes the applicant to replace existing divided-light windows with new aluminum-clad wood windows featuring narrow divided-light arched uppers; modify one window opening at the west façade from an arch-top to a rectilinear opening; repaint the exterior of the building; change the roofing material from wood shake to presidential triple-layer asphalt shingle; replace the garage door and the entry door within existing openings; convert a window opening at the first story of the south elevation to a door opening; remove the second-story master bedroom balcony and exterior door (and complete necessary garage roof patching) and replace with a horizontally-oriented window opening; replace three existing bubble skylights with new flat skylights with automatic shades within the existing openings and add one new south-facing skylight opening; and replace the non-compliant light fixtures with compliant light fixtures at the existing fixture locations at the property located on Monte Verde Street 7 SE of 12th Avenue in the Single-Family Residential (R-1) district and stamped approved April 28, 2023, on file at the Community Planning and Building Department, unless modified by the conditions of approval contained herein.	✓
2.	Building Permit. A Building Permit is required before installation.	✓
3.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
4.	Appeal Period. Approval of this Design Study is subject to the 10-day notice and appeal period.	✓
5.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction. CMC 17.52.170.B (General Limits)	✓
6.	Permit Extension. The Director may grant one 12-month extension of this Design Study approval. If, since the date of the original approval, the conditions surrounding the original approval have changed, or the General Plan, municipal code or Local Coastal Plan Program has been amended in any manner which causes the approval to be inconsistent with these plans or codes, no time extension or renewal shall be granted for any approval. CMC Section 17.52.170.C (Time Extensions)	✓
7.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to	✓

	submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
8.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
9.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	✓
10.	Unclad Wood Frame Windows or Aluminum Clad Wood Windows. The Applicant shall install unclad wood windows or aluminum clad wood windows. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted. The manufacturer's specifications for the windows shall be included in the construction drawings submitted with the building permit application.	✓
11.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of	✓

	Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
12.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
13.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
14.	Skylights & Skylight Shades. The applicant shall submit product information for the skylights and skylight shades prior to issuance of a building permit. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.	✓
15.	Asphalt Shingle Roofing. The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.	✓
	Standard Landscape Conditions	
16.	Tree Removal. Trees onsite shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
17.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
18.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. a) Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. b) Excavation within 6 feet of a tree trunk is not permitted.	✓

	<p>c) No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.</p> <p>d) Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</p> <p>e) Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</p> <p>f) The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</p> <p>g) If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</p> <p>h) If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	
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Acknowledgement and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

COPE-GIBBS RESIDENCE

SINGLE FAMILY RESIDENCE REMODEL

7 SOUTHEAST of 12th AVE. ON MONTE VERDE ST.

CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED

Permit #: DS 23-068 (Gibbs)

Date Approved: 4/28/2023

Planner: K. Wallace

PLUMBING AND ELECTRICAL NOTES

- FOR ALL NEW PLUMBING AND ELECTRICAL ITEMS:
- ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M. @ 80 psi.
 - ALL LAVATORY FAUCETS SHALL HAVE A MAX FLOW RATE OF 1.2 G.P.M. @ 60 psi, AND MIN. 0.8 G.P.M. @ 20 psi.
 - KITCHEN SINKS SHALL HAVE A MAX FLOW RATE OF 1.8 G.P.M. @ 60 psi.
 - ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.28 GAL.
 - PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IN ACCORDANCE WITH CEC ART. 210.12(A).
 - HOMERUN ALL NEW CIRCUITS TO ELECTRICAL PANEL.
 - ALL KITCHEN AND BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
 - ALL ELECTRICAL ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED.
 - PROVIDE SMOKE DETECTORS WITH BATTERY BACKUP IN EACH BEDROOM, HALLWAY & WHERE INDICATED.
 - USE WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE, SHOWER AND SINKS.
 - INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY AND SHALL BE AIR TIGHT RATED AND SHALL COMPLY WITH THE BULB TYPES SPECIFIED IN CEC C 150(K)(1)(C).
 - CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT PER CRC R315.2.6
 - CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT PER CRC R315.1.3, R315.2.5.

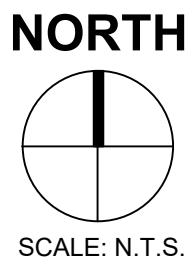
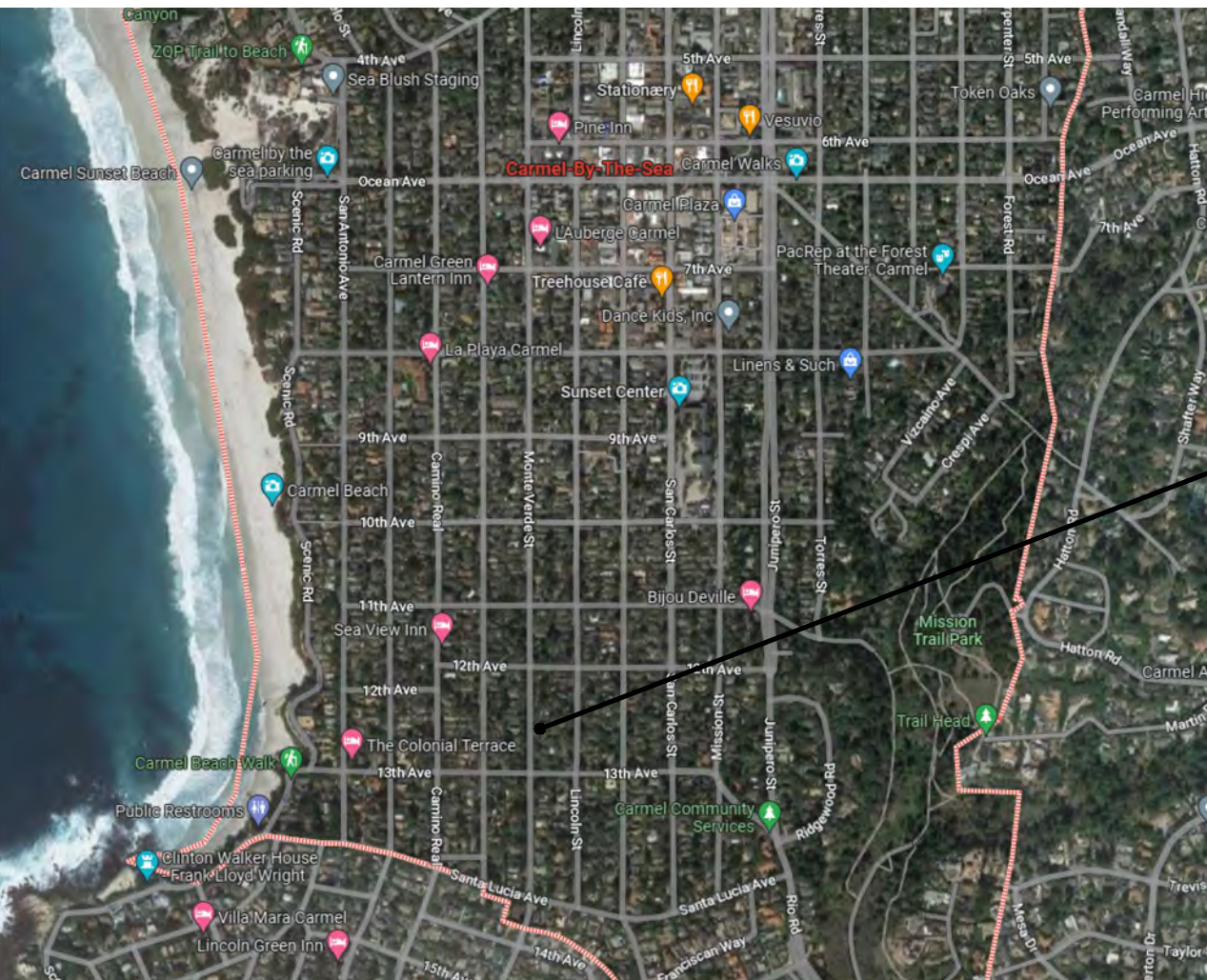
FIRE SAFETY REQUIREMENTS

- DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION IN COORDINATION WITH CITY FORESTER. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS.
- SMOKE ALARMS - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE CBC - THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.
- ROOF CONSTRUCTION - ICBO CLASS A ROOF CONSTRUCTION.

PROJECT NOTES

- BUILDING CODES; ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF TITLE 24 AND THE 2022 EDITION OF THE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE, CURRENT ENERGY CODES AND ANY AMENDMENTS OF THE PRESIDING CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2,500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A-615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. DEFORMATIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. A-305. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A-185.
- LUMBER SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE W.W.P., R.A. & A.P.A. PLYWOOD SHALL BE D.F. CONFORMING TO THE U.S. PRODUCT STANDARDS PS 1-74 WITH EXTERIOR GLUE. GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- WALL CONSTRUCTION SHALL COMPLY WITH CRC SECTION 602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILING TO BE IN COMPLIANCE WITH CRC TABLE R602.3(1).
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER CGBS 4.504.2.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- CONTRACTOR SHALL OBTAIN AN 8-1/16" ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. THE ACTIVE TICKET SHALL BE MAINTAINED ON SITE AND MADE AVAILABLE UPON REQUEST OF THE INSPECTOR.
- A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE OWNER AND ENFORCING AGENCY WITH A COPY OF THE CF-6R INSTILLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- AT THE TIME OF A FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGBS 4.410.

VICINITY MAP



PROJECT
LOCATION

PROJECT DATA

APN: 010-174-014
ZONING: R1
TREE INFORMATION: 0 TREES TO BE REMOVED
RESIDENCE OCCUPANCY: SFR
OCCUPANCY GROUP: R-3/U
CONSTRUCTION TYPE: V-N
SPRINKLED: NO
SITE AREA: 4,000 SQ. FT. (0.09 ACRES)
ALLOWABLE SITE COVERAGE: 396 SQ. FT. (55% OF ALL SITE COVERAGE IS PERMEABLE)
ALLOWABLE FLOOR AREA: 1,800 SQ. FT.

EXISTING FLOOR AREA RATIO:
FIRST FLOOR: 1,178.00
SECOND FLOOR: 422.00
GARAGE (ATTACHED): 200.00
TOTAL: 1,800.00
F.A.R.: (1,800 / 4,000): 45.0%

PROPOSED FLOOR AREA RATIO:
MAIN HOUSE: 1,178.00
SECOND FLOOR: 422.00
GARAGE (ATTACHED): 200.00
TOTAL: 1,800.00
F.A.R.: (1,800/4,000): 45.0% (NO CHANGE)

EXISTING BUILDING COVERAGE: 1,178.00

PROPOSED BUILDING COVERAGE: 1,178.00

EXISTING SITE COVERAGE:
DRIVEWAY: 135.00
WALKWAY: 45.00
PATIO/DECK: 193.00
PORCHES: 27.00
TOTAL: 400.00

PROPOSED SITE COVERAGE:
DRIVEWAY: 135.00
WALKWAY: 45.00
PATIO/DECK: 193.00
PORCHES: 27.00
TOTAL: 400.00 (NO CHANGE)

OWNER:
JON GIBBS & AMY COPE-GIBBS
7 SE of 12th ON MONTE VERDE
CARMEL, CA 93921

SITE ADDRESS:
7 SE of 12th ON MONTE VERDE
CARMEL, CA 93921

DESIGNER/BUILDER:
CARMEL BUILDING & DESIGN
P.O. BOX 2201
CARMEL, CA 93921
P. 831.626.8606

PROJECT DESCRIPTION

INTERIOR REMODEL TO AN EXISTING 2-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED 1-CAR GARAGE. REMODEL INCLUDES REPLACEMENT OF EXISTING EXTERIOR WINDOWS AND EXTERIOR DOORS. EXISTING FLOOR AREA AND SITE COVERAGE TO REMAIN UNCHANGED. SCOPE OF WORK AND FINISH MATERIALS TO INCLUDE:

- RELOCATE (E) WATER HEATER FROM ENTRY.
- REMOVAL OF MECHANICAL AND COAT CLOSETS AT ENTRY.
- REMOVE EXISTING LINEN AND LAUNDRY CLOSETS; REMODEL TO NEW LAUNDRY PER PROPOSED.
- REMOVE CLOSET FROM BEDROOM 3.
- REMOVE EXISTING WINDOW AT DINING AND REPLACE WITH INSWING DOOR.
- REMOVE EXISTING KITCHEN CABINETS AND APPLIANCES, REPLACE w/ NEW PER PROPOSED.
- REMOVE AND REPLACE EXISTING INSWING FRENCH DOORS IN MAIN FLOOR BEDROOMS w/ NEW SLIDING GLASS DOORS.
- REMOVE EXISTING LINEN CLOSET AT MASTER BEDROOM AND REPLACE w/ NEW COFFEE STATION PER PROPOSED.
- REMOVE EXISTING MASTER BATH FIXTURES AND CABINETRY AND REPLACE WITH NEW PER PROPOSED.
- REMOVE EXISTING MASTER BEDROOM BALCONY AND EXTERIOR DOOR; REPLACE WITH NEW WINDOW AND FRAME GARAGE ROOF TO EXTERIOR WALL.
- REPLACE EXISTING WOOD SHAKE SHINGLES WITH NEW PRESIDENTIAL STYLE ASPHALT SHINGLE ROOF.
- REPLACE EXISTING WOOD ENTRY AND GARAGE DOOR WITH NEW ENTRY AND GARAGE DOOR IN EXISTING OPENINGS PER PROPOSED.
- NEW EXTERIOR PAINT.
- NO ADDITIONAL FLOOR AREA TO BE ADDED UNDER THIS APPLICATION.
- NO ADDITIONAL SITE COVERAGE TO BE ADDED UNDER THIS APPLICATION.
- NO TREES SHALL BE REMOVED UNDER THIS APPLICATION.

Replace three bubble skylights with new flat skylights with auto shades and insert one new south-facing skylight.

GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE REASONABLE CARE AND COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS AND PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE DESIGNERS SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT, FURNISHED UNDER THIS CONTRACT, WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICE/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS (2007 C.B.C.)
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, STATE, LOCAL & O.S.H.A. SAFETY REGULATIONS.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER THE WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNERS FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS/DAMAGES/LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES, WINDOWS & DOORS. FINISH CARPENTRY, SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- CONSTRUCTION, BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

DEFERRED SUBMITTALS

- GAS LINE DIAGRAM

SHEET INDEX

DESIGN

- A0.1 COVER SHEET, PROJECT DATA
- A2.1 EXISTING FLOOR PLANS
- A2.2 PROPOSED FLOOR PLANS
- A3.1 EXISTING ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A4.1 DOOR & WINDOW SCHEDULE
- L1.1 PROPOSED EXTERIOR LIGHTING PLAN

OWNER NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY CARMEL BUILDING AND DESIGN, HEREINAFTER REFERRED TO AS "DESIGNERS", WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE., REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNERS, FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

SPECIAL CONDITIONS

NONE NOTED

SUBJECT PROPERTY



PO Box 2201
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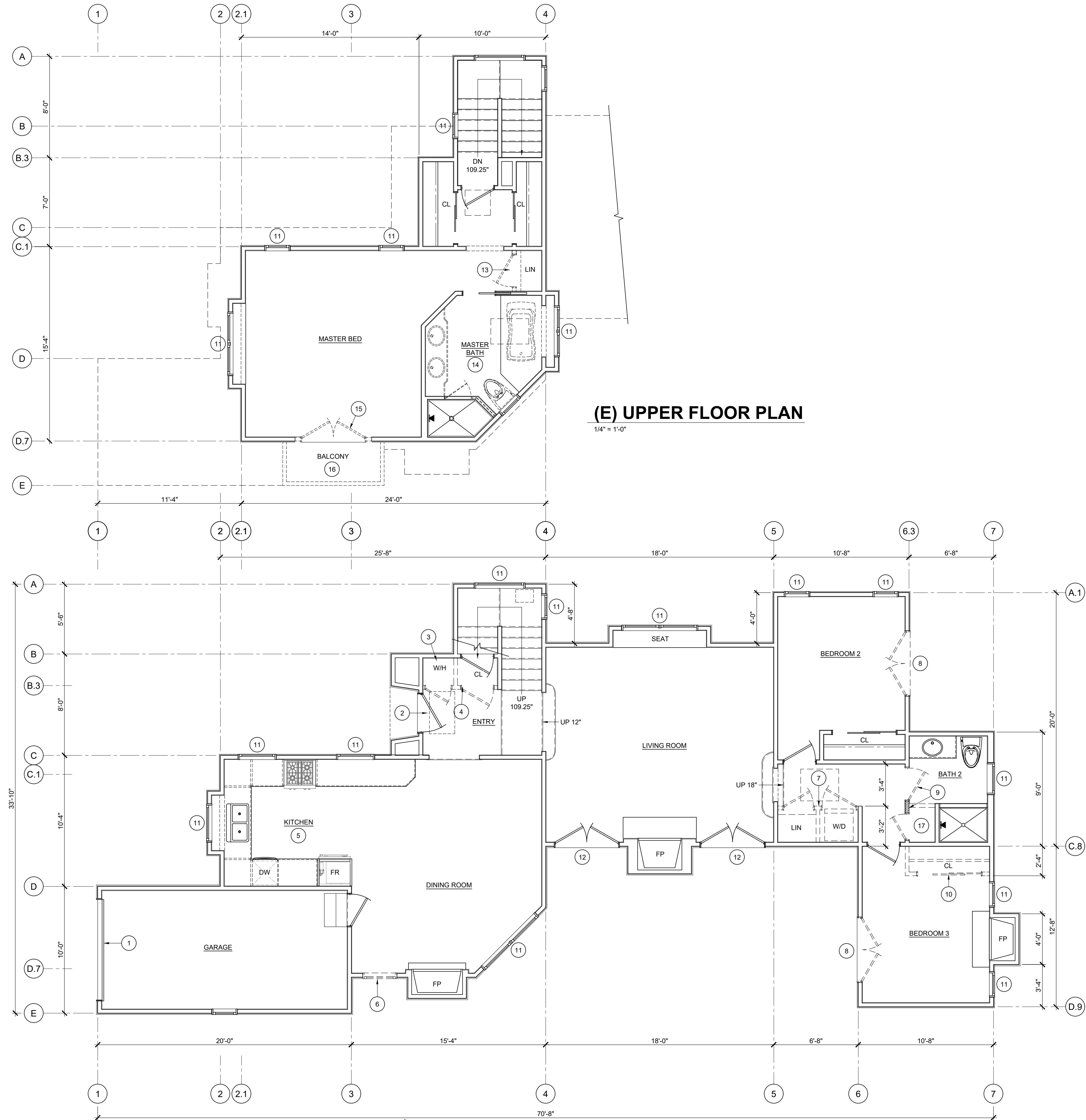
DATE:	04-27-23
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COVER SHEET

COPE-GIBBS RESIDENCE
7 SE of 12th ON MONTE VERDE
CARMEL, CA 93921
APN: 010-174-014

PAGE:

A0.1



LEGEND:

- (E) 2x4 FRAMING
- (E) 2x4 FRAMING TO BE ALTERED
- (E) 2x4 FRAMING TO BE REMOVED

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

- REMOVE (E) WOOD GARAGE DOOR; REPLACE WITH NEW IN EXISTING OPENING. SEE ELEVATION 1/A3.2
- REMOVE (E) ENTRY DOOR; REPLACE WITH NEW IN EXISTING OPENING. SEE ELEVATION 1/A3.2
- REMOVE AND RELOCATE (E) WATER HEATER
- REMOVE (E) WATER HEATER AND COAT CLOSET.
- REMOVE (E) FIXTURES, APPLIANCES, CABINETS, COUNTERS AND FINISHES; REPLACE WITH NEW.
- REMOVE (E) DBL. HUNG WINDOW UNIT; REPLACE WITH NEW WOOD DOOR IN EXPANDED OPENING. SEE ELEVATION 4/A3.2
- REMOVE (E) LINEN AND LAUNDRY CLOSETS, DOORS, SHELVES AND APPLIANCES; REPLACE WITH NEW LAUNDRY AREA PER PROPOSED.
- REMOVE (E) FRENCH DOOR UNIT; REPLACE WITH NEW SLIDING DOOR UNIT IN EXISTING OPENING. SEE ELEVATION 3/A3.2
- REMOVE (E) SWING DOOR; REPLACE WITH NEW POCKET DOOR. MODIFY WALL SECTION TO ALLOW FOR POCKET DOOR UNIT.
- REMOVE (E) CLOSET, SHELF, POLE AND DOOR.
- REMOVE (E) WINDOW; REPLACE WITH NEW UNIT IN EXISTING OPENING.
- REMOVE (E) FRENCH DOOR; REPLACE WITH NEW UNIT IN EXISTING OPENING.
- REMOVE (E) CLOSET, DOOR AND SHELVES; REPLACE WITH NEW COFFEE STATION PER PROPOSED.
- REMOVE (E) CABINETS, FIXTURES, COUNTER, GLASS SURROUND AND FINISHES; REPLACE WITH NEW PER PROPOSED.
- REMOVE (E) FRENCH DOOR UNIT. REPLACE WITH NEW WINDOW PER PROPOSED. SEE ELEVATION 4/A3.2
- REMOVE (E) BALCONY; CONTINUE (E) ROOF FRAMING TO UPPER FLOOR PER PROPOSED. SEE ELEVATION 4/A3.2.
- REMOVE (E) CLOSET.

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EXISTING FLOOR PLANS

COPE-GIBBS RESIDENCE

7 SE of 12th ON MONTE VERDE

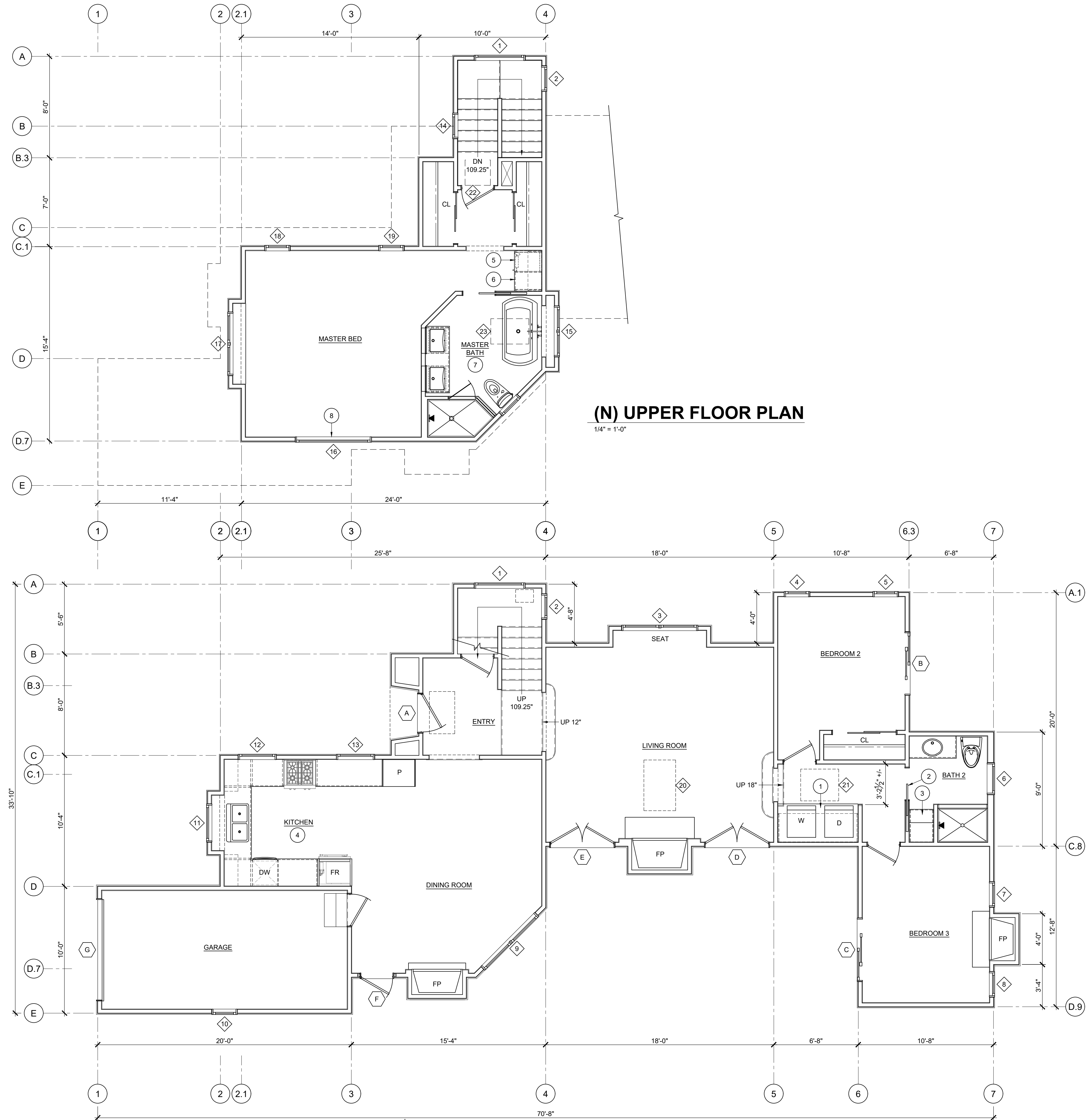
CARMEL, CA 93921

APN: 010-174-014

PAGE:

A2.1





LEGEND:

- (N) 2x4 FRAMING
- (E) 2x4 FRAMING
- (E) 2x4 FRAMING TO BE ALTERED

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

- (N) WASHER AND DRYER LOCATED UNDER COUNTER WITH UPPER CABINETS ABOVE.
- NEW POCKET DOOR.
- NEW LINEN SHELVE
- NEW KITCHEN CABINETS, APPLIANCES, FIXTURES AND FINISHES.
- NEW UNDER-COUNTER FRIDGE.
- NEW BASE CABINET, COUNTER TOP AND UPPER CABINET.
- NEW CABINETS, COUNTER, FIXTURES AND FINISHES.

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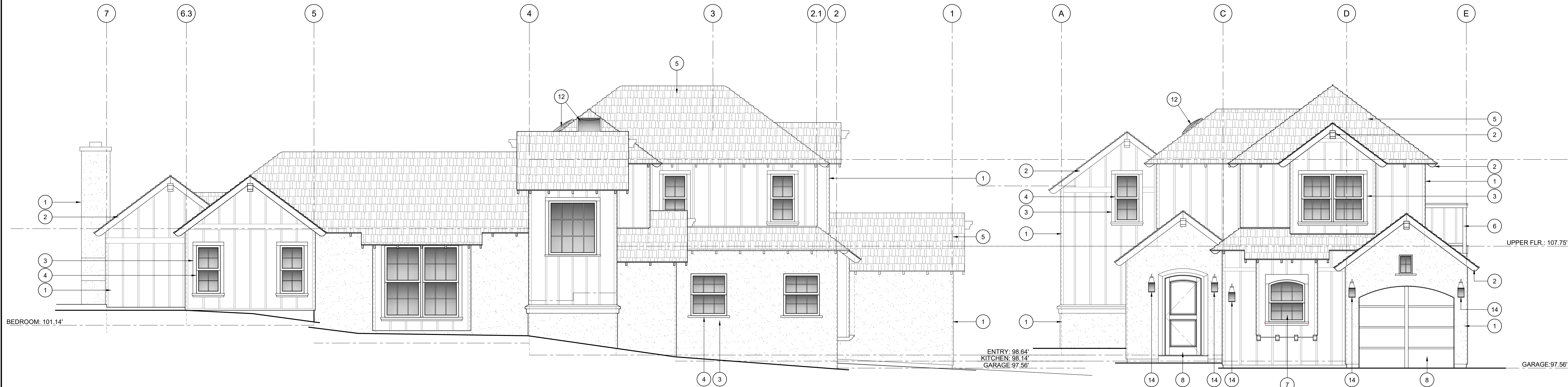
DATE:	04-27-23
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PROPOSED FLOOR PLANS
COPE-GIBBS RESIDENCE
7 SE of 12th ON MONTE VERDE
CARMEL, CA 93921
APN: 010-174-014

PAGE:

A2.2





2 EXISTING NORTH ELEVATION
1/4" = 1'-0"

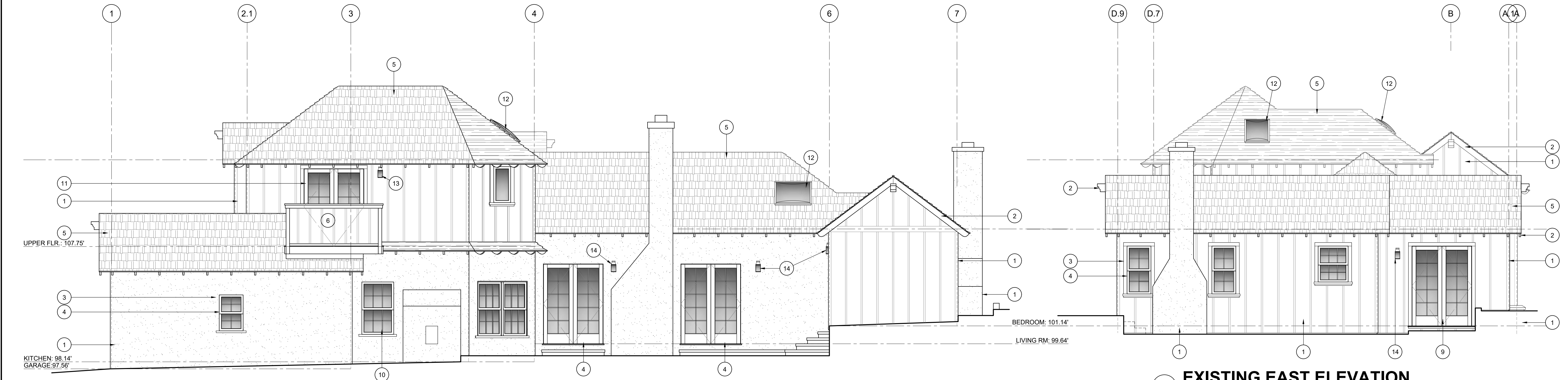
NOTE:

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- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

1. ALL EXISTING EXTERIOR WALLS TO RECEIVE NEW PAINT; SEE A3.2 FOR FINISHES.
2. ALL EXISTING EAVES TO RECEIVE NEW PAINT; SEE A3.2 FOR FINISHES.
3. ALL EXISTING DOOR AND WINDOW TRIM TO RECEIVE NEW PAINT; SEE A3.2 FOR FINISHES.
4. ALL EXISTING WOOD WINDOWS & DOORS TO BE REPLACED WITH NEW IN EXISTING OPENINGS, U.O.N.
5. EXISTING CEDAR SHAKE ROOF TO BE REPLACED WITH NEW PRESIDENTIAL ASPHALT SHINGLE ROOF.
6. REMOVE EXISTING WOOD BALCONY; FINISH ROOF TO MATCH EXISTING. SEE PROPOSED AT 4/A3.2
7. EXISTING ARCH TOP WINDOW TO BE REPLACED WITH STANDARD WINDOW.
8. REPLACE EXISTING WOOD GARAGE AND ENTRY DOOR WITH NEW PER PROPOSED; SEE 1/A3.2
9. REPLACE EXISTING FRENCH DOOR WITH NEW SLIDING GLASS DOOR PER PROPOSED; SEE 3/A3.2
10. REPLACE EXISTING WINDOW WITH NEW EXTERIOR WOOD DOOR; SEE 4/A3.2
11. REPLACE EXISTING FRENCH DOOR UNIT WITH NEW WINDOW PER PROPOSED; SEE 4/A3.2
12. REPLACE EXISTING DOME SHAPED SKYLIGHTS WITH NEW FLAT SKYLIGHTS.
13. REMOVE EXISTING LIGHT FIXTURE.
14. EXISTING NON-CONFORMING LIGHT FIXTURE TO BE REPLACED WITH CONFORMING FIXTURE IN EXISTING LOCATION.

1 EXISTING WEST ELEVATION
1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

3 EXISTING EAST ELEVATION
1/4" = 1'-0"



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EXISTING ELEVATIONS
COPE-GIBBS RESIDENCE
7 SE of 12th ON MONTE VERDE
CARMEL, CA 93921
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PAGE:

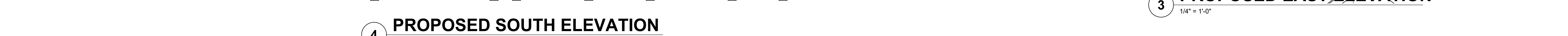
A3.1



2 $1/4" = 1'-0"$

1/4" = 1'-0"

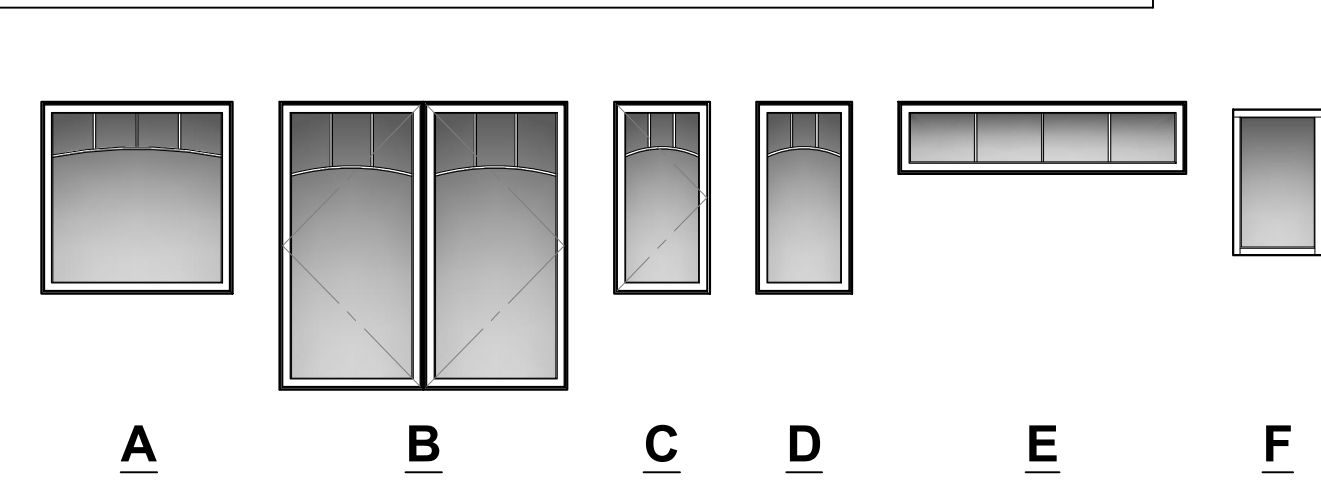
1. ROOF - CERTAINTED PRESIDENTIAL TL SHAKE; ASPHALT SHINGLES;
COLOR: AUTUMN BLEND.
- (E) EAVE & EAVE ITEMS - PAINTED WOOD; COLOR: KELLY MOORE KM4568
"TEA CHEST".
- (E) GUTTERS & DOWNSPOUTS - LEAVE EXISTING.
- (E) BOARD & BATTON WOOD SIDING; COLOR: KELLY MOORE KM4795
"HEALING RETREAT".
- (E) STUCCO SIDING; COLOR: KELLY MOORE KM4797 "KOI POND".
6. WINDOWS - SIERRA PACIFIC ALUMINUM CLAD WOOD; COLOR: ICI BROWN 056.
DECORATIVE IRON; COLOR: BLACK.
7. DOORS - SIERRA PACIFIC ALUMINUM CLAD WOOD; COLOR: ICI BROWN 056.
WOOD DOORS - STAINED ALDER; COLOR: MINWAX "CHESTNUT".
WOOD GARAGE DOOR - STAINED CLEAR CEDAR; COLOR: MINWAX
"CHESTNUT".
11. WINDOW AND DOOR TRIM - PAINTED WOOD; COLOR: KELLY MOORE KM4568
"TEA CHEST".



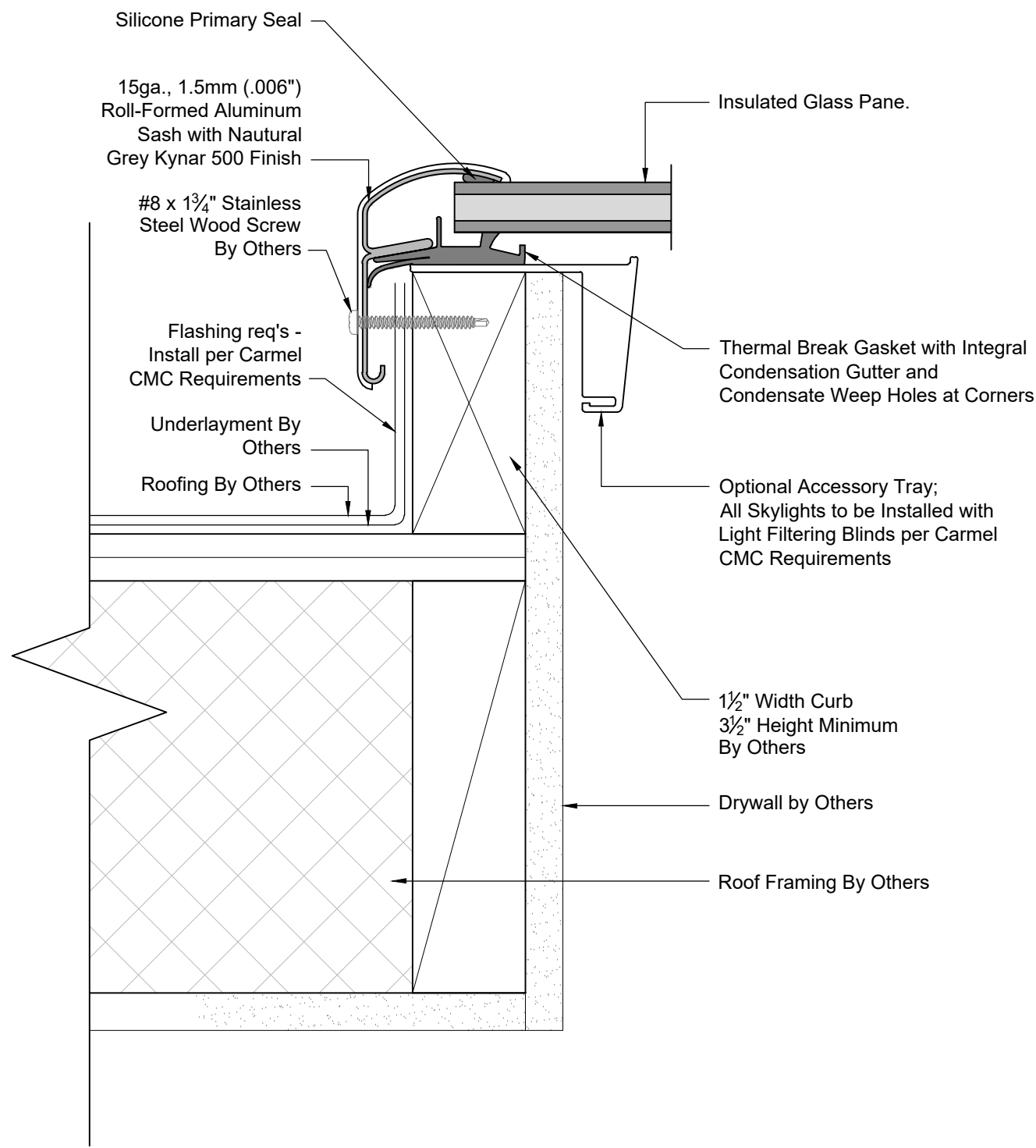
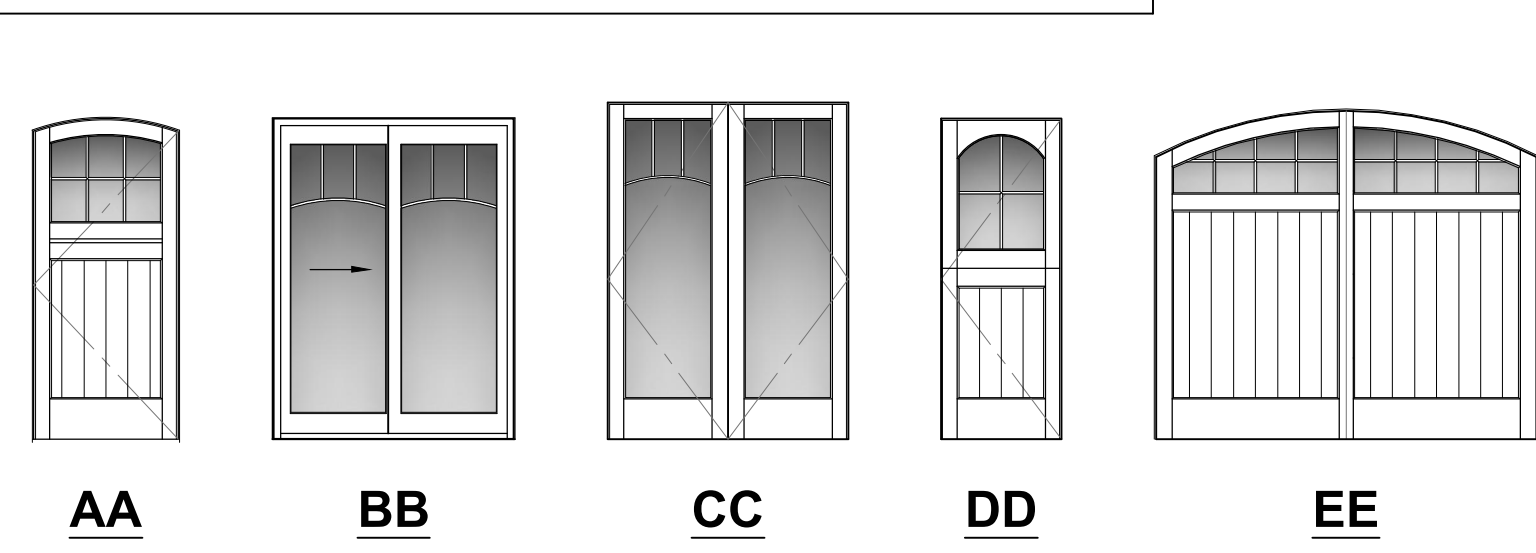
4 $1/4'' = 1'-0''$

3 $1/4" = 1'-0"$

WINDOW TYPES



DOOR TYPES



1 ENLARGED DETAIL

BY VELLUX
SCALE: 6" = 1'-0"

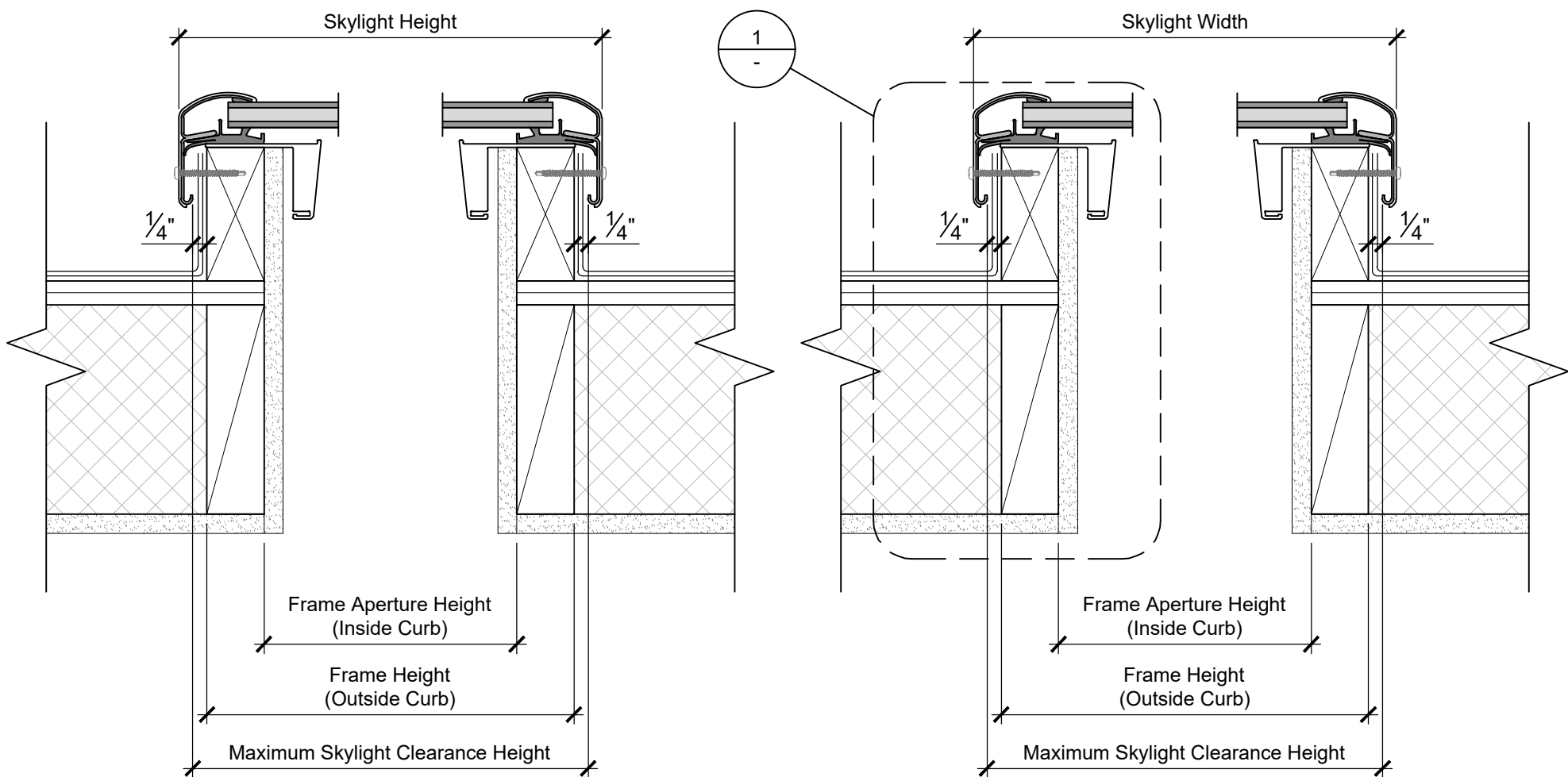
WINDOW SCHEDULE

		SIZE										
MARK	TYPE	WIDTH	HEIGHT	LOCATION	HEAD HEIGHT	ROUGH OPENING (W X H)	FRAME	INT FINISH	GLASS TYPE	GRILLES	MFR. / MODEL #	REMARKS
MAIN FLOOR												
1	A	4'-0"	4'-6"	STAIRWELL	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
2	C	2'-0"	4'-0"	STAIRWELL	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
3	B	6'-0"	6'-0"	LIVING ROOM	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
4	C	2'-0"	4'-0"	BEDROOM 2	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
5	C	2'-0"	4'-0"	BEDROOM 2	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
6	C	2'-6"	3'-0"	BATH 2	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
7	C	2'-0"	4'-0"	BEDROOM 3	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
8	C	2'-0"	4'-0"	BEDROOM 3	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
9	B	6'-0"	4'-6"	DINING ROOM	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
10	C	2'-0"	3'-0"	GARAGE	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
11	C	3'-0"	3'-6"	KITCHEN	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
12	C	3'-0"	3'-10"	KITCHEN	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
13	C	3'-0"	3'-10"	KITCHEN	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
UPPER FLOOR												
14	D	2'-0"	4'-0"	STAIRWELL	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
15	B	4'-0"	V.I.F.	MASTER BATH	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
16	E	6'-0"	1'-6"	MASTER BEDROOM	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
17	B	5'-0"	4'-0"	MASTER BEDROOM	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	TEMPERED SAFETY GLAZING
18	C	2'-0"	4'-0"	MASTER BEDROOM	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
19	C	2'-0"	4'-0"	MASTER BEDROOM	EXISTING	EXISTING	CLAD WOOD				SIERRA PACIFIC	
ROOF (SKYLIGHTS)												
20	F	2'-6"	4'-0"	LIVING ROOM	ROOF	PER MANUFACTURER	CLAD WOOD		TEMP		TBD	TEMPERED SAFETY GLAZING
21	F	3'-0"	2'-6"	LAUNDRY HALL	ROOF	EXISTING	CLAD WOOD		TEMP		TBD	TEMPERED SAFETY GLAZING
22	F	2'-0"	2'-0"	STAIRWELL	ROOF	EXISTING	CLAD WOOD		TEMP		TBD	TEMPERED SAFETY GLAZING
23	F	2'-0"	3'-0"	MASTER BATH	ROOF	EXISTING	CLAD WOOD		TEMP		TBD	TEMPERED SAFETY GLAZING

EXTERIOR DOOR SCHEDULE

		SIZE		LOCATION	HEAD HEIGHT	ROUGH OPENING (W X H)	FRAME	INT FINISH	GLASS TYPE	HRDWRE	MFR. / MODEL #	REMARKS
MARK	TYPE	WIDTH	HEIGHT									
A	AA	3'-0"	6'-8"	ENTRY	EXISTING	EXISTING	WOOD	STAIN	TEMP		TBD	
B	BB	5'-0"	6'-8"	BEDROOM 2	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	EGRESS; TEMPERED SAFETY GLAZING
C	BB	5'-0"	6'-8"	BEDROOM 3	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	EGRESS; TEMPERED SAFETY GLAZING
D	CC	5'-0"	7'-0"	LIVING ROOM	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	
E	CC	5'-0"	7'-0"	LIVING ROOM	EXISTING	EXISTING	CLAD WOOD		TEMP		SIERRA PACIFIC	
F	DD	2'-6"	6'-8"	DINING	EXISTING	EXISTING	WOOD	STAIN	TEMP		TBD	
G	EE	8'-0"	7'-0"	GARAGE	EXISTING	EXISTING	WOOD	STAIN	TEMP		TBD	

NOTE: CONTRACTOR TO VERIFY ALL EXISTING OPENINGS PRIOR TO ORDERING WINDOWS.



2 CURB MOUNT SKYLIGHT

BY VELLUX
SCALE: 3" = 1'-0"

WINDOW NOTES

- ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
- AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UN-TEMPERED OBSCURE.
- SEE FLOOR PLANS FOR WINDOW LOCATIONS.
- SEE EXTERIOR ELEVATIONS FOR WINDOW MUNTINS, MULLIONS, OPERATION, ETC.
- ALL DIVIDERS TO BE TRU DIVIDERS.
- WINDOW SIZES INDICATED ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS.
- ALL BEDROOMS SHALL HAVE AT LEAST ONE WINDOW THAT MEETS EMERGENCY EGRESS REQUIREMENTS, I.E.: A MINIMUM CLEAR OPENING OF 5.7 S.F., A NEW OPENING WIDTH OF 1'-8", A HEIGHT OF 2'-0" AND A MAXIMUM SILL HEIGHT OF 3'-8" ABOVE FINISH FLOOR.
- SEE SPECIFICATIONS FOR TECHNICAL DATA, FINISHES, HARDWARE, WEATHERSTRIPPING, ETC.
- WALL WIDTHS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.

GLAZING NOTES

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE AND SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS:
 - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE DRAIN OUTLET
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING
- VERIFY SWING HAND OF OPERABLE WINDOWS, SEE BUILDING ELEVATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS AS SHOWN.

DOOR NOTES

HARDWARE NOTES:

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:

- ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE A MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE 4" X 4" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE FINISH PER OWNER.

DOOR NOTES:

- SEE EXTERIOR ELEVATIONS FOR DOOR OPERATION.
- ALL DOOR GLAZING TO BE TEMPERED:
S.G. = STAIN GRADE
P.G. = PAINT GRADE
MFR. = MANUFACTURER
- TEMPERED GL - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING.
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESSES AS SHOWN.

EGRESS NOTES (CRC SEC. R311.2):

- AT LEASE ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT.
- EGRESS DOORS SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD).
- THE MINIMUM CLEAR HEIGHT OF THE EGRESS DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- EXTERIOR LANDINGS SHALL BE A MAXIMUM 7'-3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. IF THE DOOR SWINGS OUTWARD (OVER THE LANDING), THE CHANGE IN ELEVATION IS LIMITED TO 1'-1/2" MAXIMUM. CRC R311.3.1 OR CBC 1010.1.5, EXCEPTION 3

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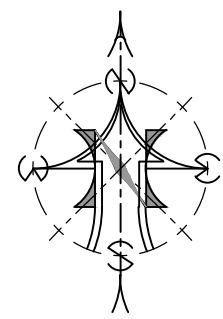
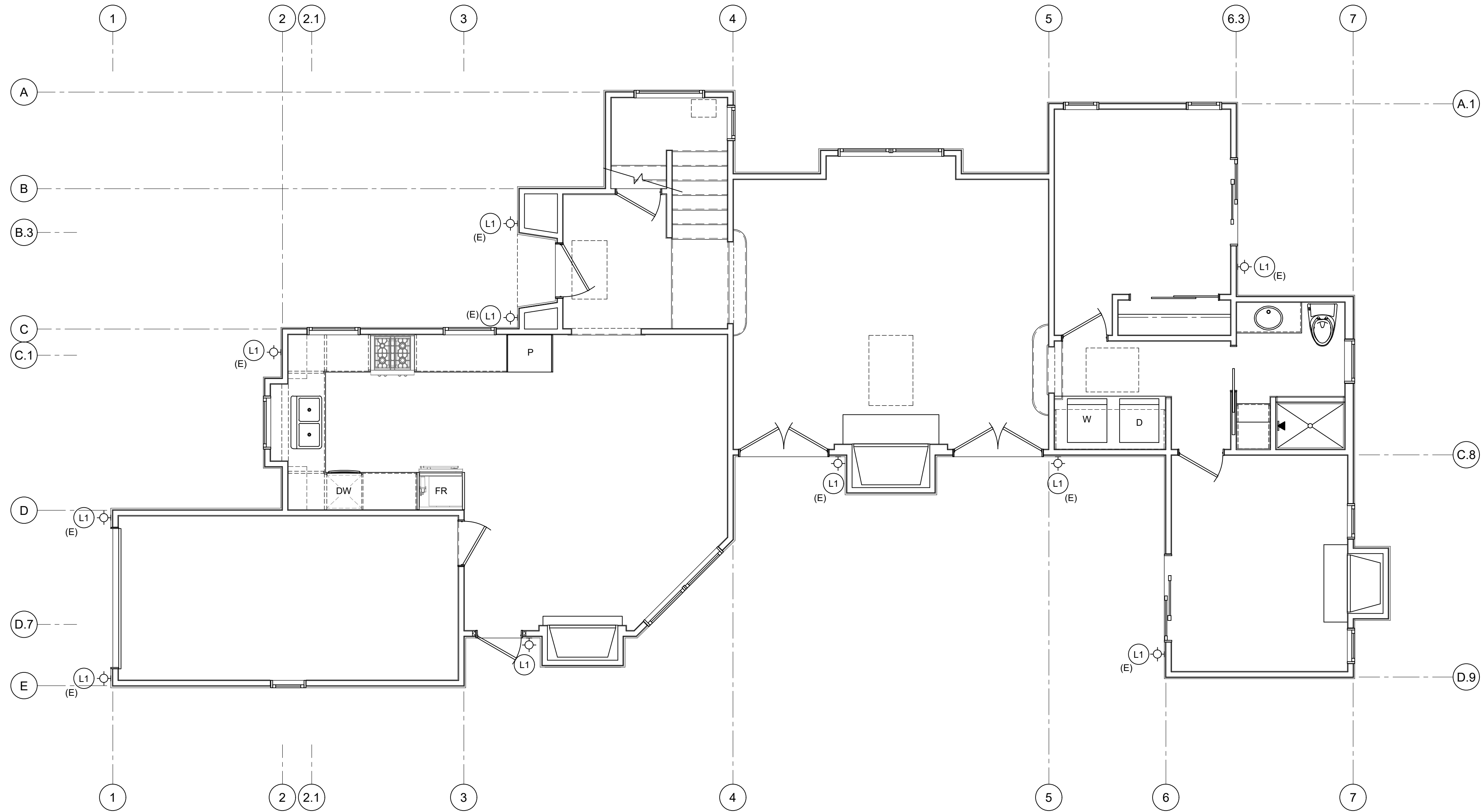
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REVISION:	

WINDOW & DOOR SCHEDULE

COPE-GIBBS RESIDENCE
7 SE of 12th ON MONTE VERDE
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APN: 010-174-014

PAGE:



EXTERIOR LIGHTING PLAN

1/4" = 1'-0"

NOTE:
ALL CALLOUTS NOTED WITH (E) ARE EXISTING
LOCATIONS OF NON-CONFORMING LIGHT FIXTURES
THAT ARE BEING REPLACED WITH NEW CONFORMING
FIXTURES PER SPECS LISTED ON THIS SHEET.



MODEL & SIZE
BROOKDALE 490-8

COLOR TEMP
3000

FINISH
BRASS

SOCKET
GU10

L1 EXTERIOR LIGHT FIXTURE
(E) = NEW FIXTURE IN EXISTING LOCATION



25 W Replacement Warm White MR11
Dimmable Reflector LED Light Bulb

Features

- Dependable light for outdoor and track lighting
- Warm White balances between warm and soft color light
- Energy efficient LED technology uses considerably less power compared to equivalent incandescent lights



Specifications

Item Number	Lumen Efficiency (LPW)	Item Width (IN)	Item Length (IN)
BPMR11/GU10/LED/CAN	62.5	1.4	2
Energy Used (WATTAGE)	Brightness (LUMENS)	Technology	Portable
4	250	LED - SMD	NO
Hardwire	Dimmable	Battery Operated	Bulb Base
NO	YES	NO	GU10
Bulb Shape	Cec Compliant	Energy Efficiency	Pack Quantity
MR11	CEC Non Compliant	84.0%	1
Smart	Bulb Finish	Safety Location	Color Temperature (CCT)
No	White	Damp	3000

Felt Electric Company 4901 Gregg Rd. Pico Rivera, CA 90660 1-800-543-Felt www.felt.com

BULB SPECIFICATION



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EXTERIOR LIGHTING PLAN

COPE-GIBBS RESIDENCE
7 SE of 12th ON MONTE VERDE
CARMEL, CA 93921
APN: 010-174-014

PAGE:

L1.1

Materials for Gibbs, Cope-Gibbs Residence Monte Verde 7 SE of 12th



Proposed Roof CertainTeed Presidential -Autumn Blend



Proposed Board and Batton Siding Color Kelly Moore KM4795 "Healing Retreat"

Fine Custom Homes



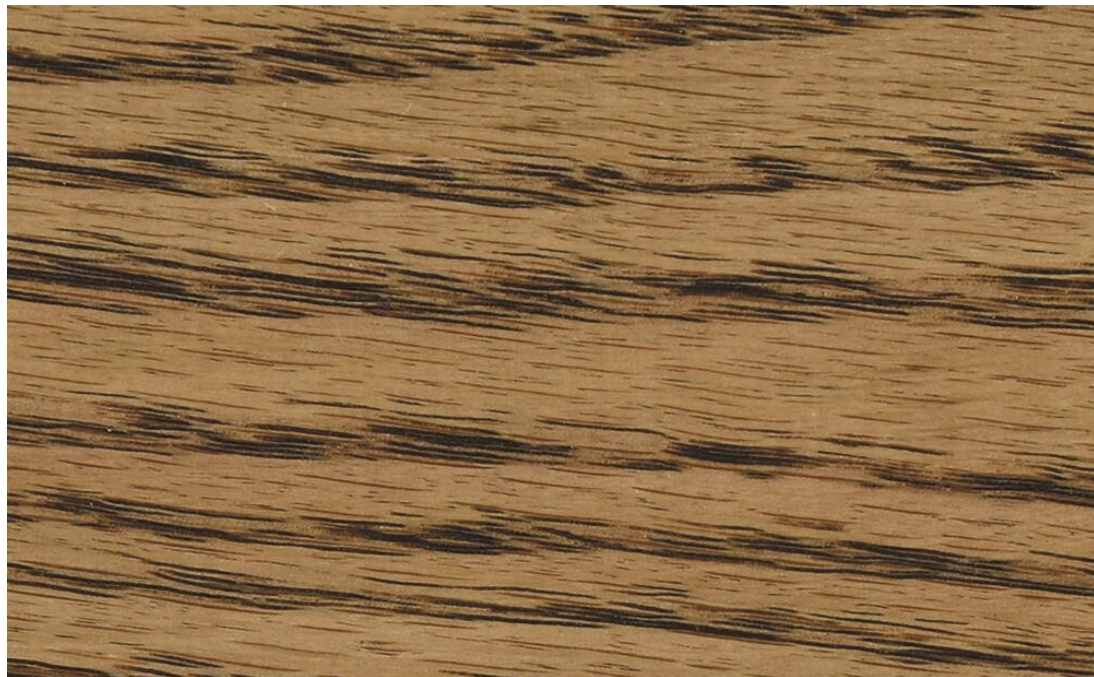
Proposed Eave, Window and Door Trim Color
Kelly Moore KM4568 "Tea Chest"



Proposed Stucco Siding Color
Kelly Moore KM 4797 "Koi Pond"



Proposed Window and Exterior Door Color
Sierra Pacific ICI Brown 056



Wood Doors and Garage Door
Stained Wood Minwax Chestnut