GENERAL NOTES

- 1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- 2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- 3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE 2022 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY COUNTY ORDINANCE.
- 4. THE OWNER-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- 5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
- 6. THE OWNER-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- 7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- 8. IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY - RMA PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- 9. COORDINATE NEW UNDERGROUND ELECTRICAL SERVING WITH PG&E.

10. NEW FIRE SPRINKLERS TO BE INSTALLED UNDER SEPARATE PERMIT

SHEET INDEX

_	, , , , , , , , , , , , , , , , , , , ,		
A0.1	EXISTING SITE SURVEY/TREE ASSESSMENT	A14	RENDERING VIEWS
A 1	EXISTING/DEMOLITION SITE PLAN	A15	RENDERING VIEWS
A2	PROPOSED SITE PLAN		
A3	EXISTING FLOOR PLAN	L1	PROPOSED LANDSCAPE PLAN
A4	PROPOSED LOWER LEVEL FLOOR PLAN		
A5	PROPOSED UPPER LEVEL FLOOR PLAN	C1	COVER SHEET
Α6	EXISTING ROOF PLAN	C2	TOPOGRAPHIC MAP/EXISTING
A7	PROPOSED ROOF PLAN		CONDITIONS
A8	EXISTING ELEVATIONS	C3	GRADING, DRAINAGE & UTILITY PLAN
Α9	PROPOSED ELEVATIONS	C4	GRADING SECTIONS, STANDARD PLANS
A10	PROPOSED ELEVATIONS		& CONSTRUCTION DETAILS
A11	PROPOSED STREETSCAPE ELEVATIONS	C5	erosion &sediment control plan
A12	PROPOSED SCHEDULES	C6	CONSTRUCTION MANAGEMENT PLAN

TITLE (PROJECT DATA AND SITE LOCATION) A13 PROPOSED MATERIALS

EXISTING SITE PHOTOGRAPHS





PROJECT DATA

SCOPE OF WORK:

DEMOLITION OF EXISTING SINGLE FAMILY DWELLING; AND CONSTRUCTION OF NEW TWO-STORY RESIDENCE.

CONSTRUCTION TYPE: V-B

OCCUPANCY: R-3 / U

YES FIRE SPRINKLERS:

WATER: CAL AM

SEWER: CARMEL AREA WASTEWATER DISTRICT

TREE REMOVAL: NONE

90 CUBIC YARDS **CUT**/ 5 CUBIC YARDS **FILL** GRADING:

SITE COVERAGE CALCULATIONS:

LOT SIZE 4,000 SF

MAX. ALLOWABLE FLOOR AREA = 1.800 SF MAX. ALLOWABLE SITE COVERAGE = 396 SF / 556 SF

FLOOR AREA CALCULATIONS:

E)	(ST	IN	G	

(E) HOUSE 868 SF TOTAL, (E) 868 SF (21.70% OUT OF TOTAL LOT AREA)

PROPOSED

(B) 151 FLOOR	1 050 55
(P) 1ST FLOOR	1,052 SF
P) 2ND FLOOR	540 SF
P) PARKING PAD	200 SF
,	

1,792 SF TOTAL, (P) (44,8% OUT OF TOTAL LOT AREA)

SITE COVERAGE CALCULATIONS: **EXISTING**

(E) CONCRETE DRIVEWAY AND PATIO (E) WOOD PATIO AND STAIRS	794 SF 155 SF	IMPERMEABLE PERMEABLE
(E) BACK DECK	171 SF	IMPERMEABLE
(E) RETAINING WALL	67 SF	IMPERMEABLE
(E) BACK STEPS	9 SF	IMPERMEABLE
(E) PATIO AND STEPS	31 SF	IMPERMEABLE
(E) SHED	26 SF	IMPERMEABLE
(E) SHED	26 SF	IMPERMEABLE

TOTAL, (E) 1,279 SF

EXISTING NON CONFIRMING ALL SITE COVERAGE TO BE DEMOLISHED

PROPOSED

(P) STONE TILE FRONT ENTRY AND STEPS	26 SF	IMPERMEABLE
(P) WOOD FRONT DECK AND STEPS	87 SF	PERMEABLE
(P) GRAVEL FRONT TERRACE	118 SF	PERMEABLE
(P) CONCRETE LAUNDRY LANDING	28 SF	IMPERMEABLE
(P) GRAVEL DRIVEWAY	148 SF	PERMEABLE
(P) STEPPING STONES	40 SF	IMPERMEABLE

TOTAL, (P) 447 SF

PROJECT DATA

ADDRESS: TORRES STREET 4 SE OF 4TH AVE

CARMEL-BY-THE-SEA, CALIFORNIA 93921

A.P.N. 010-091-012

ZONING: R-1 SINGLE FAMILY

OWNER: GARY AND NANCY METCALF

TORRES STREET 4 SE OF 4TH AVE

CARMEL-BY-THE-SEA, CALIFORNIA 93921

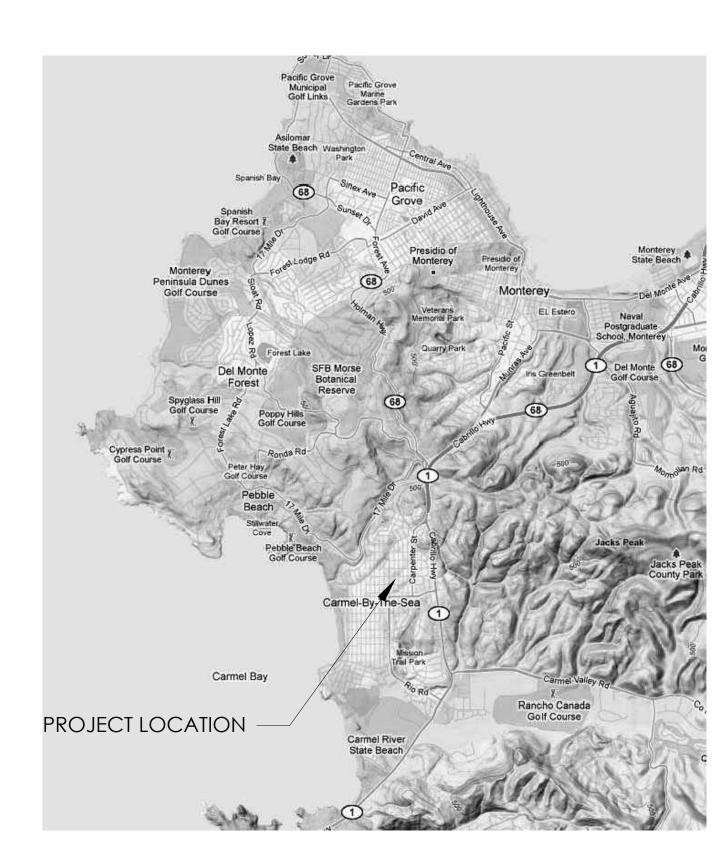
ARCHITECT: ADAM JESELNICK ARCHITECT

> CARMEL, CA 93923 PHONE: (831) 620.5164 m CONTACT: ADAM JESELNICK AIA EMAIL: aejarch@gmail.com

24398 PORTOLA AVENUE

SURVEYOR: LANDSET ENGINEERS, INC. 520-B CRAZY HORSE ROAD.

SALINAS, CA 93907 OFFICE: 831-443-6970 FAX: 831-443-3801











шì 0 ORNIA 4TH A OF SE C/ **TORRES** RMEL-

TITLE SHEET

8/30/2023

N.T.S.

Significant Tree Evaluation Worksheet

APN: 010-091-012-000 Street Location: Torres 4 SE of 4th Ave Planner: Marni Waffle City Forester: Sara Davis Property Owner: Metcalf

Recommended Tree Density: 3 upper and 1 lower canopy trees

Part One: Initial Screening: Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

				_				-	_										
. <u>Does</u>	the tr	ee pos	se an	above-	norm:	al pote	ential r	isk to	life an	d prop	erty?								
ree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
ES																			
10	Χ	Χ	Х	Χ	Х	Х	Χ	Χ	Х	Χ	Х	Х	Χ	Х	Χ	Χ	Х	Х	Х
											_								

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
Species	со	со	со	со	ОТ	со	со	ОТ	со	со	со	со	MP	со	со	со	со	CR	со
YES	Х	Χ	Х	Χ		Χ	Χ		Χ	Х	Χ	Х	Х	Х	Χ	Х	Х	Х	Х
NO					Χ			Χ											

CI -- Catalina ironwood CS -- California sycamore BL -- big leaf maple OT -- other (Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species.

Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. <u>Doe</u>	s the t	ree m	eet th	ne min	imum	size cr	iteria [.]	for sig	nificar	ice?									
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
YES	14	9	11	11	10	12.5	15		14			12	16	7	11	16	19	24	4.75
NO								4		5.5	3.8								4.75
Monter	ey pine	, Mon	terey	cypres	s, Bish	op pine	, Coas	t redw	ood:	6" DBI	ı								
Coast liv	e oak -	- singl	e trun	k tree:	6" DB	Н													

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

G. Are environmental conditions favorable to the tree?
 Tree #
 1
 2
 3
 4
 5
 6
 7
 8
 9
 10
 11
 12
 13
 14
 15
 16
 17
 18
 19

 score
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1
 1

or has poor soil for the species. The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species. The tree has room for growth to maturity with no crowding from other significant trees or 2 points: existing buildings nearby. The tree also has excellent access to light, air and excellent soils for

The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air

root development. Part Three: Final Assessment

Reco	rd the	total _l	points	score	d on D	- G fo	r each	tree.											
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
Total Score	7	7	7		7	7	7		7			7	7	7	7	8	8	9	9
A. <u>Did</u>	all ass	sessm	ent c	ategor	ries in	Part 1	Гwo a	chieve	e a mi	nimur	n scor	re of 1	-point	<u>t</u> ?					
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19

B. Are there any other factors that would disqualify a tree from a determination of significance ? (Explain any 'yes' answer)

NO X X X X X

YES X X X X X X X X X X X X X X X

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
SIGNIF	Χ	Χ	Х		Χ	Χ	Χ		Χ			Χ	Χ	Χ	Χ	Х	Χ	Χ	Х
MOD																			
SIGNIF																			
NOT				v				_		V	v								
SIGNIF				l ^		l		^		^	^								

3of4

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

Tree # 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 score 2 2 2 0 2 2 2 2 2 2 2 3 . The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life 0 points: expectancy. F------- $The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. \ The$ | 1 point: | The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention. 2 points: The tree appears healthy and in good condition. **3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree? Tree # 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 score 2 2 2 2 2 2 2 2 2 2 2 2 2 2

Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot **Opoints:** recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard. The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual 1 point: interest in its current form, and does not have structural defects that are likely to develop into a safety

2 points: form and structure. The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced

_-----

branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

Tree # 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 score 2 2 2 2 2 2 2 2 2 2 2 2 2 2

The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period 1 point: into the future.

-----2 points: The tree is young to middle age and shows normal vigor. 3 points: The tree is young to middle age and shows exceptional vigor.

Items to note:

	7 8 9 10 11 12 13 14 15	17 18	19
Feet 7 6 6 6 8 9.5 7.5 12	5 7.5 7 6 8 6 6	8 9.5 12	
1666 7 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		5.5	

Requirements for tree preservation shall adhere to the following tree protection measures on construction

Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be

• Excavation within 6 feet of a tree trunk is not permitted.

• No attachments or wires of any kind, other than those of a protective nature shall be attached to any

• Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.

• Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.

• The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.

 If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.

• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

40f4

TREE EVALUATION REPORT

STREET **METC TORRES**

RNIA

SE

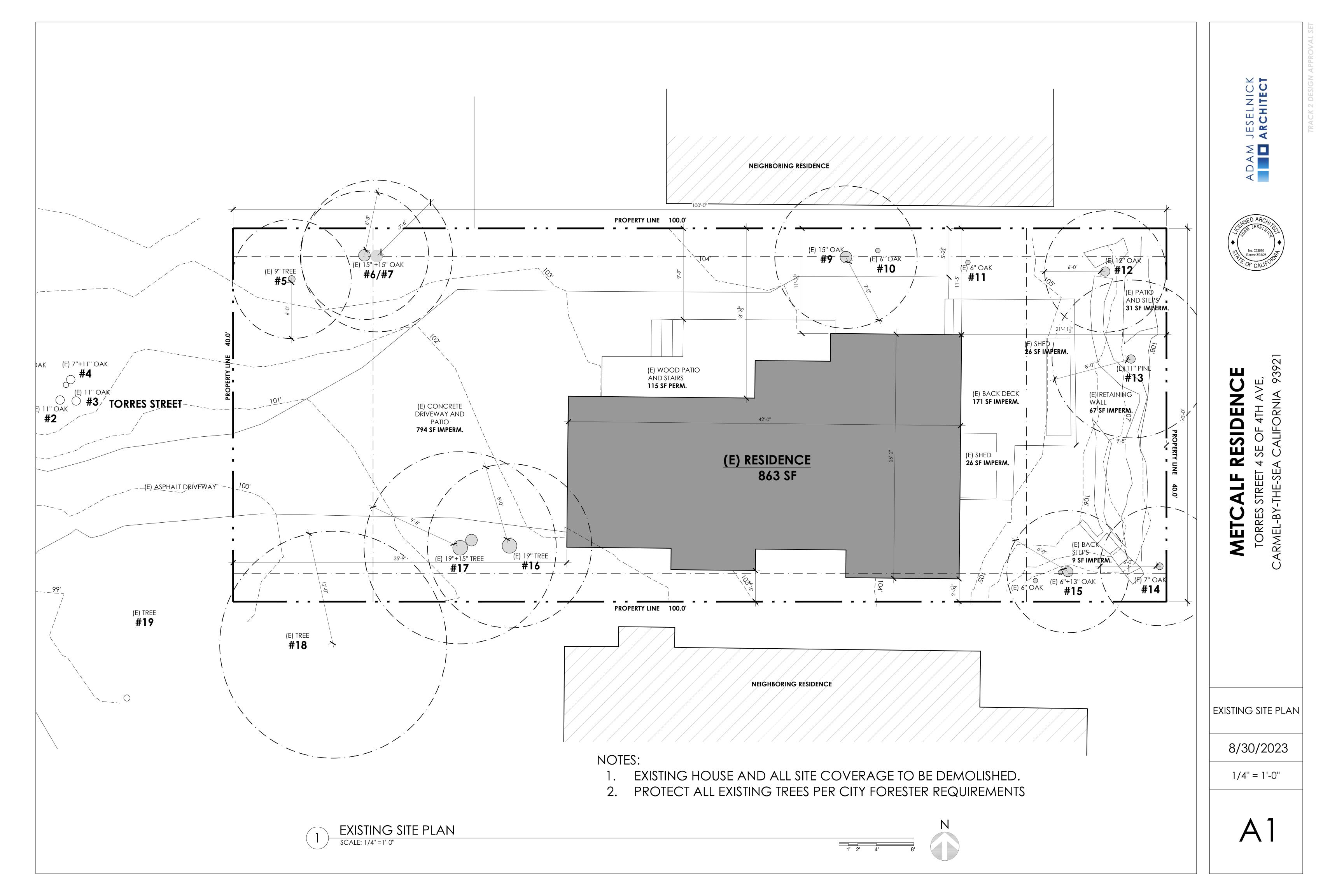
ВҮ

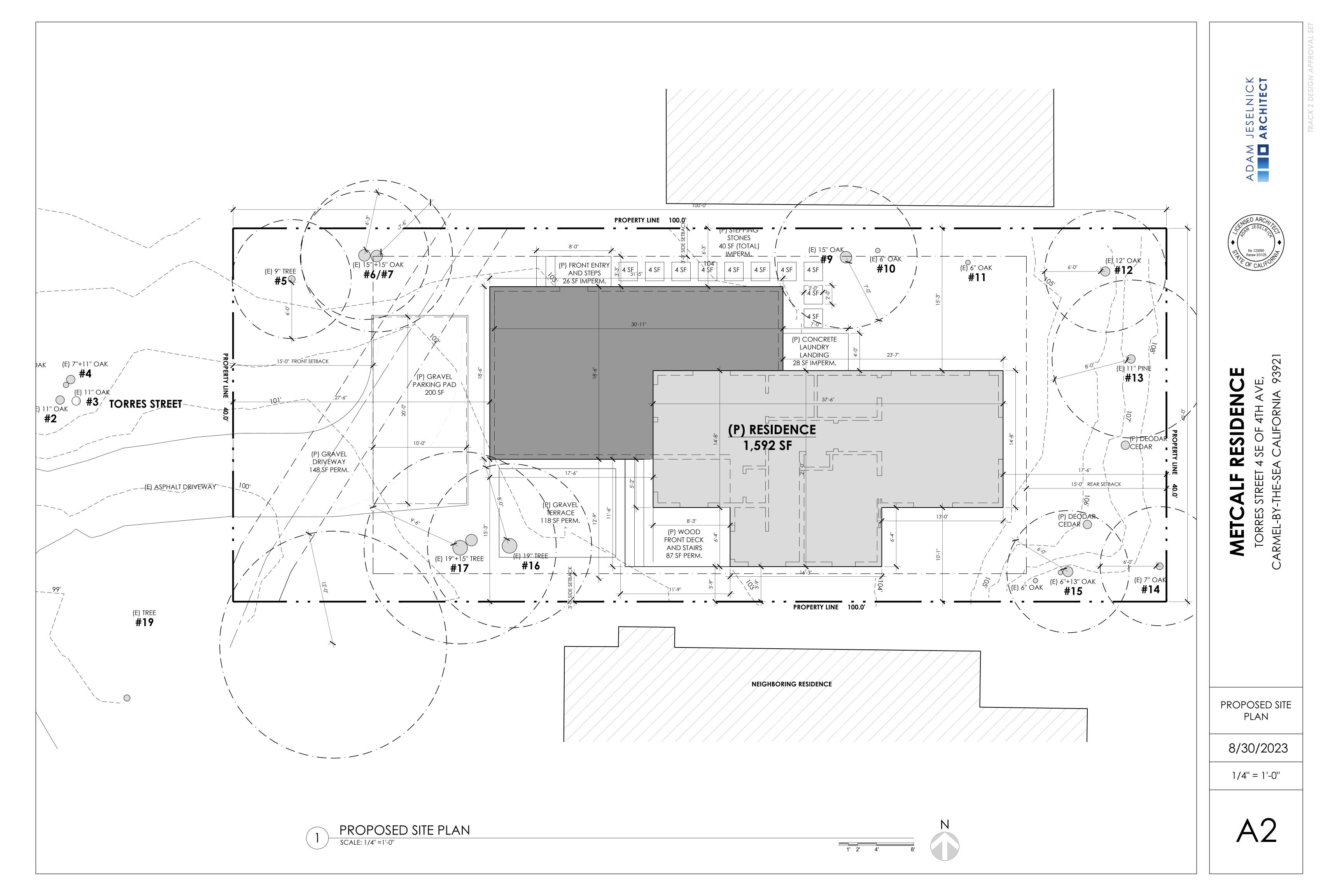
RMEL-I

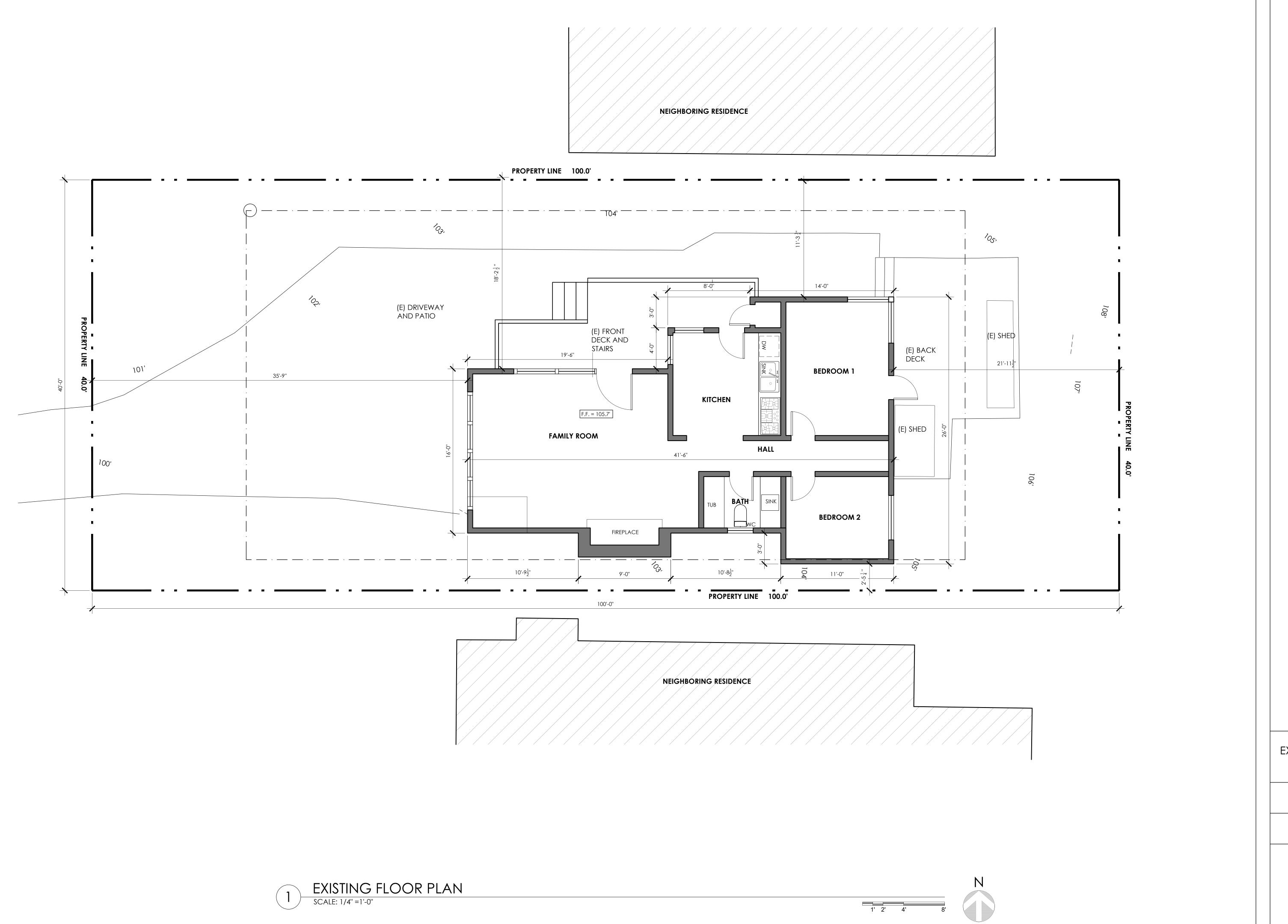
EXISTING SITE SURVEY/ TREE **ASSESSMENT**

8/30/2023

1/8'' = 1'-0''









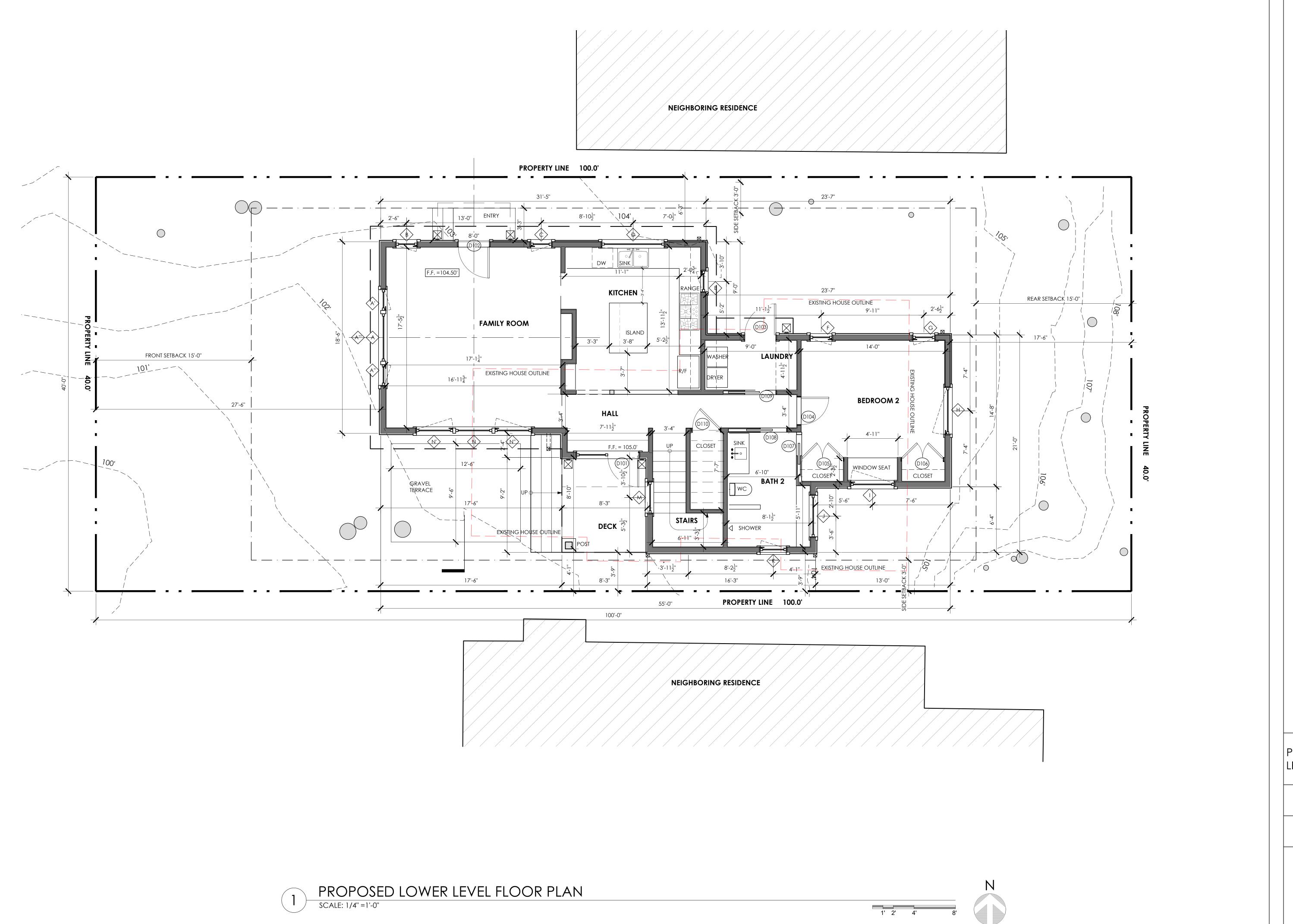


METCALF RESIDENCE
TORRES STREET 4 SE OF 4TH AVE,
CARMEL-BY-THE-SEA CALIFORNIA 939

EXISTING FLOOR PLAN

8/30/2023

1/4" = 1'-0"



DAM JESELNICK

ARCHITECT

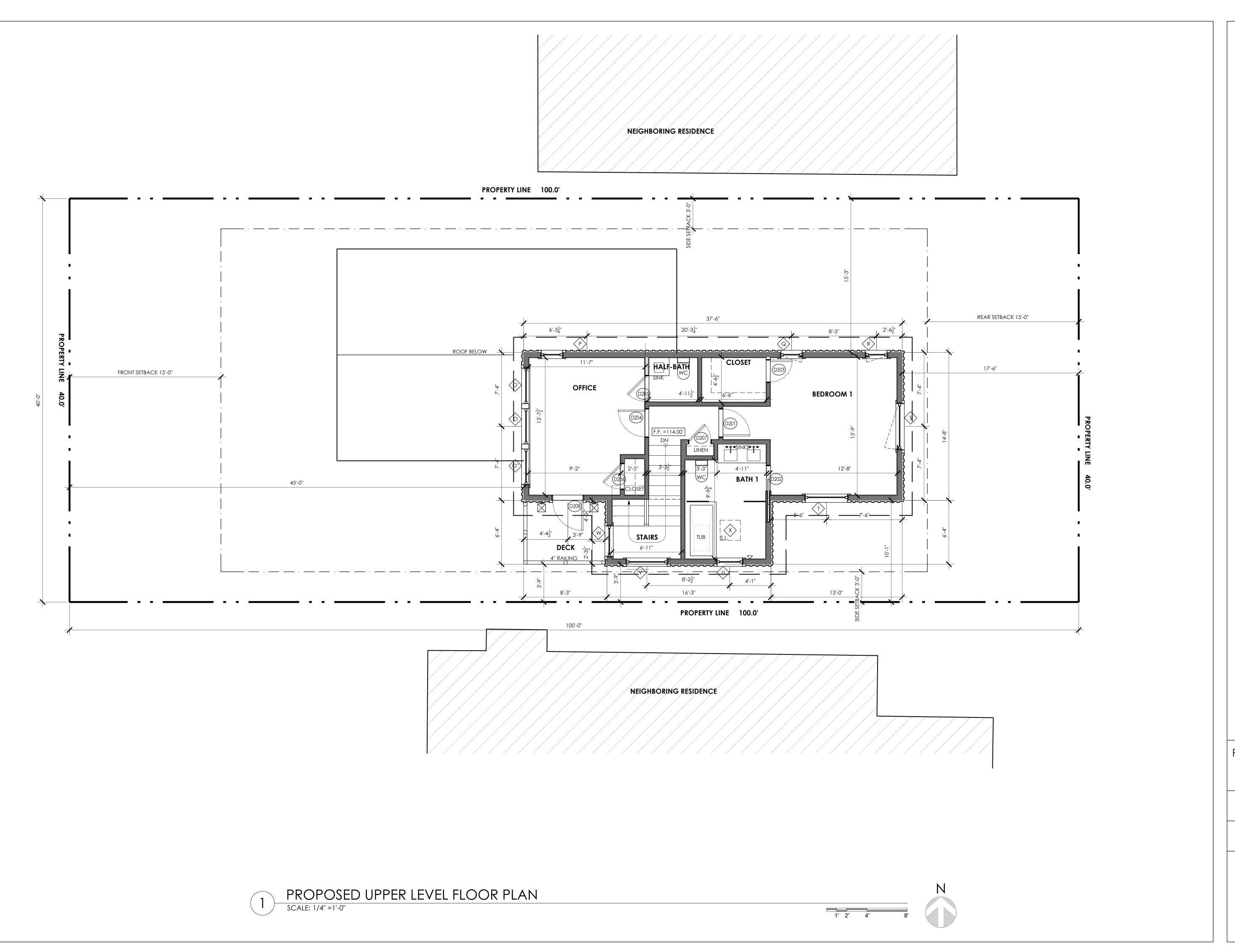


METCALF RESIDENCE
TORRES STREET 4 SE OF 4TH AVE,
SARMEL-BY-THE-SEA CALIFORNIA 939

PROPOSED LOWER LEVEL FLOOR PLAN

8/30/2023

1/4'' = 1'-0''







RESIDENCE E OF 4TH AVE, CALIFORNIA 93

TORRES STREET 4 CARMEL-BY-THE-SEA METC.

PROPOSED UPPER LEVEL FLOOR PLAN

8/30/2023

1/4" = 1'-0"

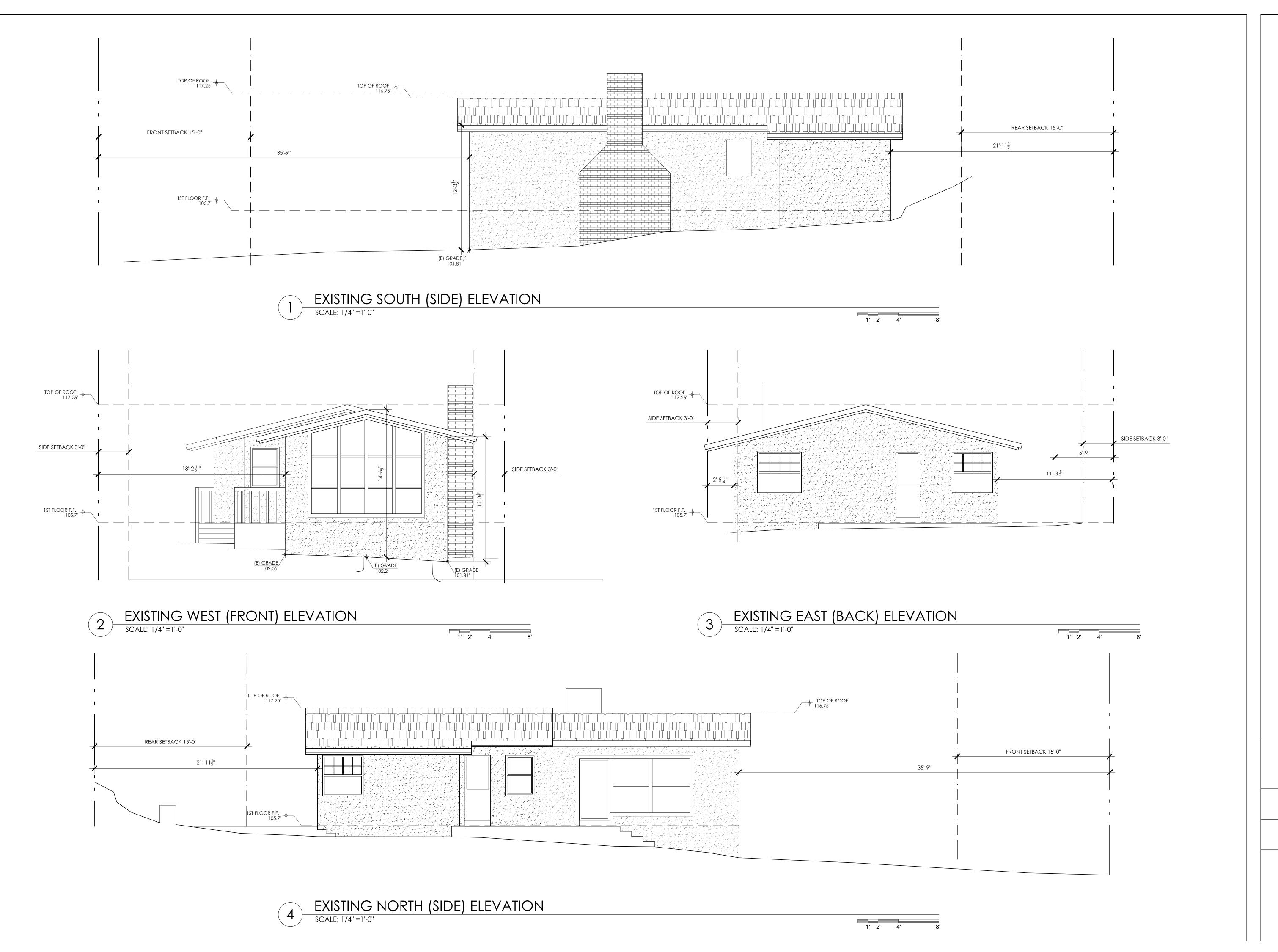


EXISTING ROOF PLAN

8/30/2023

1/4'' = 1'-0''

1/4" = 1'-0"



ADAM JESELNICK

ARCHITECT



METCALF RESIDENCE
TORRES STREET 4 SE OF 4TH AVE,
SARMEL-BY-THE-SEA CALIFORNIA 939

EXISTING ELEVATIONS

8/30/2023

1/4" = 1'-0"



PROPOSED SOUTH ELEVATION SCALE: 1/4" =1'-0"



T.O. ROOF 124.85'	1 4 3 2 4 3 3:12	3:12	4
2ND FLOOR T.O. PLATE 122.00'			2ND FLOOR - BATH T.O.P
T.O.ROOF 1 STORY 117.33'	3:12 3:12 AWN FIX	AWN PIX	.
1ST FLOOR T.O.PLATE 114.00'			2ND FLOOR F.F. 114.00' 1ST FLOOR T.O. PLATE 113.00'
SIDE SETBACK 3'-0" IST FLOOR F.F. 104.50'	6'-3" E-1.11 FIX CSMT FIX CSMT	STAIRS LEVEL	SIDE SETBACK 3'-0" 50
		(E) GRADE 102.00'	6

KEYNOTES STUCCO OLIVE GRAY PPG1027-4 VERTICAL WOOD; BOARD AND BATTEN RATTAN PALM PPG1027-5 WINDOWS WOOD TRIM & FASCIA CONVERSATION PPG1027-6. DOOR AND WINDOWS SIERRA PACIFIC. DIVIDED LITES. COLOR STAY COLLECTION - GULL GRAY 007 COMPOSITE SHINGLE ROOF CERTAINTEED PRESIDENTIAL SHAKE TL - AUTUMN BLEND DECK RAILING WOOD RAILING - PAINTED. STONE VENEER SBI MATERIALS - LIBERTY HILL COLLECTION - LEDGESTONE LIGHT FIXTURE LIGHTOLOGY - HARBOR 12V OUTDOOR WALL SCONCE

PROPOSED WEST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



RESIDENCE METC

E OF 4TH AVE, ALIFORNIA 93 TORRES STREET A

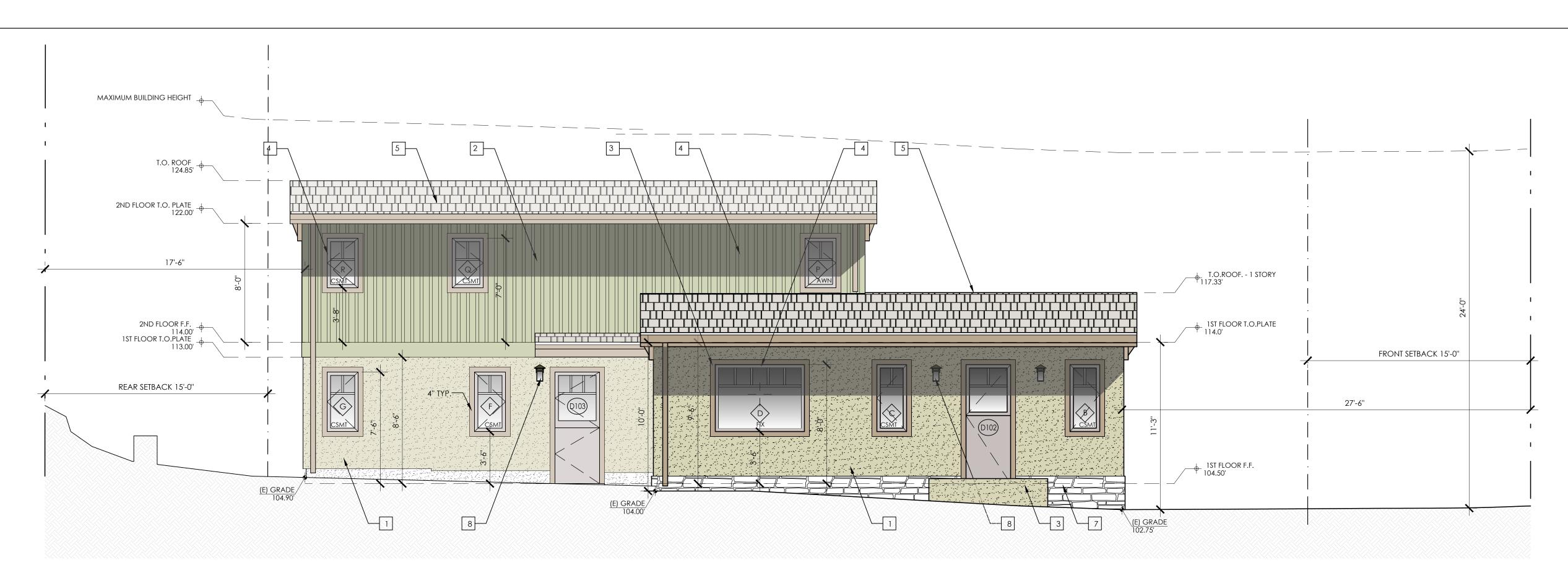
JESELNICK ARCHITECT

ADAM

PROPOSED **ELEVATIONS**

8/30/2023

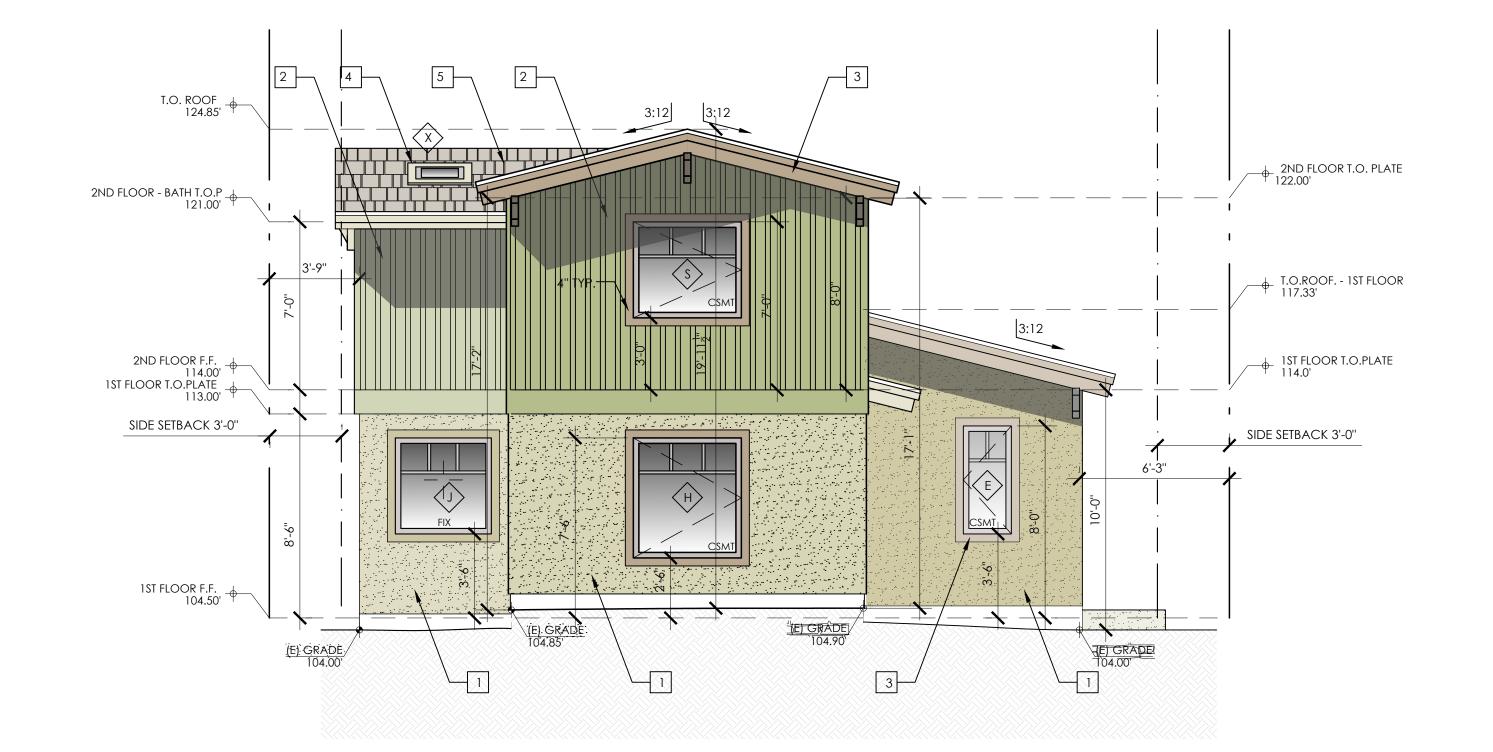
1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" =1'-0"





KEYNOTES STUCCO OLIVE GRAY PPG1027-4 VERTICAL WOOD; BOARD AND BATTEN RATTAN PALM PPG1027-5 WINDOWS WOOD TRIM & FASCIA CONVERSATION PPG1027-6. DOOR AND WINDOWS SIERRA PACIFIC. DIVIDED LITES. COLOR STAY COLLECTION - GULL GRAY 007 COMPOSITE SHINGLE ROOF CERTAINTEED PRESIDENTIAL SHAKE TL - AUTUMN BLEND DECK RAILING WOOD RAILING - PAINTED. STONE VENEER SBI MATERIALS - LIBERTY HILL COLLECTION - LEDGESTONE LIGHT FIXTURE LIGHTOLOGY - HARBOR 12V OUTDOOR WALL SCONCE

PROPOSED EAST ELEVATION

SCALE: 1/4" =1'-0"

RESIDENCE

9392

E OF 4TH AVE, ALIFORNIA 93 STREET -SE TORRES STREE SARMEL-BY-THE-S METC

PROPOSED **ELEVATIONS**

8/30/2023

1/4" = 1'-0"







METCALF RESIDENCE
TORRES STREET 4 SE OF 4TH AVE,
SARMEL-BY-THE-SEA CALIFORNIA 939

STREETSCAPE ELEVATIONS

8/30/2023

1/4" = 1'-0"

			METCALF RESIDEN	CE WINDOW SCHEDULE		
REVISION	PE / LETTER					
R	7	SIZE [WIDTH x HEIGHT]	R.O.	MATERIAL	TYPE	NUMBERED NOTES / REMARKS
		FIRST FLOOR				
	Α	4'-7" x 7'-2"		UN-CLAD WOOD	FIXED	DUAL GLAZED
		2'-0" x 7'-2"		UN-CLAD WOOD	CSMT	DUAL GLAZED
		2'-0" × 7'-2"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	A'''	4'-7" x 1'-8"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	В	2'-0" × 4'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	-	2'-0" × 4'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	D	6'-0" × 4'-6"		UN-CLAD WOOD	FIXED	DUAL GLAZED
200000000000000000000000000000000000000	E	2'-0" × 4'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
200000000000000000000000000000000000000	F	2'-1" × 4'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
		2'-1" x 4'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	Н	4'-6" × 5'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	I	4'-2" × 5'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	J	4'-0" × 4'-0"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	K	2'-6" x 4'-0"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	L	NOT USED				
	M	3'-0" x 3'-4"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	N	3'-6" X 6'-6"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	N'	3'-6" X 6'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	N"	3'-6" X 6'-6"		UN-CLAD WOOD	CSMT	DUAL GLAZED
		SECOND FLOOR				
	0	3'-6" x 3'-6"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	O'	3'-6" x 3'-6"		UN-CLAD WOOD	AWNING	DUAL GLAZED
	0"	3'-6" x 3'-6"		UN-CLAD WOOD	AWNING	DUAL GLAZED
	P	2'-1" x 3'-4"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	Q	2'-1" x 3'-4"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	R	2'-1" x 3'-4"		UN-CLAD WOOD	CSMT	DUAL GLAZED
	S	4'-6'' x 4'-0''		UN-CLAD WOOD	CSMT	DUAL GLAZED
	T	4'-2" x 4'-0"		UN-CLAD WOOD	FIXED	DUAL GLAZED
	U	2'-6" x 2'-4"		UN-CLAD WOOD	AWNING	DUAL GLAZED
***************************************	V	4'-0'' x 4'-6''		UN-CLAD WOOD	FIXED	DUAL GLAZED
***************************************	W	3'-0'' x 7'-0''		UN-CLAD WOOD	FIXED	DUAL GLAZED
	X	2'-0'' x 2'-0''		UN-CLAD WOOD	FIXED S.L.	DUAL GLAZED

1	PROPOSED WINDOW SCHEDULE

METCALF RESIDENCE DOOR SCHEDULE						
		DOOR TYPE	THICKNESS	HAND	H.W. TYPE	
1ST FLOO	R		-			
101	3'-0" X 8'-0" + 3'-0" X 8'-0" SIDE LITE	1	2''	LH		ENTRY FULL LITE GLASS DOOR + SIDE LITE
102	3'-0" X 8'-0"	2	2"	LH		ENTRY DUTCH HALF LITE GLASS DOOR
103	3'-0" X 7'-6"	2	2"	RH		ENTRY HALF LITE GLASS DUTCH DOOR
104	2'-8" X 7'-6"	6	1 3/4"	LH		INTERIOR WOOD DOOR
105	4'-0" X 7'-6" (2 DOORS)	6		LHRH		CLOSET W OOD DOOR
106	4'-0" X 7'-6" (2 DOORS)	6	1 3/4"	LHRH		CLOSET WOOD DOOR
107	2'-0 1/2" X 7'-6"	7	1 3/4"			POCKET DOOR
108	2'-6" X 7'-6"	7	1 3/4"	RH		POCKET DOOR
109	3'-0" X 7'-6"	7	1 3/4"	LH		POCKET DOOR
110	2'-8" X 7'-6"	6	1 3/4"	RH		CLOSET WOOD DOOR
2ND FLOC	PR					
201	2'-9" X 7'-0"	6	1 3/4"	RH		INTERIOR WOOD DOOR
202	2'-6" X 7'-0"	7	1 3/4"	LH		POCKET DOOR
203	2'-2" X 7'-0"	6	1 3/4"	LH		INTERIOR WOOD DOOR
204	2'-9" X 7'-0"	6	1 3/4"	RH		INTERIOR WOOD DOOR
205	2'-6" X 7'-0"	6	1 3/4"	RH		INTERIOR WOOD DOOR
206	2'-6" X 7'-0"	6	1 3/4"	RH		CLOSET WOOD DOOR
207	2'-2" X 7'-0"	6	1 3/4"	LH		CLOSET WOOD DOOR
208	3'-0" X 7'-0"	1	2''	LH		ENTRY FULL LITE GLASS DOOR
	DOOR TYPE LEGEND					HARDWARE TYPE LEGEND
TYPE 1	ENTRY DOOR, FULL LITE GLASS. WOO	D				TYPE 1:
TYPE 2	ENTRY DOOR, DUTCH DOOR 1/2 LITE	WO	OD			
TYPE 3	EXTERIOR SLIDING DOORS.WOOD.					TYPE 2:
TYPE 4	FRENCH DOORS. FULL LITE GLASS W	/ SIDE	E LITES.	WOO	D.	TYPE 3:
TYPE 5	FRENCH DOORS. FULL LITE GLASS. W	00[).			
TYPE 6	INTERIOR HINGED MDF DOOR, PRIM	ED				
TYPE 7	POCKET DOOR, MDF, PRIMED					
TYPE 8	GLASS INTERIOR DOOR					
TYPE 9	INTERIOR BARN DOOR					
	GARAGE DOOR					
	INTERIOR SLIDING DOORS					
TYPE 12	ENTRY DOOR, HALF LITE GLASS. WOO	DD				
	PARTITION DOOR					

PROPOSED DOOR SCHEDULE





TORRES STREET 4 SE OF 4TH AVE, CARMEL-BY-THE-SEA CALIFORNIA 93921 RESIDENCE METC,

PROPOSED SCHEDULES

8/30/2023

N.T.S.

N.T.S.







PROPOSED WINDOWS WOOD TRIM
CONVERSATION PPG1027-6



PROPOSED STUCCO (1ST FLOOR)
OLIVE GRAY PPG1027-4

PROPOSED SIERRA PACIFIC WINDOWS
COLOR GULL GRAY 007. DIVISION LITES.



PROPOSED ROOF

COMPOSITE SHINGLE ROOF - CERTAINTEED PRESIDENTIAL SHAKE TL - AUTUMN BLEND



PROPOSED STONE VENEER



PROPOSED LIGHT FIXTURE
LIGHTOLOGY - HARBOR 12V OUTDOOR WALL SCONCE



FRONT (WEST) AND SIDE (NORTH) FACADES



SIDE (NORTH) AND REAR (EAST) FACADES

AETCALF RESIDENCE

TORRES STREET 4 SE OF 4TH

RENDERING VIEWS

8/30/2023

N.T.S.



FRONT (WEST) AND SIDE (SOUTH) FACADES



2 SIDE (SOUTH) AND REAR (EAST) FACADES





TORRES STREET 4 SARMEL-BY-THE-SEA

RENDERING VIEWS

8/30/2023

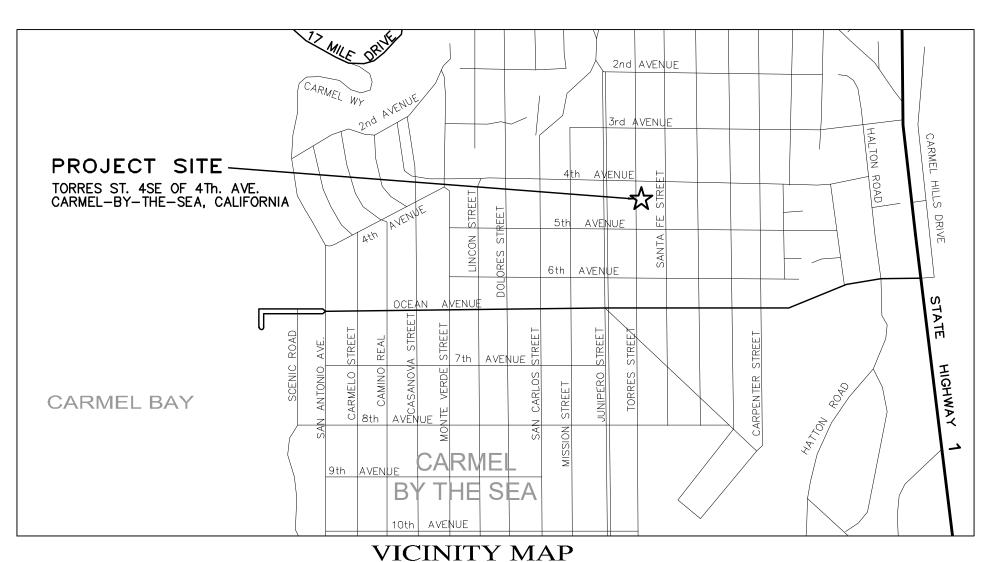
N.T.S.

GRADING, DRAINAGE & EROSION CONTROL PLAN

METCALF RESIDENCE

APN: 010-091-012

CARMEL BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

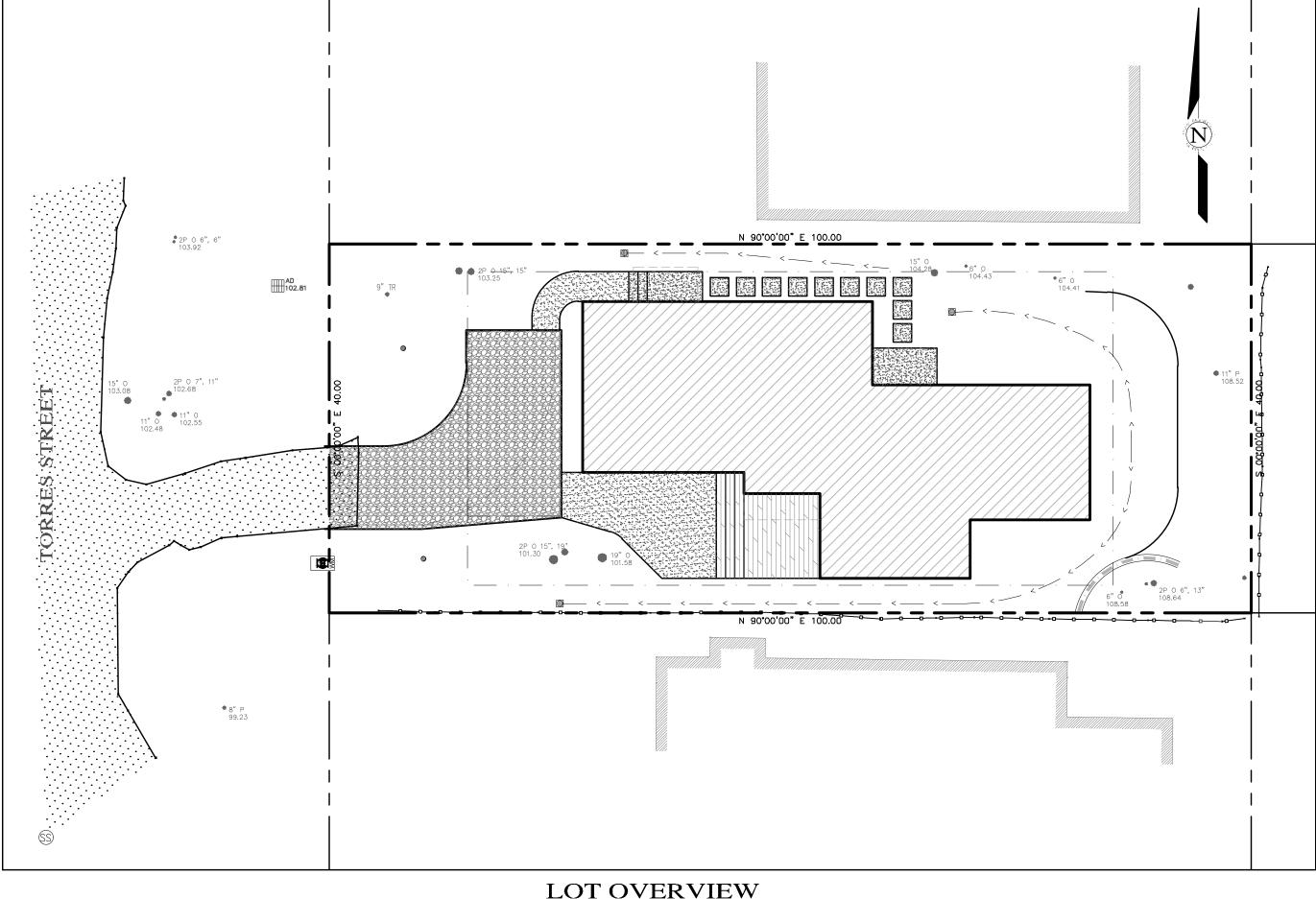


GENERAL NOTES:

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE METCALF RESIDENCE A2 PREPARED BY ADAM JESELNICK ARCHITECT, DATED 01/19/23, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC. ON AUGUST 26, 2021
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA. PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (08/23/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- 1) ALL GRADING SHALL CONFORM TO THE CITY OF CARMEL-BY-THE-SEA GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE 2019 CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 90 C.Y. OF CUT AND 5 C.Y. OF FILL WITH AN EXPORT OF 85 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE CITY OF CARMEL-BY-THE-SEA PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE
- 11) ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH SPLASH BLOCKS DRAINING INTO LANDSCAPE AREAS SAFELY AWAY FROM BUILDING FOUNDATIONS.
- 12) STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF CATCH BASINS AND DRAINAGE SWALES OTLETTING ONTO AN UNDERGROUND INFILTRATION SYSTEM.
- 13) SUBSURFACE DRAINAGE FOR FOUNDATIONS SHALL BE COLLECTED AND PIPED TO SAID UNDERGROUND INFILTRATION SYSTEM.
- 14) THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. AREA DRAINS AND INFILTRATION SYSTEM SHALL BE "NDS" PRODUCTS, ROUND SPEE—D WITH SQUARE GRATE AND 24" ROUND FLO—WELL WITH 4" OVERFLOW GRATE OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- 15) ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.



16) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE

COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE

17) ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.

BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.

- 18) NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF THE CITY OF CARMEL-BY-THE-SEA BUILDING SERVICES.
- 19) SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 20) THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- 21) IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE CITY OF CARMEL-BY-THE-SEA PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE. THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.
- 3) THIS PROJECT WILL CREATE AND/OR REPLACE 1,180 SQ.FT. OF IMPERVIOUS AREA < 1,200 SQ.FT., THEREFORE, THIS PROJECT DO NOT REQUIRE ENGINEERING DESIGN (PRESCRIPTIVE PROJECT).
- 4) THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: DISPERSE RUNOFF THROUGHOUT THE SITE AND CONVEY IT BY SWALES TO INFILTRATION SYSTEMS, MINIMIZE IMPERVIOUS SURFACES CREATING PERVIOUS DRIVEWAY AND WALKWAYS, MINIMIZE STORM WATER RUNOFF BY DIRECTING RUNOFF FROM DOWNSPOUTS VIA SPLASH BLOCKS, DRIVEWAY AND WALKWAYS ONTO LANDSCAPED AREAS AND SWALES SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH CALIFORNIA BUILDING CODE.

TOTAL LOT AREA = 4,000 SQ.FT. TOTAL IMPERVIOUS AREA = 1.180 SO.FT. TOTAL SEMIPERVIOUS AREA = 539 SQ.FT. TOTAL AREA OF DISTURBANCE = 2,860 SQ.FT.

> **GRADING QUANTITIES:** CUT = 90 C.Y.

FILL = 5 C.Y.NET = 85 C.Y. EXPORT

WATER WATER SERVICE

INDEX TO SHEETS

Site stripping and

Subexcavation, fill

placement, and compaction

Surface and subsurface

drainage improvements

backfill compaction

Baserock subgrade

LEGEND:

— — — MAJOR CONTOUR LINE (5' INTERVAL) ----- Minor contour line (1' interval)

ROOF DOWNSPOUT/SPLASH BLOCK

MAIN FLOOR HOUSE FOOTPRINT

GRAVEL SURFACE/DRAIN ROCK

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

When the Inspection | Inspection

Throughout grading operations

Prior to placement of

forms and reinforcing

Prior to trench

Prior to pavement

operations

GEOTECHNICAL INSPECTION SCHEDULE

PORTLAND CEMENT CONCRETE SURFACE

SPOT ELEVATION

D.G. WALKWAY

WOOD DECK

AREA DRAIN

SHEET C1 COVER SHEET SHEET C2 TOPOGRAPHIC MAP/EXISTING CONDITIONS GRADING, DRAINAGE & UTILITY PLAN

Engineers, inc.

Engineers, inc

Engineers, inc

Engineers, inc

Engineers, ind

LandSet

l andSet

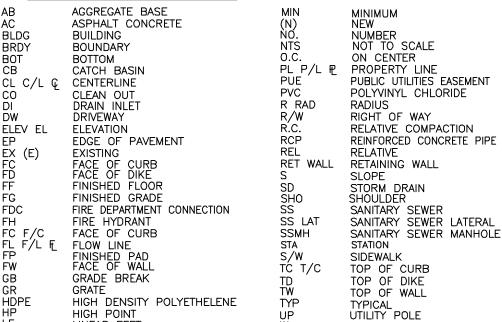
SHEET C4 GRADING SECTIONS, STANDARD PLANS & CONSTRUCTION DETAILS

EROSION & SEDIMENT CONTROL PLAN SHEET C6 CONSTRUCTION MANAGEMENT PLAN

ABBREVIATIONS:

LOW POINT

MAXIMUM



CONTACT INFORMATION:

MR. & MRS. GARY & NANCY METCALF 35940 S. JOSHUA PL. WICKENBURG, AZ 85390

SECONDARY: ARCHITECT ADAM JESELNICK ARCHITECT ATTN: MR. ADAM JESELNICK 24398 PORTOLA AVENUE CARMEL, CA 93923 PH (831)620-5164

SITE LOCATION: TORRES ST. 4 SE OF 4Th. AVE. CARMEL-BY-THE-SEA, CA 93923

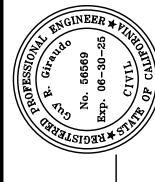
> DATE: JANUARY 2023 JOB NO. 2358-02

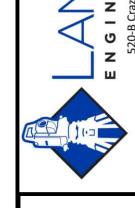
09/07/23 AMS PER SITE PLAN UPDATE 04/11/23 AMS C.O.C.-PUBLIC WORKS PLAN REVIEW 02/02/23 AMS RELEASED TO CLIENT No. DATE BY REVISION

OF $oldsymbol{6}$ SHEETS



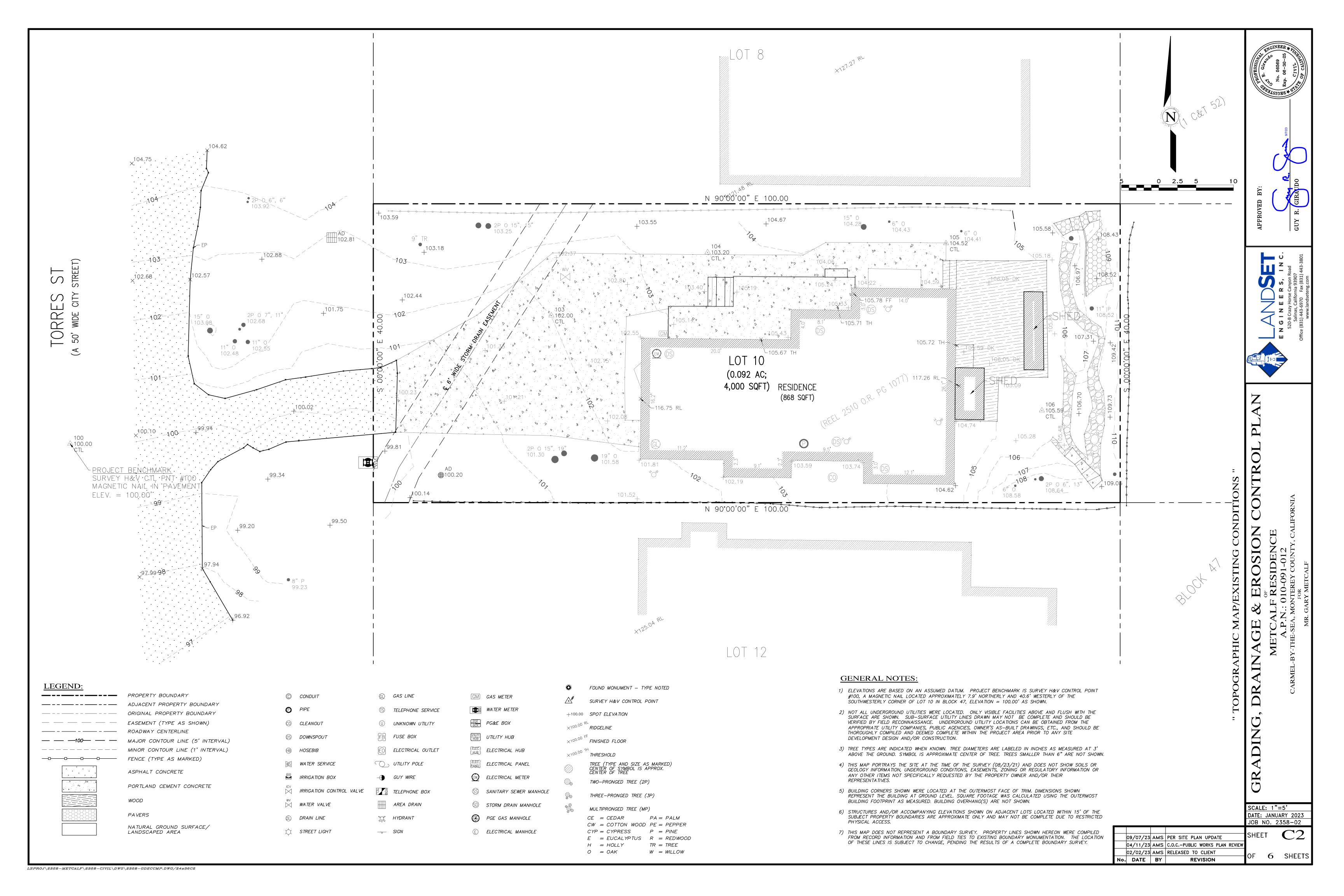
BUILDING.

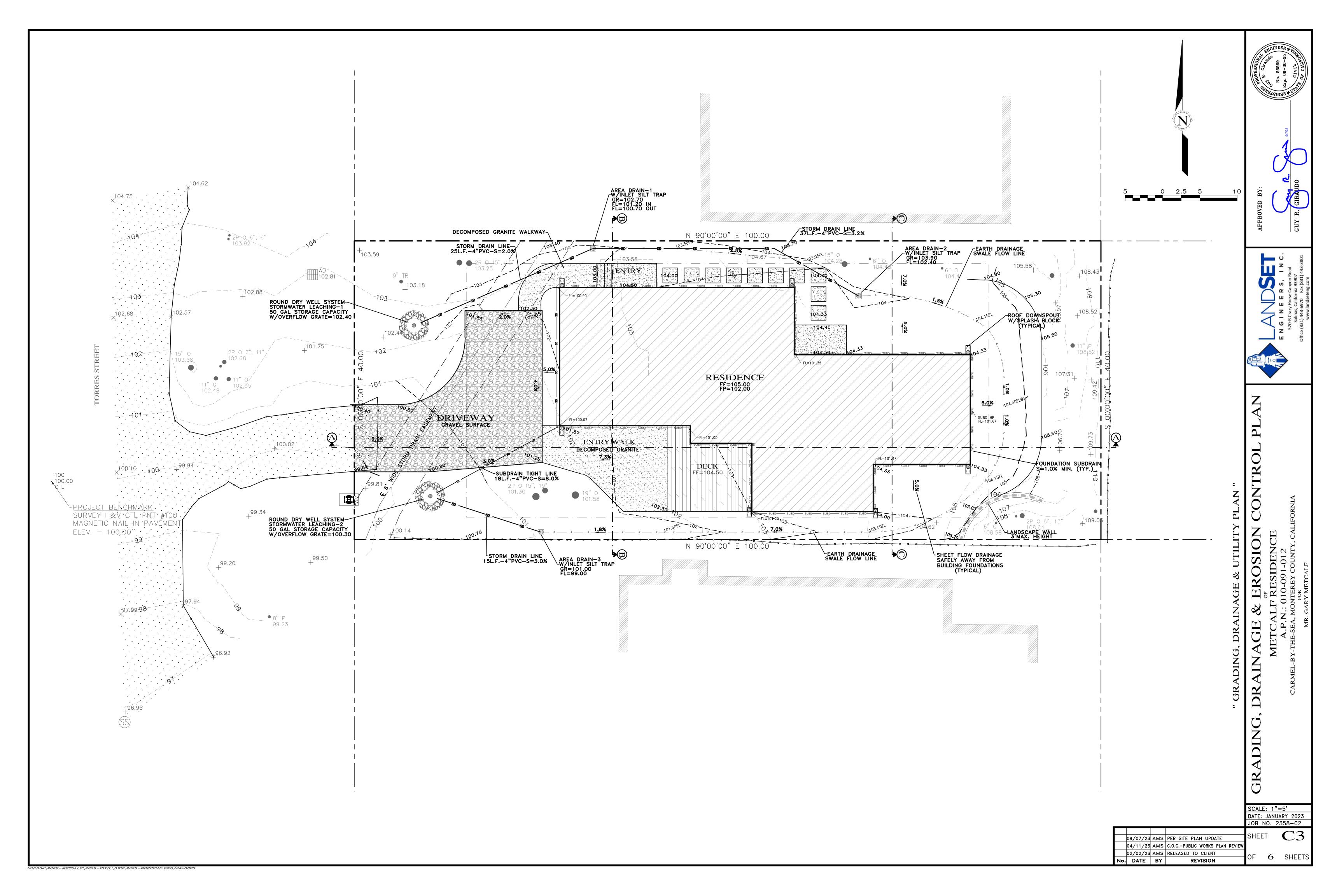


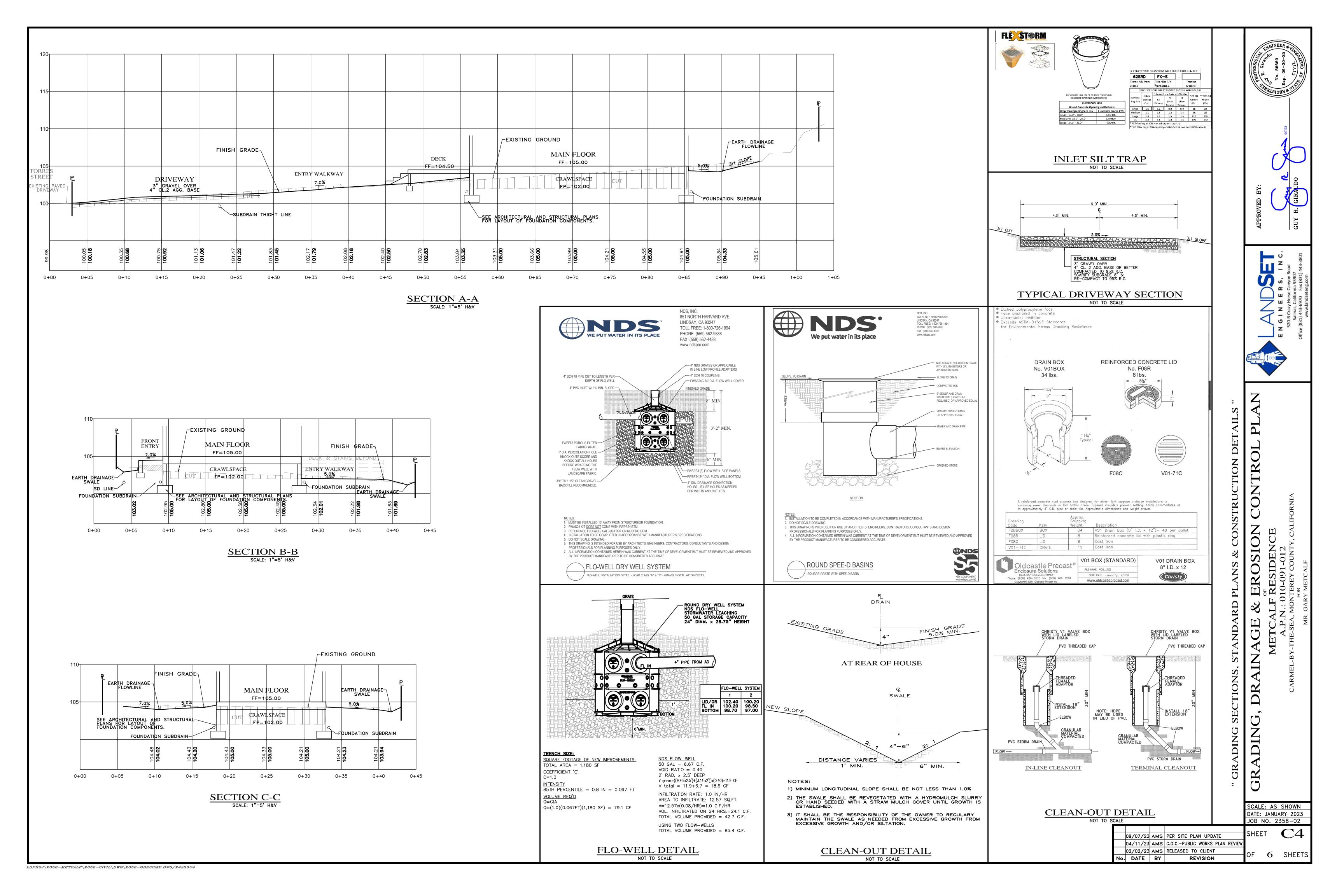


SIO

SCALE: AS SHOWN







EROSION & SEDIMENT CONTROL NOTES:

CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

TABLE 1/06.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS				
CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED			
	X			
	X			
	Х			
Х				
	Х			
	CONTINUOUS DURING TASK LISTED			

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP's INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

LEGEND:

FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.



DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED



STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.



CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.



SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE



STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX" FREATED WOOD. AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM..



CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.



OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR

WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR

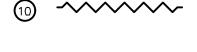
GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE,

MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK.

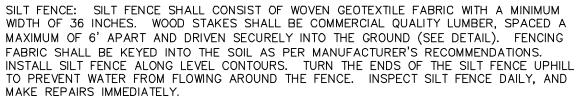
POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A



TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING,



AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH—MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



& WASTE MANAGEMENT

Non-Hazardous Materials □ Berm and securely cover stockpiles of sand, dirt, or other

construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results. this should be done at the end of the work day throughout construction when feasible. ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials ☐ Label all hazardous materials and hazardous wastes (such

as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations. Store hazardous materials and wastes in water tight containers. store in appropriate secondary

during wet weather or when rain ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply

of all hazardous wastes. Construction Entrances and

☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and



☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up

Waste Management ☐ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous

from paints, thinners, solvents,

hazardous waste (the Monterey

Regional Waste Management

District offers a Household

Hazardous Waste Facility that

glues, and cleaning fluids as

construction materials from the □ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.

Clean or replace portable toilets, and inspect them frequently for leaks and containment, and cover them spills. Incorporate secondary at the end of every work day or containment and locate them away from storm drain inlets. ☐ Dispose of liquid residues

chemicals outdoors when rain is forecast within 24 hours. ☐ Arrange for appropriate disposal

sediment discharges from site and tracking off site.

MANAGEMENT & SPILL CONTROL

Spill Prevention and Control

available at the construction

☐ Inspect vehicles and equipment

frequently for and repair leaks

promptly. Use drip pans to

catch leaks until repairs are

immediately and dispose of

cleanup materials properly

(see the Monterey Regional

guidelines for accepting

where fluids have spilled.

Use dry cleanup methods

and/or rags).

Waste Management Districts

hazardous waste materials).

(absorbent materials, cat litter,

Clean up spills or leaks

Keep spill cleanup materials

(rags, absorbents, etc.)

site at all times.

Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and ☐ Perform major maintenance repair jobs, and vehicle and equipment washing off site.

Maintenance and Parking

☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or

dispose of fluids as hazardous

☐ If vehicle or equipment cleaning must be done onsite. □ Do not hose down surfaces clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface

☐ Sweep up spilled dry materials ■ Do not clean vehicle or immediately. Do not try to equipment onsite using soaps, wash them away with water, or solvents, degreasers, steam bury them. cleaning equipment, etc. ☐ Clean up spills on dirt areas ☐ Inlet protection is the last by digging up and properly line of spill defense. Drains/ disposing of contaminated soi inlets that receive storm water (see the Monterey Regional must be covered or otherwise Waste Management District's

protected from receiving

sediment/dirt/mud, other

debris, or illicit discharges,

Contaminated Soil Acceptance ■ Report significant spills and include gutter controls and immediately. You are required filtration where applicable in by law to report all significant a manner not impeding traffic releases of hazardous materials. including oil. To report a spill:



CONTAMINATED SOILS

Erosion Control Schedule grading and excavation work for dry weather only. Stabilize all denuded areas. install and maintain temporary

where construction is not

BMPs, such as gravel bags,

migrating offsite by installing

and maintaining sediment

Ouality Control Board, and

local municipal inspector:

· Unusual soil conditions

discoloration, or odor

· Abandoned wells

Abandoned underground tanks

Buried barrels, debris, or trash

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

inlet filler, berms, etc.

☐ Prevent sediment from

the street

manholes when applying seal coat, tack coat, slurry seal, fog erosion controls (such as seal, etc. erosion control fabric or bonded fiber matrix) until ☐ Collect and recycle or vegetation is established. appropriately dispose of excess abrasive gravel or sand. Do □ Seed or plant vegetation for NOT sweep or wash it into erosion control on slopes or

immediately planned. ☐ Do not use water to wash down fresh asphalt or concrete Sediment Control pavement. ☐ Protect storm drain inlets, Sawcutting & Asphalt/Concrete gutters, ditches, and drainage courses with appropriate

□ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.

PAVING/ASPHALT

WORK

in wet weather, or when rain is

forecast before fresh pavement

will have time to cure.

☐ Cover storm drain inlets and

controls, such as fiber rolls, silt ☐ Protect storm drain inlets, fences, or sediment basins. gutters, ditches, and drainage ☐ Keep excavated soil on the site courses with appropriate where it will not collect into BMPs, such as gravel bags, inlet filters, berms, etc. □ Transfer excavated materials to ■ Shovel, abosorb, or vacuum dump trucks on the site, not in saw-cut slurry and dispose of

all waste as soon as you are ☐ If any of the following finished in one location or conditions are observed, at the end of each work day test for contamination and contact the Monterey County Environmental Health Department, Regional Water

(whichever is sooner!). ☐ If sawcut slurry enters a catch



CONCRETE, GROUT & MORTAR APPLICATION

■ Avoid paving and seal coating
■ Store concrete, grout and mortar under cover, on pallets and away

Never clean brushes or rinse from drainage areas. These materials must never reach a storm drain.

> ■ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.

☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE

being used.

weather.

MATERIALS



hazardous waste.

PAINTING & PAINT

REMOVAL

paint containers into a street,

☐ For water-based paints, paint

out brushes to the extent

possible. Rinse to the sanitary

wastewater treatment authorit

Never pour paint down a drain.

☐ For oil-based paints, paint out

brushes to the extent possible

solvent in a proper container.

unusable thinner/solvents as

Filter and reuse thinners and

solvents. Dispose of residue and

and clean with thinner or

sewer once you have gained

permission from the local

gutter, storm drain, or surface

Painting cleanup

☐ Paint chips and dust from □ Contain stockpiled landscapin non-hazardous dry stripping materials by storing them under and sand blasting may be swept tarps when they are not actively

☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or ☐ Discontinue application of an

erodible landscape material

rain event or during wet

within 2 days before a forecast

up or collected in plastic drop cloths and disposed of as trash



drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required ☐ In areas of known contamination, testing is required prior to reuse or

DEWATERING

□ Effectively manage all run-on,

the site.

all runoff within the site, and

all runoff that discharges from

☐ Divert run-on water from offsite

away from all disturbed areas or

otherwise ensure protection of

its water quality for compliance.

obtain approval from the local

municipality before discharging

water to a street gutter or storm

☐ When dewatering, notify and

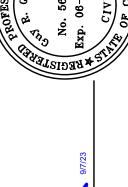
discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off site for proper disposal.

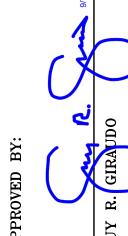
* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

09/07/23 AMS PER SITE PLAN UPDATE 04/11/23 AMS C.O.C.-PUBLIC WORKS PLAN REVIE 02/02/23 AMS RELEASED TO CLIENT

REVISION

No. DATE BY

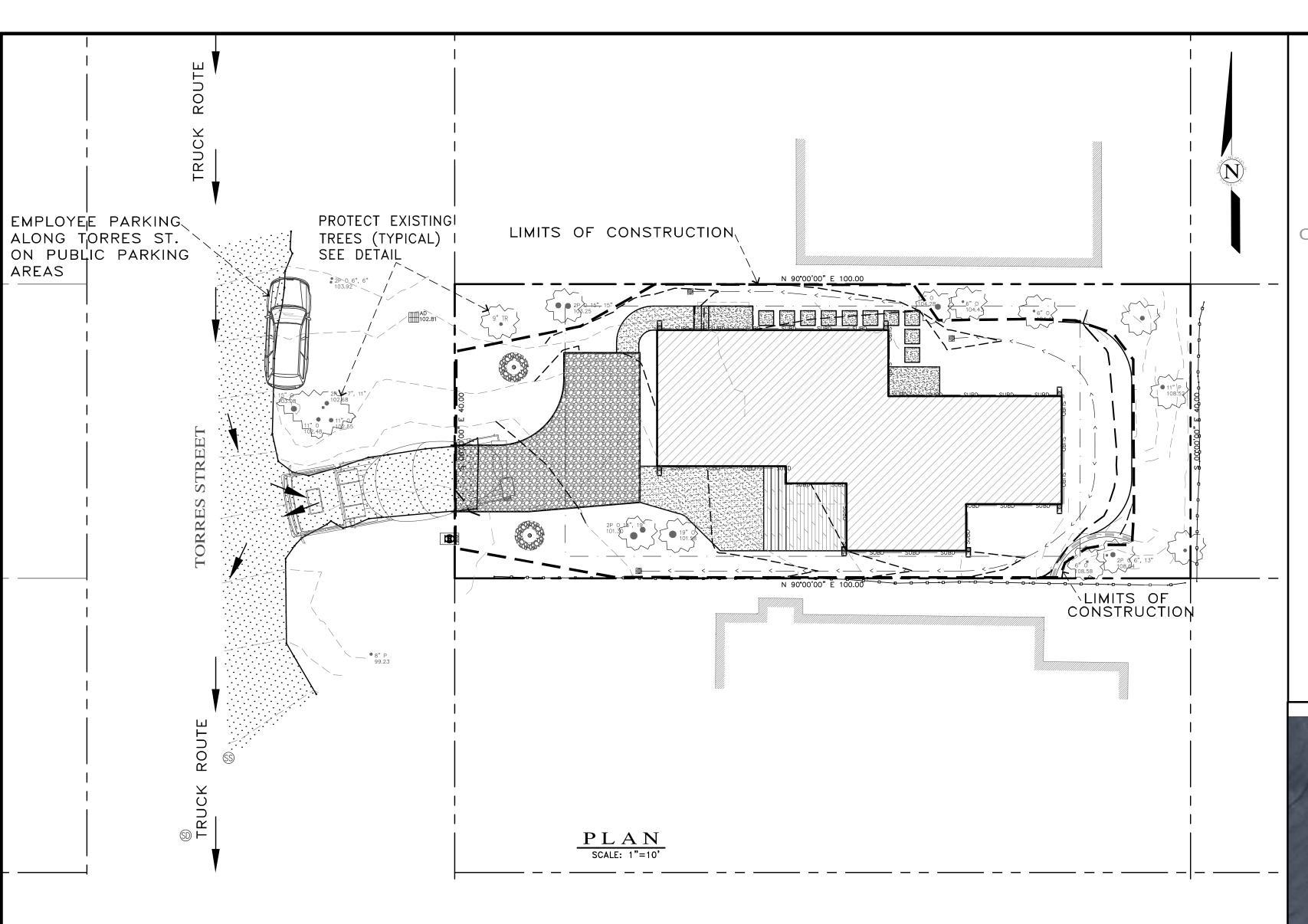


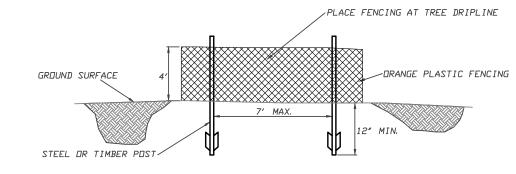


SCALE: AS SHOWN DATE: JANUARY 2023

JOB NO. 2358-02

6 SHEETS





FENCING (ESA) DETAIL

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.: 90 CY CUT 5 CY FILL

CONSTRUCTION STAGING: DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES: EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW GRAVEL DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON TORRES ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO OCEAN AVENUE TO N. JUNIPERO STREET TO 4TH AVENUE TO TORRES STREET. HAUL TRUCKS EXIT IS TO SOUTH TORRES STREET TO W. 5TH AVE TO S. JUNIPERO STREET TO E. OCEAN AVENUE TO HIGHWAY 1. VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON TORRES STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING ALONG TORRES STREET, 4TH AVE, JUNIPERO ST. AND/OR PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG TORRES STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

<u>LIMITS OF CONSTRUCTION:</u> ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	6	2
GRADING & SOIL REMOVAL (EXPORT)	5	1
ENGINEERING MATERIALS (IMPORT)	3	2
TOTALS	14	5

TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY. 2. THERE ARE 85 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.

3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 5 WORKING DAYS TO COMPLETE.

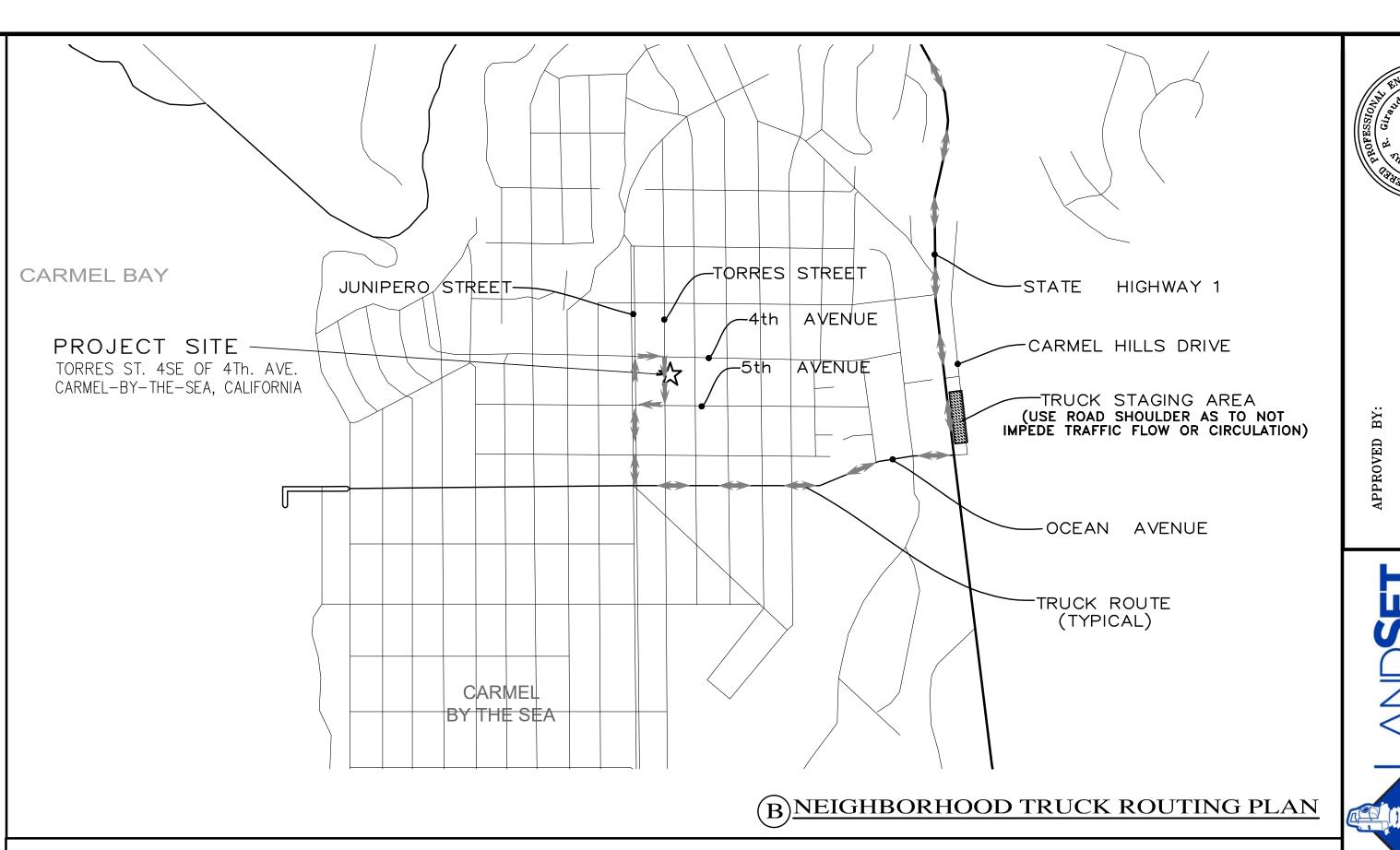
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

HOURS OF OPERATION/DAY: 8

NUMBER OF EMPLOYEES/DAY: 6-10

PROJECT SCHEDULING: PROJECTED START DATE 25 SEPTEMBER 2023, 5 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12







IRRIGATION NOTES

- 1. ALL PLANTS WILL HAVE DRIP IRRIGATION, MOSTLY WITH A SPECTRUM 360° ADJUSTABLE SPRAY NOZZLE. THE ELKIN THYME WILL HAVE MICROJET NOZZLES FOR THE MOST COVERAGE WHILE STILL WATERING AT A LOWER VOLUME AND PRESSURE.
- 2. IRRIGATION SYSTEM WILL HAVE 4 STATIONS.
- 3. WATER USAGE IS MINIMAL AT TWICE A WEEK FOR 10 MINUTES, ONCE A DAY.

PLANTING NOTES

- 1. ALL PLANTS TO BE PLANTED IN A GOPHER BASKET AND ENRICHED WITH 50% NUTRIENT RICH SOIL.
- 2. ALL PLANTS WILL HAVE CUSTOM DRIP IRRIGATION.
- 3. ALL PLANTS EITHER CA NATIVE OR DROUGHT TOLERANT.
- 4. TOP DRESSING OF SMALL REDWOOD BARK IS RECOMMENDED.
- 5. ELKIN THYME INSIDE ABND AROUND WALKWAY (SHADED AREA). 8-10 FLATS.

LEGEND

- MZ 1. MANZANILLA EMERALD CARPET ALONG DRIVEWAY BORDER x 7,1 GALLON
- LO 2. LOMANDRA BREEZE x 4,5 GALLON
- MS 3. SALVIA LEUCANTHA "MEXIGAN SAGE" x 4,5
 GALLON
- JM 4. JAPANESE MAPLE AS ACCENT TREE x 1,15 or 24"
- WP 5. LINGUSTRUM "WAXLEAF PRIVET" FOR PRIVACY x 8,15 GALLON
- AR 6. ARMERIA "SEA THRIFT" -INCLUMPS IN AROUND AN ACCENT ROCK x 13,1 GALLON
- CN 7. CAMELLIA "NUCCIO'S GEM" x 2,15 GALLON
- 8. CAMPANULA PORSCH IN FRONT AND IN BETWEEN HYDRANGEA TO DRAPE OVER ROCK WALL x 14,1 GALLON
- HY 9. HYDRANGEA "BLUSHING BRIDE" x 12,5
 GALLON
- SJ 10. STAR JASMINE PLANTED ALONG FENCELINE x 6,5 GALLON
- PO 11. PODOCARPUS MAKI x 10,5 OR 15 GALLON





JESELNICK ARCHITECT

METCALF RESIDENC
TORRES STREET 4 SE OF 4TH AVE

RMEL-BY-THE-

PROPOSED LANDSCAPE PLAN

8/30/2023

1/4'' = 1'-0''

L 1