

GENERAL NOTES

GOVERNING CODES ASSOCIATED WITH THIS PROJECT: CARMEL-BY-THE-SEA MUNICIPAL CODE, 2022 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA ENERGY CODE (CEC) & CALIFORNIA GREEN BUILDING CODE (CALGREEN), AND ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

THESE DRAWINGS ARE PREPARED FOR USE BY A PROPERLY LICENSED, BONDED & CERTIFIED CONTRACTOR.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODE AND ORDINANCE REQUIREMENTS SET FORTH BY THE PREVAILING GOVERNING BODY.

ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO ORDERING MATERIALS.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.

CONTRACTOR TO OBTAIN 811 TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGH OUT THE PROJECT. TICKET SHALL BE AVAILABLE FOR INSPECTOR ON SITE.

SETBACK & HEIGHT CERTIFICATIONS
A STATE LICENSED SURVEYOR SHALL SURVEY AND CERTIFY THE FOLLOWING IN WRITING:

- THE FOOTING LOCATIONS FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO FOOTING/FOUNDATION INSPECTION
- THE ROOF HEIGHT FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION
- WRITTEN CERTIFICATIONS PREPARED, SEALED & SIGNED BY THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING INSPECTIONS AT THE TIME OF SPECIFIED INSPECTIONS.

ARCHAEOLOGY SURVEY:
PHASE I ARCHAEOLOGICAL INVESTIGATION TOOK PLACE JULY 13, 2022. AN ARCHAEOLOGICAL RECONNAISSANCE SURVEY WAS UNDERTAKEN AT THE PROPERTY AND THERE WAS NO EVIDENCE OF ANY PREHISTORIC OR HISTORIC ARCHAEOLOGICAL RESOURCES PRESENT. THERE WERE NO CONSTRAINTS WHEN CONDUCTING THIS INVESTIGATION.

- THE FOLLOWING RECOMMENDATIONS SHALL BE OBSERVED DURING CONSTRUCTION:
- CONDUCTING ARCHAEOLOGICAL AND CULTURAL SENSITIVITY TRAINING
 - PROVIDING NATIVE AMERICAN AND ARCHAEOLOGIST MONITORS DURING GROUND DISTURBING ACTIVITIES
 - TEMPORARILY HALT OR DIVERT EXCAVATIONS SHOULD ARCHAEOLOGICAL RESOURCES BE FOUND DURING GROUND DISTURBING ACTIVITIES; AND CONTACTING THE MONTEREY COUNTY CORONER SHOULD HUMAN REMAINS BE ACCIDENTALLY DISCOVERED.

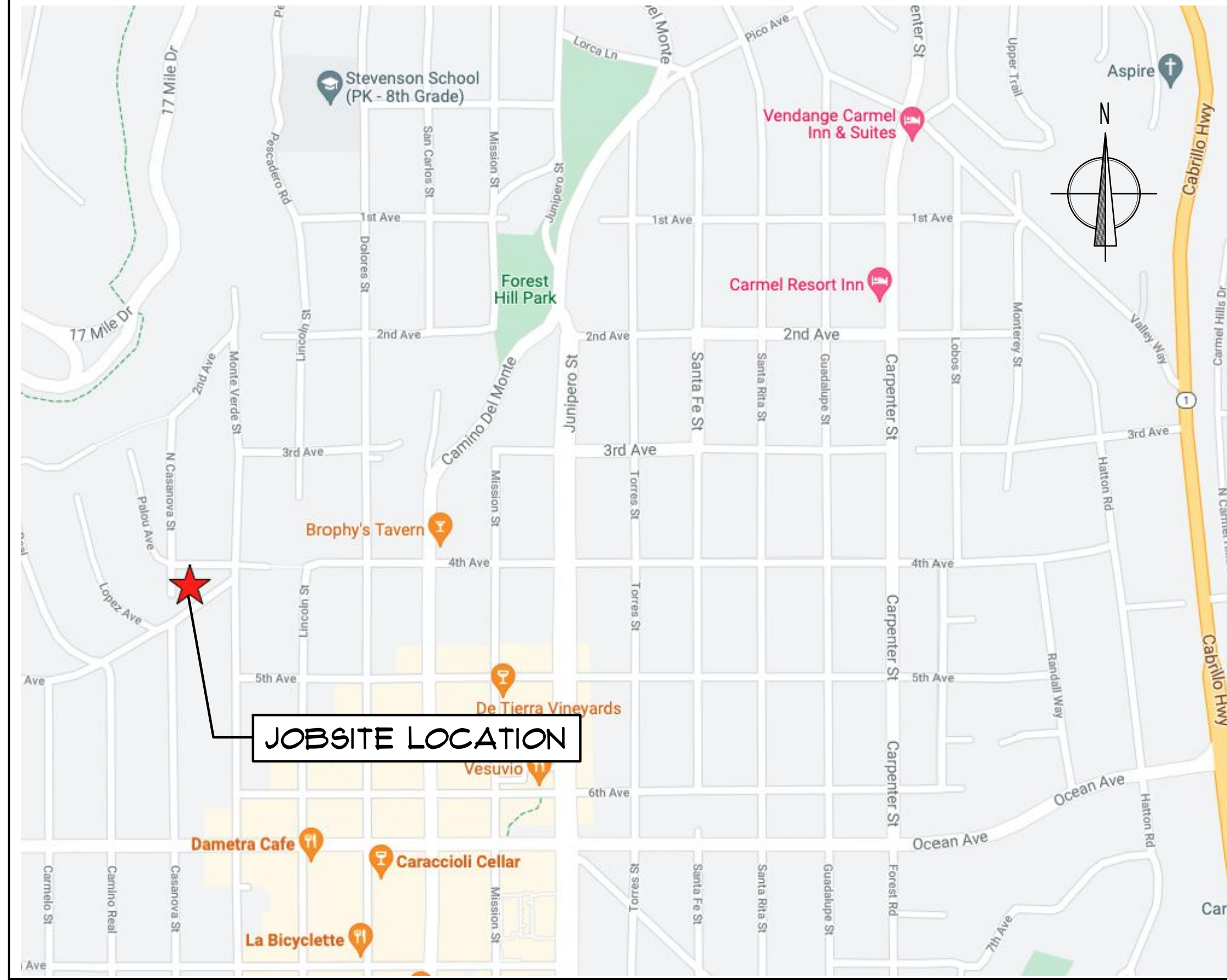
SYMBOL KEY



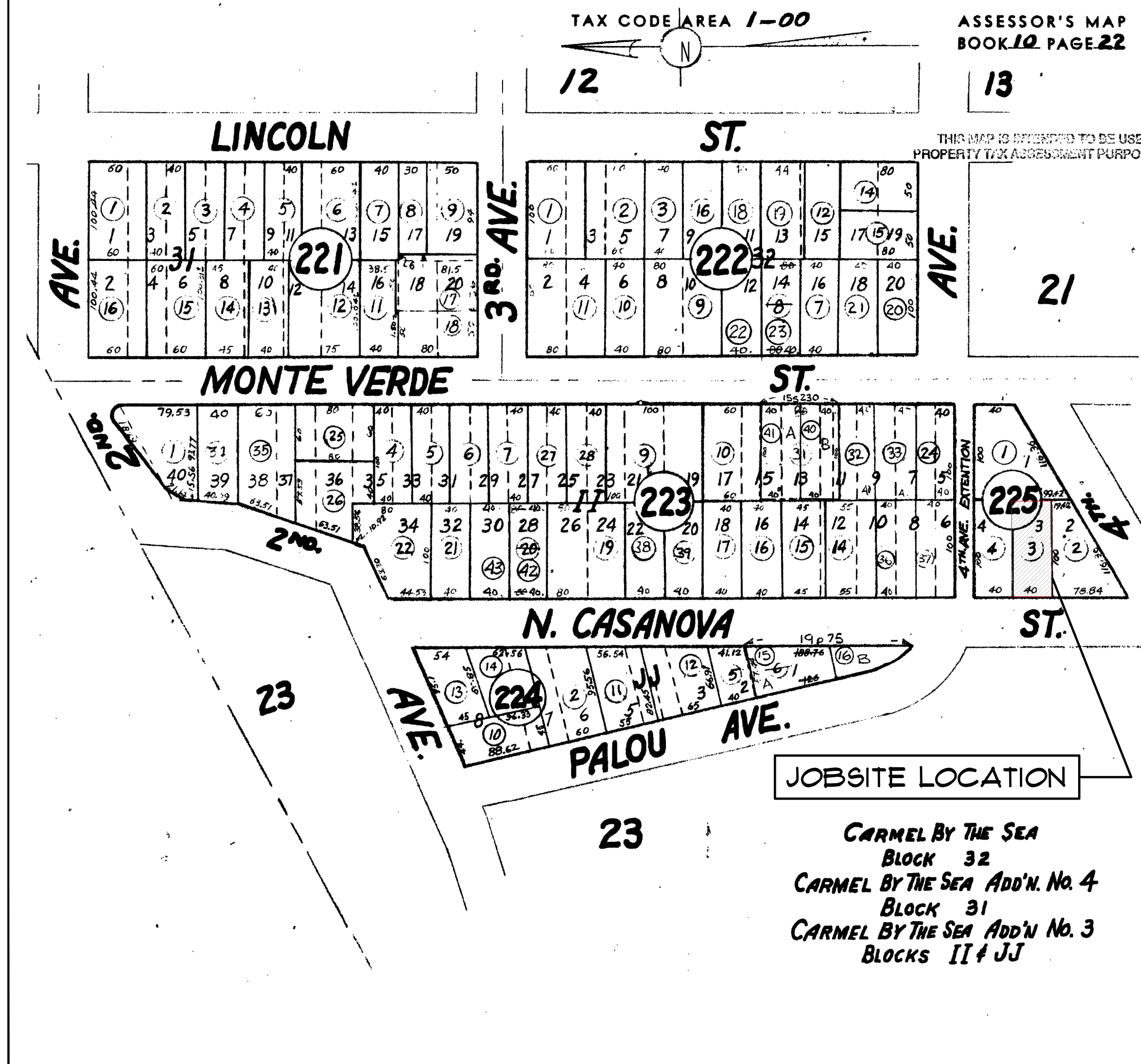
ABBREVIATIONS

| | | | | | | | |
|------------------------|-----------------------|------------|----------------------------------------|--------------|----------------------|--------|------------------------|
| A.B. | ANCHOR BOLT | F.O.C. | FACE OF CONCRETE | O.F.S. | OUTSIDE FACE OF STUD | U.N.O. | UNLESS NOTED OTHERWISE |
| A.C. | ASPHALTIC CONCRETE | F.O.S. | FACE OF STUD | O.P.A. | OPPOSITE | VERT. | VERTICAL |
| A/C | AIR CONDITIONING | FR. DR. | FRENCH DOOR | FT. | FOOT OR FEET | | |
| ALUM. | ALUMINUM | FIG. | FOOTING | P. | PLATE | | |
| APPROX. | APPROXIMATE | | | P/L | PROPERTY | W/ | WITH |
| ARCH. | ARCHITECTURE | | | PLAS. | PLASTER | W/ | WITH |
| ANOD. | ANODIZED | GA. | GAUGE | PNS. | PANEL | WC | WOOD CLOSET |
| ASPH. | ASPHALT | GAIV. | GAUVANIZED | P.S.S. | POLE & SHELF | WD | WOOD |
| BD. | BOARD | G.I. | GROUND FAULT INTERRUPTER | P.F. | POINT | W/D | WITH CUT |
| BLDG. | BUILDING | GL. | GLASS | PR. | PAIR | WP | WATERPROOF |
| BKGL. | BLOCKING | GND. | GROUND | R.A. | RETURN AIR | W/P | WELEDED WIRE FABRIC |
| BM. | BEAM | GYP. BD. | GYPSUM BOARD | R.D. | RADIUS | | |
| BOTT. | BOTTOM | H.C. | HOLLOW CORE | R.D. | ROUND | | |
| CAB. | CABINET | H.D. | HOLD DOWN | REC. | RECESSED | | |
| CEM. | CEMENT | HDWD. | HARDWOOD | REF. | REFRIGERATOR | | |
| C.T. | CERAMIC TILE | HORIZ. | HORIZONTAL | RENF. | REINFORCED/ING | | |
| C.I. | CAST IRON | HR. | HOUR | RES. | RESILIENT | | |
| C.B. | CLEAR | H.B. | HOSE BIBB | R.M. | ROOM | | |
| CLST. | CLOSET | HT. | HEIGHT | R.O. | ROUGH OPENING | | |
| COMP. | COMPOSITION | HC. | HANDICAP | REQ. | REQUIRED | | |
| CONC. | CONCRETE | HVAC | HEATING VENTILATION & AIR CONDITIONING | R/W. | RIGHT OF WAY | | |
| CLG. | CEILING | HW | HOT WATER | R.W.D. | RAINWATER LEADER | | |
| C.M.U. | CONCRETE MASONRY UNIT | | | R.W.L. | RAINWATER LEADER | | |
| C.O. | CLEAN OUT | I.D. | INSIDE DIAMETER | SCHED. | SCHEDULE | | |
| COL. | COLUMN | INS. | INSULATION | S.C. | SOLID CORE | | |
| CONN. | CONNECTION | INT. | INTERIOR | SECT. | SECTION | | |
| CONSTR. | CONSTRUCTION | J.B. | JUNCTION BOX | S.F. | SQUARE FOOT/FEET | | |
| CSMT. | CASEMENT | JST. | JOIST | SHT. | SHEET | | |
| C.W. | COLD WATER | KIT. | KITCHEN | SHR. | SHOWER | | |
| DBL. | DOUBLE | K.P. | KICKER POST | SIM. | SIMILAR | | |
| DET. | DETAIL | KF | KICKER POST | SID. | SLIDER | | |
| DF. | DOUGLAS FIR | KL | KING STUD | SID. GL. DR. | SLIDING GLASS DOOR | | |
| DIA. OR Ø | DIAMETER | KS | KICKER POST | SPECS. | SPECIFICATIONS | | |
| DM. | DIMENSION | LAV. | LAVATORIES | SO. | SQUARE | | |
| D.S. | DOWNSPOUT | LIN. | LINEN | SQ. FT. | SQUARE FEET | | |
| DRY. | DRYER | LT. | LIGHT | STD. | STANDARD | | |
| DW. | DISHWASHER | MAT. | MATERIAL | STL. | STEEL | | |
| DWG. | DRAWING | MAX. | MAXIMUM | STOR. | STORAGE | | |
| EA. | EACH | M.B. | MACHINE BOLT | STRUCT. | STRUCTURAL | | |
| ELEC. | ELECTRICAL | M.F.C.H. | MECHANICAL | STAIN. | STAINLESS STEEL | | |
| ELEV. | ELEVATION | M.A. | MEDICINE CABINET | SYM. | SYMMETRICAL | | |
| ENCL. | ENCLOSURE | MFR. | MANUFACTURER | TB. | TOWEL BAR | | |
| EQ. | EQUAL | MIN. | MINIMUM | TEL. | TELEPHONE | | |
| EXH. | EXHAUST | MISC. | MISCELLANEOUS | TEMP. | TEMPERED | | |
| EXP. | EXPANSION | MTD. | MOUNTED | THRS. | THRESHOLD | | |
| EXIST. OR (E) EXISTING | EXISTING | (N) | NEW | T&G | TONGUE & GROOVE | | |
| EXT. | EXTERIOR | (NI) | NOT IN CONTRACT | T&G | TONGUE & GROOVE | | |
| FBGL. | FIBERGLASS | (N.C.) | NOT TO SCALE | T&G | TONGUE & GROOVE | | |
| FD. | FLOOR DRAIN | (NO. OR #) | NOT TO SCALE | T&G | TONGUE & GROOVE | | |
| FD. | FOUNDATION | (N.T.S.) | NOT TO SCALE | T&G | TONGUE & GROOVE | | |
| F.F. | FINISH FLOOR | (O.) | OVER | T&G | TONGUE & GROOVE | | |
| F.G. | FINISH GRADE | (O.C.) | ON CENTER | T&G | TONGUE & GROOVE | | |
| FLR. | FLOOR | | | T&G | TONGUE & GROOVE | | |
| FL. | FLUORESCENT | | | T&G | TONGUE & GROOVE | | |

VICINITY MAP



APN MAP



PROJECT CONTACTS

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DRAWING INDEX

| | | |
|----|-------------|---------------------------------------------|
| T1 | Title Sheet | ARCHITECTURAL |
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| | | A2 Existing Floor Plan |
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| | | A4 Proposed Upper Level Floor Plan |
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| | | A11 3D Rendering |
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SCOPE OF WORK

Demolition of an existing single story family residence and detached garage. Construction of a new two story, single family residence with attached garage and new paver driveway, removal of 1 tree. Landscaping to be natural. Fencing along perimeters to remain.

PROJECT DATA TABLE

| | |
|------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LOT DATA: Project Address: N. Casanova 2 SE Palou, Carmel-By-The-Sea, CA APN: 010-225-003-000 Zoning: R-1 | BUILDING CODE DATA: Occupancy: R-3/U Construction Type: VB Fire Sprinklers: Yes (Deferred Submittal) |
| AREAS | |
| Lot Area: 0.08004 ACRES (4,000 sq. ft.) | Proposed Floor Area: Entry Level Floor Area: 1,031 SF Upper Level Floor Area: 474 SF Garage & Mech Area: 288 SF Base Floor Area: 1,793 SF (Allowed: 1,800 SF) |
| Existing Floor Area (Demo): Living Floor Area: 848 SF Garage Area: 205 SF Base Floor Area: 1,053 SF | Building Footprint: 1,079 SF |
| SITE COVERAGES | |
| Existing Site Coverage Totals (Demo): Permeable Coverage: 1,209 SF Impervious Coverage: 96 SF | Proposed Site Coverage: Concrete: 121 SF Balcony: 57 SF Total Impervious: 178 SF |
| Permeable: Driveway: 63 SF Deck: 152 SF Total Permeable: 215 SF | Total Site Coverage: 393 SF (Allowed: 396 SF) |
| SETBACKS | |
| Allowed: Front: 15' Rear: 15' | Sides: 10' Composite (25% lot width, min. 3') |
| Existing: Front: 18'-2" Rear: 7'-8" | North Sides: 13', 2'-9", 4'-4" South Sides: 17'-2", 15'-4", 6'-11" |
| Proposed: Front: 31'-3" Rear: 15'-2" | North Sides (varies): 5'-7", 4'-10" South Sides (varies): 4'-6", 10'-2" |
| HEIGHT | |
| Allowed: 1 Story Ridge: 18' 2 Story Ridge: 24' | 1 Story Plate: 12' 2 Story Plate: 18' |
| Existing: 1 Story Ridge: 11'-10" 2 Story Ridge: N/A | 1 Story Plate: 6'-6" +/-, 6'-9" +/- 2 Story Plate: N/A |
| Proposed: 1 Story Ridge: 12'-4" +/- 2 Story Ridge: 20'-7" +/- | 1 Story Plate: 8'-1", 9'-1" 2 Story Plate: 7'-4" |
| TREE REMOVAL | |
| One (1) Tree to be Removed: • Tree #14 on the Tree Survey Report; species "Unknown" | |

| Revision/Issue | Date |
|-----------------------------|----------|
| △ P&A 22-058 (LHM) | 4/20/22 |
| △ D&S 22-051 (LHM) COMMENTS | 10/24/22 |
| △ D&S 22-051 (LHM) HEARING | 1/12/23 |
| △ D&S 22-051 (LHM) HEARING | 8/14/24 |

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LIC #: 791539 CLASS: A/B

Drawing Title: **TITLE SHEET**
Job Title: **LIM RESIDENCE**
Project Address & APN: **N. CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923**
APN: 010-225-003-000 | LOT 3

Project: **HC21007**
Date: **9/17/2024**
Drawn By: **AAP**
Scale: **N.T.S.**

Sheet: **T1**

TREE ASSESSMENT SURVEY

Significant Tree Evaluation Worksheet

APN: 030-225-003-000
 Street Location: Casanova 2 SE of Palou
 Planner: Evan Fort
 City Forester: Sara Davis
 Property Owner: Lim
 Recommended Tree Density: 3 upper and 1 lower

Part One: Initial Screening:
 Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| YES | | | | | | | | | | | | | | | |
| NO | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|---------|----|----|----|----|----|----|----|----|----|----|----|-------|----|----|----|
| Species | MP | CR | CO | CO | CO | CO | CO | CO | CO | MP | CO | maple | ? | | |
| YES | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| NO | | | | | | | | | | | | | | | |

MP-Monterey pine MC-Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak
 CI-Catalina ironwood CS-California sycamore BL-big leaf maple OT-other
 (Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|----|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| YES | 40 | | | | | | | | | | | | | | |
| NO | | X | | | | | | | | | | | | | |

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH
 Coast live oak - single trunk tree: 6" DBH
 Coast live oak - multi-trunk tree measured per industry standard: 6" DBH
 California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH
 dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score | 2 | | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 1 |

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
 1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
 2 points: The tree appears healthy and in good condition.
 3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score | 2 | | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 |

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
 1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
 2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
 3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each.

F. What is the age and vigor of the tree?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score | 1 | | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 |

0 points: The tree is over mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
 1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
 2 points: The tree is young to middle age and shows normal vigor.
 3 points: The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| score | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
 1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
 2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|-------------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| Total Score | 6 | | 7 | 7 | 7 | 7 | 7 | 7 | 7 | 7 | 6 | 7 | 7 | 6 | |

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| YES | X | | X | X | X | X | X | X | X | X | X | X | X | X | X |
| NO | | X | | | | | | | | | | | | | |

B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answers)

Yes _____

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|------------|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| MOD SIGNIF | X | | X | X | X | X | X | X | X | X | X | X | X | X | X |
| NOT SIGNIF | | X | | | | | | | | | | | | | |

Items to note: The pruning of neighbors' trees is not permitted without the property owners permission. Eradicate all by: Stump grinding the trees into mulch. Remove high stumps in the public right of way.

Required Structural Root Zone

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|----|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| Feet | 20 | 0 | 6 | 6 | 6 | 6 | 6 | 6 | 6 | 6 | 6 | 18 | 9 | 3 | 10 |

Required Tree Protection Zone

| Tree # | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
|--------|----|---|----|----|----|----|----|----|----|----|----|----|----|----|----|
| YES | 60 | 0 | 18 | 18 | 18 | 18 | 18 | 18 | 18 | 18 | 18 | 54 | 27 | 9 | 30 |

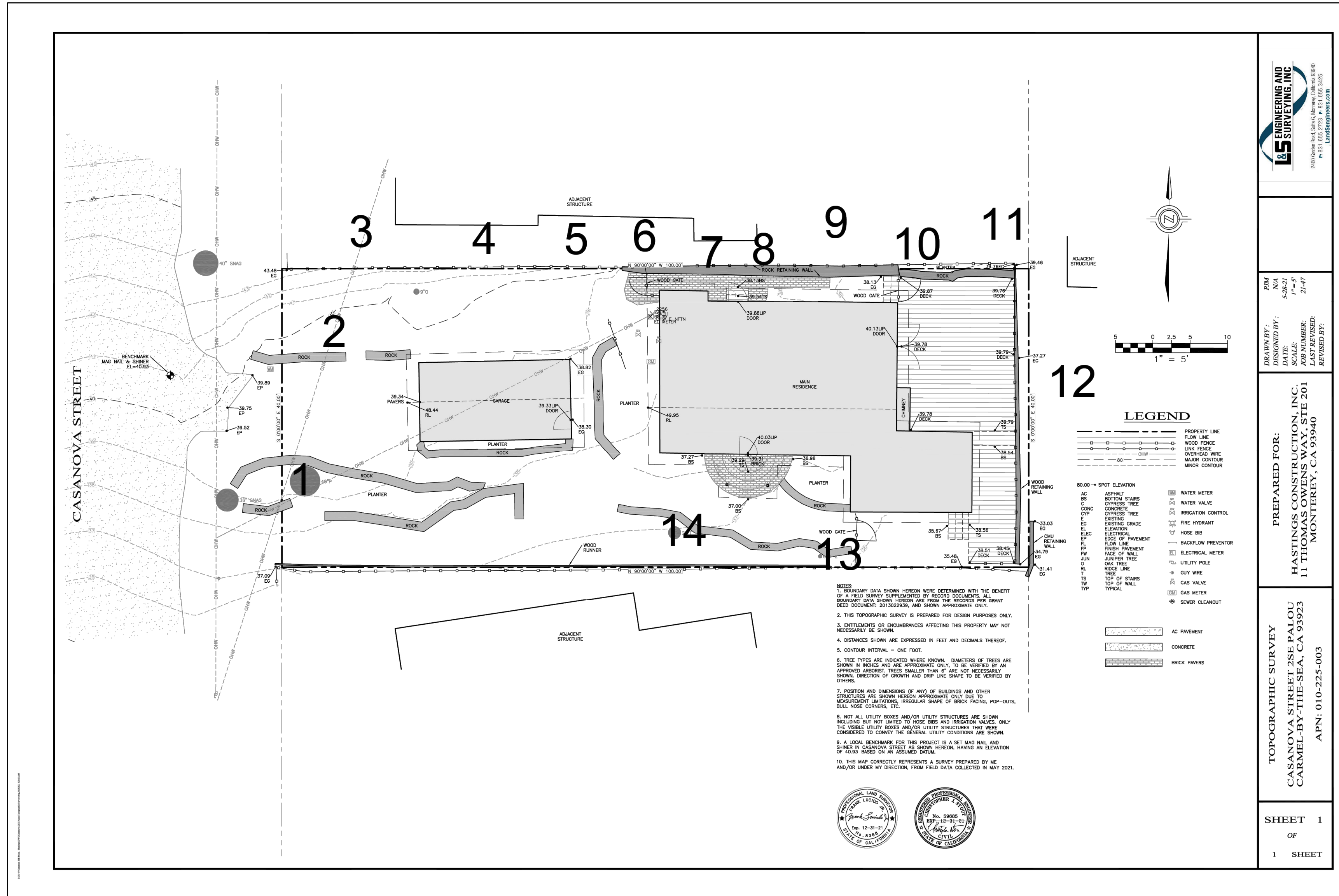
Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.

Tree Protection Zone - The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.

The Structural Root Zone - Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.

- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.



| Revision/Issue | Date |
|----------------|------|
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Drawing Title:
TREE ASSESSMENT SURVEY

Job Title:
LIM RESIDENCE

Project Address & APN:
**CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
 APN: 010-225-003-000 | BLOCK 11, LOT 3**

Project:
HC21001

Date:
9/17/2024

Drawn By:
AAP

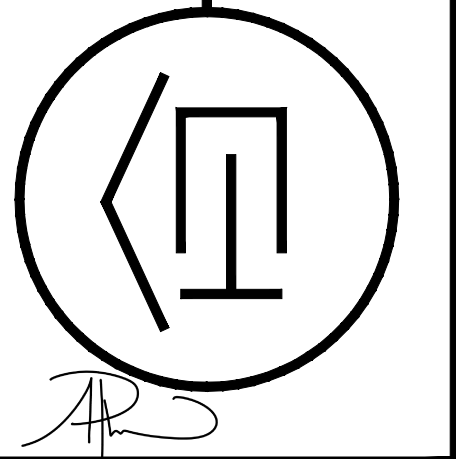
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Sheet:
T2

| Revision/Issue | Date |
|--------------------------|---------|
| △ D8 22-091 (LH) HEARING | 1/12/23 |
| △ D8 22-091 (LH) HEARING | 8/14/24 |
| | |
| | |

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 LIC#: 791539 CLASS: A/B



APB

Drawing Title:
TREE SITE PLAN

Job Title:
LIM RESIDENCE

Project Address & APN:
**CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
 APN: 010-225-003-000 | BLOCK 11, LOT 3**

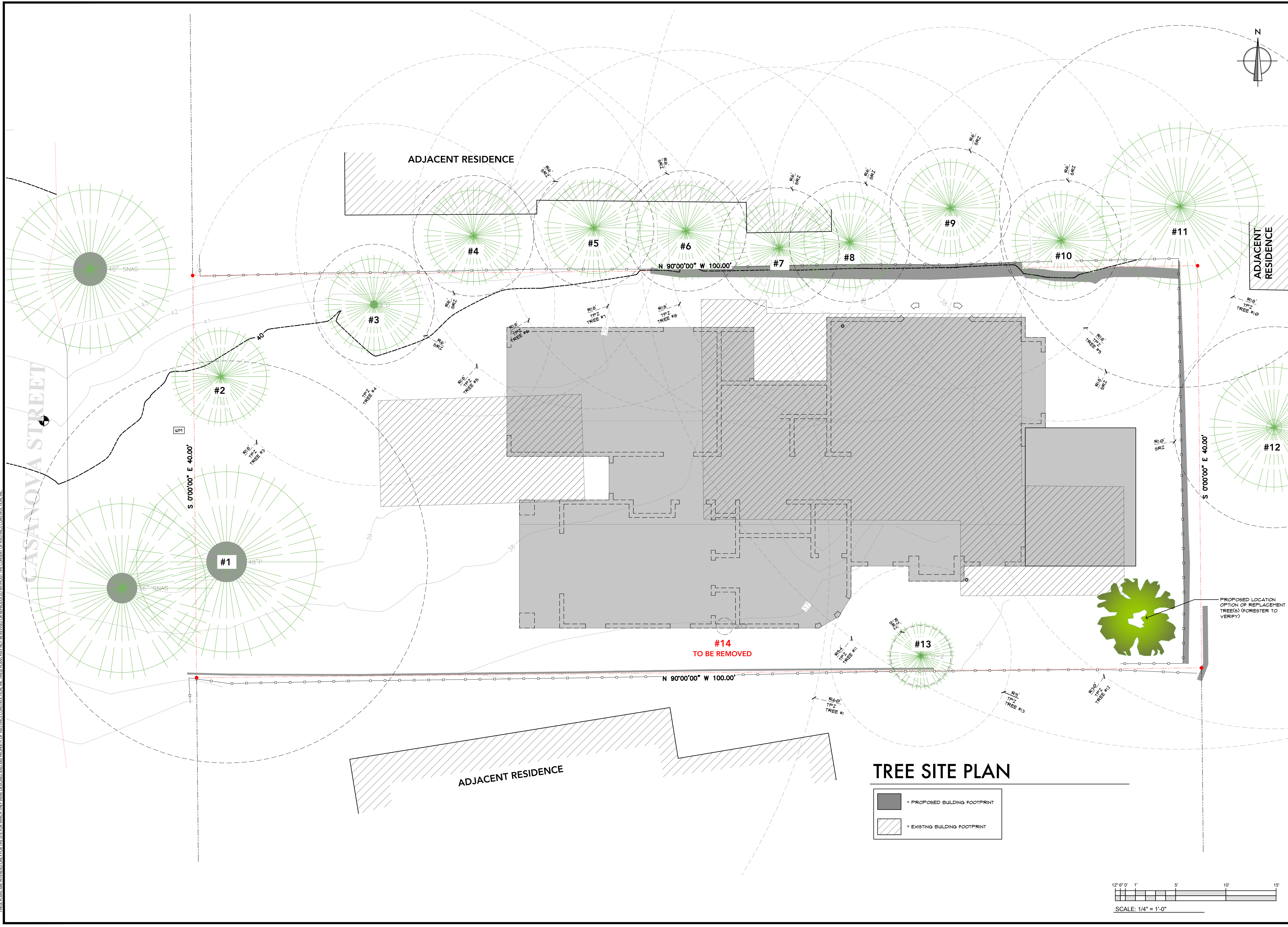
Project:
HC21001

Date:
9/17/2024

Drawn By:
AAP

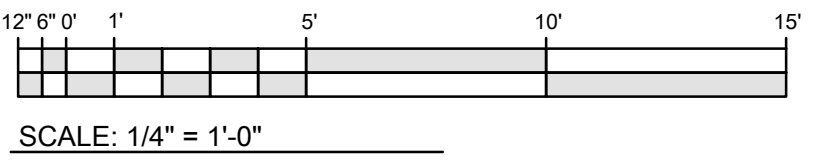
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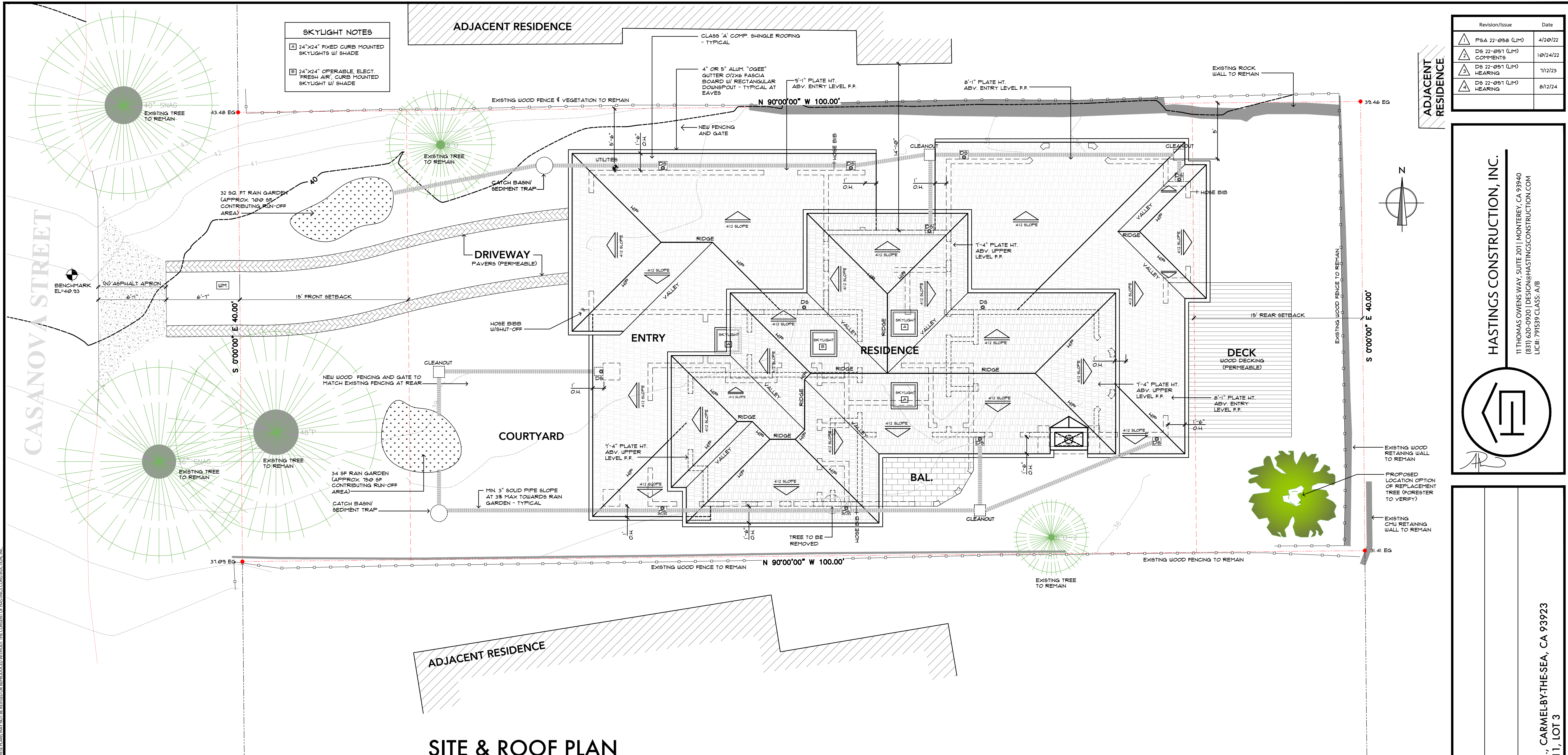


TREE SITE PLAN

- = PROPOSED BUILDING FOOTPRINT
- = EXISTING BUILDING FOOTPRINT



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SKYLIGHT NOTES

| | |
|--|-------------------------------------------------------------------|
| | 24"x24" FIXED CURB MOUNTED SKYLIGHTS W/ SHADE |
| | 24"x24" OPERABLE ELECT. FRESH AIR, CURB MOUNTED SKYLIGHT W/ SHADE |

| Revision/Issue | Date |
|-----------------------------|----------|
| △ P&A 22-058 (LHM) | 4/20/22 |
| △ D&S 22-051 (LHM) COMMENTS | 10/24/22 |
| △ D&S 22-051 (LHM) HEARING | 1/12/23 |
| △ D&S 22-051 (LHM) HEARING | 8/12/24 |

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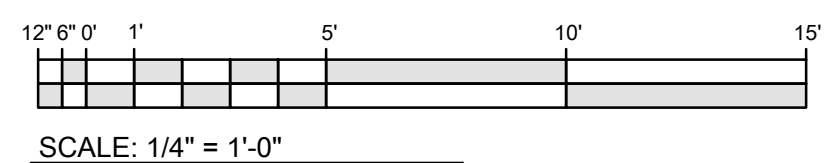
SITE & ROOF PLAN

ROOF PLAN NOTES:
 ROOF SLOPE IS 4:12 UNO.; ARROWS INDICATE DIRECTION OF ROOF SLOPE.
 ROOFING SHALL BE RATED CLASS 'A' OR HIGHER AND INSTALLED PER MANUFACTURER'S SPECS.
 SKYLIGHTS SHALL BE LOW PROFILE, NON-GLARE, DUAL PANE, TEMPERED GLASS - BY VELUX OR EQUAL.
 FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. FLASHING SHALL BE INSTALLED TO DIVERT WATER AWAY FROM WHERE THE EAVER OF A SLOPED ROOF INTERSECTS WITH A VERTICAL WALL (PER R903.2.1).

DRAINAGE NOTES:
 ALL INFILTRATION SYSTEM(S) SHALL BE DESIGNED IN ACCORDANCE WITH CARMEL MUNICIPAL CODE STANDARD OPERATING GUIDANCE (SOG) 17-01 FOR PRIVATE STORMWATER DRAINAGE SYSTEMS.
 DRAINAGE FROM DOWNSPOUTS AND PAVED AREAS SHALL BE DIRECTED TO LANDSCAPED AREAS, OR COLLECTED IN FRENCH DRAINS OR SUBGRADE PERFORATED PIPE COLLECTORS, AND CONVEYED TO BEST MANAGEMENT PRACTICES (BMP) SUCH AS RAIN GARDENS OR INFILTRATION TRENCHES.
 RAIN GARDENS SHALL BE DESIGNED IN ACCORDANCE WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMMA) PUBLICATION RAIN GARDENS, STORMWATER CONTROL FOR SMALL PROJECTS.
 REFER TO [HTTPS://CI.GARMEL.CA.US/POD/Private-Drainage-Systems](https://ci.garmel.ca.us/POD/Private-Drainage-Systems) FOR APPROVED LIST OF RAIN GARDEN PLANTS.
 THE LANDSCAPED AREAS USED FOR INFILTRATION SHALL BE AT LEAST 50% OF THE SIZE OF THE CONTRIBUTING IMPERVIOUS SURFACE.
 RUNOFF SHALL BE DIRECTED AWAY FROM BUILDING FOUNDATIONS.
 OVERFLOW MUST BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES. OVERFLOW TO THE STREET REQUIRES AN ENCROACHMENT PERMIT APPROVED BY THE PUBLIC WORKS DIRECTOR.

LANDSCAPING GENERAL NOTES:
 ALL LANDSCAPING SHOWN IS FOR DESIGN INTENT ONLY AND SHALL BE SELECTED AND APPROVED BY OWNER, PRIOR TO INSTALLATION.
 ALL NEW LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE STANDARDS IN CARMEL MUNICIPAL CODE FOR LANDSCAPING, TREES & SHRUBS CHAPTERS 11.34 AND 11.48.
 ALL NEW LANDSCAPING SHALL BE 75% DROUGHT-TOLERANT.
 LANDSCAPED AREAS SHALL BE IRRIGATED BY A DRIP/SPRINKLER SYSTEM SET ON A TIMER.
 THE PROJECT SHALL MEET THE CITY'S RECOMMENDED TREE DENSITY STANDARDS UNLESS OTHERWISE APPROVED BY THE CITY BASED ON SITE CONDITIONS.
 TREES ON THE SITE SHALL ONLY BE REMOVED UPON THE APPROVAL OF THE CITY FORESTER OR FOREST AND BEACH COMMISSION, AS APPROPRIATE; ALL REMAINING TREES SHALL BE PROTECTED DURING CONSTRUCTION BY METHODS APPROVED BY THE CITY FORESTER.
 ALL FOUNDATIONS WITHIN 15 FEET OF SIGNIFICANT TREES SHALL BE EXCAVATED BY HAND, IF ANY TREE ROOTS LARGER THAN TWO INCHES (2") ARE ENCOUNTERED DURING CONSTRUCTION, THE CITY FORESTER SHALL BE CONTACTED BEFORE CUTTING THE ROOTS.
 TWELVE INCHES (12") OF MULCH SHALL BE EVENLY SPREAD INSIDE THE DRIFLINE OF ALL TREES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

TREE PROTECTION ZONE (TPZ):
 TPZ SHALL BE EQUAL TO DRIFLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER.
 TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT.
 NO MORE THAN 4 INCHES OF WOOD MULCH SHALL INSTALLED BE WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
 THE STRUCTURAL ROOT ZONE (SRZ)
 SRZ SHALL BE 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIA. AT 4.5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER.
 ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK.
 EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
 FOOTINGS MAY NOT TRENCH THROUGH MORE THAN 25% OF THE SRZ. PIERS AND CANTILEVERS ARE ACCEPTABLE.



Drawing Title: **PROPOSED SITE & ROOF PLANS**
 Job Title: **LIM RESIDENCE**
 Project Address & APN: **CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923**
APN: 010-225-003-000 | BLOCK 11, LOT 3

| | |
|-----------|------------|
| Project: | HC21001 |
| Date: | 9/17/2024 |
| Drawn By: | AAP |
| Scale: | 1/4"=1'-0" |

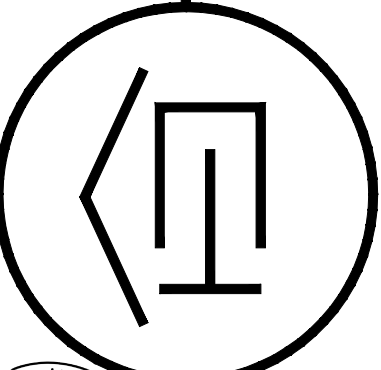
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| Revision/Issue | Date |
|-----------------------------|----------|
| DS 22-057 (LHM) COMMENTS | 10/24/22 |
| | |
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| | |

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Drawing Title:
EXISTING FLOOR PLAN

Job Title:
LIM RESIDENCE

Project Address & APN:
**CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK II, LOT 3**

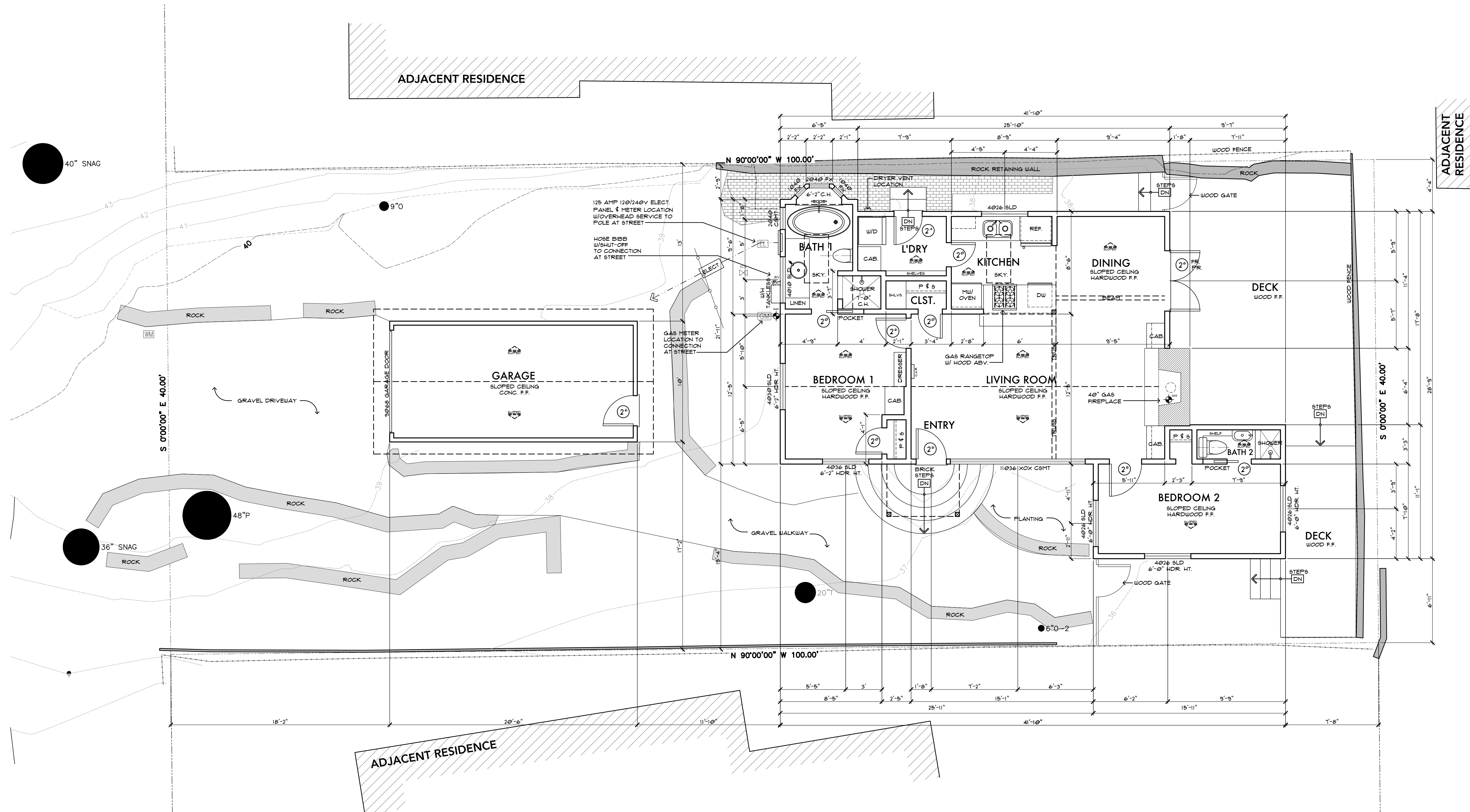
Project:
HC21001

Date:
9/17/2024

Drawn By:
AAP

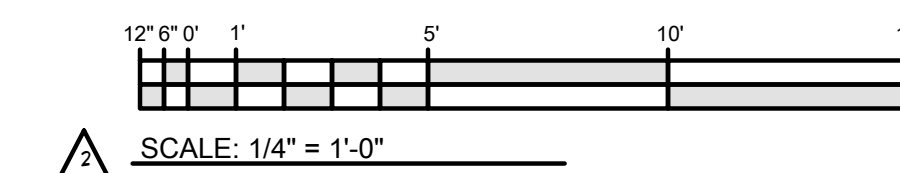
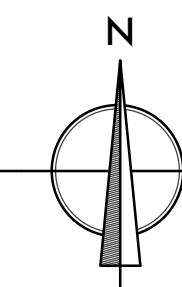
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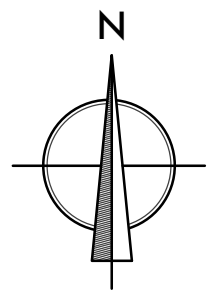


EXISTING FLOOR PLAN

NOTE: All existing structures and site coverages (driveway, walkways, etc) are to be demolished; existing fences shall remain.

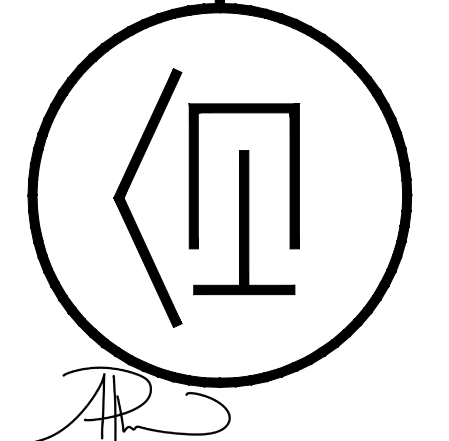


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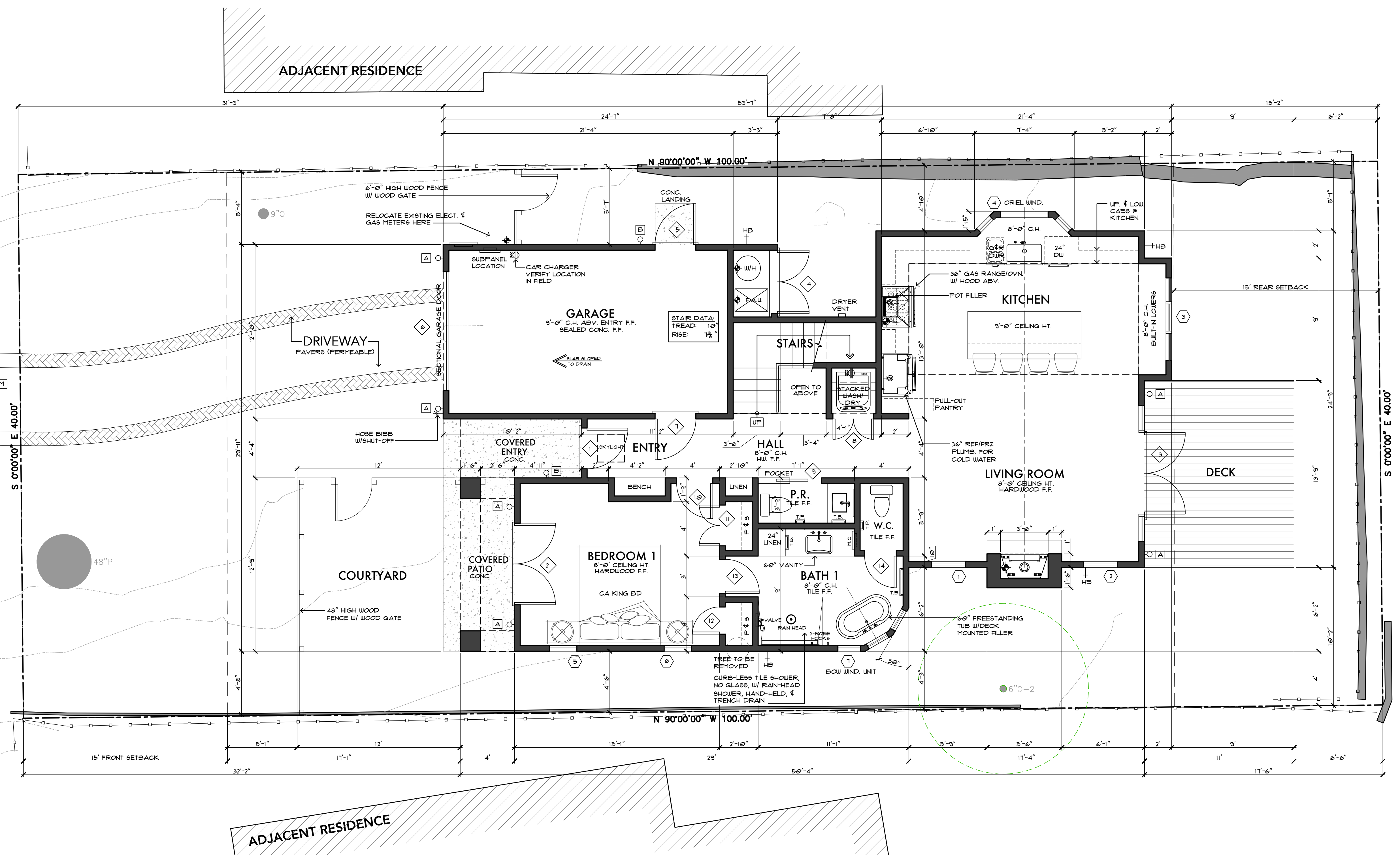
| Revision/Issue | Date |
|----------------------------|----------|
| △ P&A 22-058 (LHM) | 4/20/22 |
| △ DS 22-051 (LHM) COMMENTS | 10/24/22 |
| △ DS 22-051 (LHM) HEARING | 1/12/23 |
| △ DS 22-051 (LHM) HEARING | 8/14/24 |

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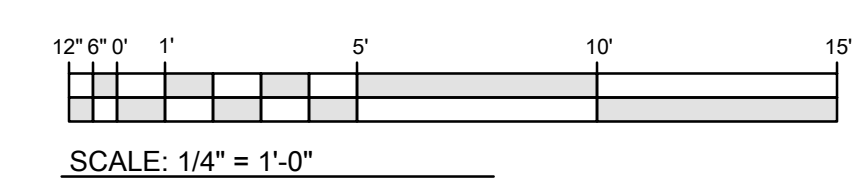
PROPOSED ENTRY LEVEL FLOOR PLAN
 Job Title:
LIM RESIDENCE
 Project Address & APN:
CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

| | |
|-------------------------------|-----------|
| Project: HC21001 | Sheet |
| Date: 9/11/2024 | A3 |
| Drawn By: AAP | |
| Scale: 1/4" = 1'-0" | |

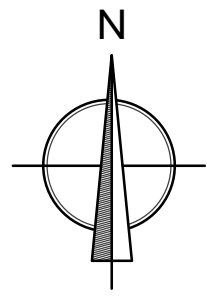


PROPOSED ENTRY LEVEL FLOOR PLAN

| | |
|--|---------------------------------------|
| | = NEW WALL |
| | = EXISTING WALL TO REMAIN (N/A) |
| | = EXISTING WALL/ELEMENT TO BE REMOVED |



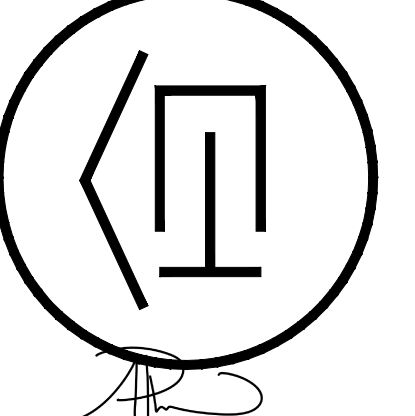
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| Revision/Issue | Date |
|----------------------------|----------|
| △ P&A 22-058 (LHM) | 4/20/22 |
| △ DS 22-051 (LHM) COMMENTS | 10/24/22 |
| △ DS 22-051 (LHM) HEARING | 1/12/23 |
| △ DS 22-051 (LHM) HEARING | 8/14/24 |

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Drawing Title:
PROPOSED UPPER LEVEL FLOOR PLAN

Job Title:
LIM RESIDENCE

Project Address & APN:
**CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3**

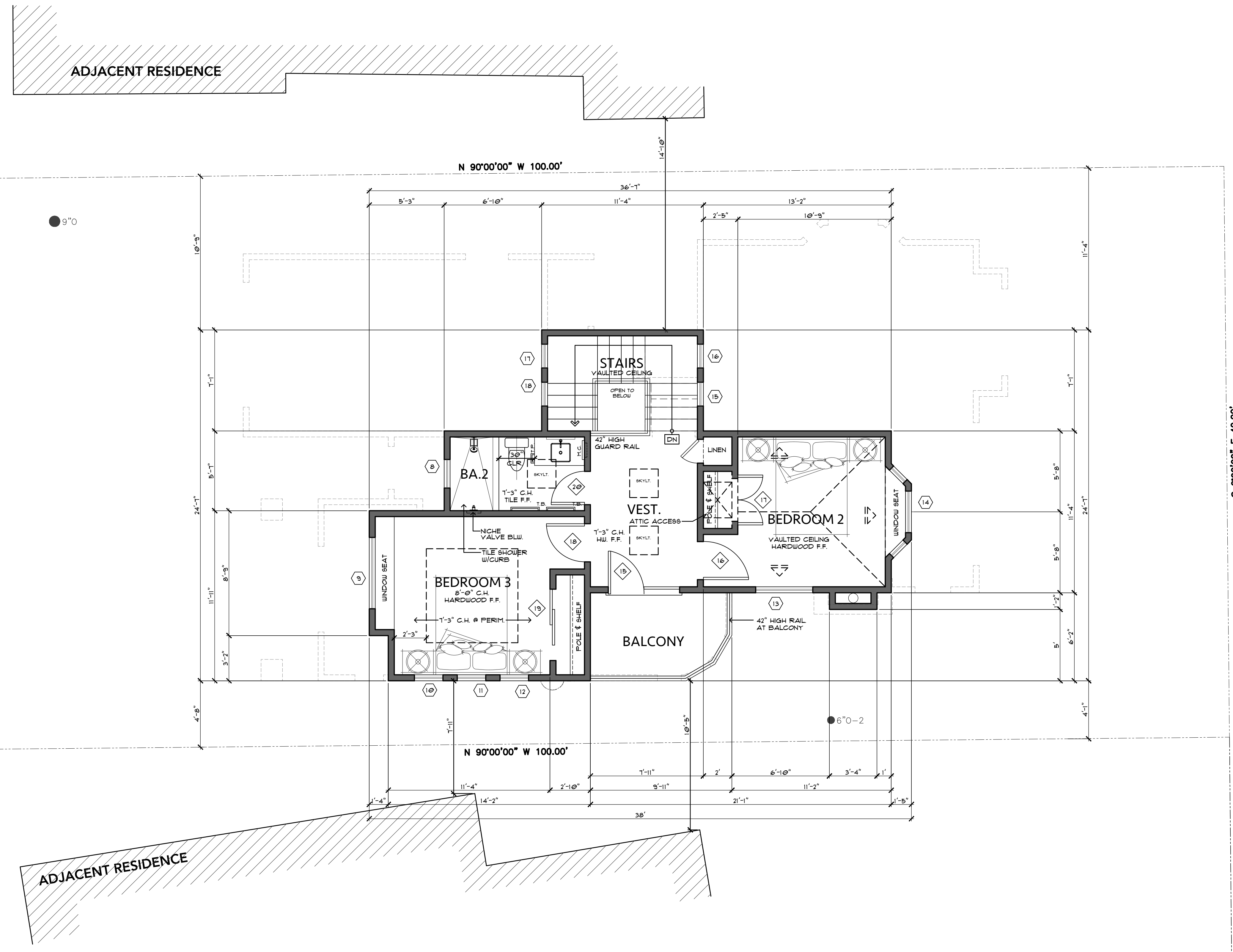
Project:
HC21001

Date:
9/17/2024

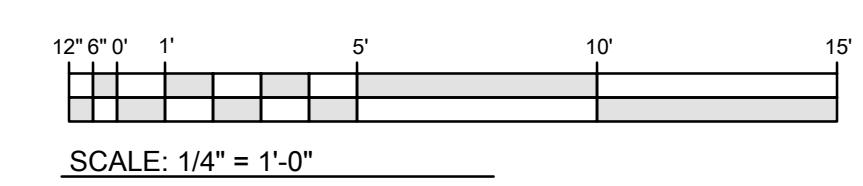
Drawn By:
AAP

Scale:
1/4" = 1'-0"

Sheet:
A4



PROPOSED UPPER LEVEL FLOOR PLAN

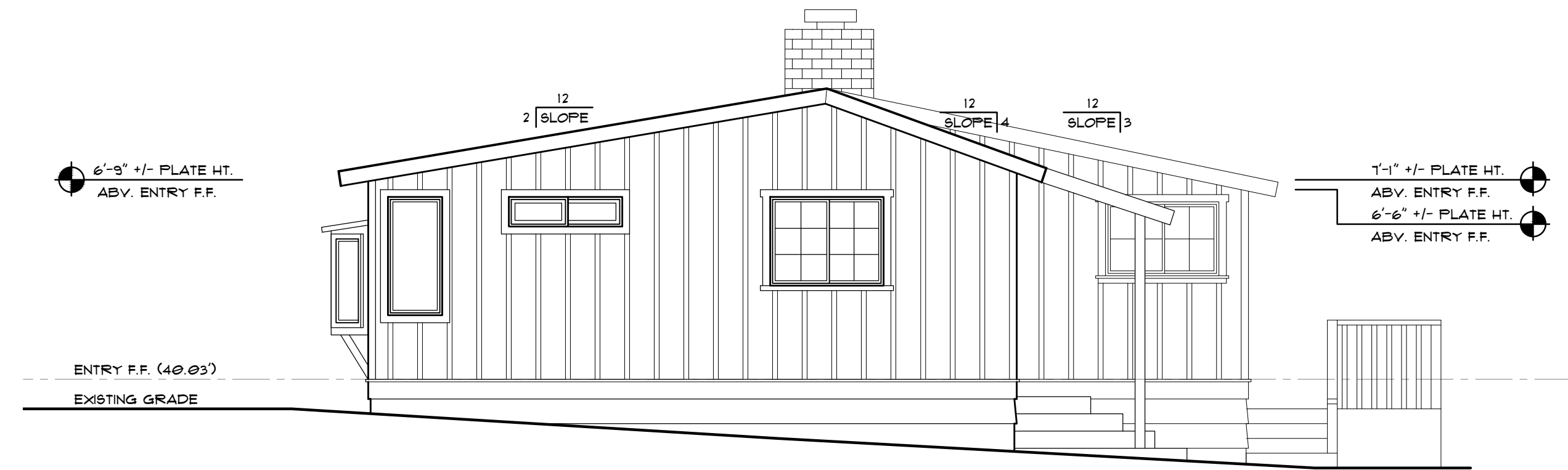


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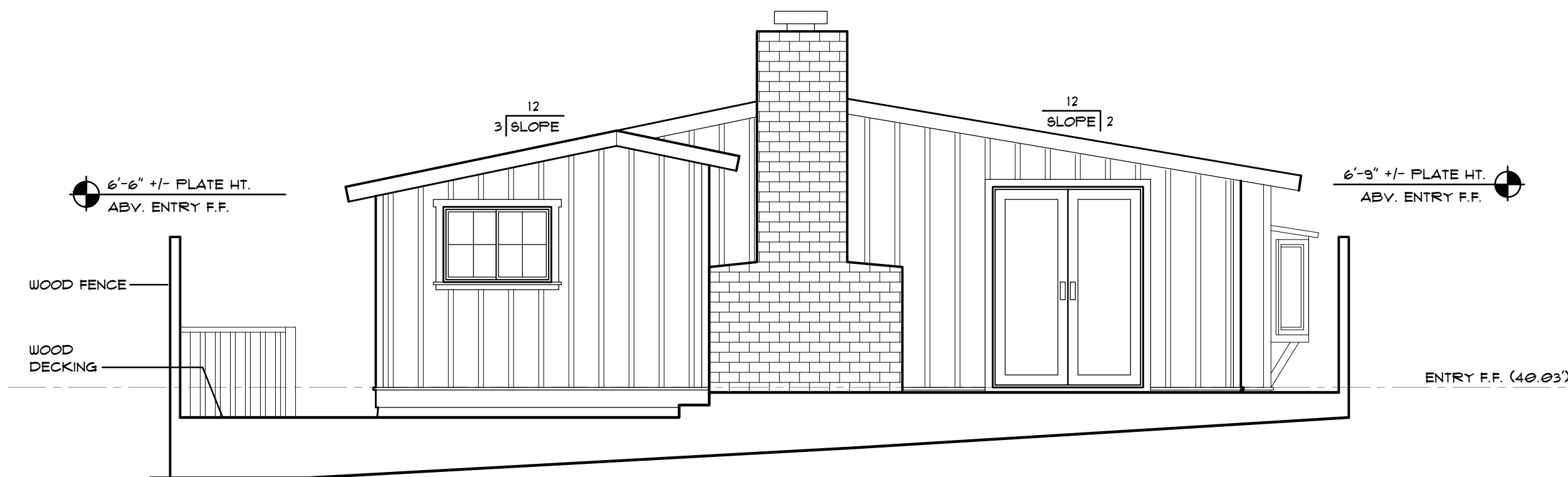
| Revision/Issue | Date |
|---------------------------------|----------|
| 2 DS 22-051 (LH) COMMENTS | 10/24/22 |
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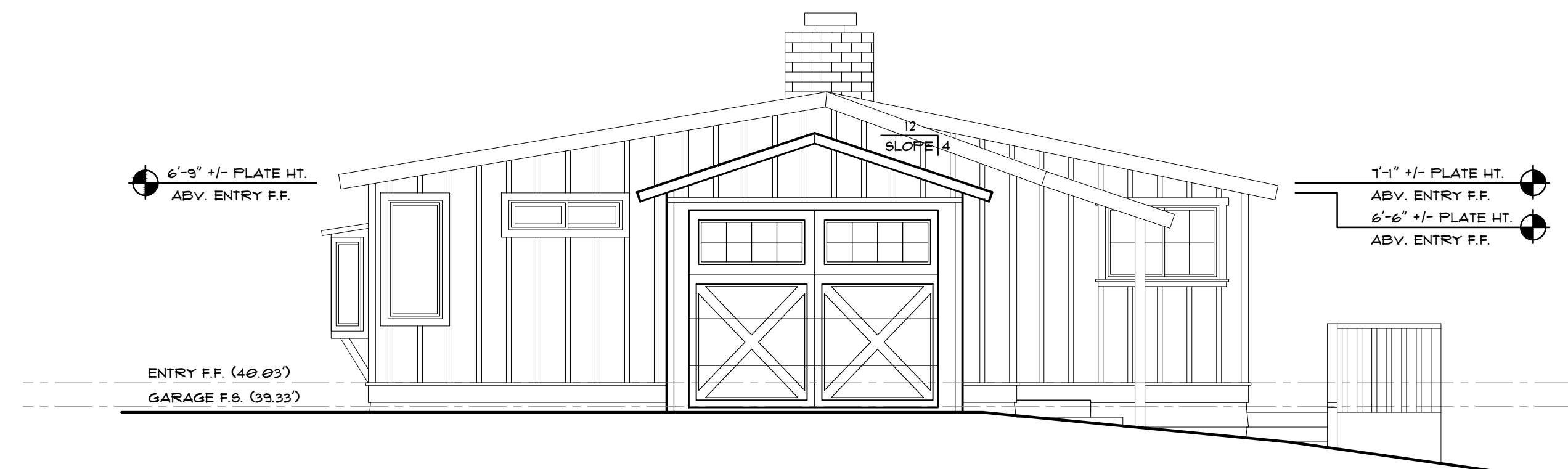
EXISTING SOUTH ELEVATION



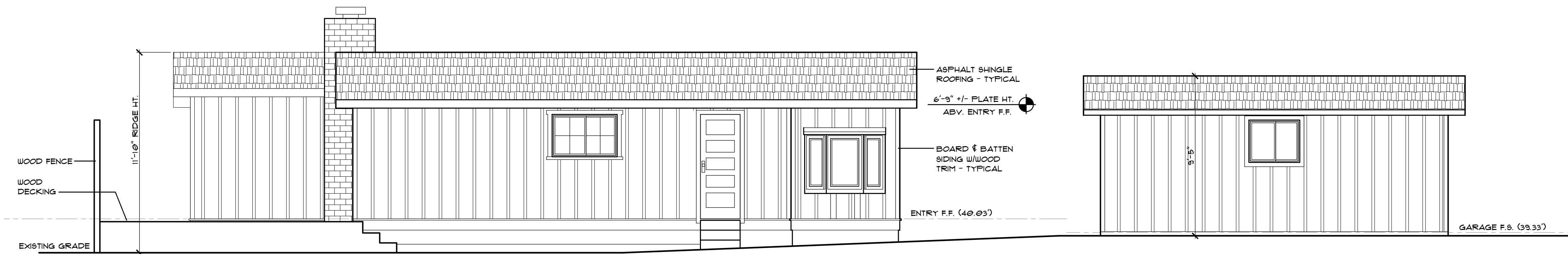
EXISTING WEST (FRONT) ELEVATION



EXISTING EAST ELEVATION



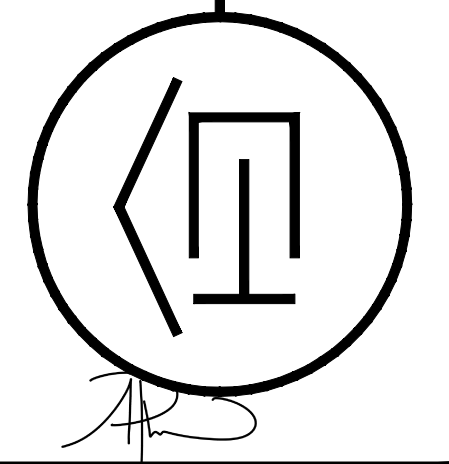
EXISTING WEST (FRONT) ELEVATION - FROM STREET



EXISTING NORTH ELEVATION

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Drawing Title:
EXISTING EXTERIOR ELEVATIONS

Job Title:

LIM RESIDENCE

Project Address & APN:

CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001
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9/17/2024
Drawn By:
AAP
Scale:
1/4"=1'-0"

Sheet

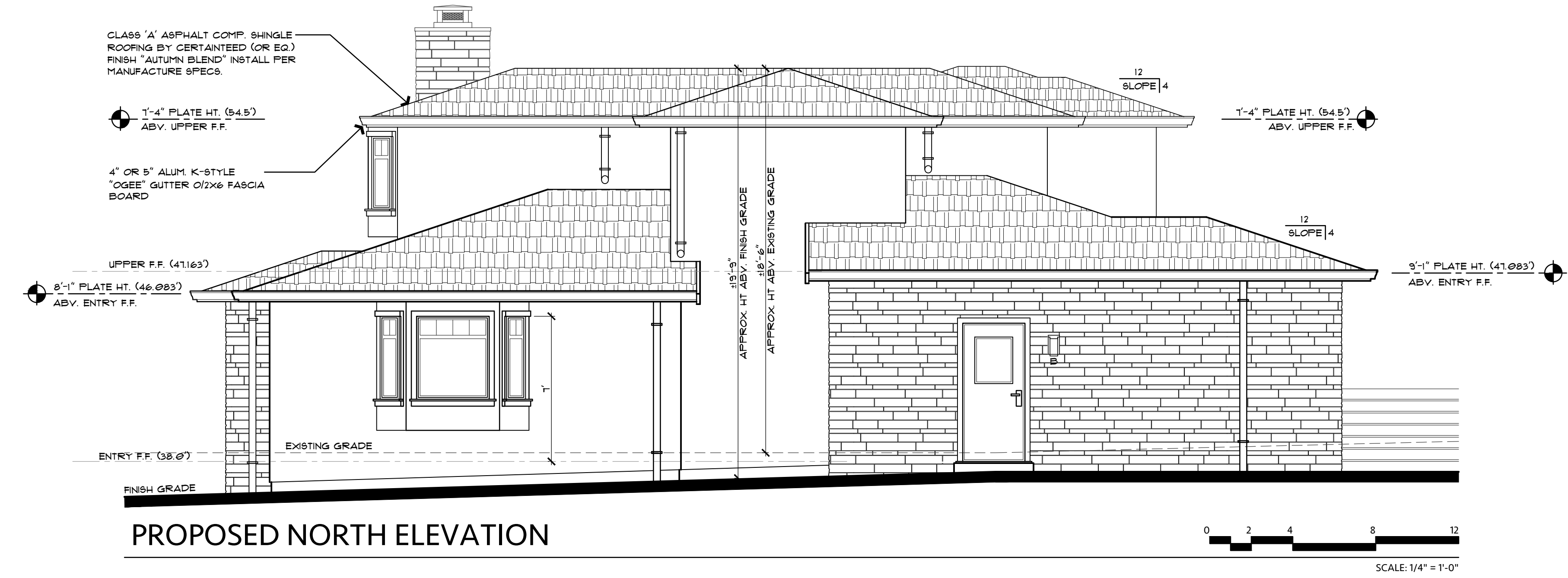
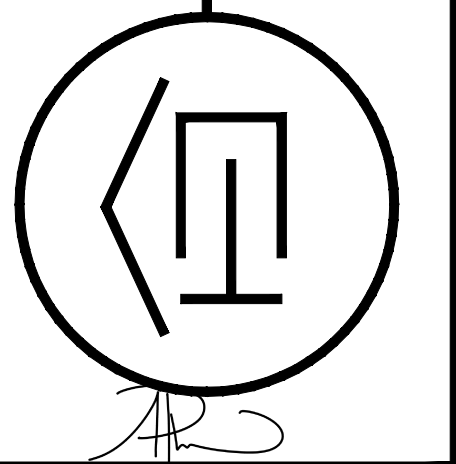
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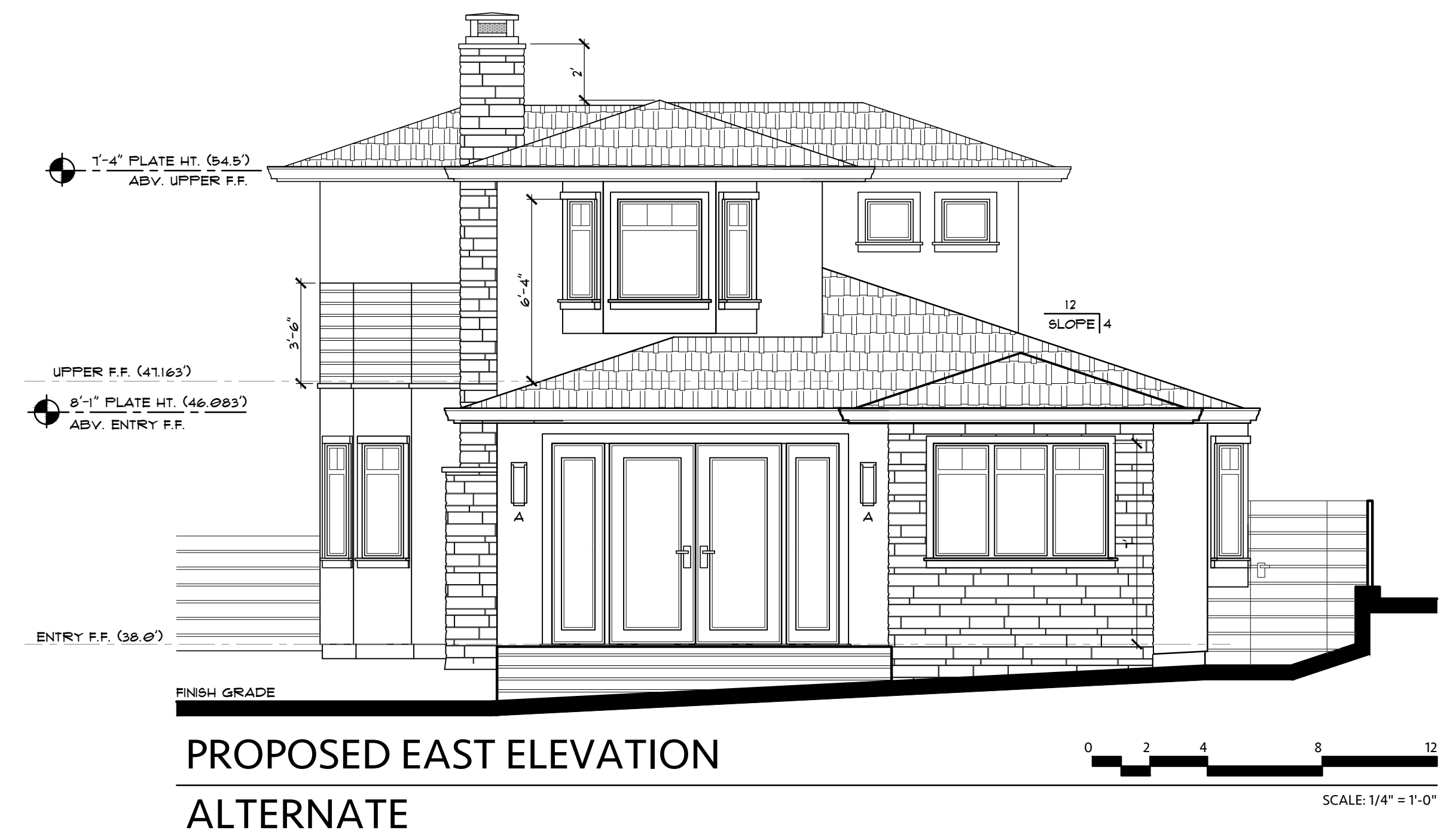
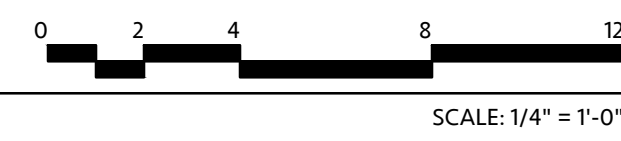
| Revision/Issue | Date |
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| △ P&A 22-058 (LHM) | 4/20/22 |
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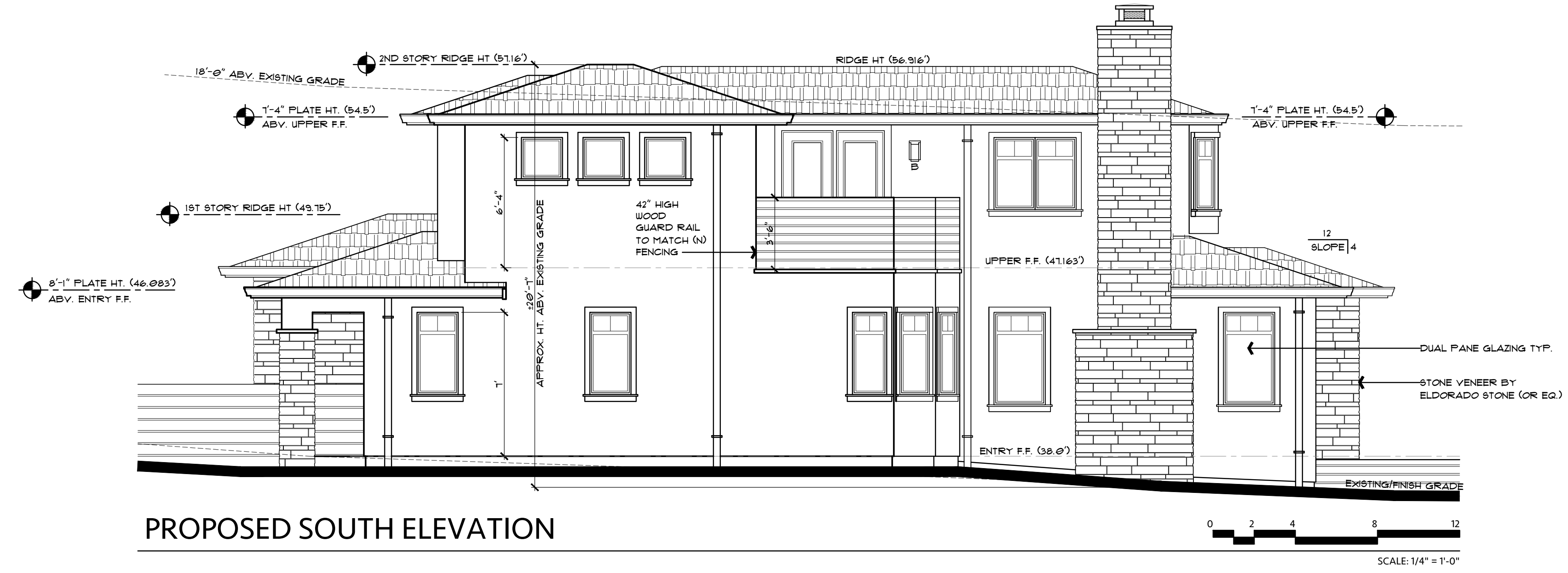
PROPOSED NORTH ELEVATION



**PROPOSED EAST ELEVATION
ALTERNATE**



PROPOSED WEST (FRONT) ELEVATION



PROPOSED SOUTH ELEVATION



Drawing Title:
ALTERNATE PROPOSED EXTERIOR ELEVATIONS

Job Title:

LIM RESIDENCE

Project Address & APN:

**CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
 APN: 010-225-003-000 | BLOCK 11, LOT 3**

Project:
HC21001

Date:
9/17/2024

Drawn By:
AAP

Scale:
1/4" = 1'-0"

Sheet

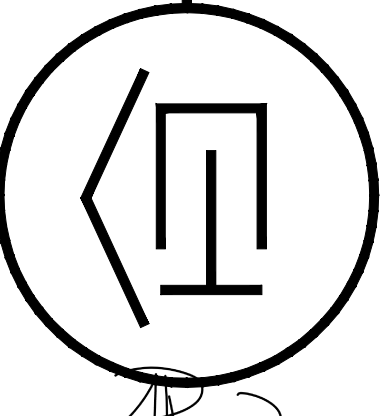
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EXTERIOR FINISHES AND EXTERIOR LIGHTING SPECIFICATIONS

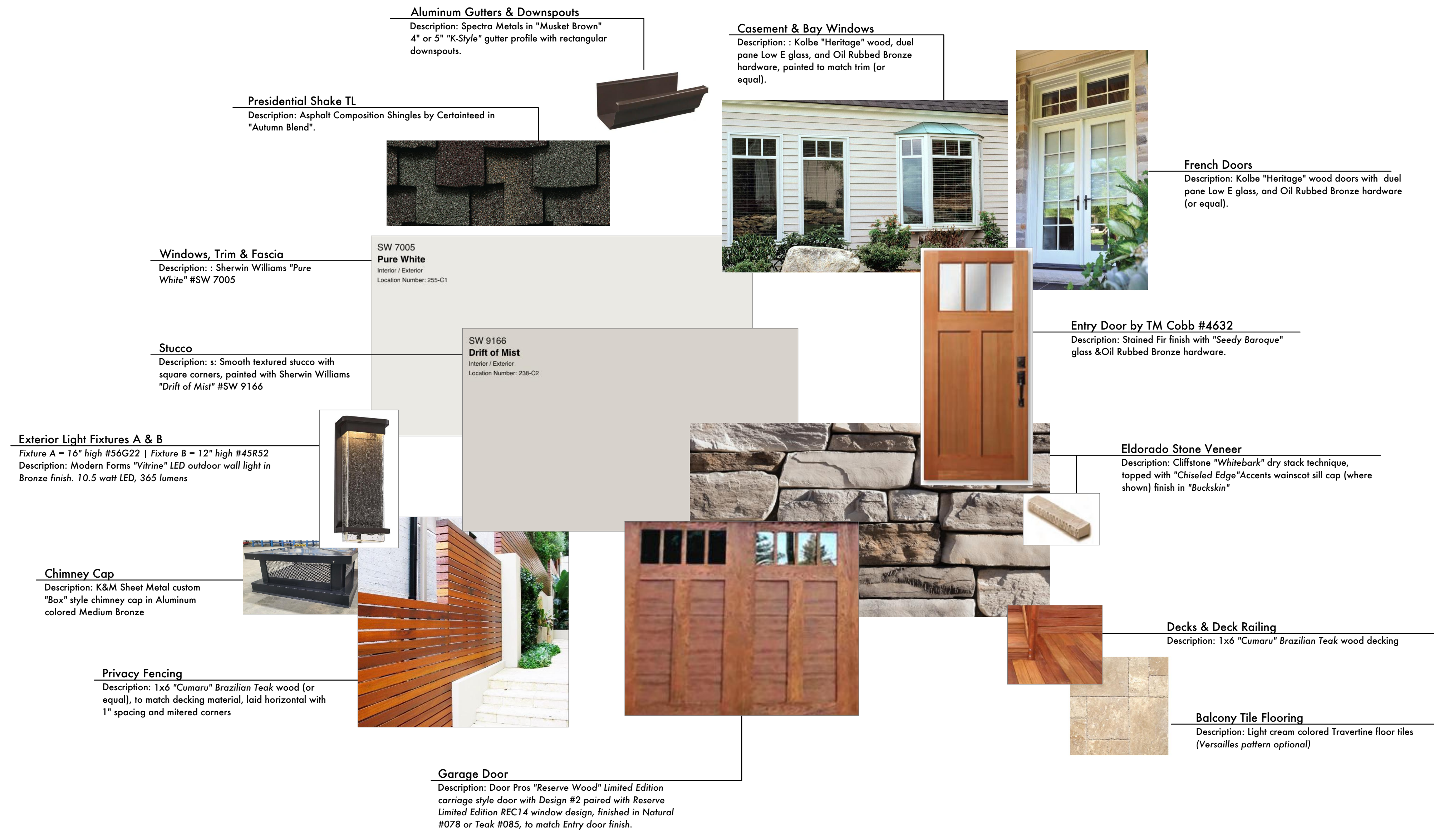
Drawing Title: EXTERIOR FINISHES AND EXTERIOR LIGHTING SPECIFICATIONS

Job Title: LIM RESIDENCE

Project Address & APN: CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

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| Project: | HC21001 | Sheet |
| Date: | 9/17/2024 | A7 |
| Drawn By: | AAP | |
| Scale: | 1/4" = 1'-0" | |

EXTERIOR FINISHES



Light Fixture A Specifications

Modern Forms Vitrine 16" High Bronze LED Outdoor Wall Light



- Product Details**
- This bronze outdoor wall light has a mouth-blown seeded glass shade that adds a beautiful rain-washed effect.
- Additional Info:**
- Gorgeous glass and a rich oil-rubbed bronze finish make for a compelling combination in this outdoor LED wall light from Modern Forms. This light features absolutely beautiful seeded optic glass, mouth-blown for an incredible look flanking a front or back door. Perfect for indoor and outdoor settings in luxury homes and resorts. Supports smooth dimming with the addition of an electronic low voltage dimmer (not included).
- MODERN FORMS LIGHTING • LED
- [Shop all Modern Forms](#)
- 16" high x 6 1/2" wide. Extends 4 1/2" from the wall.
 - Backplate is 14 3/4" high x 6 1/2" wide x 3/4" deep. Glass is 14" high x 5 1/4" wide x 3" deep.
 - Includes one dimmable 10.5 watt high-powered replaceable LED module: 365 lumen light output, comparable to a 35 watt incandescent. 3000K color temperature. 90 CRI.
 - Energy-efficient LED outdoor wall light from the Vitrine collection by Modern Forms.
 - Bronze finish over aluminum construction. Clear hammered seeded mouth-blown optic glass.

Light Fixture B Specifications

Modern Forms Vitrine 12" High Bronze LED Outdoor Wall Light



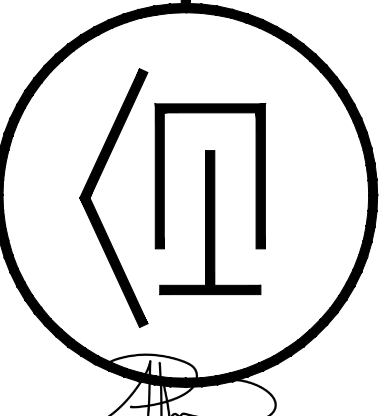
- 12" high x 6 1/2" wide. Extends 4" from the wall. Backplate is 10 3/4" high x 6 1/2" wide x 3/4" deep.
- 5 watt high-powered replaceable LED module, comparable to a 25 watt incandescent. 205 lumens. 3000K. 90 CRI.

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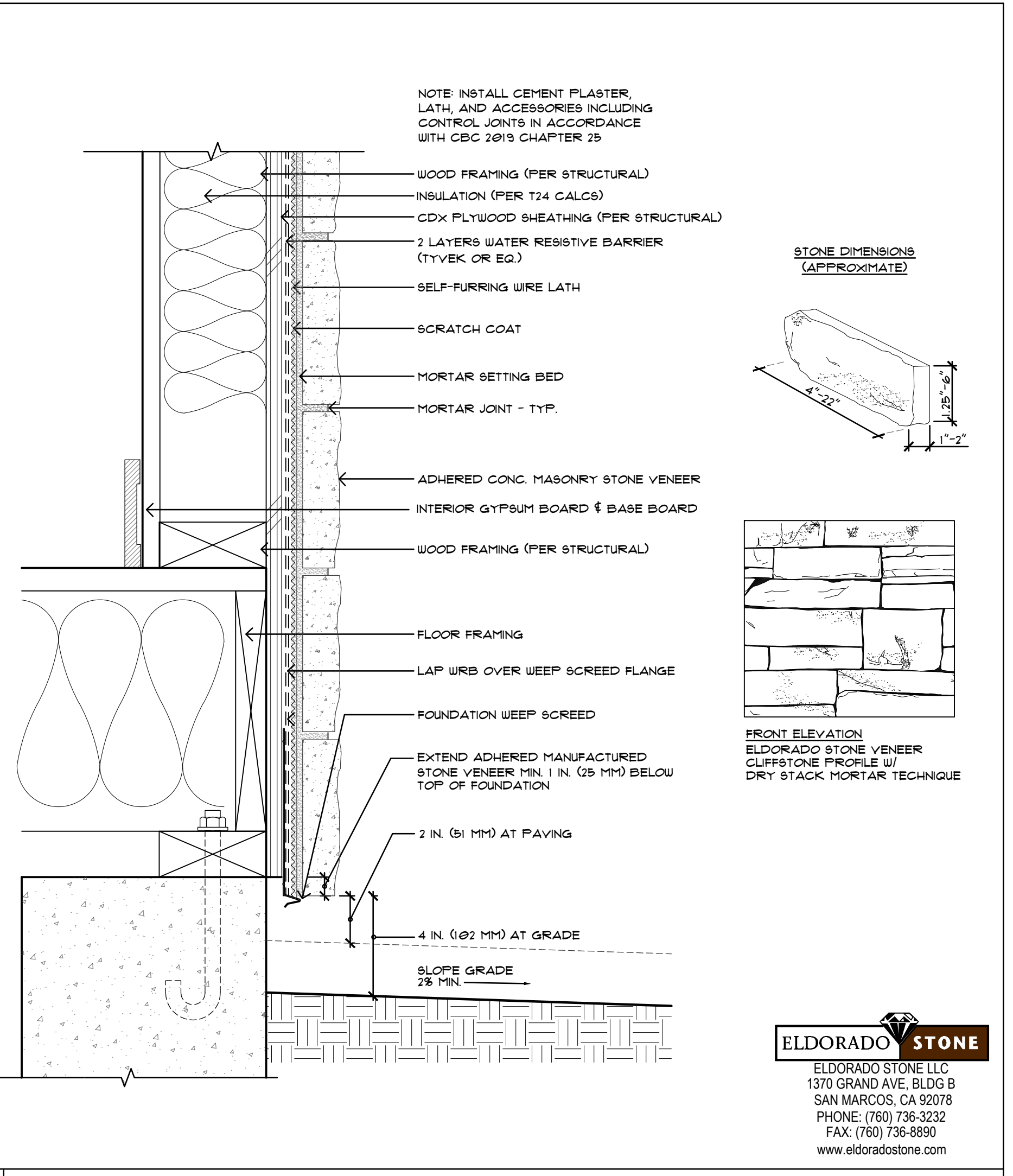


ARCHITECTURAL DETAILS

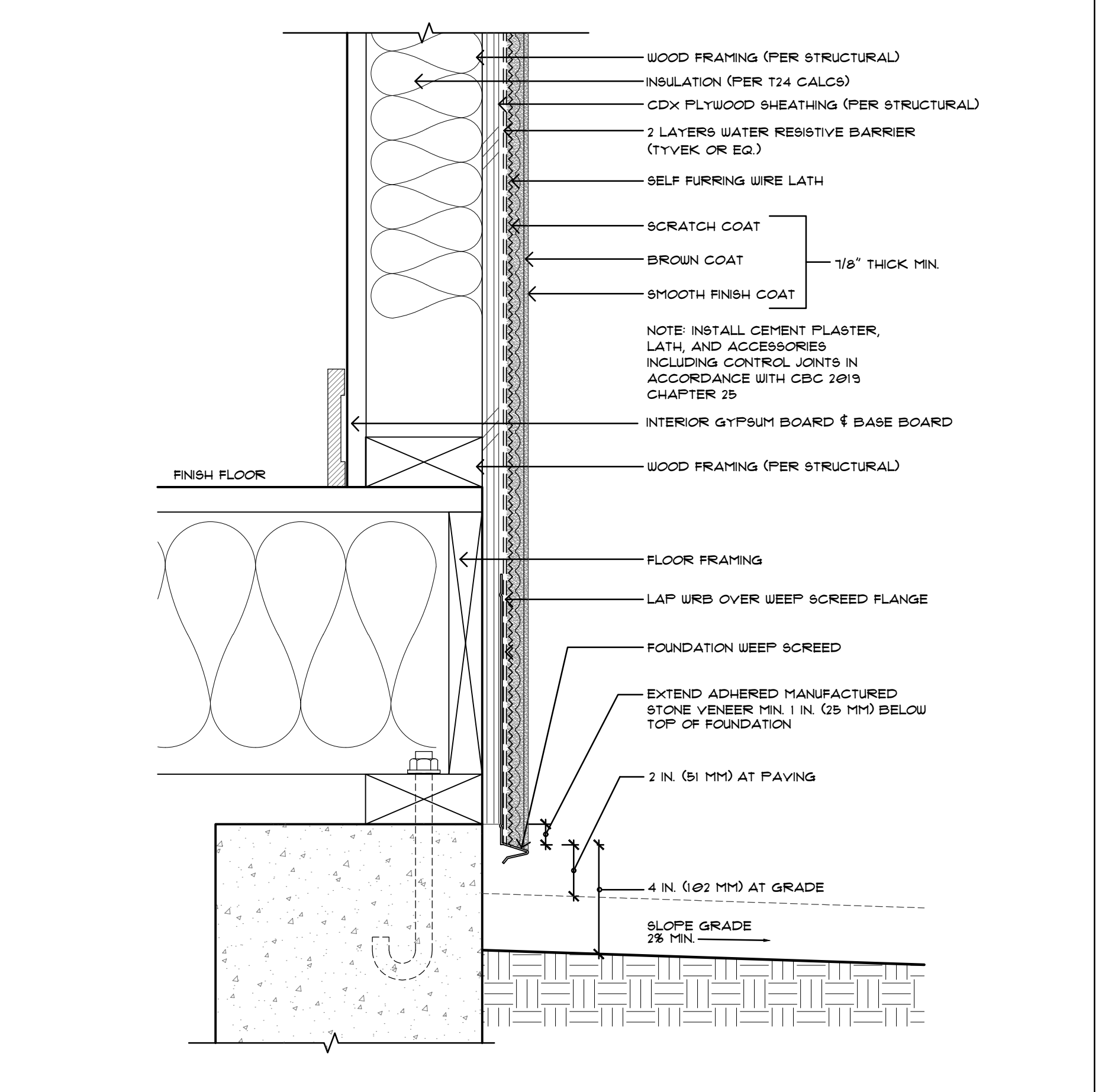
Job Title:
LIM RESIDENCE
Project Address & APN:
**CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3**

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|-----------|-----------|
| Project: | HC21001 |
| Date: | 9/11/2024 |
| Drawn By: | AAP |
| Scale: | NOTED |

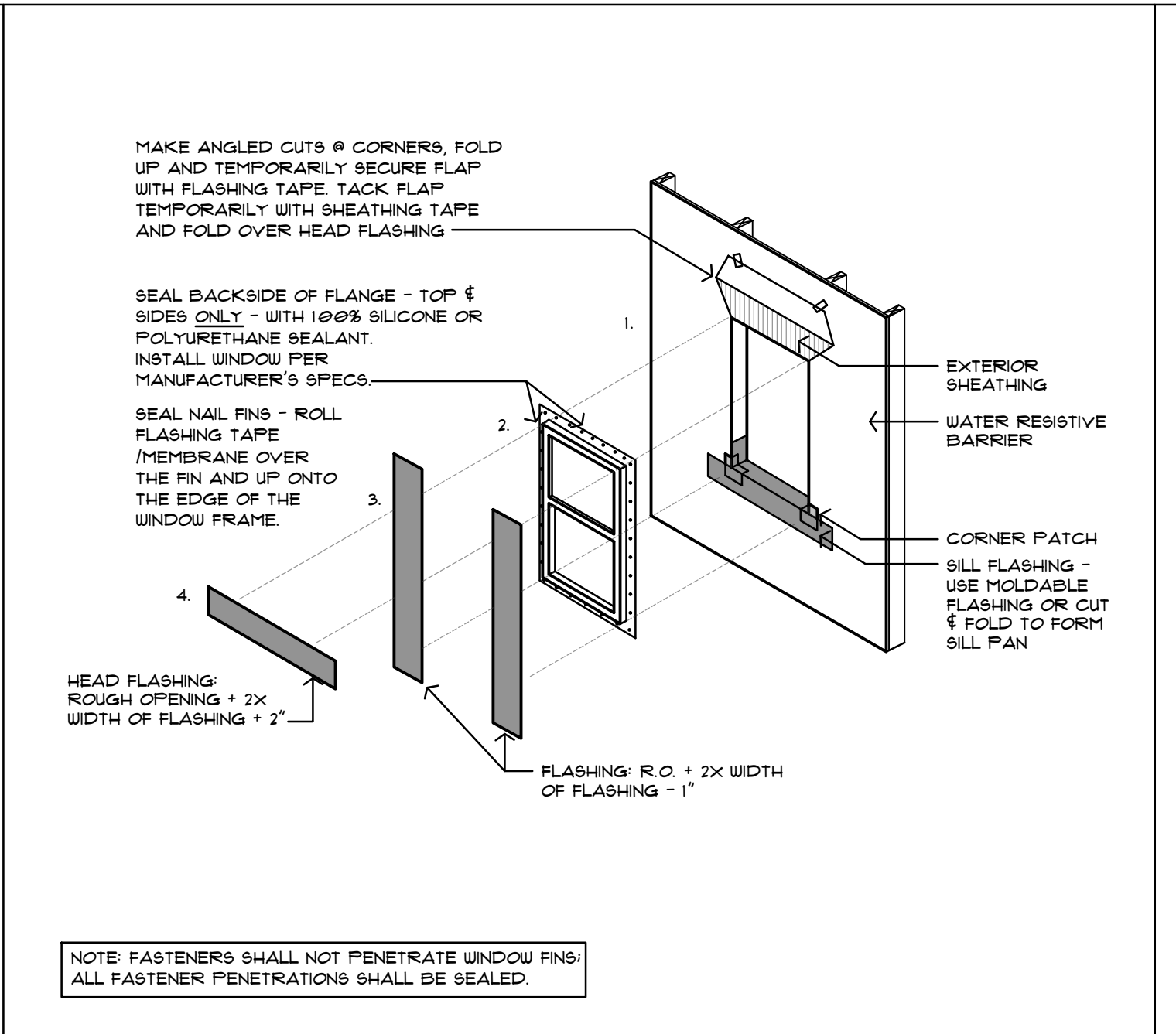
A8



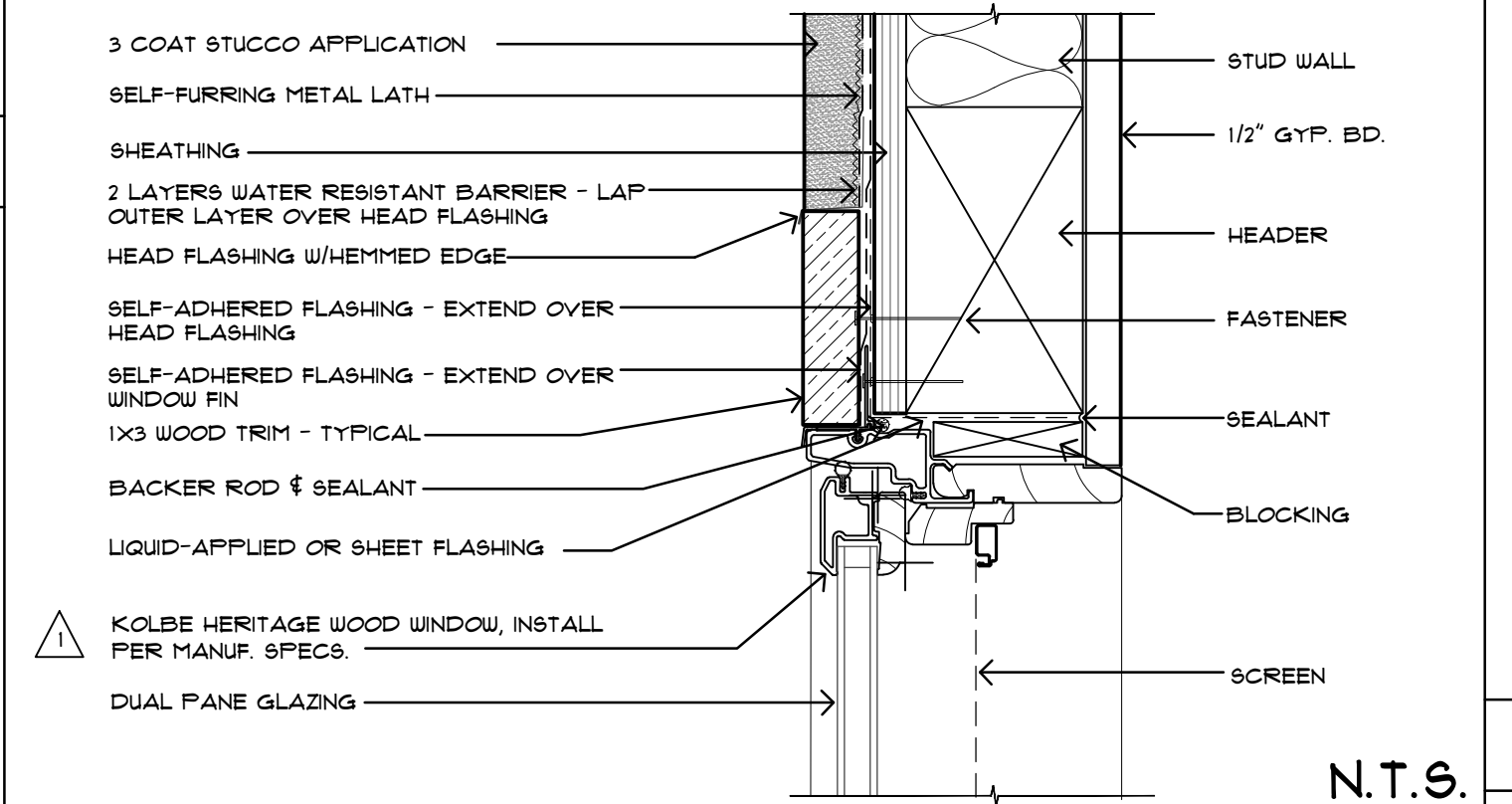
1 ADHERED STONE VENEER APP. & WEEP SCREED DETAIL N.T.S.



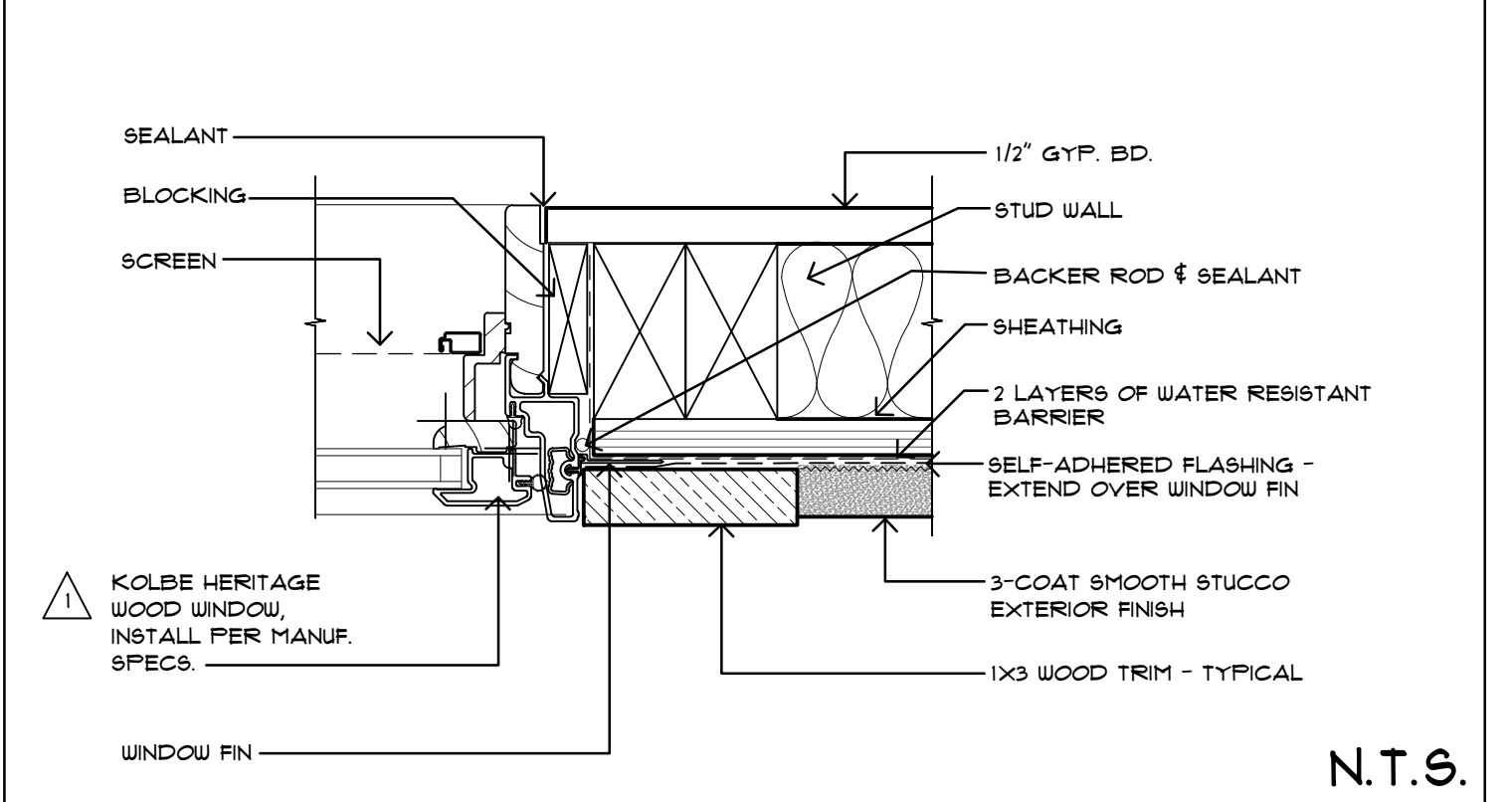
2 STUCCO APPLICATION & WEEP SCREED DETAIL N.T.S.



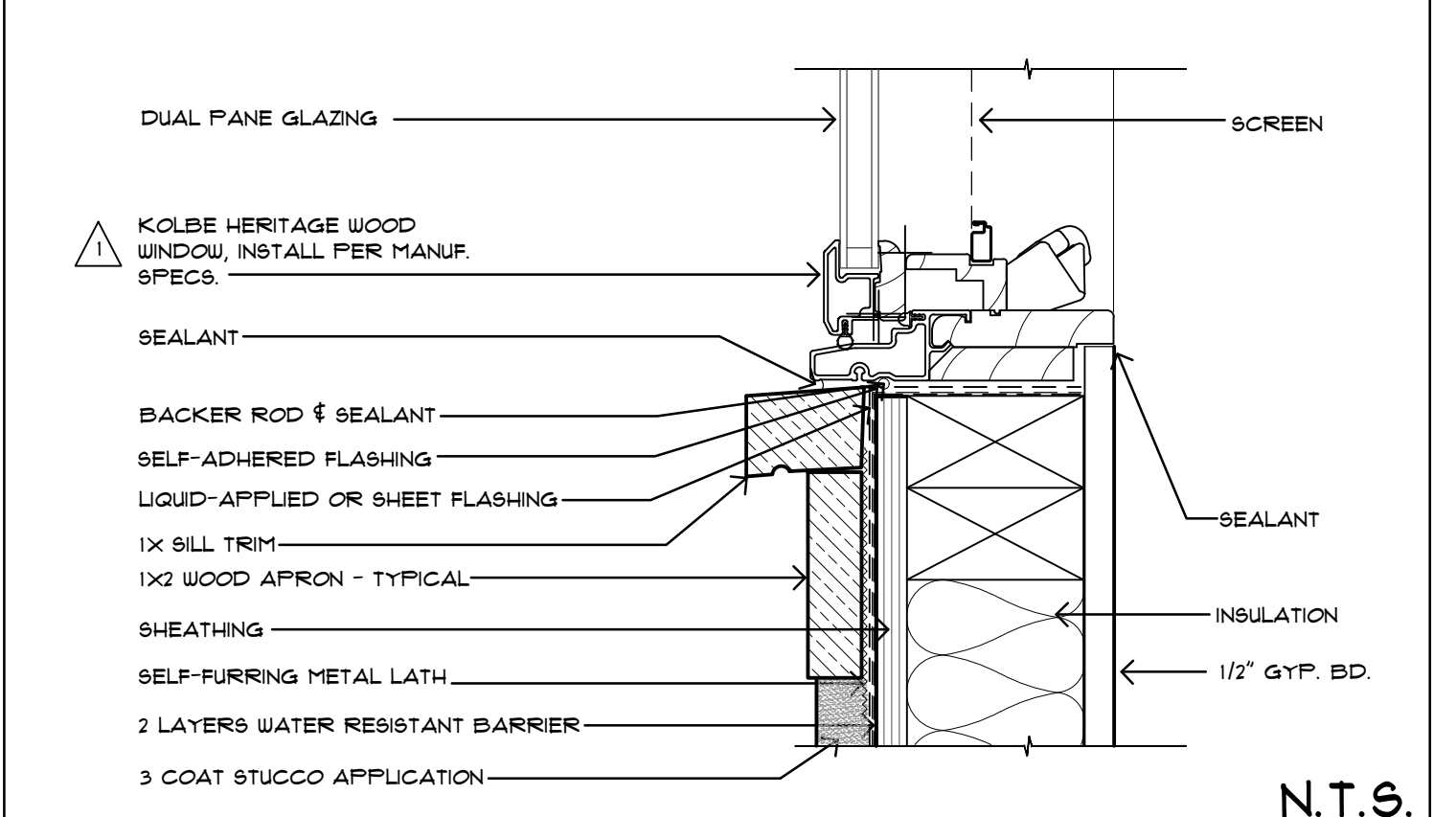
TYPICAL WINDOW FLASHING DETAIL N.T.S.



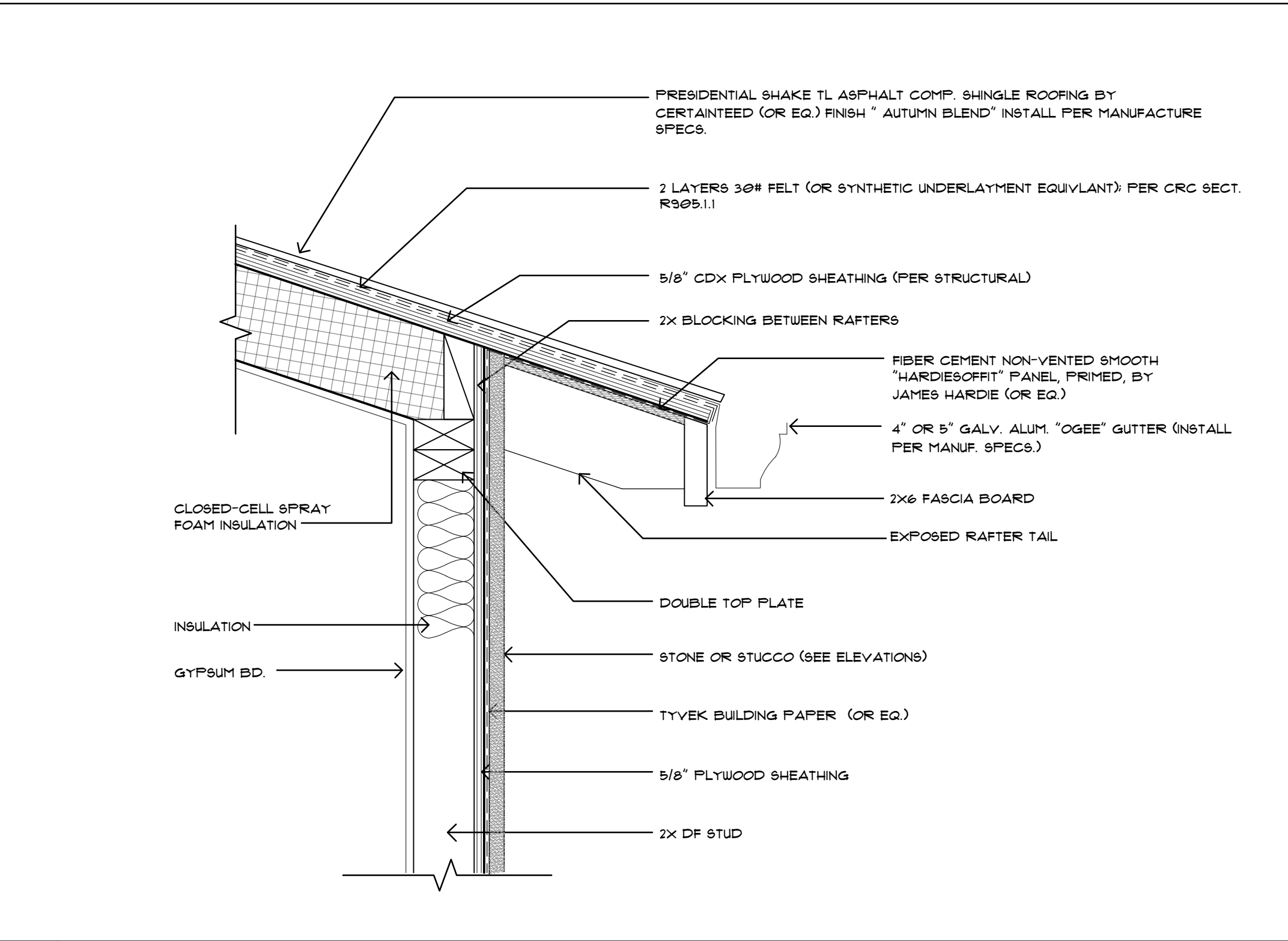
3 WINDOW HEAD DETAIL N.T.S.



4 WINDOW JAMB DETAIL N.T.S.



5 WINDOW SILL DETAIL N.T.S.



6 TYPICAL EAVE DETAIL N.T.S.



PRESIDENTIAL SHAKE

SPECIFICATIONS

- Two-piece laminated fiberglass-based construction
- Distinctive sculpted, rustic look

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance: Please reference www.certainteed.com to determine approved products by manufacturing location.

Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

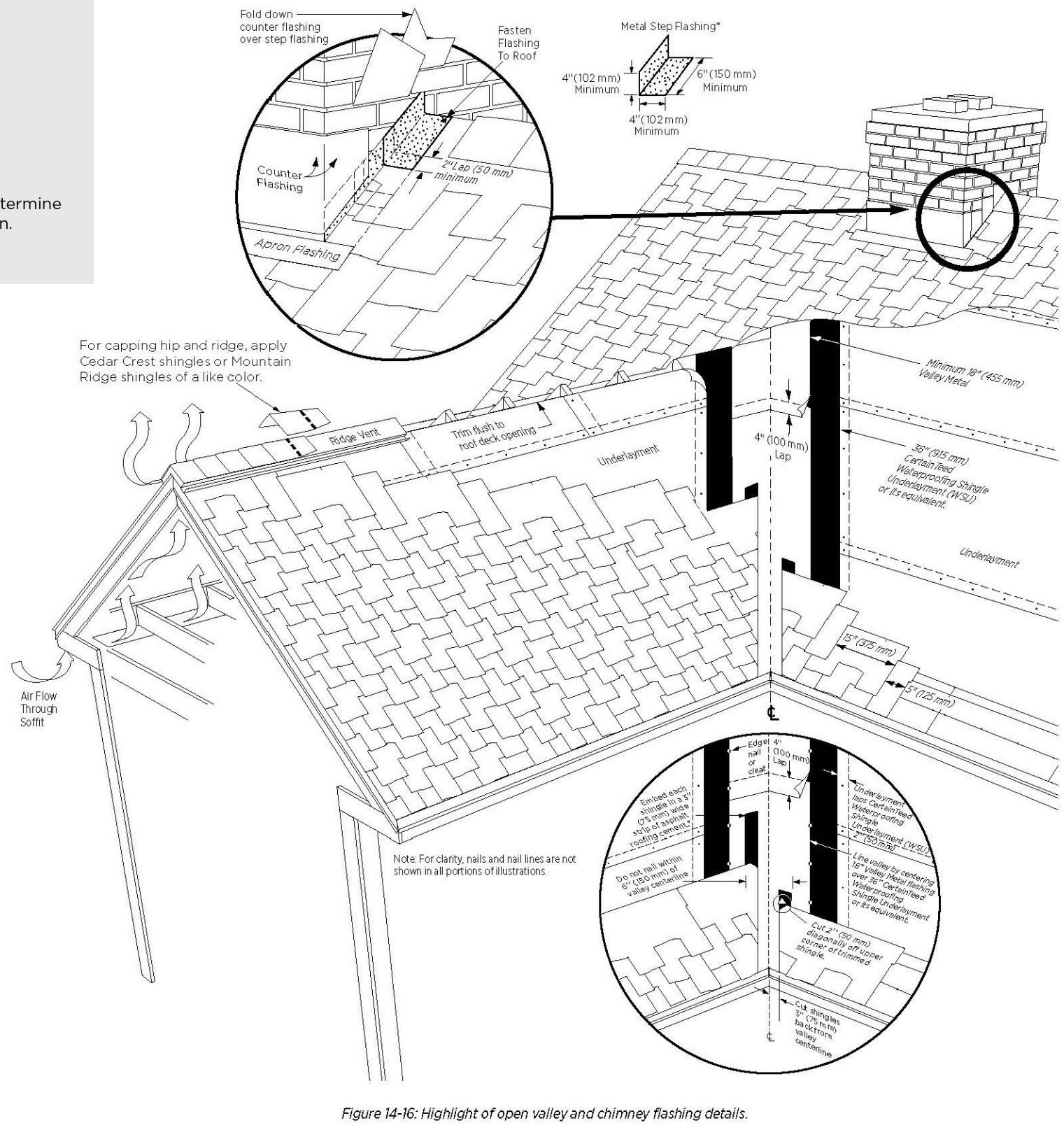
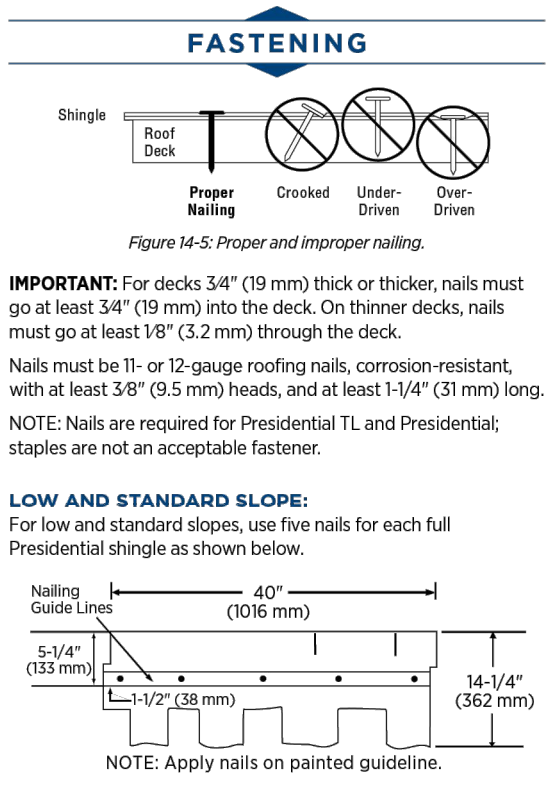
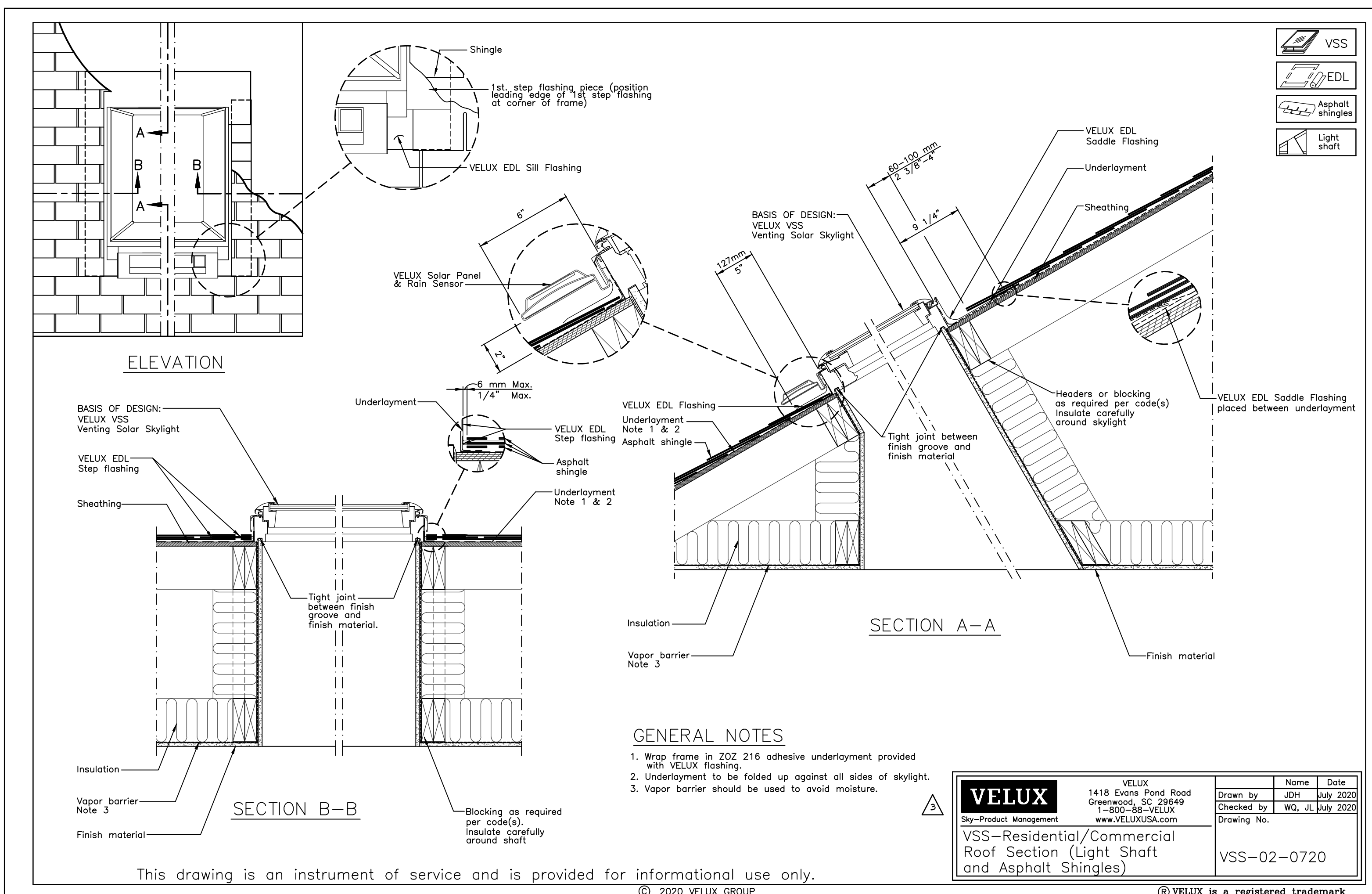


Figure 14-16: Highlight of open valley and chimney flashing details.

7 ROOFING SPECS N.T.S.

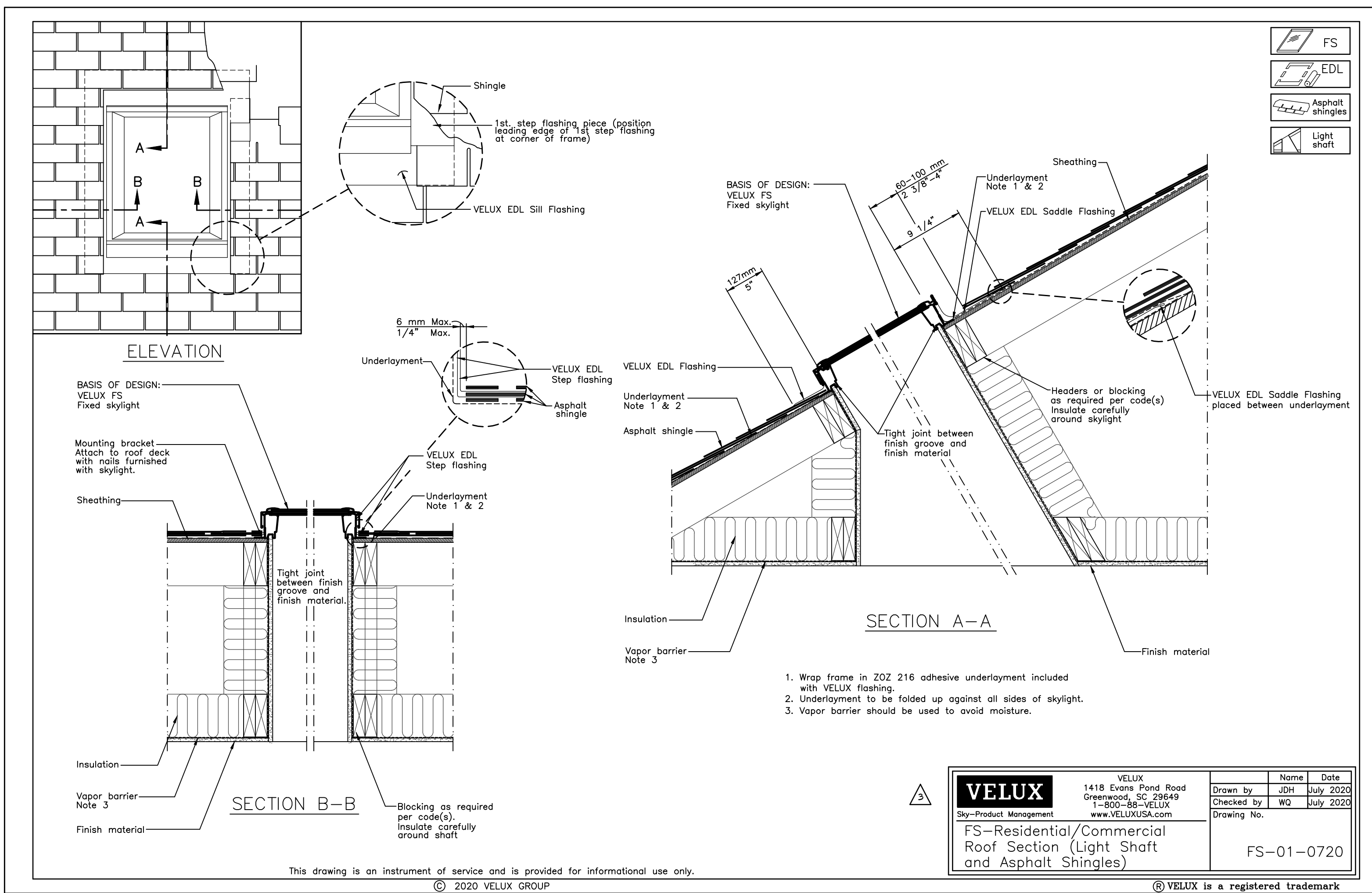
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| Revision/Issue | Date |
|---------------------------|---------|
| 3 DS 22-091 (LHM) HEARING | 1/12/23 |
| | |
| | |
| | |

HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | DESIGN@HASTINGSCONSTRUCTION.COM
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LIC#: 791539 CLASS: A/B

Project: SKYLIGHT DETAILS
Job Title: LIM RESIDENCE
Project Address & APN: CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3



- General Notes: (Cont.)**
- Exterior finish shall be non-reflective
 - Provide required electrical per manufacturers specs for mechanical operation and power operated shades
 - Interior finish to be white
 - Elec. Shade shall be installed

Project: HC21001
Date: 9/12/2024
Drawn By: AAP
Scale: 1/4"=1'-0"

A9

WINDOW SCHEDULE

| WINDOW NUMBER | WINDOW SIZES (APPROX.) | | | TYPE | GLAZING NOTES | REMARKS |
|---------------|------------------------|--------|-------------|--------------------|----------------------|------------------------------------------------------------------------------|
| | WIDTH | HEIGHT | HDR. HEIGHT | | | |
| 1 | 2'-6" | 5'-6" | 8'-0" | CASEMENT | | |
| 2 | 2'-6" | 5'-6" | 8'-0" | CASEMENT | | |
| 3 | 6'-0" | 5'-0" | 8'-6" | FRENCH CASEMENT | TEMPERED | |
| 4 | 1'-4" | 5'-0" | 8'-6" | 45 DEG. BAY WINDOW | | (2) CASEMENT UNITS: 1489 (1) PICTURE UNIT: 3650 (SEE EXTERIOR ELEVATIONS) |
| 5 | 2'-0" | 4'-0" | 1'-0" | CASEMENT | | |
| 6 | 2'-0" | 4'-0" | 1'-0" | CASEMENT | | |
| 7 | 5'-10" | 4'-0" | 1'-0" | 30 DEG. BAY WINDOW | TEMPERED | (3) CASEMENT UNITS: 1850 |
| 8 | 2'-0" | 1'-8" | 6'-4" | AWNING | TEMPERED OBSCURED | |
| 9 | 5'-0" | 3'-6" | 6'-4" | FRENCH CASEMENT | | EGRESS |
| 10 | 2'-0" | 2'-0" | 6'-4" | AWNING | | |
| 11 | 2'-0" | 2'-0" | 6'-4" | AWNING | | |
| 12 | 2'-0" | 2'-0" | 6'-4" | AWNING | | |
| 13 | 4'-0" | 3'-6" | 6'-4" | FRENCH CASEMENT | TEMPERED | EGRESS |
| 14 | 1'-0" | 3'-6" | 6'-4" | 45 DEG. BAY WINDOW | TEMPERED | (2) CASEMENT UNITS: 1436 (1) CASEMENT UNIT: 3036 |
| 15 | 1'-8" | 1'-6" | 6'-4" | FIXED | TEMPERED | |
| 16 | 1'-8" | 1'-6" | 6'-4" | FIXED | TEMPERED | |
| 17 | 1'-8" | 1'-6" | 6'-4" | FIXED | TEMPERED | |
| 18 | 1'-8" | 1'-6" | 6'-4" | FIXED | TEMPERED | |

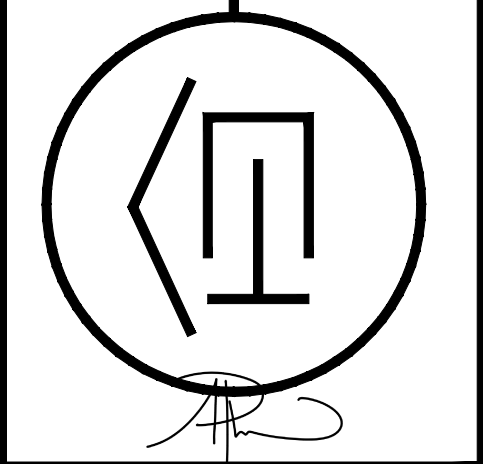
DOOR SCHEDULE

| DOOR NUMBER | SIZE | | | FINISH | | HARDWARE | GLAZING | REMARKS |
|-------------|----------|--------|-------------|-----------------|-----------------------|-------------------------------|-------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | WIDTH | HEIGHT | THICK | INTERIOR | EXTERIOR | | | |
| 1 | 3'-0" | 1'-0" | 1-3/4" | WOOD FIR FINISH | WOOD FIR FINISH | THRESHOLD LOCKSET W/ DEADBOLT | "SEEDY BAROQUE" | ENTRY DOOR BY T.M. COBB #4632, FLAT PANEL, W/FIR FINISH AND "SEEDY BAROQUE" GLAZING; HARDWARE BY Kwikset "AVALON" IN OIL-RUBBED BRONZE FINISH W/SMARTKEY (OR EQUAL) LH SWING |
| 2 | 3'-0" PR | 1'-0" | 1-3/4" | WOOD PRIMED | PAINTED TO MATCH TRIM | *BUILT-IN | TEMPERED | KOLBE HERITAGE OUTSWING FRENCH DOOR PAIR W/OIL-RUBBED BRONZE HARDWARE (OR EQUAL) |
| 3 | 3'-0" PR | 1'-0" | 1-3/4" | WOOD PRIMED | PAINTED TO MATCH TRIM | *BUILT-IN | TEMPERED | KOLBE HERITAGE OUTSWING FRENCH DOOR PAIR W/24" SIDELIGHTS AND 12" TRANSOM ABOVE, W/OIL-RUBBED BRONZE HARDWARE (OR EQUAL) |
| 4 | 3'-0" PR | 6'-8" | 1-3/4" | WOOD PRIMED | WOOD | THRESHOLD KEYED KNOB | N/A | WOOD OUTSWING W/ VENTING FOR HIGH AND LOW COMBUSTION MAKE UP AIR, W/OIL-RUBBED BRONZE HARDWARE (OR EQUAL) |
| 5 | 3'-0" | 6'-8" | 1-3/4" | WOOD PRIMED | WOOD FIR FINISH | THRESHOLD LOCKSET W/ DEADBOLT | OBSCURED TEMPERED | GARAGE MAN-DOOR BY TYCO, FLAT PANEL, W/FIR FINISH AND OBSCURED GLAZING; HARDWARE BY Kwikset "ALISO" KNOB IN OIL-RUBBED BRONZE FINISH (OR EQUAL - FINISH TO MATCH ENTRY DOOR) RH SWING |
| 6 | 9'-0" | 8'-0" | *PER MANUF. | WOOD | WOOD | N/A | CLEAR D98 W/8x12 DIV LT | SECTIONAL GARAGE DOOR BY CLOPLAY "RESERVE WOOD, LIMITED EDITION" COLLECTION, DESIGN #2 WITH REC14 WINDOWS (OR EQUAL- FINISH TO MATCH ENTRY DOOR) |
| 7 | 3'-0" | 1'-0" | TBD | WOOD PRIMED | | THRESHOLD KEYED KNOB | N/A | INTERIOR GARAGE DOOR: RH SWING |
| 8 | 1'-6" PR | 1'-0" | TBD | WOOD PRIMED | | DUMMY W/LATCH | N/A | OUTSWING FAIR - LOUVERED |
| 9 | 2'-4" | 1'-0" | TBD | WOOD PRIMED | | FULL-PRIVACY | N/A | POCKET |
| 10 | 2'-8" | 1'-0" | TBD | WOOD PRIMED | | PRIVACY | N/A | LH SWING |
| 11 | 1'-6" PR | 1'-0" | TBD | WOOD PRIMED | | DUMMY W/LATCH | N/A | OUTSWING FAIR |
| 12 | 2'-0" | 1'-0" | TBD | WOOD PRIMED | | DUMMY W/LATCH | N/A | RRH SWING |
| 13 | 2'-6" | 1'-0" | TBD | WOOD PRIMED | | PRIVACY | N/A | RH SWING |
| 14 | 2'-4" | 1'-0" | TBD | WOOD PRIMED | | PRIVACY | N/A | RRH SWING |
| 15 | 2'-6" | 6'-8" | *PER MANUF. | WOOD PRIMED | PAINTED TO MATCH TRIM | *BUILT-IN | TEMPERED | KOLBE HERITAGE INSWING FRENCH DOORS, W/OIL-RUBBED BRONZE HARDWARE (OR EQUAL) LH SWING |
| 16 | 2'-8" | 6'-8" | TBD | WOOD PRIMED | | PRIVACY | N/A | RH SWING |
| 17 | 1'-6" PR | 6'-8" | TBD | WOOD PRIMED | | DUMMY W/LATCH | N/A | OUTSWING FAIR |
| 18 | 2'-8" | 6'-8" | TBD | WOOD PRIMED | | PRIVACY | N/A | RH SWING |
| 19 | 5'-0" | 6'-8" | TBD | WOOD PRIMED | | FLUSH FULL | N/A | (2) BYPASS DOORS |
| 20 | 2'-4" | 6'-8" | TBD | WOOD PRIMED | | PRIVACY | N/A | LH SWING |

| Revision/Issue | Date |
|----------------------------|---------|
| △ P&A 22-058 (LHM) | 4/20/22 |
| △ D&S 22-051 (LHM) HEARING | 1/12/23 |
| △ D&S 22-051 (LHM) HEARING | 8/14/24 |

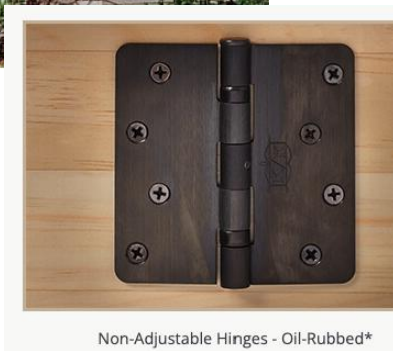
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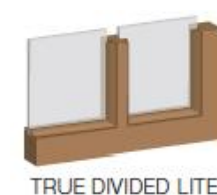


GARAGE DOOR CLOPAY

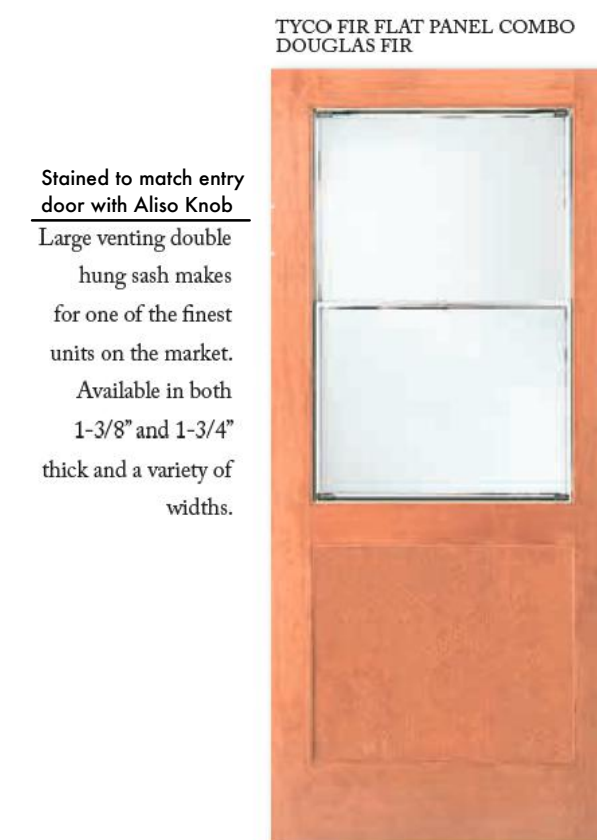
Clopay Garage Door
RESERVE™ WOOD collection
LIMITED EDITION SERIES



Design #2 with REC 14 Windows



GARAGE MAN-DOOR TYCO



Stained to match entry door with Aliso Knob. Large venting double hung sash makes for one of the finest units on the market. Available in both 1-3/8" and 1-3/4" thick and a variety of widths.

ENTRY DOOR T.M. COBB

T.M.COBB
DOORS • WINDOWS • MILLWORK



4632 (Low-E IG) Fir shown in Flat Panel



Drawing Title:
WINDOW & DOOR SCHEDULES

Job Title:
LIM RESIDENCE
Project Address & APN:

CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001
Date:
9/17/2024
Drawn By:
AAP
Scale:
1/4"=1'-0"

Sheet
A10

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△ FRONT ELEVATION - VIEW FROM CASANOVA FACING EAST

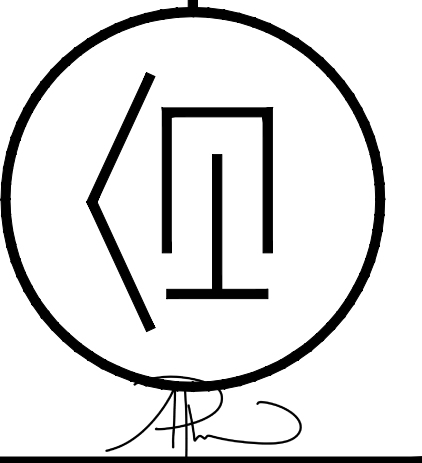


△ REAR ELEVATION - VIEW FACING WEST

| Revision/Issue | Date |
|----------------------------|----------|
| △ D8 22-051 (LHM) COMMENTS | 10/24/22 |
| △ D8 22-051 (LHM) HEARING | 7/12/23 |
| △ D8 22-051 (LHM) HEARING | 8/14/24 |

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Drawing Title:
PROPOSED FRONT ELEVATION - 3D RENDERING

Job Title:
LIM RESIDENCE
 Project Address & APN:
CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001
 Date:
9/18/2024
 Drawn By:
AAP
 Scale:
N.T.S.

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A11



STREETScape - PROPOSED

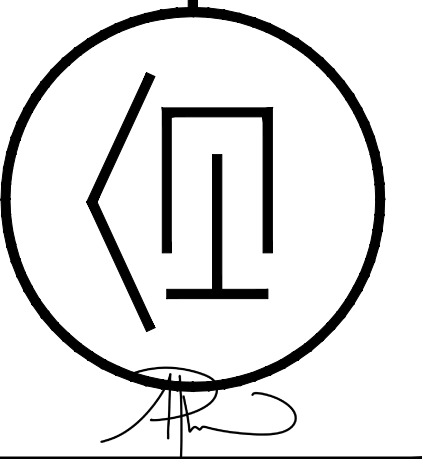


STREETScape - EXISTING

| Revision/Issue | Date |
|----------------------------|----------|
| △ P&A 22-058 (LIM) | 4/20/22 |
| △ DS 22-051 (LIM) COMMENTS | 10/24/22 |
| △ DS 22-051 (LIM) HEARING | 7/12/23 |
| △ DS 22-051 (LIM) HEARING | 8/14/24 |

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 LIC#: 791539 CLASS: A/B



Drawing Title:
STREETScape ELEVATIONS

Job Title:
LIM RESIDENCE
 Project Address & APN:

CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
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 Date:
9/17/2024
 Drawn By:
AAP
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