

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.

2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.

3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2022 CALIFORNIA RESIDENTIAL BUILDING** CODE (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY COUNTY ORDINANCE.

4. THE OWNER-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.

6. THE OWNER-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.

7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

8. IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY - RMA PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

9. COORDINATE NEW UNDERGROUND ELECTRICAL SERVING WITH PG&E.

10. NEW FIRE SPRINKLERS TO BE INSTALLED UNDER SEPARATE PERMIT.

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EXISTING SITE PHOTOGRAPHS



PROJECT DATA

SCOPE OF WORK:  
DEMOLITION OF EXISTING SINGLE FAMILY DWELLING; AND CONSTRUCTION OF NEW TWO-STORY RESIDENCE.

CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3 / U
FIRE SPRINKLERS:	YES
WATER:	CAL AM
SEWER:	CARMEL AREA WASTEWATER DISTRICT

TREE REMOVAL:	NONE
GRADING:	90 CUBIC YARDS <b>CUT</b> / 5 CUBIC YARDS <b>FILL</b>

SITE COVERAGE CALCULATIONS:

LOT SIZE	4,000 SF
MAX. ALLOWABLE FLOOR AREA	= 1,800 SF
MAX. ALLOWABLE SITE COVERAGE	= 396 SF / 556 SF

FLOOR AREA CALCULATIONS:

EXISTING		
(E) HOUSE	868 SF	
TOTAL, (E)	868 SF	
(21.70% OUT OF TOTAL LOT AREA)		
PROPOSED		
(P) 1ST FLOOR	1,052 SF	
(P) 2ND FLOOR	540 SF	
(P) PARKING PAD	200 SF	
TOTAL, (P)	1,792 SF	
(44.8% OUT OF TOTAL LOT AREA)		

SITE COVERAGE CALCULATIONS:

EXISTING			
(E) CONCRETE DRIVEWAY AND PATIO	794 SF	IMPERMEABLE	
(E) WOOD PATIO AND STAIRS	155 SF	PERMEABLE	
(E) BACK DECK	171 SF	IMPERMEABLE	
(E) RETAINING WALL	67 SF	IMPERMEABLE	
(E) BACK STEPS	9 SF	IMPERMEABLE	
(E) PATIO AND STEPS	31 SF	IMPERMEABLE	
(E) SHED	26 SF	IMPERMEABLE	
(E) SHED	26 SF	IMPERMEABLE	
TOTAL, (E)	1,279 SF		

EXISTING NON CONFIRMING  
ALL SITE COVERAGE TO BE DEMOLISHED

PROPOSED			
(P) STONE TILE FRONT ENTRY AND STEPS	26 SF	IMPERMEABLE	
(P) WOOD FRONT DECK AND STEPS	87 SF	PERMEABLE	
(P) GRAVEL FRONT TERRACE	118 SF	PERMEABLE	
(P) CONCRETE LAUNDRY LANDING	28 SF	IMPERMEABLE	
(P) GRAVEL DRIVEWAY	148 SF	PERMEABLE	
(P) STEPPING STONES	40 SF	IMPERMEABLE	
TOTAL, (P)	447 SF		

PROJECT DATA

ADDRESS:	TORRES STREET 4 SE OF 4TH AVE CARMEL-BY-THE-SEA, CALIFORNIA 93921
A.P.N.	010-091-012
ZONING:	R-1 SINGLE FAMILY

OWNER:	GARY AND NANCY METCALF TORRES STREET 4 SE OF 4TH AVE CARMEL-BY-THE-SEA, CALIFORNIA 93921
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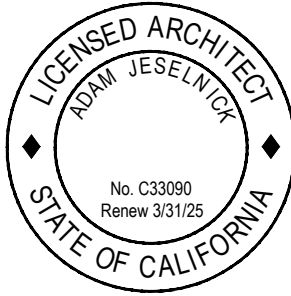
ARCHITECT:	ADAM JESELNICK ARCHITECT 24398 PORTOLA AVENUE CARMEL, CA 93923 PHONE: (831) 620.5164 m CONTACT: ADAM JESELNICK AIA EMAIL: aejarch@gmail.com
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SURVEYOR:	LANDSET ENGINEERS, INC. 520-B CRAZY HORSE ROAD, SALINAS , CA 93907 OFFICE: 831-443-6970 FAX: 831-443-3801
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1 VICINITY MAP  
SCALE: N.T.S

ADAM JESELNICK  
ARCHITECT



METCALF RESIDENCE  
TORRES STREET 4 SE OF 4TH AVE,  
CARMEL-BY-THE-SEA CALIFORNIA 93921

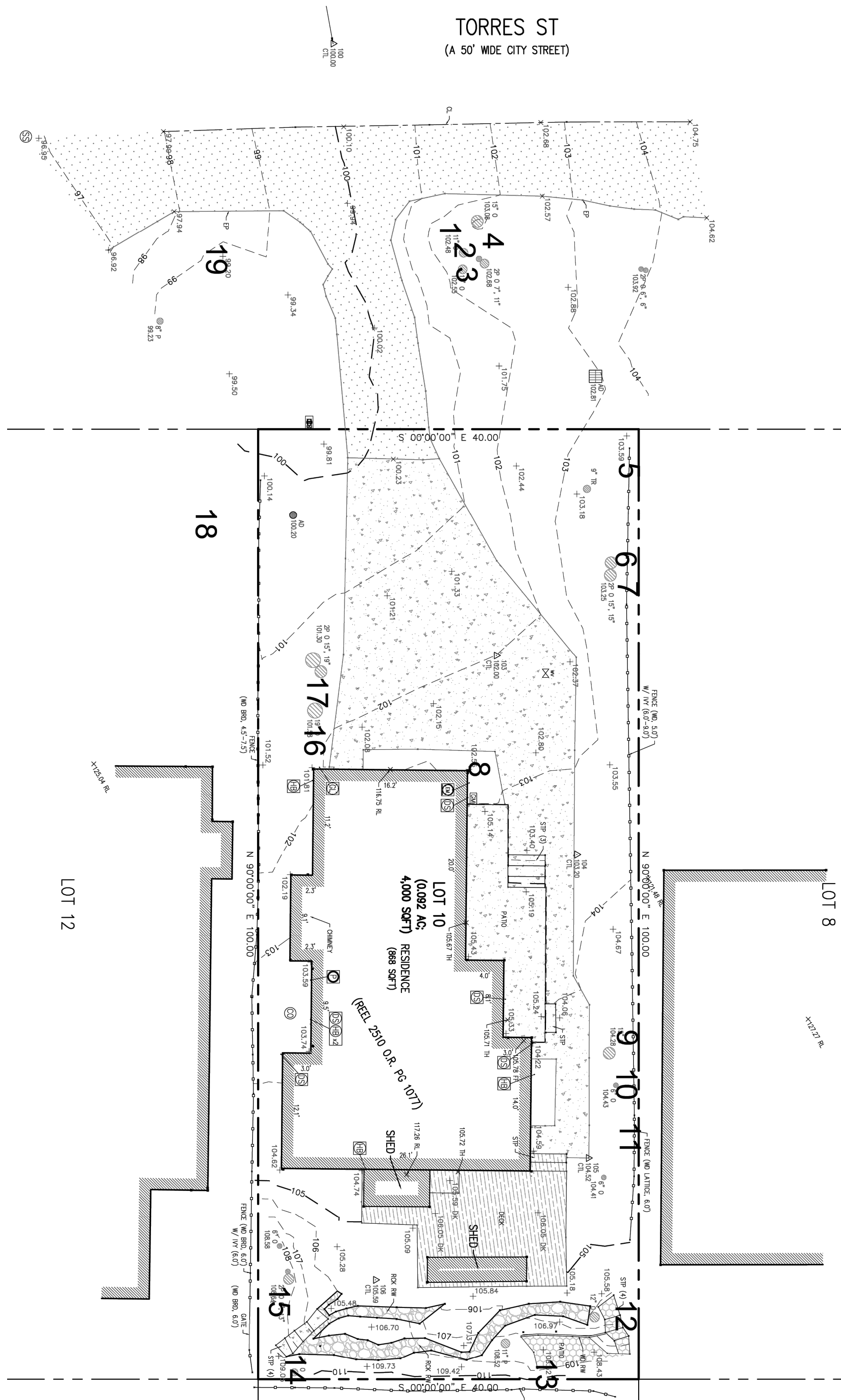
TITLE SHEET

8/30/2023

N.T.S.

A0





Significant Tree Evaluation Worksheet

APN: 010-091-012-000  
Street Location: Torres 4 SE of 4th Ave  
Planner: Marni Waffle  
City Forester: Sara Davis  
Property Owner: Metcalf  
Recommended Tree Density: 3 upper and 1 lower canopy trees

Part One: Initial Screening:  
Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
YES																			
NO	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
Species	CO	CO	CO	CO	OT	CO	CO	OT	CO	CO	CO	MP	CO	CO	CO	CO	CR	CR	CO
YES	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
NO																			

MP-Monterey pine MC-Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak  
C - Catalina ironwood CS - California sycamore BL - big leaf maple OT - other  
(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
YES	14	9	11	11	10	12.5	15		14									24	4.75
NO								4		5.5	3.8								4.75

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH  
Coast live oak - single trunk tree: 6" DBH  
Coast live oak - multi-trunk tree measured per industry standard: 6" DBH  
California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH  
dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
score	1	1	1		1	1	1		1				1	1	1	1	2	2	2

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.  
1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.  
2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
Total Score	7	7	7		7	7	7		7				7	7	7	7	8	8	9

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
YES	X	X	X		X	X	X		X			X	X	X	X	X	X	X	X
NO				X				X		X	X								

B. Are there any other factors that would disqualify a tree from a determination of significance?  
(Explain any 'yes' answer)

Yes \_\_\_\_\_

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
SIGNIF	X	X	X		X	X	X		X			X	X	X	X	X	X	X	X
MOD SIGNIF																			
NOT SIGNIF				X				X		X	X								

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
score	2	2	2	0	2	2	2		2			2	2	2	2	2	2	3	2

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.  
1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.  
2 points: The tree appears healthy and in good condition.  
3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
score	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	3

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.  
1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.  
2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.  
3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each.

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
score	2	2	2		2	2	2		2			2	2	2	2	2	2	2	3

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.  
1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.  
2 points: The tree is young to middle age and shows normal vigor.  
3 points: The tree is young to middle age and shows exceptional vigor.

Items to note:

Required Structural Root Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
Feet	7	6	6		6	6.25	7.5		7			6	8	6	6	8	9.5	12	6

Required Tree Protection Zone

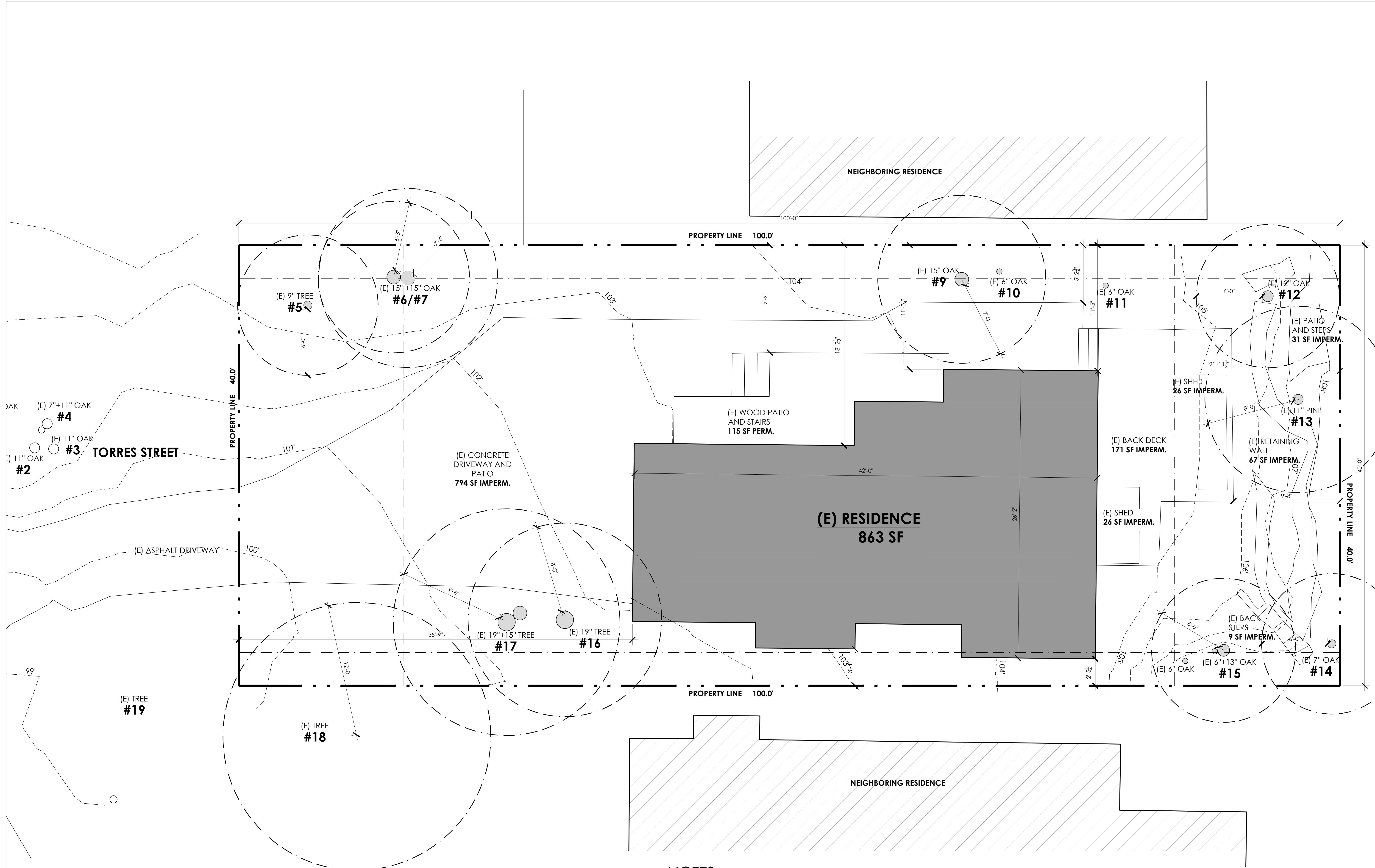
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
YES	21	18	18	18	18.8	22.5		21				18	24	18	18	24	28.5	36	18

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone - The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone - Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

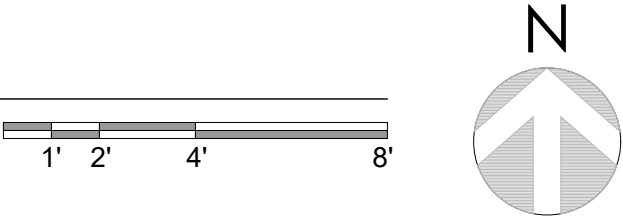


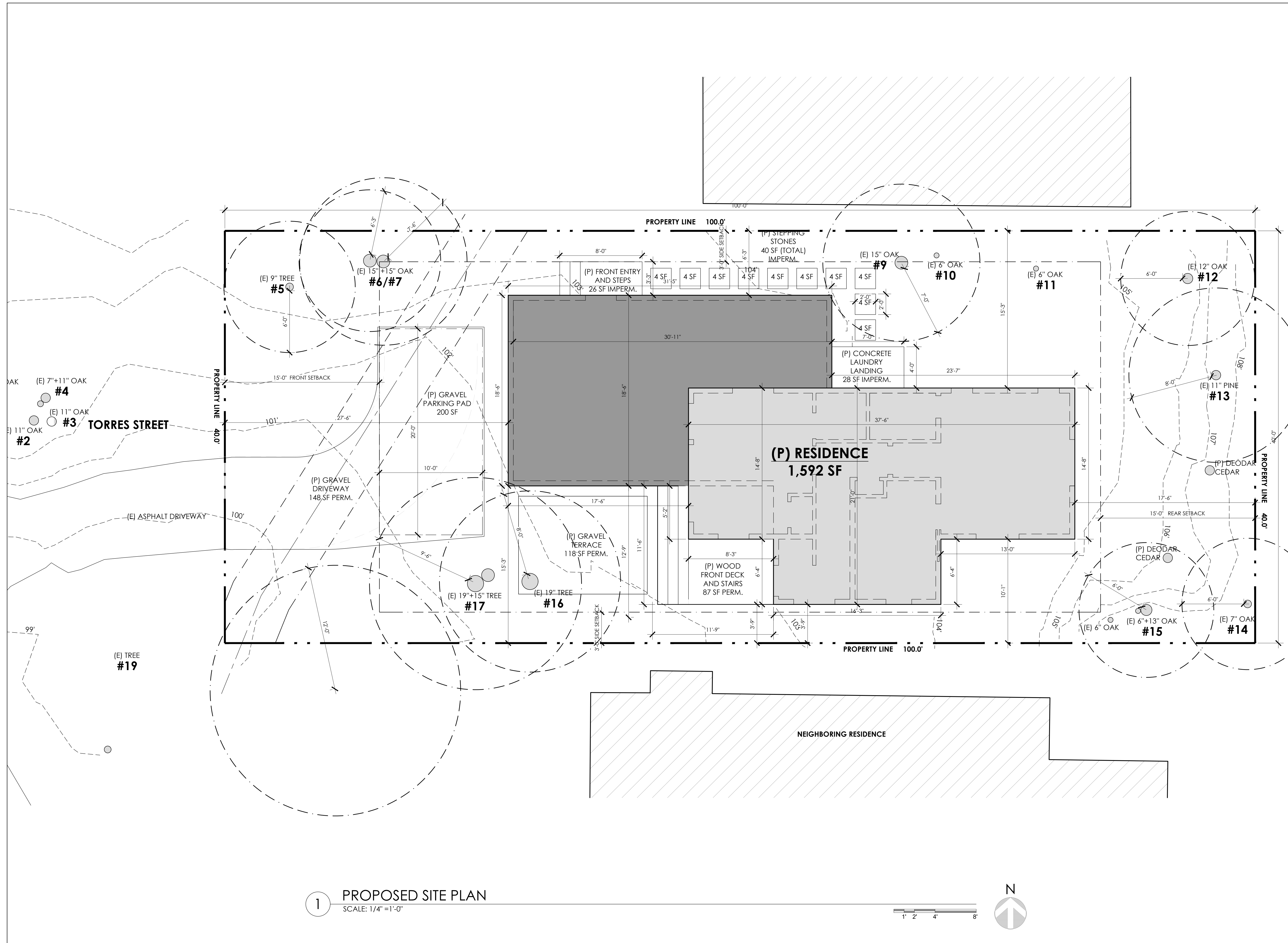




- NOTES:
1. EXISTING HOUSE AND ALL SITE COVERAGE TO BE DEMOLISHED.
  2. PROTECT ALL EXISTING TREES PER CITY FORESTER REQUIREMENTS

1 EXISTING SITE PLAN  
SCALE: 1/4" = 1'-0"





**METCALF RESIDENCE**  
TORRES STREET 4 SE OF 4TH AVE,  
CARMEL-BY-THE-SEA CALIFORNIA 93921

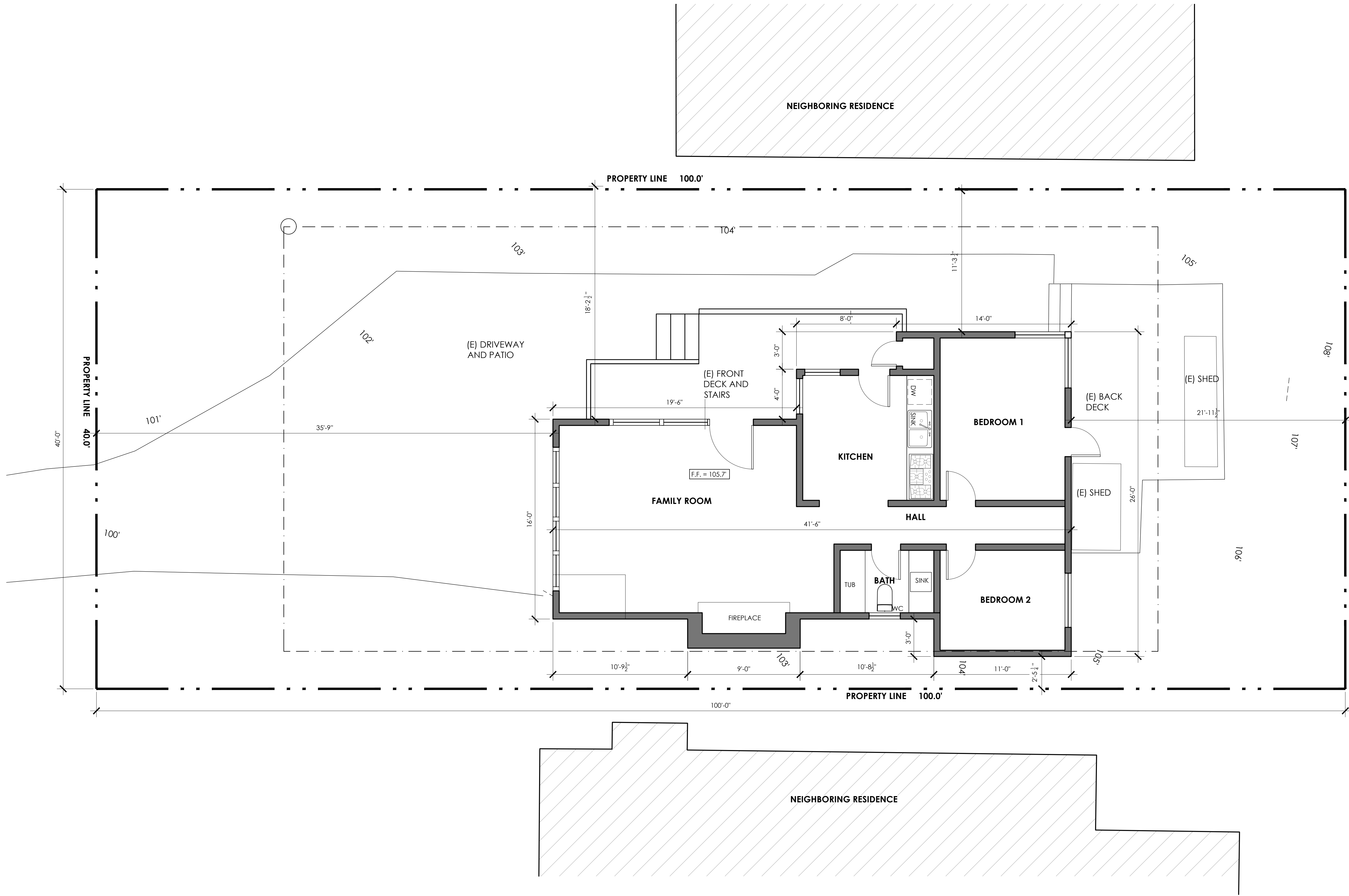
PROPOSED SITE  
PLAN

8/30/2023

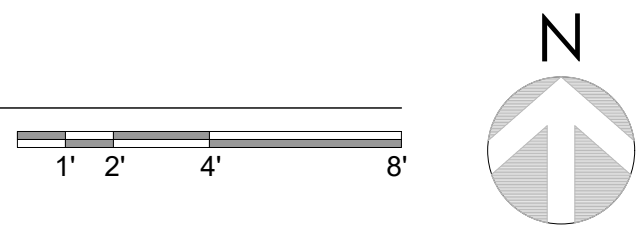
1/4" = 1'-0"

A2

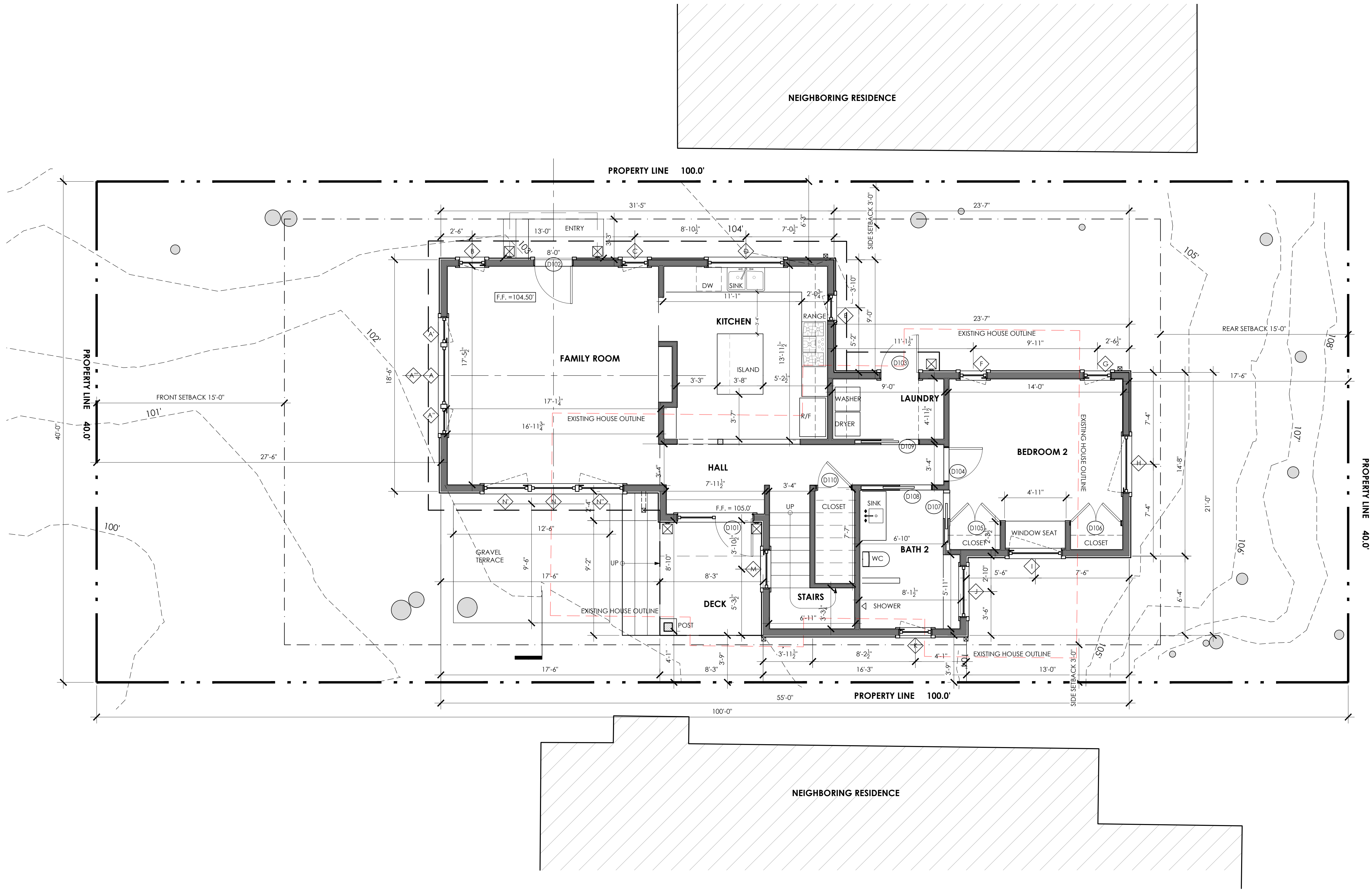




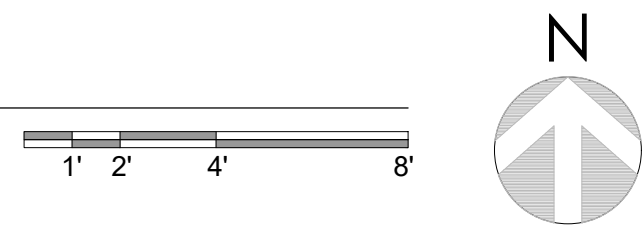
1 EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



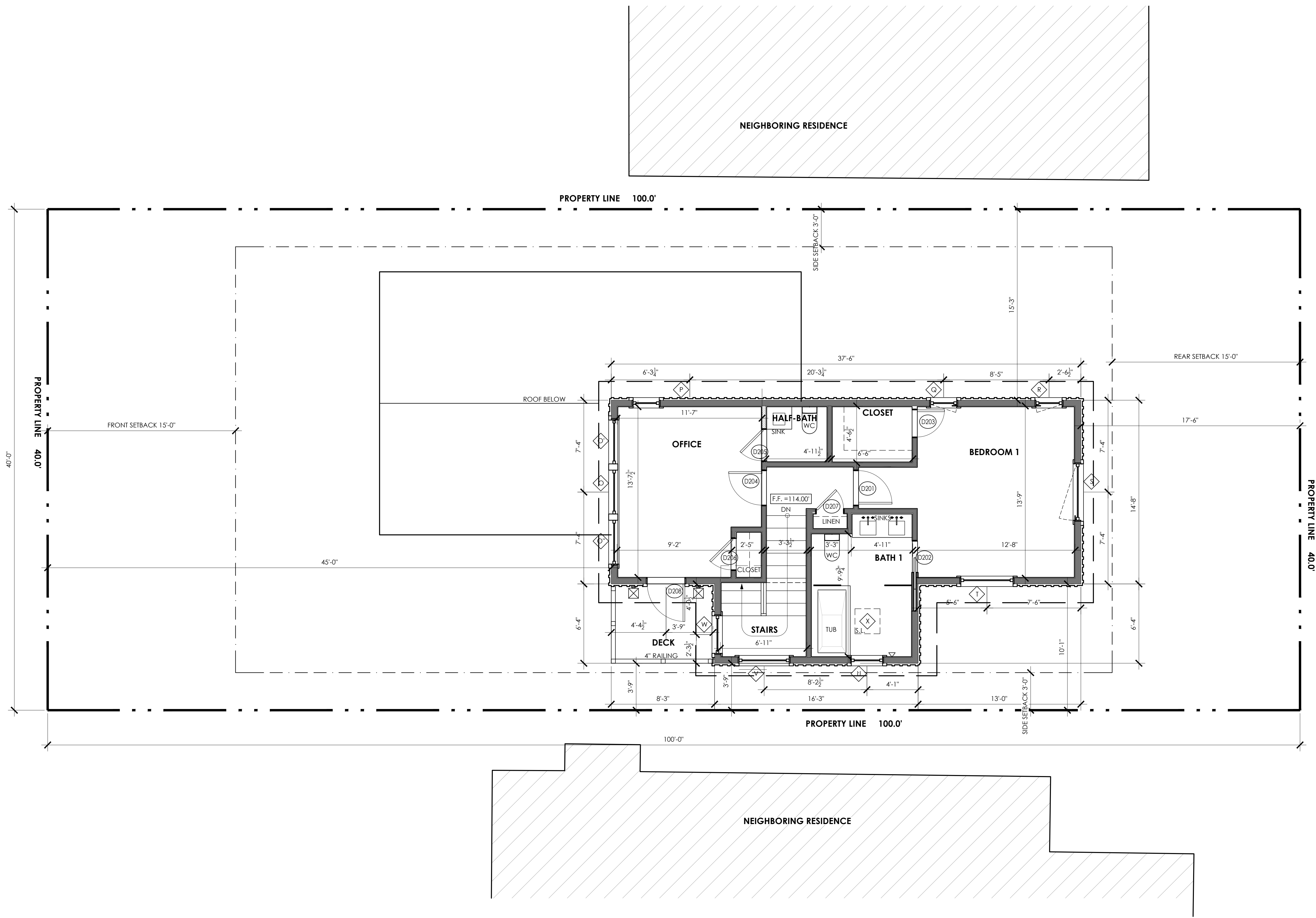




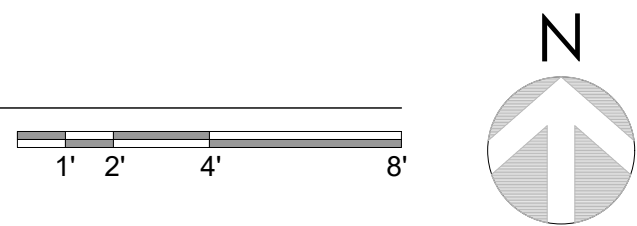
1 PROPOSED LOWER LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"







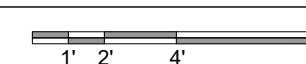
1 PROPOSED UPPER LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"





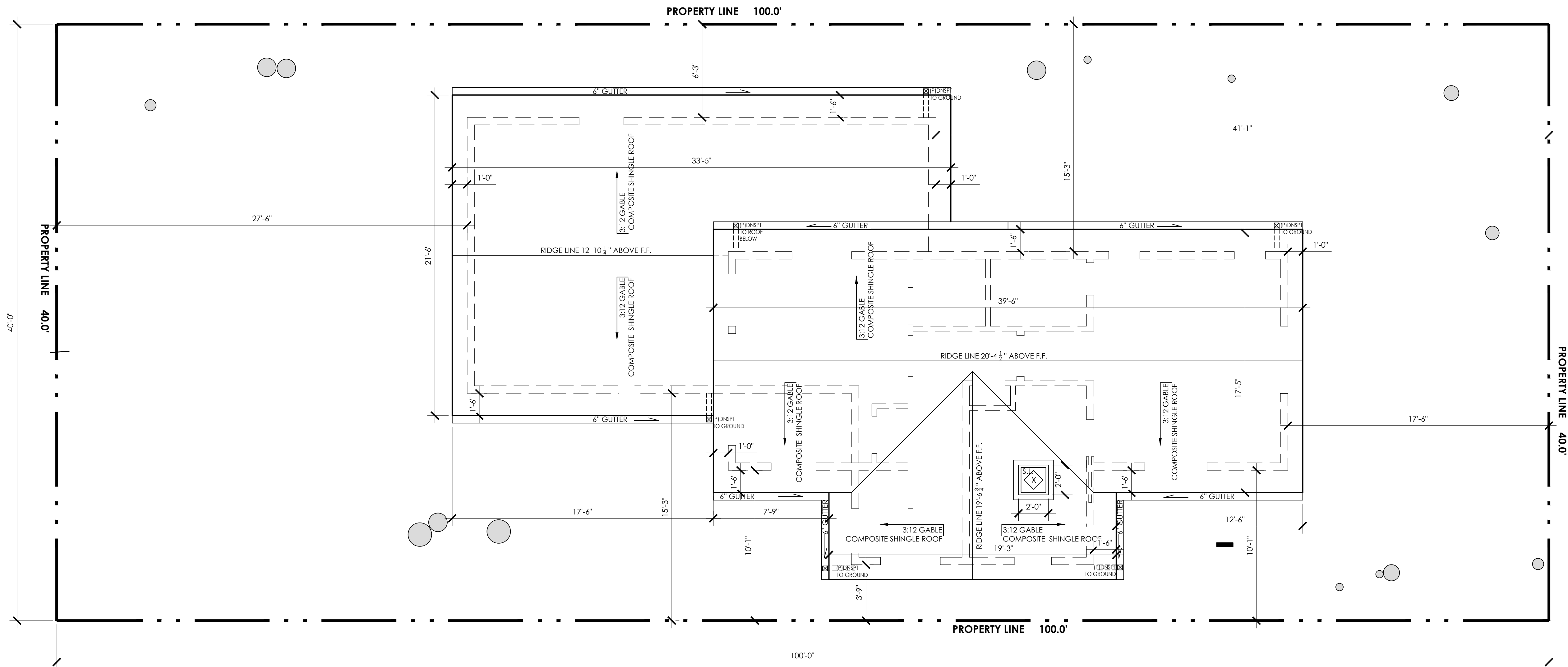


SCALE: 1/4" = 1'-0"



ADAM JESELNICK  
ARCHITECT





1

PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"



METCALF RESIDENCE

TORRES STREET 4 SE OF 4TH AVE,  
CARMEL-BY-THE-SEA CALIFORNIA 93921

PROPOSED ROOF  
PLAN

8/30/2023

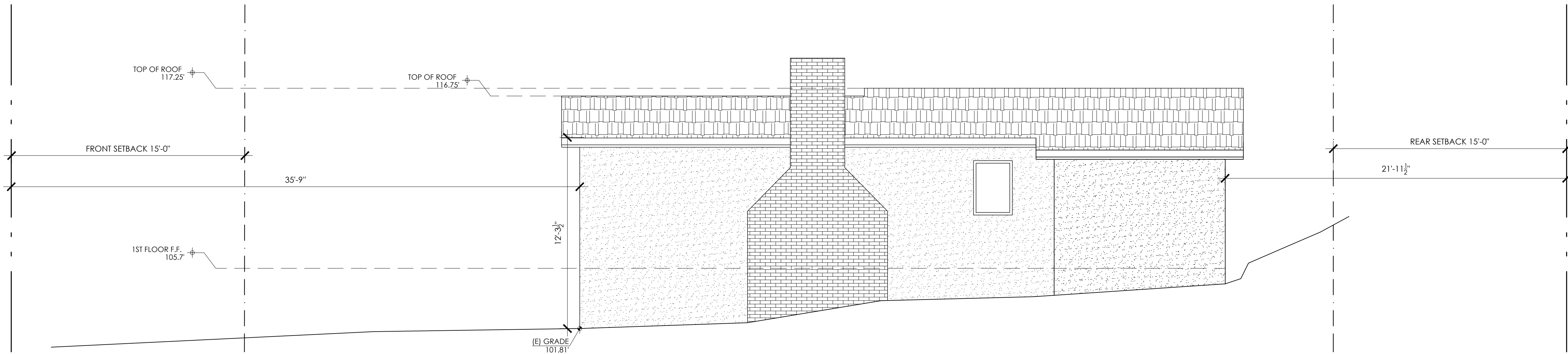
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A7

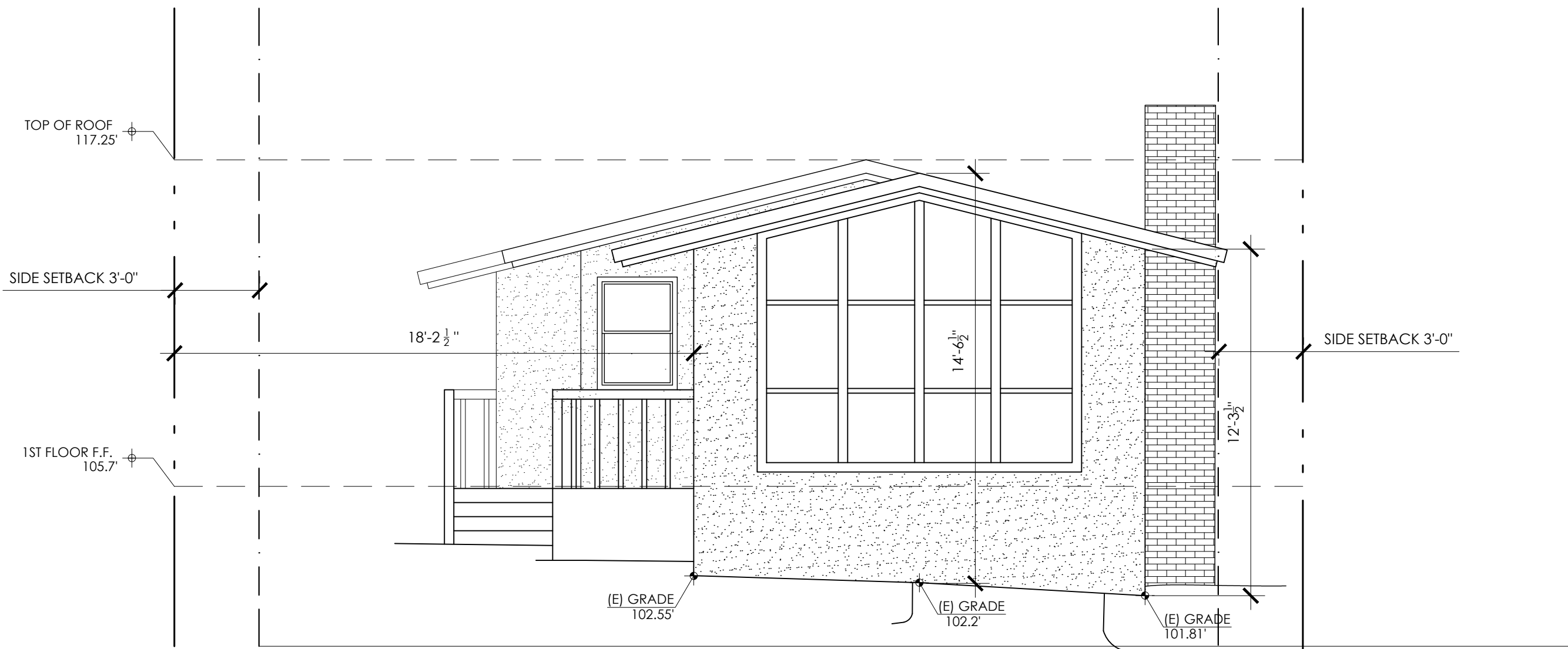
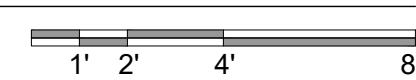


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ARCHITECT

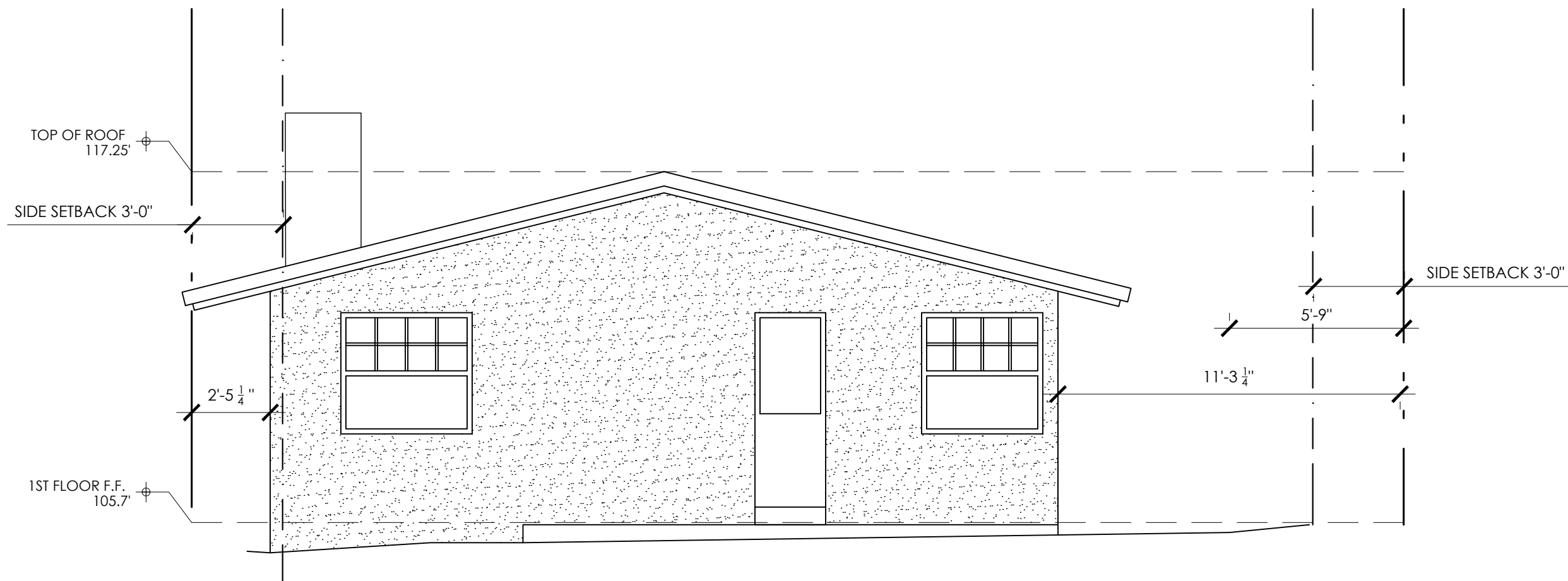




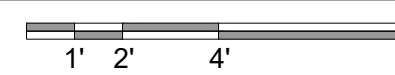
1 EXISTING SOUTH (SIDE) ELEVATION  
SCALE: 1/4" = 1'-0"



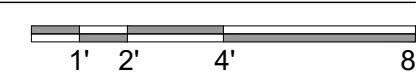
2 EXISTING WEST (FRONT) ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING EAST (BACK) ELEVATION  
SCALE: 1/4" = 1'-0"



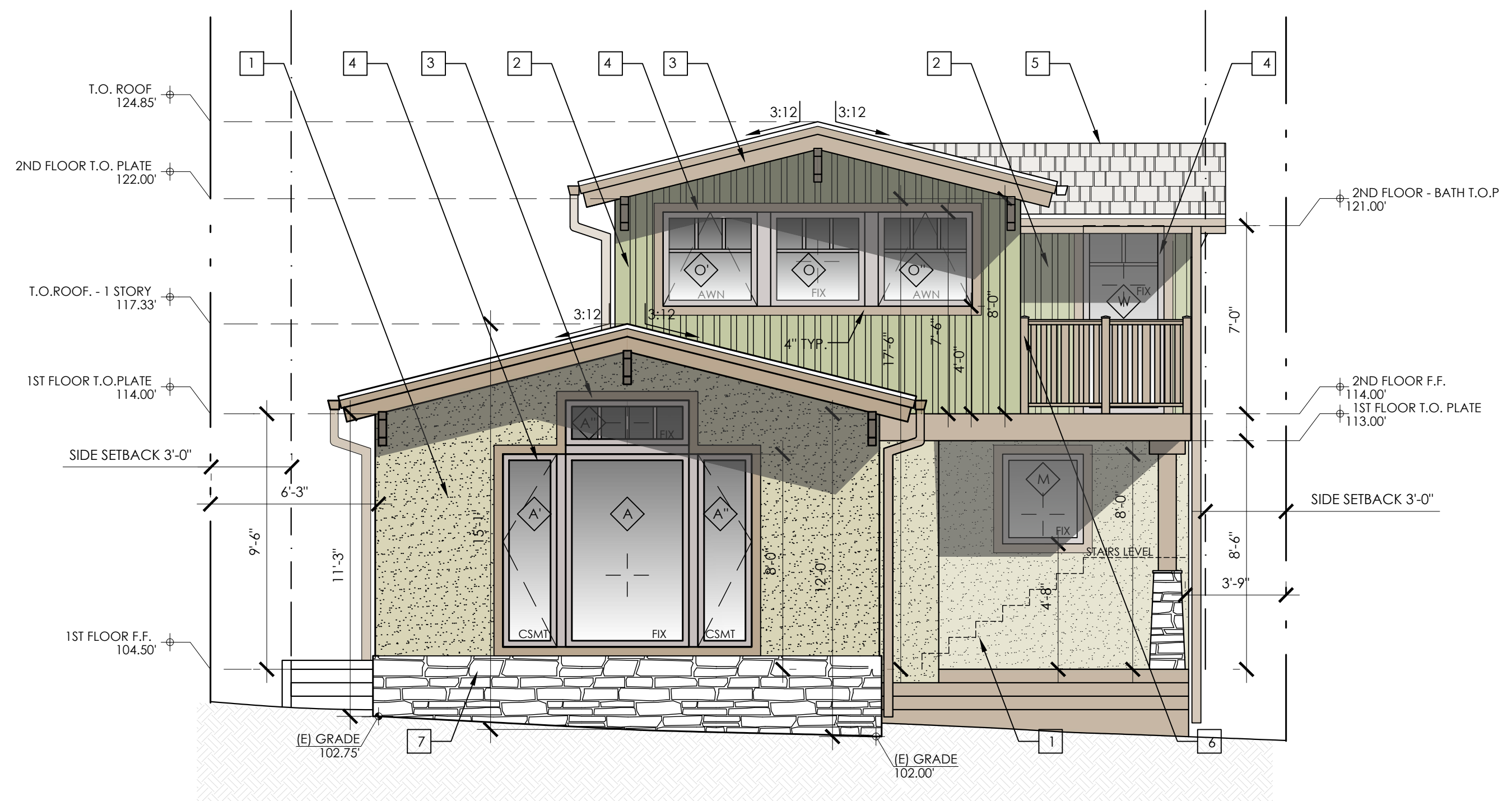
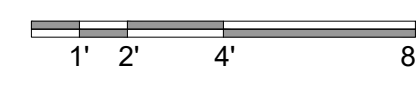
4 EXISTING NORTH (SIDE) ELEVATION  
SCALE: 1/4" = 1'-0"



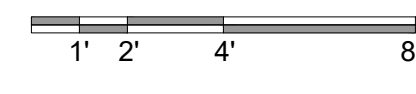




1 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST (FRONT) ELEVATION  
SCALE: 1/4" = 1'-0"



### KEYNOTES

1	STUCCO
2	OLIVE GRAY PPG1027-4
3	VERTICAL WOOD; BOARD AND BATTEN
4	RATTAN PALM PPG1027-5
5	WINDOWS WOOD TRIM & FASCIA
6	CONVERSATION PPG1027-6
7	DOOR AND WINDOWS SIERRA PACIFIC, DIVIDED LITES.
8	COLOR STAY COLLECTION - GULL GRAY 007
9	COMPOSITE SHINGLE ROOF
10	CERTAINTED PRESIDENTIAL SHAKE TL - AUTUMN BLEND
11	DECK RAILING
12	WOOD RAILING - PAINTED.
13	STONE VENEER
14	SBI MATERIALS - LIBERTY HILL COLLECTION - LEDGESTONE
15	LIGHT FIXTURE
16	LIGHTOLOGY - HARBOR 12V OUTDOOR WALL SCONCE

ADAM JESELNICK  
ARCHITECT



**METCALF RESIDENCE**  
TORRES STREET 4 SE OF 4TH AVE,  
CARMEL-BY-THE-SEA CALIFORNIA 93921

PROPOSED  
ELEVATIONS

8/30/2023

1/4" = 1'-0"

A9









1 EXISTING STREETSCAPE ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED STREETSCAPE ELEVATION  
SCALE: 1/4" = 1'-0"



1

PROPOSED WINDOW SCHEDULE

METCALF RESIDENCE WINDOW SCHEDULE						
REVISION	TYPE / LETTER	SIZE [WIDTH x HEIGHT]	R.O.	MATERIAL	TYPE	NUMBERED NOTES / REMARKS
		FIRST FLOOR				
	A	4'-7" x 7'-2"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	A'	2'-0" x 7'-2"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	A''	2'-0" x 7'-2"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	A'''	4'-7" x 1'-8"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	B	2'-0" x 4'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	C	2'-0" x 4'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	D	6'-0" x 4'-6"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	E	2'-0" x 4'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	F	2'-1" x 4'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	G	2'-1" x 4'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	H	4'-6" x 5'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	I	4'-2" x 5'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	J	4'-0" x 4'-0"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	K	2'-6" x 4'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	L	NOT USED				
	M	3'-0" x 3'-4"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	N	3'-6" X 6'-6"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	N'	3'-6" X 6'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	N''	3'-6" X 6'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
		SECOND FLOOR				
	O	3'-6" x 3'-6"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	O'	3'-6" x 3'-6"		UN-CLAD WOOD	AWNING	DUAL GLAZED
	O''	3'-6" x 3'-6"		UN-CLAD WOOD	AWNING	DUAL GLAZED
	P	2'-1" x 3'-4"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	Q	2'-1" x 3'-4"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	R	2'-1" x 3'-4"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	S	4'-6" x 4'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	T	4'-2" x 4'-0"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	U	2'-6" x 2'-4"		UN-CLAD WOOD	AWNING	DUAL GLAZED
	V	4'-0" x 4'-6"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	W	3'-0" x 7'-0"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	X	2'-0" x 2'-0"		UN-CLAD WOOD	FIXED S.L.	DUAL GLAZED

2

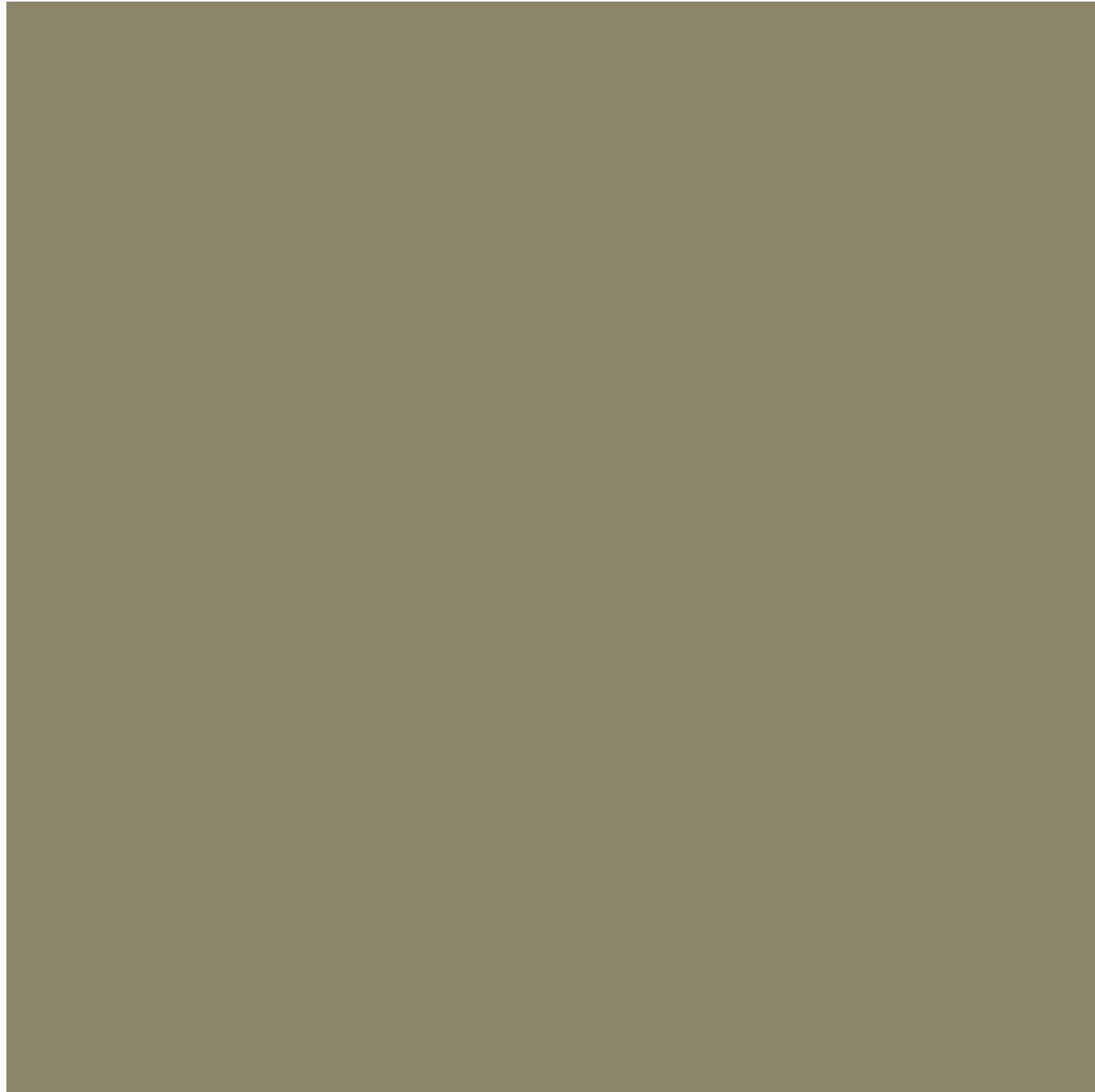
PROPOSED DOOR SCHEDULE

METCALF RESIDENCE DOOR SCHEDULE						
			DOOR TYPE	THICKNESS	HAND	H.W. TYPE
		1ST FLOOR				
	101	3'-0" X 8'-0" + 3'-0" X 8'-0" SIDE LITE	1	2"	LH	ENTRY FULL LITE GLASS DOOR + SIDE LITE
	102	3'-0" X 8'-0"	2	2"	LH	ENTRY DUTCH HALF LITE GLASS DOOR
	103	3'-0" X 7'-6"	2	2"	RH	ENTRY HALF LITE GLASS DUTCH DOOR
	104	2'-8" X 7'-6"	6	1 3/4"	LH	INTERIOR WOOD DOOR
	105	4'-0" X 7'-6" (2 DOORS)	6	1 3/4"	LHRH	CLOSET WOOD DOOR
	106	4'-0" X 7'-6" (2 DOORS)	6	1 3/4"	LHRH	CLOSET WOOD DOOR
	107	2'-0 1/2" X 7'-6"	7	1 3/4"	LH	POCKET DOOR
	108	2'-6" X 7'-6"	7	1 3/4"	RH	POCKET DOOR
	109	3'-0" X 7'-6"	7	1 3/4"	LH	POCKET DOOR
	110	2'-8" X 7'-6"	6	1 3/4"	RH	CLOSET WOOD DOOR
		2ND FLOOR				
	201	2'-9" X 7'-0"	6	1 3/4"	RH	INTERIOR WOOD DOOR
	202	2'-6" X 7'-0"	7	1 3/4"	LH	POCKET DOOR
	203	2'-2" X 7'-0"	6	1 3/4"	LH	INTERIOR WOOD DOOR
	204	2'-9" X 7'-0"	6	1 3/4"	RH	INTERIOR WOOD DOOR
	205	2'-6" X 7'-0"	6	1 3/4"	RH	INTERIOR WOOD DOOR
	206	2'-6" X 7'-0"	6	1 3/4"	RH	CLOSET WOOD DOOR
	207	2'-2" X 7'-0"	6	1 3/4"	LH	CLOSET WOOD DOOR
	208	3'-0" X 7'-0"	1	2"	LH	ENTRY FULL LITE GLASS DOOR
		DOOR TYPE LEGEND				HARDWARE TYPE LEGEND
	TYPE 1	ENTRY DOOR, FULL LITE GLASS. WOOD				TYPE 1: --,
	TYPE 2	ENTRY DOOR, DUTCH DOOR 1/2 LITE WOOD				
	TYPE 3	EXTERIOR SLIDING DOORS.WOOD.				TYPE 2: --,
	TYPE 4	FRENCH DOORS. FULL LITE GLASS W/ SIDE LITES. WOOD.				TYPE 3: --,
	TYPE 5	FRENCH DOORS. FULL LITE GLASS. WOOD.				
	TYPE 6	INTERIOR HINGED MDF DOOR, PRIMED				
	TYPE 7	POCKET DOOR, MDF, PRIMED				
	TYPE 8	GLASS INTERIOR DOOR				
	TYPE 9	INTERIOR BARN DOOR				
	TYPE 10	GARAGE DOOR				
	TYPE 11	INTERIOR SLIDING DOORS				
	TYPE 12	ENTRY DOOR, HALF LITE GLASS. WOOD				
	TYPE 13	PARTITION DOOR				

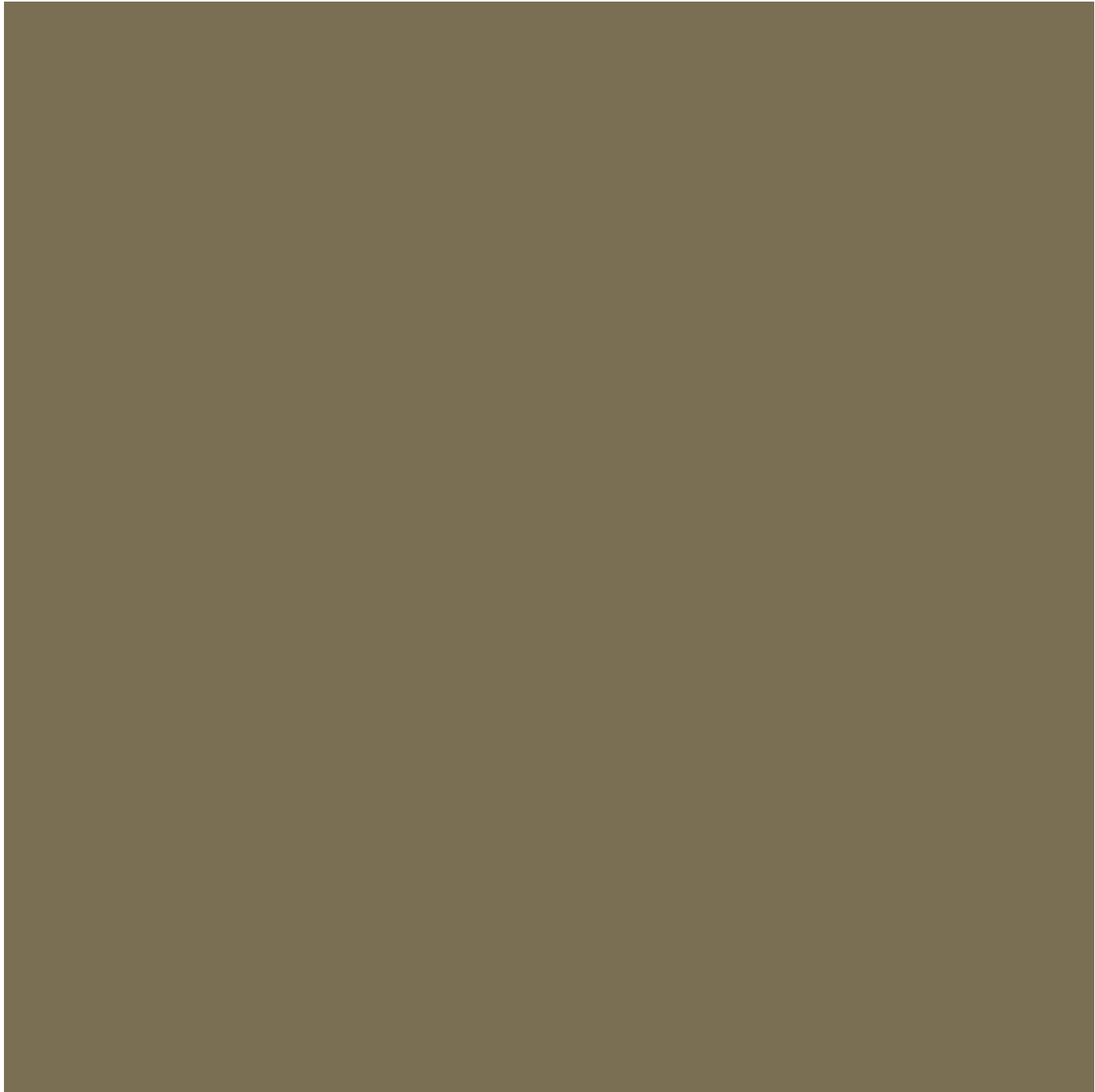




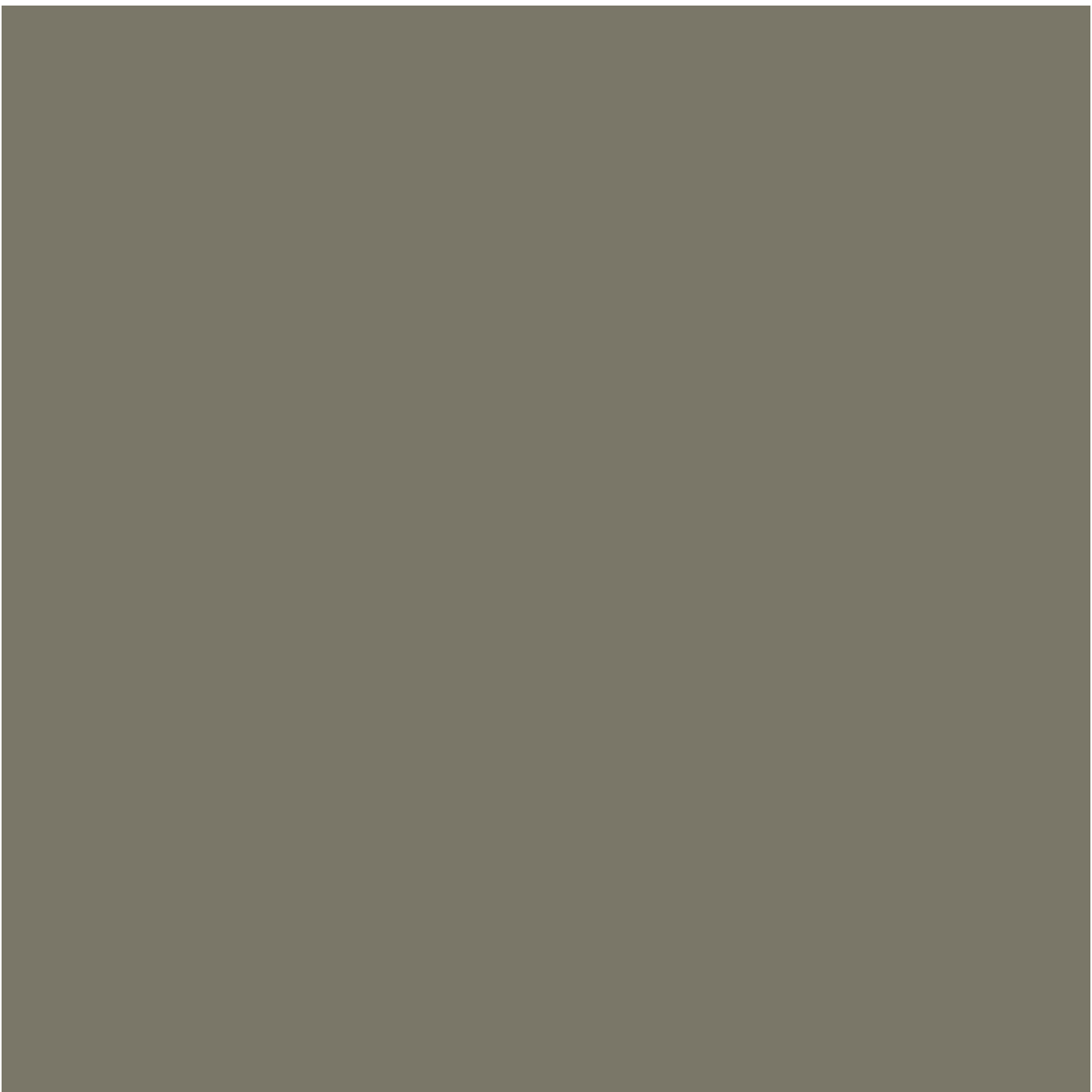
1 PROPOSED STUCCO (1ST FLOOR)  
OLIVE GRAY PPG1027-4



2 PROPOSED BOARD AND BATTEN (2ND FLOOR)  
RATTAN PALM PPG1027-5



3 PROPOSED WINDOWS WOOD TRIM  
CONVERSATION PPG1027-6



4 PROPOSED SIERRA PACIFIC WINDOWS  
COLOR GULL GRAY 007, DIVISION LITES



5 PROPOSED ROOF  
COMPOSITE SHINGLE ROOF - CERTAINTEED PRESIDENTIAL SHAKE TL - AUTUMN BLEND



6 PROPOSED STONE VENEER  
SBI MATERIALS - LIBERTY HILL COLLECTION - LEDGESTONE



6 PROPOSED LIGHT FIXTURE  
LIGHTOLOGY - HARBOR 12V OUTDOOR WALL SCONCE



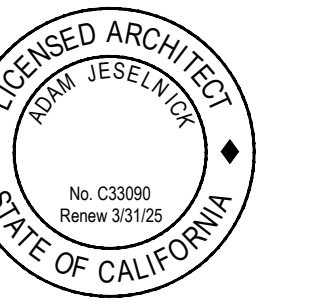


1 FRONT (WEST) AND SIDE (NORTH) FACADES



2 SIDE (NORTH) AND REAR (EAST) FACADES

ADAM JESELNICK  
ARCHITECT



**METCALF RESIDENCE**  
TORRES STREET 4 SE OF 4TH AVE,  
CARMEL-BY-THE-SEA CALIFORNIA 93921

RENDERING VIEWS

8/30/2023

N.T.S.

A14



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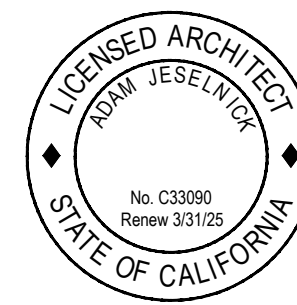


1 FRONT (WEST) AND SIDE (SOUTH) FACADES



2 SIDE (SOUTH) AND REAR (EAST) FACADES

ADAM JESELNICK  
ARCHITECT



**METCALF RESIDENCE**  
TORRES STREET 4 SE OF 4TH AVE,  
CARMEL-BY-THE-SEA CALIFORNIA 93921

RENDERING VIEWS

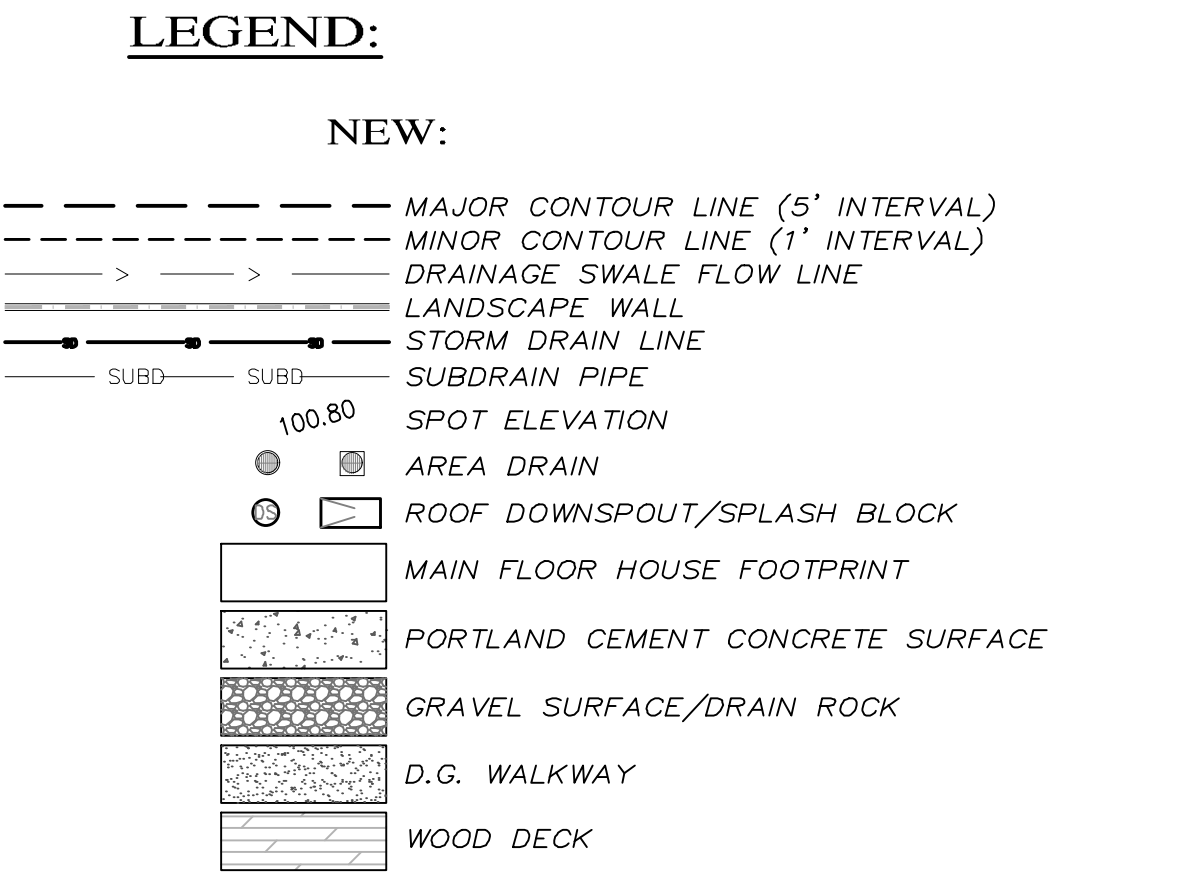
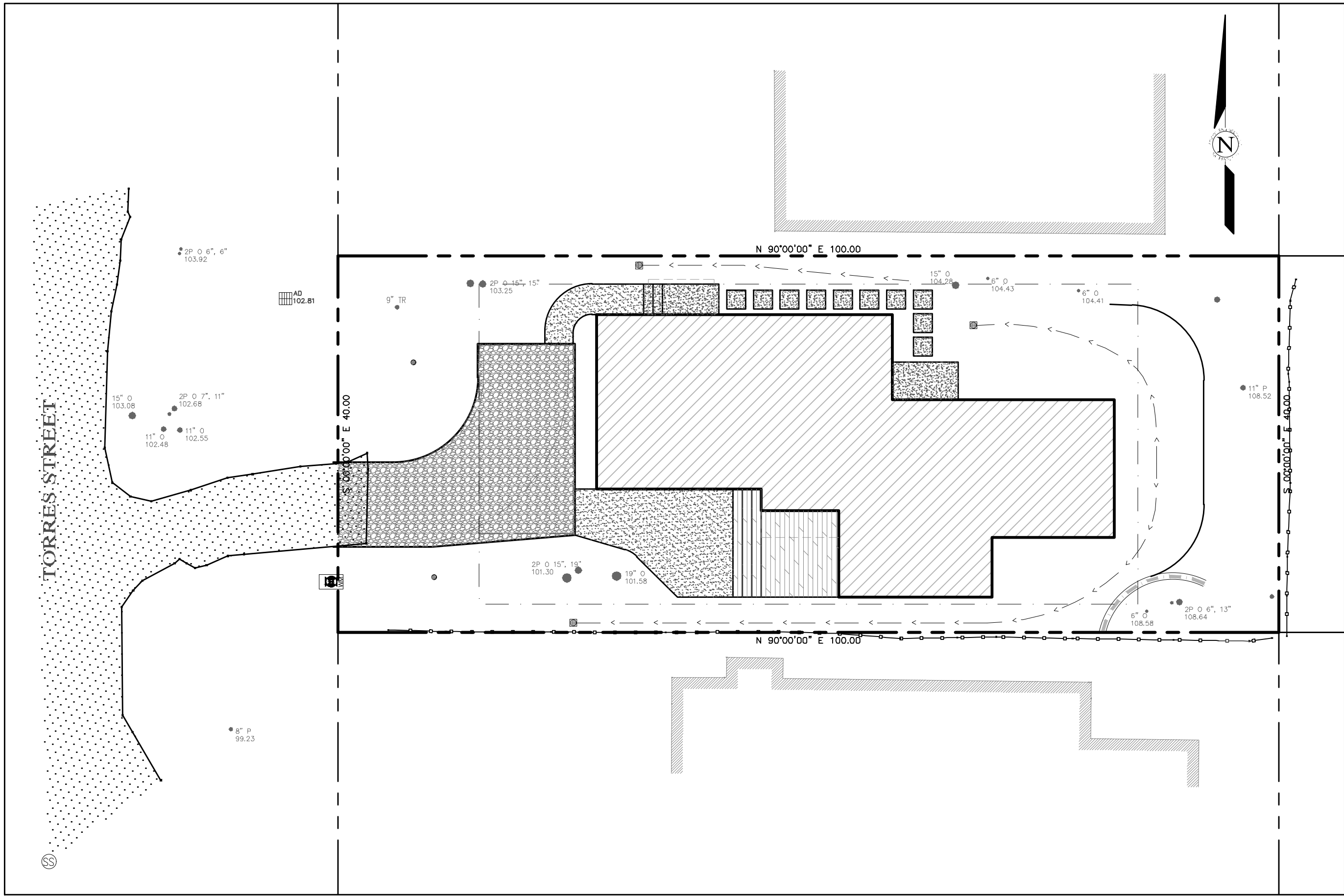
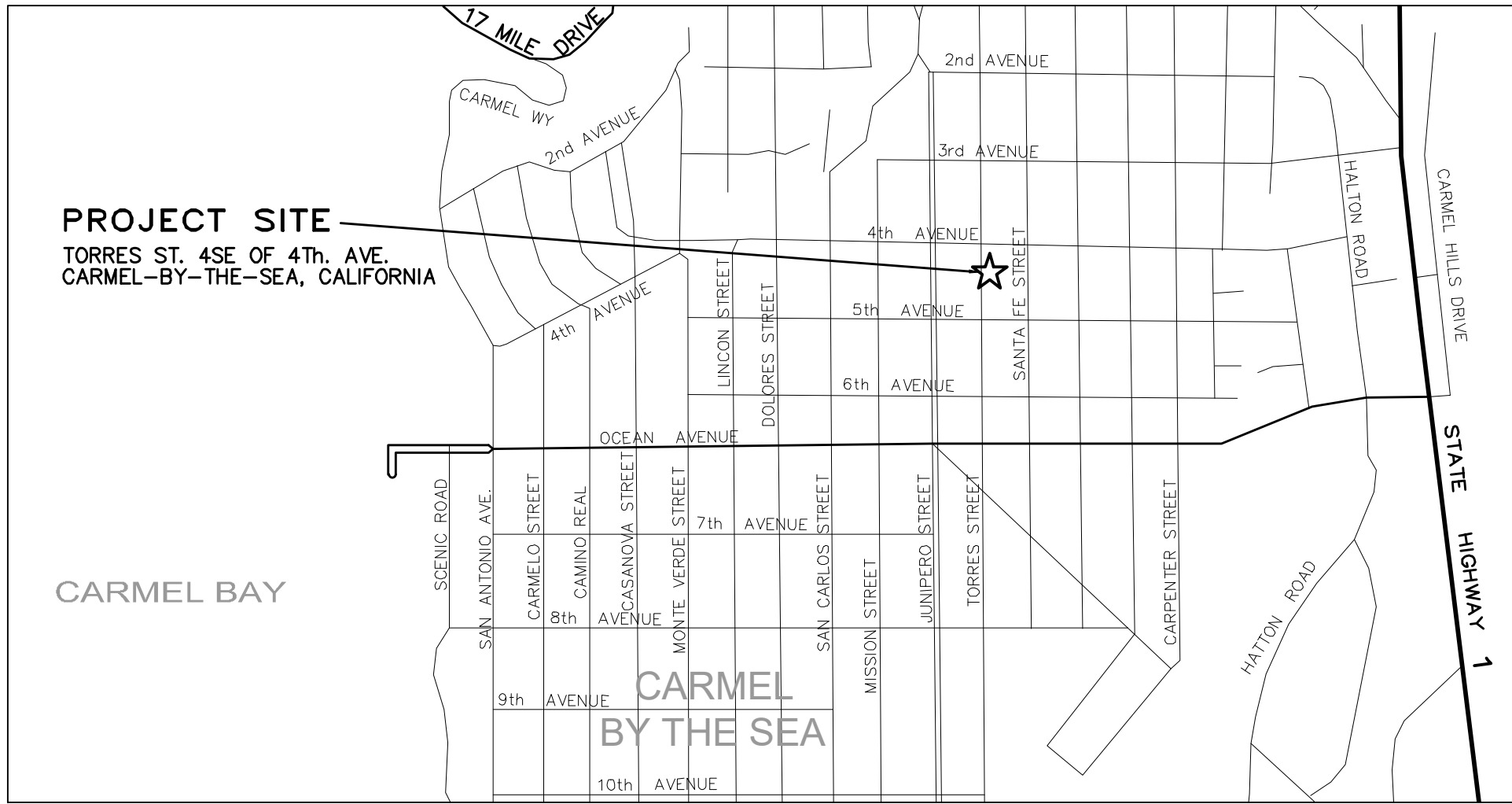
8/30/2023

N.T.S.

A15



GRADING, DRAINAGE & EROSION CONTROL PLAN  
OF  
METCALF RESIDENCE  
APN: 010-091-012  
CARMEL BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA



**GENERAL NOTES:**

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE METCALF RESIDENCE A2 PREPARED BY ADAM JESELNICK ARCHITECT, DATED 01/19/23, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC. ON AUGUST 26, 2021.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (08/23/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

**GRADING & DRAINAGE NOTES:**

- ALL GRADING SHALL CONFORM TO THE CITY OF CARMEL-BY-THE-SEA GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE 2019 CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 90 C.Y. OF CUT AND 5 C.Y. OF FILL WITH AN EXPORT OF 85 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SEPTIC STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE CITY OF CARMEL-BY-THE-SEA PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH SPLASH BLOCKS DRAINING INTO LANDSCAPE AREAS SAFELY AWAY FROM BUILDING FOUNDATIONS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF CATCH BASINS AND DRAINAGE SWALES OUTFLETING ONTO AN UNDERGROUND INFILTRATION SYSTEM.
- SUBSURFACE DRAINAGE FOR FOUNDATIONS SHALL BE COLLECTED AND PIPED TO SAID UNDERGROUND INFILTRATION SYSTEM.
- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. AREA DRAINS AND INFILTRATION SYSTEM SHALL BE "NDS" PRODUCTS, ROUND SPEE-D WITH SQUARE GRATE AND 24" ROUND FLO-WELL WITH 4" OVERFLOW GRATE OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.

- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF THE CITY OF CARMEL-BY-THE-SEA BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE CITY OF CARMEL-BY-THE-SEA PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

**STORM WATER CONTROL NOTES:**

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.
- THIS PROJECT WILL CREATE AND/OR REPLACE 1,180 SQ.FT. OF IMPERVIOUS AREA < 1,200 SQ.FT., THEREFORE, THIS PROJECT DO NOT REQUIRE ENGINEERING DESIGN (PRESCRIPTIVE PROJECT).
- THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: DISPERSE RUNOFF THROUGHOUT THE SITE AND CONVEY IT BY SWALES TO INFILTRATION SYSTEMS, MINIMIZE IMPERVIOUS SURFACES CREATING PAVEMENT DRIVEWAY AND WALKWAYS, MINIMIZE STORM WATER RUNOFF BY DIRECTING RUNOFF FROM DOWNSPOUTS VIA SPLASH BLOCKS, DRIVEWAY AND WALKWAYS ONTO LANDSCAPED AREAS AND SWALES SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH CALIFORNIA BUILDING CODE.

TOTAL LOT AREA = 4,000 SQ.FT.  
TOTAL IMPERVIOUS AREA = 1,180 SQ.FT.  
TOTAL SEMIPERVIOUS AREA = 539 SQ.FT.  
TOTAL AREA OF DISTURBANCE = 2,860 SQ.FT.

GRADING QUANTITIES:  
CUT = 90 C.Y.  
FILL = 5 C.Y.  
NET = 85 C.Y. EXPORT

**ABBREVIATIONS:**

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	(N)	NEW
BLDG	BUILDING	NO	NUMBER
BROD	BOUNDARY	NTS	NOT TO SCALE
BOT	BOTTOM	O.C.	ON CENTER
CB	CATCH BASIN	P	PROPERTY LINE
CL C/L	CENTERLINE	PUE	PUBLIC UTILITIES EASEMENT
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R RAD	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
ELEV EL	ELEVATION	R/C	RELATIVE COMPACTION
EP	EDGE OF PAVEMENT	RCP	REINFORCED CONCRETE PIPE
EX (E)	EXISTING	REL	RELATIVE
FC	FACE OF CURB	RET WALL	RETAINING WALL
FD	FACE OF DIKE	S	SLOPE
FF	FINISHED FLOOR	SD	STORM DRAIN
FG	FINISHED GRADE	SHO	SHOULDER
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FD	FIRE HYDRANT	SS LAT	SANITARY SEWER LATERAL
FL F/C	FACE OF CURB	SSMH	SANITARY SEWER MANHOLE
FL F/L	FACE OF WALL	SIA	SIDEWALK
FP	FINISHED PAD	S/W	SIDEWALK
FW	FACE OF WALL	TC T/C	TOP OF CURB
GB	GRADE BREAK	TD	TOP OF DIKE
GR	GRATE	TW	TOP OF WALL
HDP	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
HP	HIGH POINT	UP	UTILITY POLE
LF	LINEAR FEET	W	WATER
LP	LOW POINT	WS	WATER SERVICE
MAX	MAXIMUM		

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

**GEOTECHNICAL INSPECTION SCHEDULE**

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Baseroack subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

**INDEX TO SHEETS**

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	GRADING SECTIONS, STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C5	EROSION & SEDIMENT CONTROL PLAN
SHEET C6	CONSTRUCTION MANAGEMENT PLAN

**CONTACT INFORMATION:**

**PRIMARY: OWNER**  
MR. & MRS. GARY & NANCY METCALF  
35940 S. JOSHUA PL.  
WICKENBURG, AZ 85390

**SECONDARY: ARCHITECT**  
ADAM JESELNICK ARCHITECT  
ATTN: MR. ADAM JESELNICK  
24398 PORTOLA AVENUE  
CARMEL, CA 93923  
PH: (831) 620-5164

**SITE LOCATION:**  
TORRES ST. 4 SE OF 4TH. AVE.  
CARMEL-BY-THE-SEA, CA 93923

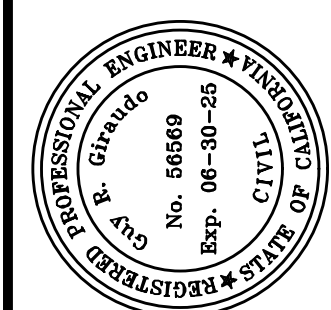
No.	DATE	BY	REVISION
09/07/23	AMS		PER SITE PLAN UPDATE
04/11/23	AMS		C.O.C.-PUBLIC WORKS PLAN REVIEW
02/02/23	AMS		RELEASED TO CLIENT

SHEET **C1**  
OF 6 SHEETS

GRADING, DRAINAGE & EROSION CONTROL PLAN

METCALF RESIDENCE  
A.P.N.: 010-091-012  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
FOR MR. GARY METCALF

" COVER SHEET "



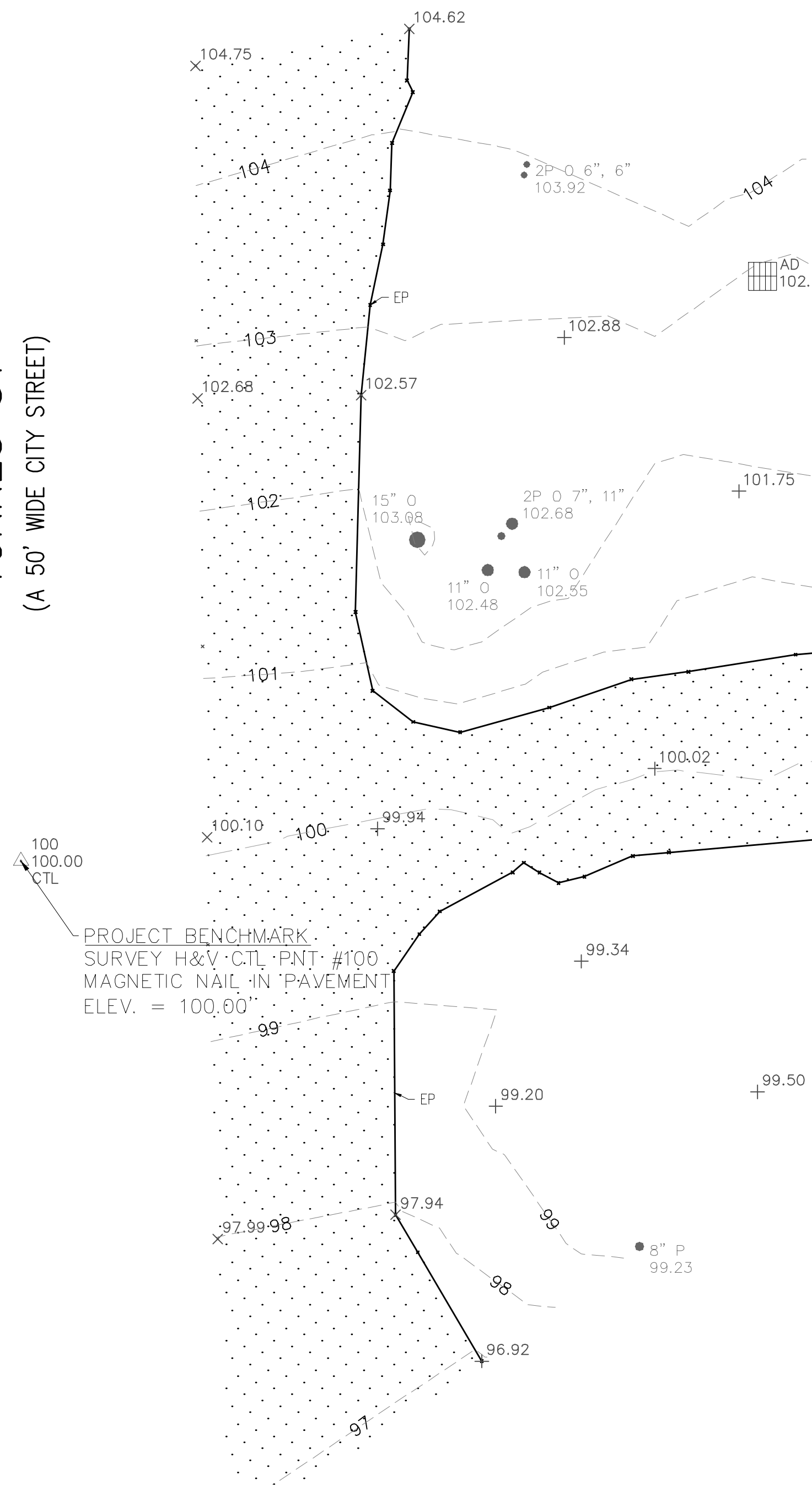
APPROVED BY:

GUY R. GIRALDO  
9723





TORRES ST  
(A 50' WIDE CITY STREET)



PROJECT BENCHMARK  
SURVEY H&V CTL PNT #100  
MAGNETIC NAIL IN PAVEMENT  
ELEV. = 100.00'

LEGEND:

	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	ORIGINAL PROPERTY BOUNDARY
	EASEMENT (TYPE AS SHOWN)
	ROADWAY CENTERLINE
	MAJOR CONTOUR LINE (5' INTERVAL)
	MINOR CONTOUR LINE (1' INTERVAL)
	FENCE (TYPE AS MARKED)
	ASPHALT CONCRETE
	PORTLAND CEMENT CONCRETE
	WOOD
	PAVERS
	NATURAL GROUND SURFACE/ LANDSCAPED AREA

	CONDUIT
	PIPE
	CLEANOUT
	DOWNSPOUT
	HOSEBIB
	WATER SERVICE
	IRRIGATION BOX
	IRRIGATION CONTROL VALVE
	WATER VALVE
	DRAIN LINE
	STREET LIGHT
	GAS LINE
	TELEPHONE SERVICE
	UNKNOWN UTILITY
	FUSE BOX
	ELECTRICAL OUTLET
	UTILITY POLE
	GUY WIRE
	TELEPHONE BOX
	AREA DRAIN
	HYDRANT
	SIGN

	GAS METER
	WATER METER
	PG&E BOX
	UTILITY HUB
	ELECTRICAL HUB
	ELECTRICAL PANEL
	ELECTRICAL METER
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	PGE GAS MANHOLE
	ELECTRICAL MANHOLE

	FOUND MONUMENT - TYPE NOTED
	SURVEY H&V CONTROL POINT
	SPOT ELEVATION
	RIDGELINE
	FINISHED FLOOR
	THRESHOLD
	TREE (TYPE AND SIZE AS MARKED) CENTER OF SYMBOL IS APPROX.
	TWO-PRONGED TREE (2P)
	THREE-PRONGED TREE (3P)
	MULTIPRONGED TREE (MP)
	CE = CEDAR PA = PALM
	CW = COTTON WOOD PE = PEPPER
	CYP = CYPRESS P = PINE
	E = EUCALYPTUS R = REDWOOD
	H = HOLLY TR = TREE
	O = OAK W = WILLOW

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED APPROXIMATELY 7.9' NORTHERLY AND 40.6' WESTERLY OF THE SOUTHWESTERLY CORNER OF LOT 10 IN BLOCK 47, ELEVATION = 100.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE, AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (08/23/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

No.	DATE	BY	REVISION
09/07/23	AMS	PER SITE PLAN UPDATE	
04/11/23	AMS	C.O.C.-PUBLIC WORKS PLAN REVIEW	
02/02/23	AMS	RELEASED TO CLIENT	

SHEET	C2
OF	6 SHEETS

TOPOGRAPHIC MAP/EXISTING CONDITIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

METCALF RESIDENCE

MR. GARY METCALF

A.P.N.: 010-091-012

FOR

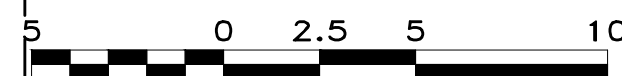
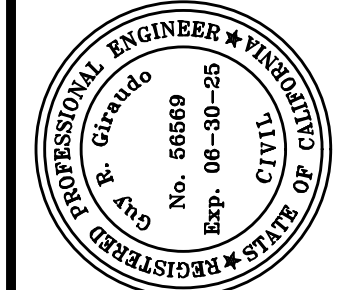
CARMEL-BY-SEA, MONTEREY COUNTY, CALIFORNIA



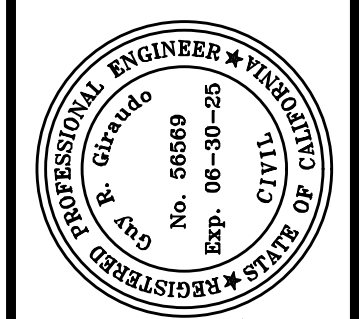
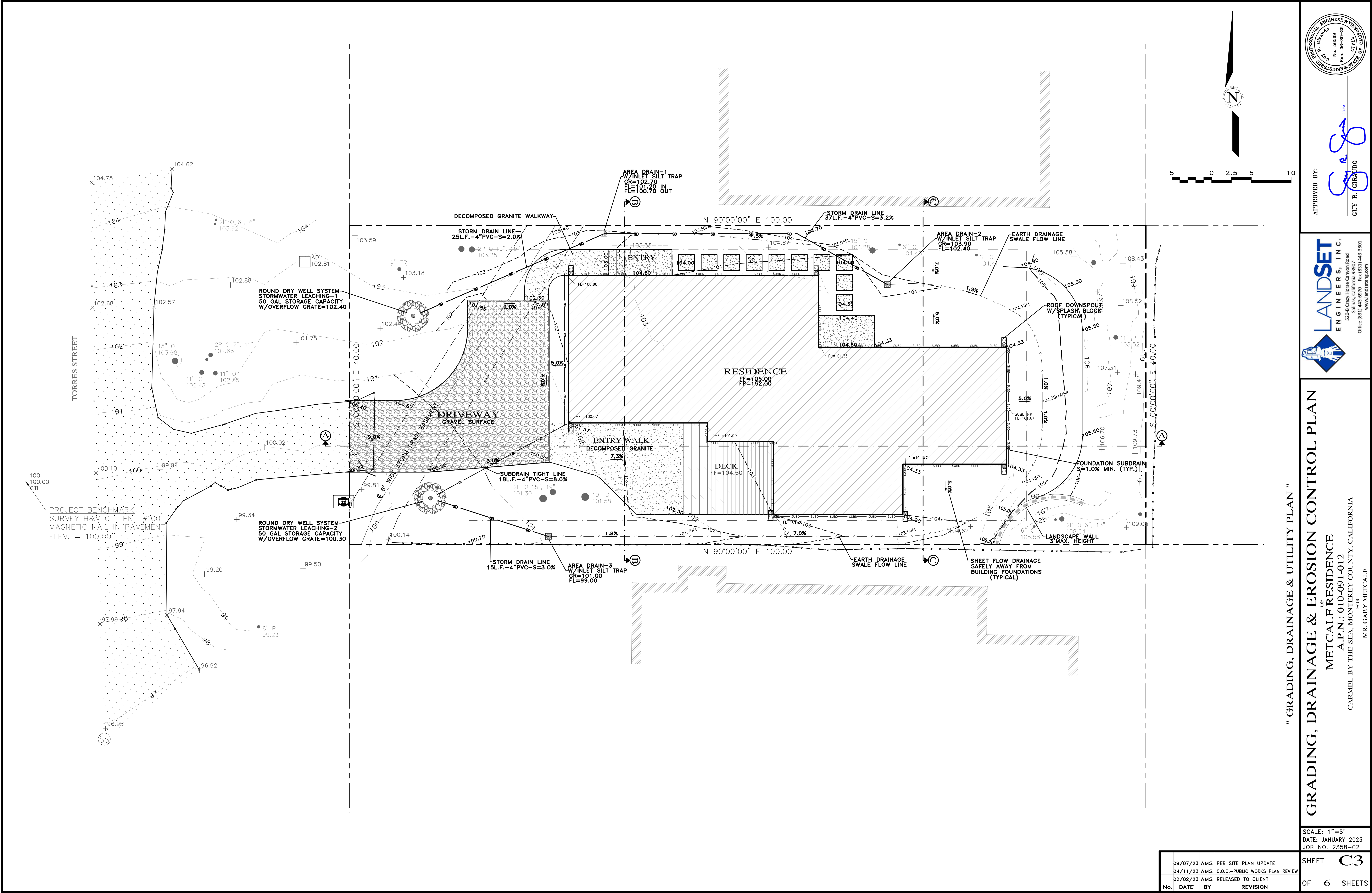
520-B Crazy Horse Canyon Road  
San Jose, California 95128  
Office (831) 443-6000  
www.landseteng.com

APPROVED BY:

GUY R. GIRAUDO







APPROVED BY:  
  
GUY E. GIRARDO



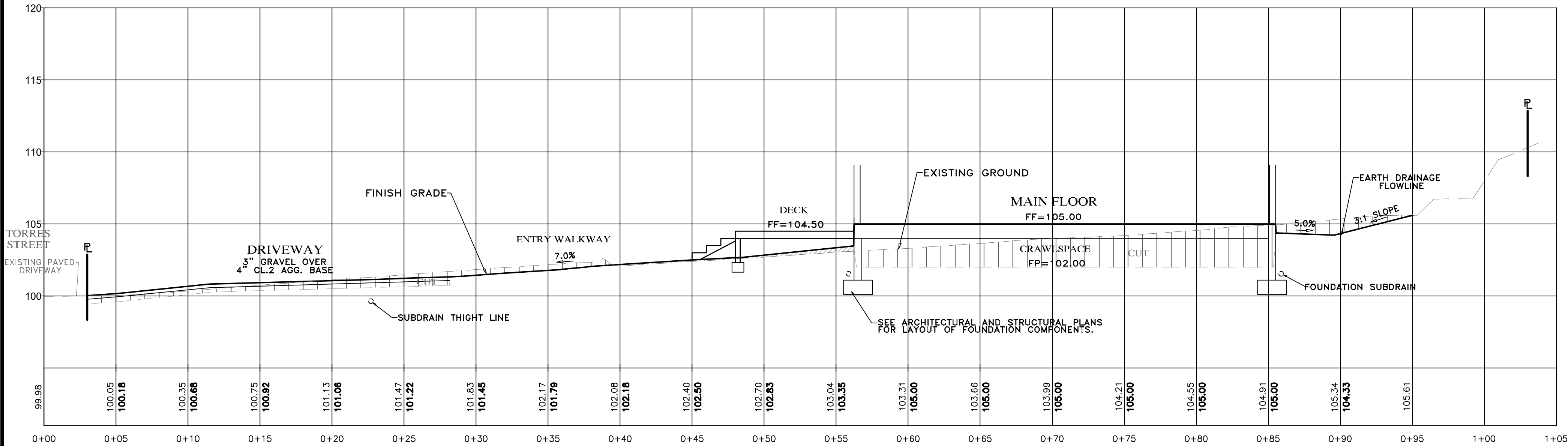
" GRADING, DRAINAGE & UTILITY PLAN "

**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
OF  
**METCALF RESIDENCE**  
A.P.N.: 010-091-012  
FOR  
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA  
MR. GARY METCALF

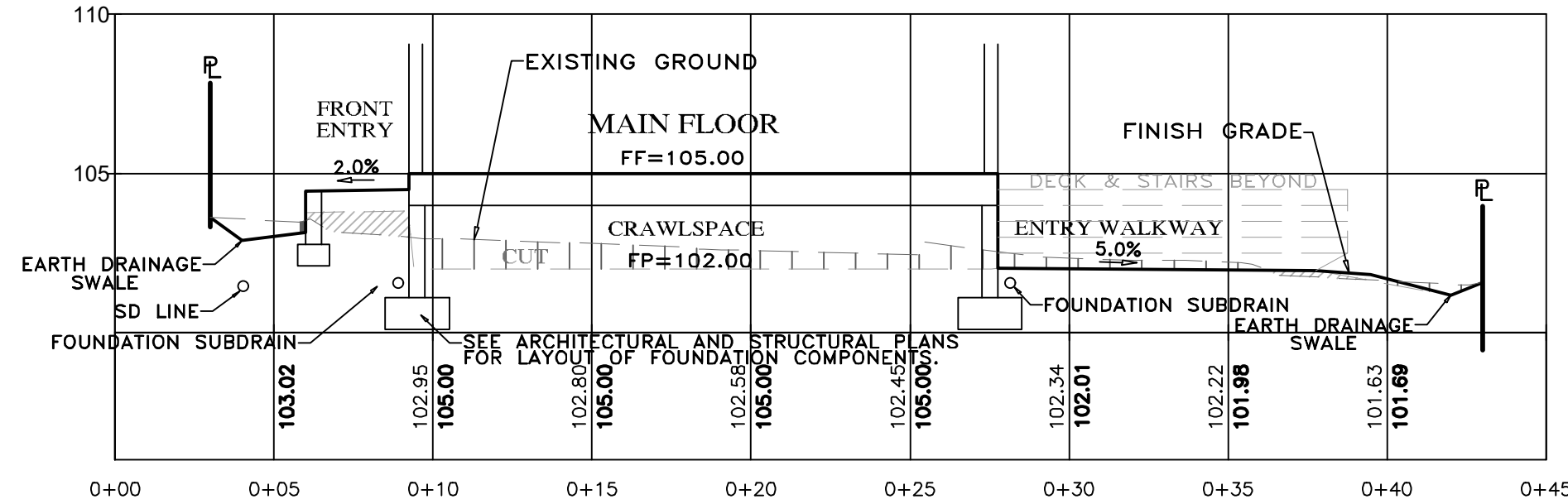
SCALE: 1"=5'			
DATE: JANUARY 2023			
JOB NO. 2358-02			
SHEET <b>C3</b>			
OF 6 SHEETS			

No.	DATE	BY	REVISION
09/07/23	AMS	PER SITE PLAN UPDATE	
04/11/23	AMS	C.O.C.-PUBLIC WORKS PLAN REVIEW	
02/02/23	AMS	RELEASED TO CLIENT	

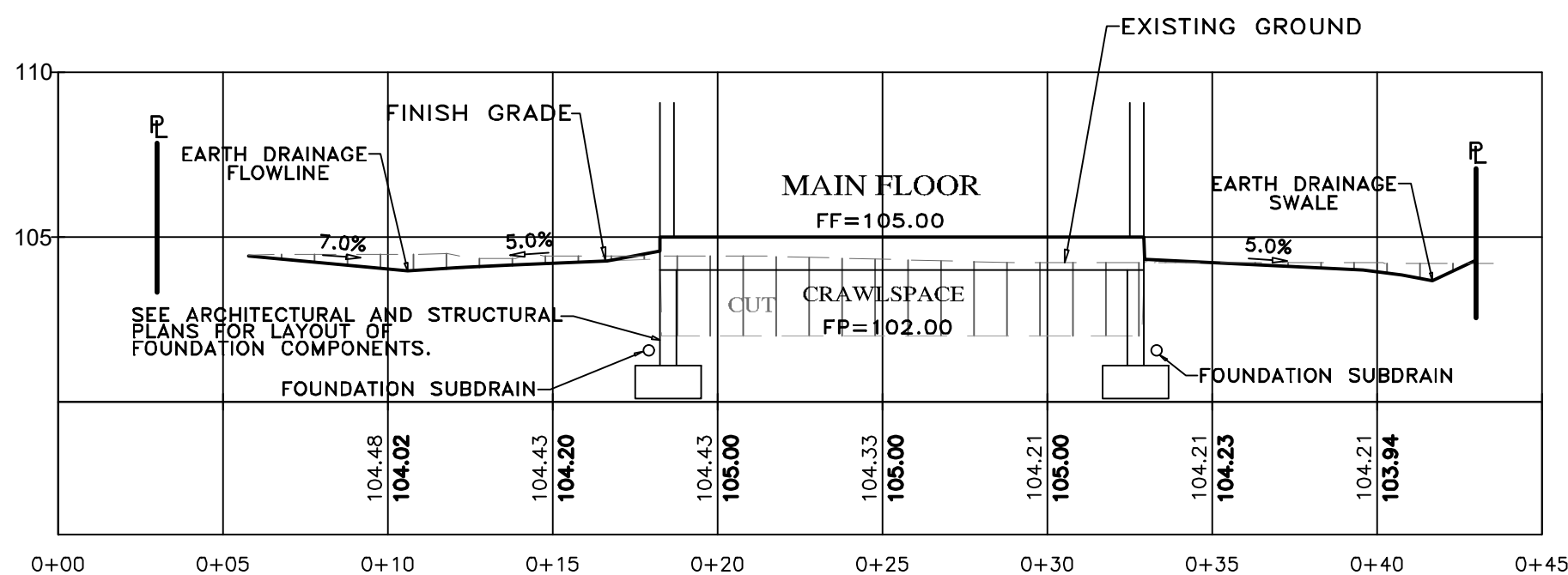




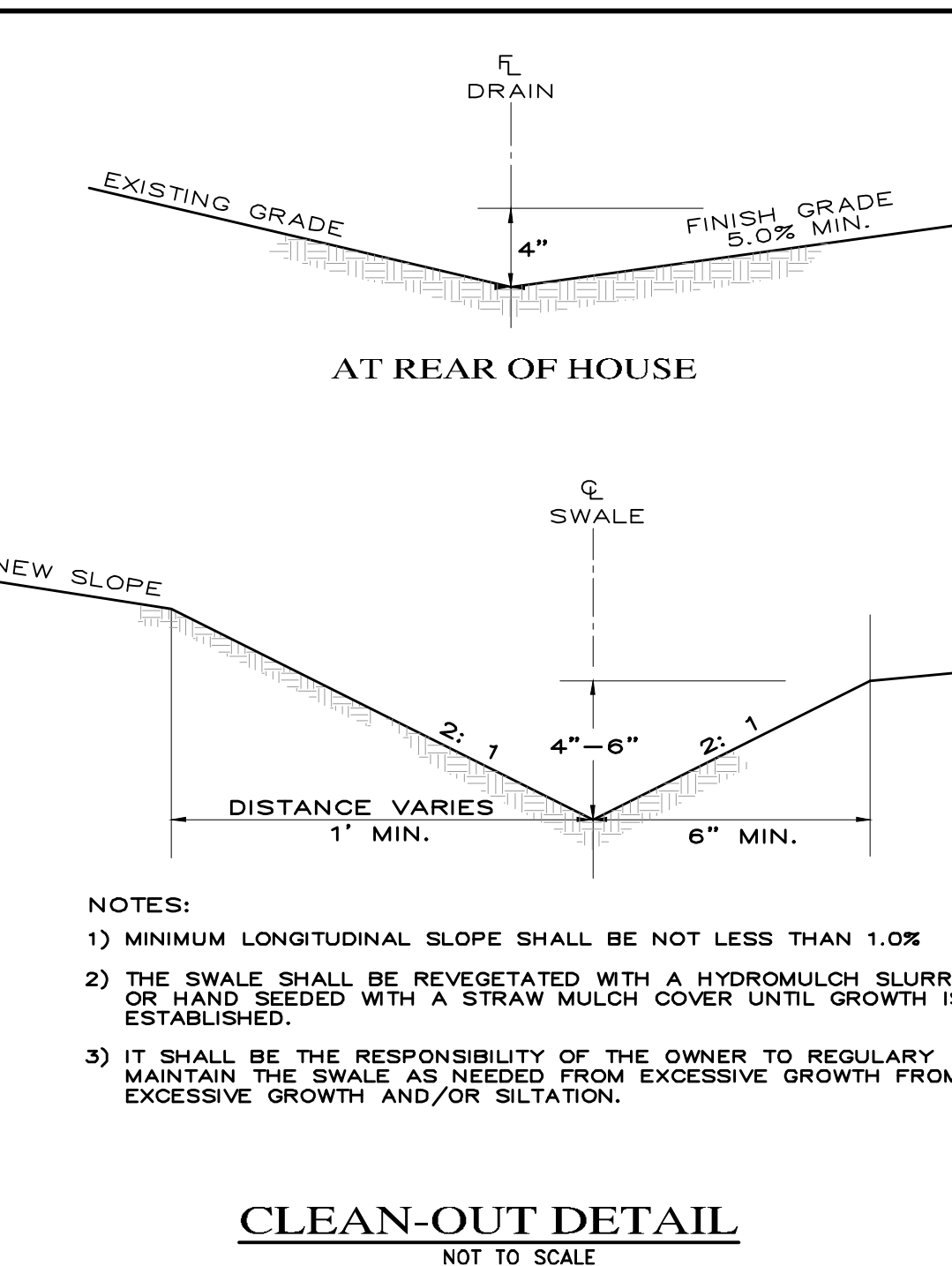
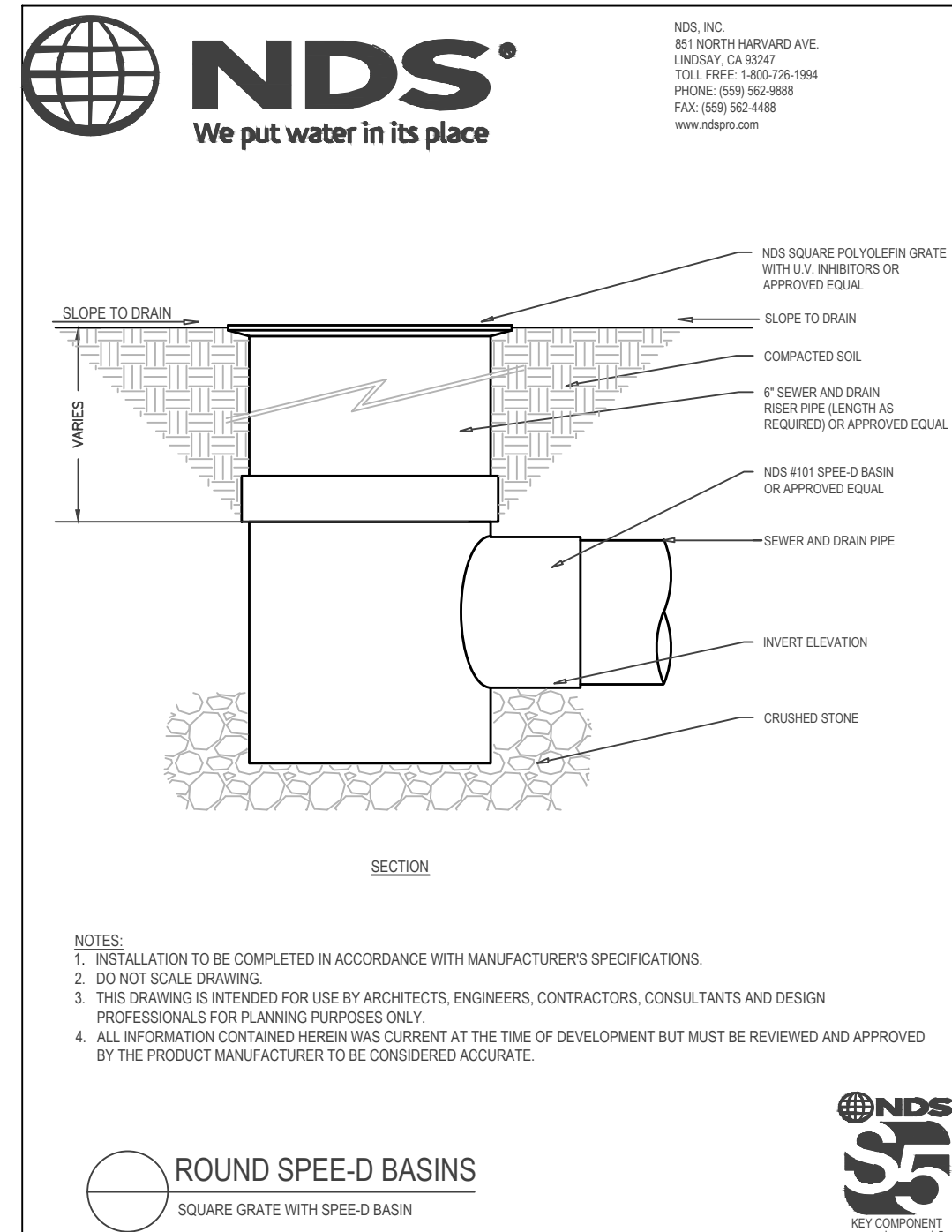
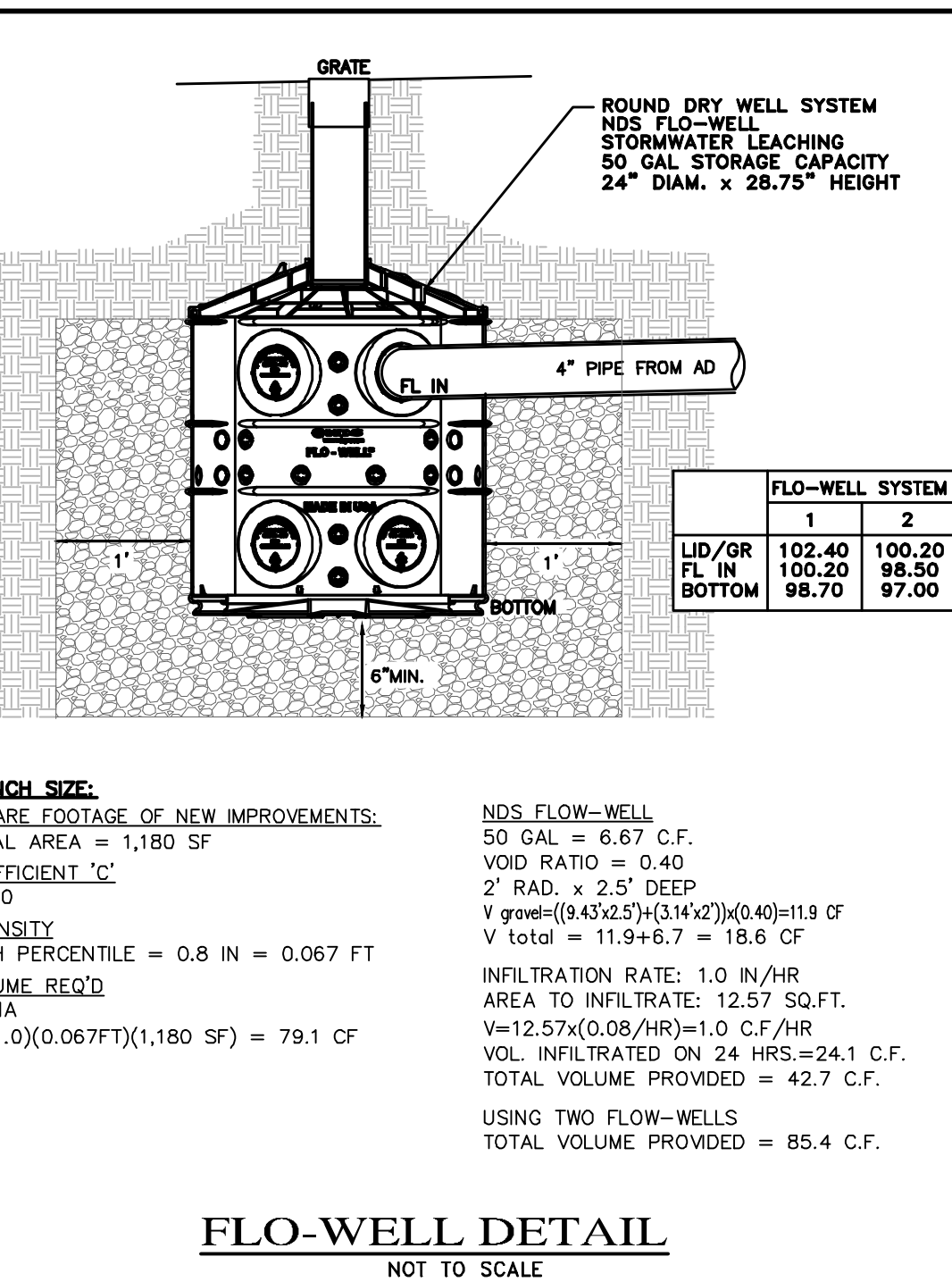
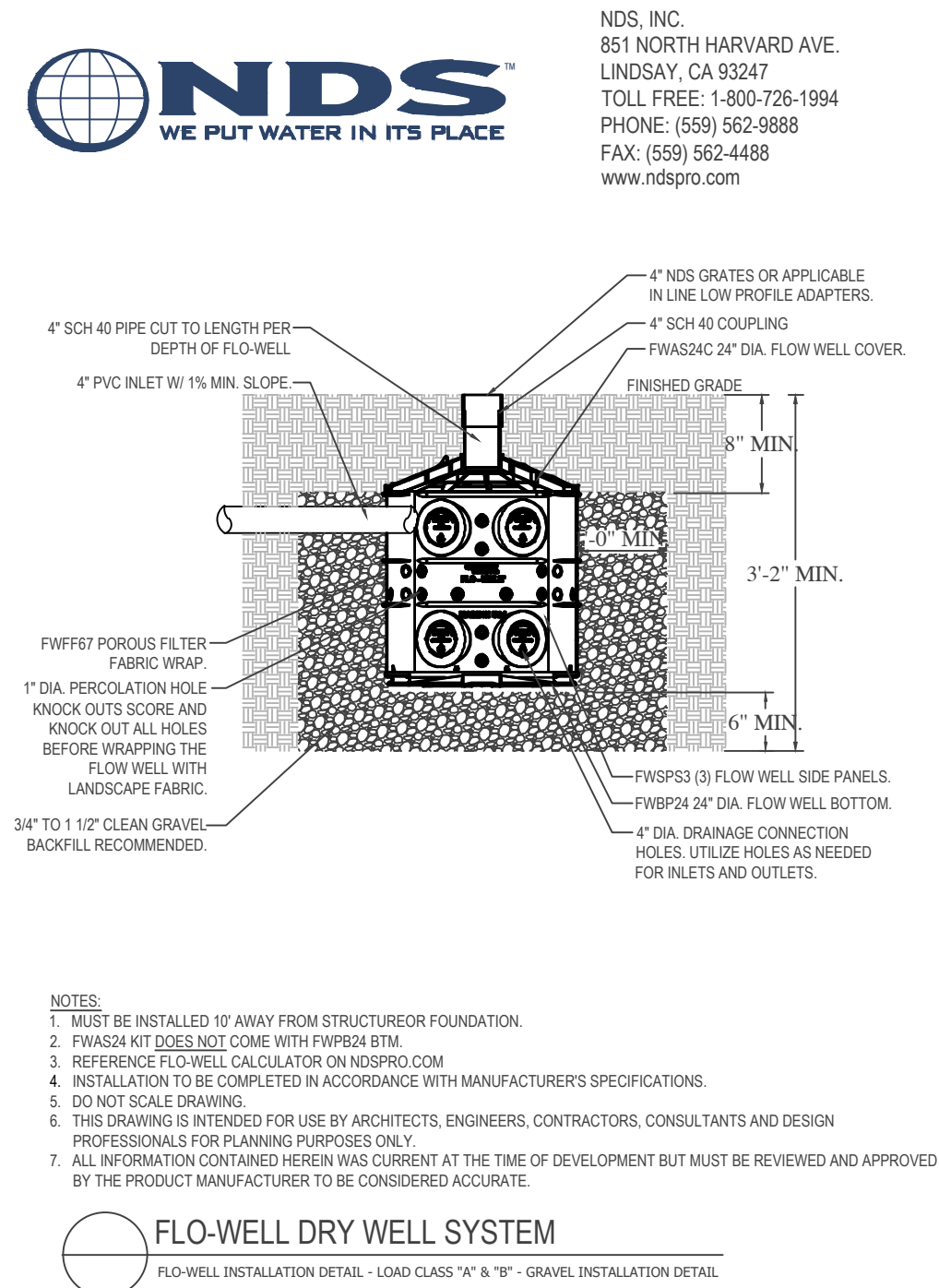
SECTION A-A  
SCALE: 1"=5' H&V



SECTION B-B  
SCALE: 1"=5' H&V



SECTION C-C  
SCALE: 1"=5' H&V



**FLEXSTORM**

**INLET SILT TRAP**  
NOT TO SCALE

**TYPICAL DRIVEWAY SECTION**  
NOT TO SCALE

**DRAIN BOX**  
No. V01BOX  
34 lbs.

**REINFORCED CONCRETE LID**  
No. F08R  
8 lbs.

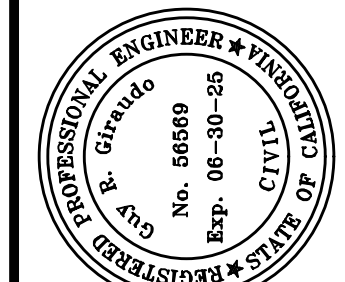
**Ordering Code**

Code	Item	Approx. Shipping Weight	Description
F08BOX	BOX	34	V01 Drain Box (8" I.D. x 12") - 48 per pallet
F08R	LID	8	Reinforced concrete lid with plastic ring
F08C	LID	8	Cast iron
V01-71C	GRATE	12	Cast iron

**Oldcastle Precast®**  
Enclosure Solutions

**V01 BOX (STANDARD)**  
FILE NAME: V01\_50

**V01 DRAIN BOX**  
8" I.D. x 12"



APPROVED BY:  
  
GUY R. GIRARDO



" GRADING SECTIONS, STANDARD PLANS & CONSTRUCTION DETAILS "

**GRADING, DRAINAGE & EROSION CONTROL PLAN**

OF  
**METCALF RESIDENCE**

A.P.N.: 010-091-012

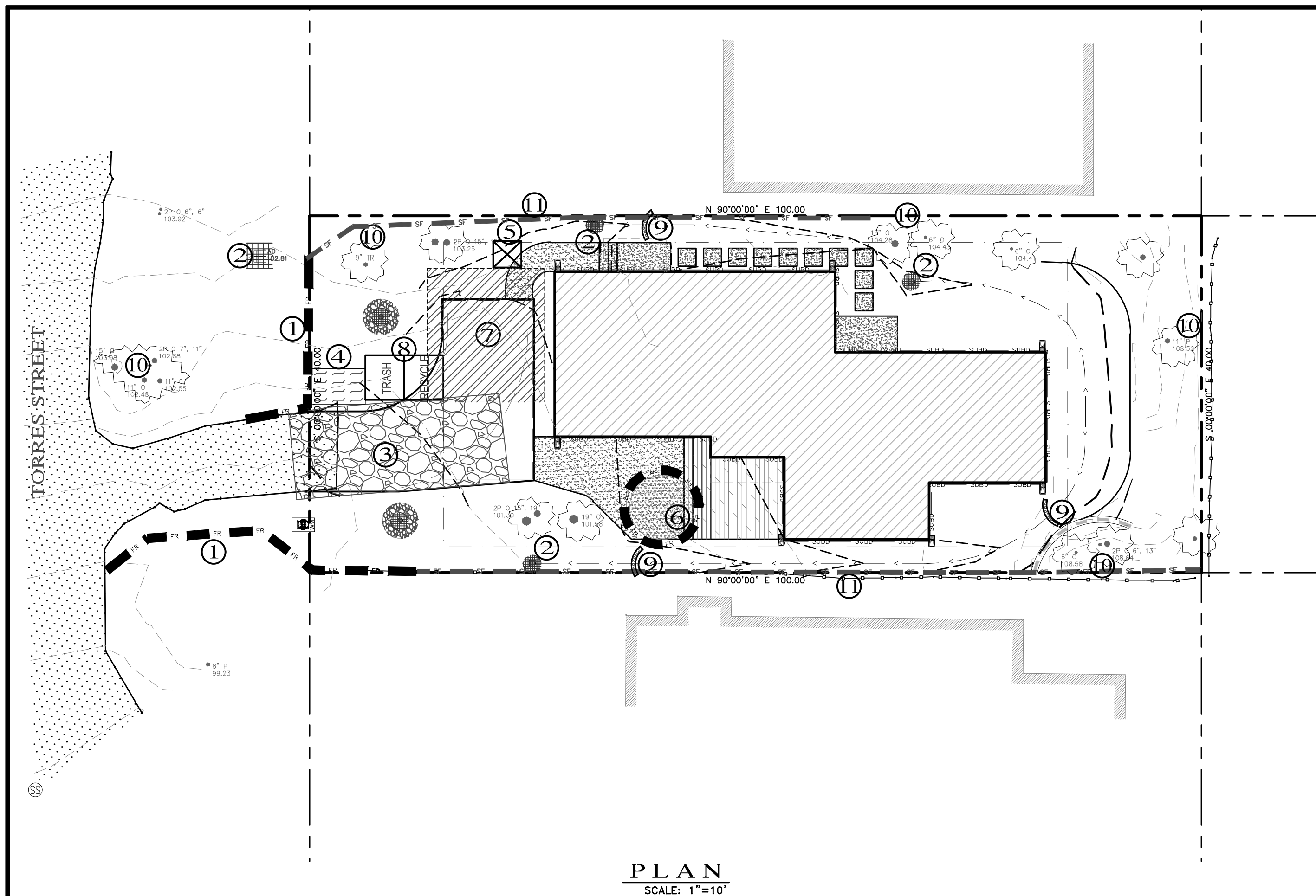
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

FOR  
MR. GARY METCALF

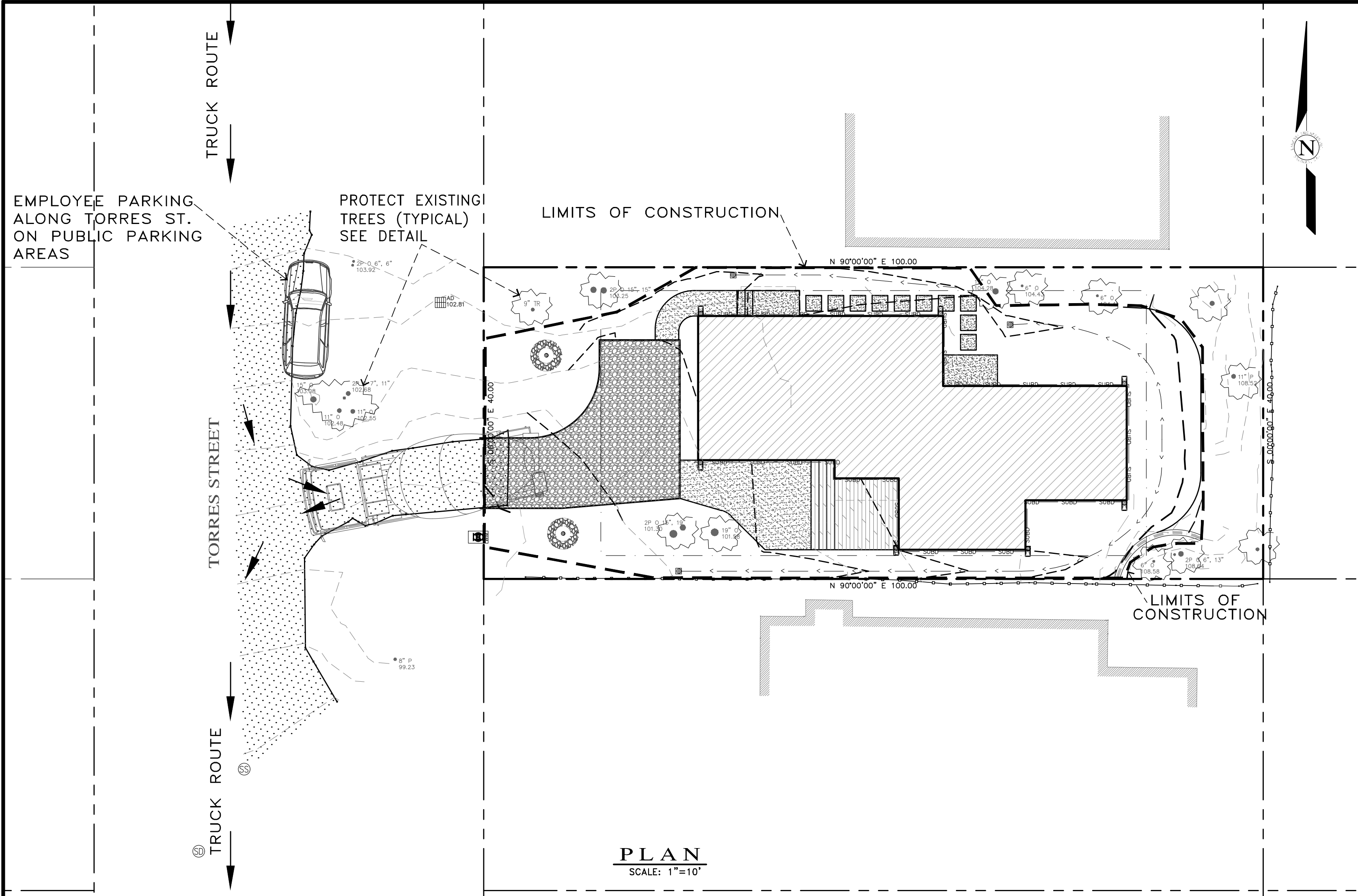
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DATE: JANUARY 2023			
JOB NO. 2358-02			
No.	DATE	BY	REVISION
09/07/23	AMS	PER SITE PLAN UPDATE	
04/11/23	AMS	C.O.C.-PUBLIC WORKS PLAN UPDATE	
02/02/23	AMS	RELEASED TO CLIENT	

SHEET **C4**  
OF 6 SHEETS

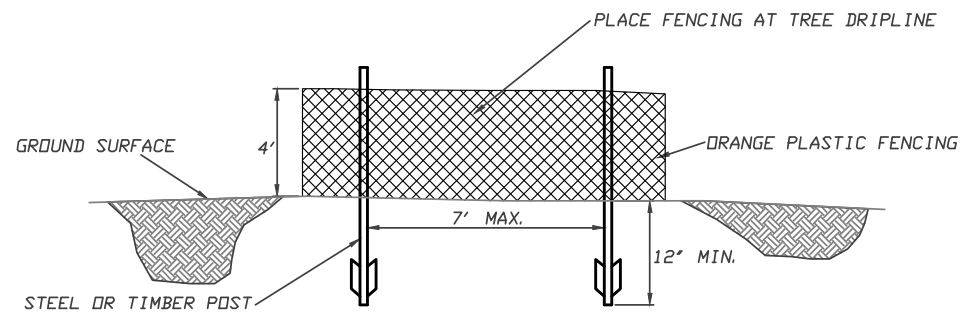








PLAN  
SCALE: 1"=10'



FENCING (ESA) DETAIL  
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:  
90 CY CUT  
5 CY FILL

CONSTRUCTION STAGING:  
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES: EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW GRAVEL DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON TORRES ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:  
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO OCEAN AVENUE TO N. JUNIPERO STREET TO 4TH AVENUE TO TORRES STREET. HAUL TRUCKS EXIT IS TO SOUTH TORRES STREET TO W. 5TH AVE TO S. JUNIPERO STREET TO E. OCEAN AVENUE TO HIGHWAY 1. VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON TORRES STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:  
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:  
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG TORRES STREET, 4TH AVE, JUNIPERO ST. AND/OR PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG TORRES STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	6	2
GRADING & SOIL REMOVAL (EXPORT)	5	1
ENGINEERING MATERIALS (IMPORT)	3	2
TOTALS	14	5

TRUCK TRIP GENERATION NOTES:

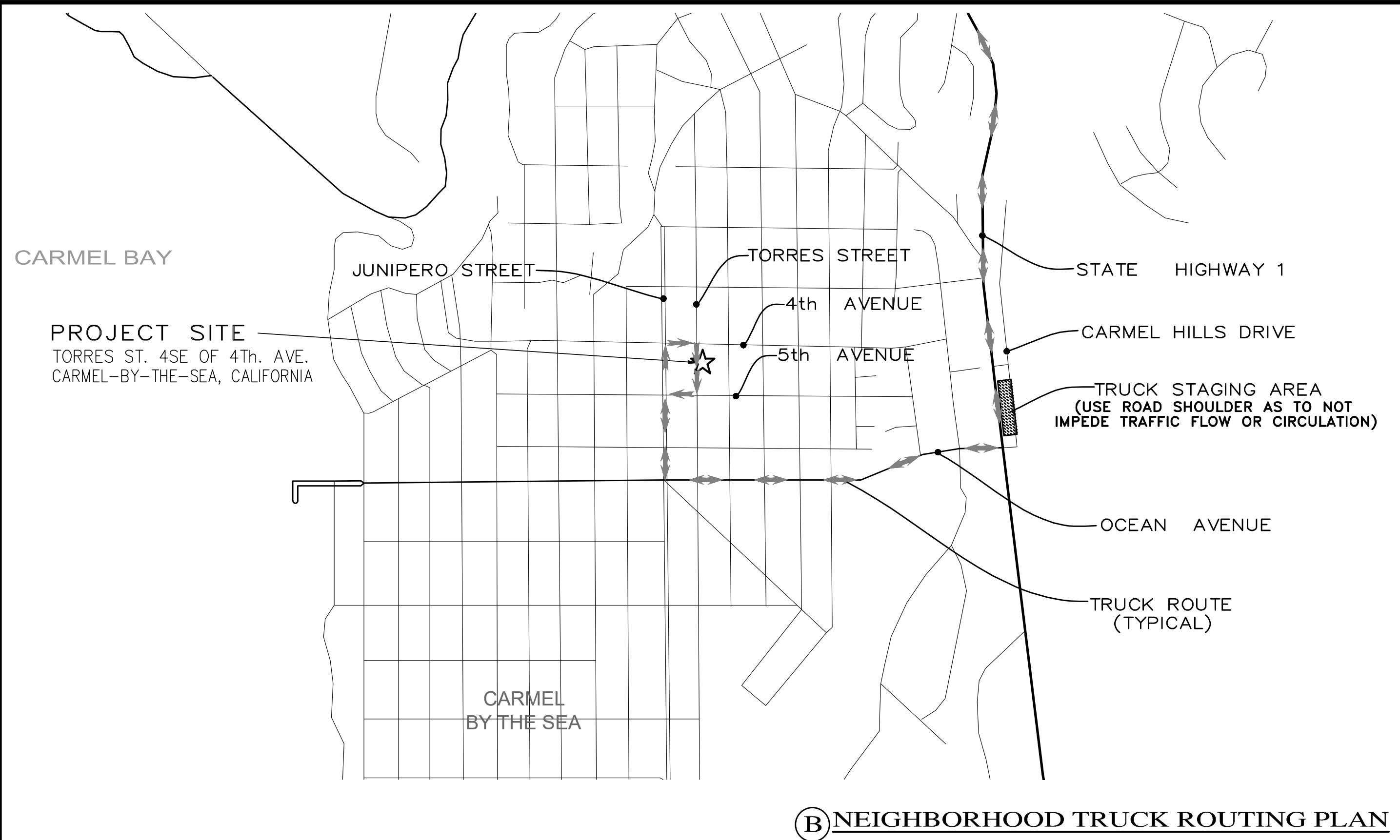
- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 85 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 5 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 25 SEPTEMBER 2023, 5 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN



B NEIGHBORHOOD TRUCK ROUTING PLAN



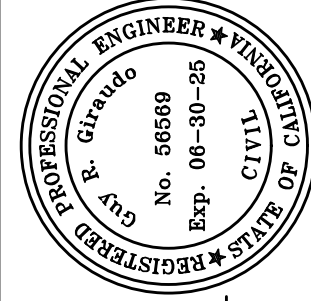
C OVERALL TRUCK ROUTING PLAN  
NOT TO SCALE

No.	DATE	BY	REVISION
01	09/07/23	AMS	PER SITE PLAN UPDATE
02	04/11/23	AMS	C.O.C.-PUBLIC WORKS PLAN REVIEW
03	02/02/23	AMS	RELEASED TO CLIENT

CONSTRUCTION MANAGEMENT PLAN " GRADING, DRAINAGE & EROSION CONTROL PLAN OF METCALF RESIDENCE A.P.N.: 010-091-012 CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA MR. GARY METCALF

SCALE: AS SHOWN  
DATE: JANUARY 2023  
JOB NO. 2358-02

SHEET C6  
OF 6 SHEETS



APPROVED BY:  
GUY R. GIRARDO  
09/02





IRRIGATION NOTES

- 1. ALL PLANTS WILL HAVE DRIP IRRIGATION, MOSTLY WITH A SPECTRUM 360° ADJUSTABLE SPRAY NOZZLE. THE ELKIN THYME WILL HAVE MICROJET NOZZLES FOR THE MOST COVERAGE WHILE STILL WATERING AT A LOWER VOLUME AND PRESSURE.
- 2. IRRIGATION SYSTEM WILL HAVE 4 STATIONS.
- 3. WATER USAGE IS MINIMAL AT TWICE A WEEK FOR 10 MINUTES, ONCE A DAY.

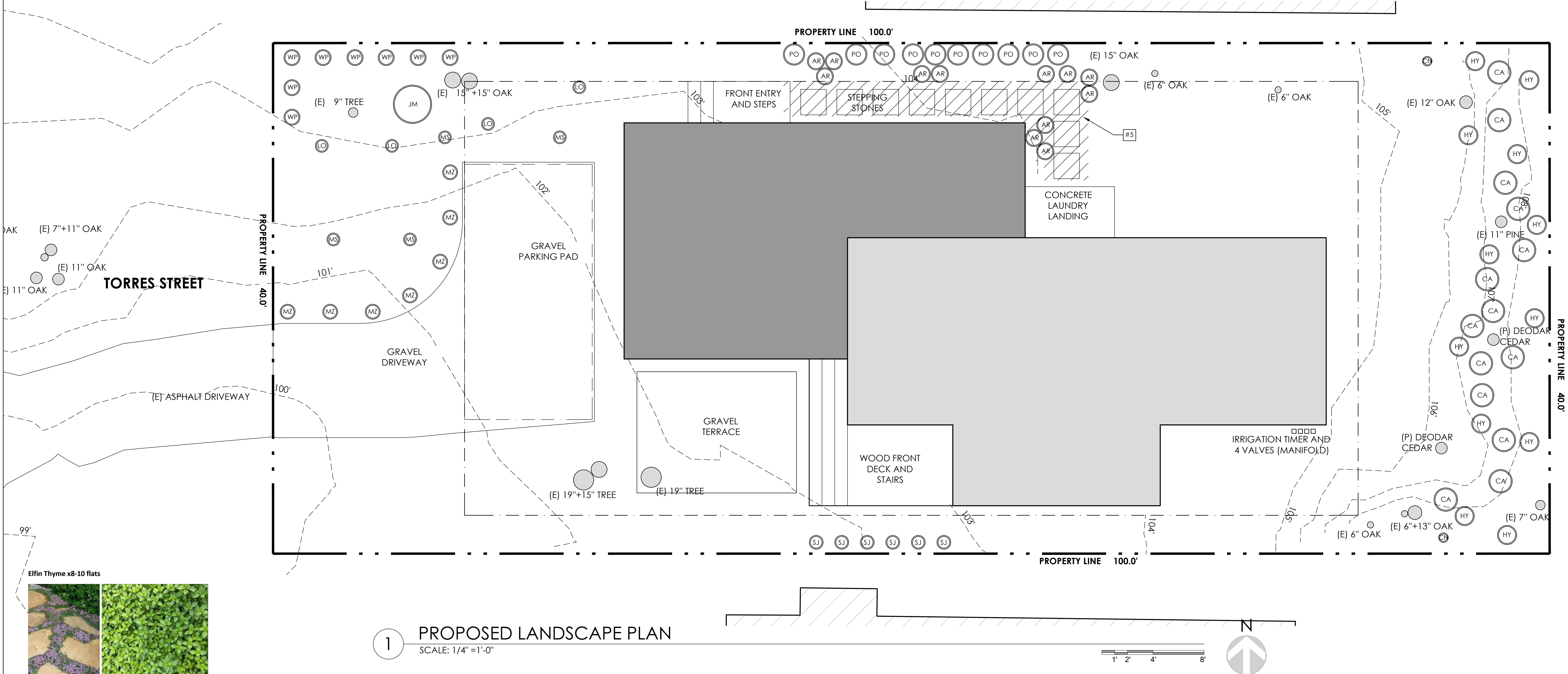
PLANTING NOTES

- 1. ALL PLANTS TO BE PLANTED IN A GOPHER BASKET AND ENRICHED WITH 50% NUTRIENT RICH SOIL.
- 2. ALL PLANTS WILL HAVE CUSTOM DRIP IRRIGATION.
- 3. ALL PLANTS EITHER CA NATIVE OR DROUGHT TOLERANT.
- 4. TOP DRESSING OF SMALL REDWOOD BARK IS RECOMMENDED.
- 5. ELKIN THYME INSIDE ABND AROUND WALKWAY (SHADED AREA). 8-10 FLATS.

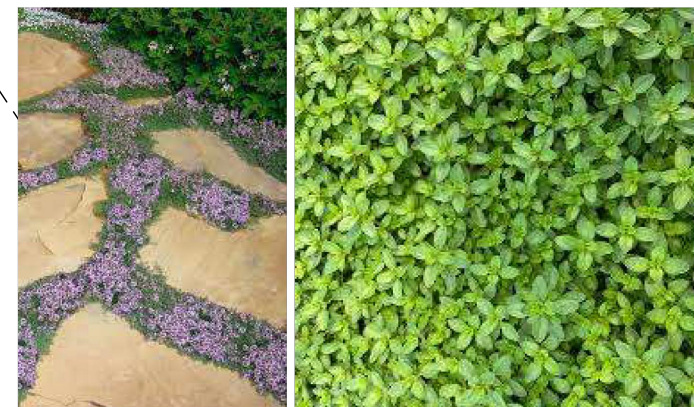
LEGEND

- MZ** 1. MANZANILLA EMERALD CARPET - ALONG DRIVEWAY BORDER x 7,1 GALLON
- LO** 2. LOMANDRA BREEZE x 4,5 GALLON
- MS** 3. SALVIA LEUCANTHA "MEXIGAN SAGE" x 4,5 GALLON
- JM** 4. JAPANESE MAPLE - AS ACCENT TREE x 1,15 or 24"
- WP** 5. LINGUSTRUM "WAXLEAF PRIVET" - FOR PRIVACY x 8,15 GALLON

- AR** 6. ARMERIA "SEA THRIFT" -INCLUMPS IN AROUND AN ACCENT ROCK x 13,1 GALLON
- CN** 7. CAMELLIA "NUCCIO'S GEM" x 2,15 GALLON
- CA** 8. CAMPANULA PORSCH - IN FRONT AND IN BETWEEN HYDRANGEA TO DRAPE OVER ROCK WALL x 14,1 GALLON
- HY** 9. HYDRANGEA "BLUSHING BRIDE" x 12,5 GALLON
- SJ** 10. STAR JASMINE - PLANTED ALONG FENCELINE x 6,5 GALLON
- PO** 11. PODOCARPUS MAKI x 10,5 OR 15 GALLON



1 PROPOSED LANDSCAPE PLAN  
SCALE: 1/4" = 1'-0"



Elfin Thyme x8-10 flats



Podocarpus Macrophyllus 'Maki' x10, 5 or 15 gallon



Small Redwood Bark (top dressing)



Campanula Porschskiyana x14, 1 gallon



Camellia 'Nuccio Gem' x2, 5 gallon



Star Jasmine x6, 5 gallon



Manzanita 'Emerald Carpet' x 7, 1 gallon



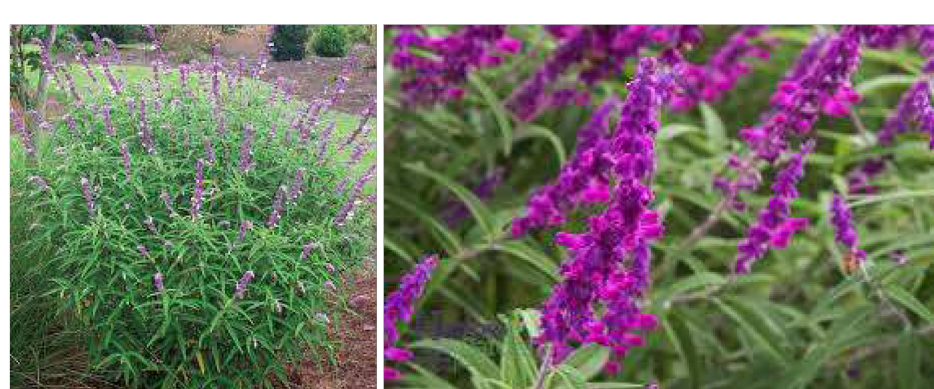
Armeria 'Sea Thrift' x13, 1 gallon



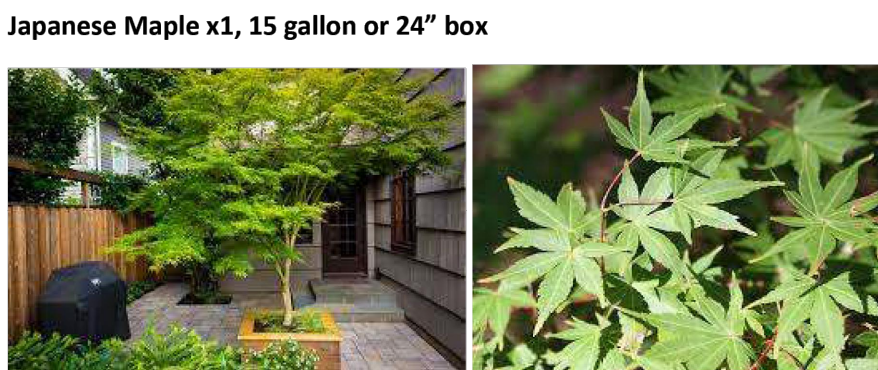
Hydrangea 'Blushing Bride' x12, 5 gallon



Lomandra 'Breeze' x4, 5 gallon



Salvia Leucantha 'Mexican Sage' x4, 5 gallon



Japanese Maple x1, 15 gallon or 24" box



Lingustrum 'Wax Leaf Privet' x8, 15 gallon

METCALF RESIDENCE

TORRES STREET 4 SE OF 4TH AVE,  
CARMEL-BY-THE-SEA CALIFORNIA 93921

PROPOSED  
LANDSCAPE PLAN

8/30/2023

1/4" = 1'-0"

L1



ADAM JESELNICK  
ARCHITECT