



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22081

Owner Name: HUBER GREGOR R & SUZANNE L TRS

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 08/16/2024

Project Location: Torres Street 5 southeast of 9th Avenue

APN #: 010331029000 **BLOCK/LOT:** 107/ALL LOT 6

Applicant: Jack C. Camp, PE, Engineer/Agent

Project Description: This approval amends Design Study application DS 22-081 (Huber) and authorizes the construction of a +14'-4" retaining wall (inclusive of the footing) at the front yard setback for structural reinforcement of the building foundation wall, extension of the existing Carmel stone wainscot to the new grade, construction of a new deck between the front of the residence and the new retaining wall, replacement of the existing front yard deck at the southwest corner of the property once all structural foundation work is complete, regrading of the front yard to eliminate the steps down to the front entry door, replacement of the Carmel stone pathway "in-kind" with a series of steps and landings, replacement of the existing north side yard stairs once all structural foundation work is complete, retrofit/reinforce existing retaining wall between the southwest corner of the residence and the southern property line, replacement of approximately 19 feet of fencing along the south property line within the front yard once the retaining wall retrofit is complete. The project is located on Torres Street 5 southeast of 9th Avenue in the Single-Family Residential (R-1) District. All work shall be completed as depicted in the plans prepared by Central Coast Civil & Structural Engineering, Inc., stamped and approved on August 16, 2024, and on file in the Community Planning & Building Department unless modified by the conditions of approval. This amended approval replaces the August 18, 2022, Design Study approval in its entirety.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<p>Authorization. This approval amends Design Study application DS 22-081 (Huber) and authorizes the construction of a ±14'-4" retaining wall (inclusive of the footing) at the front yard setback for structural reinforcement of the building foundation wall, extension of the existing Carmel stone wainscot to the new grade, construction of a new deck between the front of the residence and the new retaining wall, replacement of the existing front yard deck at the southwest corner of the property once all structural foundation work is complete, regrading of the front yard to eliminate the steps down to the front entry door, replacement of the Carmel stone pathway "in-kind" with a series of steps and landings, replacement of the existing north side yard stairs once all structural foundation work is complete, retrofit/reinforce existing retaining wall between the southwest corner of the residence and the southern property line, replacement of approximately 19 feet of fencing along the south property line within the front yard once the retaining wall retrofit is complete. The project is located on Torres Street 5 southeast of 9th Avenue in the Single-Family Residential (R-1) District. All work shall be completed as depicted in the plans prepared by Central Coast Civil & Structural Engineering, Inc., stamped and approved on August 16, 2024, and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.</p> <p>This amended approval replaces the August 18, 2022, Design Study approval in its entirety.</p>
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional review and subsequent approval by the Director and/or Planning Commission.</p>
3.	<p>Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for 12 months from the date of action. The project must be implemented during this time, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>
4.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.</p>
5.	<p>Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing:</p>

	<ul style="list-style-type: none"> • The footing locations are in conformance with the approved plans prior to footing/foundation inspection; • The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness. <p>Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.</p>
6.	<p>Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).</p>
7.	<p>Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.</p>
8.	<p>Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.</p>
9.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention.</p>

	<p>Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
<p>10.</p>	<p>Stone Facades (including chimneys). Prior to the issuance of a building permit, the Applicant shall clearly identify in the construction drawings the masonry pattern for all stonework. Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or their designee.</p>
<p>11.</p>	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>
<p>12.</p>	<p>Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.</p>
<p>13.</p>	<p>Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.</p>

14.	<p>USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).</p>
15.	<p>Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the signed conditions of approval on a full-size sheet within the construction plan set submitted to the Building Safety Division.</p>
<p>Landscape Conditions</p>	
16.	<p>Landscape Plan Required. Prior to the issuance of a building permit, the Applicant shall submit a landscape plan for all new landscaping for review and approval by the Community Planning & Building Department and the City Forester. The landscape plan shall be included in the construction drawings and will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including, but not limited to, the following:</p> <ol style="list-style-type: none"> 1) All new landscaping shall be 75% drought-tolerant; 2) Landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) The project shall meet the City’s recommended tree density standards unless otherwise approved by the City based on on-site conditions. <p>The landscape plan shall identify the location where new trees will be planted when new trees are required to be planted by the City code, the Forest and Beach Commission, or the Planning Commission.</p>
17.	<p>Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.</p>
18.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet

	<p>above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</p> <ul style="list-style-type: none"> • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.</p>
19.	<p>Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.</p>
<p>Environmental Compliance Conditions</p>	
20.	<p>Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.</p>
21.	<p>BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit a</p>

	completed BMP Tracking form for review and approval by the Community Planning & Building and Public Works Departments.
22.	Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit cross-section details for all semi-permeable surfaces for review and approval by the Community Planning & Building and Public Works Departments.
23.	Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.
24.	Erosion Control in the Right-of-Way. Prior to issuance of a building permit, the Applicant shall identify on the landscape plan any natural slope within the right-of-way immediately adjacent to the property where parking is not practical. Jute netting and a drought-tolerant ground cover to manage post-construction erosion control shall be installed. Plants installed within the drip line of trees shall be selected from the City’s “List of Compatible Plants Under and Around Native Trees” in the Forest Management Plan. The Public Works Director, or their designee, may waive this requirement.
Special Conditions	
25.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
26.	Copper Gutters & Downspouts Not Permitted. Prior to the issuance of a building permit, the applicant shall submit a revised plan for review and approval by the Planning Division, identifying an alternative material for the gutters and downspouts.
27.	Construction Management Plan. Prior to the issuance of a building permit, the Applicant shall submit a Construction Management Plan for review and approval by the Community Planning & Building Director.
28.	Building Permit Required. Prior to commencing work on-site, the applicant shall apply for and obtain a building permit from the Community Planning & Building Department.

Acknowledgment and acceptance of conditions of approval:

Property Owner Signature

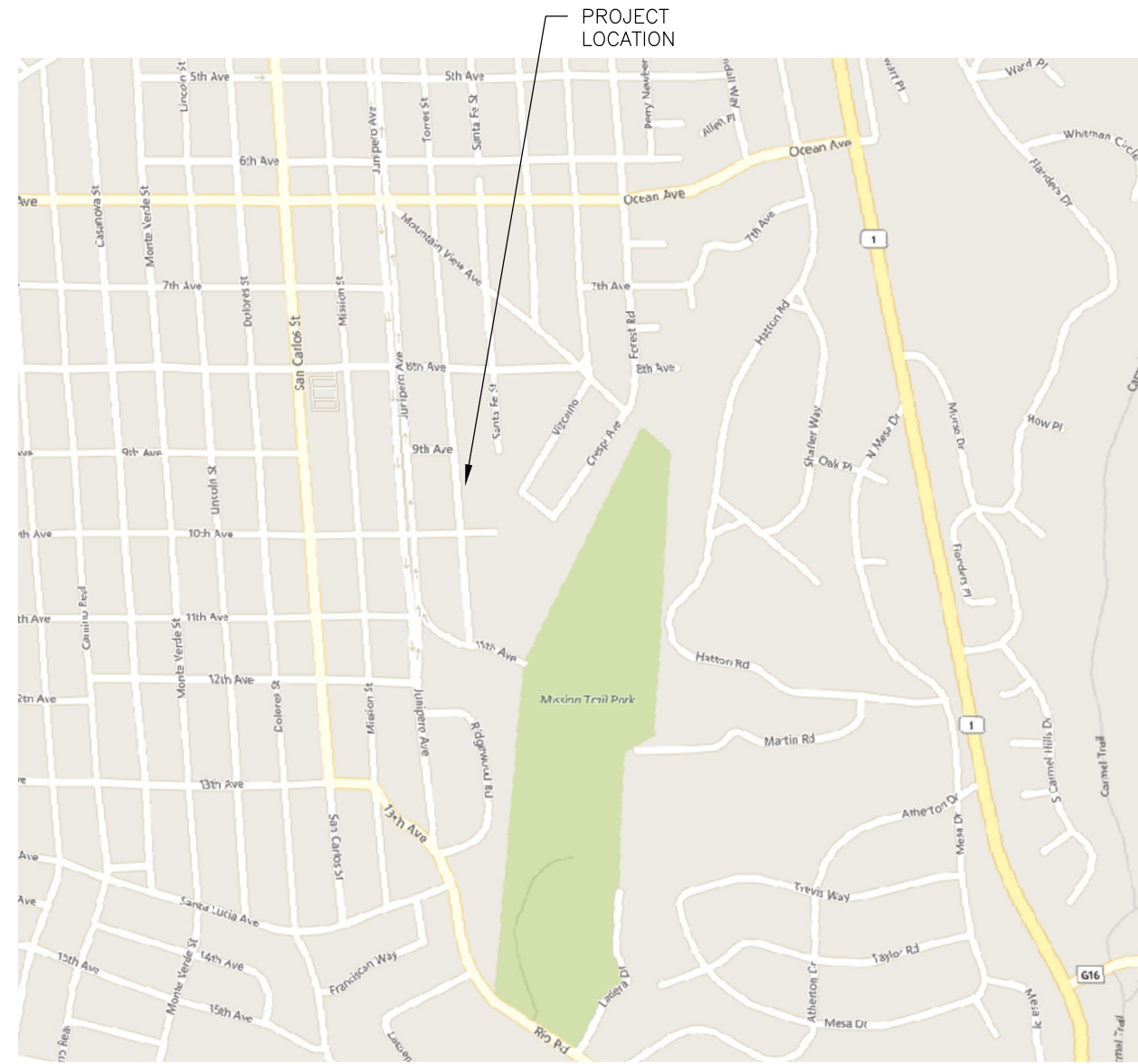
Printed Name

Date

Applicant Signature

Printed Name

Date



VICINITY MAP NOT TO SCALE

CONSTRUCTION DOCUMENTS for HUBER RESIDENCE FOUNDATION & RETAINING WALL RETROFIT TORRES 5 SE 9TH CARMEL-BY-THE-SEA, CA

CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 22081 Huber AMENDMENT Date Approved: August 16, 2024 Planner: M. Waffle

Revision table with columns for Rev. No., Date, and Description of revisions.

NOTES:

- 1. THE CONTRACTOR SHALL OBTAIN A PERMIT PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE LIMITS OF THE RIGHT-OF-WAY... 2. THE CONTRACTOR SHALL INFORM THEIR SELF OF THE EXACT LOCATION OF ALL EXISTING UTILITIES... 3. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL AND SAFETY PROGRAM... 4. REFER TO CALTRANS STANDARD SPECIFICATIONS FOR SPECIFICATIONS EXCEPT AS MODIFIED BY THESE PLANS AND SPECIAL PROVISIONS... 5. CONSTRUCTION SIGNS AND BARRICADES SHALL CONFORM TO THE REQUIREMENTS OF THE M.U.T.C.D. MANUAL, LATEST EDITION, AND THE CALIFORNIA SUPPLEMENT THERETO... 6. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (1-800-227-2600) (48) HOURS PRIOR TO THE START OF CONSTRUCTION... 7. LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE UTILITY COMPANY FOR THE EXACT DEPTH AND LOCATION OF THE UTILITY... 8. THE APPROVED PLAN, PERMIT, AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES... 9. ALL CLEARING, GRADING OR FILLING OF LAND IS SUBJECT TO SECTION 1803 OF THE CALIFORNIA BUILDING CODE

Table with 2 columns: No. and Standard Conditions. Contains 6 rows of conditions of approval.

Table with 2 columns: No. and Standard Conditions. Contains 10 rows of conditions of approval.

Table with 2 columns: No. and Standard Conditions. Contains 4 rows of conditions of approval.

OWNER:

GREGOR HUBER 16820 ZINFANDEL CIR MORGAN HILL, CA 95037

PROJECT SUMMARY:

ONE-STORY WOOD-FRAME RESIDENCE: RAISED FLOOR RESIDENCE W/ JOISTS, BEAMS, & PIERS CONDITIONED SPACE - 1,656 FT² LOWER LEVEL - 891 FT² UPPER LEVEL - 765 FT² UNCONDITIONED AREA COVERED ENTRY - 32 FT² STORAGE ROOM - 37 FT² DECK - 392 FT²

CONSTRUCTION TYPE VB FIRE SPRINKLERS: NO OCCUPANCY: R-3/U ZONING: R-1 LOT 6 / BLK 107 / CARMEL BY THE SEA ADDITION 5 LOT SIZE: 5,500 FT² (0.126 ACRES) LOT BUILDING: 2,117 FT² (38.5%) FLOOR AREA RATIO: 30.1% HEIGHT OF STRUCTURE: 27'-3" WATER SOURCE: CALIFORNIA AMERICAN SEWER SYSTEM: MUNICIPAL SEWER GRADING ESTIMATES: 0 CY

SCOPE OF WORK:

- THE SCOPE OF WORK FOR THIS PROJECT INCLUDES: HELICAL PIER FOUNDATION STABILIZATION RETAINING WALL CONSTRUCTION FRONT YARD DECK RECONSTRUCTION SIDEYARD (NORTH) STAIR RECONSTRUCTION SIDEYARD (SOUTH) WALL BUTTRESS RETROFIT

SHEET INDEX:

- T1 TITLE SHEET TM TOPOGRAPHIC MAP C1 EXISTING & DEMOLITION SITE PLAN C2 PROPOSED SITE PLAN C3 STORM WATER POLLUTION PREVENTION PLAN A1.0 EXISTING LOWER FLOOR & DEMOLITION FRONT YARD PLAN A1.1 EXISTING UPPER FLOOR & PROPOSED FRONT YARD PLAN S1 EXISTING & PROPOSED FOUNDATION & LOWER FLOOR FRAMING PLAN & STRUCTURAL DETAILS S2.0 EXISTING UPPER FLOOR & PROPOSED DECK FRAMING PLAN S2.1 EXISTING ROOF FRAMING PLAN S3 STRUCTURAL SECTION & SPECIFICATIONS S4.0 STRUCTURAL DETAILS S4.1 STRUCTURAL DETAILS CG1 CALGREEN 1 CG2 CALGREEN 2 BMP BEST MANAGEMENT PRACTICES

DESIGN CRITERIA:

- 2019 CRC 2019 CPC 2019 CEC 2019 CMC 2019 CFC 2019 CGBC 2019 CALIFORNIA ENERGY CODE ASCE 7-16 CITY OF CARMEL-BY-THE-SEA AMENDMENTS & STATE REGULATORY REQUIREMENTS 20 PSF ROOF LIVE LOAD 12" FROST DEPTH 92 MPH WIND 3-SEC. GUST EXP. C SEISMIC DESIGN CATEGORY D CLIMATE ZONE 3

APPROVALS:

APPLICATION NO.

DIRECTORY OF PROFESSIONALS:

ENGINEER OF RECORD

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC. JACK C CAMP, PE 536 ABREGO ST MONTEREY, CA 93940 831-760-9944

GEOTECHNICAL ENGINEER

BUTANO GEOTECHNICAL ENGINEERING, INC. GREG BLOOM, PE, GE 231 GREEN VALLEY RD, STE E FREEDOM, CA 95019 831-724-2612

LAND SURVEYOR

CENTRAL COAST SURVEYORS, INC. DAVE T EDSON, PLS, PE 5 HARRIS CT, STE N-11 MONTEREY, CA 93940 831-394-4930

ABBREVIATIONS

Table with 4 columns of abbreviations and their corresponding full names.

BASIS OF ELEVATION/DATUM

ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAGNETIC NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF TORRES ST, ELEVATION = 168.00' AS SHOWN

BASIS OF BEARING

BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY

DS 22-081 (Huber) August 18, 2022 Conditions of Approval

The Structural Root Zone - Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

Acknowledgment and acceptance of conditions of approval:

Signature of Gregor Huber, Date 8/31/2022, Printed Name GREGOR HUBER

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC. 536 Abrego St., Monterey, CA 93940 Phone: 831-760-9944 e-mail: jack@cccseng.com www.cccseng.com

HUBER TITLE SHEET TORRES 5 SE 9TH CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029

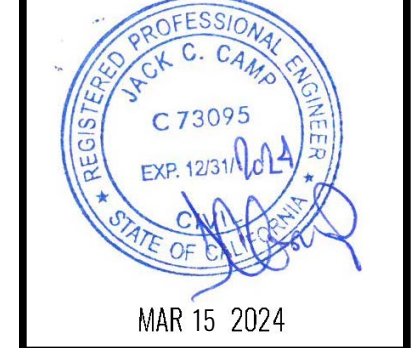
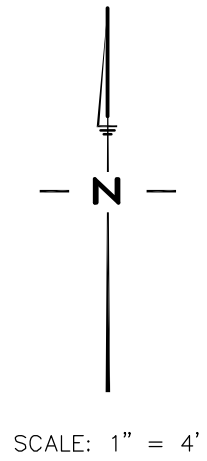


Table with columns for Job #, Design By, Drawn By, Checked By, Date, and Sheet.



LOT 5

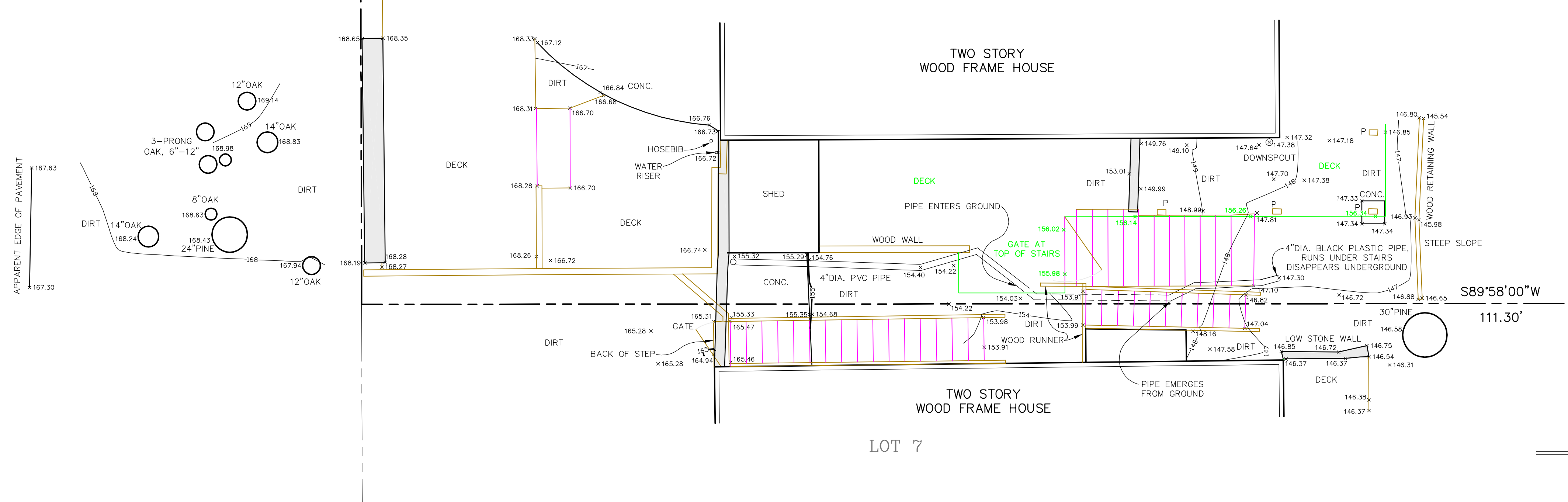
N 89°58'00" E
132.59'

LOT 6
BLOCK 107
VOL. 2 - C&T - PG. 22
APN: 010-331-029

TORRES STREET
(A 40' WIDE CITY STREET)

N00°10'00"W
40.00'

● SET MAG. NAIL & WASHER STAMPED,
"CENTRAL COAST SURVEYORS"
IN A.C. PAVEMENT
BENCHMARK
ELEV. = 168.00' (APPROX. NAVD88)



- NOTES:
1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 2. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
 3. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF TORRES STREET SHOWN HEREON.
ELEVATION = 168.00 FEET (APPROX. NAVD88)
 4. CONTOUR INTERVAL = ONE FOOT.
 5. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.

- LEGEND:
- P PILLAR
 - DENOTES ESTIMATED PIPE LOCATION
 - ▬ DENOTES A CONC. WALL
 - DENOTES A STEP
 - DENOTES A WOOD FENCE
 - DENOTES ELEVATED WOOD DECK
 - x156.02 DENOTES A DECK ELEVATION

TM

TOPOGRAPHIC MAP
OF A PORTION OF
LOTS 6 & 7 IN BLOCK 107 AS SHOWN ON
THE MAP ENTITLED "MAP OF ADDITION NO.
5 TO CARMEL-BY-THE-SEA" FILED IN
VOL. 2, "CITIES & TOWNS", PG. 22
OFFICIAL RECORDS OF MONTEREY COUNTY
CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA



PREPARED FOR
Gregor & Suzanne Huber
BY
CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
Phone: (831) 394-4930
Fax: (831) 394-4931
SCALE: 1" = 4' JOB No. 22-136 OCTOBER 2022
PREPARER: JH
APN 010-331-029

ADVANCED COPY

GENERAL NOTES:

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL ALSO CONFORM WITH THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS), THE LATEST REVISION OF THE COUNTY OF MONTEREY STANDARD DETAILS, STANDARD PROPERTY DEVELOPMENT SPECIFICATIONS, THE 2019 CALIFORNIA BUILDING CODE, AND OSHA REQUIREMENTS. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF CARMEL-BY-THE-SEA PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST (24) HOURS, (1) WORKING DAY, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LEAVE A (24) HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL FAMILIARIZE THEIR SELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND/OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR FOR THE ACCURACY OF THE DELINEATION OF UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITIES COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND/OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- EXISTING CURBS, GUTTERS, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND/OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE WHETHER SHOWN ON THE PLANS OR NOT. THIS SHALL BE DONE EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
- ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
- CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 8:00AM TO 5:00PM.
- CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
- CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY, FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, CA PHONE 831-443-3050.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
- FOR ALL TRENCH EXCAVATIONS (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 45, SALINAS, CA 93906, PHONE (831) 443-3050, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT PUBLIC WORKS. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
- TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION AND DELINEATION OF SHOWN PROPERTY LINE. PROPERTY LINE LOCATION AND TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: **DS 22081 Huber AMENDMENT**

Date Approved: **August 16, 2024**

Planner: **M. Waffle**

Technical Specifications

NDS 12 in. Tapered Catch Basins

Part Number	Pre-keyed Outlet
1200	2 openings
1203	3 openings
1204	4 openings

Compatible NDS Filter

Part Number	Description
1200FF	12 in. Catch Basin Filter

Compatible NDS Grates

Part Number	Color	Material	Description	Flow Rate
1210	Black	Steel	Standard ADA-compliant NDS Class C steel grate	114 GPM
1211	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	106 GPM
1212	Black	Steel	Standard ADA-compliant NDS Class C steel grate	101 GPM
1213	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	95 GPM
1214	Black	Steel	Standard ADA-compliant NDS Class C steel grate	90 GPM
1215	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	85 GPM
1216	Black	Steel	Standard ADA-compliant NDS Class C steel grate	80 GPM
1217	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	75 GPM
1218	Black	Steel	Standard ADA-compliant NDS Class C steel grate	70 GPM
1219	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	65 GPM
1220	Black	Steel	Standard ADA-compliant NDS Class C steel grate	60 GPM
1221	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	55 GPM
1222	Black	Steel	Standard ADA-compliant NDS Class C steel grate	50 GPM
1223	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	45 GPM
1224	Black	Steel	Standard ADA-compliant NDS Class C steel grate	40 GPM
1225	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	35 GPM
1226	Black	Steel	Standard ADA-compliant NDS Class C steel grate	30 GPM
1227	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	25 GPM
1228	Black	Steel	Standard ADA-compliant NDS Class C steel grate	20 GPM
1229	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	15 GPM
1230	Black	Steel	Standard ADA-compliant NDS Class C steel grate	10 GPM
1231	Black	Aluminum	Standard ADA-compliant NDS Class C aluminum grate	5 GPM

Compatible Outlet Adapters & Plug

Part Number	Flow Rate	Plug	Invert	
A	1242	78 GPM	3 in.	8.89 in.
B	1243	78 GPM	3 in.	8.75 in.
C	1244	78 GPM	3 in.	8.61 in.
D	1245	78 GPM	3 in.	8.47 in.
E	1246	78 GPM	3 in.	8.33 in.
F	1247	78 GPM	3 in.	8.19 in.
G	1248	78 GPM	3 in.	8.05 in.
H	1249	78 GPM	3 in.	7.91 in.
I	1250	78 GPM	3 in.	7.77 in.
J	1251	78 GPM	3 in.	7.63 in.
K	1252	78 GPM	3 in.	7.49 in.
L	1253	78 GPM	3 in.	7.35 in.
M	1254	78 GPM	3 in.	7.21 in.
N	1255	78 GPM	3 in.	7.07 in.
O	1256	78 GPM	3 in.	6.93 in.
P	1257	78 GPM	3 in.	6.79 in.
Q	1258	78 GPM	3 in.	6.65 in.
R	1259	78 GPM	3 in.	6.51 in.
S	1260	78 GPM	3 in.	6.37 in.
T	1261	78 GPM	3 in.	6.23 in.
U	1262	78 GPM	3 in.	6.09 in.
V	1263	78 GPM	3 in.	5.95 in.
W	1264	78 GPM	3 in.	5.81 in.
X	1265	78 GPM	3 in.	5.67 in.
Y	1266	78 GPM	3 in.	5.53 in.
Z	1267	78 GPM	3 in.	5.39 in.
AA	1268	78 GPM	3 in.	5.25 in.
AB	1269	78 GPM	3 in.	5.11 in.
AC	1270	78 GPM	3 in.	4.97 in.
AD	1271	78 GPM	3 in.	4.83 in.
AE	1272	78 GPM	3 in.	4.69 in.
AF	1273	78 GPM	3 in.	4.55 in.
AG	1274	78 GPM	3 in.	4.41 in.
AH	1275	78 GPM	3 in.	4.27 in.
AI	1276	78 GPM	3 in.	4.13 in.
AJ	1277	78 GPM	3 in.	3.99 in.
AK	1278	78 GPM	3 in.	3.85 in.
AL	1279	78 GPM	3 in.	3.71 in.
AM	1280	78 GPM	3 in.	3.57 in.
AN	1281	78 GPM	3 in.	3.43 in.
AO	1282	78 GPM	3 in.	3.29 in.
AP	1283	78 GPM	3 in.	3.15 in.
AQ	1284	78 GPM	3 in.	3.01 in.
AR	1285	78 GPM	3 in.	2.87 in.
AS	1286	78 GPM	3 in.	2.73 in.
AT	1287	78 GPM	3 in.	2.59 in.
AU	1288	78 GPM	3 in.	2.45 in.
AV	1289	78 GPM	3 in.	2.31 in.
AW	1290	78 GPM	3 in.	2.17 in.
AX	1291	78 GPM	3 in.	2.03 in.
AY	1292	78 GPM	3 in.	1.89 in.
AZ	1293	78 GPM	3 in.	1.75 in.
BA	1294	78 GPM	3 in.	1.61 in.
BB	1295	78 GPM	3 in.	1.47 in.
BC	1296	78 GPM	3 in.	1.33 in.
BD	1297	78 GPM	3 in.	1.19 in.
BE	1298	78 GPM	3 in.	1.05 in.
BF	1299	78 GPM	3 in.	0.91 in.
BG	1300	78 GPM	3 in.	0.77 in.
BH	1301	78 GPM	3 in.	0.63 in.
BI	1302	78 GPM	3 in.	0.49 in.
BJ	1303	78 GPM	3 in.	0.35 in.
BK	1304	78 GPM	3 in.	0.21 in.
BL	1305	78 GPM	3 in.	0.07 in.

Compatible NDS Accessories

Part Number	Description
1210	12 in. Catch Basin Filter, 6 in. nested height
1217	12 in. Catch Basin Filter with 2 openings, 10 in. nested height

Technical Specifications

12 in. Square Catch Basin Drains

APPLICATION:

- Collects stormwater runoff and standing water and directs to drain pipes.
- Use for basins, landscaped areas, downspouts, patios, pool decks, driveways, and walkways from pedestrian to low-speed vehicular traffic areas.
- Savings over more expensive concrete basins.
- Use with compatible NDS grate options.

FEATURES:

- Configured with 2, 3 and 4 factory pre-keyed outlets.
- Reduces to 1 single outlet, order 1200 plug or key kit.
- Keys pipe connections for 3 in., 4 in., 6 in., or 8 in. drain pipes.
- Additional cut-out guides on 2 sides and bottom for keyed adapters, 3 in. and 4 in. S&D in 2 elevations.
- 4 serrule inlets allow for standing water in basin to slowly drain into the soil following a flow event.
- Supporting ribs for added grate strength and durability.
- Sump collects sediment particles before they can enter the pipe.
- Guidelines on basin sides indicate correct pour depth of the concrete or rebar required for basins that will be subject to vehicular loading (see installation detail).
- Fibers can be added to increase basin depth, as required.
- Accepts 2 #6 screws to attach compatible grates.

OPERATING RANGE:

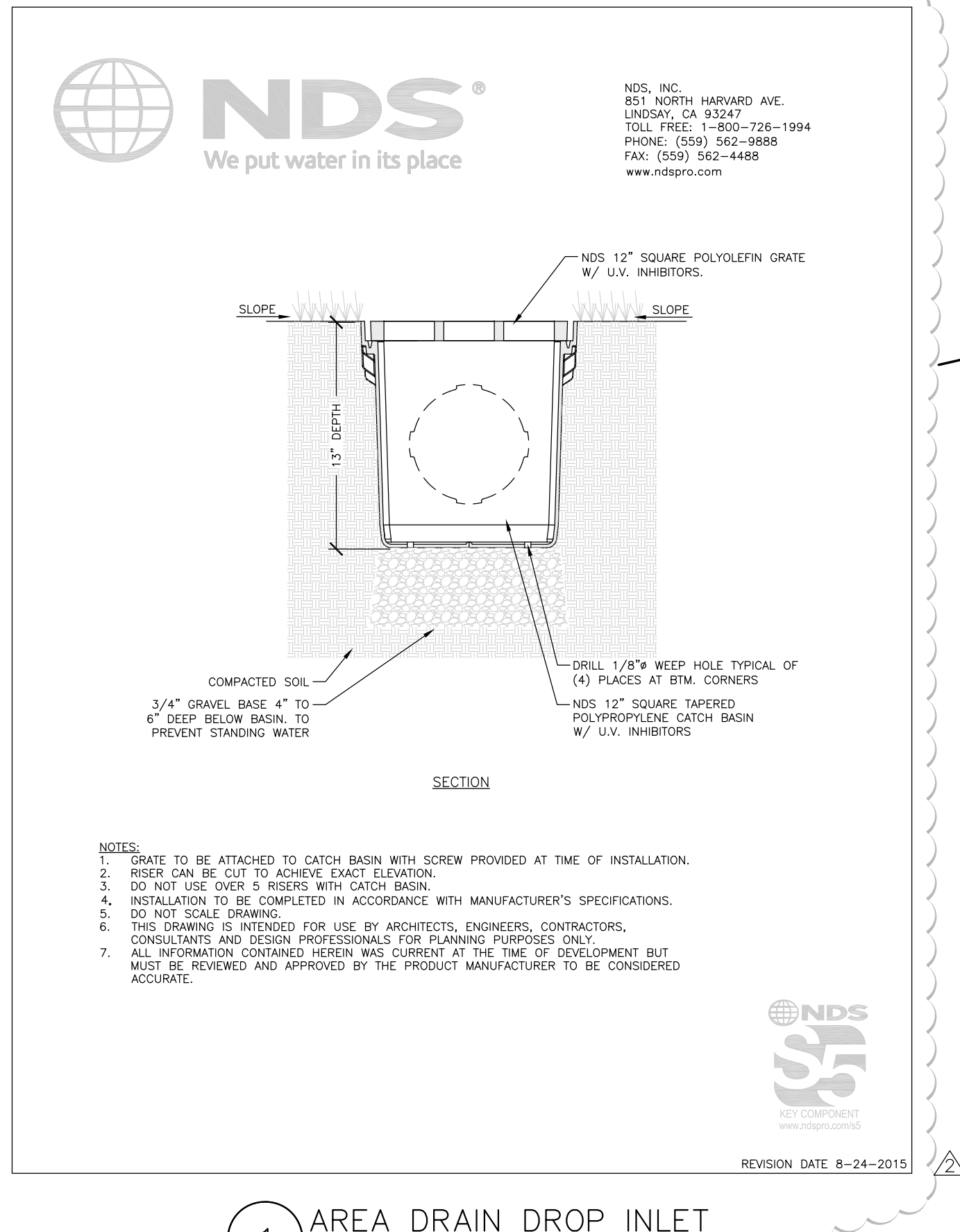
- Capacity up to 348 GPM (max open area grate option).

SPECIFICATIONS:

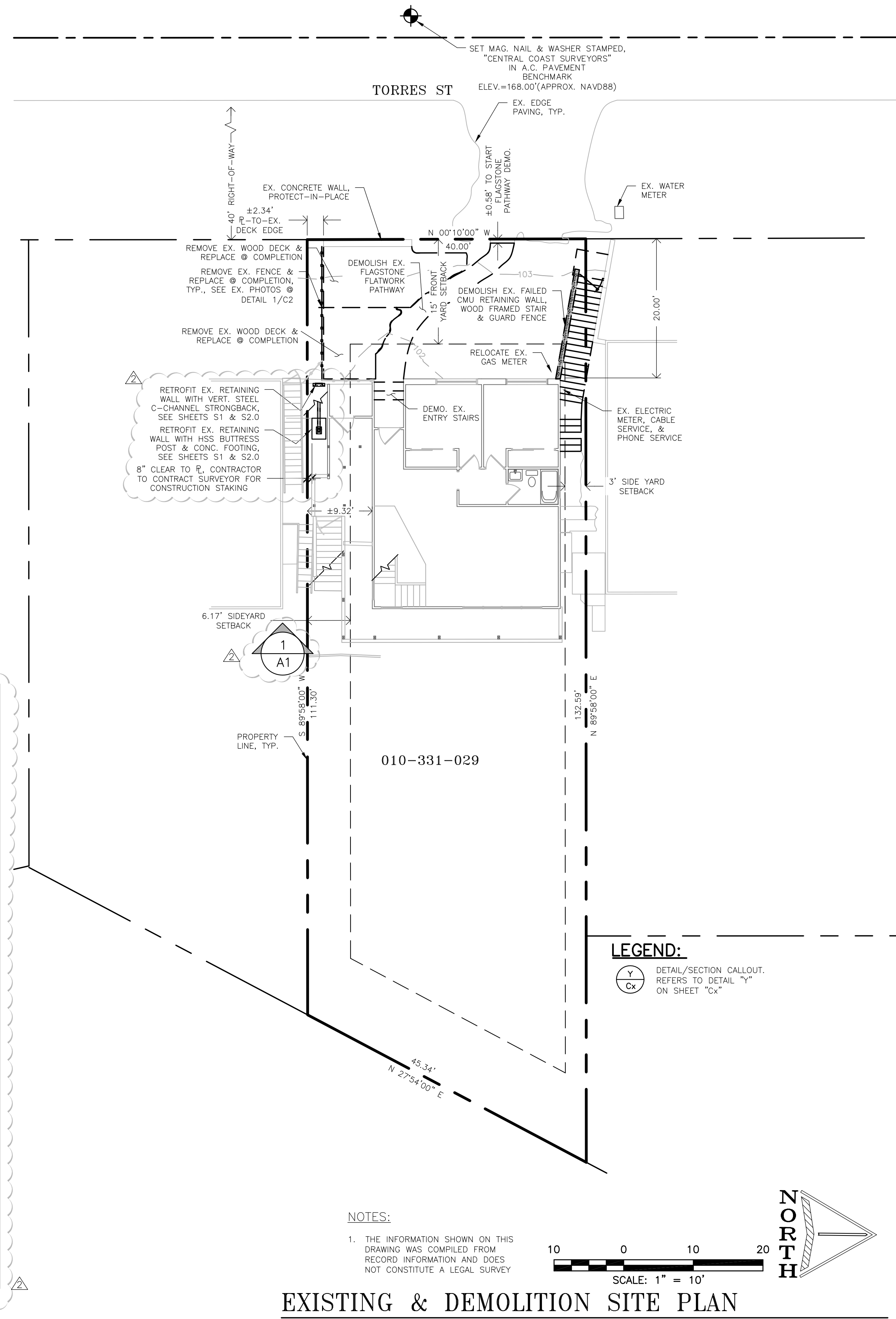
- Made of black polypropylene using a combination of virgin and recycled content treated with UV inhibitors.
- Soil tight pipe connections, up to 8 in.
- Connections can be made watertight with sealant caulk.
- Accommodates rigid PVC pipe and flexible corrugated HDPE pipe (see connections or outlet size).
- Weight:
 - Part Number 1200: 4.25 lbs.
 - Part Number 1203: 3.75 lbs.
 - Part Number 1204: 3.20 lbs.

WARRANTY:

- Limited one-year warranty.



1 AREA DRAIN DROP INLET
SCALE: NTS



EXISTING & DEMOLITION SITE PLAN
SCALE: 1" = 10'

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.
536 Abrego St., Monterey, CA 93940
Phone: 831.760.9944
e-mail: jae@cccseng.com
www.cccseng.com

HUBER EX. & DEMO. SITE PLAN

TORRES BY-THE-SEA, CA 93921 APN 010-331-029

REGISTERED PROFESSIONAL ENGINEER
MAX C. CAMP
C 73095
EX-12731-024
STATE OF CALIFORNIA
MAR 15 2024

JOB # 201105
DESIGN BY: JCC
DRAWN BY: JCC
CHECKED BY: JCC
DATE: 02/20/2022
SHEET: C1

GRADING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE, MONTEREY COUNTY GRADING ORDINANCE #2335, EROSION CONTROL ORDINANCE #2806, OSHA REQUIREMENTS FOR EXCAVATION, AND SPECIAL REQUIREMENTS OF THE PERMIT. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE PERMITTING JURISDICTION INSPECTOR AT LEAST 24 HOURS, (1) WORKING DAY, BEFORE WORK IS COMMENCED.
- THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST (48) HOURS, (2) WORKING DAYS, IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO EMPLOY A MATERIALS TESTING FIRM APPROVED BY THE PERMITTING AGENCY FOR TESTING OF FILL MATERIAL, COMPACTION RATES AND DENSITY TESTS DURING CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF SOILS REPORT P-20-198 #5 TORRES SE OF 9TH, CARMEL-BY-THE-SEA DATED 11/11/2020
- OWNER: GREGOR HUBER PHONE: (408) 910-2909
- GENERAL CONTRACTOR: PHONE: _____
- GRADING CONTRACTOR: PHONE: _____
- APPROXIMATE DATE OF START OF GRADING: 08/31/22
- APPROXIMATE DATE OF COMPLETION: 10/15/22
- CUT: 133 CY EXPORT; 60 CY DESTINATION; _____
- FILL: 73 CY IMPORT; xxx CY SOURCE: N/A
- ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF, AND TESTED BY, THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORTS FROM THE SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING INSPECTIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 4', BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
- WHERE UNSUITABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVEREXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER. OVEREXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER AND LANDSCAPE MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED.
- FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR THE FIRST 4' AT PAVED AREAS AND A MINIMUM OF 5% FOR THE FIRST 10' AT PLANTED AREAS.
- ALL FILLS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY.
- ALL AGGREGATE SUB-BASE SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY AND SHALL HAVE A MINIMUM CBR VALUE OF 25.
- ALL AGGREGATE SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY.
- ALL FILL MATERIAL SPECIFICATIONS, PLACEMENT (LIFTS), AND COMPACTION RATES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
- PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOLOGICAL REPORT.
- ELEVATION BENCHMARK: SEE SHEET T4
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT AND/OR IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE CALIFORNIA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- STRIPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURF ACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH. NO ROCK OVER 6" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL.

GENERAL GRADING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE, OSHA REQUIREMENTS FOR EXCAVATION, AND SPECIAL REQUIREMENTS OF THE PERMIT. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE PERMITTING JURISDICTION INSPECTOR AT LEAST (1) WORKING DAY BEFORE WORK IS COMMENCED.
- ALL FILLS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY.
- ALL AGGREGATE SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DRY DENSITY AND SHALL HAVE A MINIMUM CBR VALUE OF 25.
- ALL AGGREGATE SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY.
- THE CONTRACTOR IS RESPONSIBLE TO EMPLOY A MATERIALS TESTING FIRM APPROVED BY THE PERMITTING AGENCY FOR TESTING OF FILL MATERIAL, COMPACTION RATES AND DENSITY TESTS DURING CONSTRUCTION.
- DUST SHALL BE CONTROLLED BY THE CONTRACTOR TO THE SATISFACTION OF THE PERMITTING AGENCY AND IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE CALIFORNIA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED.
- IN THE EVENT OF CHANGES ARISING DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR REVIEW AND APPROVAL BY THE PERMITTING JURISDICTION. NO CHANGES IN THE DESIGN SHALL BE PERMITTED UNLESS WRITTEN APPROVAL IS GIVEN BY THE PERMITTING JURISDICTION.
- APPROXIMATELY 133 CY CUT/73 CY FILL EARTHWORK

STORM WATER POLLUTION PREVENTION NOTES:

- THE PROJECT SHALL COMPLY WITH THE POST CONSTRUCTION REQUIREMENTS OF THE CITY OF CARMEL-BY-THE-SEA LOW IMPACT DEVELOPMENT GUIDANCE MANUAL.
- THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CARMEL-BY-THE-SEA LOW IMPACT DEVELOPMENT GUIDANCE MANUAL, MONTEREY COUNTYWIDE STORM WATER TECHNICAL GUIDE, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT NO. CAS004002, AND ANY OTHER NPDES PERMIT ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. INCORPORATE BEST MANAGEMENT PRACTICES (BMPs) DESIGNED IN ACCORDANCE WITH THE CITY OF CARMEL-BY-THE-SEA LOW IMPACT DEVELOPMENT GUIDANCE MANUAL.
- NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO CITY STREETS OR THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION DEVICE LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF THE PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE SHALL BE CONSIDERED IN VIOLATION OF THE ABOVE REFERENCE PERMIT AND THE CITY'S STORM WATER ORDINANCE.

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 22081 Huber AMENDMENT

Date Approved: August 16, 2024

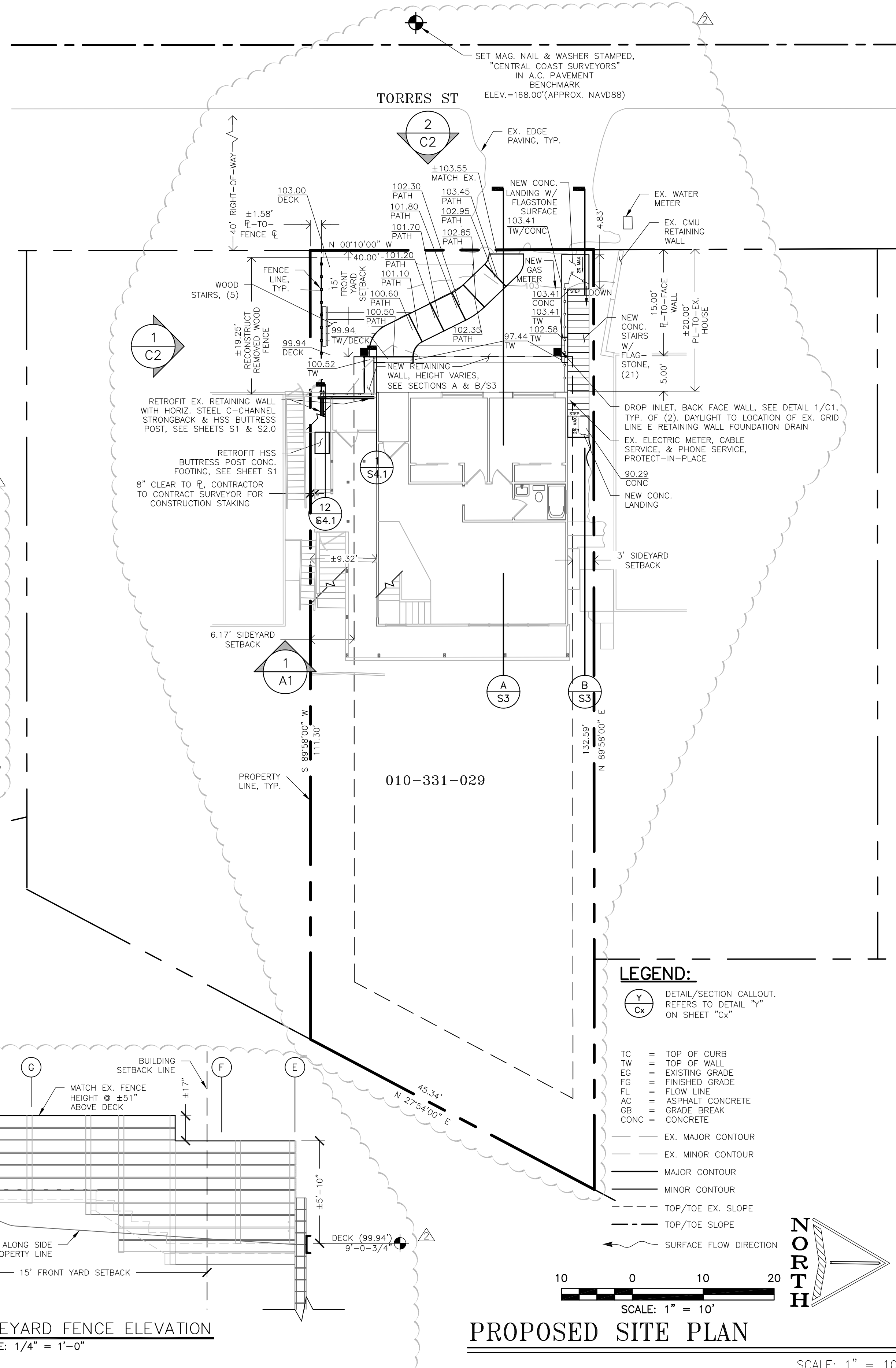
Planner: M. Waffle



2 EX. CARMEL STONE VENEER AESTHETIC
SCALE: NTS



1 SIDEYARD FENCE ELEVATION
SCALE: 1/4" = 1'-0"



Date	6/27/22
Rev. No.	7/15/24
PLAN CHECK COMMENTS	
DESIGN REVISION	
1	
2	
3	
4	
5	
6	

This drawing has not been published, but either has been prepared by Central Coast Structural Engineering, Inc. for use by the client, named in the title block, construction, operation, and maintenance of the facility, or Central Coast Civil & Structural Engineering, Inc. shall not be drawing on another facility or for any other purpose.

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.
536 Abrego St. Monterey, CA 93940
Phone: 831.760.9344
e-mail: jacob@cccesg.com
www.cccesg.com

HUBER
PROPOSED
SITE PLAN

TORRES 5 SE 9TH
CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029

REGISTERED PROFESSIONAL ENGINEER
MAX C. CAMP
C 73095
EXP. 12/31/2024
STATE OF CALIFORNIA
MAR 15 2024

JOB # 201105
DESIGN BY: JCC
DRAWN BY: JCC
CHECKED BY: JCC
DATE: 02/20/2022
SHEET: C2

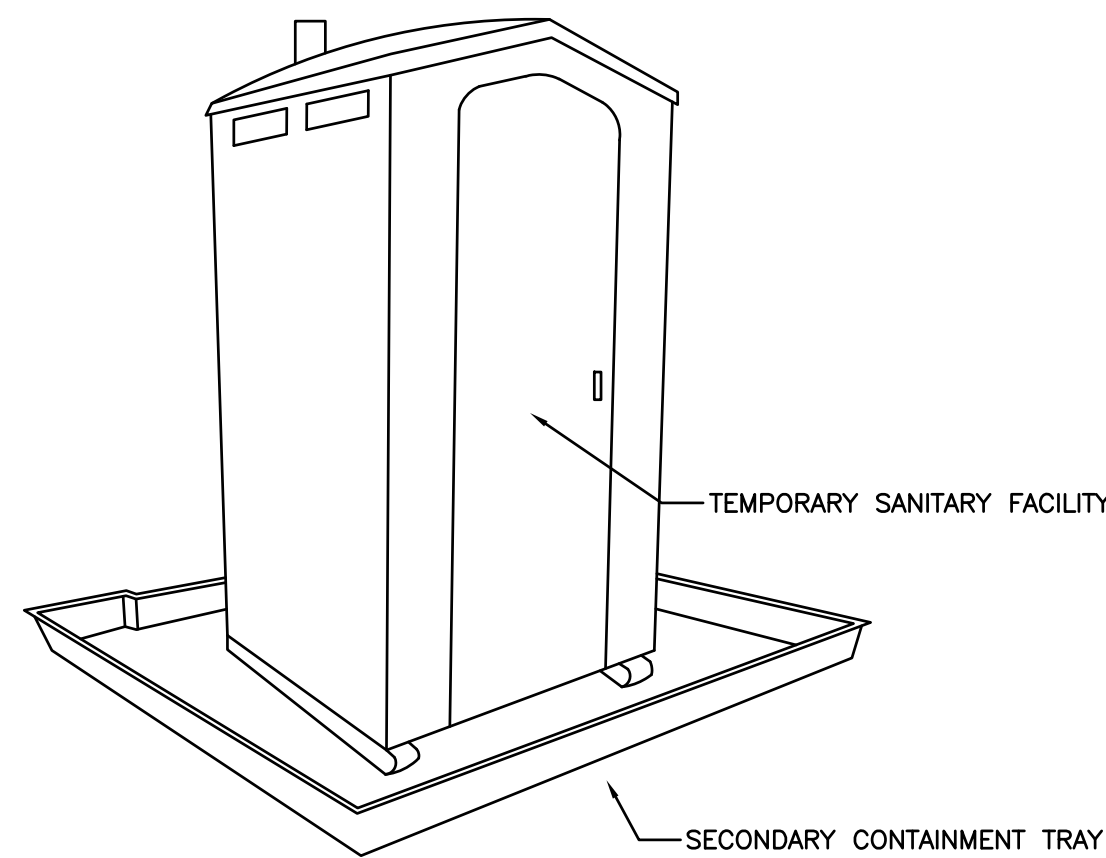
EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. **BEST MANAGEMENT PRACTICES (BMPs)** AT A MINIMUM, THE FOLLOWING BMPs ARE REQUIRED REGARDLESS OF WEATHER CONDITIONS, AND AS APPLICABLE TO THE CONSTRUCTION ACTIVITIES PLANNED. VERIFY ALL OF THE BELOW MEASURES ARE ADDRESSED ON THE ESCP SUBMITTAL, AS APPLICABLE.
- A. **WET WEATHER MEASURES** IF POSSIBLE, AVOID LAND-DISTURBING ACTIVITIES DURING THE WET WEATHER SEASON - OCTOBER 15 THROUGH APRIL 15. **OTHERWISE**, EXTRA BMP MATERIALS (FILTERS, FIBER ROLLS, GRAVEL BAGS, MULCH/STRAW, PLASTIC COVERS) SHALL BE KEPT ON-SITE FOR PRE-RAIN INSTALL.
- B. **EXISTING VEGETATION** PROTECT EXISTING VEGETATION; AVOID REMOVAL AS REQUIRED AND WHEREVER POSSIBLE; INSTALL APPROPRIATE/PROTECTIVE FENCING, PERIMETER CONTROLS PRIOR TO WORK.
- C. **EROSION AND SEDIMENT CONTROL** AS APPLICABLE, SLOPE AND SOIL STABILIZATION BMPs SHALL BE UTILIZED TO PREVENT SLOPE EROSION AND SOIL MOVEMENT ON-SITE AND OFF-SITE. NO SEDIMENT MAY LEAVE THE SITE, BE DEPOSITED OFF-SITE, OR POLLUTE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE.
- D. **STOCKPILE MANAGEMENT** 1.) ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. 2.) STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. 3.) NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
- E. **WASTE MANAGEMENT** ALL CONSTRUCTION WASTE SHALL BE CONTAINED AND SECURELY COVERED ONSITE, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO STREET.
- F. **VEHICLES AND EQUIPMENT** RESPONSIBLE PARTIES MUST ENSURE ALL VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET. INACTIVE VEHICLES/EQUIPMENT MUST USE COVER AND/OR DRIP PANS.
- G. **DRAIN/INLET PROTECTION & PERIMETER CONTROLS** DRAINS/INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, AND INCLUDE GUTTER CONTROLS AND FILTRATION WHERE APPLICABLE IN A MANNER NOT IMPEDING TRAFFIC OR SAFETY. PROPERLY INSTALLED SILT FENCING OR EQUIVALENT LINEAR CONTROL SHALL BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. ALSO, CHANGING CONSTRUCTION CONDITIONS NECESSITATE THAT THE TYPE OF INLET AND DRAIN PROTECTION IMPLEMENTED BE CHANGED AND/OR ADJUSTED BY THE CONTRACTOR TO ADEQUATELY PROTECT THE STORM DRAIN SYSTEM DURING THE VARIOUS CONSTRUCTION PHASES.
- H. **SWEEPING** ALL IMPERVIOUS SURFACES (DRIVEWAYS, STREETS) SHALL BE PHYSICALLY SWEEPED (NOT WASHED OR HOSED DOWN), AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT. NO TRACKING OFF-SITE.
- I. **DEWATERING** NO DEWATERING IS ALLOWED FROM CONSTRUCTION SITES. ASBS DRAINAGES HAVE GREATER RESTRICTIONS. ANY PROPOSED DEWATERING MUST BE REVIEWED/CLEARED BY CITY AND APPLICABLE REGULATORY AGENCIES.
- J. STORMWATER MIXED WITH NON-STORMWATER SHALL BE MANAGED AS NON-STORM WATER.

PROJECT COVERED BY PERMIT(S): _____
 TOTAL AREA OF DISTURBANCE: 133 CY CUT, 73 CY FILL - 60 TOTAL CY EXPORT

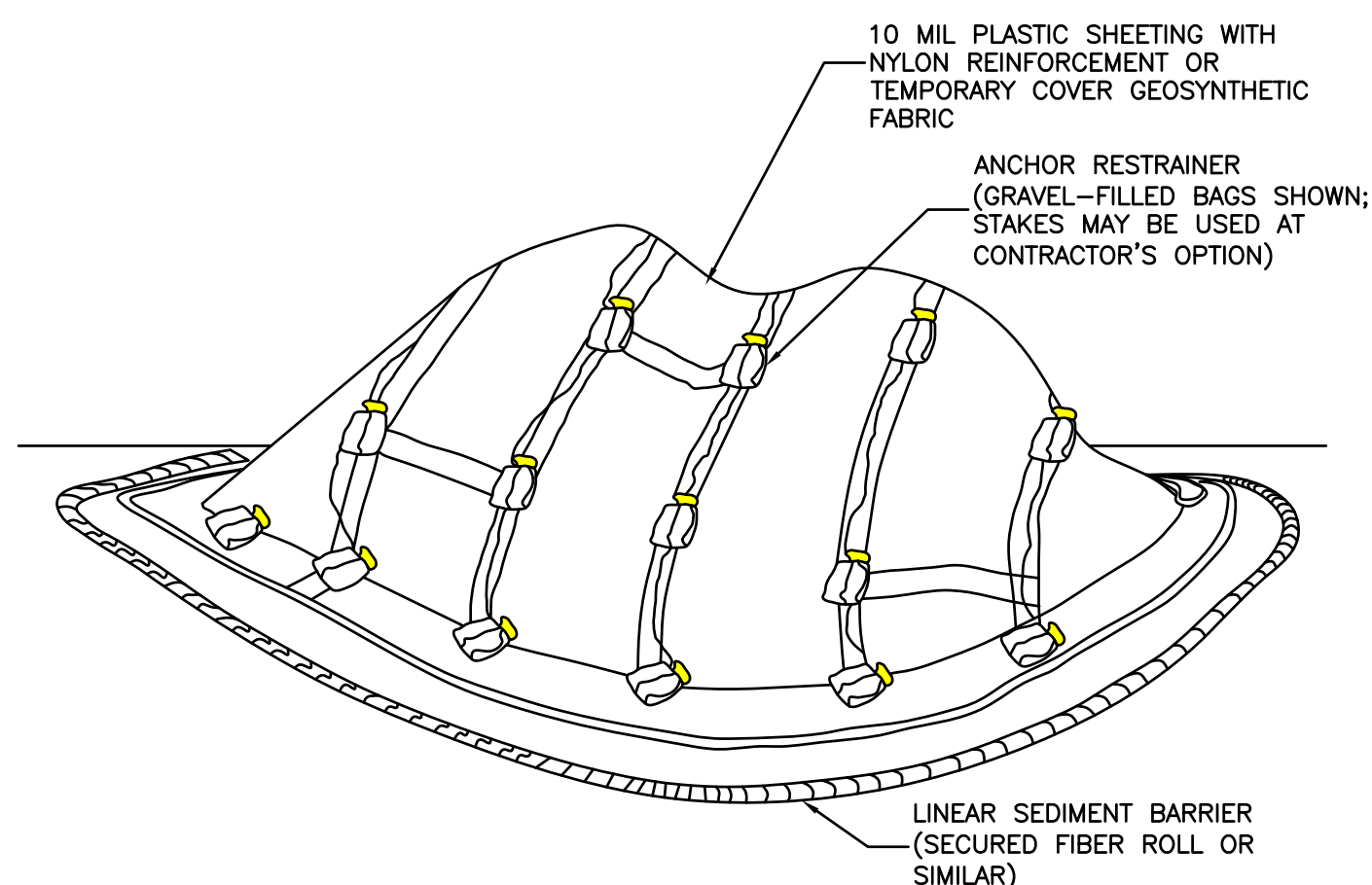
EROSION CONTROL NOTES:

1. IN CASE OF EMERGENCY CALL GREGOR HUBER AT (408) 910-2909.
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT APPROVED LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR TO REPAIR DAMAGED EROSION CONTROL MEASURES.
3. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DE-SILTING FACILITIES. GRADED SLOPE PROTECTION MEASURES DAMAGED DURING THE RAINSTORM SHALL ALSO BE REPAIRED.
4. A SIX-FOOT HIGH PERIMETER FENCE OR 24-HOUR GUARD SHALL BE PLACED ON THE SITE WHENEVER THE DEPTH OF WATER IN A FACILITY EXCEEDS 18 INCHES.



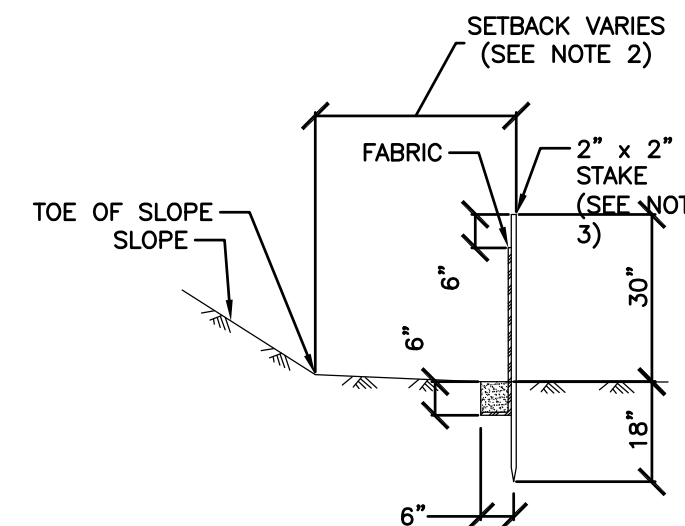
- STORAGE AND DISPOSAL PROCEDURES**
1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.
 2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
 3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
 4. ARRANGE FOR REGULAR WASTE COLLECTION, DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.

SANITARY WASTE MANAGEMENT (3) C3



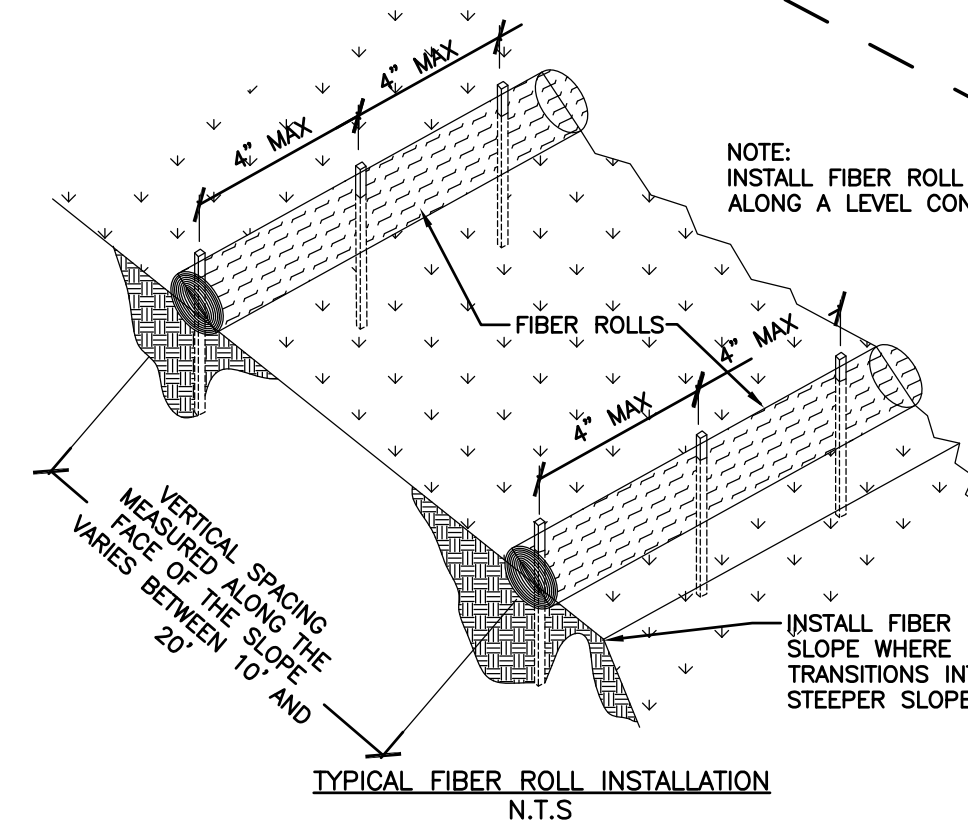
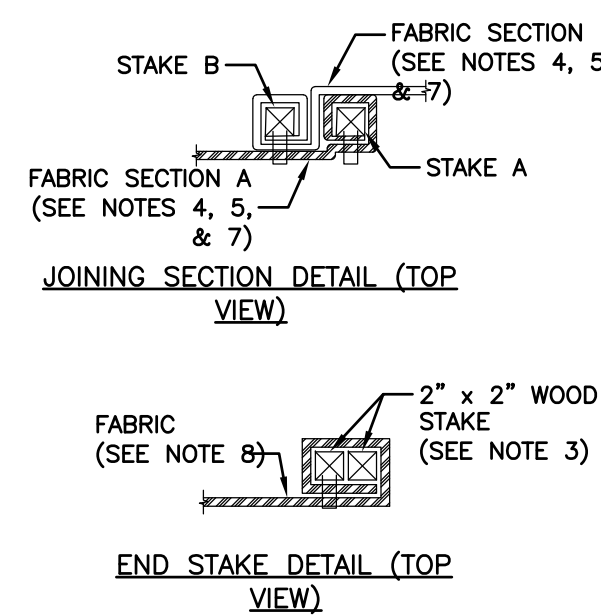
- NOTES:**
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
 5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

TEMPORARY COVER ON STOCKPILE (3) C3

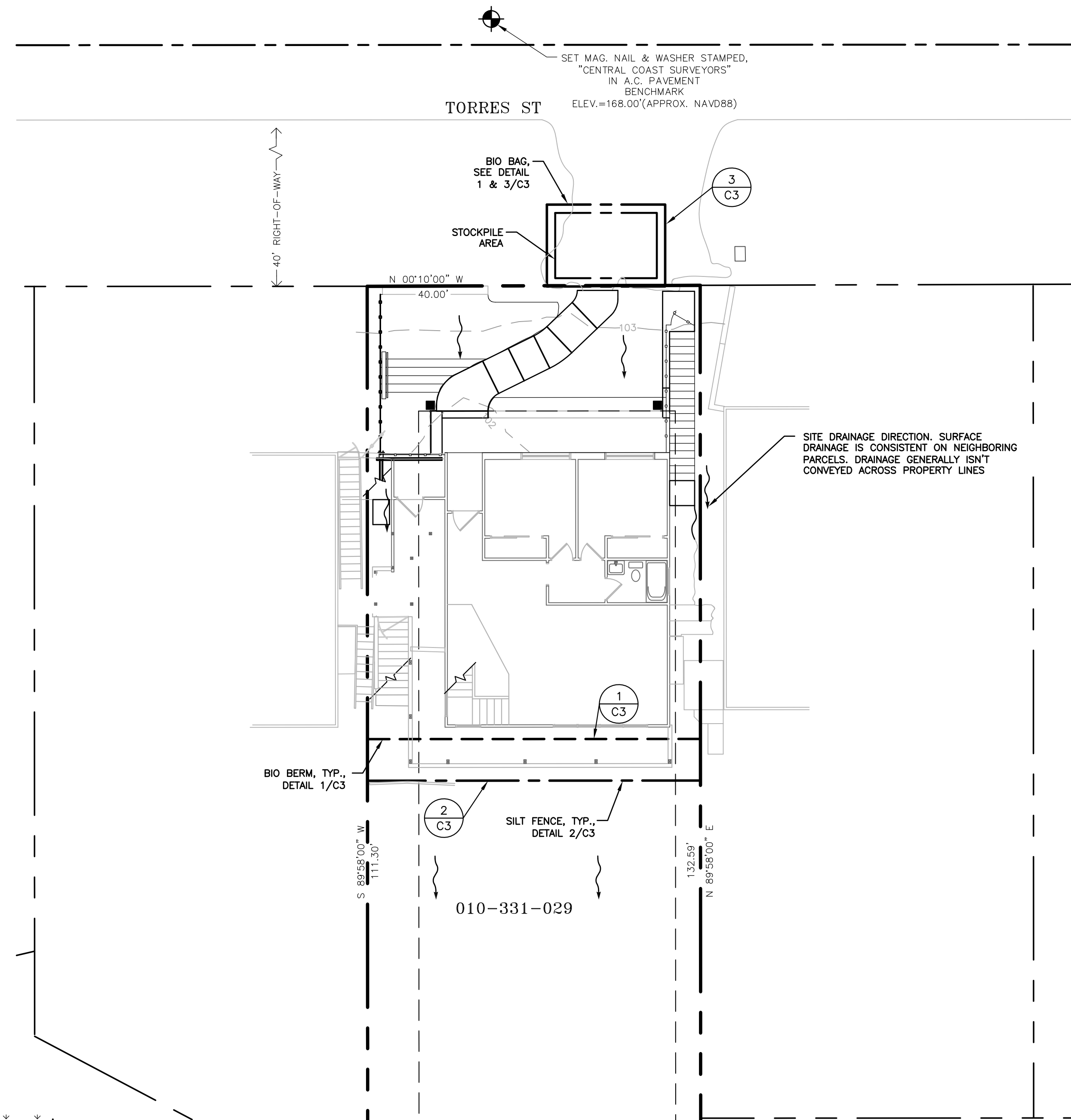
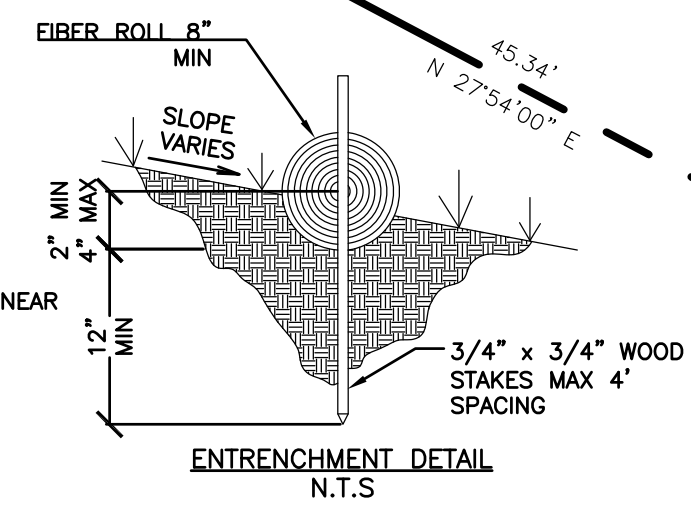


- NOTES:**
1. STAKE DIMENSIONS ARE NOMINAL.
 2. DIMENSIONS MAY VARY TO FIT FIELD CONDITIONS.
 3. STAKES SHALL BE SPACED AT 8'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
 4. STAKES TO OVERLAP AND FENCE FABRIC TO FOLD AROUND EACH STAKE AND FULL TURN. SECURE FABRIC TO STAKE WITH 4 STAPLES.
 5. STAKES SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOPS OF THE STAKES SHALL BE SECURED WITH WIRE.
 6. FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STAPLES.
 7. JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.

SILT FENCE (2) C3



FIBER ROLLS (1) C3



LEGEND:

- (C3) DETAIL/SECTION CALLOUT. REFERS TO DETAIL "CY" ON SHEET "CX"
- ESC EROSION SEDIMENTATION CONTROL
- CONTINUOUS BIO BERM (1) C3
- CONCRETE TRUCK WASH
- SD INLET PROTECTION
- EROSION CONTROL FENCE (2) C3
- DIRECTION OF FLOW

10 0 10 20
 SCALE: 1" = 10'

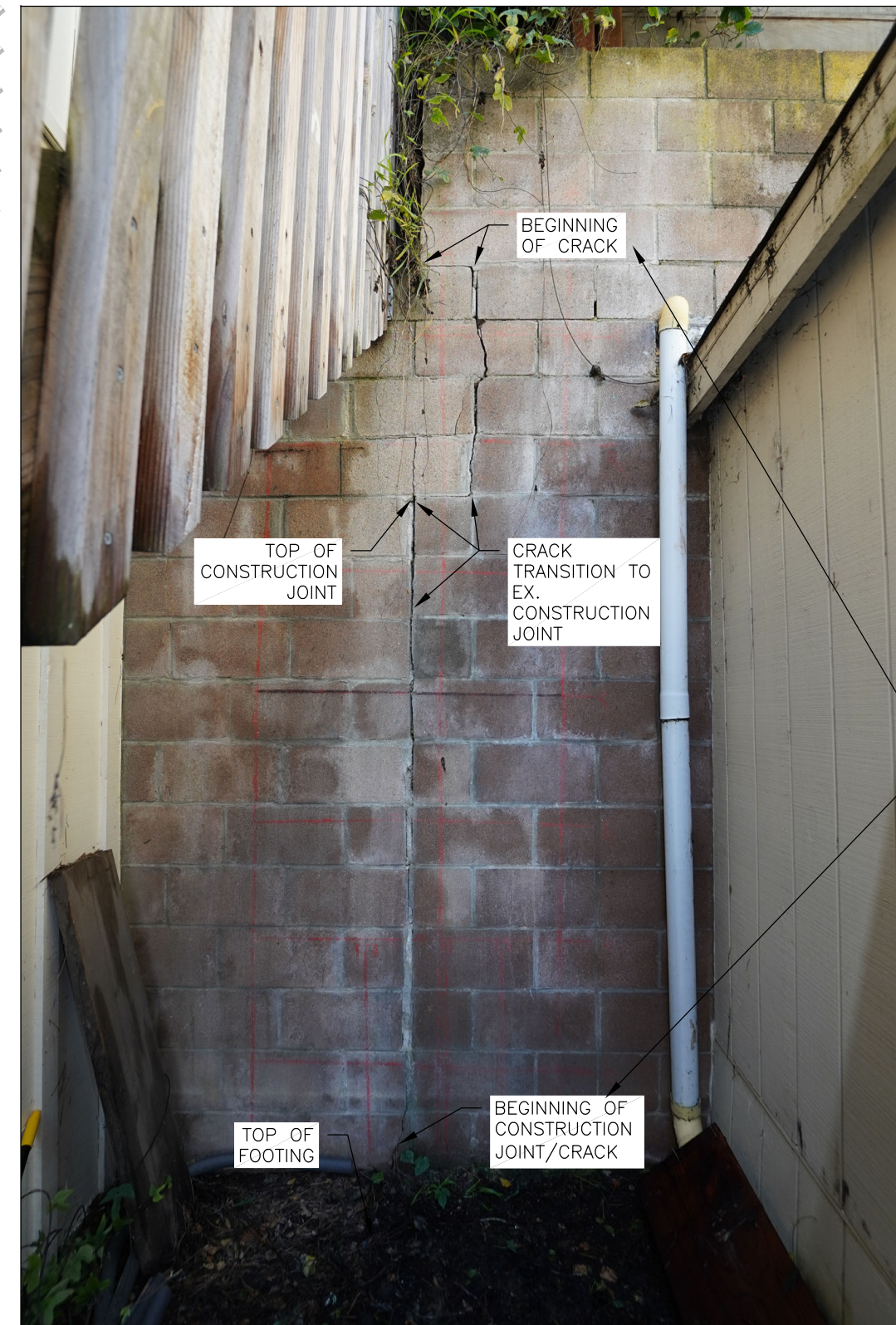
STORM WATER POLLUTION PREVENTION PLAN

SCALE: 1" = 10'

DATE: _____
 REV. NO. 1/2/3/4/5/6
 THIS DRAWING HAS NOT BEEN PUBLISHED, BUT OTHER HAS BEEN PREPARED BY CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC. FOR USE BY THE CLIENT NAMED IN THE TITLE BLOCK. CONSTRUCTION, OPERATION, AND MAINTENANCE OF THE FACILITY BY CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC. SHALL NOT BE DRAWING ON ANOTHER FACILITY OR FOR ANY OTHER PURPOSE.
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HUBER
STORM WATER POLLUTION PREVENTION PLAN
 TORRES 5 SE 9TH
 CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029
 REGISTERED PROFESSIONAL ENGINEER
 JACOB G. CAMP
 C 73095
 EXP. 12/31/2024
 MAR 15 2024
 JOB # 201105
 DESIGN BY: JCC
 DRAWN BY: JCC
 CHECKED BY: JCC
 DATE: 02/20/2022
 SHEET: C3

FLOOR PLAN NOTES:

- PROVIDE SMOKE ALARMS WHERE NOTED ON PLANS (SEE SHEET A1) (CRC 314.3, CRC 314.3.3 NFPA 72 SECTION 29.8.3.4)
 - SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND 3' MINIMUM FROM BATHROOM DOORS (CRC 314.3.1)
 - SMOKE ALARMS SHALL BE LOCATED OUTSIDE EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOOR(S) AND 3' MINIMUM FROM BATHROOM DOORS (CRC 314.3.2)
 - SMOKE ALARMS SHALL BE LOCATED A MINIMUM OF 20' HORIZONTALLY FROM PERMANENTLY INSTALLED COOKING APPLIANCES (CRC 314.3.3)
- HARDWIRING OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED (CRC 314.4 EXC. 2)
- SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHERE UNDERGOING ALTERATIONS OR REPAIRS THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILINGS FINISHES EXPOSING THE STRUCTURE (CRC R314.6 EXC. 2)
- SMOKE ALARMS INSTALLED IN ROOMS WITH VAULTED CEILINGS WITH EXPOSED BEAMS WHERE THE BEAM DEPTH IS LESS THAN 10% OF THE OVERALL CEILING HEIGHT SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72 SECTION 17.7.3.2.4.2
- SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 15' FROM WALLS
 - SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 30' ON-CENTER
- SMOKE ALARMS INSTALLED WITH ROOMS WITH LEVEL CEILINGS SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72 SECTION 17.7.3.2.3.1
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 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOORS (CRC 315.3.1)
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- CARBON MONOXIDE ALARMS INSTALLED IN ACCORDANCE WITH CRC SECTION R315.2.2 (SEE NOTE 5. ABOVE) SHALL BE PERMITTED TO BE BATTERY POWERED



1 EX. SIDE YARD RETAINING WALL DAMAGE
SCALE: NTS

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED.**

Permit #: DS 22081 Huber AMENDMENT
Date Approved: August 16, 2024
Planner: M. Waffle

LEVELING TABLES

MARK	ELEVATION ¹
+	0.0"
A	0.0"
B	-0.5"
C	-0.1"
D	-0.3"
E	-0.1"
F	-0.4"
G	-0.7"
H	-0.9"
I	-0.6"
J	-0.2"
K	-0.2"
L	-0.4"
M	0.0"
N	+0.3"
O	+0.7"
P	-0.1"
Q	+0.3"
R	-0.1"
S	0.0"
T	-0.2"
U	-0.2"
V	0.0"

LEGEND:

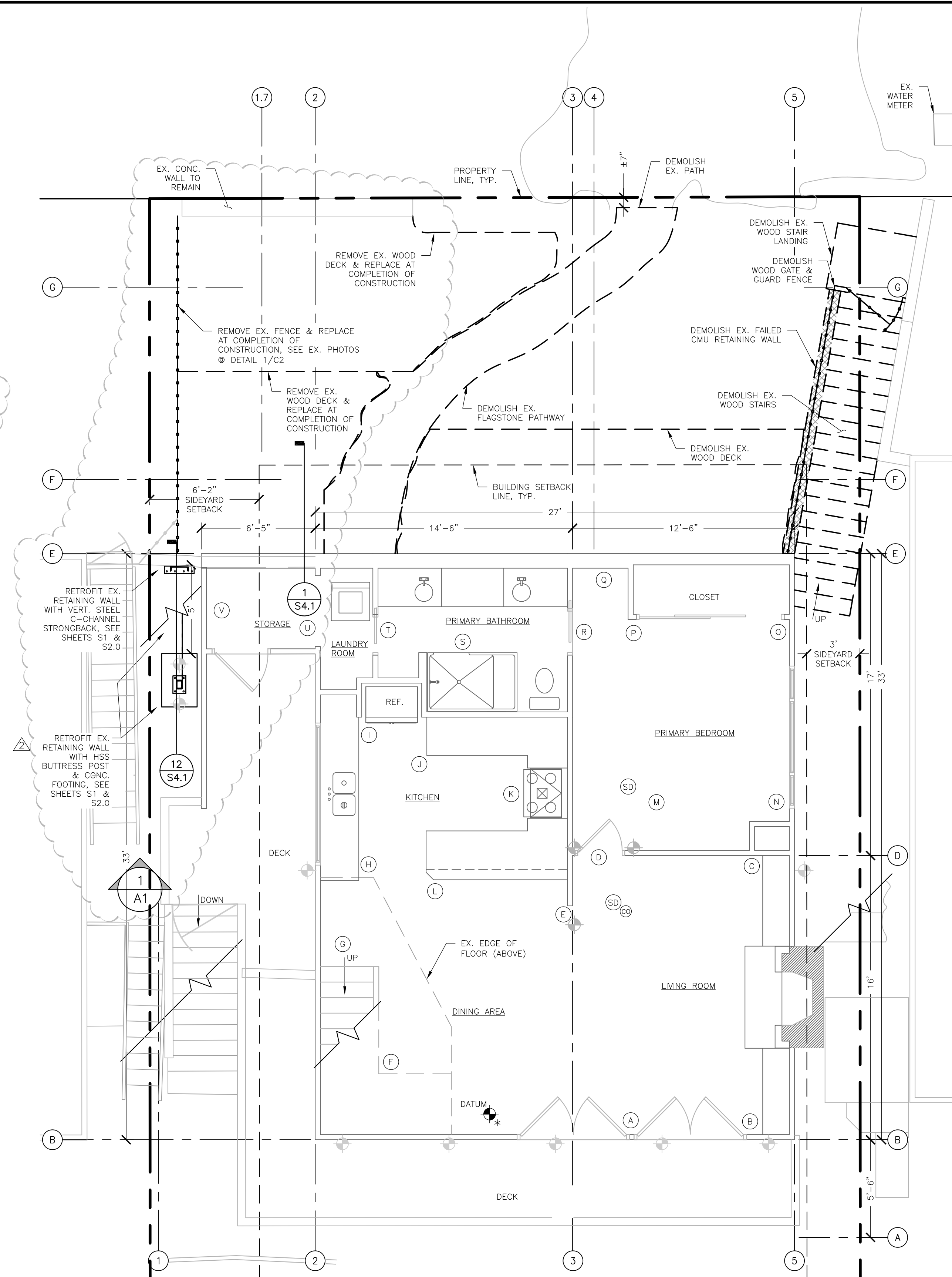
- DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Sx" ON SHEET "Sx"
- GRID LINE
- HELICAL PIER (APPROXIMATE LOCATION)
- LOCATION OF SPOT ELEVATIONS. SEE TABLE NOTE 1.
- EX. PIER FOOTING (APPROXIMATE LOCATION)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

WALL LEGEND:

- EXISTING WALL

TABLE NOTES:

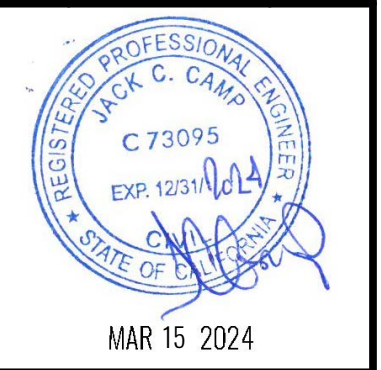
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- (16) HELICAL ANCHOR REPAIRS (APPROXIMATE LOCATIONS SHOWN, MORE ANCHORS MAY BE REQUIRED, SEE SHEET S1 FOR LAYOUT)



Rev.	No.	PLAN CHECK COMMENTS	DESIGN REVISION	Date
1	1			6/27/22
2	2			3/15/24
3	3			
4	4			
5	5			
6	6			

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.
536 Abrego St. Monterey, CA 93940
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e-mail: jack@cccseng.com
www.cccseng.com

HUBER
EX. LOWER FLOOR & DEMO. FRONT YARD PLAN
TORRES 5 SE 9TH
CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029

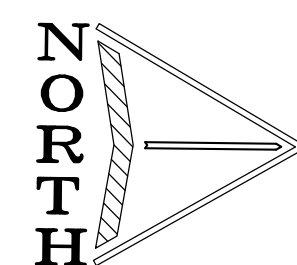


JOB #	201105
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	02/20/2022
SHEET:	A1.0

EXISTING LOWER FLOOR & DEMOLITION FRONT YARD PLAN

891 FT²

SCALE: 1/4" = 1'-0"



FLOOR PLAN NOTES:

- PROVIDE SMOKE ALARMS WHERE NOTED ON PLANS (SEE SHEET A1) (CRC 314.3, CRC 314.3.3 NFPA 72 SECTION 29.8.3.4)
 - SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND 3' MINIMUM BATHROOM DOORS (CRC 314.3.1)
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 - SMOKE ALARMS SHALL BE LOCATED A MINIMUM OF 20' HORIZONTALLY FROM PERMANENTLY INSTALLED COOKING APPLIANCES (CRC 314.3.3)
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 - OUTSIDE EACH SEPARATE SLEEPING ROOM DOOR(S) (CRC 315.3.1)
- COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS (CRC 315.4)
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- CARBON MONOXIDE ALARMS INSTALLED IN ACCORDANCE WITH CRC SECTION R315.2.2 (SEE NOTE 5. ABOVE) SHALL BE PERMITTED TO BE BATTERY POWERED

EXTERIOR STAIR NOTES:

- TREADS & RISERS
 - SIDE YARD STAIR RECONSTRUCTION:
TOP TO BOTTOM - (21) 7-1/2" RISERS, (21) STAIRS TOTAL, ±13'-1-1/2" TOTAL HEIGHT BETWEEN TOP AND BOTTOM FLATWORK
 - FRONT YARD DECK RECONSTRUCTION:
TOP TO BOTTOM - (2) 7-3/8" RISERS + (3) 7-5/16", (5) STAIRS TOTAL, ±3'-0-3/4" TOTAL HEIGHT BETWEEN DECK LEVELS
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS FOR FLIGHTS WITH (4) OR MORE RISERS (CRC R311.7.8) 11" TREADS @ SIDE YARD CONCRETE STAIRS & 12" TREADS @ FRONT YARD DECK
- HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT EXCEPT AT A NEWEL POST AT THE TURN (CRC R311.7.8.2)
- HANDRAIL SHALL BE 34"-38" ABOVE THE NOSING OF TREADS (CRC R311.7.8.1)
- HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAILS (CRC R311.7.8.2)
- HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE OF STAIRWAY (CRC R311.7.1)
- THE HANDGRIP PORTION OF THE HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" (NOT GREATER THAN 6-1/4") WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2-1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01" (CRC R311.7.8.3 TYPE 1)
- OPENINGS IN THE STAIR RISER SHALL BE LESS THAN 4"
- GUARDS SHALL BE CONTINUOUS ALONG DECK EDGES AT LOCATIONS WITH GREATER THAN 30" HIGH VERTICAL SEPARATION TO ADJACENT GRADE
- GUARDS SHALL BE 42" ABOVE THE EDGE OF DECK

DECK FRAMING NOTES:

- ALL DECK FRAMING MATERIAL SHALL BE PRESERVATIVE TREATED LUMBER SPECIFIED OR APPROVED EQUAL
- ALL DECKING PER OWNER
- SEE SHEET S1 & S2.0 FOR DIMENSIONS
- SEE SHEET S3 FOR STRUCTURAL SPECIFICATIONS

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 22081 Huber AMENDMENT

Date Approved: August 16, 2024

Planner: M. Waffle

LEVELING TABLES

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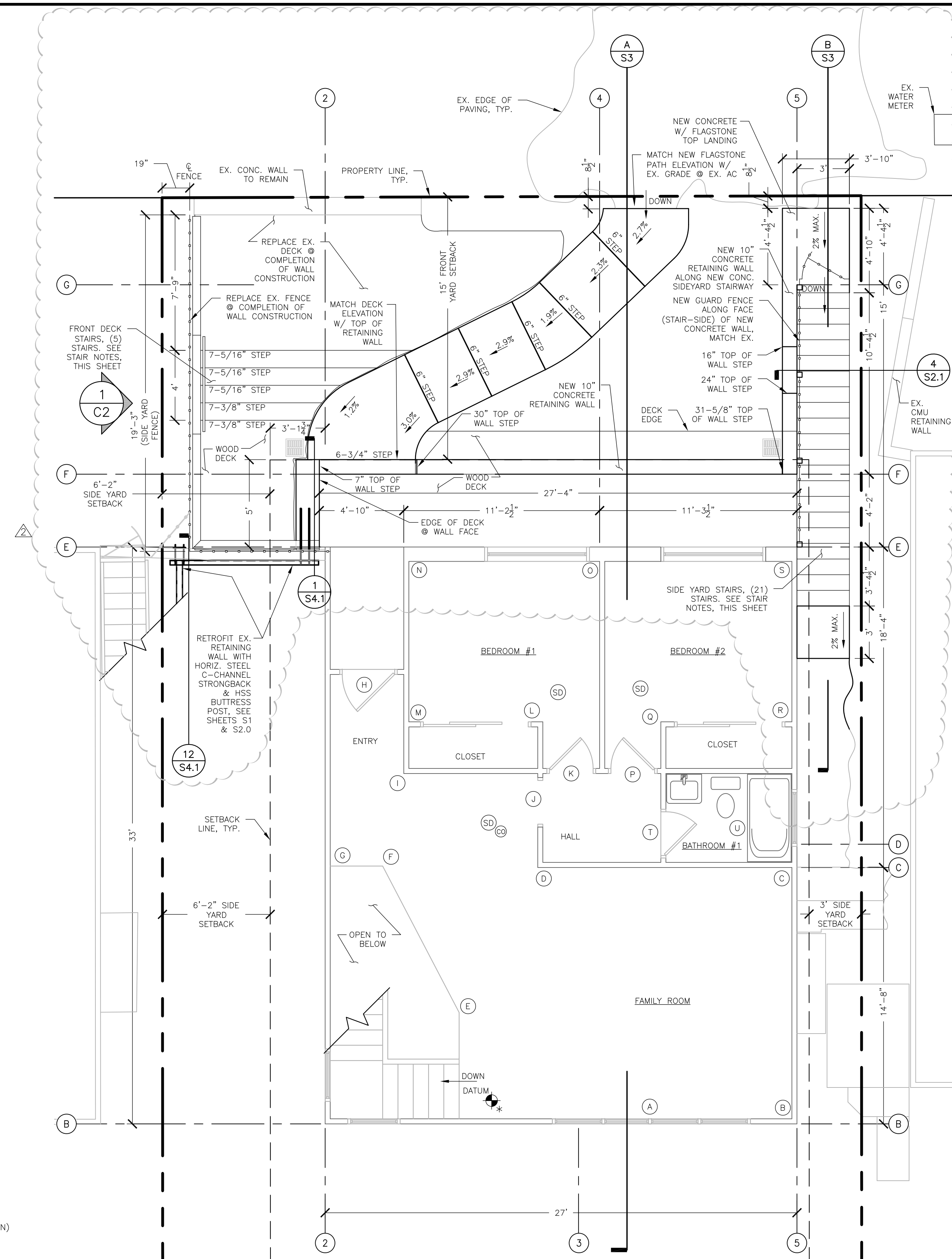
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WALL LEGEND:

- EXISTING WALL

TABLE NOTES:

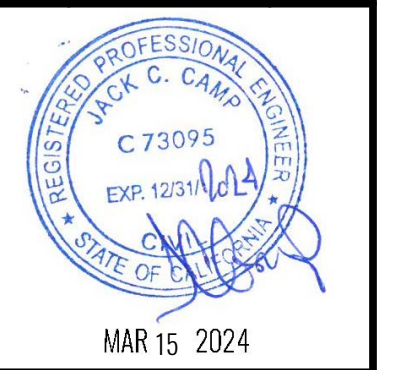
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Rev. No.	Description	Date
1	DESIGN REVISION	3/15/24
2		
3		
4		
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6		

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HUBER
 EX. UPPER FLOOR & PROP. FRONT YARD PLAN
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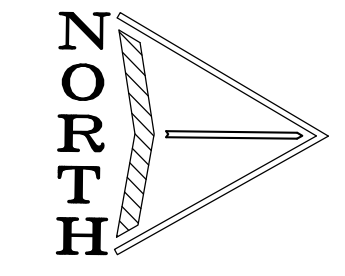


JOB #	201105
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	02/20/2022
SHEET:	A1.1

EXISTING UPPER FLOOR & PROPOSED FRONT YARD PLAN

765 FT²

SCALE: 1/4" = 1'-0"

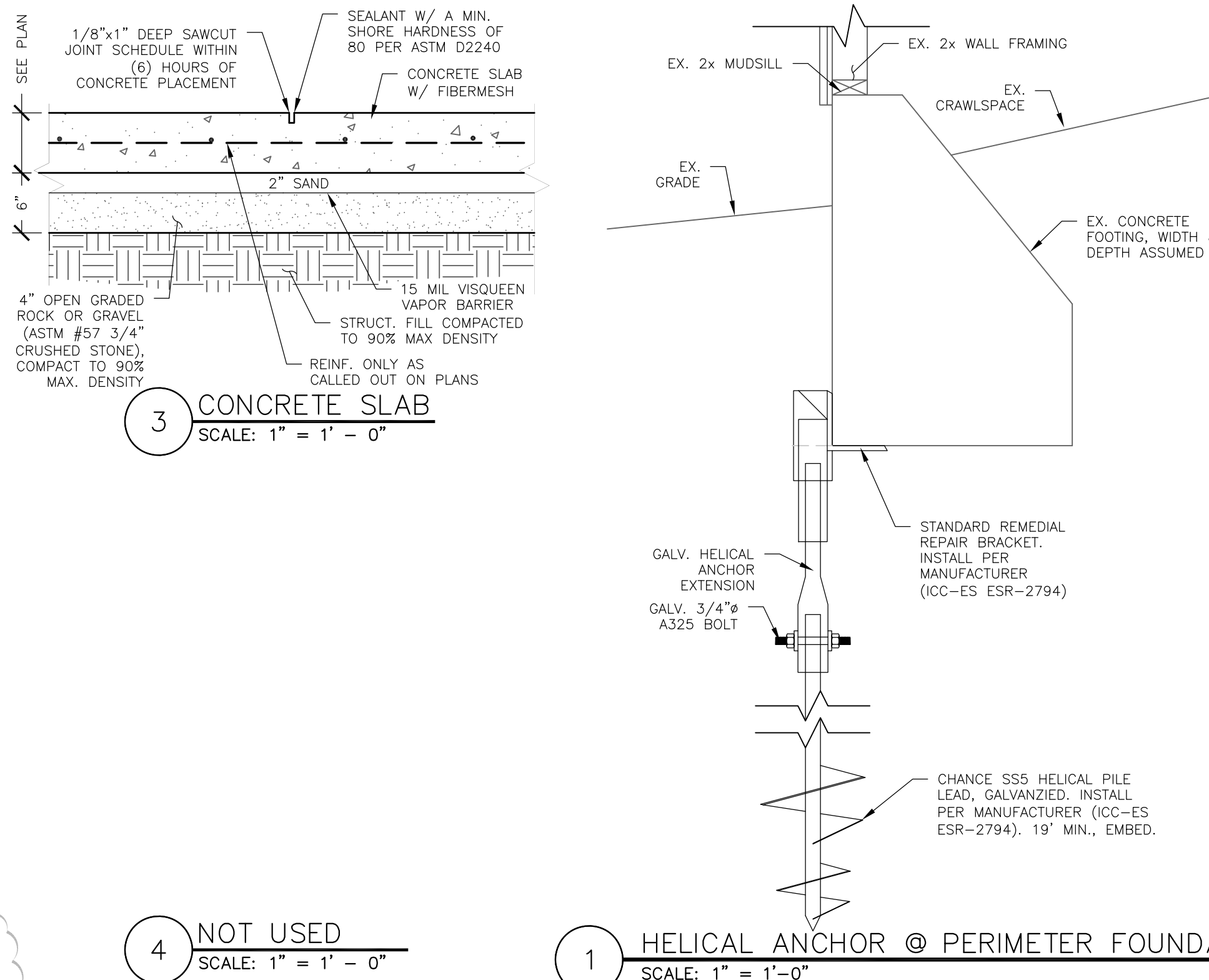


FOUNDATION NOTES:

1. FROST DEPTH SHALL BE MIN. 12" BELOW GRADE
2. FLATWORK EXPOSED TO WEATHER SHALL BE MINIMUM $f'_c=3,500$ PSI
3. FOUNDATIONS SUPPORTING WOOD SHALL EXTEND 6" MIN. ABOVE GROUND
4. SEE ARCH. PLANS FOR VERTICAL AND HORIZONTAL LOCATION OF DOOR AND WINDOW OPENINGS
5. ALL DIMENSIONS ARE TO CENTER OF FOOTING, UNO
6. FOUNDATIONS THAT HAVE SETTLED DIFFERENTIALLY SHALL BE UNDERPINNED WITH THE TOP HELICAL PLATE EMBEDMENT EXTENDING INTO SOUND MATERIALS AT LEAST (3) PLATE DIAMETERS, APPROXIMATELY 2' INTO THE UNDERLYING BEDROCK (PRESCRIPTIVE DEPTH REQUIREMENT), PER BUTANO GEOTECHNICAL ENGINEERING INC. REPORT DATED FEBRUARY 3, 2021 & STRUCTURAL CALCULATIONS BY CCCS ENG., INC.
7. CONSTRUCT UNDERPINS TO MINIMUM 15.8 KIPS RESISTANCE (7.9 KIP MAXIMUM DESIGN LOAD CALCULATED PER ENGINEER OF RECORD. SEE CALCULATIONS SUBMITTED WITH CONSTRUCTION DOCUMENTS FOR THIS PROJECT)
8. SEE SHEET S2.1 FOR STRUCTURAL SPECIFICATIONS

HELICAL ANCHOR NOTES:

1. ANCHOR PLACEMENT SHALL BE FIELD ADJUSTED @ CONTRACTOR'S DISCRETION, HOWEVER, PIERS SHALL BE SPACED AT LEAST (5) DIAMETERS APART, OR AT LEAST 5' APART, WHICHEVER IS GREATER. THE DIAMETER OF THE LARGEST HELIX PLATE IS USED TO DETERMINE PIER SPACING
2. THE MINIMUM RECOMMENDED ANCHOR DEPTH HAS BEEN DETERMINED BY BUTANO GEOTECHNICAL ENGINEERING INC. REPORT DATED FEBRUARY 3, 2021 AT 2' INTO THE UNDERLYING BEDROCK. SEE FOUNDATION NOTE 1. ABOVE.
3. ANCHORS SHALL BE GALVANIZED
4. DEPTH OF ANCHOR SHALL MEET REQUIRED DESIGN CAPACITY TIMES 2 (DETERMINED DURING INSTALLATION VIA PERFORMANCE-BASED METHODOLOGY) OR DEPTH REQUIRED IN HELICAL ANCHOR NOTE 2., ABOVE, WHICHEVER IS GREATER
5. REQUIRED CAPACITY OF ANCHOR SHALL BE ACHIEVED & VERIFIED AS A FUNCTION OF INSTALLATION TORQUE. GEOTECHNICAL CONSULTANT SHALL CONFIRM CAPACITY HAS BEEN REACHED IN THE FIELD
6. INSTALLATION TORQUE (ROTATIONAL RESISTANCE ENCOUNTERED BY HELIX WHILE BEING SCREWED) SHALL NOT EXCEED MANUFACTURER'S ANCHOR RATING
7. MINIMUM BEARING-TO-PULLOUT CAPACITY RATIO OF 10 RECOMMENDED, SUBJECT TO FIELD VERIFICATION BY GEOTECHNICAL CONSULTANT
8. FOUNDATION BRACKET SHALL NOT BE TENSIONED TO ANCHOR BEYOND TAUGHT. STRUCTURE SHALL NOT BE PULLED TO ANCHOR
9. ANCHORS SHALL BE INSTALLED VERTICALLY ($\pm 2\%$ W/ REGARD TO PLUMBNESS & TO WITHIN $\pm 2"$ IN LOCATION)
10. ALL ANCHOR INSTALLATION SHALL BE OBSERVED & APPROVED BY GEOTECHNICAL CONSULTANT
11. ALL GAGE & PUMP EQUIPMENT SHALL HAVE CURRENT CALIBRATION WITHIN PREVIOUS (6) MONTHS PRIOR TO CONSTRUCTION
12. INSTALLATION OF ANCHORS SHALL BE PER MANUFACTURER'S SPECIFICATIONS BATTERED HELICAL TIE BACK ANCHORS SHOULD BE INCLINED AT A 15° TO 20° DEGREE ANGLE FROM VERTICAL AND HAVE A MINIMUM OVERBURDEN DEPTH OF 10' BELOW GROUND SURFACE (BGS). OVERBURDEN DEPTH MEASURED FROM THE GROUND SURFACE DIRECTLY ABOVE THE PLATE CLOSEST TO THE WALL. SEE FOUNDATION NOTE 1. FOR ADDITIONAL SPECIFICATIONS FOR TIE BACK ANCHORS



3 CONCRETE SLAB
SCALE: 1" = 1' - 0"

4 NOT USED
SCALE: 1" = 1' - 0"

1 HELICAL ANCHOR @ PERIMETER FOUNDATION
SCALE: 1" = 1' - 0"

FOOTING SCHEDULE

MARK	FOOTING SIZE	REINFORCEMENT		DETAIL REFERENCE
		LONG.	SHEAR	
F-1	1-1/2" SQ. CHANCE HELICAL PILE S55 (C1500007) W/ TWIN HELIX (8" Ø, MIN., BOTTOM HELIX, 10" Ø, MIN., TOP HELIX) W/ LIGHT DUTY REMEDIAL REPAIR BRACKET (C1500121) (ICC-ES ESR-2794). 14.5" DEEP, MIN. (20 KIP LOAD)	N/A	N/A	DETAIL 1/S1
F-2	14" DEEP x 60" WIDE FOOTING (33" TOE WIDTH & 27" HEEL WIDTH - FROM WALL FACE) W/ 14" WIDE x 18" DEEP KEY @ TOE EDGE W/ 10" CONC. (GRID LINE F) & 16" CONC. (GRID LINE 2) RETAINING WALL	TOP STEM-#5 @ 15" OC HORIZ. & #5 @ 15" OC VERT.(EDGE) MID-STEM & BTM. STEM-#6 @ 15" OC HORIZ. & VERT.(EDGE) #6 @ 15" OC HOOKS(ALT.) TO FOOTING: 18" LAP TO TOE SIDE BTM. REINF. FOOTING-#6 @ 15" OC T&B, (3) #6 T&B LONG. #6 @ 15" OC HOOKS @ KEY W/ #5 T&B LONG.	N/A	DETAIL 1/S4.0
F-3	24" W x 36" L x 42" D PIER FOOTING W/ (2) 1-1/2" SQ. CHANCE HELICAL PILE S55 (C1500007) W/ TWIN HELIX (8" Ø, MIN., BTM HELIX, 10" Ø, MIN., TOP HELIX) W/ LIGHT DUTY REMEDIAL REPAIR BRACKET (C1500121) (ICC-ES ESR-2794). 14.5" DEEP, MIN. (20 KIP LOAD)	(3) #4 E.W. TOP & BOTTOM, (3) #4 EW @ ELEV. OF BTM. OF ABS, (2) HORIZ. #4x31" EPOXY DOWEL @ TOP @ 15" OC, (2) HORIZ. #4x31" EPOXY DOWEL @ BTM. OF ABS @ 15" OC, (2) DIAG. #4x31" EPOXY DOWEL @ UNDERMINED BTM. OF FTG, 4" EMBED., MIN., @ EPOXY DOWEL CONNECTIONS	N/A	DETAIL 12/S4.1
F-4	18" Ø x VARIABLE HEIGHT (8", MIN., HEIGHT ABOVE ADJACENT GRADE & 30", MIN., EMBED. BELOW GRADE)	N/A	N/A	DETAIL 3/S4.0

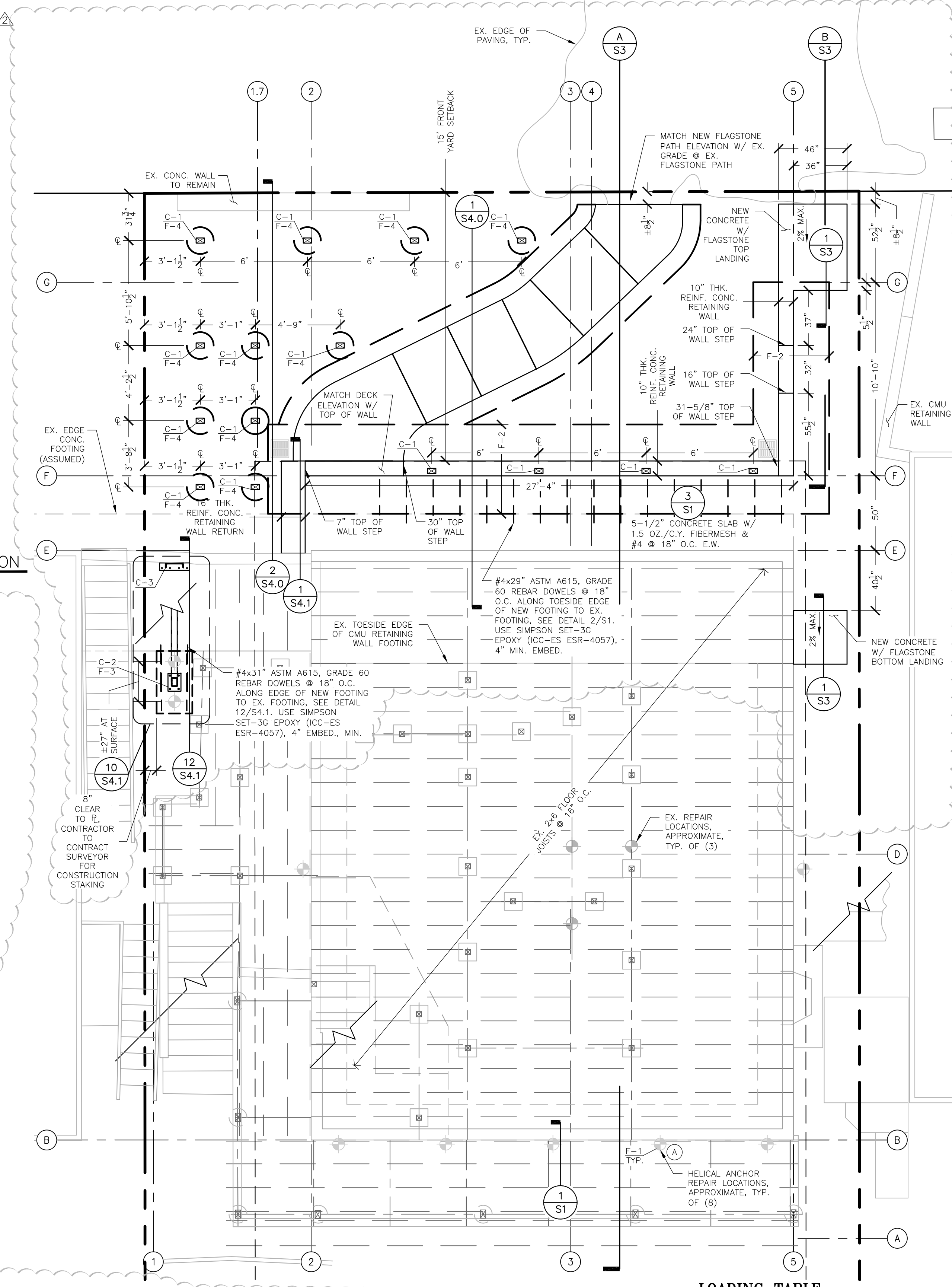
COLUMN SCHEDULE

MARK	COLUMN SIZE	SPEC.	BASE PLATE/POST BASE	REMARKS
C-1	4x6	PT DF-L #2 OR BETTER	ABU46Z	SEE DETAILS 2 & 4/S1
C-2	HSS4x4x.125	ASTM A500B	CUSTOM	SEE DETAILS 10 & 8/S4.1
C-3	C12x30x9'-5-7/8"	ASTM A36	CUSTOM	SEE DETAIL 7/S4.1

LEGEND:

- DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "Sx"
- GRID LINE
- EX. FLOOR FRAMING
- EX. FLOOR BEAM
- EXISTING FRAMING STABILIZATION REPAIR (APPROXIMATE LOCATION)
- PROPOSED HELICAL PIER (APPROXIMATE LOCATION)
- EX. PIER FOOTING (APPROXIMATE LOCATION)
- PROPOSED PIER FOOTING

2 NOT USED
SCALE: 3/4" = 1' - 0"

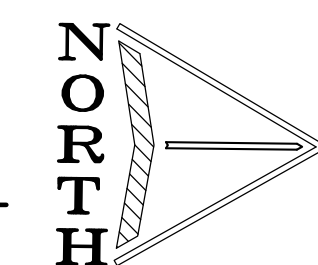


LOADING TABLE

MARK	MAX. DESIGN LOAD (ASD)	
	DEAD (KIPS)	LIVE (KIPS)
A	5.3	2.7

DESIGN CRITERIA

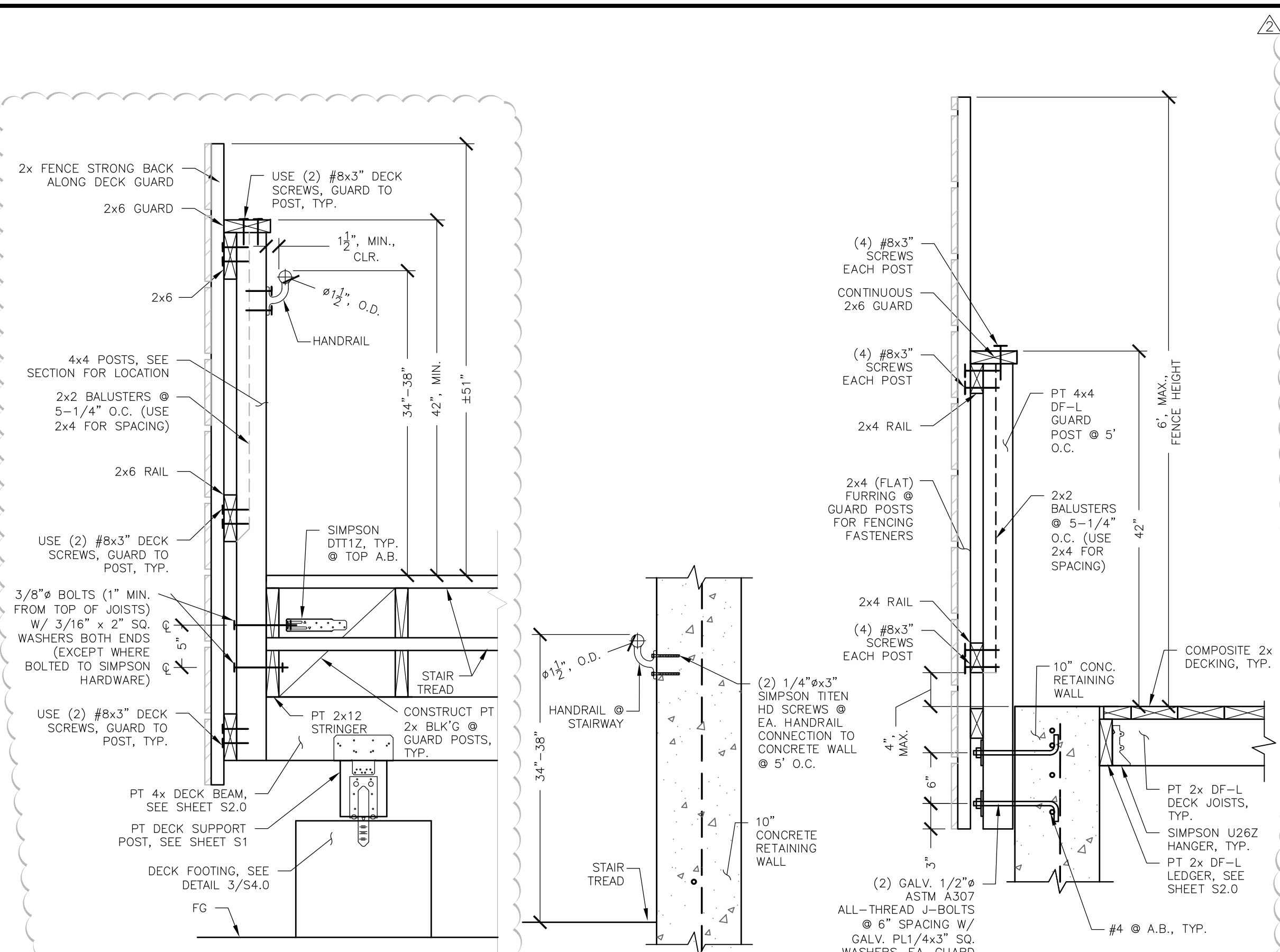
SEE SHEET T1



EXISTING & PROP. FOUNDATION & LOWER FLOOR FRAMING PLAN

SCALE: 1/4" = 1' - 0"

Date	6/27/22
Rev. No.	3/7/15/24
PLAN CHECK COMMENTS	
DESIGN REVISION	
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HUBER EX. & PROP. FND. & LWR. FLOOR FRMG. PLAN & STRUCT. DTLS. TORRES 5 SE 9TH CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029	
JOB #	201105
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	02/20/2022
SHEET:	S1



6 STAIR GUARD & HANDRAIL
SCALE: 1" = 1' - 0"

5 STAIR HANDRAIL
SCALE: 1" = 1' - 0"

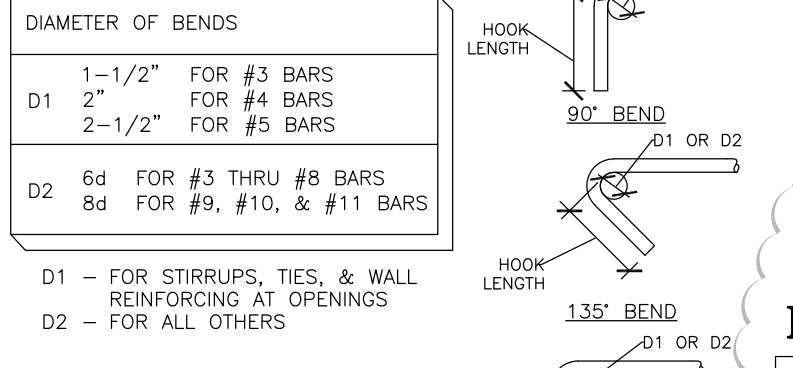
4 DECK GUARD POST
SCALE: 1" = 1' - 0"

STANDARD HOOK LENGTHS

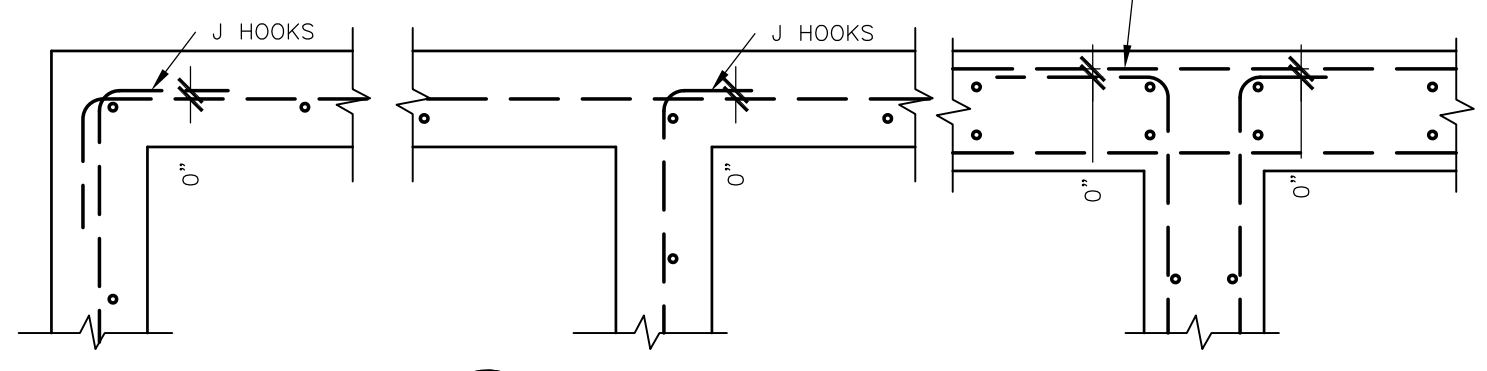
BAR SIZE	MAIN REINFORCEMENT		STIRRUP & TIE HOOKS	
	90°	180°	90°	135°
#3	6"	4"	3"	4-1/2"
#4	8"	4"	4"	6"
#5	9-1/2"	4-1/2"	5"	7-1/2"
#6	11-1/2"	5-1/2"	11-1/2"	10"
#7	13-1/2"	6-1/2"	13-1/2"	11-1/2"
#8	15"	7"	15"	13"
#9	18"	9"	-	-
#10	20"	10"	-	-
#11	22"	11"	-	-

STANDARD SPLICE LENGTHS

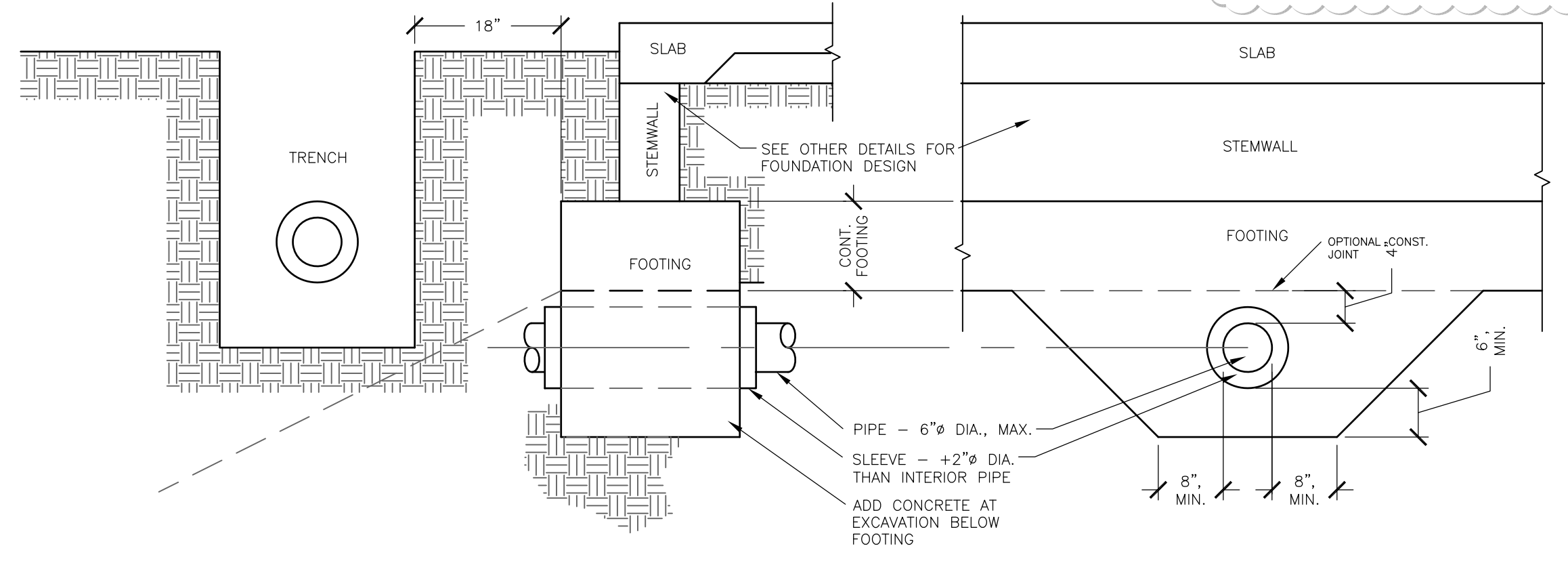
BAR SIZE	CLASS SPLICE		
	A	B	C
#3	1'-1"	1'-4"	1'-9"
#4	1'-5"	1'-10"	2'-5"
#5	1'-9"	2'-3"	3'-0"
#6	2'-3"	2'-11"	3'-10"
#7	3'-1"	4'-0"	5'-2"
#8	4'-0"	5'-3"	6'-10"
#9	5'-1"	6'-8"	8'-8"
#10	6'-6"	8'-5"	11'-0"
#11	8'-0"	10'-4"	13'-7"



(4) EXTRA TYP. VERT. BARS PLACED FOR ANCHORAGE AS SHOWN ON INSIDE OF HORIZ. BARS



1 CONCRETE REINFORCING
SCALE: NTS



2 TRENCHES & CONDUITS THROUGH FOOTING
SCALE: NTS

NOTES:
1. SEE FOUNDATION PLAN AND DETAILS FOR FOOTING SIZE AND REINFORCE
2. IF PIPE INTERFERES WITH PLACEMENT OF FOOTING REINFORCEMENT, CONTACT ENGINEER FOR ALTERNATE DETAIL

3 NOT USED
SCALE: 1" = 1' - 0"

JOIST SCHEDULE

MARK	JOIST SIZE	SPEC.	REMARKS
J-1	2x6	PT DF-L #2	16" O.C. SPACING
J-2	2x8	PT DF-L #2	16" O.C. SPACING
J-3	2x12	PT DF-L #2	16" O.C. SPACING STRINGERS

BEAM SCHEDULE

MARK	BEAM SIZE	SPEC.	REMARKS
B-1	4x10	PT DF-L #2 OR BETTER	-
B-2	4x8	PT DF-L #2 OR BETTER	-
B-3	4x6	PT DF-L #2 OR BETTER	-

LEDGER SCHEDULE

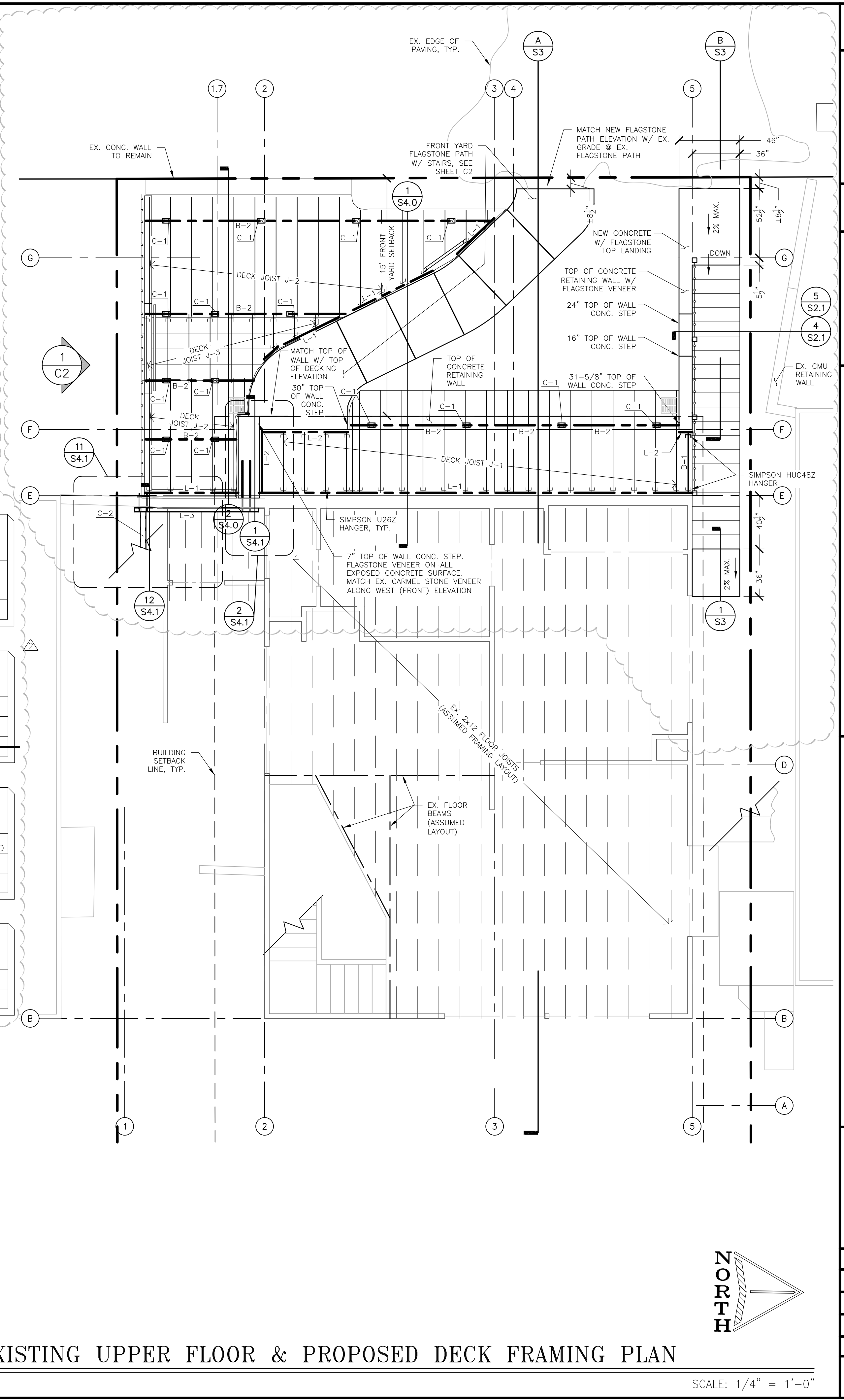
MARK	LEDGER SIZE	SPEC.	REMARKS
L-1	2x8	PT DF-L #2	FASTEN LEDGER USING (1) ROW 1/2" #x8" EPOXY DOWEL ASTM F1554 ALL-THREAD ROD
L-2	2x8	PT DF-L #2	FASTEN LEDGER USING (1) ROW 1/2" #x8" SIMPSON TITEN HD SCREW ANCHOR
L-3	C12x30x7'-10"	ASTM A36	SEE DETAILS 2, 3, & 4/S4.1

COLUMN SCHEDULE

MARK	COLUMN SIZE	SPEC.	POST CAP	REMARKS
C-1	4x6	PT DF-L #2 OR BETTER	SIMPSON PC4Z	SEE DETAIL 3/S2.0
C-2	HSS4x4x.125	ASTM A500B	CUSTOM	SEE DETAILS 4 & 5/S4.1

LEGEND:

- (Y/Sx) DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "Sx"
- (X) GRID LINE
- EX. HEADER
- EX. FLOOR BEAM
- EX. FLOOR FRAMING
- EX. FLOOR JOIST
- DECK BEAM
- DECK JOIST



EXISTING UPPER FLOOR & PROPOSED DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"

Date: 7/15/24

DESIGN REVISION

Rev. No. 1 2 3 4 5 6

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HUBER

EX. UPPER FLOOR & PROP. DECK FRAMING PLAN




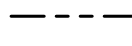

TORRES, 5 SE 9TH
CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029

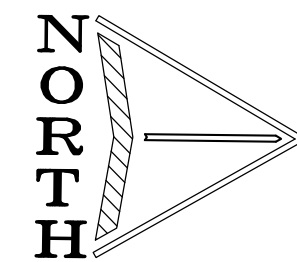
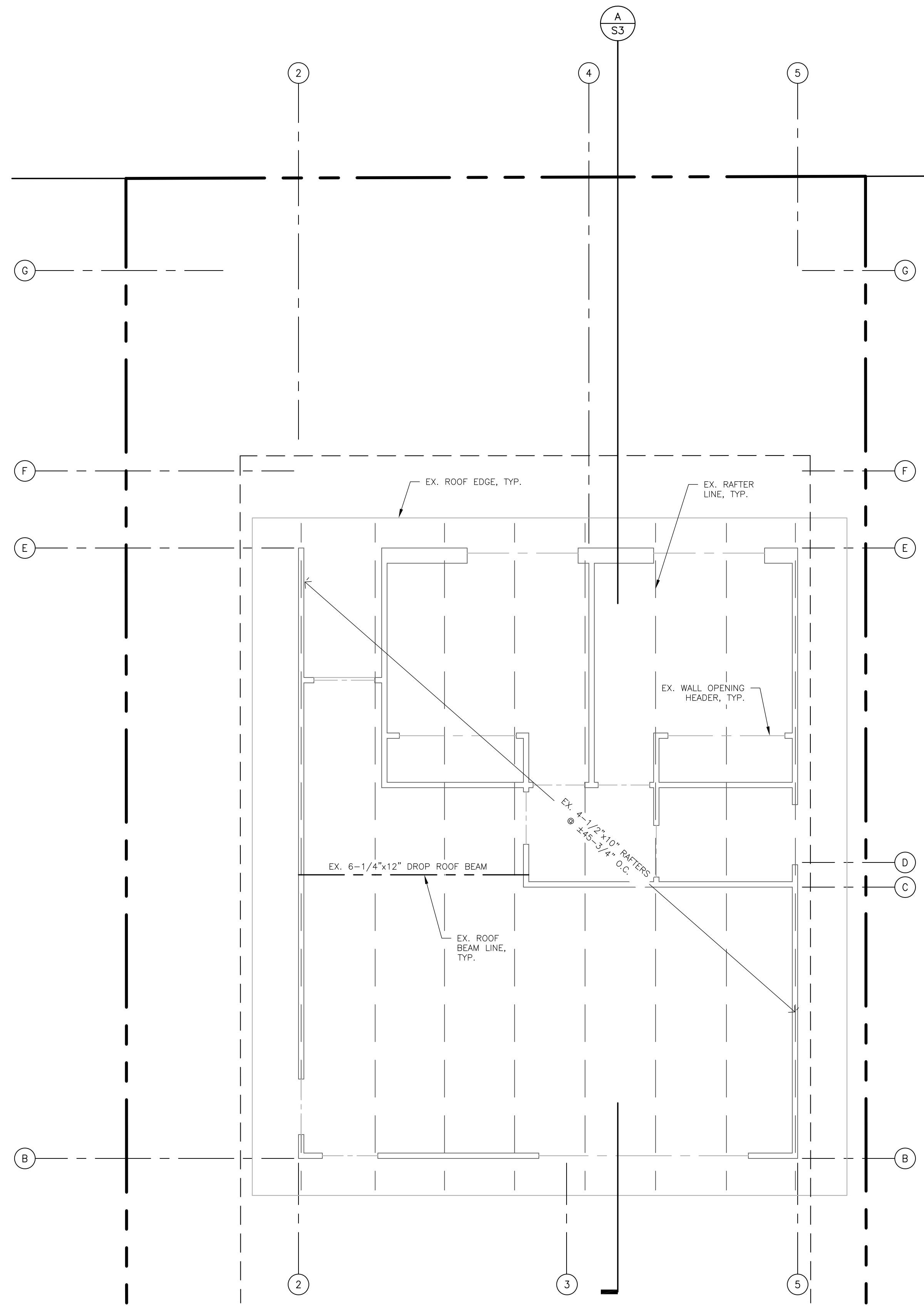
REGISTERED PROFESSIONAL ENGINEER
MAX C. CAMP
C 73095
EXP. 12/31/24
STATE OF CALIFORNIA

MAR 15 2024

JOB # 201105
DESIGN BY: JCC
DRAWN BY: JCC
CHECKED BY: JCC
DATE: 02/20/2022
SHEET: S2.0

LEGEND:

-  DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "Sx"
-  GRID LINE
-  EX. HEADER
-  EX. ROOF BEAM
-  EX. ROOF FRAMING



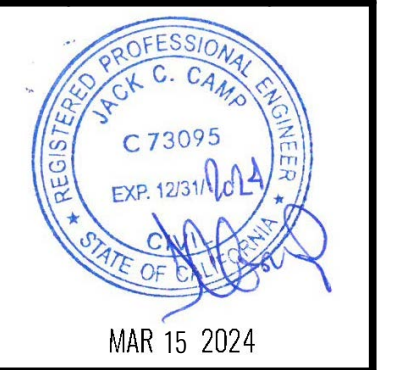
EXISTING ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

Rev. No.	Date
1	
2	
3	
4	
5	
6	

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HUBER
EX. ROOF FRAMING PLAN
 TORRES, 5 SE 9TH
 CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029



JOB #	201105
DESIGN BY:	JCC
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DATE:	02/20/2022
SHEET:	S2.1

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STRUCTURAL SPECIFICATIONS:

1. GENERAL:

- A. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), LOCAL ORDINANCES AND REFERENCED STANDARDS OF ASTM, AISC, CRSI AND AIA.
- B. ALL WORK SHALL CONFORM TO THE PLANS AND GENERAL NOTES, AND SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER. APPROVAL TO DEVIATE FROM THE PLANS MUST BE OBTAINED IN WRITING.

2. EARTHWORK:

- A. AREAS WHERE FOOTING, SLABS, PAVEMENT AND OTHER CONSTRUCTION ARE PLANNED SHALL BE STRIPPED AND CLEARED OF ALL TOPSOIL, BRUSH, ROOTS, AND DELETERIOUS MATERIALS TO A MINIMUM DEPTH OF 6 INCHES. STRIPPED SOIL CONTAINING ROOTS IS NOT CONSIDERED SUITABLE FOR REUSE AS STRUCTURAL FILL OTHER THAN FOR LANDSCAPE FILL AND SHALL BE STOCKPILED IN A LOCATION DIRECTED BY THE OWNER FOR USE IN LANDSCAPING AREAS OR REMOVED FROM THE SITE FOR DISPOSAL/RECYCLING. STRIPPING ACTIVITIES SHOULD BE INSPECTED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY ADEQUATE REMOVAL OF ROOTS AND OTHER ORGANIC MATTER.
- B. UPON COMPLETION OF THE EXCAVATION, THE UPPER 8 INCHES OF EXPOSED NATIVE SOILS, UPON WHICH STRUCTURAL FILL, AGGREGATE BASE, SLABS OR FOOTINGS WILL BE PLACED, SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO AT LEAST 90 PERCENT OF MAXIMUM DRY DENSITY, AND WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.
- C. STRUCTURAL FILL WHERE USED, SHALL BE FREE OF VEGETATION, DEBRIS AND OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL SHALL CONFORM TO THE FOLLOWING GRADATION SPECIFICATION:

SIEVE SIZE	% BY WEIGHT PASSING
4 INCH	100
3/4 INCH	70-100
NO. 40	15-70
NO. 200	5-25
- D. STRUCTURAL FILL SHALL HAVE A LIQUID LIMIT OF NO MORE THAN 40 AND A PLASTICITY INDEX OF NO MORE THAN 12 WHEN TESTED BY ASTM D4318.
- E. STRUCTURAL FILL PLACED UNDERNEATH FOOTINGS AND STRUCTURAL SLABS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 AND MOISTURE CONTENT DURING COMPACTION SHOULD BE MAINTAINED WITHIN TWO PERCENT ABOVE OPTIMUM MOISTURE CONTENT. MAXIMUM LOOSE LIFT THICKNESS OF STRUCTURAL FILL SHOULD NOT EXCEED 8 INCHES.

3. REINFORCED CONCRETE (CBC CH. 19)

- A. ALL CONCRETE WORK AND MATERIALS SHALL CONFORM TO ACI 318 AND ACI 301. FOR SLABS ON GRADE. ACI 302 BAR SUPPORTS, RETAINING, PLACING, ETC., SHALL COMPLY WITH THE PROVISIONS AND RECOMMENDATIONS CONTAINED IN THE "MANUAL OF STANDARD PRACTICE" BY THE CONCRETE REINFORCING STEEL INSTITUTE.
- B. CONCRETE PROPERTIES AND COMPOSITION SHALL BE AS FOLLOWS:

PROPERTY	CLASS A	CLASS B	CLASS C
28 DAY F _c (1)	3,000 PSI	4,000 PSI	4,000 PSI
SLUMP, MAX.	3 IN	4 IN	4 IN
W/C RATIO, MAX.	0.58	0.5	0.45
ENTRAINED AIR, ±1%	0%	3%	6% (2)
UNIT WEIGHT (3)	145 PCF	145 PCF	145 PCF
FIBER REINFORCED (4)	0	1.5 PCY	0
SHRINKAGE (5)	NR	0.05	NR
PLASTICIZER	NR	YES	NR
CEMENT (6)	TYPE II	TYPE II	TYPE II
MIN CEMENT	NR	520 PCY (7)	520 PCY (7)
FLY ASH, CLASS F	NR	15 TO 30%	NR
SPECIAL INSPECTION (1)	YES	YES	YES

- (1) SPECIAL INSPECTION PER CBC 1704 IS REQUIRED WHERE INDICATED
- (2) 6% FOR 3/4" MAXIMUM AGGREGATE, 7% FOR 1-1/2" MAXIMUM AGGREGATE
- (3) AGGREGATE PER CBC 1903.3. LIMIT AGGREGATE EXPANSION TO 0.08%, PER ASTM C1260
- (4) FORTA-FIBER OR EQUAL
- (5) SHRINKAGE AT 28 DAYS FOR DRY CURING PER ASTM C-157 (NR = NOT REQUIRED)
- (6) CBC STANDARD 19-1
- (7) FOR 1" AGGREGATE; SEE ACI 302 TABLE 5.2.4 FOR OTHER MAX. AGGREGATE SIZE

WEATHER, UNO

- CLASS A: FOUNDATIONS, INCLUDING WALLS, PEDESTALS, ETC., WHERE NOT EXPOSED TO WEATHER.
- CLASS B: INTERIOR SLABS-ON-GRADE. SEE PLANS FOR ADDITIONAL REQUIREMENTS.
- CLASS C: CONCRETE EXPOSED TO WEATHER, EXTERIOR SLABS-ON-GRADE, FOUNDATIONS, WALLS ABOVE GRADE, EXTERIOR WALLS, ETC.

- C. THE SLUMPS INDICATED ABOVE ARE FOR UN-PLASTICIZED CONCRETE. LARGER SLUMPS MAY BE ALLOWED THROUGH THE APPLICATION OF A SUPER-PLASTICIZER. ADMIXTURES FOR CONCRETE SHALL COMPLY WITH ACI 318.
- D. EVALUATION AND ACCEPTANCE OF CONCRETE SHALL BE IN CONFORMANCE WITH CBC 1905.6. IN ADDITION TO THE 4% CYLINDERS REQUIRED, MAKE TWO ADDITIONAL CYLINDERS (TOTAL OF FOUR FOR EACH TEST).
- E. ONE CYLINDER SHALL BE TESTED AT 7 DAYS. IF THE 7 DAY BREAK IS LESS THAN 80% OF THE SPECIFIED 28 DAY STRENGTH, THE CONTRACTOR SHALL INVESTIGATE AND MAKE ANY CORRECTIONS OR CHANGES AS NECESSARY TO ENSURE FUTURE CONCRETE WILL REACH THE SPECIFIED STRENGTH.
- F. TWO CYLINDERS SHALL BE TESTED AT 28 DAYS. IF THE AVERAGE OF THE CYLINDER STRENGTHS IS LESS BELOW THE ACCEPTABLE LIMITS. TEST THE FOURTH CYLINDER AT 56 DAYS.
- G. THE ENGINEER OR LOCAL BUILDING OFFICIAL SHALL APPROVE SLEEVES, OPENINGS, OR THE ATTACHMENTS NOT SHOWN ON THE DRAWINGS PRIOR TO PLACING CONCRETE.
- H. COVER ON REINFORCEMENT IN CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:
 3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
 2" CONCRETE EXPOSED TO EARTH OR WEATHER, #6 BARS OR LARGER
 1-1/2" CONCRETE EXPOSED TO EARTH OR WEATHER, #5 BARS OR SMALLER, 3/4 CONCRETE NOT EXPOSED TO EARTH OR WEATHER, #11 BARS AND SMALLER
 1-1/2" COVER OVER TIES FOR BEAMS, COLUMNS AND PILASTERS
 1-1/2" CLEAR TO TOP OF REINFORCEMENT FOR INTERIOR SLABS-ON-GRADE
 I. PROVIDE STANDARD HOOKS PER CBC UNLESS DETAILED OTHERWISE. STIRRUPS AND TIES SHALL BE SEISMIC TIES AND HOOKS.
 J. PROVIDE LAP SPLICES, WELDED SPLICED, MECHANICAL CONNECTORS, AND DEVELOPMENT OF STANDARD

STRUCTURAL OBSERVATION REQUIREMENTS

CBC 1704.6.1	VERIFICATION AND INSPECTION	
	CONTINUOUS	PERIODIC
1. HELICAL PIER UNDERPINNING CONSTRUCTION	X	-

HOOKS AS SPECIFIED IN CBC. MAKE LAP SPLICED ONLY AT THE LOCATIONS SHOWN ON THE DRAWINGS, AS INDICATED IN THESE NOTES, OR AS APPROVED IN ADVANCE BY THE ENGINEER.

LAP SPLICED SHALL HAVE THE MINIMUM SPICE LENGTHS LISTED BELOW, UNLESS DETAILED OTHERWISE:

BAR SIZE	TOP BARS	OTHER BARS
#3	1'-9"	1'-4"
#4	2'-4"	1'-10"
#5	2'-11"	2'-3"
#6	3'-10"	2'-11"
#7	5'-3"	4'-0"
#8	6'-10"	5'-3"
#9	8'-8"	6'-8"
#10	11'-0"	8'-6"
#11	13'-6"	10'-5"

- K. TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW THE BARS. HORIZONTAL BARS ON WALLS NEED NOT BE CONSIDERED TOP BARS.
- L. THE EXISTING CONCRETE SURFACE AT THE INTERFACE OF CONSTRUCTION JOINTS SHALL BE ROUGHENED TO FULL AMPLITUDE OF APPROXIMATELY 1/4", EXCEPT WHERE A KEY IS SPECIFICALLY INDICATED OR WHERE THE USE OF A BOND BREAKER IS INDICATED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, THE INTERFACE SURFACE SHALL BE THOROUGHLY WETTED AND STANDING WATER REMOVED.
- M. CONSTRUCTION JOINTS NOT SHOWN SHALL BE LOCATED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. LOCATE TO LEAST IMPAIR THE STRENGTH OF THE STRUCTURE.
- N. WHERE NEW CONCRETE IS DEPOSITED AGAINST CONCRETE THAT IS GREATER THAN 28 DAYS OLD, THOROUGHLY CLEAN EXISTING SURFACE OF LANTANCE AND FOREIGN MATERIAL AND SATURATE WITH WATER. ALL STANDING WATER SHALL BE REMOVED PRIOR TO PLACEMENT OF NEW CONCRETE. ROUGHEN THE EXISTING SURFACE TO 1/4 IN. AMPLITUDE.
- O. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE BEFORE PLACING CONCRETE.

12. REINFORCEMENT (CBC CH. 19)

- REINFORCEMENT SHALL BE IN ACCORDANCE WITH CBC 1907 AND ASTM A615 OR A706. WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH CBC 1907 AND ASTM A185. CHAIRS-OR SPACERS FOR REINFORCING SHALL BE PLASTIC OR PLASTIC COATED WHEN RESTING ON SURFACES WHICH WILL BE EXPOSED. BEND REINFORCEMENT COLD UNLESS OTHERWISE ACCEPTED BY ENGINEER. SUBMIT SHOP DRAWINGS FOR REVIEW. SHOP DRAWINGS SHALL SHOW PLACEMENT, INCLUDING DETAILS AND PLAN LOCATIONS LAP SPLICES, ETC. PROMPTLY NOTIFY ENGINEER IF THERE ARE CONDITIONS WHERE INSUFFICIENT MINIMUM CLEAR DISTANCES OR IF CONSTRUCTION PROBLEMS RELATED TO CONGESTION IS ENCOUNTERED OR EXPECTED.

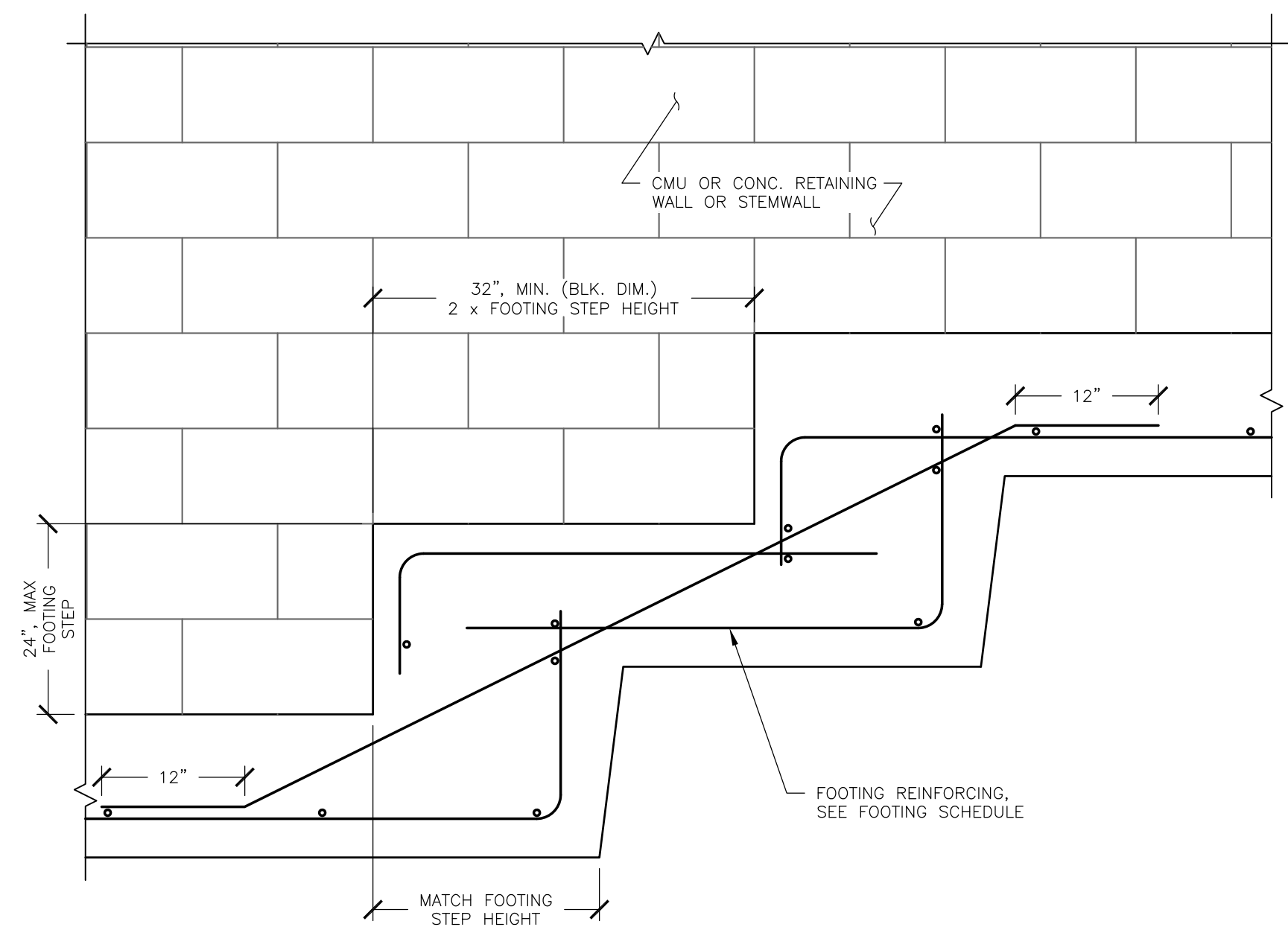
- REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 ALL REINFORCEMENT, UNO A615, GRADE 60
 #3 & #4 STIRRUPS AND TIES, UNO A615, GRADE 60
 A706, GRADE 60 (1)
 SHEAR WALL BOUNDARY MEMBERS A706, GRADE 60 (2)
 CHORD REINFORCEMENT FOR DIAPHRAGMS A706, GRADE 60 (2)
 SPECIAL MOMENT RESISTING FRAMES A706, GRADE 60 (2)
 FLEXURAL OR AXIAL REINFORCEMENT A706, GRADE 60 (2)
 (1) MAY USE A615, GRADE 60, PROVIDED CONDITIONS SPECIFIED ELSEWHERE IN THESE NOTES FOR WELDING REINFORCEMENT ARE COMPLIED WITH MAY USE A615, GRADE 60, PROVIDED CONDITIONS OF CBC 1907 ARE COMPLIED WITH

5. ROUGH CARPENTRY:

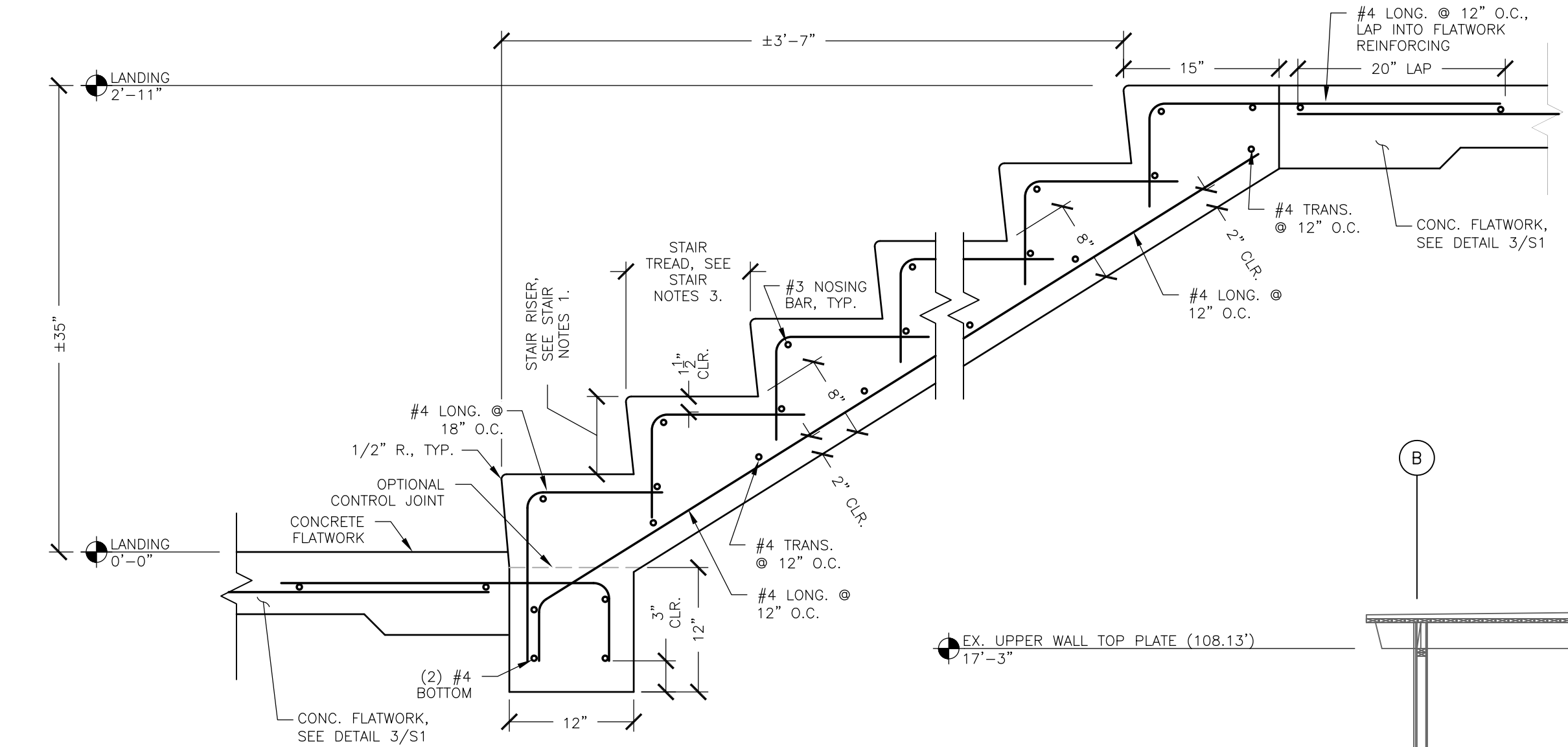
- A. ALL DIMENSIONAL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH UNLESS NOTED OTHERWISE. ALL LUMBER SHALL BE AIR SEASONED WITH A MOISTURE CONTENT NOT EXCEEDING 19% AT THE TIME OF INSTALLATION. ALL JOISTS, RAFTERS, AND PLATES SHALL BE NO. 2 OR BETTER, AND BEAMS AND POSTS NO. 1 OR BETTER. ALL OTHER MEMBERS CONSTRUCTION GRADE UNLESS NOTED OTHERWISE.
- B. STRUCTURAL STEEL HARDWARE SHALL BE FABRICATED TO DETAIL IN ACCORDANCE WITH AISC STANDARDS.
- C. NAILING SHALL BE IN ACCORDANCE WITH CRC TABLE R602.3(1), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- D. PROVIDE SIMPSON OR EQUAL CONNECTORS WHERE SHOWN ON DRAWINGS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS USING MANUFACTURER'S RECOMMENDED NAILS.
- E. BOLTS SHALL BE ASTM A307 WITH STANDARD CUT WASHERS WHERE HEAD OR NUT BEARS ON WOOD.
- F. CUT FRAMING MEMBERS SQUARE AND TO ACCURATE LENGTH TO OBTAIN FULL BEARING AT JOINTS. ERECT PLUMB AND LEVEL AND TO ACCURATE LINE. CARE SHALL BE TAKEN TO INSURE THAT ALL CONNECTIONS FOR REMOVABLE PANELS ARE MADE IN ACCORDANCE WITH DETAILS.
- G. ALL ROOF PLYWOOD SHALL BE 1/2" (40/20) 5 PLY MINIMUM, EXTERIOR, APA GRADE TRADE MARKED, OR EQUIVALENT ORIENTED STRAND BOARD (OSB).
- H. ALL INTERIOR WALLS TO BE 2x4 UNLESS NOTED OTHERWISE.

6. UNDERPINNING:

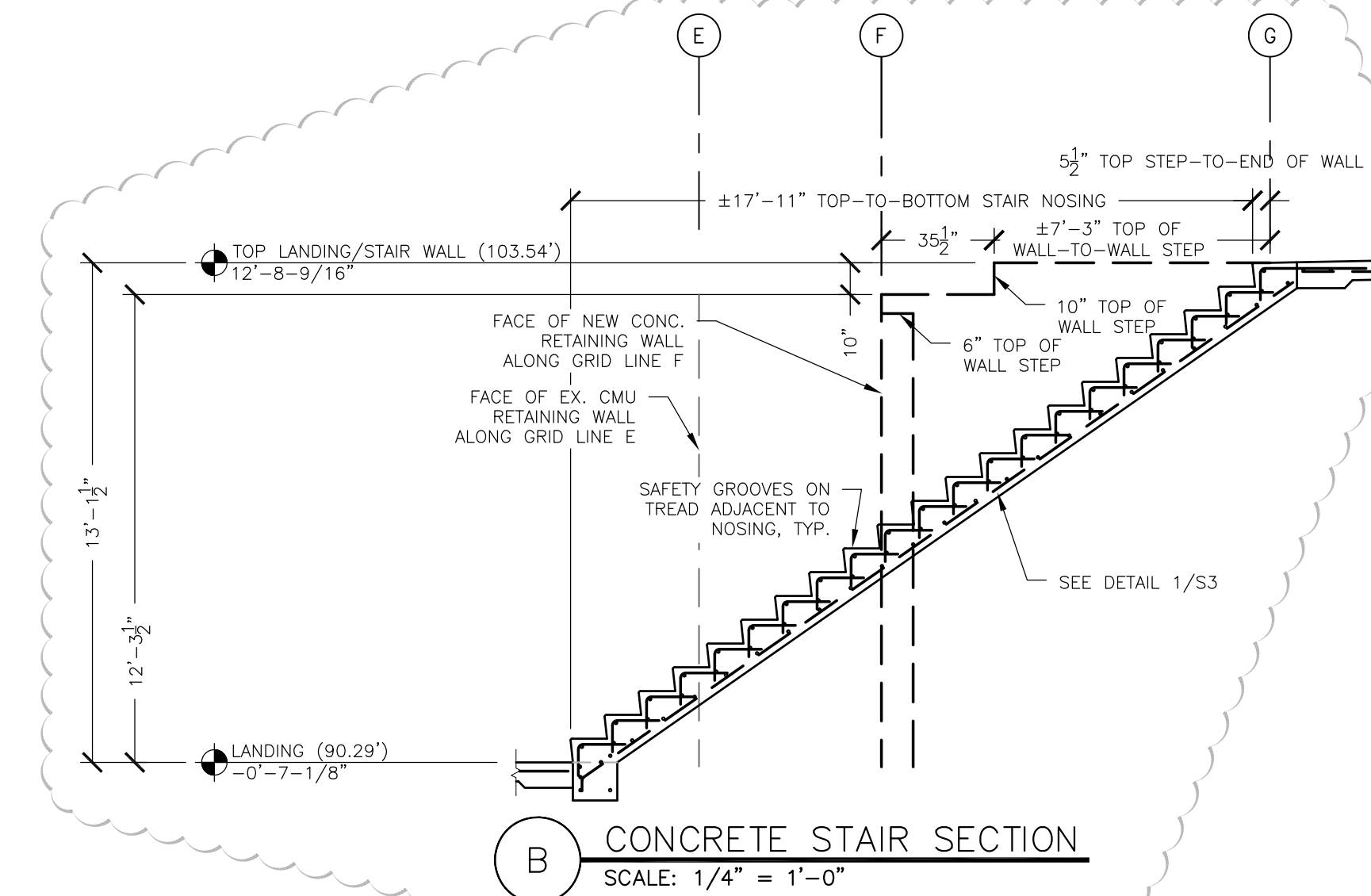
- A. USE CHANGE S55 HELICAL PILE OR APPROVED EQUAL INSTALL PER SHEET S1 FOUNDATION NOTES, SHEET S1 HELICAL ANCHOR NOTES, BUTANO GEOTECHNICAL ENGINEERING INC INVESTIGATION DATED FEBRUARY 3, 2021 & MANUFACTURER (CC-ES ESR-2794).



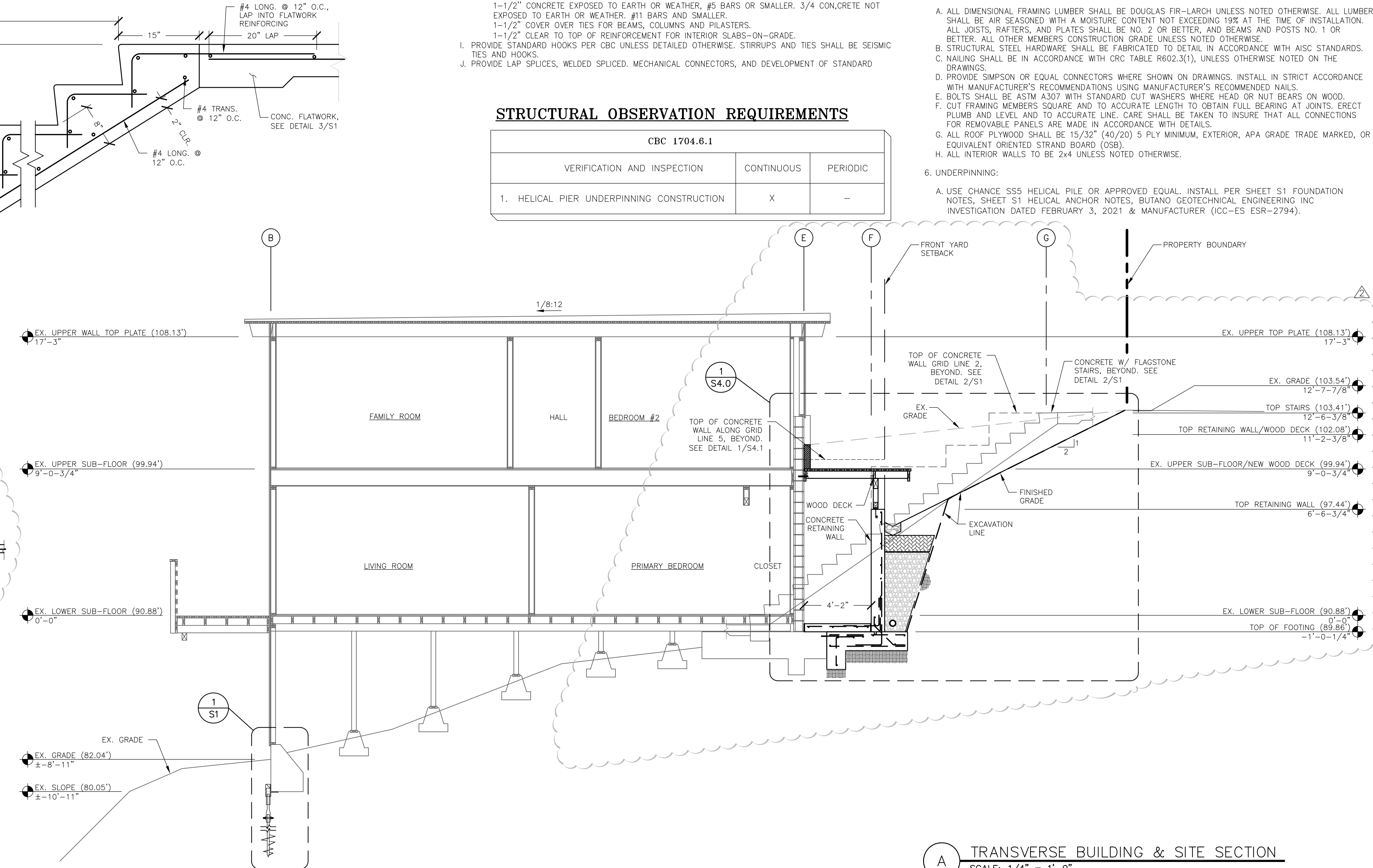
2 CONCRETE STEPPED FOOTING
SCALE: 1" = 1'-0"



1 CONCRETE STAIR
SCALE: 1" = 1'-0"



B CONCRETE STAIR SECTION
SCALE: 1/4" = 1'-0"



A TRANSVERSE BUILDING & SITE SECTION
SCALE: 1/4" = 1'-0"

Date: 5/15/24

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CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.

536 Abrego St. Monterey, CA 93940
Phone: 831.760.8944
e-mail: jack@cccseing.com
www.cccseing.com

HUBER

STRUCTURAL SECTION, DETAILS, & SPECIFICATIONS

TORRES 5 SE 9TH
CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029

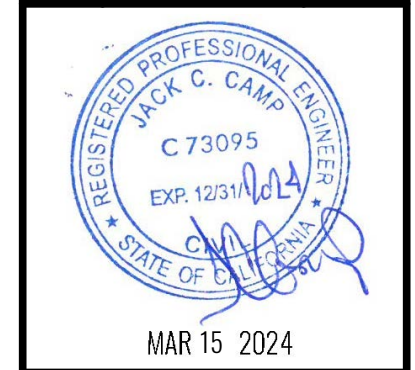
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
C 73095
EXP. 12/31/24
MAR 15 2024

JOB # 201105
DESIGN BY: JCC
DRAWN BY: JCC
CHECKED BY: JCC
DATE: 02/20/2022
SHEET: S3

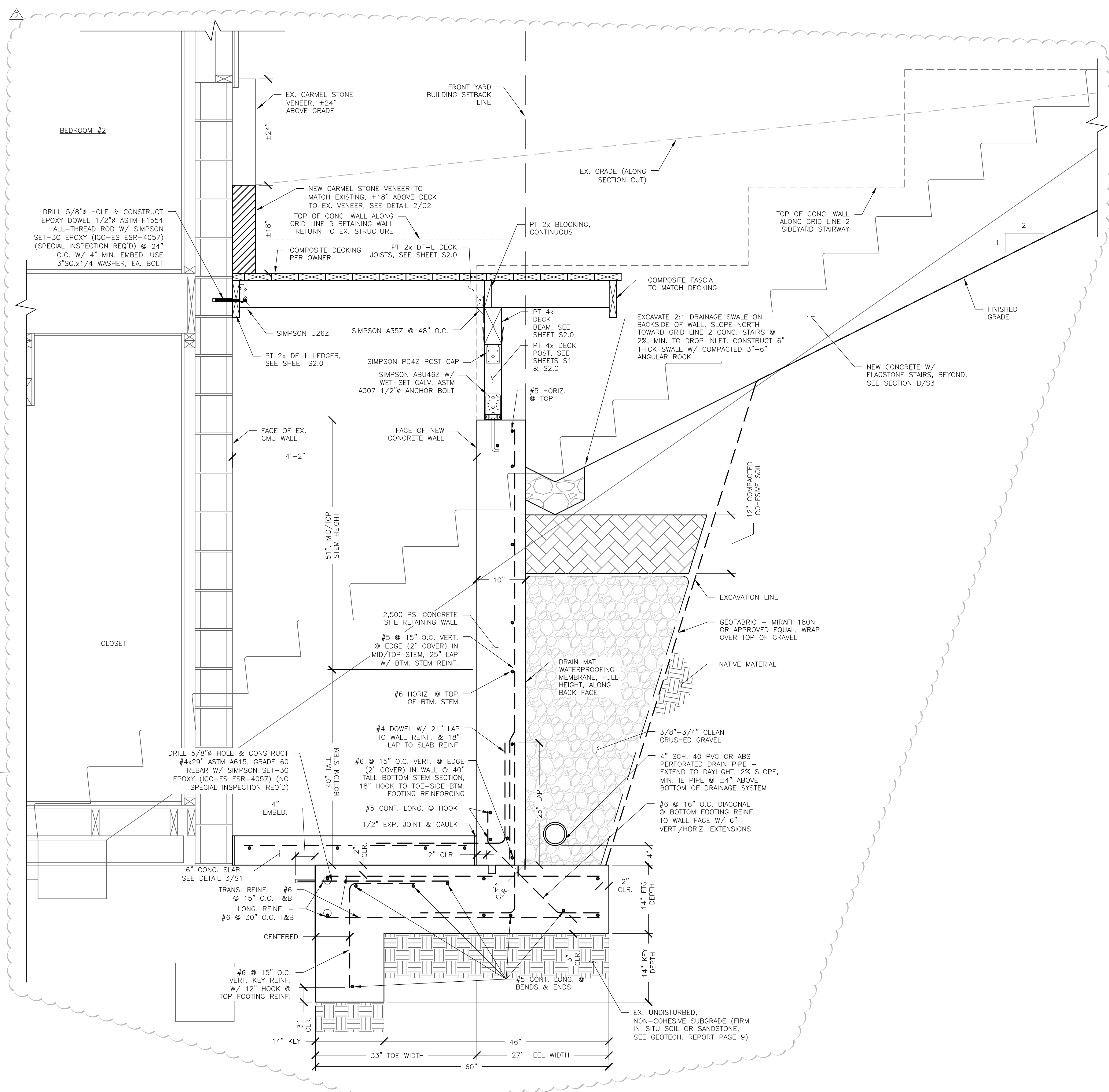
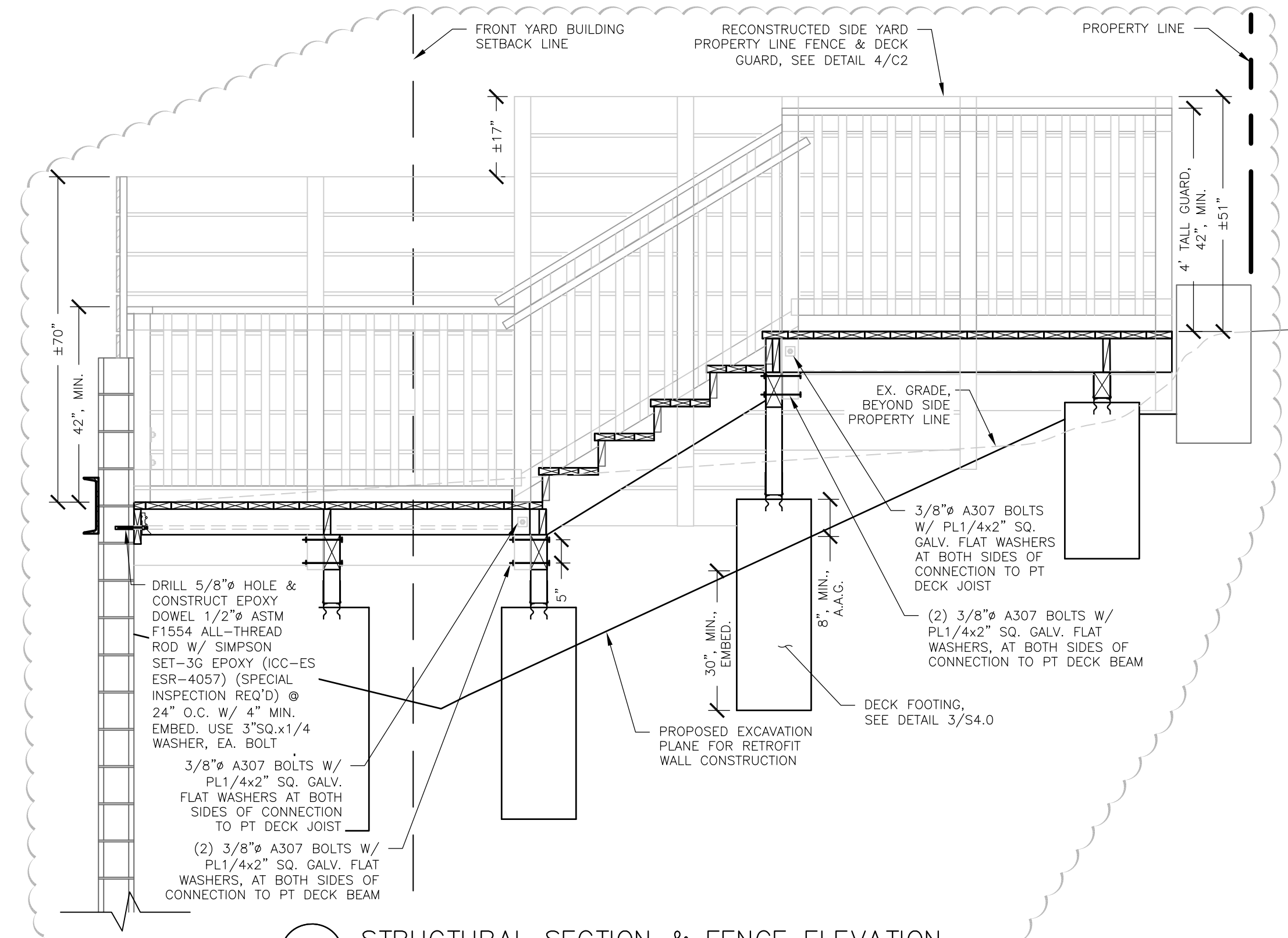
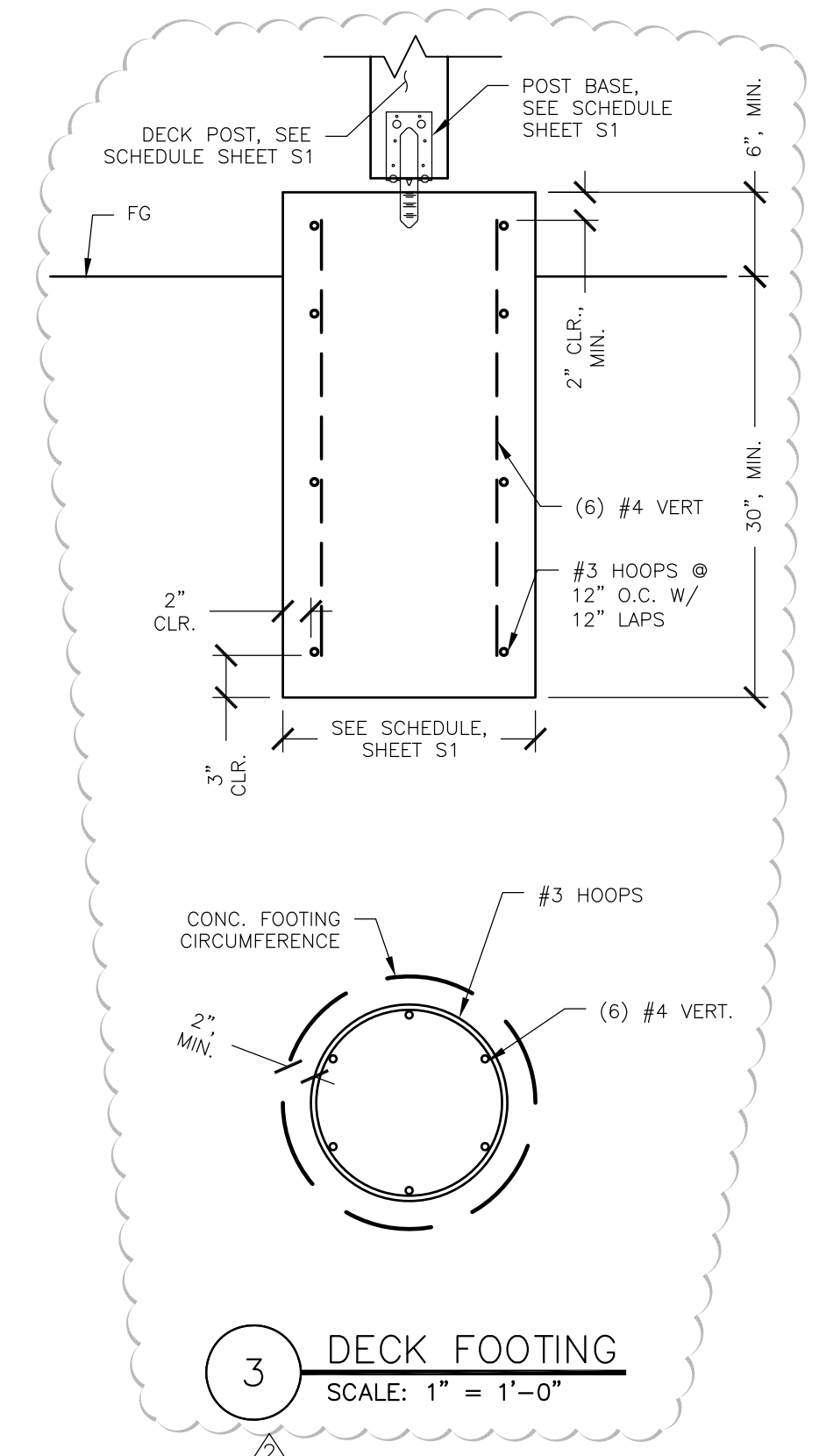
Rev. No.	Date
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CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.
 536 Abrego St. Monterey, CA 93940
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 www.ccseng.com

HUBER
STRUCTURAL
DETAILS
 TORRES 5 SE 9TH
 CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029



JOB #	201105
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	02/20/2022
SHEET:	S4.0



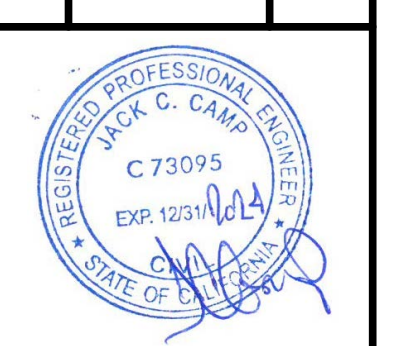
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Rev. No.	1	2	3	4	5	6
DESIGN REVISION						
Date	3/15/24					

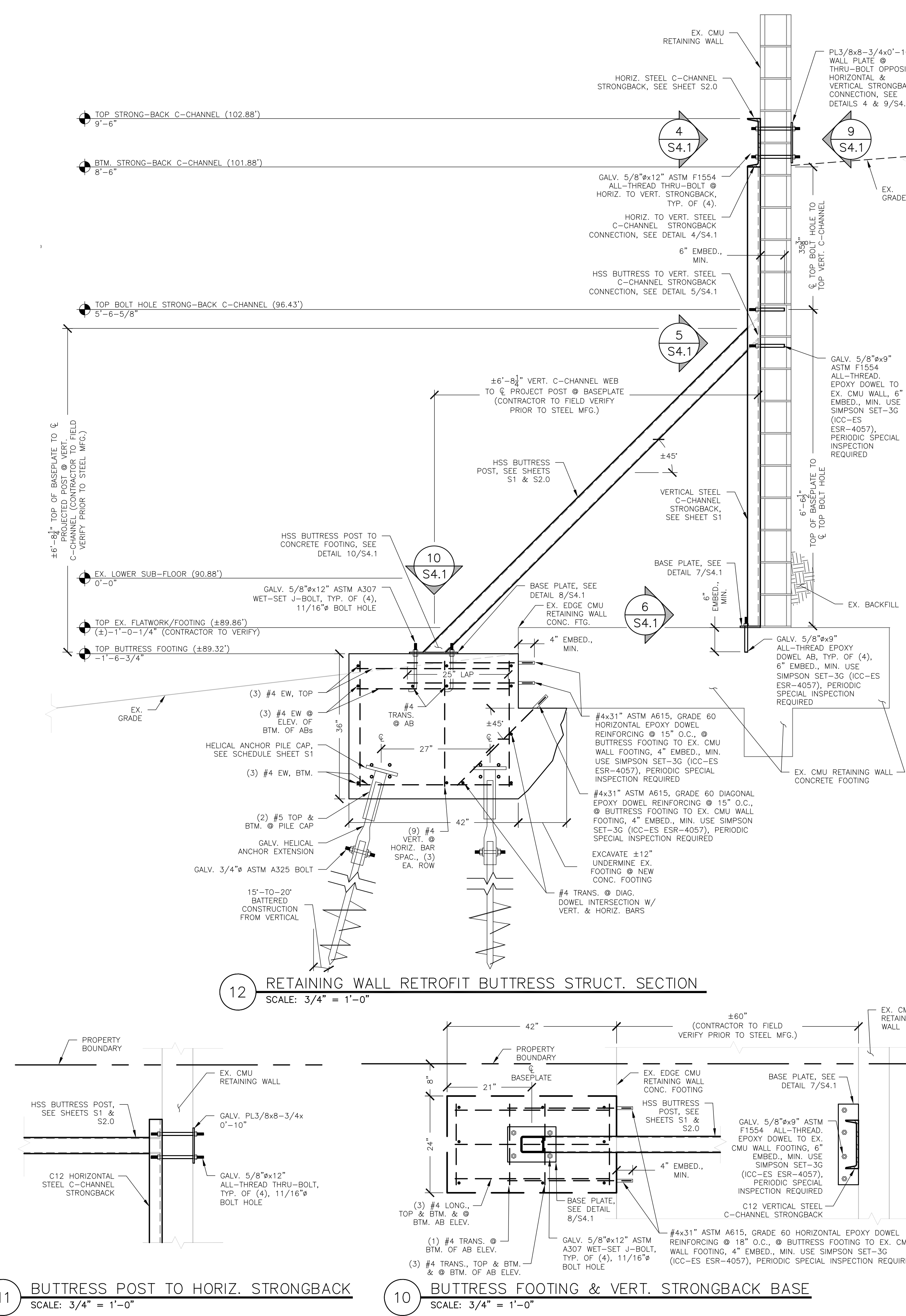
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STRUCTURAL DETAILS
 TORRES 5 SE 9TH
 CARMEL-BY-THE-SEA, CA 93921 APN 010-331-029

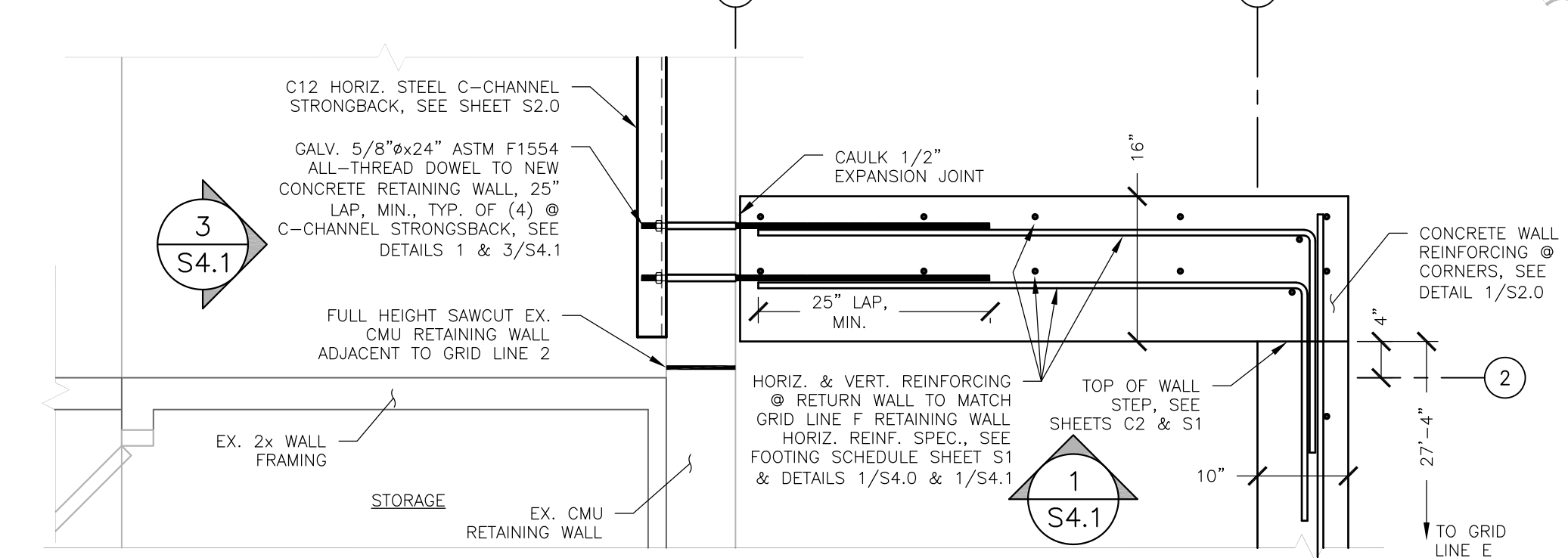
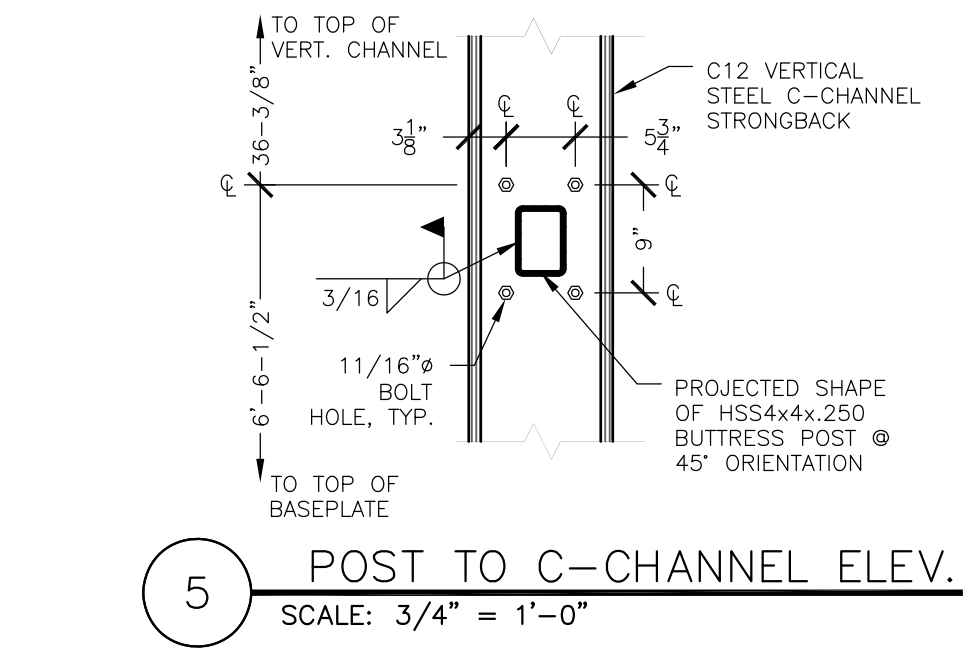


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DESIGN BY:	JCC
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CHECKED BY:	JCC
DATE:	02/20/2022
SHEET:	S4.1



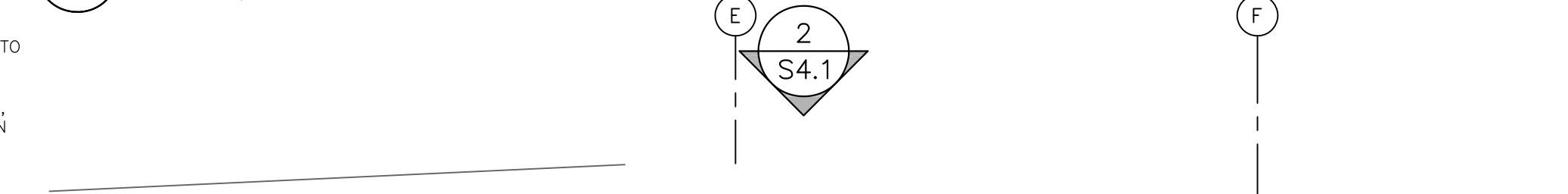
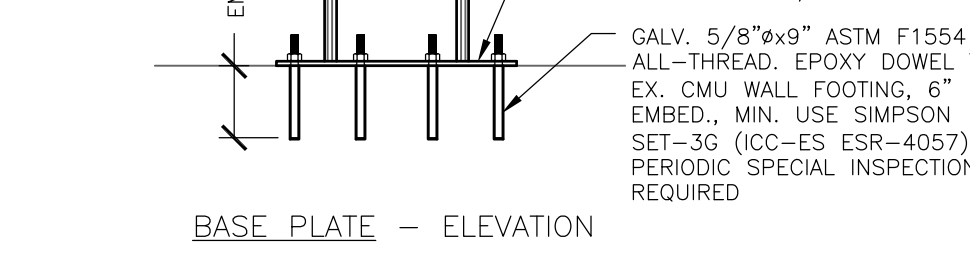
4 HORIZ. TO VERT. STRONGBACK ELEV.
 SCALE: 3/4" = 1'-0"

3 STRONGBACK TO RETAINING WALL ELEV.
 SCALE: 3/4" = 1'-0"



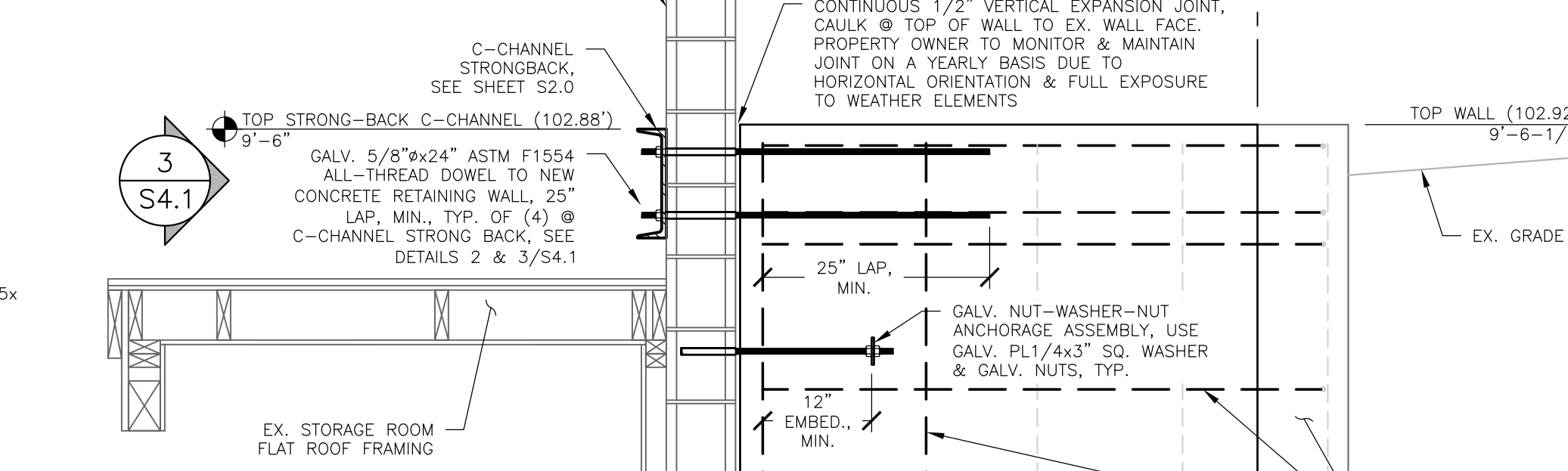
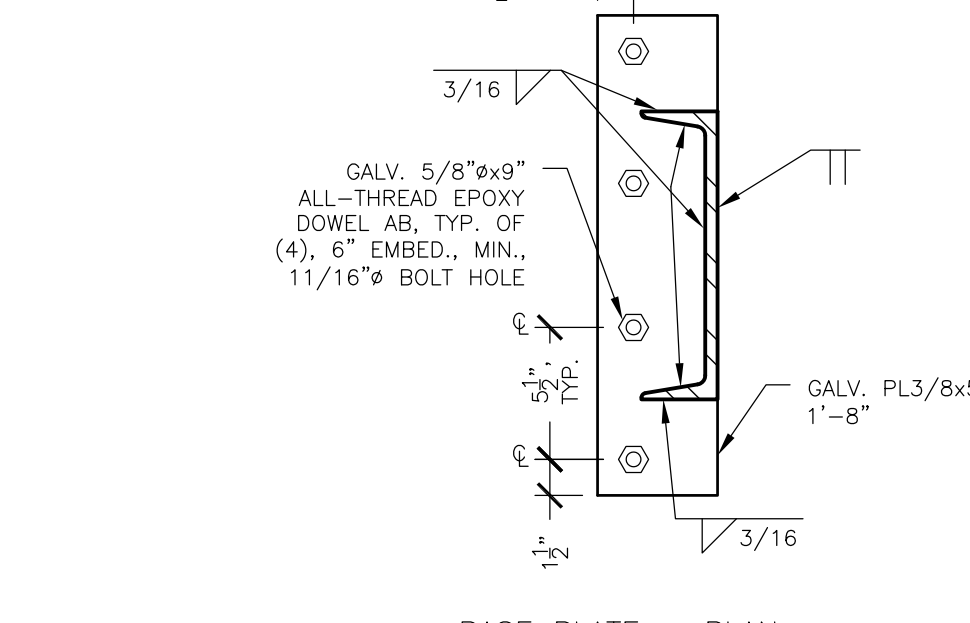
5 POST TO C-CHANNEL ELEV.
 SCALE: 3/4" = 1'-0"

2 RETAINING WALL RETURN TO EX. CMU WALL STRONGBACK PLAN DETAIL
 SCALE: 3/4" = 1'-0"



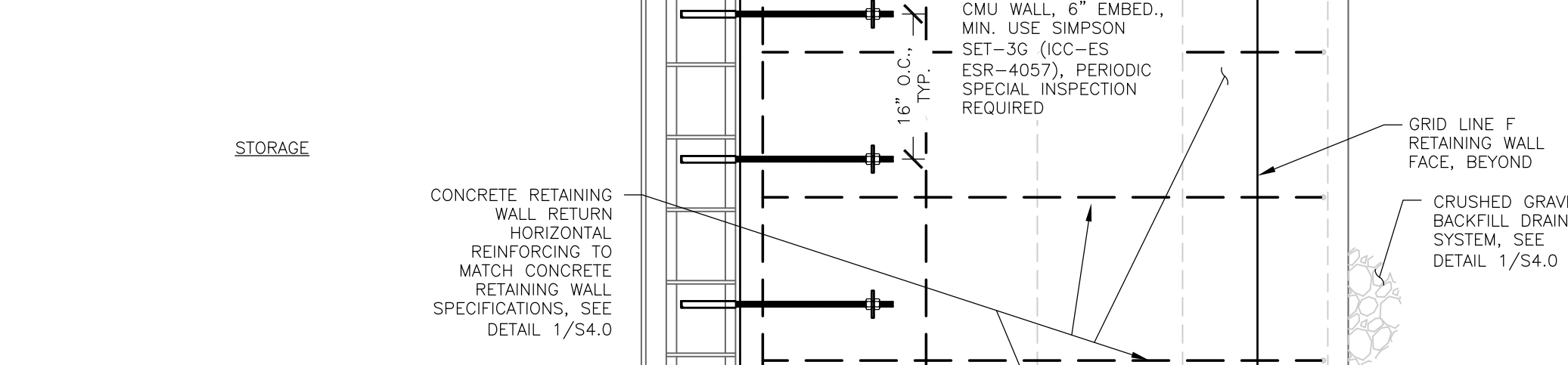
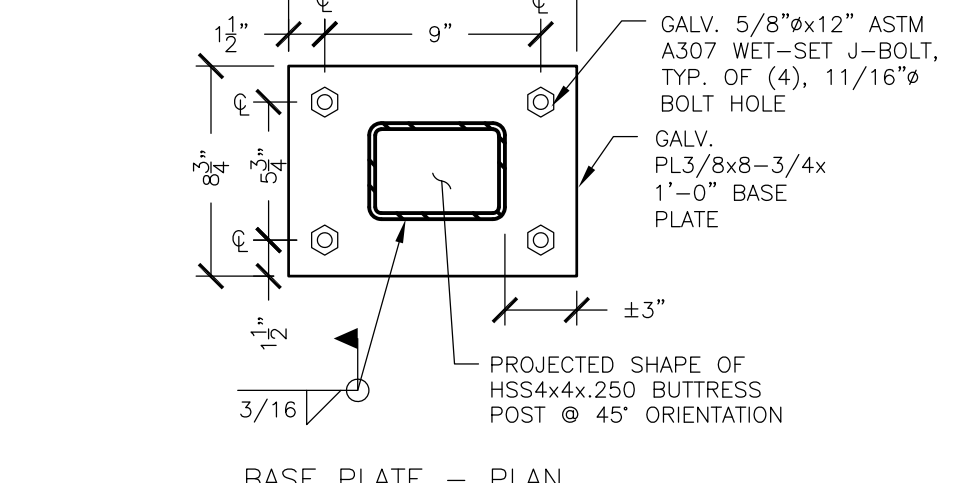
6 VERT. CHANNEL STRONGBACK BASE
 SCALE: 3/4" = 1'-0"

7 VERT. CHANNEL STRONGBACK BASE
 SCALE: 1-1/2" = 1'-0"



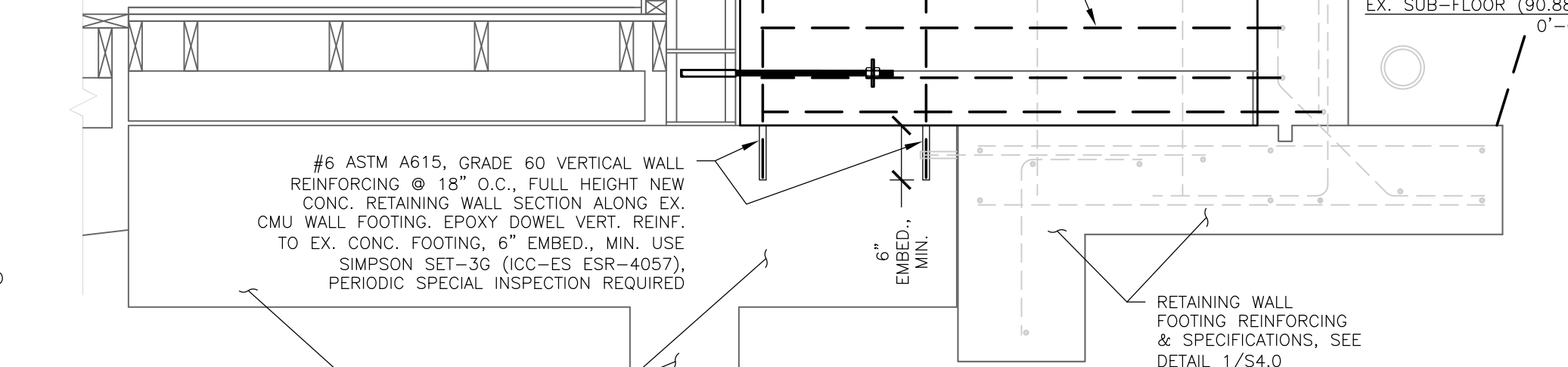
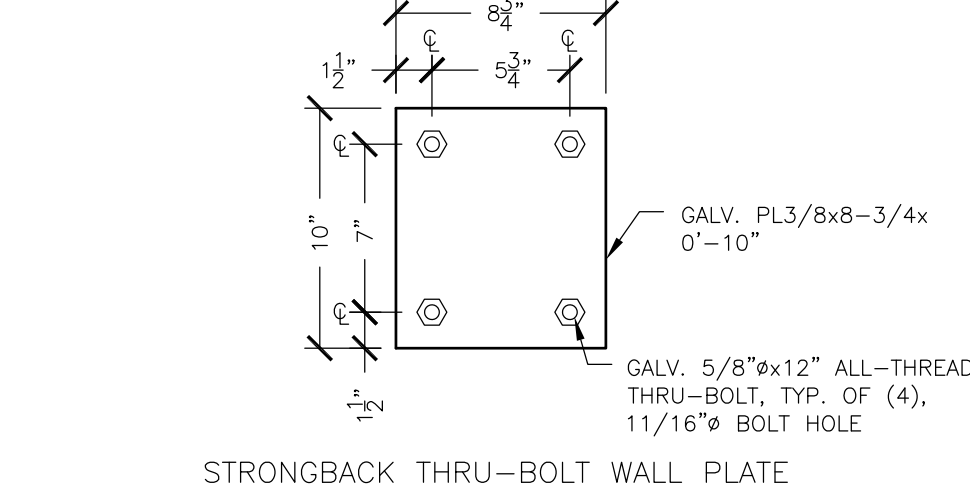
8 BUTTRESS POST TO FOOTING BASE
 SCALE: 1-1/2" = 1'-0"

1 STRONGBACK THRU-BOLT WALL PLATE



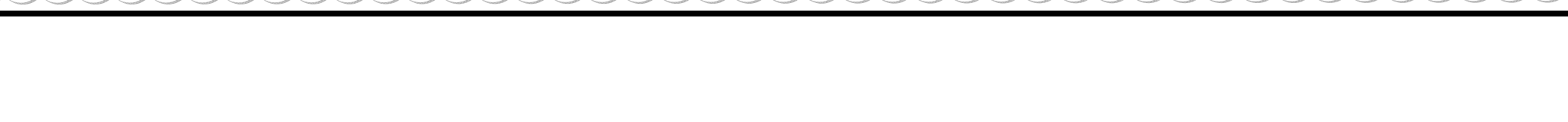
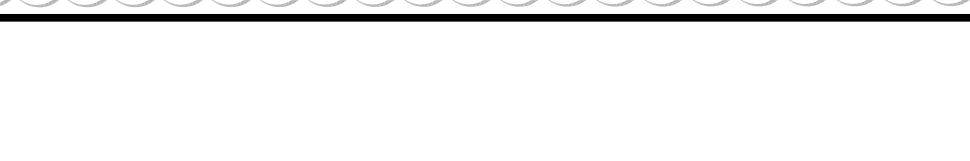
9 HORIZ. TO VERT. THRU-BOLT WALL PLATE
 SCALE: 1-1/2" = 1'-0"

1 RETAINING WALL RETURN STRUCT. ELEV. - GRID LINE 2
 SCALE: 3/4" = 1'-0"



10 BUTTRESS FOOTING & VERT. STRONGBACK BASE
 SCALE: 3/4" = 1'-0"

11 BUTTRESS POST TO HORIZ. STRONGBACK
 SCALE: 3/4" = 1'-0"





2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y	RESPON. PARTY	= YES
N/A	RESPON. PARTY	= NOT APPLICABLE
		= RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3 GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:

- [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
- [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS
4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales
- Water collection and disposal systems
- French drains
- Water retention gardens
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

Exceptions:

- On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
 - 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
 - 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
- Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

- When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.
- When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

- Construction documents shall show locations of future EV spaces.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:

- The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.
- The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

- The minimum length of each EV space shall be 18 feet (5486 mm).
- The minimum width of each EV space shall be 9 feet (2743 mm).
- One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
- A surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements. A listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

EXCEPTION: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be qualified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (c)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019	
PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial pretinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounce-force (ozf)(113 grams-force[gf])

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI, MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

- The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: <https://www.water.ca.gov/>

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

- Excavated soil and land-clearing debris.
- Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
- The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

- Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
- Identify diversion facilities where the construction and demolition waste material collected will be taken.
- Identify construction methods employed to reduce the amount of construction and demolition waste generated.
- Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.

NOTES:

- Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/calgreen.html may be used to assist in documenting compliance with this section.
- Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CALRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
 - b. Roof and yard drainage, including gutters and downspouts.
 - c. Space conditioning systems, including condensers and air filters.
 - d. Landscape irrigation systems.
 - e. Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspections verifications required by the enforcing agency or this code.
- Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
- Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide access to recycling bins that serve all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

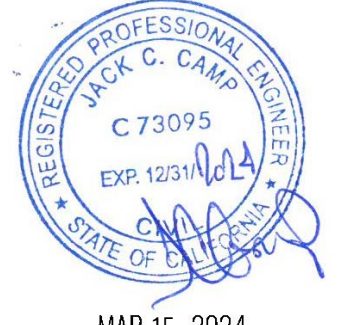
SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardwood, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.



MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the Base Reactant Organic Gas (ROG) Mixture per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification.
- Field verification of on-site product containers.

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

- IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
- FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ₁	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

- GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
- THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ₂	0.13

- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLBI/AQ/Pages/VOC.aspx>.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLBI/AQ/Pages/VOC.aspx>.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLBI/AQ/Pages/VOC.aspx>.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2209, European EN 13986 standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

- A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- Other equivalent methods approved by the enforcing agency.
- A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

- For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
- Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

Notes:

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

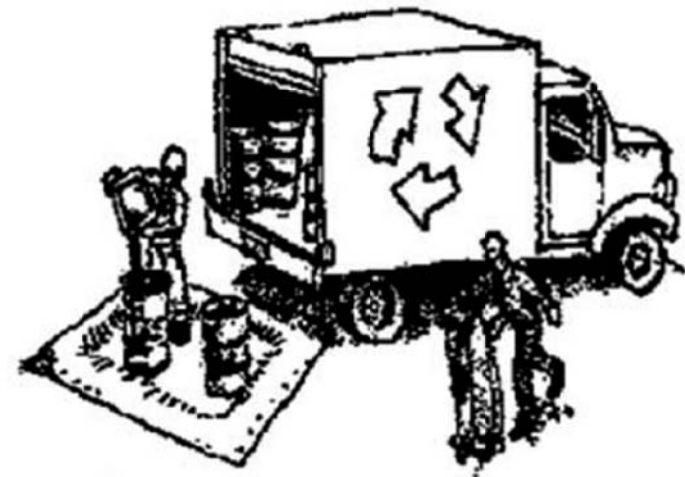
703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ❑ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- ❑ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

Maintenance and Parking

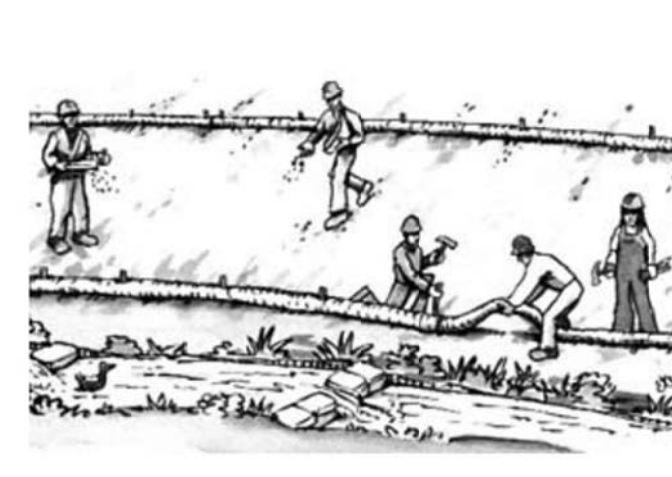
- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.



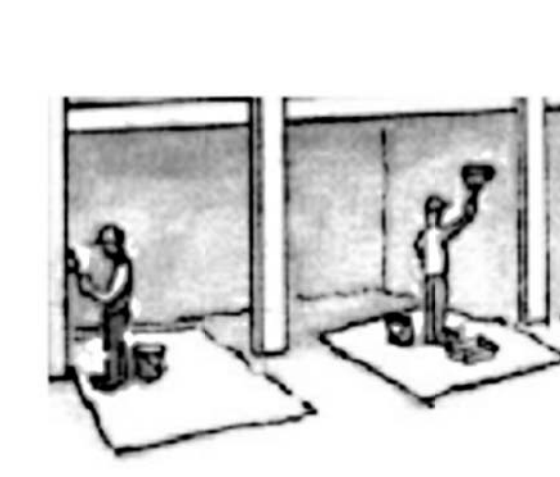
CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



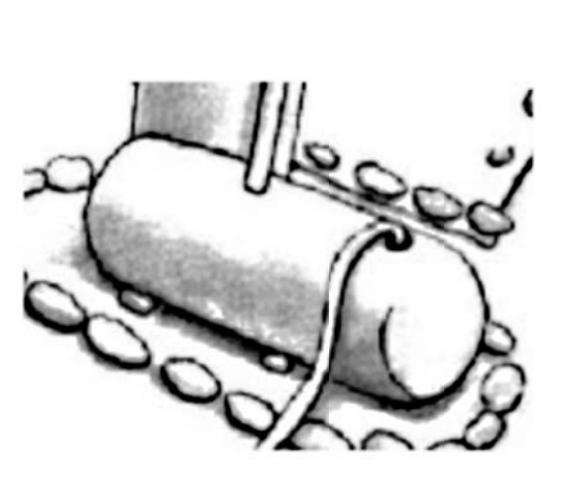
PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

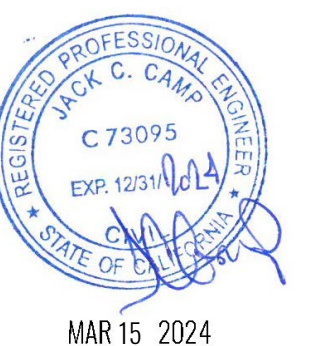
Paint Removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



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* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!