



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: [Permit Type] 23060

Owner Name: MARKS KEVIN & LESLIE DYMOND TRS

Case Planner: Evan Kort, Associate Planner

Date Posted: _____

Date Approved: 05/30/2023

Project Location: Monte Verde Street 2 SE of 5th Avenue

APN #: 010212013000 **BLOCK/LOT:** 54/ALL LOT 6

Applicant: Erik Dyar

Project Description: This approval of DS 23-060 (Marks) authorizes the repair and partial replacement of the exterior porch wood decking, stairs, rails and porch supports of the subject historic house located on Monte Verde Street 2 SE of 5th Avenue in the Single Family (R-1) Residential Zoning District. The project shall be consistent with the plans application materials prepared by Dyar Architecture dated approved by Community Planning & Building Department on May 30, 2023, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of DS 23-060 (Marks) authorizes the repair and partial replacement of the exterior porch wood decking, stairs, rails and porch supports of the subject historic house located on Monte Verde Street 2 SE of 5th Avenue in the Single Family (R-1) Residential Zoning District. The project shall be consistent with the plans application materials prepared by Dyar Architecture dated approved by Community Planning & Building Department on May 30, 2023, unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration, and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)	✓
7.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has	✓

	eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
8.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
9.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>	✓
10.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
11.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to the issuance of a demolition permit.	✓
12.	Truck Haul Route. Prior to Building Permit issuance, the Applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route, and any necessary temporary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓

13.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	
14.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
15.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. • Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree including the drip lines of trees on neighboring parcels. • Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	✓

16.	BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.	✓
17.	Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.	✓
18.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
SPECIAL CONDITIONS		
19.	Condition of Approval Acknowledgement. The Condition of Approval Acknowledgement form, available from the Community Planning and Building Department, shall be signed by the appropriate parties prior to the issuance of a building permit. A signed copy of the acknowledgement shall also be printed in the building plan set.	✓
20.	Building Permit. The applicant shall apply for and obtain a building permit prior to commencing work.	✓
21.	Historic Evaluation Balance. Prior to issuance of building permit, any outstanding balance associated with DS 23-060 shall be paid in full. Remaining balances can be paid on-line using the city's online permit portal , mailing a check, or in person at city hall.	✓
22.	Porch Repair Methodology. The existing wood rails, balusters and finials shall be removed carefully, numbered, stored on site and returned in their original locations and in their original configuration. Deteriorated porch decking, deck supports and stairs shall be replaced in-kind, including matching the existing wood finish.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please email to ekort@ci.carmel.ca.us.

P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

May 25, 2023

Evan Kort, Associate Planner
City of Carmel-by-the-Sea
PO Box CC
Carmel, CA 93921

Re: Historic Assessment, Monte Verde Street 2 SE of 5th Ave., Carmel, CA
APN 010-212-013; DS 23-060 (Marks)

Dear Mr. Kort:

This letter evaluates the proposed front porch alterations to the property located at Monte Verde Street 2 SE of 5th Avenue, in Carmel, CA. The subject property contains the Benjamin Turner house, a single-story, brick-clad residential building constructed circa-1898 in the Vernacular style. Originally constructed by Carmel contractor Benjamin Turner as his family home, the house is historically significant under California Register Criterion 3 and is a Carmel-by-the-Sea historic resource for its association with Benjamin Turner and the Turner family. Along with his son, Harry, Benjamin Turner constructed a variety of masonry buildings in Carmel and on the Monterey Peninsula, including Josephine Foster's Stonehouse (1904) and the Highlands Inn masonry (1915). The subject property was designated a Carmel-by-the-Sea historic resource on May 25, 2005.

Proposed Scope of Work

The proposed Scope of Work is the repair and replacement of the exterior porch wood decking, stairs, rails and porch supports of the subject historic house. This historic assessment report evaluates the proposed repairs, presented on design drawings by Erik Dyar, Architect, dated February 27, 2023. The subject drawings describe the proposed repairs as follows:

Replacement In-Kind of Wood Decking, Decking Framing, Stair Treads and Framing and Stair Posts of Non-Historic Front Porch of Residence that is on the Historic Inventory; Replace In-Kind with 2x6 Redwood Decking to Match Existing; Deck Framing Shall be Pressure Treated 2x8 Joists and Pressure Treated 2x12 Stair Stringers; For this Project, the Deck and Stair Areas Shall Not Change in Size.

Rim Joists and Stair Stringers will be Clad to Match Existing with 1x Redwood Fascia; Finished Deck, Stair Treads, Risers and Deck Fascia will be Finished with a Semi-Transparent Stain -- Color to Match Existing Natural Dark Brown Deck Color; Remove Existing Deck and Stair Hand Railing/Guard Railing Balusters and Finials, Store on Site and Repair as Needed Prior to Re-Installation at the Same Heights.

Replace Existing Stair Baluster Posts with In-Kind 4x4 Posts; Guardrail and Stair Baluster Post Finished Paint Color Shall be White to Match Existing White Woodwork Color. There will be No Change to Site Coverage; No Trees Shall be Removed as Part of this Project.¹

The proposed project is for in-kind replacement of the above front porch structural members and wood members. The project does not propose any additional alterations to the existing historic house.

Evaluation of Proposed Alterations

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.²

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

¹ "Marks Residence Porch Repair (Design Drawings)," Erik D. Dyar, Architect, 2/27/23.

² *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Evaluation of Proposed Alterations

Given the minimal impacts to the existing historic house, the most appropriate *Standards* for this project are *Standards 5 and 6*. The following lists these rehabilitation *Standards* in italics, with an evaluation given below each *Standard*.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

This rehabilitation *Standard* emphasizes repair, rather than replacement of a given historic feature or architectural detail. For the subject project, the existing wood rails, balusters and finials will be removed carefully, numbered, stored on site and returned in their original locations and in their original configuration. Deteriorated porch decking, deck supports and stairs will be replaced in-kind, including matching the existing wood finish. These methods are in keeping with this *Standard*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

As described above, replacement of deteriorated porch stairs, decking and supports will be in-kind regarding wood material, finish and method of application, in keeping with this *Standard*. Wood members that are character defining and that are in good condition, such as the wood porch balusters and finials will be retained, stored on site and returned to their original configurations, in keeping with this *Standard*.

Conclusion

In conclusion, the proposed front porch wood repairs to the historic Benjamin Turner house at Monte Verde Street, 2 SE of 5th Avenue, Carmel, California meet the *Secretary of the Interior's Standards for Rehabilitation*. The proposed changes do not impact the remaining character-defining features or overall historic integrity of the original building. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal

General Notes:

1.

If During The Course Of Construction Activity On The Subject Property, Cultural, Archaeological, Historical, Paleontological Resources Are Uncovered At The Site (surface Or Subsurface Resources) Work Shall Be Halted Immediately Within 50 Meters (165 Feet) Of The Find Until It Can Be Evaluated By A Qualified Archaeologist. The Monterey County Planning And Building Inspection Department And A Qualified Archaeologist (i.e., An Archaeologist Registered With The Society Of Professional Archaeologists) Shall Be Immediately Contracted By The Responsible Individual Present On-site. When Contacted, The Project Planner And Archaeologist Shall Immediately Visit The Site To Determine The Extent Of The Resources And To Develop Proper Mitigation Measures Required For The Discovery.
2.

The Temporary Fencing Proposed To Protect The Native Oak Trees Which Are Located Close To The Construction Site Shall Be Maintained During Construction To Prevent Inadvertent Damage From The Construction Equipment And Material Storage. No Fill Of Any Type Shall Be Placed At The Feding Zone Or Drip Line Of The Retained Trees. No Materials Or Equipment Shall Be Stored Within The Fenced Area. Said Protection Shall Be Demonstrated Prior To Issuance Of Building Permits Subject To The Approval Of The Director Of Planning And Building Inspection.
3.

Minimum Concrete Compressive Strength At 28 Days Shall Be 2,500 Psi.
4.

All Reinforcing Steel Shall Conform To The A.s.t.m. A615 Grade 60 Unless Otherwise Noted On Plans.
5.

Welded Wire Fabric: Welded Wire Fabric Shall Conform To A.s.t.m. A185-79
6.

Lumber Species And Grades Shall Conform To The Following U.o.n.: Maximum Moisture Content Of Lumber Shall Be 19%; All Douglas Fir Lumber Which Is Exposed To Weather Shall Be Pressure Treated. All Grading Shall Conform To The Rules And Regulations Of The W.w.p., R.a. & A.p.a. Plywood Shall Be D.f. Conforming To U.s. Product Standards Pa 1-74 With Exterior Glue, Grade Stamped A.p.a. See Framing Plans For Additional Requirements.
7.

Wall Construction Shall Comply With CBC Section R602 (For Conventional Construction).
8.

Nailing To Be In Compliance With CBC Table R602.3.1
9.

All Manufacturer's Installation Guides To Be Provided To Inspector At Time Of Field Inspection.
10.

The Builder/contractor To Provide The Owner And The City of Carmel-by-the-Sea With A Copy Of The CF-6R Installation Certificate At The Time Of Final Inspection.
11.

Contractor License: The Contractor(s) Performing The Work Described By These Plans And Specifications Shall Be Properly And Currently Licensed During The Execution Of The Project And Shall Not Perform Work Outside The Legal Scope Of Any License.
12.

Scope: The Contractor Shall Provide And Pay For All Labor, Materials , Tools , Equipment And Machinery, Transportation , Water , Heat, Electrical, Telephone , And Any Other Related Items Necessary For The Proper Execution And Timely Completion Of The Work.
13.

Quality Control: It Is The Express Intention Of These Plans And Specifications To Require A High Standard Of Work . If , In The Opinion Of The Contractor , Any Portion Of The Documentation Herein Is Inconsistent With This , The Architect Shall Be Notified Prior To Executing The Work And Allowed Revision Time If Feat Necessary.
14.

Warranty: The Contractor Warrants To The Owner That All Materials And Equipment Furnished Under This Contract Will Be New Unless Otherwise Specified, And That All Work Will Be Of Good Quality, Free From Faults And Defects , And In Conformance With The Contract Drawings And Specifications.
15.

Permits: Unless Otherwise Instructed , The Owner Shall Pay All Permit Fees Including Utilities. The Contractor Shall Secure The Building Permit And Any Other Permits Prior To Starting The Work And Comply With All inspection Requirements Through Final Sign-Off.
16.

Legal/Notices/Code Compliance: The Contractor Shall Give All Notices And Comply With All Laws, Ordinances, Building Codes , Rules , Regulations And Other Lawful Orders Of Any Public Authority Bearing On The Performance Of The Work. The Contractor Shall Promptly Notify The Designers In Writing If The Drawings And/or Specifications Are At Variance With Any Such Requirements. (2022 U.B.C.)
17.

Responsibility: The Contractor Shall Be Soley Responsible For All Construction Means, Methods , Techniques, Sequences And Procedures Selected To Execute The Work. The Contractor Shall Coordinate All Portions Of Work Within The Scope Of The Contract.
18.

Safety: The Contractor Shall Be Responsible For Initiating , Maintaining And Properly Supervising Adequate Industry Standard Safety Precautions And Programs In Connection With This Work And Shall Adhere To All Federal , Local , State & OSHA Safety Regulations.
19.

Insurance: Liability Insurance Shall Be Maintained By The Contractor To Protect Against All Claims Under Workman's Compensation Acts , Damages Due To Bodily Injury Including Death, And For Any Property Damages Arising Out Of Or Resulting From The Contractor's Operations Under The Contract. This Insurance Shall Be For Liability Limits Satisfactory To The Owner. The Owner Has The Right To Required Contractual Liability Insurance Applicable To The Contractor's Obligations. Certificates Of Such Insurance Shall Be Filed With The Owner Prior To The Commencement Of The Work.
20.

Indemnification: The Contractor Who Agrees To Perform This Work Also Agrees To Indemnify And Hold Harmless The Owner And The Architect From And Against All Consequential Claims/damages/losses/and Expenses , Including Attorney's Fees And Litigation Costs Arising Out Of Or Resulting From The Performance Of The Work.
21.

Cleaning Up: The Contractor Shall Keep The Premises And Site Free From Accumulation Of Waste Materials During Construction By Periodic Clean Up And Off-site Debris Removal . Final Cleanup And Debris Disposition Shall Be To The Satisfaction Of The Owner.
22.

Contractor Shall Visit The Site And Verify All Existing Conditions Prior To Any Work And Notify The Designers Of Any Discrepances Between These Drawings And Existing Conditions Affecting The Work Or Nature Of Specified Materials And/or Scope Of Design.
23.

All Notes, Dimensions, Etc. Indicate New Materials Or Construction Unless Otherwise Noted.
24.

No Land Clearing Or Grading Shall Occur On The Property Between October 15 And April 15 Unless Authorized By The Director Of Planning And Building Inspection. All Cut And/or Fill Of Slopes Exposed During The Course Of Construction Shall Be Covered , Seeded With Native Grasses Or Otherwise Treated To Control Erosion.
25.

Shop Drawings: Prior To Fabrication, The Contractor Shall Submit To The Architect For Approval Shop Drawings For All Structural Steel , Reinforcing Steel , Glue Laminated Beams And Prefabricated Trussed , Shop Drawings Are Not Change Orders , But Rather Serve To Demonstrate To The Engineer That The Contractor Understands The Requirements & Design Concepts Of The Plan , Details & Specifications.
26.

Change Orders: No Verbal Change Orders Shall Become Legal And Binding.
27.

Construction, Bracing & Shoring: The Contractor Shall Be Soley Responsible For All Bracing And Shoring Required During Construction Until All Construction Is Complete.
28.

Similar Conditions: Conditions Not Specifically Detailed Shall Be Built To Conform With Similar Construction.
29.

Discrepancies: The Contractor Shall Verify All Dimensions , Elevations , Materials And Conditions Prior To Starting Construction. Any Discrepancies Shall Be Reported To The Architect Prior To Ordering Materials And Starting Construction.
30.

Technical Specifications: All Technical Specifications Referred To In The Drawings Are By This Reference Part Of The Construction Documents.

Fire Department Notes:

1.

All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a "Knox Box" for immediate access by emergency equipment shall be required.
2.

Manage combustible vegetation from within a minimum of 100 feet of structures, or to the property line, whichever is closer. Coordinate All Vegetation Management Activities with the City Forester. Trim tree limbs to a minimum height of 6 feet from the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection.
3.

The building(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection.
4.

Smoke Alarms - (Single Family Dwelling) - Where A Household Fire Warning System Or Combination Fire/burglar Alarm System Is Installed In Lieu Of Single-station Smoke Alarms Required By The Ubc The Alarm Panel Shall Be Required To Be Placarded As Permanent Building Equipment.
5.

All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction

Plumbing Notes:

1.

Per California Civil Code Article 1101.4 and CALGreen Section 301.1, for all building alterations or improvements to a single family residential property, all existing plumbing fixtures in the entire house that do not meet compliant flow rates will need to be upgraded. Water closets with a flow rate in excess of 1.8 gpm will need to be replaced with water closets with a maximum flow rate of 1.28 gpm. Shower heads with a flow rate greater than 2.5 gpm will need to be replaced with a maximum 2.0 gpm shower head. Lavatory and kitchen faucets with a flow rate greater than 2.2 gpm will need to be replaced with a faucet with a maximum flow rate of 1.2 gpm (or 1.8 gpm for kitchen faucets).
2.

Water closets installed on or after July 2, 2011 shall have a maximum flush volume of 1.28 gallons, and shall meet or exceed the minimum performance criteria developed for certification of high-efficiency toilets under the WaterSense program adopted by the EPA. (402.2.2 CPC).
3.

All plumbing fixtures and fittings shall be water conserving per CGBC4.303. Including: maximum 1.8 gpm @ 80 psi for single showerheads, when a shower is served by more than one showerhead, the combined flow rate of multiple showerheads to not exceed 1.8 gpm @ 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. 1.2 gpm @ 60 psi for lavatory faucets, maximum 1.8 gpm @ 60 psi at kitchen faucets.

CalGreen Notes:

- 4.106.2.

Storm Water Percolation Pits have been sized and located on the property All Stormwater is diverted to these pits.
- 4.106.3.

Grading to Slope Away from Buildings 5%, Typical. French Drain to be installed along East Existing Foundation Wall, Driveway and All new retaining Walls and Footings.
- 4.303.1.2.

Plumbing fixtures and fittings shall comply with the following:
The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of multiple showerheads to not exceed 1.8 gpm @ 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. The maximum flow rate of lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi, and a minimum flow rate of 0.8 gallons at 20 psi. Metering faucets shall not deliver more than 0.25 gallons per cycle. The Maximum flow rate of Kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. They may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi and must default to the maximum of 1.8 gallons per minute at 60 psi. Plumbing fixtures and fittings shall be installed in accordance with the 2022 California Plumbing Code and shall meet the applicable standards reference in Table 1401.1.
- 4.304:

Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
1. Controllers shall be weather-or soil moisture-based controllers that automatically adjust irrigation in response to changes in plans' needs a weather conditions change.
2. Weather-based controller without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
- 4.406.1.

Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
- 4.410.1:

At the time of final inspection, a manual including required items listed in section 4.410.1 shall be placed in the building.
- 4.408:

Construction Waste Management: Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3, or 4.408.4
Materials to be Recycled: Concrete, metals Gypsum Drywall, Window/Glass, Cardboard, Pallets, Existing Appliances to be provided for reuse. Waste Material to be taken to: Monterey Regional Waste Management District. 14201 Del Monte Blvd., Marina CA. 831-384-5313. Waste Material to be calculated by Weight.
- 4.504:

At the time of rough installation, during storage on the construction site and until final startup of the HVAC equipment, all duct and other related air distribution componeth openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris which may enter the system. Adhesives, sealants, and caulks shall be compliant with VOC limits indicated in sections 4.504.1 and 4.504.2. Architectural paints and coatings shall comply with VOC limits indicated in section 4.504.3. Areosol paints and coatings shall meet the requirements of section 4.504.2.3. Verification shall be provided at the request of the enforcing agency. All carpet install in the building interior shall meet the testing and product requirments indicated in Section 4.504. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with section 4.504.4. Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde indicated in section 4.504.5.
- 4.505:

Install capillary break and vapor retarder at slab-on-grade foundations per section 4.505.2. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified in compliance with items indicated in section 4.505.3. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturer's drying recommendations prior to enclosure.
- 4.506:

Each bathroom shall be mechanically ventilated and shall comply with the following:
1. Fan shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless function as a component of a whole house ventilation system, fans must be controlled by a humidity control.
3. Humidity controls shall be capable of adjustment between a relative humidity range of less than or equal to 50-percent to a maximum of 80 percent. A humidity control may be a separate component to the exhaust fan and is not required to be integral.
4. All Bathroom Exhaust Fans Shall Have Backdraft Prevention in Accordance with CMC 504.1.1.
- 4.507:

Heating and air-conditioning system design shall be sized, designed and have their equipment selected using methods indicated in section 4.507.2 See mechanical specifications.

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Carmel-by-the-Sea Notes:

1.

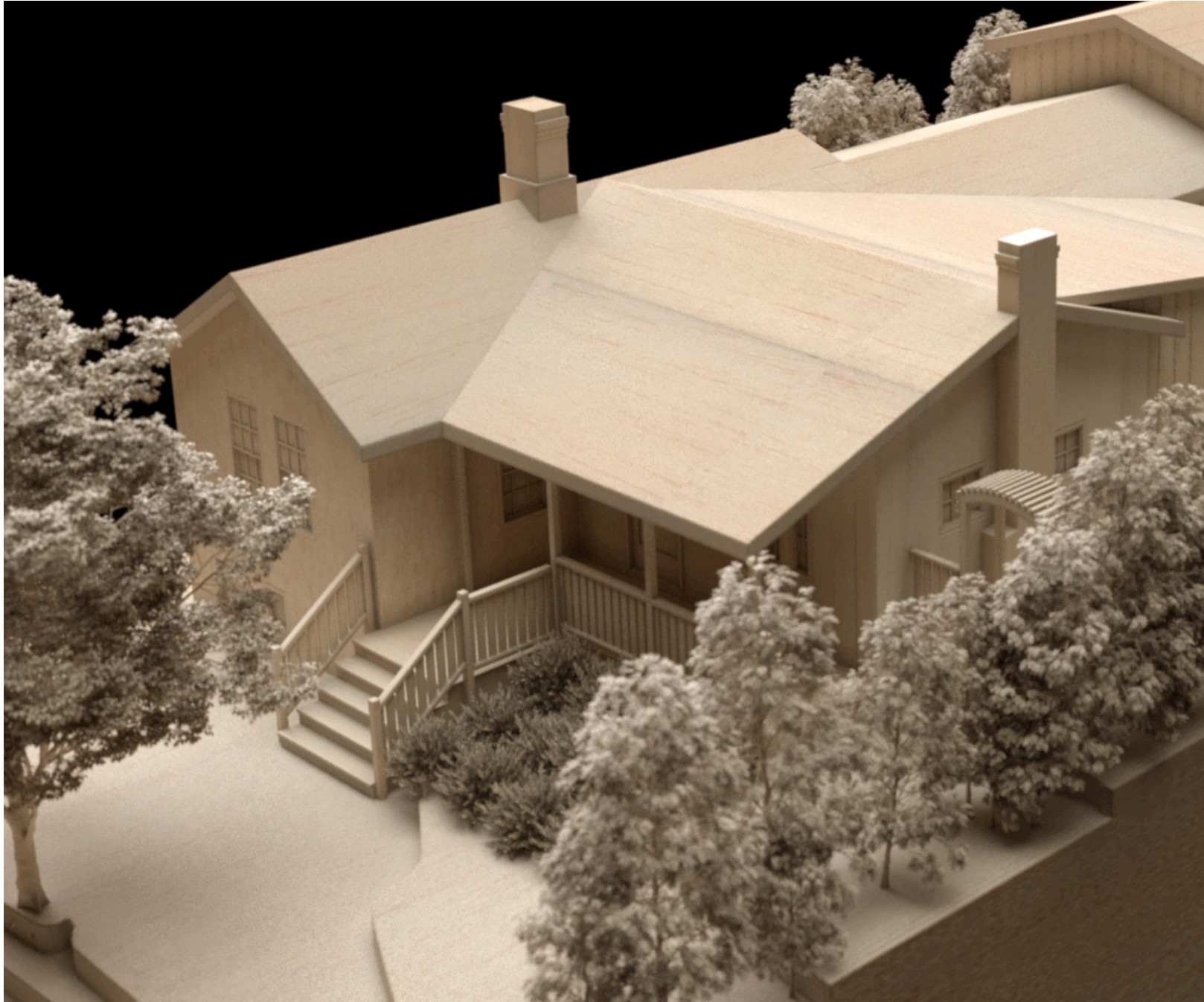
Install Battery Operated, Approved, Carbon And Smoke Detectors In Existing Residence As Required Per California 2022 California Building Code And 2022 California Fire Code. To Be Inspected And Verified In The Field.
2.

Tree Protection Shall Be In Place Prior To Any Permits Being Issued If Required By The City Forester.
3.

To Minimize Off-site Vibration And Damage To Nearby Properties, Contractor Shall Utilize The Smallest Feasible Compaction Equipment Capable of Achieving The Desired Compaction Level. Contractor Is Responsible For Any And All Off-site Damage And Shall Repair any Damage in a Timely Manner Prior To Issuance Of A Certificate Of Occupancy For The Project.

8-1-1 Dig Alert Note

Contractor To Obtain An 8-1-1 / Dig Alert Ticket Prior To Permit Issuance And To Maintain It In Active Status Throughout The Project.



Marks Residence Entrance Porch Repair

Project Description:

Replace Existing In-Kind of Wood Decking, Decking Framing, Stair Treads and Framing and Stair Posts of Non-Historic Front Porch of Residence that is on the Historic Inventory; Replace In-Kind with 2x6 Redwood Decking to Match Existing; Deck Framing Shall be Pressure Treated 2x6 Joists and Pressure Treated 2x12 Stair Stringers; For this Project, the Deck and Stair Areas Shall Not Change in Size.

Rim Joists and Stair Stringers will be Clad to Match Existing with 1x Redwood Fascia; Finished Deck, Stair Treads, Risers and Deck Fascia will be Finished with a Semi-Transparent Stain -- Color to Match Existing Natural Dark Brown Deck Color; Remove Existing Deck and Stair Hand Railing/Guard Railing Balusters and Finales, Store on Site and Repair as Needed Prior to Re-Installation at the Same Heights.

Replace Existing Stair Baluster Posts with In-Kind 4x4 Posts; Guardrail and Stair Baluster Post Finished Paint Color Shall be White to Match Existing White Woodwork Color. There Will be No Change to Site Coverage; No Trees Shall be Removed as Part of this Project.

No Trees Shall be Removed as Part of this Project

Occupancy Group: R-3/U
Zoning: R-1
Type of Construction: V-B

Existing Site Coverage		
Existing Front Stone Wall	=	24 sq. ft.
Existing Front Carmel Stone Walkway	=	57 sq. ft.
Existing Porch and Steps	=	145 sq. ft.
Existing Carmel Stone Stepping Stones	=	36 sq. ft.
Stone-Clad Retaining Garden Wall	=	26 sq. ft.
Stone-Clad Wall + Firepit	=	26 sq. ft.
Stone Steps to Master Bedroom	=	32 sq. ft.
Stone Door Landings	=	34 sq. ft.
North Concrete Retaining Wall	=	18 sq. ft.
Total Existing Site Coverage	=	395 sq. ft.

(THERE WILL BE NO CHANGE TO SITE COVERAGE)

Sheet Index:

1	Cover Sheet, Project Data & General Notes
2	Existing and Proposed Site Plan
3	Porch Plan, Framing Plan and Construction Details
4	Existing Street View and West Elevations and Photographs of Existing Conditions
5	Existing North and South Elevations

D

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05/30/2023

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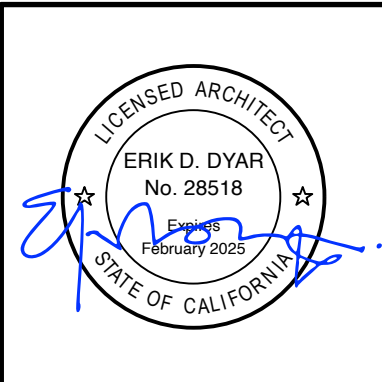
Owners:
Kevin and Leslie Marks
1900 Hillman Avenue
Belmont, CA 94002

Marks Residence
Porch Repair
2 SE of 5th Ave. on Monte Verde St.
Carmel-by-the-Sea, California 93921
APN: 010-212-013

Job No. 18-01

Date:
Residential Tract 1 Minor Design Study Submittal February 27, 2023

Cover Sheet,
Project Data
and
General Notes



Sheet No. 1

D
A

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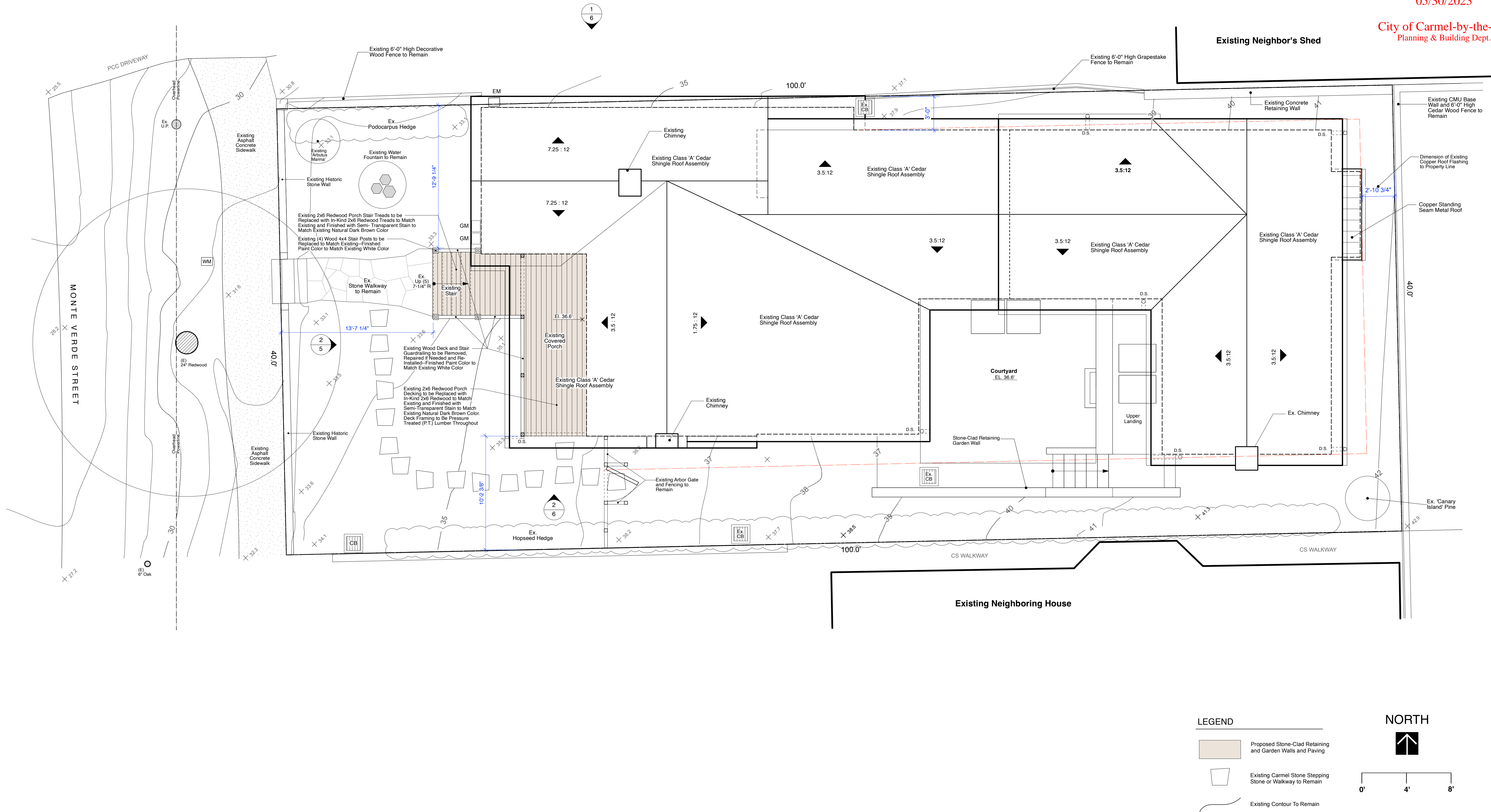
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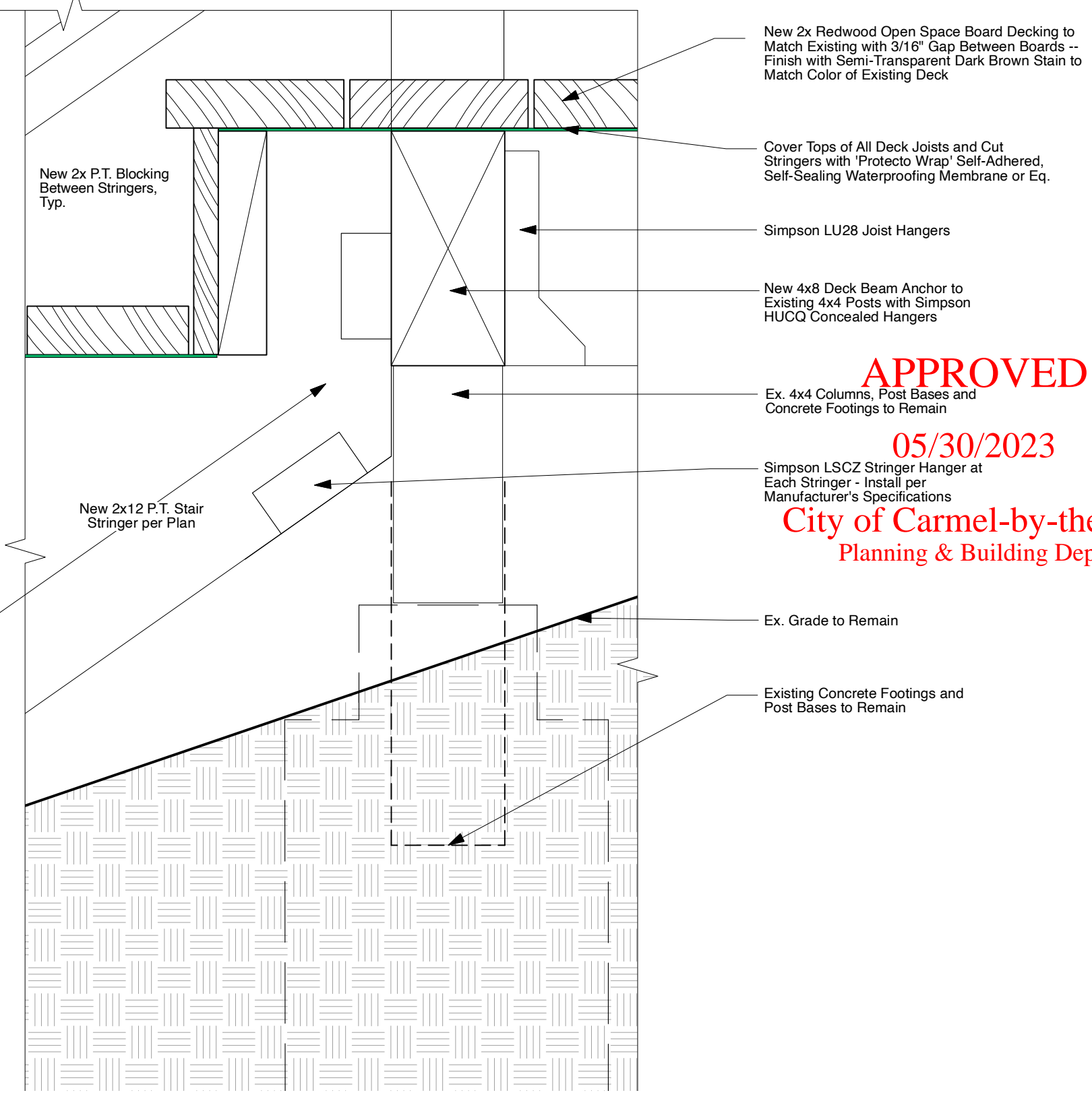
Existing and
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Site Plan

1/4" = 1'-0"

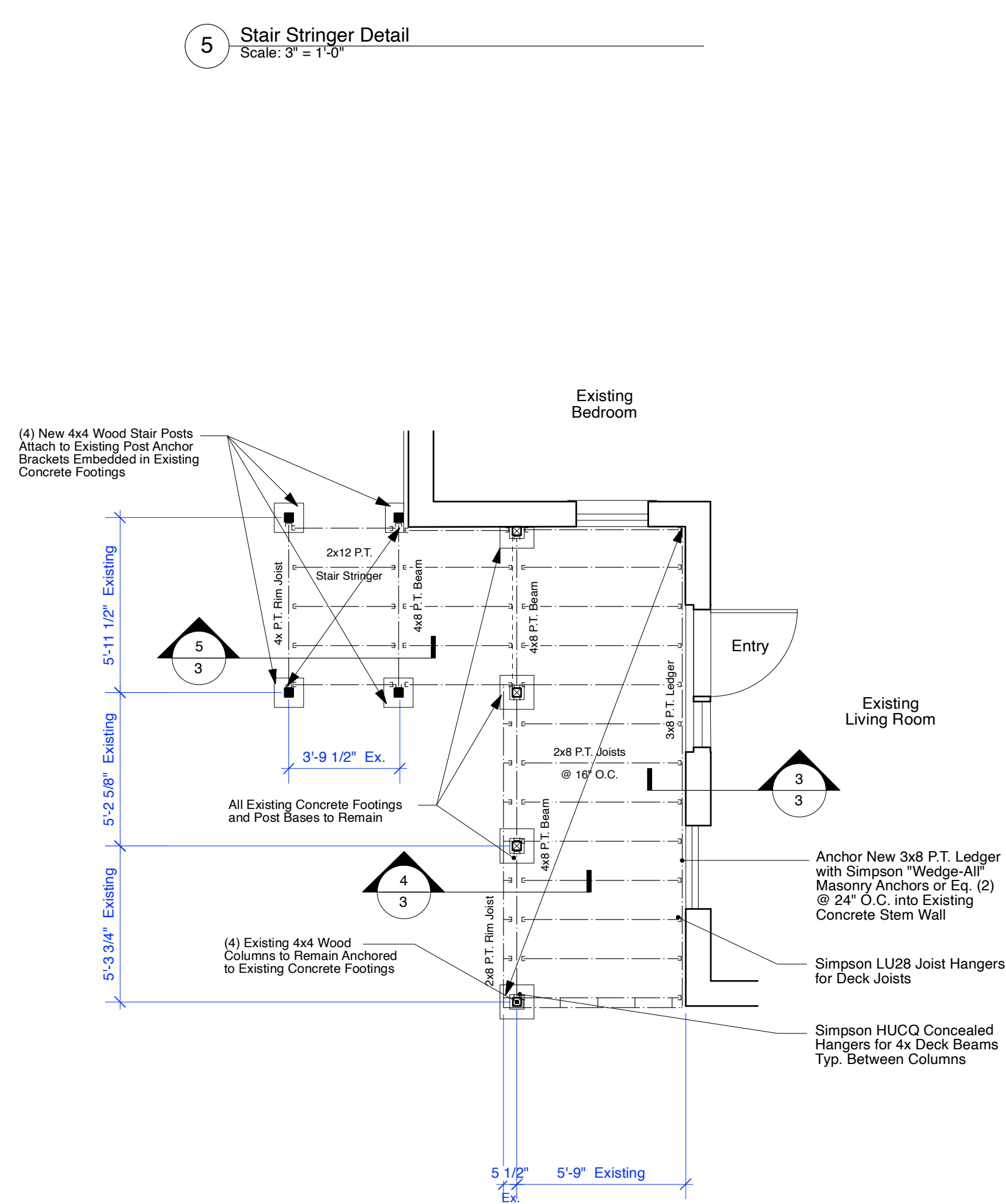
LICENSED ARCHITECT
ERIK D. DYAR
No. 28518
February 2023
STATE OF CALIFORNIA

Sheet No.
2

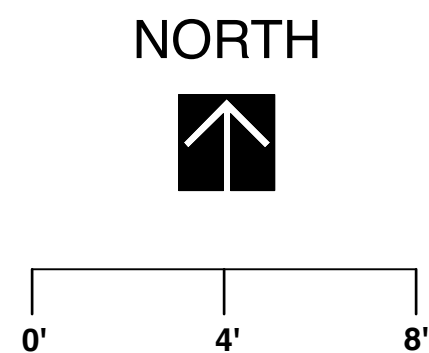




4 Deck Joist to Post Detail
Scale: 3" = 1'-0"



2 Entry Porch Framing Plan
Scale: 1/4" = 1'-0"



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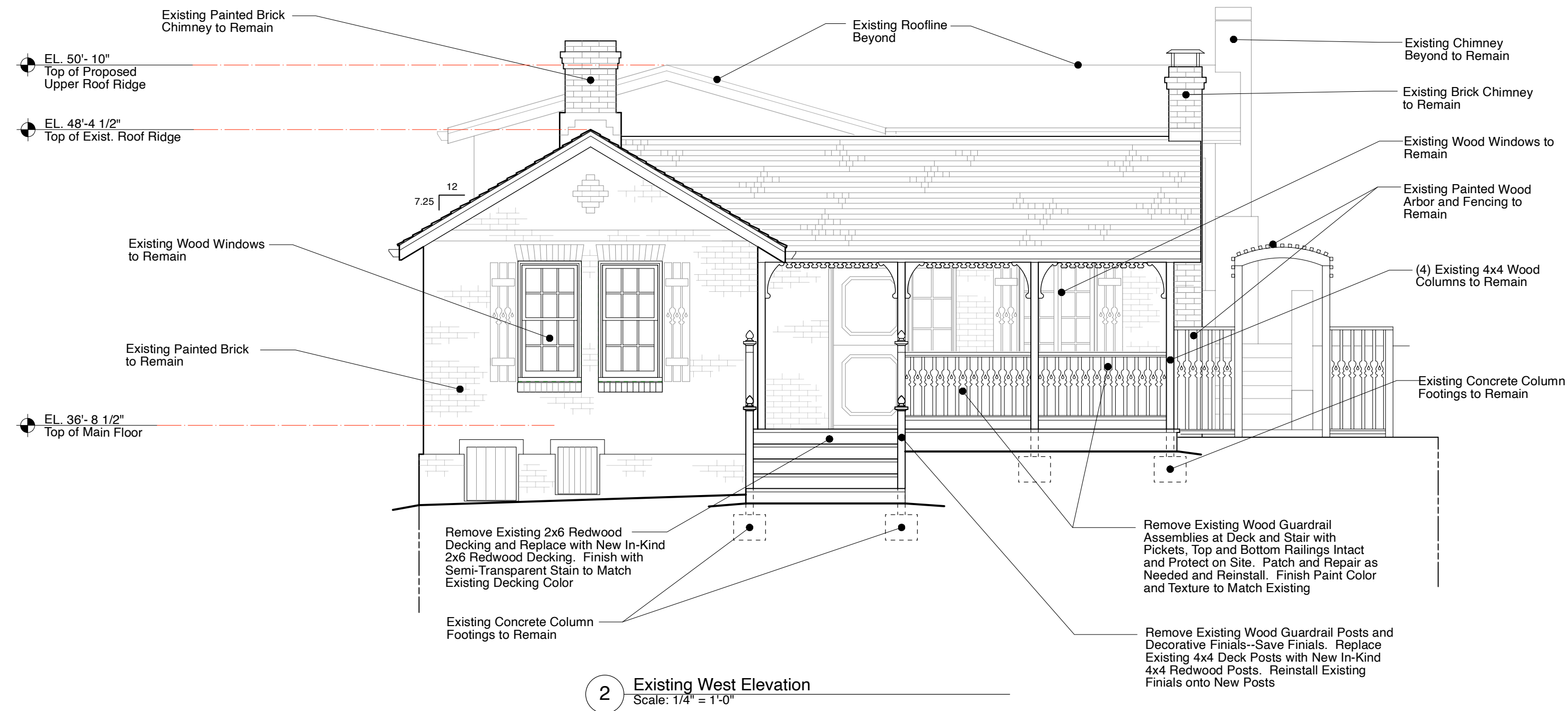
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Existing
Monte Verde Street
& West Elevations
and Photographs of
Existing Conditions

As Shown



VIEW OF EXISTING PORCH FROM SIDEWALK



VIEW OF EXISTING STAIR



VIEW OF EXISTING PORCH DECK



VIEW OF EXISTING PORCH DECK

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Owners:

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**Marks Residence
Porch Repair**

2 SE of 5th Ave. on Monte Verde St.
Carmel-by-the-Sea, California 93921
APN: 010-212-013

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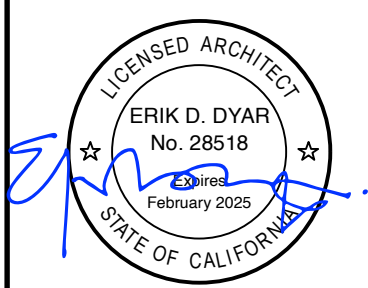
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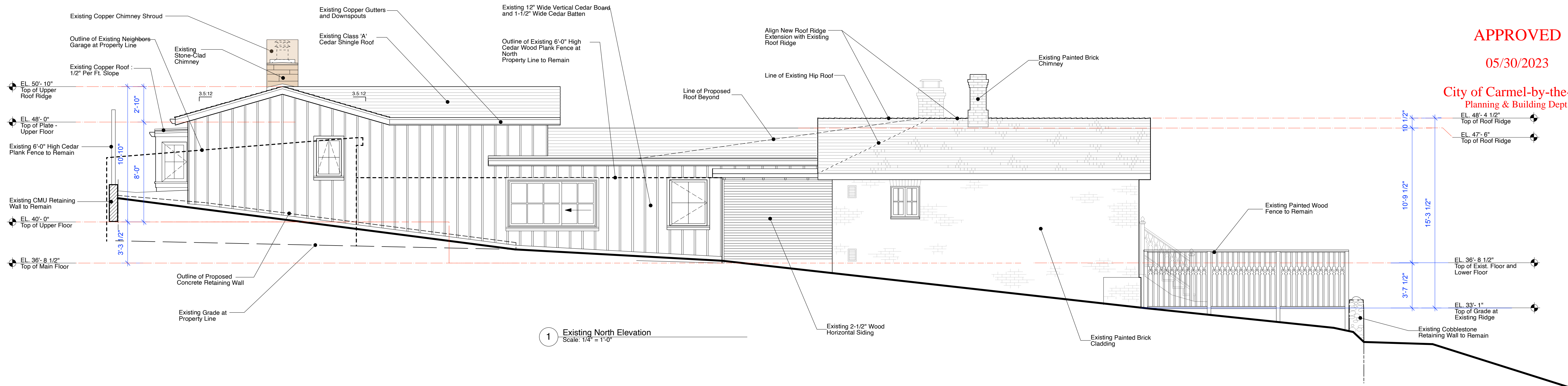
**Existing
North and South
Elevations**

1/4" = 1'-0"

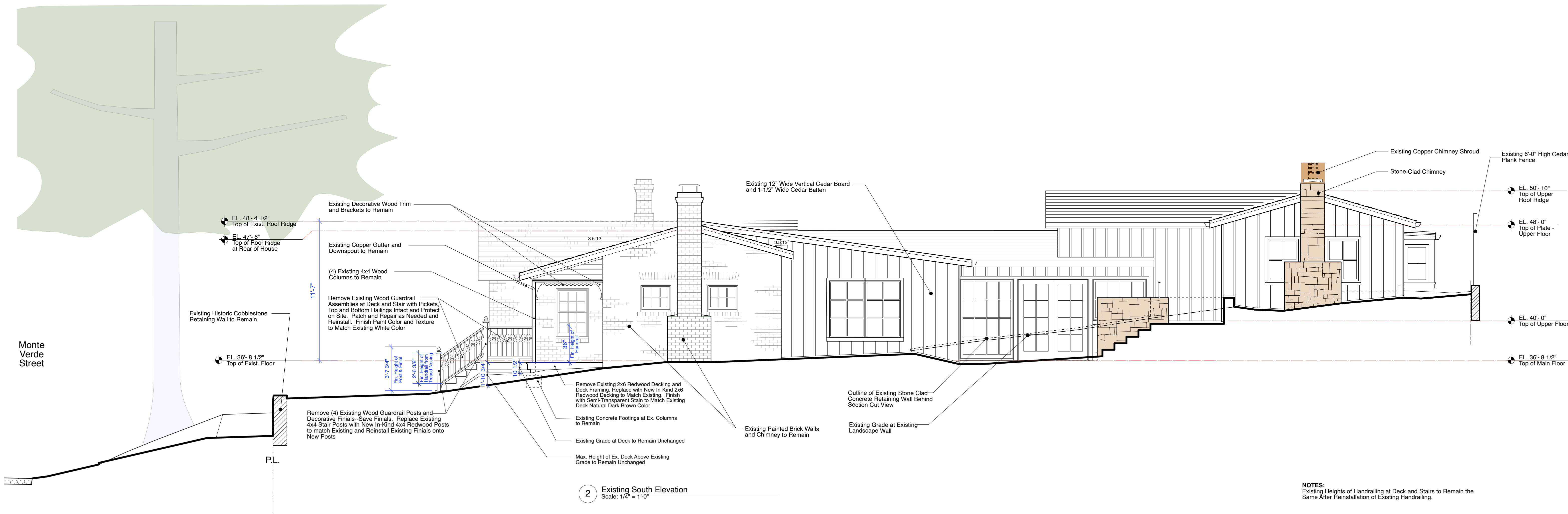


Sheet No.

5



1 Existing North Elevation
Scale: 1/4" = 1'-0"



2 Existing South Elevation
Scale: 1/4" = 1'-0"

NOTES:
Existing Heights of Handrailing at Deck and Stairs to Remain the
Same After Reinstallation of Existing Handrailing.