



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 23030

Owner Name: CUMMINGS BURTON BREUNER & ELAINE ELLEN TRS

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 08/24/2023

Project Location: Monte Verde 3 SE of 11th

APN #: 010183010000 **BLOCK/LOT:** 133/ALL LOT 6

Applicant: Thomas B. Hood, AIA, Architect

Project Description: Authorization. This approval of Design Study application DS 23-030 (Cummings) authorizes the following modifications to Design Study approval DS 19-392 (Cummings): 1) Detached Garage, North and South Elevations: Replace the concrete side walls with wood siding to match the residence. 2) Detached Garage, West and South Elevations: Eliminate the roof eave and exposed beam ends. 3) Detached Garage, West Elevation: Change the plumb vertical wall to an angled wall at 90 degrees to the sloping roof. 4) Detached Garage, South Elevation: Delete high window. 5) Detached Garage, East, North, and South Elevations: Delete fascia. 6) West Elevation @ Living Room: Replace the two awning windows (Window Style A) with fixed sash windows. 7) West Elevation @ Living Room: Replace three fixed windows (Window Style B) with a combination fixed/awning window (Window Style A). 8) South Elevation @ Living Room: Eliminate the 2' x 1'2" high window. 9) North Elevation @ Kitchen: 3.75-square-foot reduction in floor area to avoid a tree limb. 10) North Elevation @ Dining Room: Realign a portion of the curved building wall, including a 13-square-foot reduction in floor area to avoid a tree trunk. 11) Change the painted finish on the front window and front door to a natural mahogany finish. The project site is located on Monte Verde Street 3, southeast of 11th Avenue, in the Single-Family Residential (R-1) District. All work shall be performed in substantial compliance with the plans prepared by Thomas Bateman Hood, stamped approved, and on file in the Community Planning & Building Department unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No	Standard Conditions
1.	<p>Authorization. This approval of Design Study application DS 23-030 (Cummings) authorizes the following modifications to Design Study approval DS 19-392 (Cummings):</p> <ol style="list-style-type: none"> 1) Detached Garage, North and South Elevations: Replace the concrete side walls with wood siding to match the residence. 2) Detached Garage, West and South Elevations: Eliminate the roof eave and exposed beam ends. 3) Detached Garage, West Elevation: Change the plumb vertical wall to an angled wall at 90 degrees to the sloping roof. 4) Detached Garage, South Elevation: Delete high window. 5) Detached Garage, East, North, and South Elevations: Delete fascia. 6) West Elevation @ Living Room: Replace the two awning windows (Window Style A) with fixed sash windows. 7) West Elevation @ Living Room: Replace three fixed windows (Window Style B) with a combination fixed/awning window (Window Style A). 8) South Elevation @ Living Room: Eliminate the 2' x 1'2" high window. 9) North Elevation @ Kitchen: 3.75-square-foot reduction in floor area to avoid a tree limb. 10) North Elevation @ Dining Room: Realign a portion of the curved building wall, including a 13-square-foot reduction in floor area to avoid a tree trunk. 11) Change the painted finish on the front window and front door to a natural mahogany finish. <p>The project site is located on Monte Verde Street 3, southeast of 11th Avenue, in the Single-Family Residential (R-1) District. All work shall be performed in substantial compliance with the plans prepared by Thomas Bateman Hood, stamped approved, and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.</p>
3.	<p>Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>

4.	<p>Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing:</p> <ul style="list-style-type: none">• The footing locations are in conformance with the approved plans prior to footing/foundation inspection;• The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness. <p>Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.</p>
5.	<p>Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.</p>
6.	<p>Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.</p>
7.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>

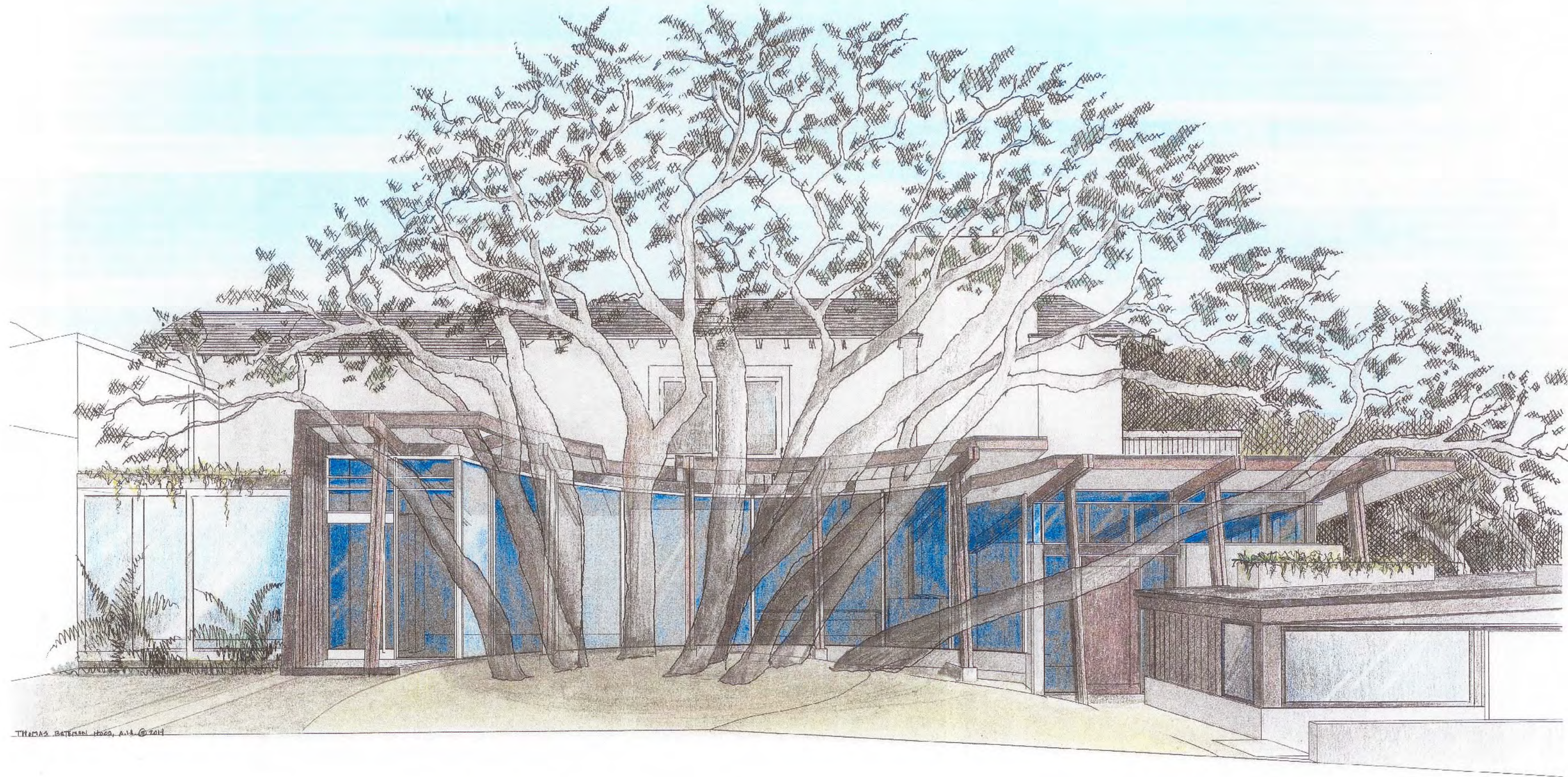
8.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>
9.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>
10.	<p>Hazardous Materials Waste Survey. Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.</p>
11.	<p>Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.</p>
12.	<p>Truck Haul Route. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.</p>

13.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
14.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.
Landscape Conditions	
15.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
16.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.

	<ul style="list-style-type: none"> • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. • If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
17.	Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.
Special Conditions	
18.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
19.	Copper Gutters & Downspouts Not Permitted. Prior to the issuance of a building permit, the applicant shall submit a revised plan for review and approval by the Planning Division, identifying an alternative material for the gutters and downspouts.

Acknowledgment and acceptance of conditions of approval:

Property Owner Signature	Printed Name	Date
Property Owner Signature	Printed Name	Date



CUMMINGS RESIDENCE

3 SE of 11th Ave on Monte Verde St.
Carmel, California

CONSULTANTS

ARCHITECT:	THOMAS BATEMAN HOOD 25805 CAROL PLACE CARMEL, CA 93923 831-652-0012	BUILDER:	BUTCH FISCHER, CEO FISCHER CONSTRUCTION, INC. 400 GARDEN AVE. MONTEREY, CA 93401 831-277-4852 LIC.#: 948201
SURVEYOR:	FRANK LUCIDO JR, LS LUCIDO SURVEYORS 2 SAUCITO AVENUE DEL REY OAKS, CA 93942 831-620-5032	GEOTECH:	GRICE ENGINEERING INC. 581A BRUNKEN AVE. SALINAS, CA 93901 831-422-9619 831-375-1198
STRUCTURAL ENGINEER:	STEVE MAYONE MAYONE STRUCTURAL ENGINEERING, INC. 187-B EL DORADO, MONTEREY, CA, 93940 831-372-4455	INTERIOR DESIGNER:	ALISON JOHNSTON, ASID JOHNSTON HOME WWW.AJOHNSTONHOME.COM 650-384-6190
MECHANICAL ENGINEER:	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD. #8 CARMEL, CA 93923 831-272-8328		

PROJECT DESCRIPTION

THE PROJECT GENERALLY INCLUDES THE FOLLOWING:

- CONSTRUCTION OF NEW SINGLE STORY ADDITION OF KITCHEN, DINING AND LIVING ROOM.
- ADDITION TO BE CONNECTED TO EXISTING 2 STORY COTTAGE WITH A BRIDGE STYLE BREEZEWAY.
- CONSTRUCTION OF NEW SINGLE STORY DETACHED 1-CAR GARAGE.

DEFERRED SUBMITTALS

- NATURAL GAS PIPING
- PLUMBING SYSTEM
- FIRE SPRINKLER SYSTEM
- SOLAR PV

SPECIAL CONDITIONS

- A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.
- TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE CITY FORESTER, ENVIRONMENTAL COMPLIANCE MANAGER, PROJECT PLANNER AND BUILDING INSPECTOR PRIOR TO BEGINNING ANY SITE WORK.

A0.1	TITLE SHEET
SU-1.0	EXISTING SURVEY
A1.0	EXISTING SITE PLAN
A1.2	PROPOSED SITE PLAN
A1.3	PROPOSED INFILTRATION PLAN
A2.0	CODE COMPLIANCE, TYPICAL DETAILS & BMPs
A2.1	PROPOSED FLOOR PLAN
A3.1	PROPOSED ELEVATIONS
A3.2	PROPOSED ELEVATIONS
A4.1	PROPOSED SECTIONS
A5.1	PRODUCT SPECS
A5.2	DETAILS
A6.1	DOOR & WINDOW SCHEDULES
A6.2	FIREPLACE SPECS
A7.1	GENERAL NOTES
A7.2	CALGREEN MANDATORY MEASURES
A7.3	CALGREEN MANDATORY MEASURES, CONT.
A7.4	CONDITIONS OF APPROVAL
E1.1	PROPOSED POWER PLANS
E1.2	PROPOSED LIGHTING PLANS

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MAIN ADDITION STRUCTURAL PLANS	LANDSCAPE PLANS
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S1.1 FOUNDATION & SHEAR WALL PLAN	L2.0 IRRIGATION PLAN
S1.2 ROOF STRUCTURAL & REDWOOD FRAMING PLANS	
S2.1 FOUNDATION DETAILS	
S2.2 DETAILS	
S3 ROOF FRAMING DETAILS	
S4 FIREPLACE DETAILS	
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S2 GARAGE ROOF FRAMING DETAILS	
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M0.2 NOTES	
M0.3 ENERGY COMPLIANCE	
M0.4 MANDATORY MEASURES	
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M2.2 LOWER FLOOR RADIANT HEATING TUBING LAYOUT	
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M6.2 CONTROLS SCHEMATIC	
M6.3 DETAILS	
M6.4 ECO-WARM INSTALLATION DETAILS	
M6.5 HEAT SOURCE VENTING	

PROJECT INFORMATION

ZONING:

R-1

CONSTRUCTION TYPE:

V-B - SPRINKLERED

OCCUPANCY GROUP:

R-3

ADDRESS:

MONTE VERDE ST. 3SE OF 11TH AVE

APN:

010-183-010

LOT AREA:

LOT AREA = 4000 S.F. (0.0918 ACRES)

FLOOR AREA:

EXISTING FLOOR AREA:	
COTTAGE:	908.00 S.F.
TOTAL =	908.00 S.F.
PROPOSED FLOOR AREA:	
COTTAGE:	908.00 S.F.
ADDITION:	685.00 S.F.
GARAGE:	200.00 S.F.
TOTAL =	1,793.00 S.F.

SITE COVERAGE:

EXISTING	TILE PATIO (LOWER)	226 sf
	TILE PATIO (UPPER)	315 sf
	BRICK WALKWAY	62 sf
	TOTAL	603 sf
PROPOSED		
IMPERMEABLE		
	EAVES	107.0 sf
	WATER FEATURE	45.0 sf
	FIRE PIT	7.0 sf
	BBQ	19.0 sf
	TOTAL	178.0 sf
PERMEABLE		
	PATIO	68.0 sf
	LANDSCAPE PAVERS	150.0 sf
	DRIVEWAY/ ENTRY	
	FRONT STEPS	160.0 sf
	TOTAL	378.0 sf
TOTAL SITE COVERAGE		556.0 sf
(MORE THAN 50% OF MATERIALS USED ARE PERMEABLE SO 4% COVERAGE BONUS HAS BEEN APPLIED.)		
MAX SITE COVERAGE @ 556 sf		

CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: DS 23-030 (Cummings)

Date Approved: August 24, 2023

Planner: M. Waffle

THOMAS BATEMAN
HOOD
ARCHITECTURE

THOMAS BATEMAN HOOD
25805 CAROL PL.
CARMEL, CALIFORNIA 93923
831 - 652 - 0012
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ADDITIONS TO THE
EXISTING STRUCTURE
CUMMINGS RESIDENCE
MONTE VERDE ST.
3 SE OF 11TH
CARMEL, CA 93921
APN: 010-183-010

OWNER:

ELAINE & BURT CUMMINGS
1360 GARDEN DRIVE
MENLO PARK, CA, 94025

REVISIONS:
1. REV. 8-1-23

OWNERSHIP AND USE OF
ARCHITECT'S DOCUMENTS
The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: TBH/TMK

PRINT DATE: 11-10-21

DRAWING DATE: 11-10-21

PAGE TITLE:

TITLE SHEET

SCALE: NA

SHEET:

A0.1

OF SHEETS

THOMAS BATEMAN HOOD
25805 Carol Pl.
Carmel, California 93923
831 - 652 - 0012
tom@t-hood.com
www.thomasbatemanhood.com

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REVISIONS:	
1	REV 8-1-22
2	
3	
4	
5	

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: TBH/TMK

PRINT DATE: 11-10-21

DRAWING DATE: 11-10-21

PAGE TITLE:

PROPOSED
SITE & ROOF
PLAN

SCALE: 1/4" = 1'-0"

SHEET:

A1.2

OF SHEETS

KEY NOTES: (XX)

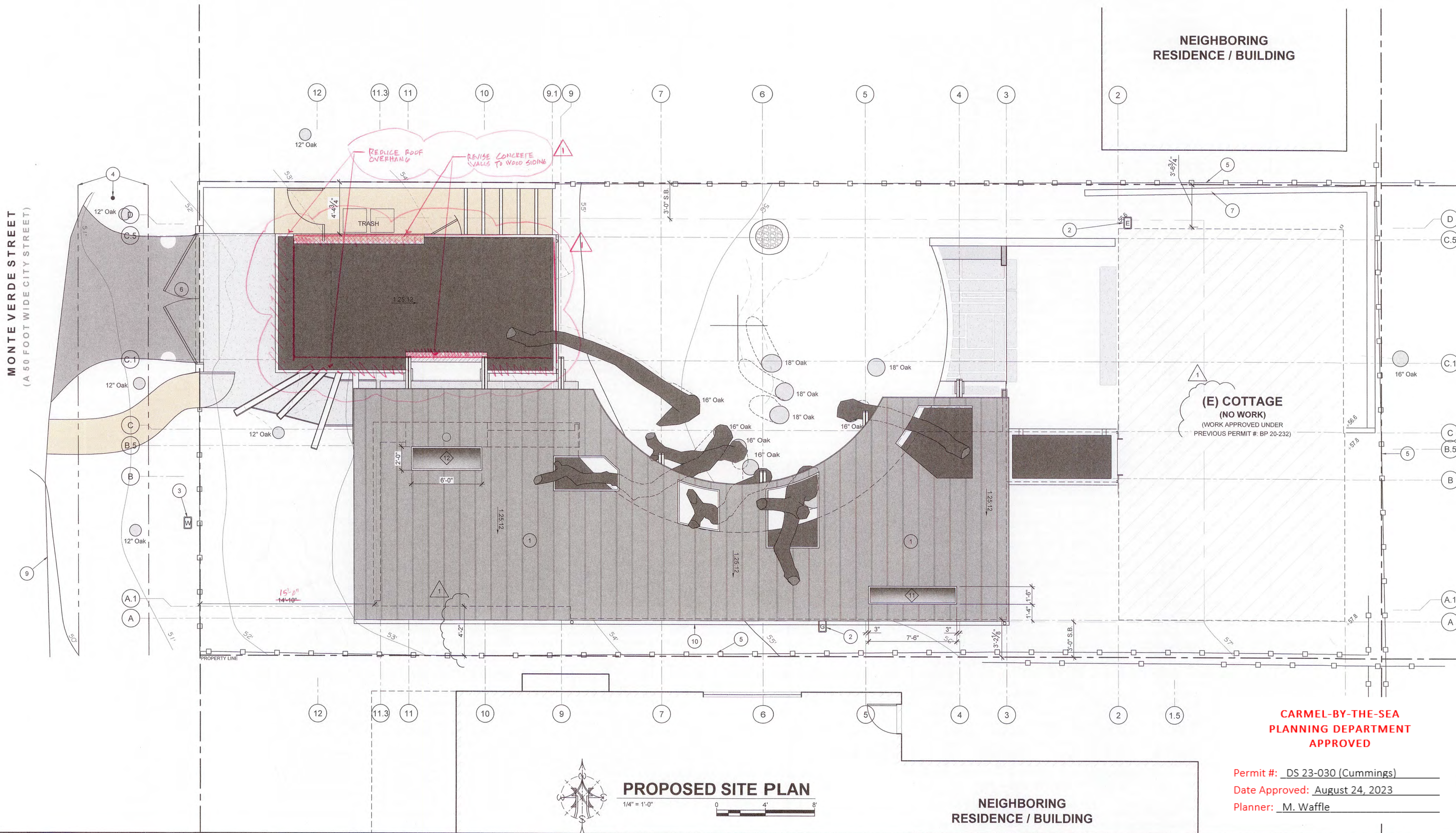
1. NEW METAL ROOF ON (N) PROPOSED STRUCTURE.
2. EXISTING PG&E GAS & ELECTRICAL MAIN LOCATIONS TO REMAIN.
3. EXISTING WATER MAIN LOCATION TO REMAIN.
4. EXISTING UTILITY POLE AND POWER LINES.
5. EXISTING WOOD FENCE TO REMAIN.
6. EXISTING WOOD GATE AND ARBOR TO REMAIN.
7. EXISTING RETAINING WALL TO REMAIN.
8. BUILDING SITE SETBACK.
9. EDGE OF ROADWAY PER SURVEY.
10. NEW METAL GUTTER AND DOWNSPOUT. TIE INTO EXISTING INFILTRATION SYSTEM APPROVED UNDER PERMIT #BP 20-232.

LEGEND:

- BUILDING SITE SETBACK
- (E) TREES TO BE REMAIN
- (E) SHRUBS TO BE REMAIN

NOTE:

- PROPOSED SITE PLAN BASED ON ORIGINAL SURVEY; SEE SU1.0.



PROPOSED SITE PLAN

1/4" = 1'-0"

NEIGHBORING
RESIDENCE / BUILDING

CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

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REVISIONS:

1	REV 8-1-22
2	
3	
4	
5	

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

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PAGE TITLE:

PROPOSED
INFILTRATION
SYSTEM
SITE PLAN

SCALE: 1/4" = 1'-0"

SHEET:

A1.3

OF SHEETS

KEY NOTES: (XX)

1. EXISTING APPROVED GUEST HOUSE UNDER PERMIT #: BP 20-232.
2. (E) ROOF LINE ABOVE.
3. (E) GRADE.
4. (E) PG&E GAS & ELECTRICAL MAIN LOCATIONS TO REMAIN.
5. (E) WATER MAIN LOCATION TO REMAIN.
6. (E) UTILITY POLE AND POWER LINES.
7. BUILDING SITE SETBACK.
8. (E) EDGE OF ROADWAY PER SURVEY.
9. (E) 4" Ø PERFORATED PVC SUB-DRAIN PIPE.
10. (E) 4" Ø SOLID SURFACE WATER CONVEYANCE PIPE.
11. (E) 8"x8" SURFACE DRAIN INPUT AT 54"-6" PER SURVEY. CONNECTS TO BURIED CONVEYANCE PIPE.
12. (E) CLEAN-OUT FOR SOLID WATER PIPE.
13. (E) DOWNSPOUT CONNECTING TO BURIED CONVEYANCE PIPE.
14. (E) EDGE OF ROADWAY PER SURVEY.
15. (E) ROCK LINED SWALE.
16. (E) RAIN GARDEN.
17. (E) SEDIMENT CATCHMENT BASIN PER PREVIOUSLY APPROVED PLANS UNDER BP 20-232.
18. (E) INFILTRATION TRENCH PER PREVIOUSLY APPROVED PLANS UNDER BP 20-232.
19. (E) CLEAN-OUT TO REMAIN. TO BE INSPECTED FOR USE WITH PROPOSED DRAINAGE SYSTEM.
20. CONNECT NEW DOWNSPOUT SEDIMENT CATCHMENT BASIN TO PREVIOUS APPROVED INFILTRATION TRENCH.
21. NEW DOWNSPOUT CONNECTING TO PREVIOUSLY APPROVED BURIED CONVEYANCE PIPE.
22. OVERFLOW SCUPPER DRAIN INTO FILTERED RECIRCULATED POND.

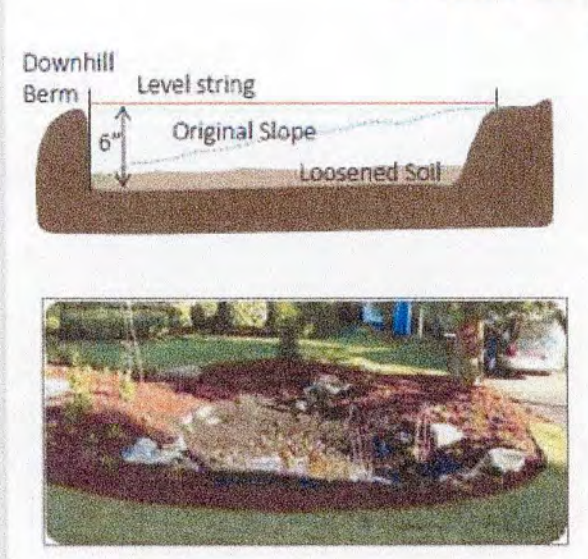
LEGEND:

- INFILTRATION SYSTEM SETBACK
- BUILDING SITE SETBACK
- (E) TREE LIMBS
- (E) TREES

NOTE:

- PROPOSED INFILTRATION SYSTEM SITE PLAN BASED ON ORIGINAL SURVEY, SEE SU1.0.
- SEE CITY OF CARMEL'S SOG 17-07 FOR FURTHER INFILTRATION SYSTEM AND RAIN GARDEN NOTES.

Install your Rain Garden



- Once you have selected a site and planned the size of your rain garden, lay out the shape using a string or tape to define the outline of where you will dig.
- If the yard is level, dig to a depth of 6-inches and slope the sides. If the site is sloped, you may need to dig out soil on the uphill side of the area and use the soil to construct a small berm (a compacted wall of soil) along the down slope side of the garden.
- Use a string level to help level the top of the garden and maintain an even 6-inch depth.
- Once the garden is excavated, loosen the soil on the bottom of the area so you have about 12 inches of soft soil for plants to root in. Mix in about 3 inches of compost to help the plants get established and improve the water-holding capacity of the soil.
- If water enters the garden quickly, include a layer of gravel or river rock at the entry points to prevent erosion.

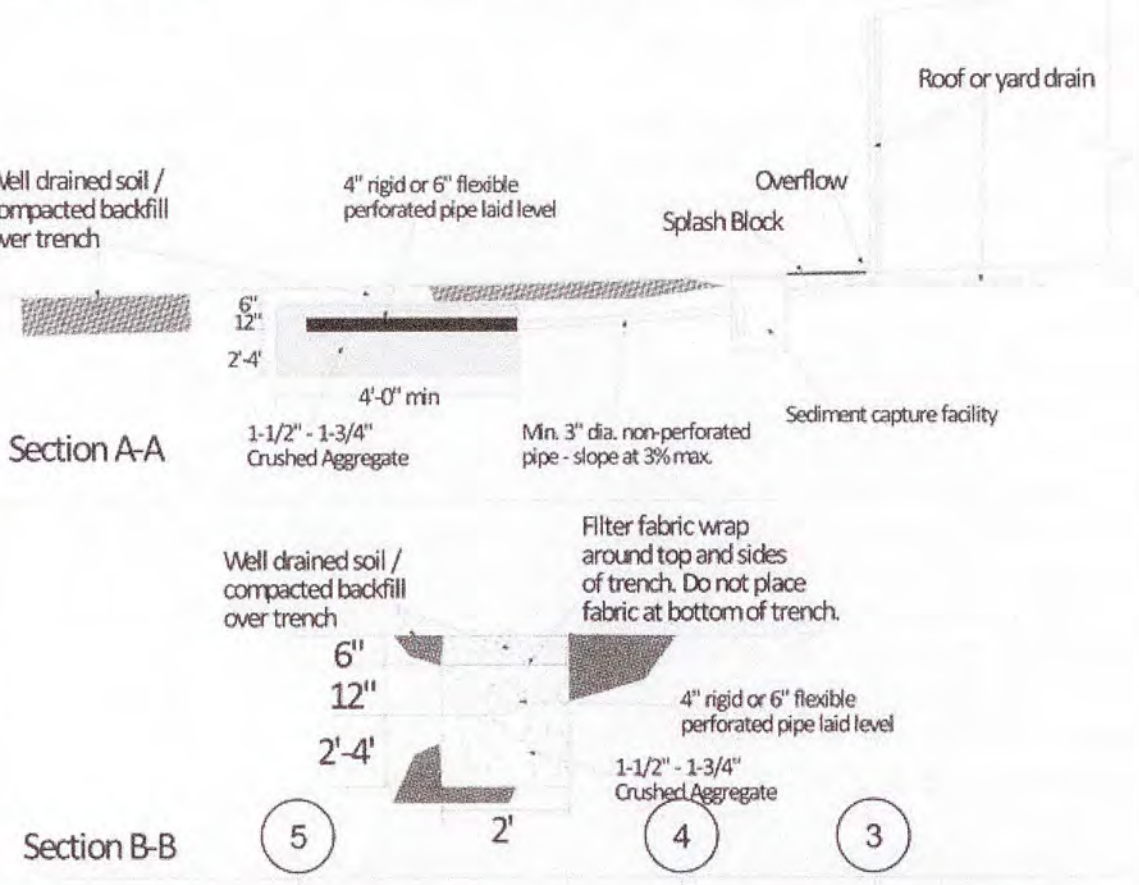
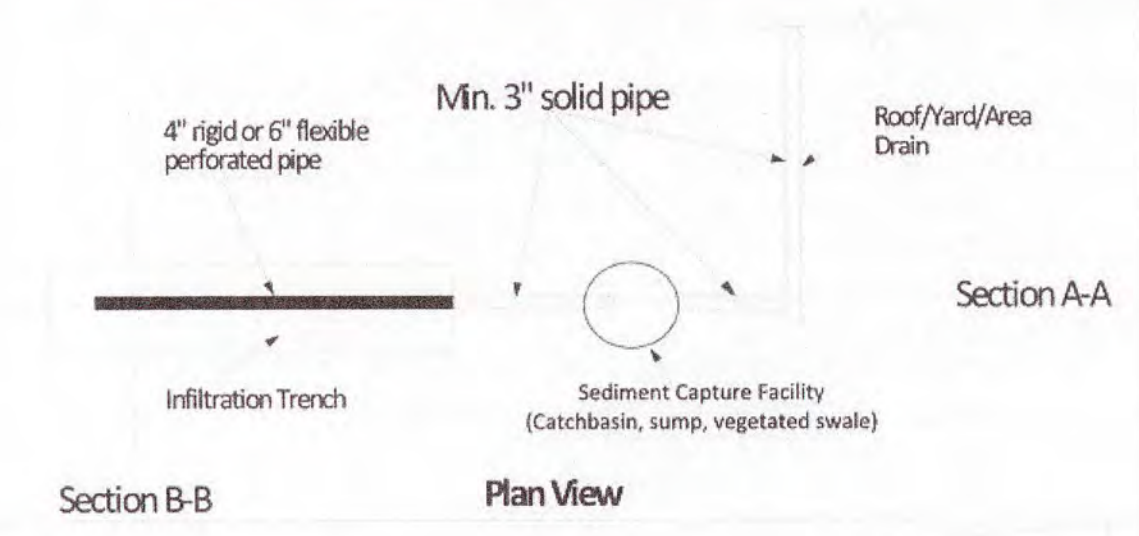
Select Appropriate Plants



- You can design your rain garden to be as beautiful as any other type of garden. Select plants that are appropriate for your location and the extremes of living in a rain garden.
- Site Considerations:
- How much light will your garden receive?
 - Is your property near the coast or located in an inland area (this affects sun and temperature)?
 - Are there high winds near your home?
- Recommended plant characteristics:
- Native plants adapted to local soil and climate.
 - Drought tolerant.
 - Flood tolerant.
 - Not invasive weedy plants.
 - Non-aggressive root systems to avoid damaging water pipes.
 - Attracts birds and beneficial insects.
- Contact municipal staff to obtain a list of recommended plants, provided in the countywide stormwater guidance.

RAIN GARDEN DETAILS & NOTES

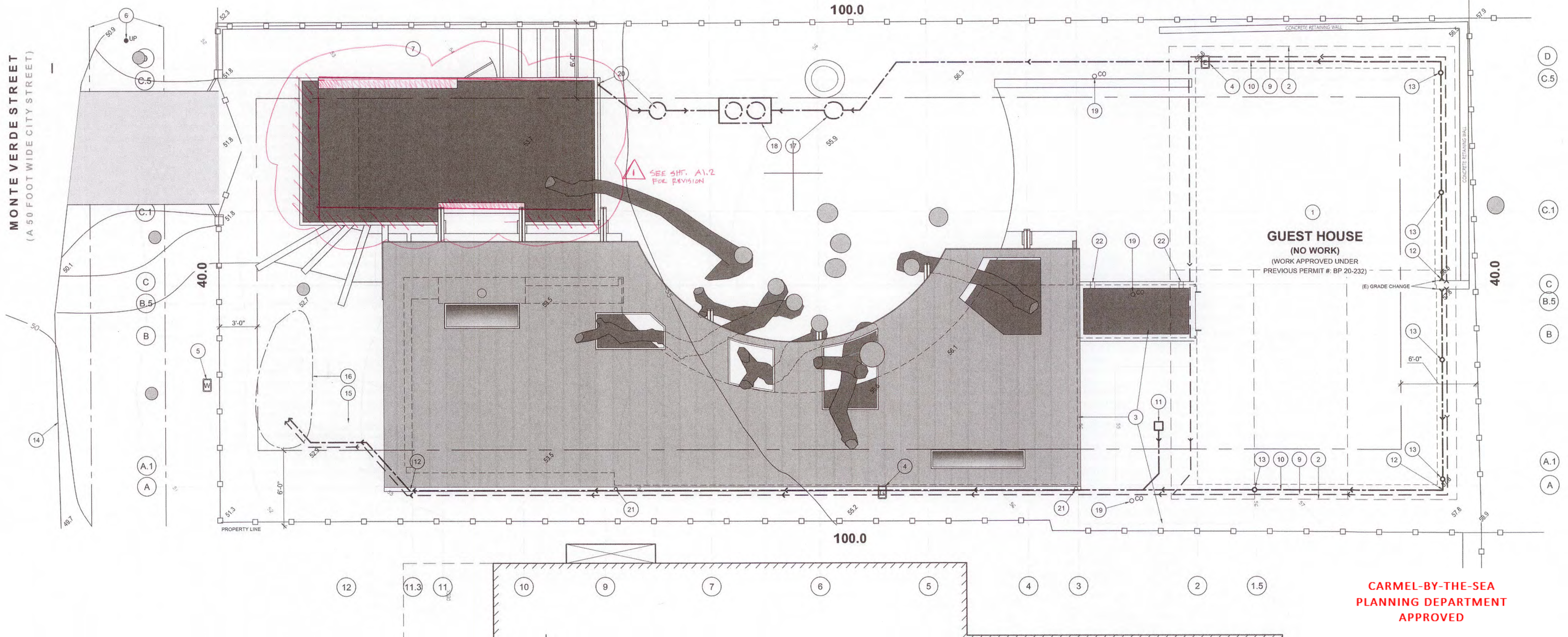
NTS



INFILTRATION SYSTEM DETAILS

NTS

NEIGHBORING
RESIDENCE / BUILDING



PROPOSED INFILTRATION SYSTEM PLAN

1/4" = 1'-0"

NEIGHBORING
RESIDENCE / BUILDING

CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: DS 23-030 (Cummings)
Date Approved: August 24, 2023
Planner: M. Waffle

LEGEND:

(N) 2x4 FRAMING

NOTE:

- GRID LINES ARE TO FACE OF CONCRETE, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

1. KITCHEN SINK: SEE SECTION 1.6 IN "CODE COMPLIANCE" ON SHEET A2.0 FOR FLOW RESTRICTIONS.
2. KITCHEN: SEE SECTION 3 IN "CODE COMPLIANCE" FOR REQUIREMENTS.
3. CONCRETE STAIRS: SEE SECTION 2 IN "CODE COMPLIANCE" ON SHEET A2.0 FOR REQUIREMENTS.
4. PARTIAL HEIGHT WALL.
5. FIREPLACE: SEE A6.2 FOR SPECIFICATIONS.
6. BUILT IN BANQUETTE FOR DINING; SEE INTERIORS FOR DETAILS.
7. CABINETS: SEE INTERIORS FOR DETAILS.
8. COOKTOP w/ HOOD VENT; SEE SECTION 3 IN "CODE COMPLIANCE" FOR REQUIREMENTS.
9. BUILT-IN SHELVES.
10. ROOF LINE ABOVE.
11. ROOF PERFORATION ABOVE, SEE ROOF PLAN ON A1.2.
12. LINE OF SOFFIT ABOVE.
13. RAIL ROAD TIE LANDSCAPE STEPS.

THOMAS BATEMAN HOOD
25805 Carol Pl.
Carmel, California 93923
831-652-0012
tom@t-hood.com
www.thomasbatemanhood.com

PROJECT:
ADDITIONS TO THE
EXISTING STRUCTURE
CUMMINGS RESIDENCE
MONTE VERDE ST.
3 SE OF 11TH
CARMEL, CA 93921
APN: 010-183-010

OWNER:

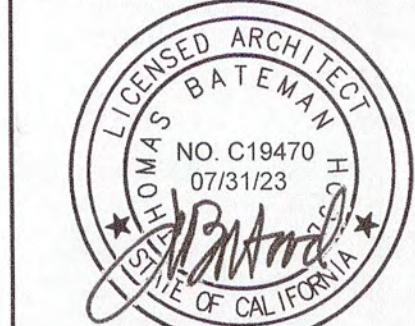
ELAINE & BURT CUMMINGS
1360 GARDEN DRIVE
MENLO PARK, CA, 94025

REVISIONS:

1	REV 8-1-22

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ARCHITECT'S DOCUMENTS
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

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PRINT DATE: 11-10-21

DRAWING DATE: 11-10-21

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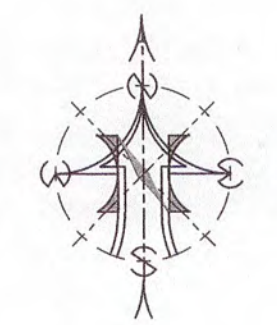
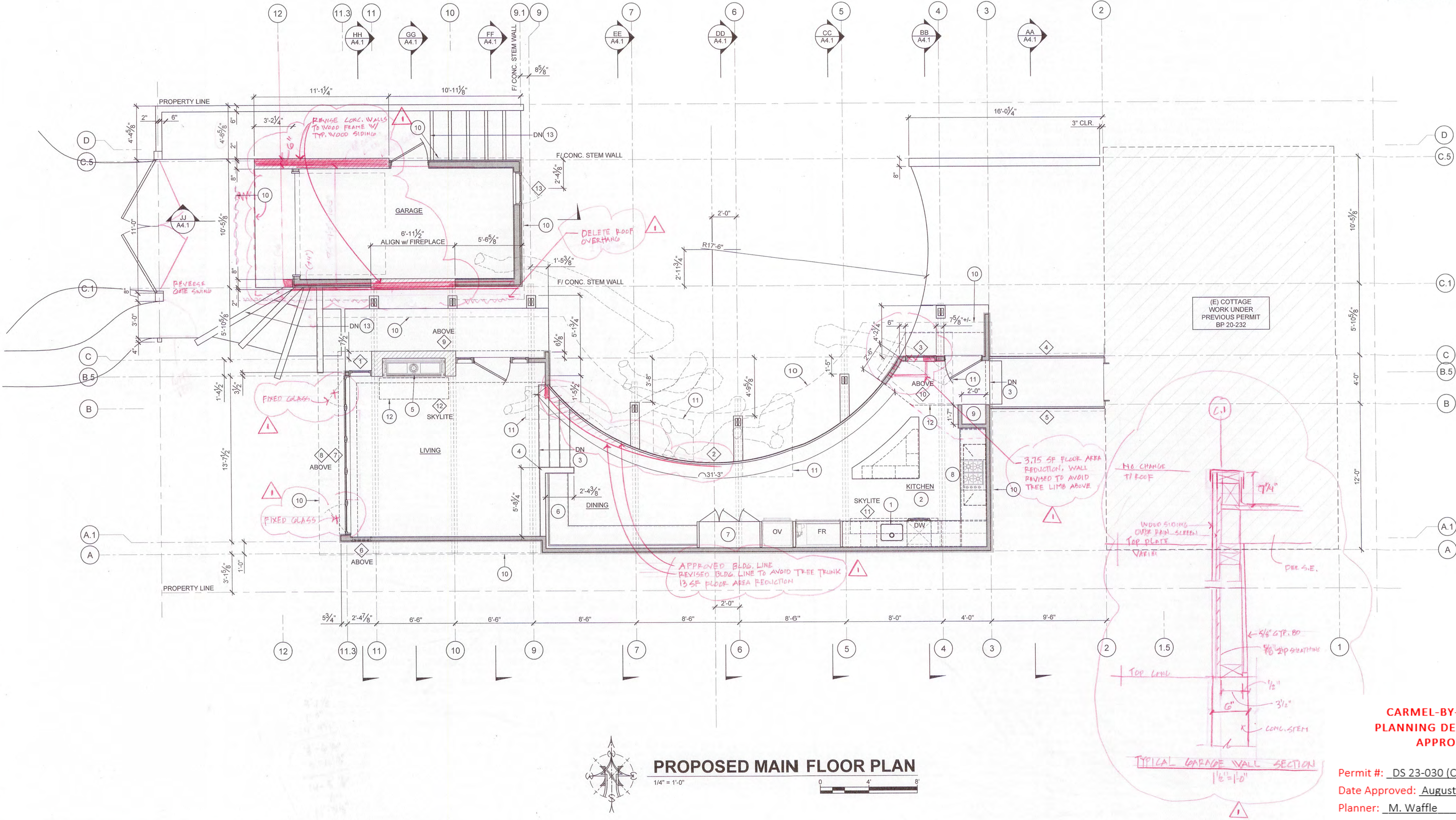
PROPOSED
MAIN FLOOR
PLAN

SCALE: 1/4" = 1'-0"

SHEET:

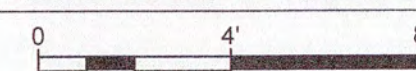
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OF SHEETS



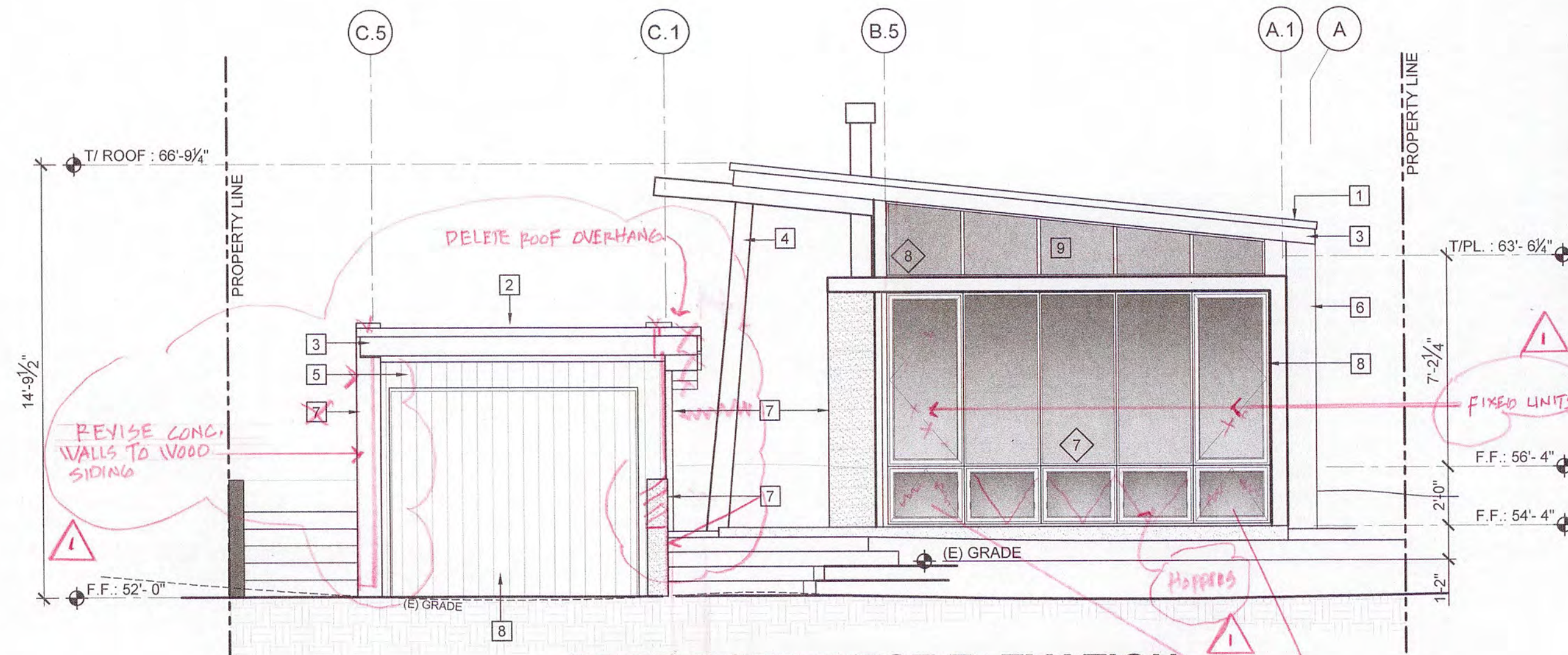
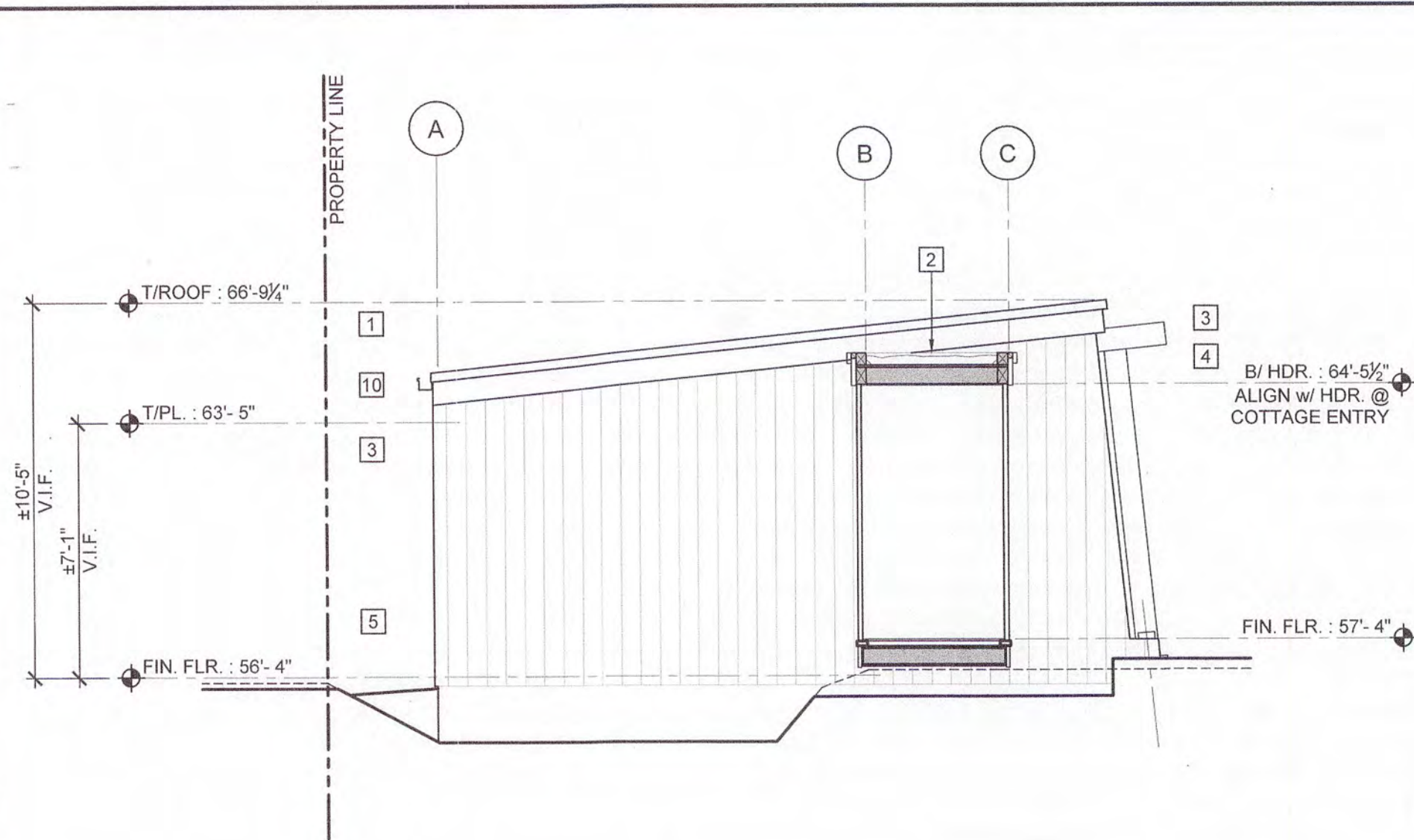
PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"



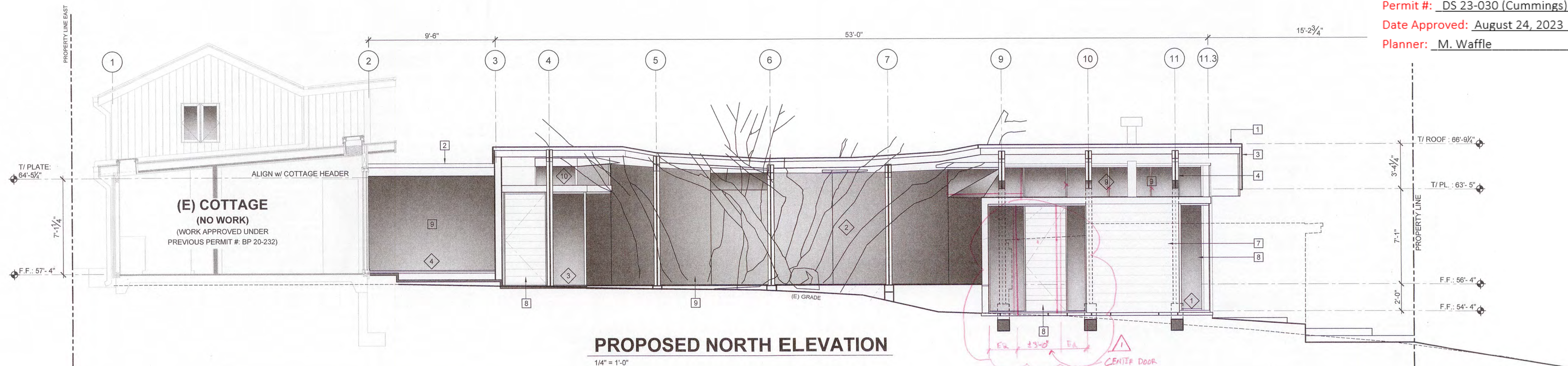
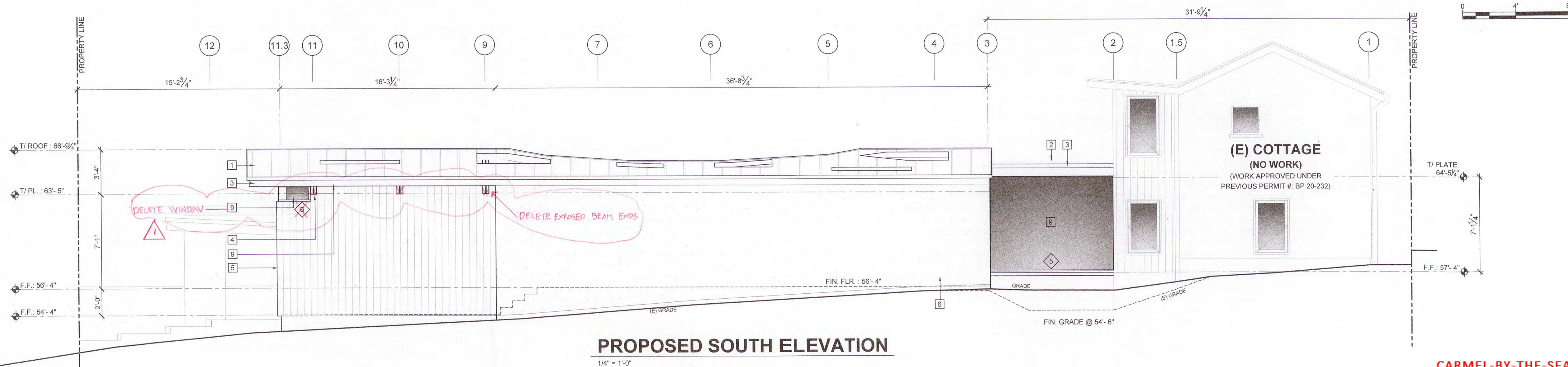
CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: DS 23-030 (Cummings)
Date Approved: August 24, 2023
Planner: M. Waffle



ELEVATION NOTES

1. NEW STEEL STANDING SEAM ROOFING, 16" o.c., OVER-REINFORCED EXISTING ROOF FRAMING
2. GREEN ROOF
3. NEW WOOD FASCIA/ TRIM, PAINT GRADE - 14.42.14 H2A35E
4. STAINED WOOD COLUMNS AND BEAMS
5. VERTICAL TREATED CEDAR SIDING
6. PAINTED STUCCO FINISH OVER EXISTING WALL BUILD-UP/ FRAMING; SEE SECTION 4 IN "CODE COMPLIANCE" ON SHEET A2.0
7. BOARD FORM CONCRETE
8. WOOD WINDOWS & DOORS, PAINT GRADE
9. CONTINUOUS GLASS WINDOWS
10. NEW METAL GUTTER AND DOWNSPOUT



CARMEL-BY-SEA
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Planner: M. Waffle

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CARMEL, CA 93921
APN: 010-183-010

ELAINE & BURT CUMMINGS
1360 GARDEN DRIVE
MENLO PARK, CA, 94025

REVISIONS:

1. REV - 8-1-22

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ARCHITECTURAL STAMP:



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CARMEL, CA

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PRINT DATE: 11-10-21

DRAWING DATE: 11-10-21

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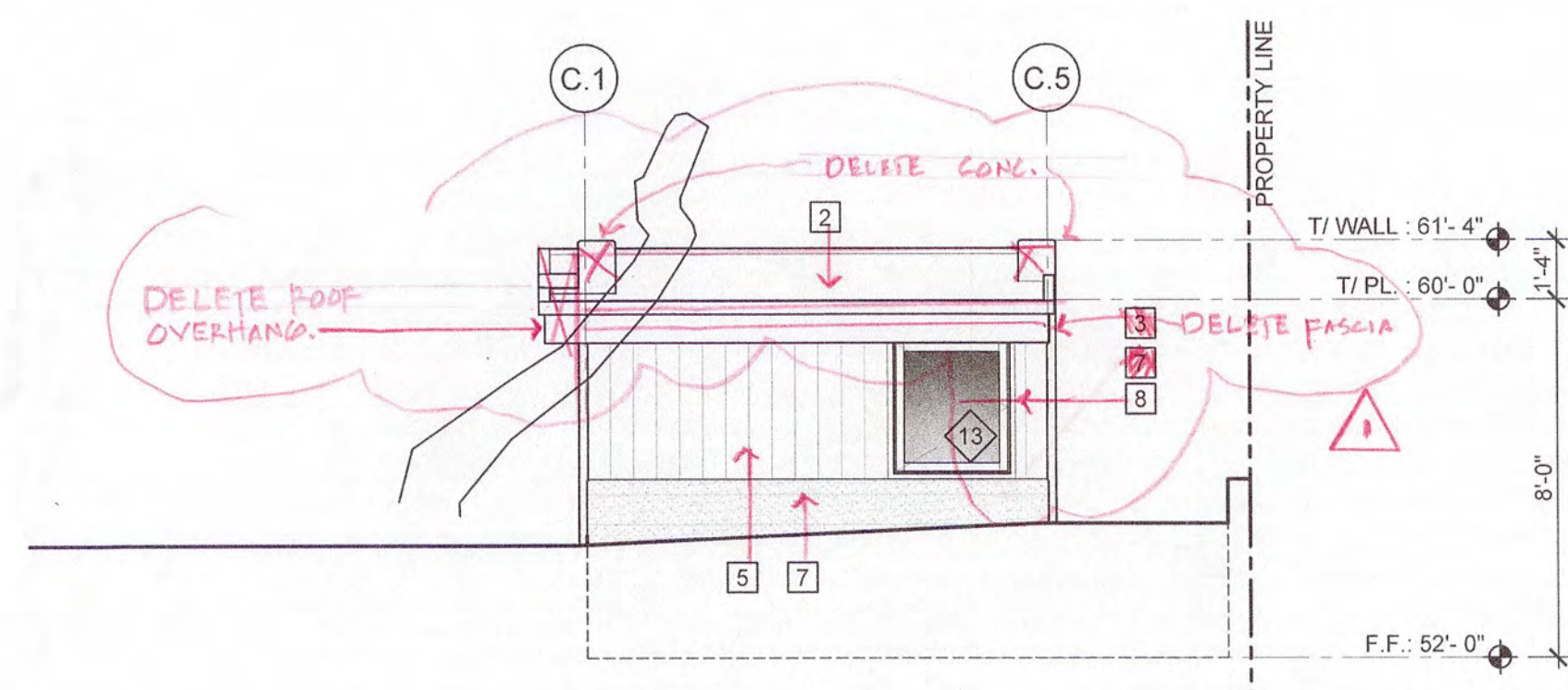
PROPOSED
ADDITION
ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET:

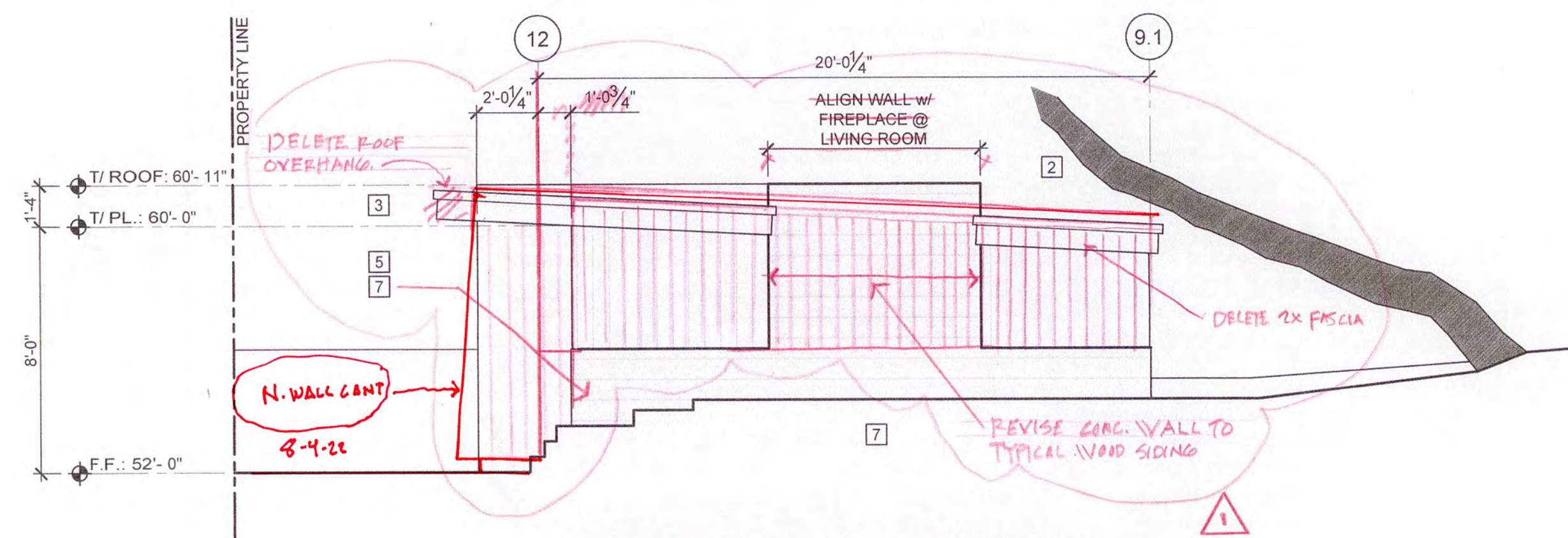
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OF SHEETS



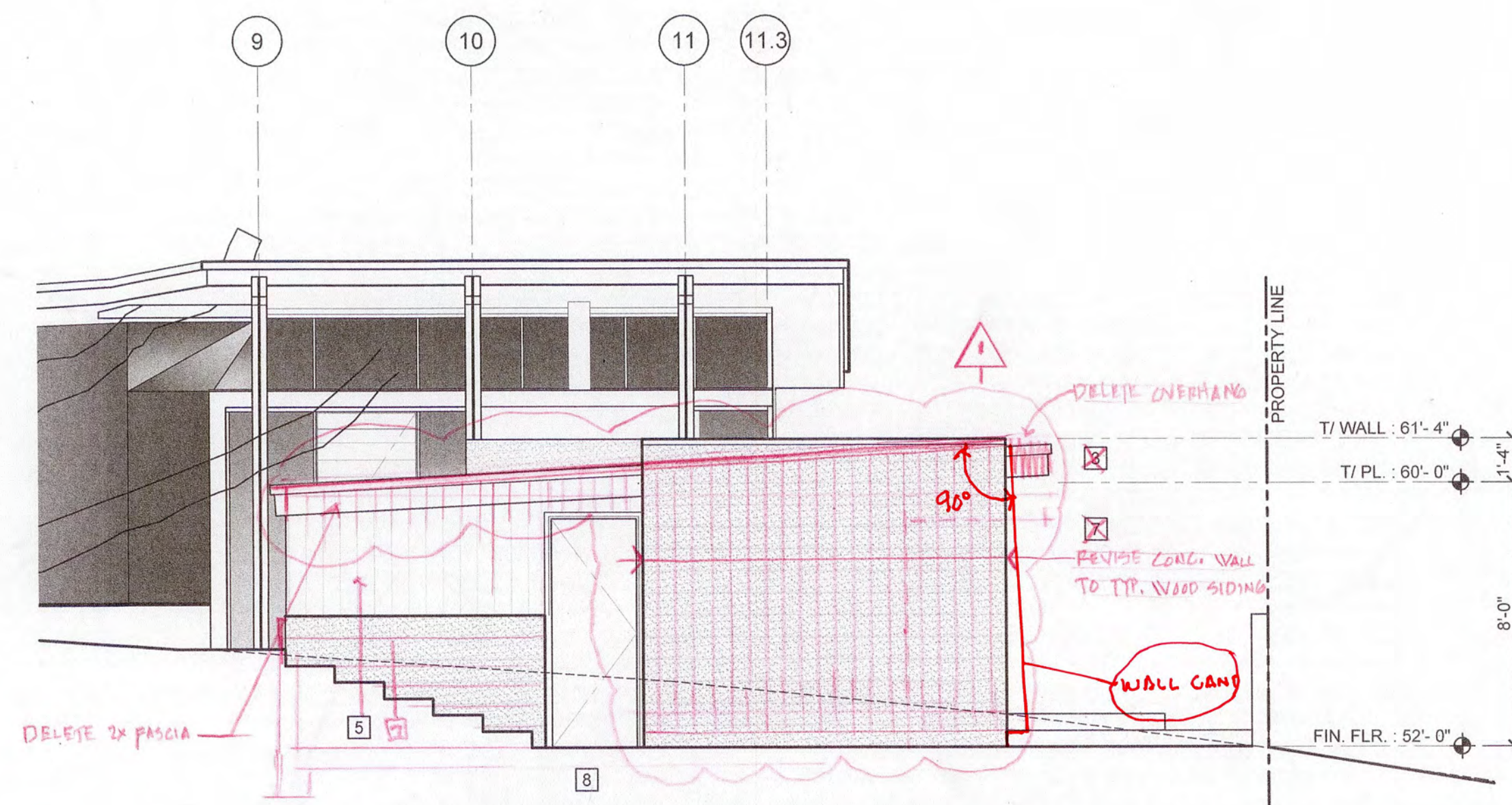
GARAGE EAST ELEVATION

1/4" = 1'-0"



GARAGE SOUTH ELEVATION

1/4" = 1'-0"



GARAGE NORTH ELEVATION

1/4" = 1'-0"

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7. BOARD FORM CONCRETE
8. WOOD WINDOWS & DOORS; PAINT GRADE
9. CONTINUOUS GLASS WINDOWS
10. NEW METAL GUTTER AND DOWNSPOUT



CUMMINGS RESIDENCE MAJOR MATERIALS
1. ROOF: STANDING METAL SEAM, TAYLOR METAL PRODUCTS, COLOR: "ZINC GRAY"
2. WALLS: WOOD SIDING, PIKA PIKA SKUI1814, PENOFIN DARK GRAY
3. WOOD COLUMNS & BEAMS: BENJAMIN MOORE SEMI SOLID #1593 "DARK OAK"
4. STUCCO WALLS: BENJAMIN MOORE #1575, "RAINY AFTERNOON"
5. WINDOWS: ALL WOOD, COLOR: BENJAMIN MOORE #1484, "ASHWOOD MOSS"
6. GARAGE SIDE WALLS & FIREPLACE: BOARD FORM CONCRETE, INTEGRAL COLOR
THOMAS BATEMAN HOOD ARCHITECTURE FEBRUARY 5, 2020

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 23-030 (Cummings)
Date Approved: August 24, 2023
Planner: M. Waffle

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APN: 010-183-010

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CARMEL, CA

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PRINT DATE: **11-10-21**

DRAWING DATE: **11-10-21**

PAGE TITLE:

**PROPOSED
ADDITION
SECTION DETAILS**

SCALE: AS NOTED

SHEET:

A3.2

OF SHEETS

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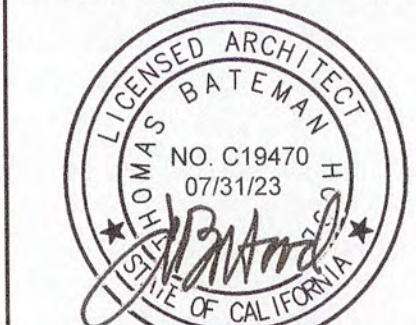
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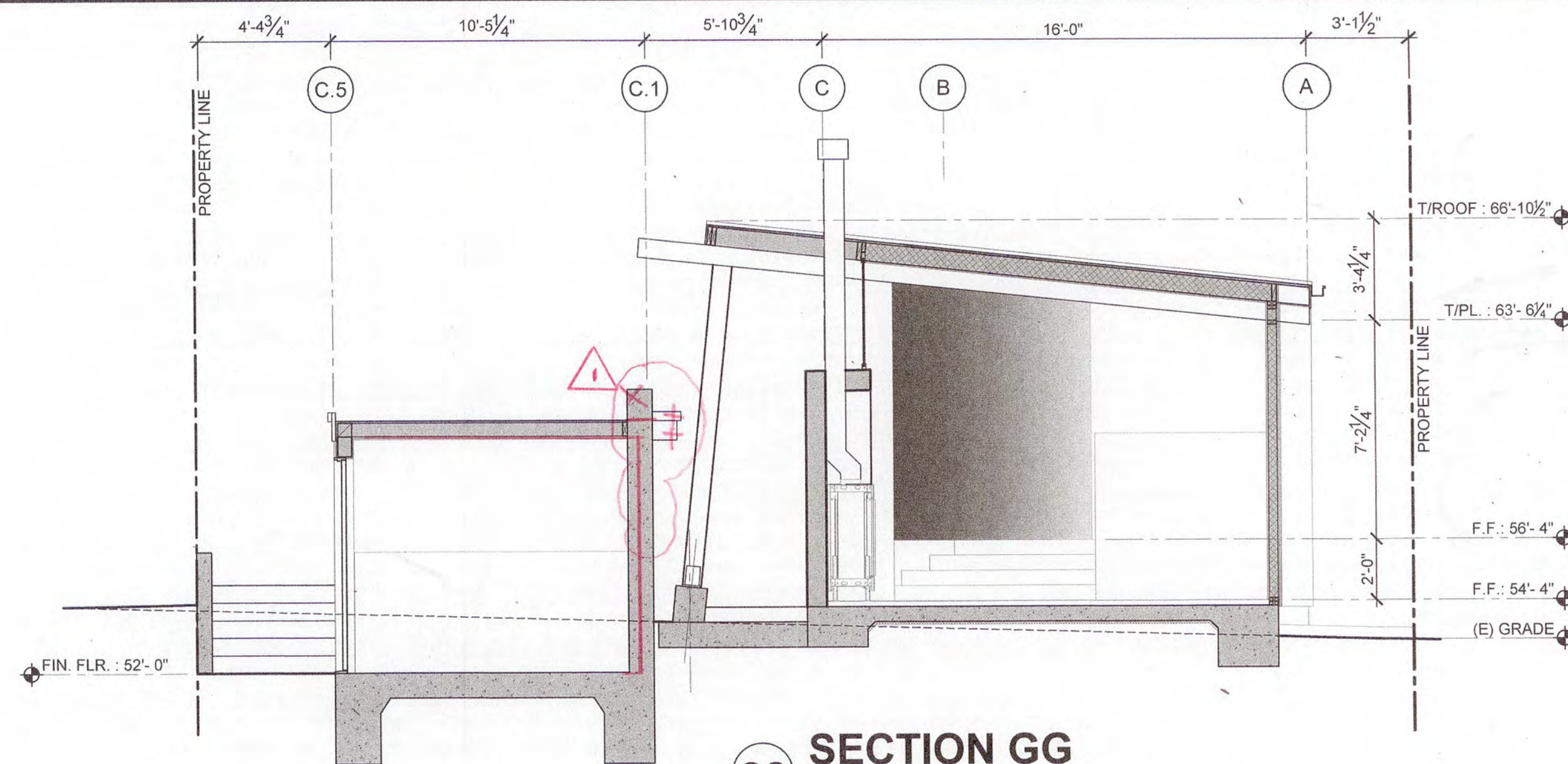
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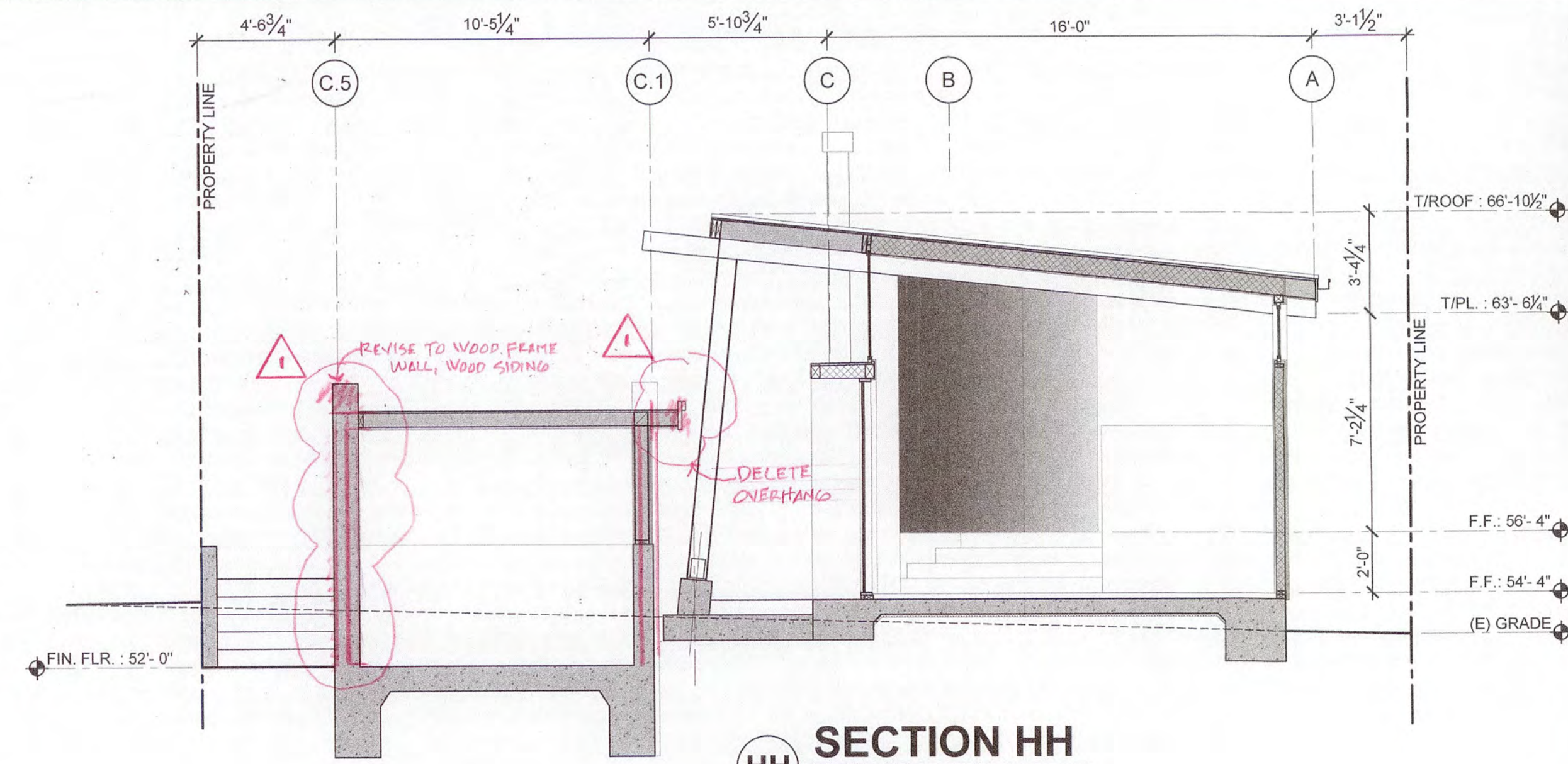
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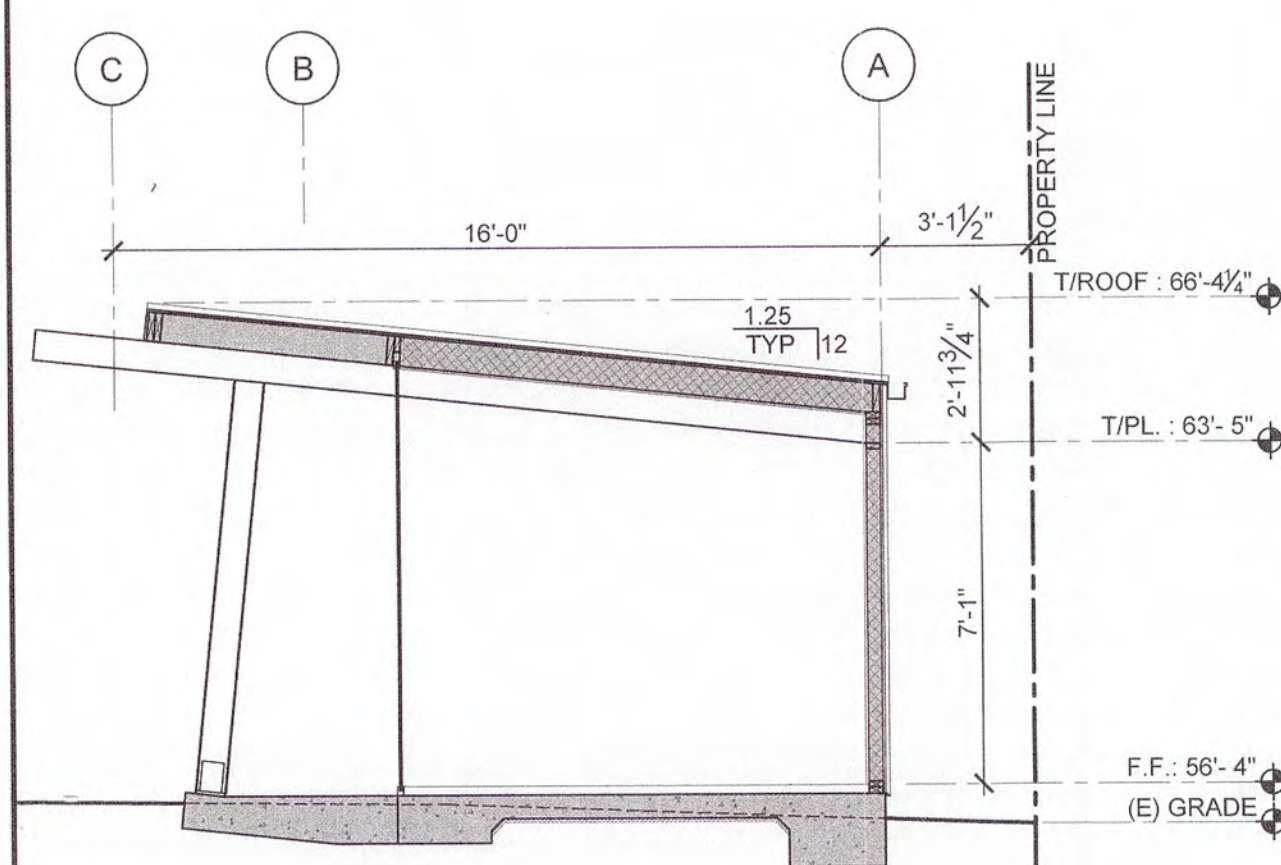
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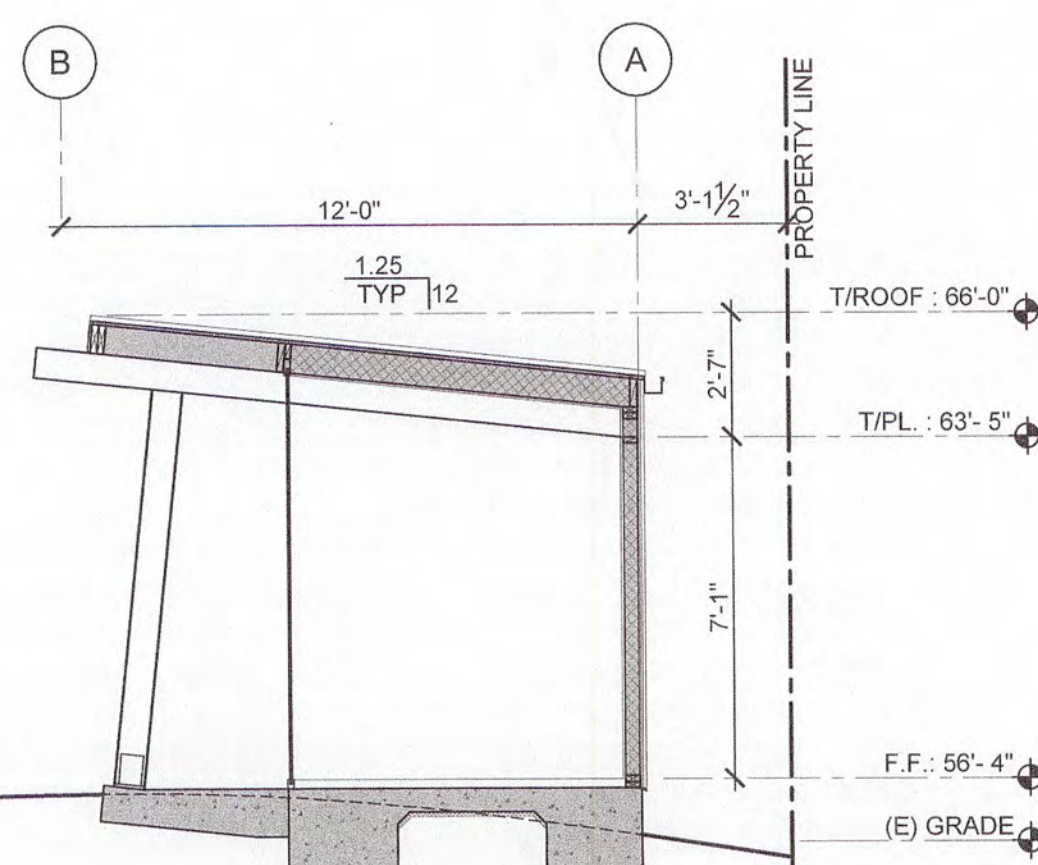
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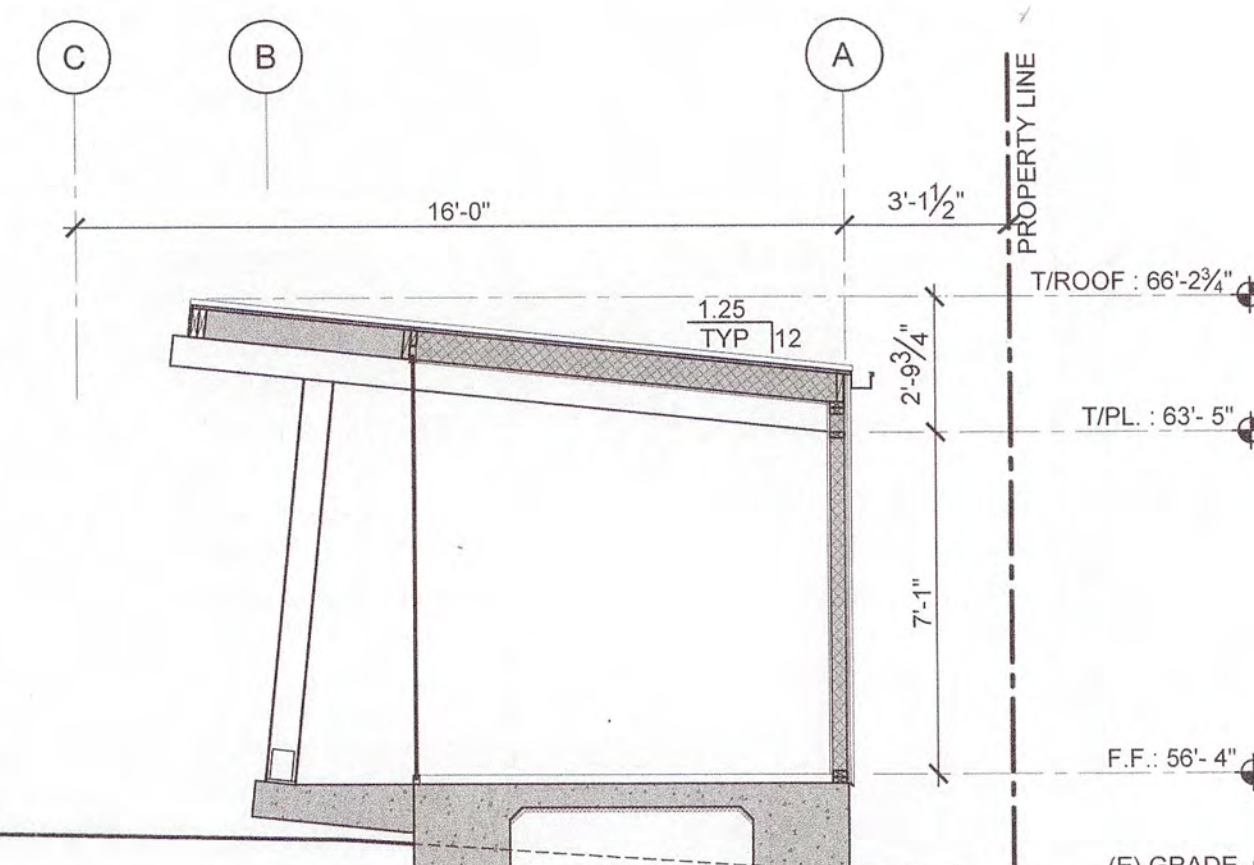
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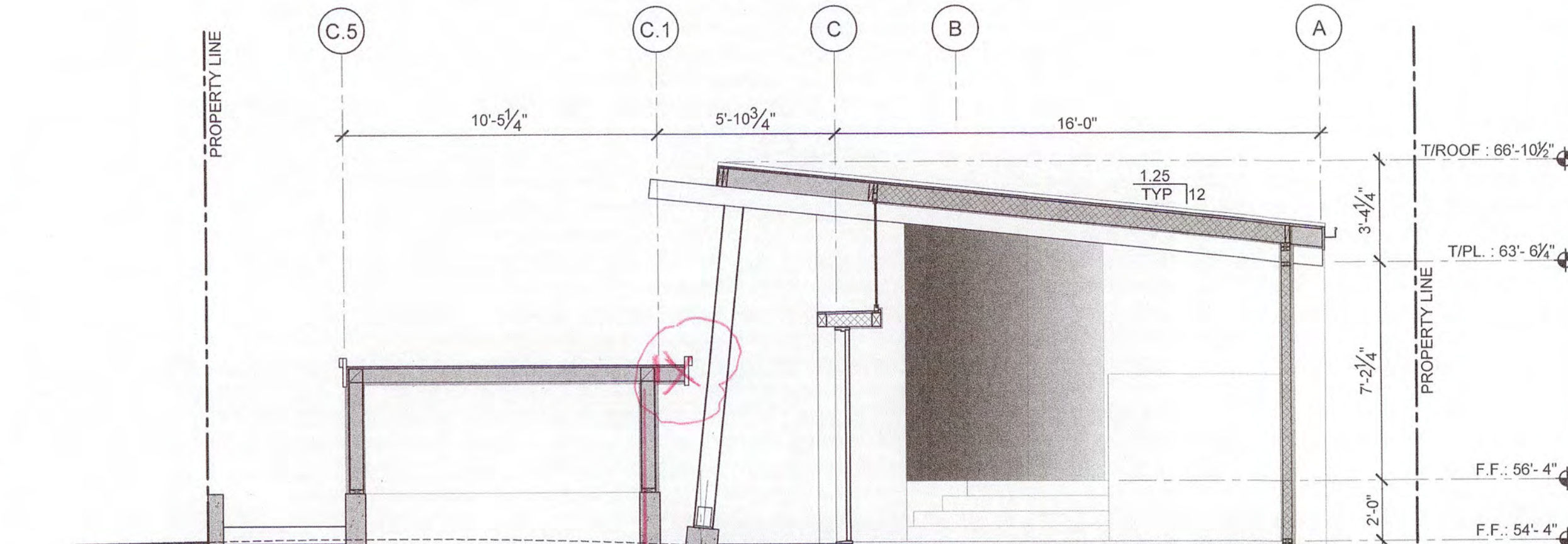
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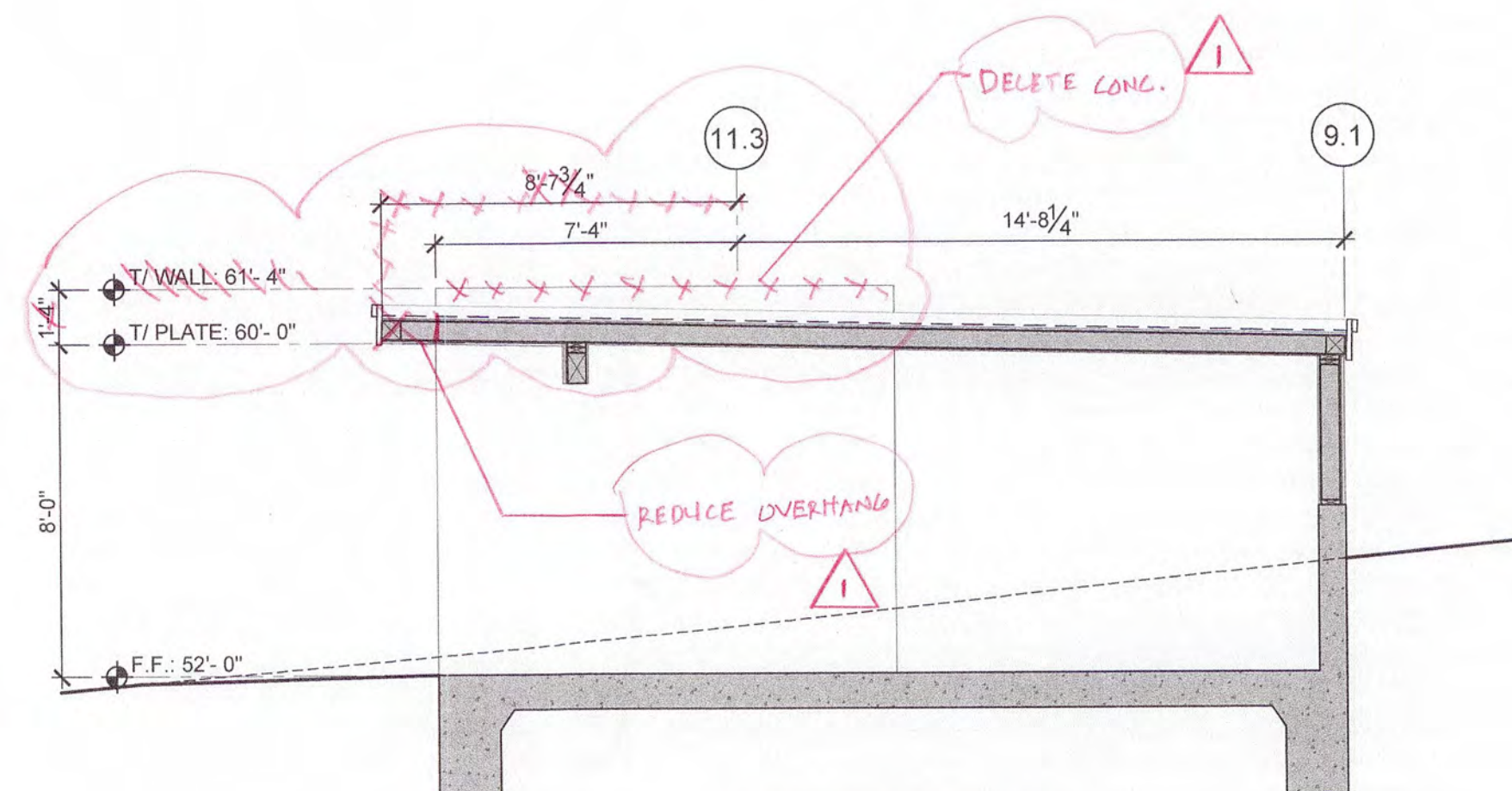
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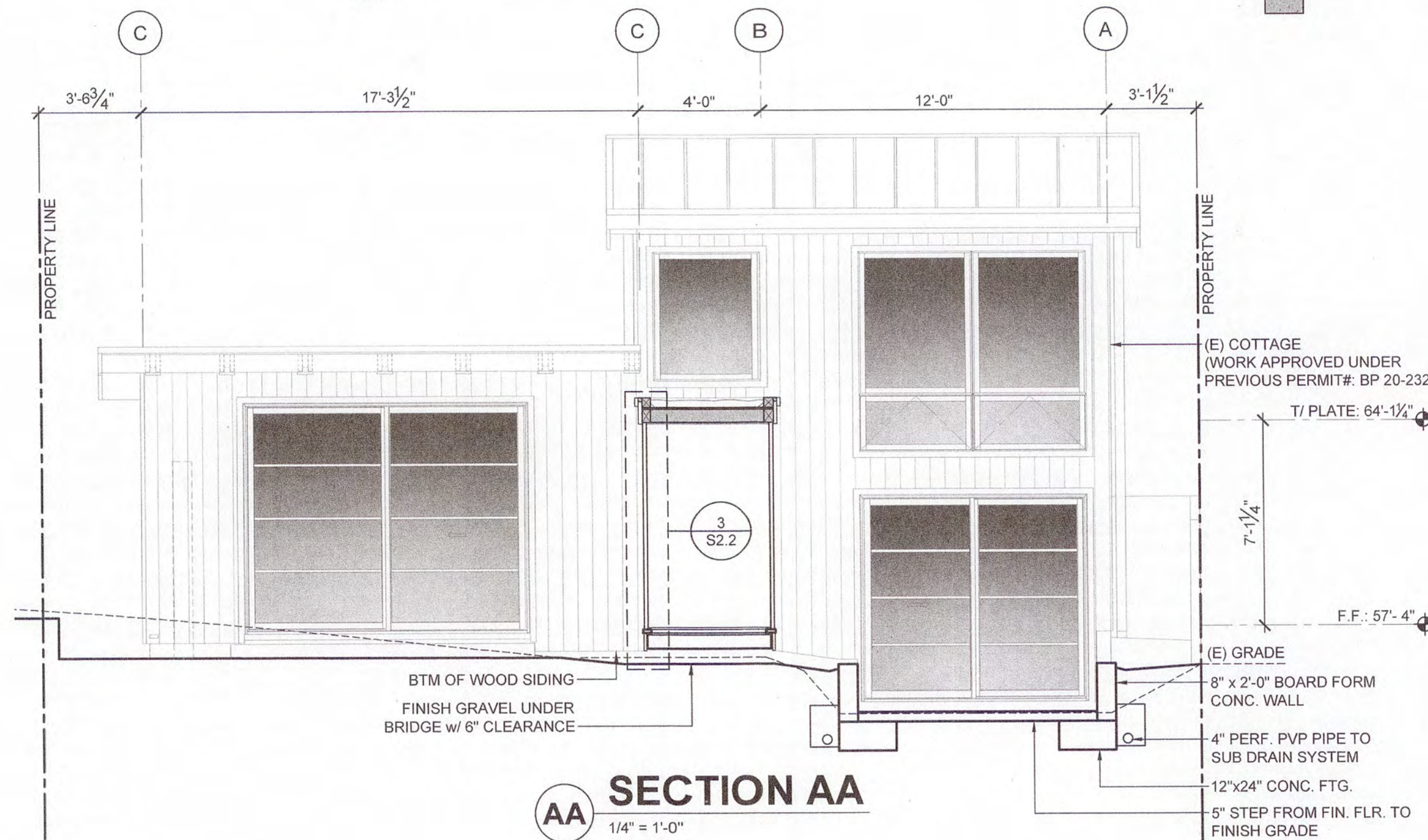
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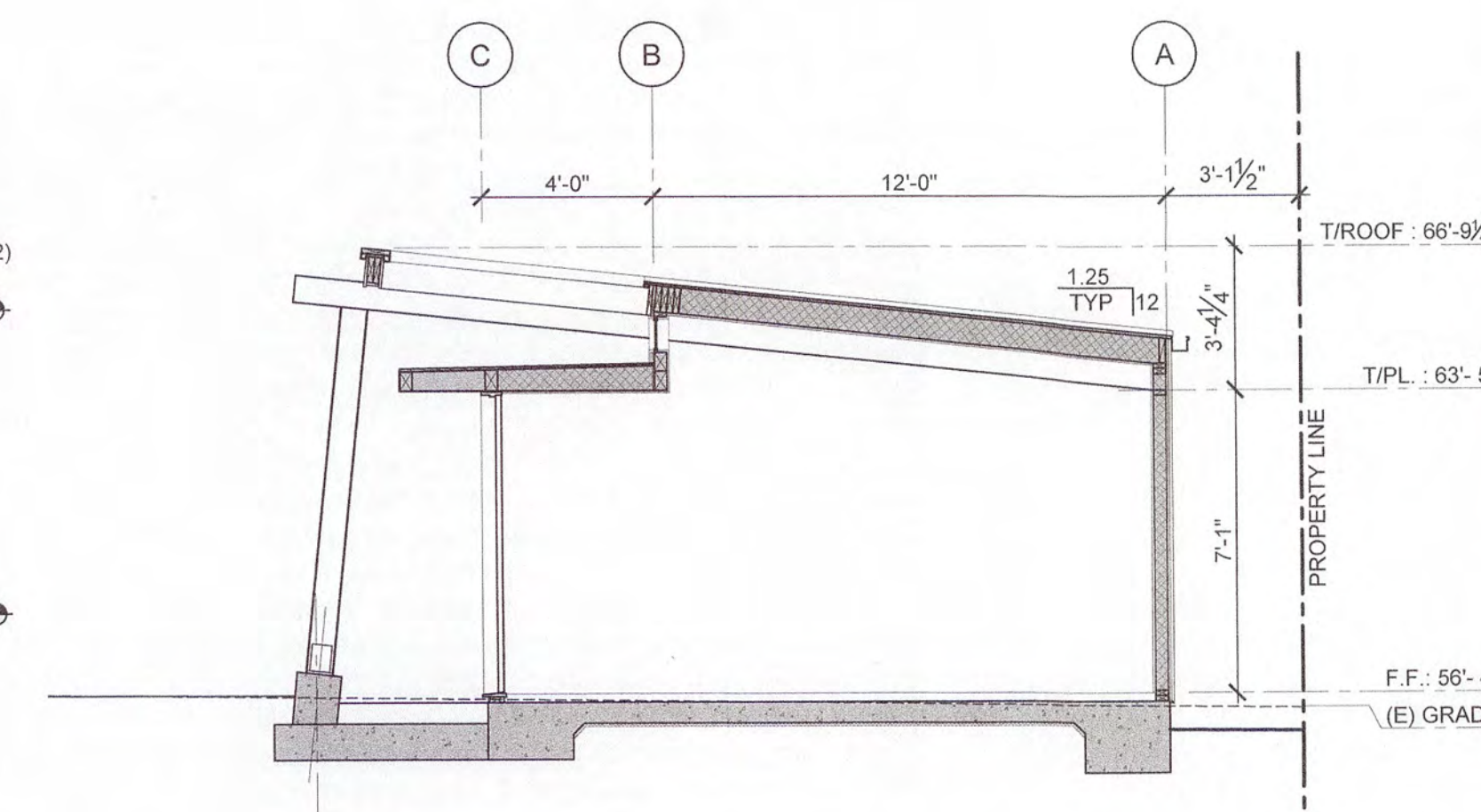
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JJ SECTION JJ
1/4" = 1'-0"



AA SECTION AA
1/4" = 1'-0"



BB SECTION BB
1/4" = 1'-0"

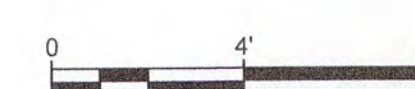
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PLANNING DEPARTMENT
APPROVED**

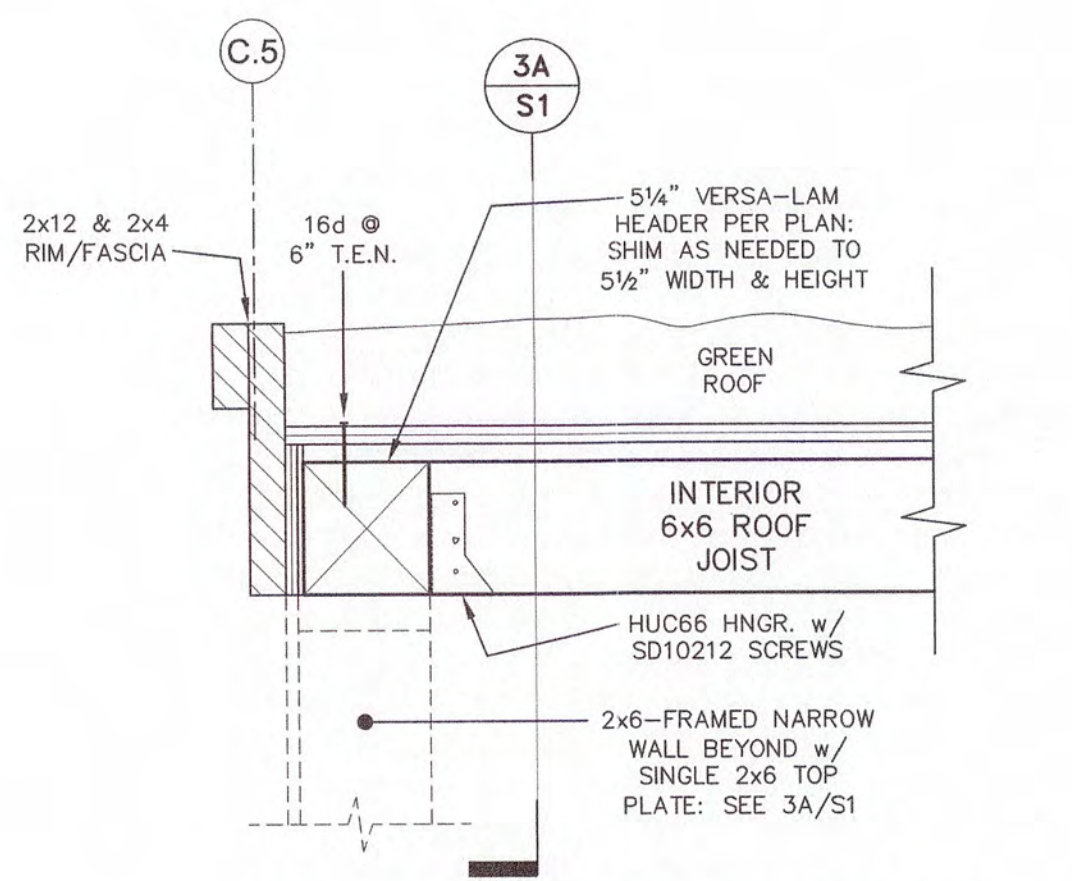
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Date Approved: August 24, 2023

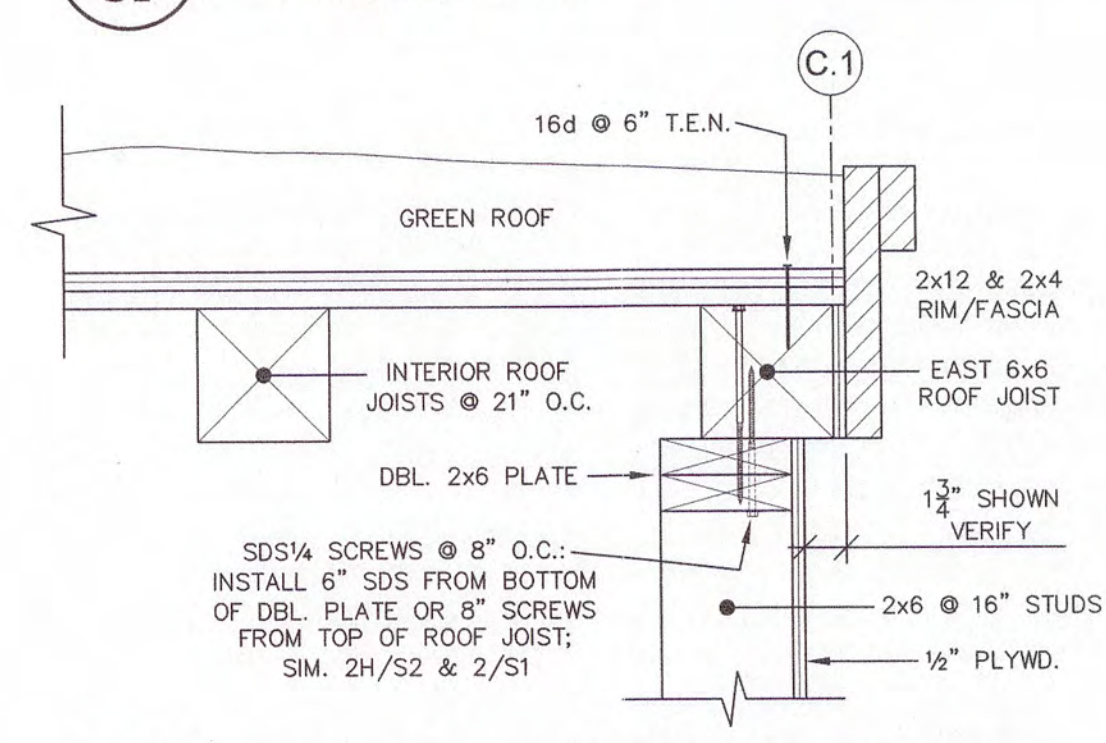
Planner: M. Waffle

(E) COTTAGE
(NO WORK)
(WORK APPROVED UNDER
PREVIOUS PERMIT # BP 20-232)

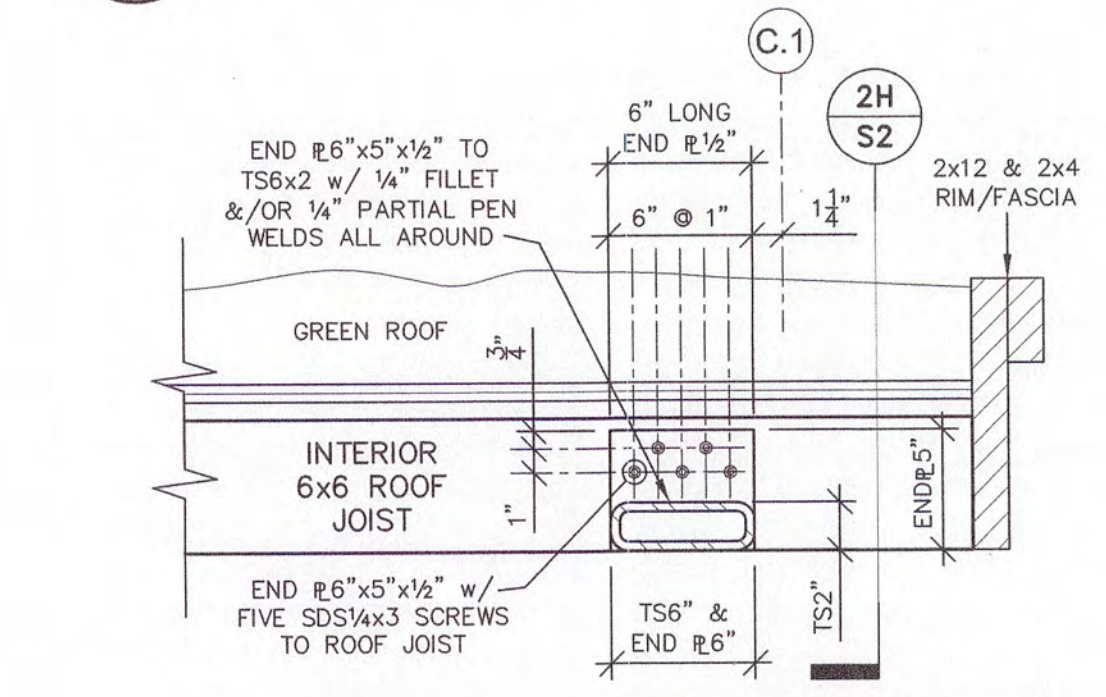




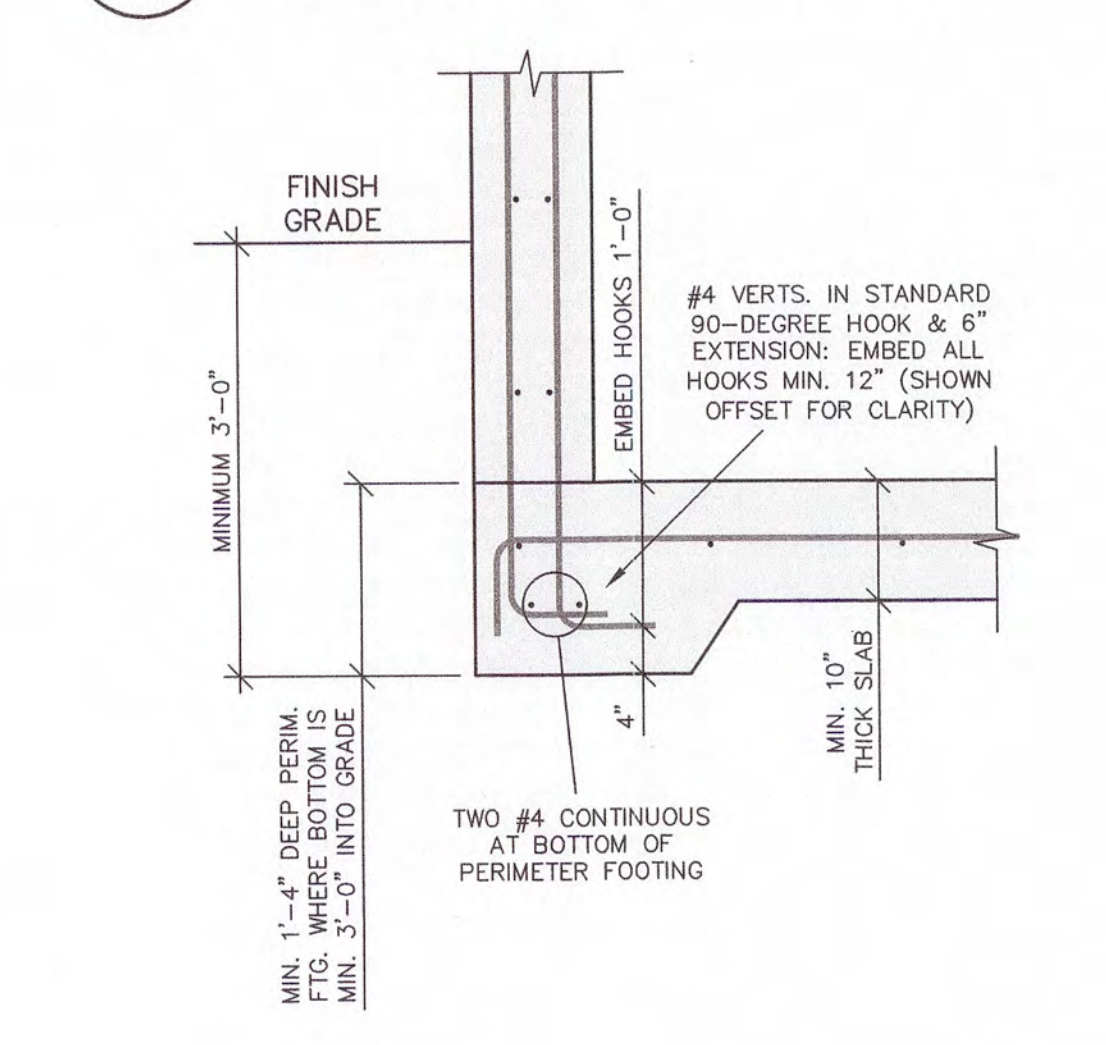
3
S1
N. WALL SECTION AT CONTINUOUS V-L HDR.
SCALE: 1-1/2" = 1'-0"



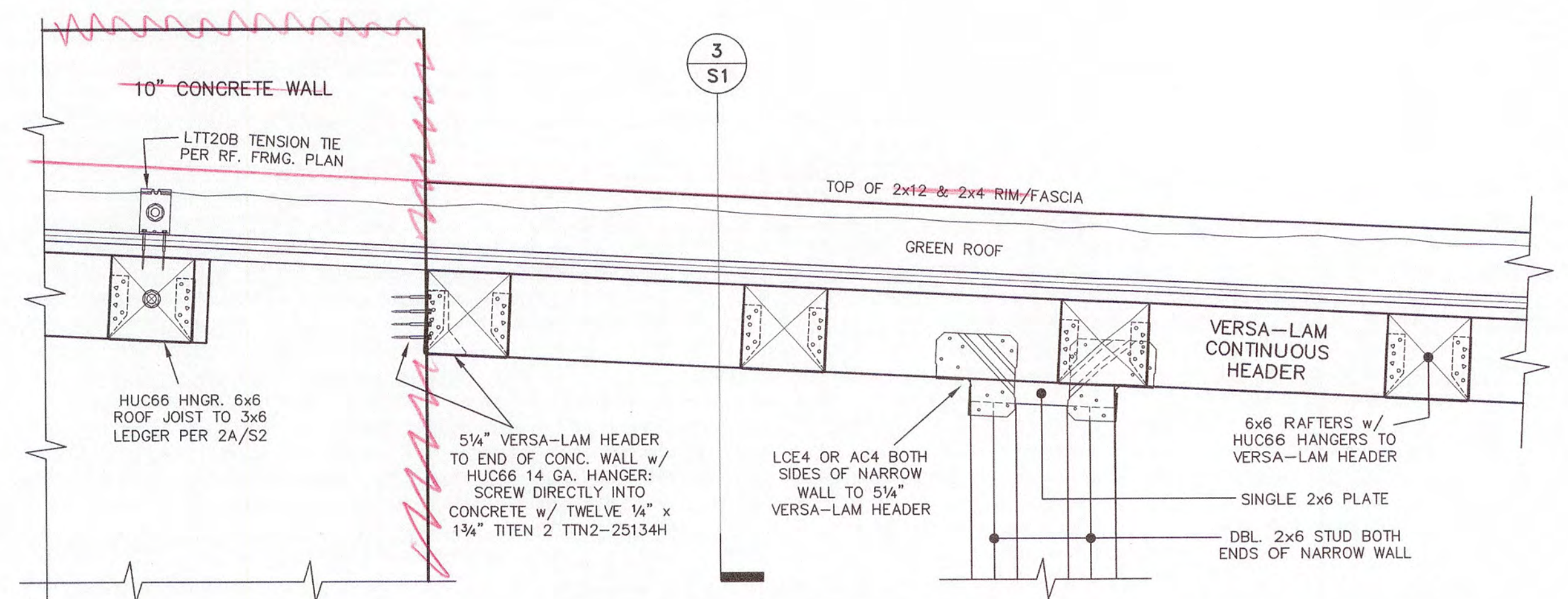
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S1
EAST WALL AT ROOF
SCALE: 1-1/2" = 1'-0"



5
S1
SW TS6x2 OUTRIGGER END PLATE TO RF. JST.
SCALE: 1-1/2" = 1'-0"



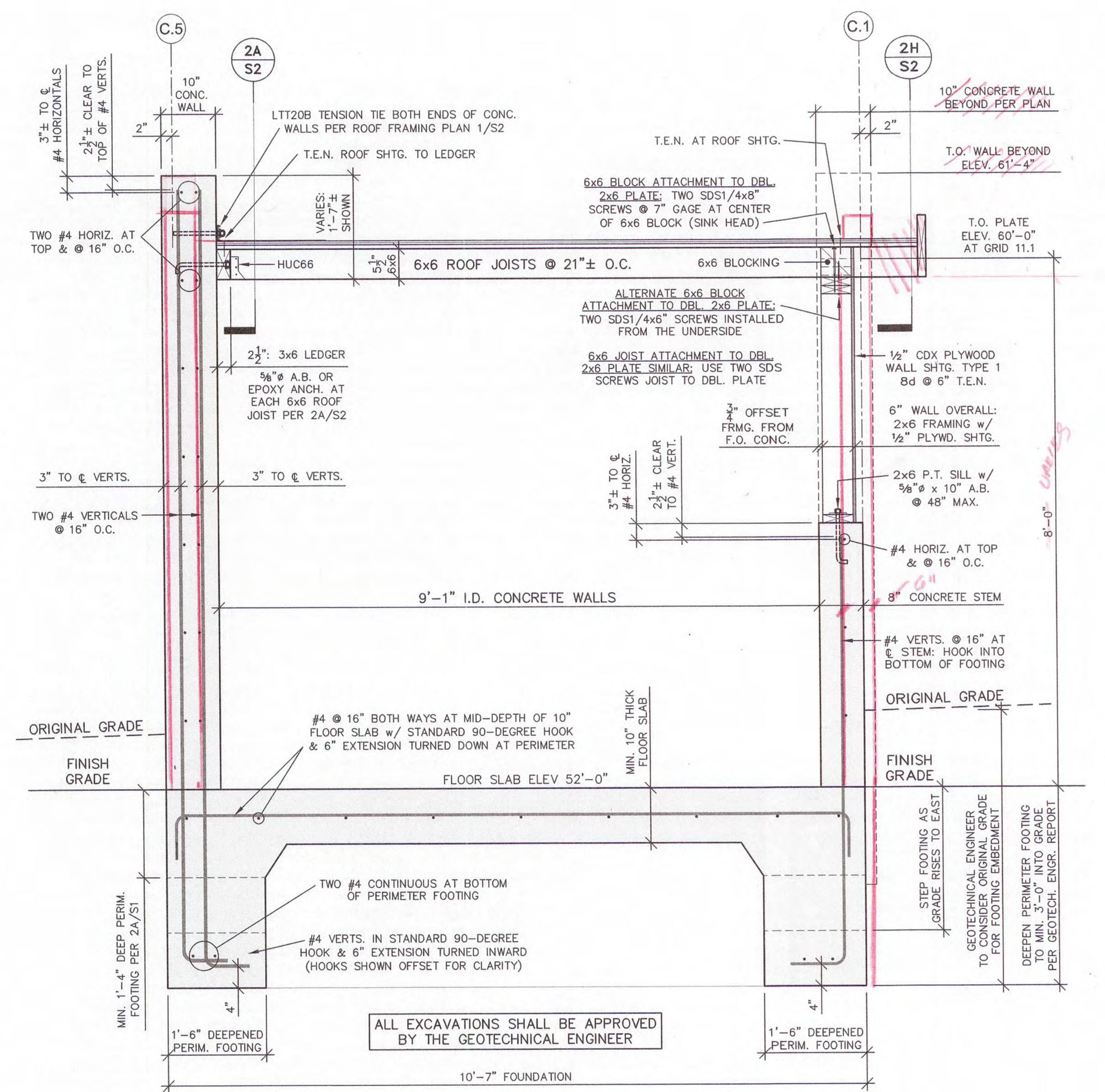
2A
S1
SECTION AT SHALLOW GARAGE FOOTING
SCALE: 3/4" = 1'-0"



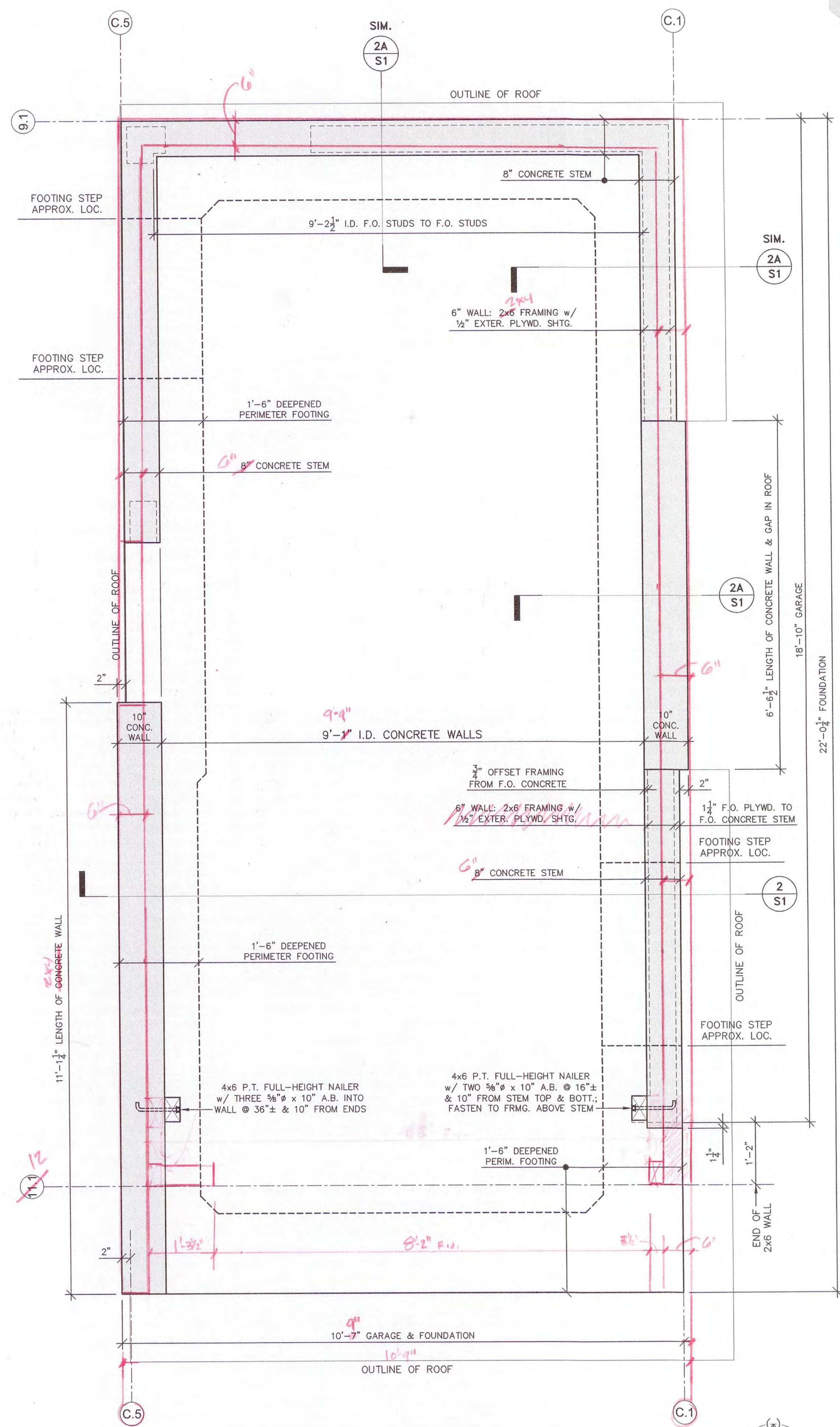
3A
S1
SECTION/ELEVATION AT CONTINUOUS VERSA-LAM HEADER
SCALE: 1-1/2" = 1'-0"

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

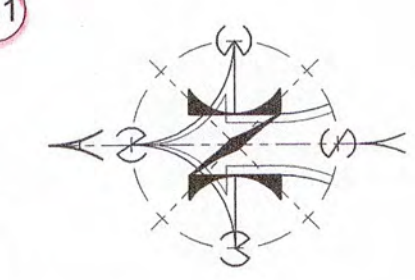
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Planner: M. Waffle



2
S1
TRANSVERSE SECTION OF GARAGE
SCALE: 3/4" = 1'-0"



1
S1
DETAILED GARAGE FOUNDATION PLAN
SCALE: 3/4" = 1'-0"



MAYONE
STRUCTURAL ENGINEERING, INC.
187-B El Dorado, Monterey, CA 93940
Tel 831-372-4455 Fax 831-372-4459



Not Valid Without Wet Signature
Project / Owner

Alterations & Additions to Cummings Res.

Monte Verde St. 3 SE of 11th, Carmel, CA
APN 010-183-010

MSE Project Number 19-044
DRAWN BY S C MAYONE
DATE 9-11-2020
Revision Date

PRINT DATE: 9-11-2020

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Sheet Title

Garage Foundation Plan, Section & Details

Sheet Number Of

S1



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**Alterations &
Additions to
Cummings Res.**

Monte Verde St. 3 SE
of 11th, Carmel, CA
APN 010-183-010

MSE Project Number 19-044
DRAWN BY S C MAYONE
DATE 9-11-2020

Permit #: DS 23-030 (Cummings)
Date Approved: August 24, 2023
Planner: M. Waffle
**CARMEL-BY-SEA
PLANNING DEPARTMENT
APPROVED**

DELETE ROOF OVERHANG
AND 2x FASCIA
BOARD AT SOUTH,
EAST & NORTH
WALLS

6" CONC.
2x4 FRAMING ABOVE

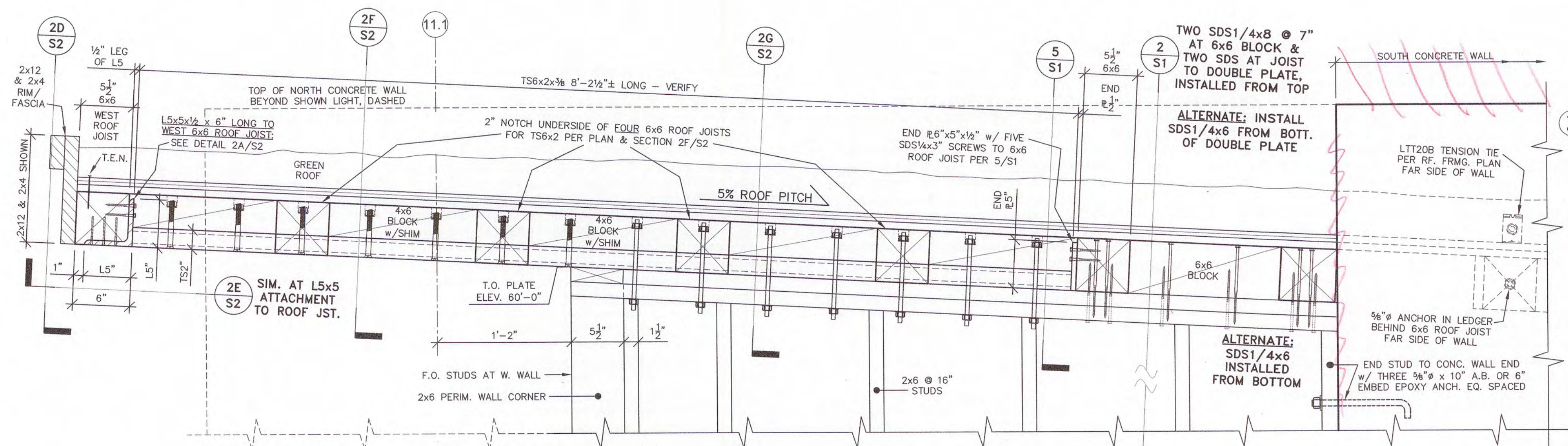
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EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Sheet Title

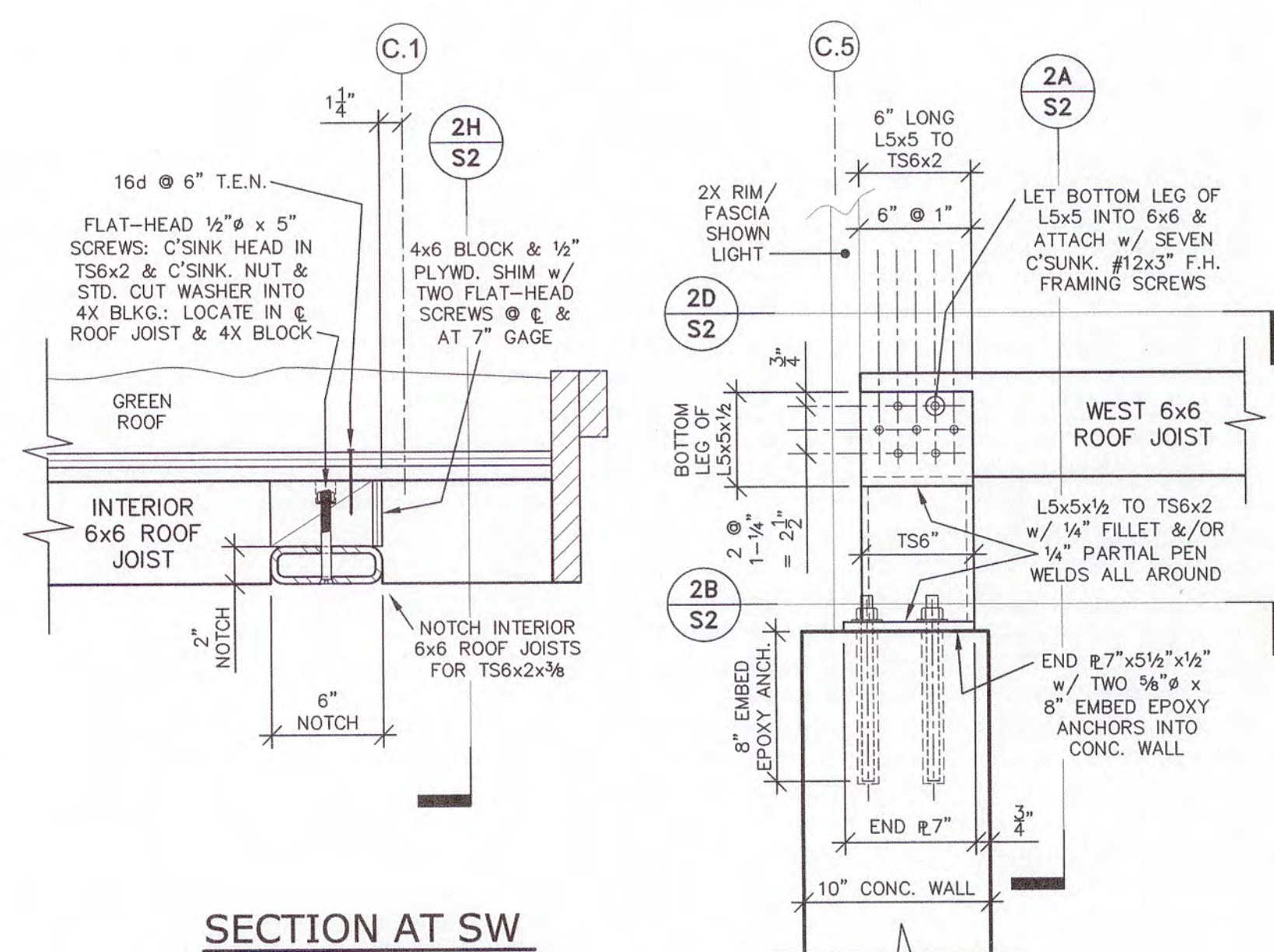
**Garage Roof
Framing Details**

Sheet Number Of

S2

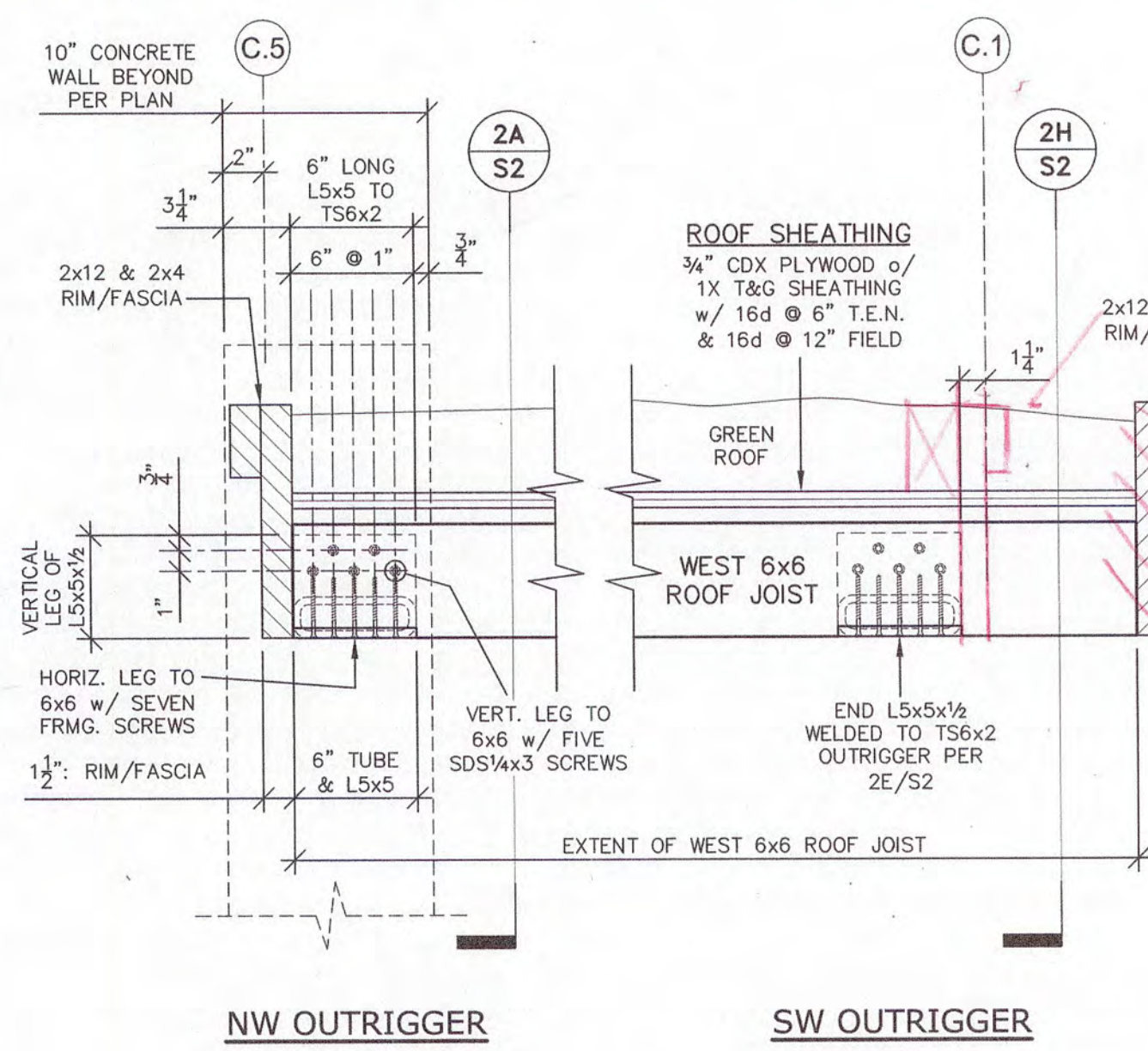


SECTION/ELEVATION AT SW OUTRIGGER INCLUDING BEARING ON FRAMED WALL



**SECTION AT SW
TS6x2 OUTRIGGER
NOTCHED THRU
INTER. ROOF JOISTS**

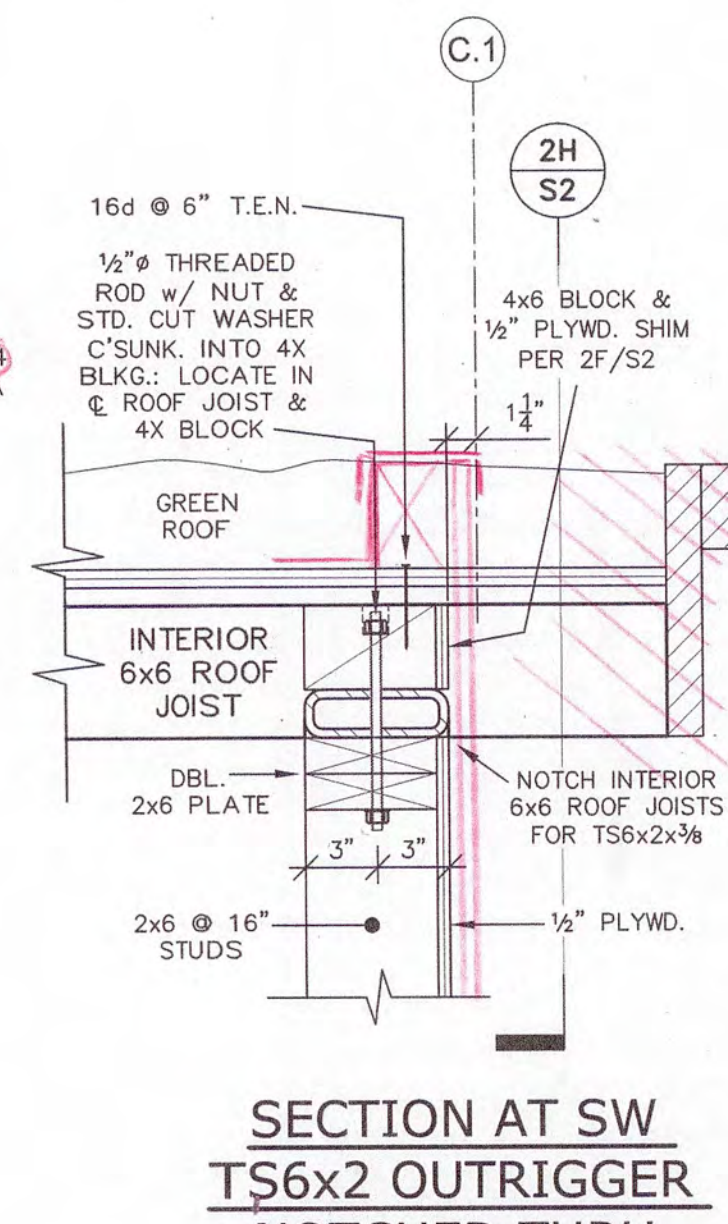
**UNDERSIDE VIEW OF
NW TS6x2 OUTRIGGER**



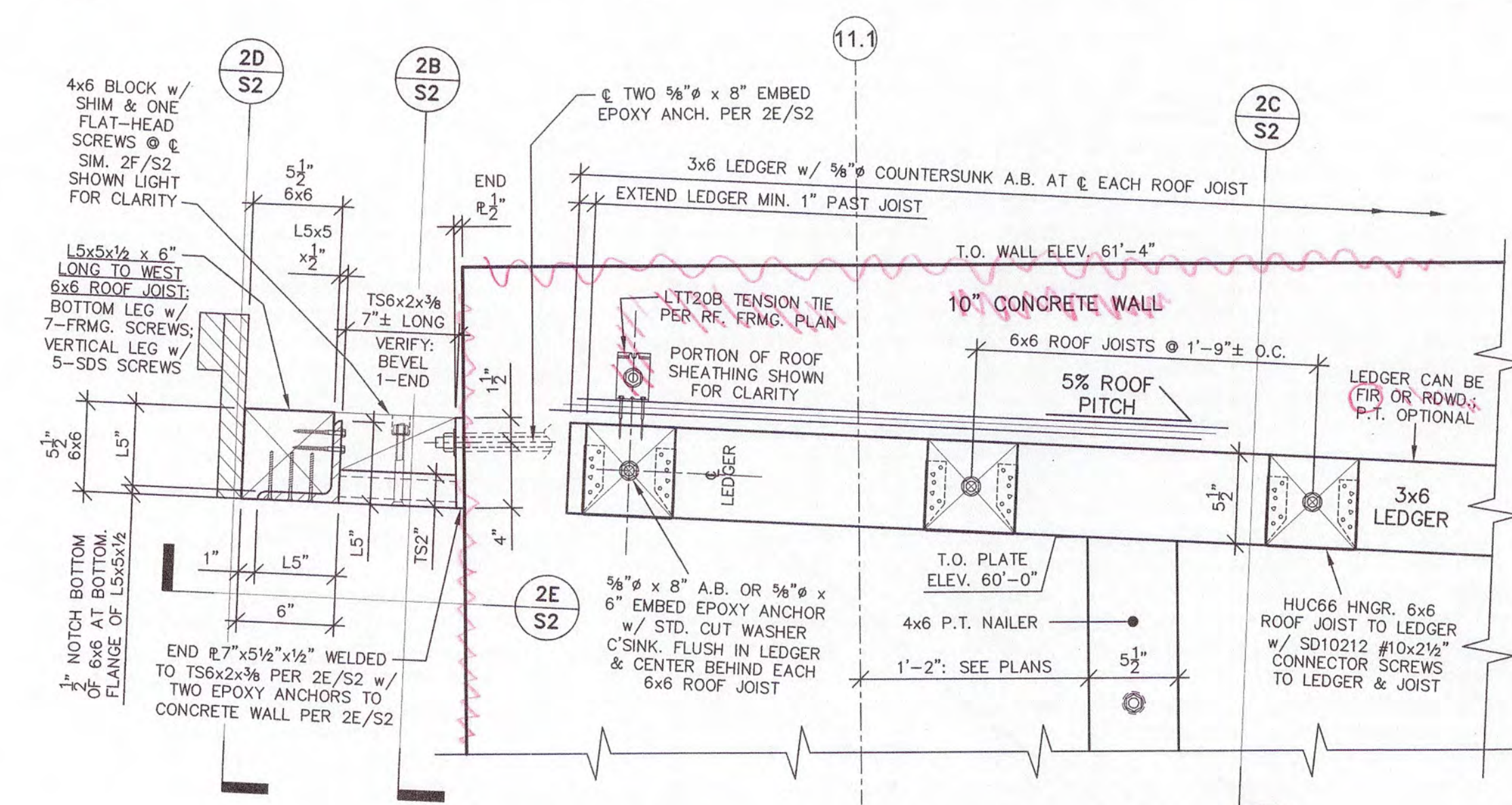
NW OUTRIGGER

SW OUTRIGGER

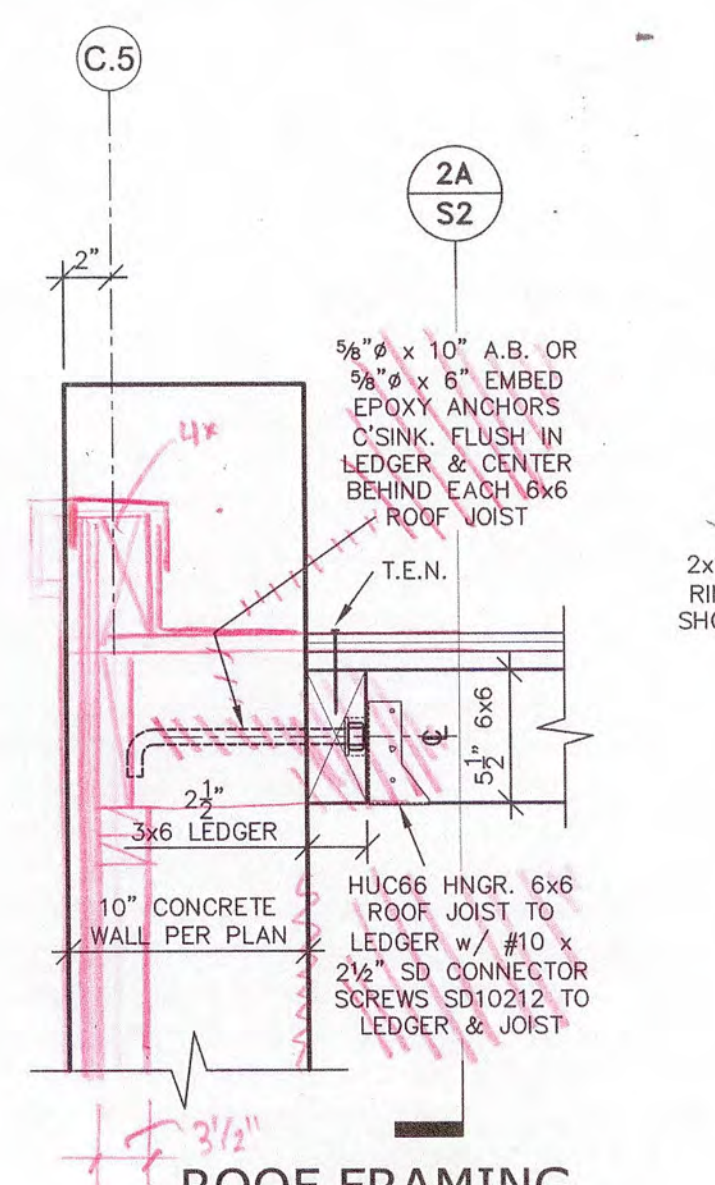
**WEST ELEVATION
OUTRIGGER DETAIL**



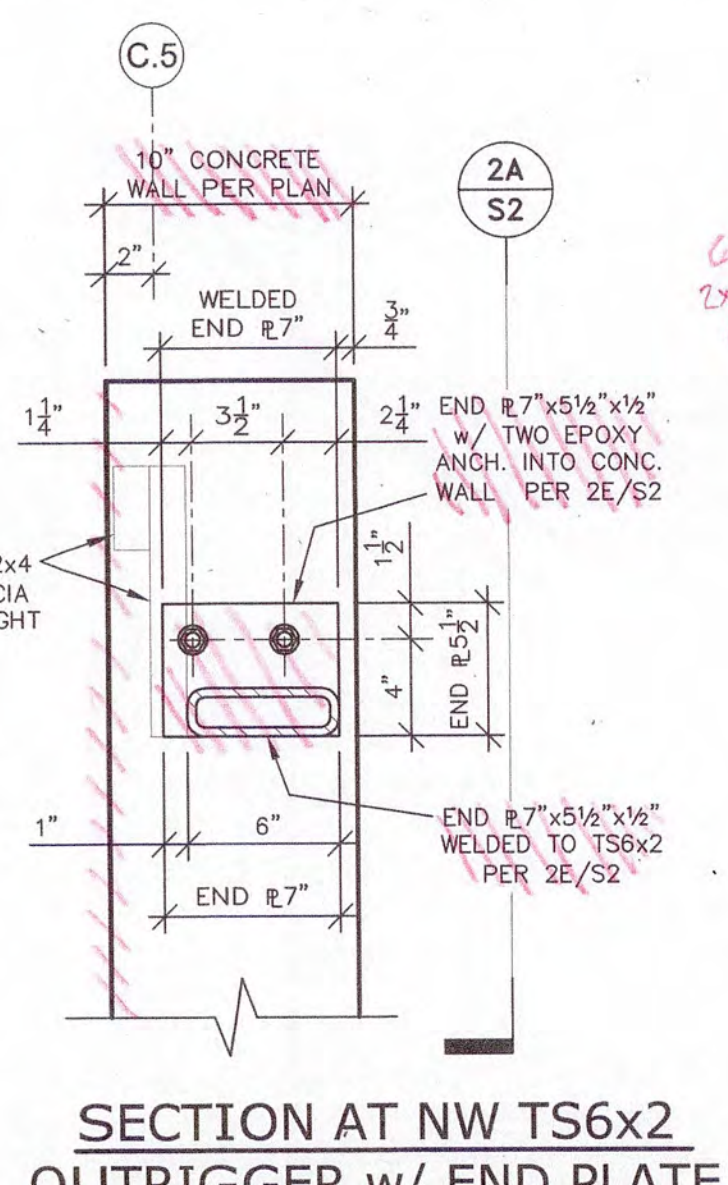
**SECTION AT SW
TS6x2 OUTRIGGER
NOTCHED THRU
INTER. ROOF JOISTS
OVER FRAMED WALL**



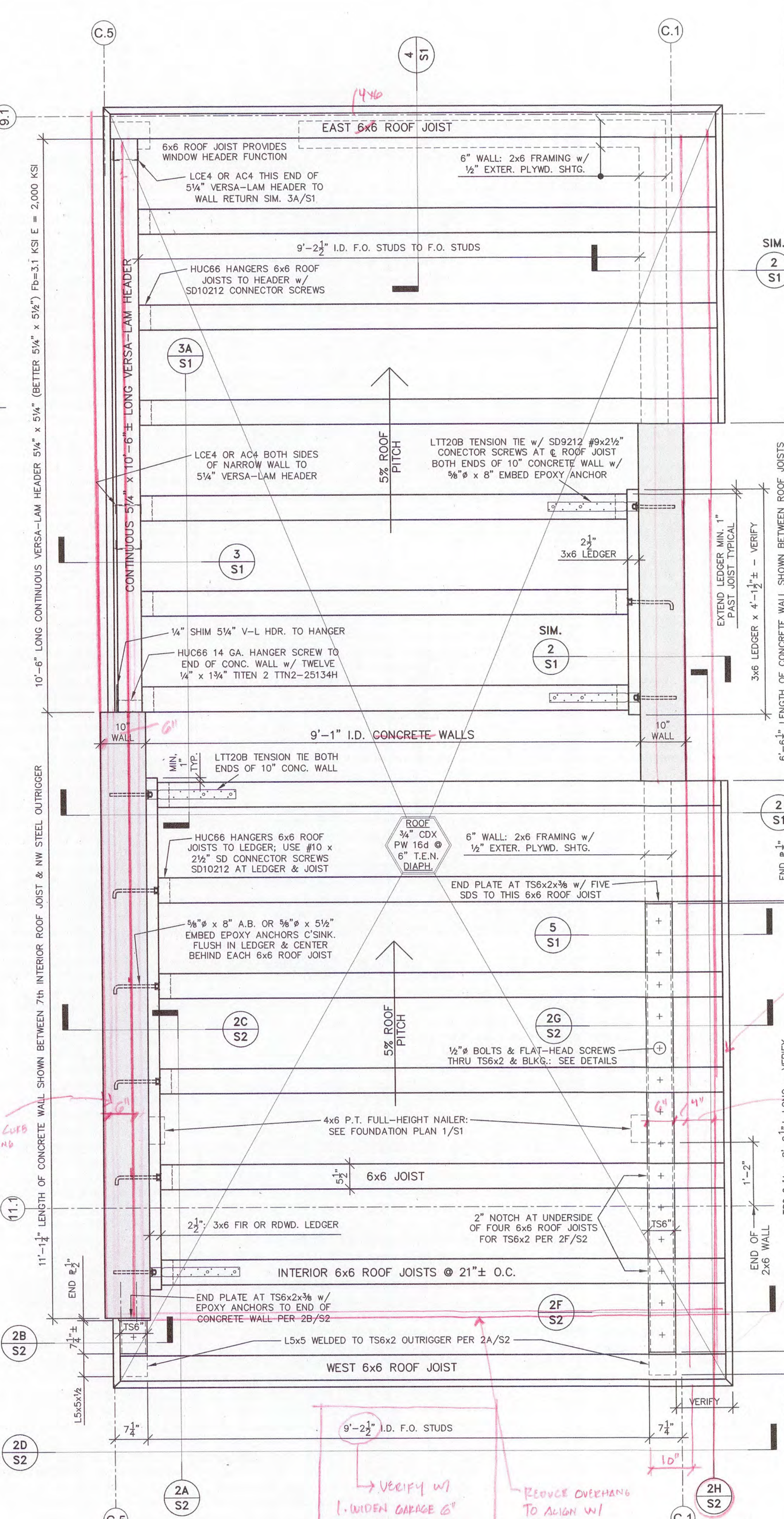
**SECTION/ELEVATION AT NW OUTRIGGER
& 3x6 LEDGER AT CONCRETE WALL**



**ROOF FRAMING
SECTION INTO
CONC. WALL**



**SECTION AT NW TS6x2
OUTRIGGER w/ END PLATE
ANCHORED TO END OF
10\"/>**



DETAILED GARAGE ROOF FRAMING PLAN

SCALE: 3/4" = 1'-0"

