



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22340

Owner Name: DUNBAR LYNDA N TR

Case Planner: Brandon Swanson, CPB Director

Date Posted: _____

Date Approved: 12/22/2022

Project Location: MISSION NE CORNER AT 3RD

APN #: 010108008000 **BLOCK/LOT:** /

Applicant: Mark Holman

Project Description: Demolition of an existing deck and construction of a new deck with an expanded footprint at the northwest corner of the residence at 3rd Avenue and Mission Street as depicted in plans drawn by Gordon Bartram dated October 4, 2022.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of Design Study (DS 22-340, Dunbar) authorizes the demolition of an existing wood deck and construction of a new wood deck with an expanded footprint at the northwest corner of the residence at 3 rd Avenue and Mission Street as depicted in plans drawn by Gordon Bartram dated October 4, 2022, unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Appeal Period. Approval of this Design Study is subject to the 10-calendar-day notice and appeal period.	✓
4.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
5.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
6.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
7.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall	✓

	<p>govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>	
8.	<p>Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p>	✓
9.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	✓
10.	<p>Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the</p>	✓

	County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
11.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
12.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Standard Landscape Conditions		
13.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to the issuance of a building permit</u> . The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
14.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
15.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.	✓
16.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective 	✓

	<p>nature shall be attached to any tree.</p> <ul style="list-style-type: none">● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree including the drip lines of trees on neighboring parcels.● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	
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Acknowledgment and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

Once signed, please email to kwallace@ci.carmel.ca.us.

GENERAL NOTES

- 1. CONTRACTOR LICENSE:**
The Contractor(s)/Builder(s) performing the work described by these plans and specifications shall be properly and currently licensed during the execution of the project. They shall not perform work outside of the legal scope of their license.
- 2. SCOPE:**
The General Contractor/Builder shall provide and pay for all labor, materials, tools, equipment, machinery, transportation and any other related items necessary for the execution and timely completion of the described work.
- 3. QUALITY CONTROL:**
It is the expressed intention of these plans and specifications to require a high standard of work.
- 4. WARRANTY:**
The General Contractor/Builder Warrants to the Owner that all materials and equipment furnished under their contract will be new unless otherwise specified or agreed upon by the Owner. All work will be of good quality, free from faults and defects and in conformance with the contract drawings and specifications.
- 5. PERMITS:**
Unless otherwise agreed upon, the owner shall pay all permit fees. The General Contractor/Builder shall coordinate and comply with all Inspection Requirements through Final Sign-Off.
- 6. LEASE/NOTICES/CODE COMPLIANCE:**
The General Contractor/Builder shall give all notices and comply with all Laws, Ordinances, Building Codes, Rules, Regulations and Other Lawful Orders of any Public Authority bearing on the performance of the work.
- 7. RESPONSIBILITY:**
The General Contractor/Builder shall be solely responsible for all construction means, methods, techniques, sequences and procedures selected to execute the work. The General Contractor/Builder shall directly coordinate all portions of the work within the scope of their contract.
- 8. SAFETY:**
The General Contractor/Builder shall be responsible for initiating, Maintaining and properly supervising adequate Industry Standard Safety Precautions and Programs in connection with this work and shall adhere to all Federal, State, Local and O.S.H.A. Safety Regulations.
- 9. INSURANCE:**
The General Contractor/Builder shall maintain Liability Insurance to protect against all claims under Workman's Compensation Acts, damages to bodily injury including death, and for any property damages arising out of or resulting from the General Contractor's operations under his contract. The Insurance shall be for liability limits satisfactory to the Owner.
- 10. INDEMNIFICATION:**
The General Contractor/Builder who agrees to perform this work, also agrees to indemnify and hold harmless the Owner and the Designers from and against all consequential Claims, Damages, Losses and/or Expenses including Attorney's Fees, and/or Litigation Costs arising out of or resulting from the performance of the work.
- 11. CLEAN-UP:** The General Contractor/Builder shall keep the premises and site free from accumulation of waste materials during construction.
- 12. PRE-CONSTRUCTION INSPECTION:** The General Contractor/Builder shall visit the site and verify all existing conditions prior to commencing work.
- 13. CONSTRUCTION BRACING AND SHORING:**
The General Contractor/Builder shall be solely responsible for all bracing and shoring required during construction until all related construction is completed.
- 14. SIMILAR CONSTRUCTION:**
Conditions not specifically detailed shall be built to conform with similar construction and/or similar existing conditions.
- 15. DISCREPENCIES:**
The General Contractor/Builder shall verify all dimensions, elevations, materials and conditions prior to starting construction. Any discrepancies shall be addressed and resolved prior to ordering starting construction.
- 16. EMERGENCY ACCESS:**
The General Contractor/Builder shall provide Emergency Access during the construction. The General Contractor shall obtain an 811/DIG alert ticket prior to permit issuance and shall maintain the ticket in active status throughout the project. The ticket shall be kept on-site for Inspector reference.

NEW CONSTRUCTION NOTES

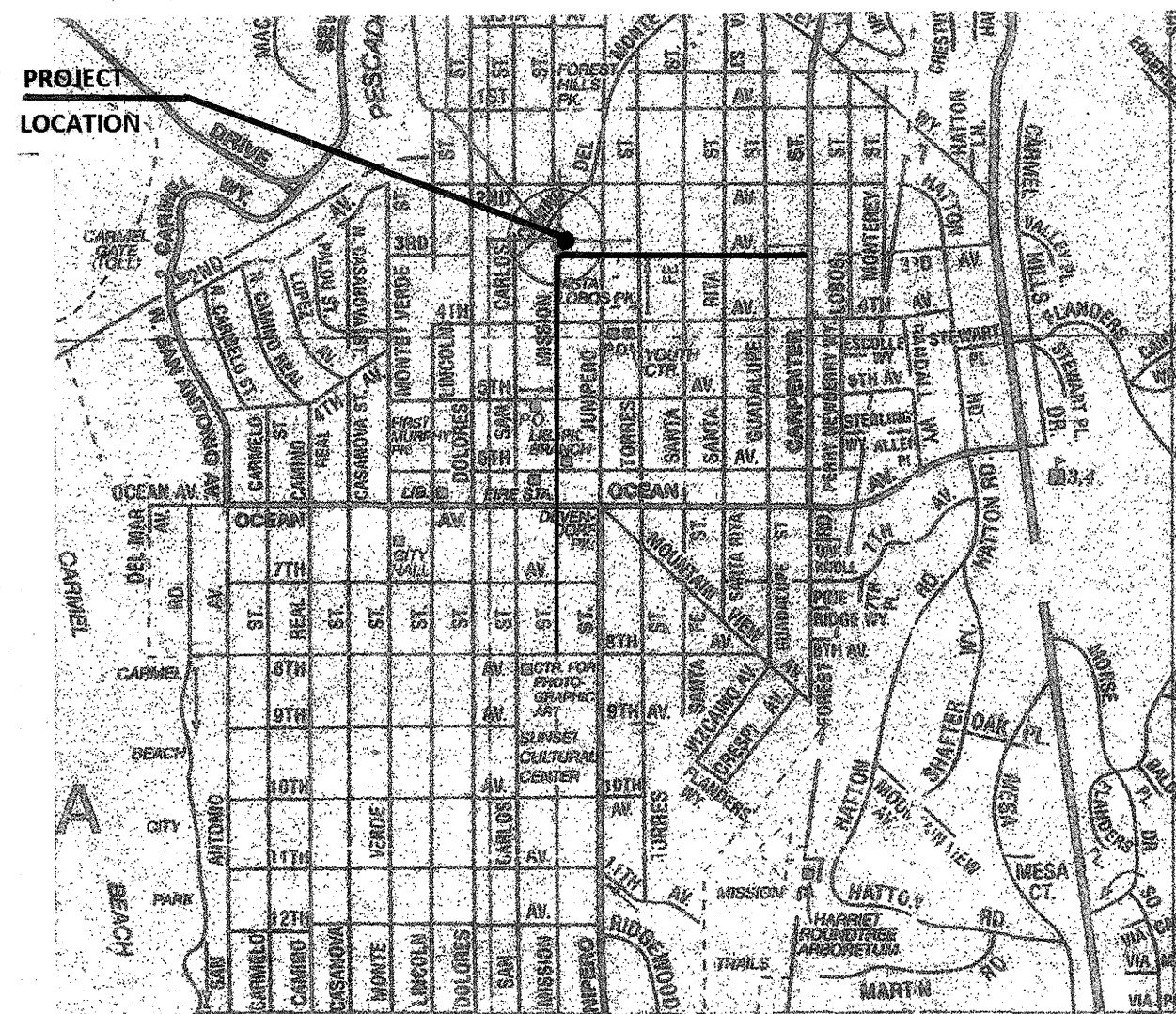
- 1.** This project involves removal of existing construction and replacement with similar, but new construction. The proposed drawings are based on information provided by the Owner and limited field observation. No destructive observations of existing conditions were performed. The General Contractor/Builder shall verify all dimensions, elevations, materials, boundary locations and conditions prior to starting construction, fabrications or ordering of materials. The General Contractor/Builder shall verify proposed plan details with field conditions prior to commencing work.
- 2. CODE COMPLIANCE:**
All construction shall comply with and meet the requirements of:
2019 California Building Code(CBC),
2018 International Building Code (IBC),
2019 California Plumbing Code (CPC),
2019 California Electrical Code (CEC),
2019 California Mechanical Code (CMC),
2019 California Fire Code (CFC),
2019 California Green Building Code (CGBC),
2019 California Energy Code,
2010 Americans with Disabilities Act (ADA)
and any additional Local Codes that may apply.
- 3.** Lumber species and grades shall conform to the following U.O.N.:
maximum moisture content of lumber shall be 19%. All Douglas fir lumber shall be #1 type. Where lumber is exposed to weather and unfinished it shall be pressure treated. Plywood shall be D.F. or better, as noted in documentation, conforming to U.S. Product Standards PS 1-74 with exterior grade glue, Grade Stamped A.P.A.
- 4.** Minimum 65% of the non-hazardous construction or demolition debris shall be recycled and/or salvaged, unless a local construction and demolition waste management ordinance is more stringent.
- 5.** Any and all conditions not specifically detailed shall be built to conform with similar or existing construction.
- 6.** Restore exposed finish of patched areas and extend finish restoration into existing adjoining construction in a manner that will eliminate any visual evidence of patching or connection and refinishing.

SCOPE OF WORK

- 1. NORTH AND WEST PATIO/DECK EXTENSION**
Completely disassemble and remove all aspects of the existing patio/deck beyond the existing Ground Floor Structure. Construct New Deck Structure, integrating it with existing Patio/Deck, as illustrated on the following documents.

LOCATION PLAN

NO SCALE



**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 22-340 (Dunbar)
Date Approved: 12/22/2022
Planner: Katherine Wallace & Brandon Swanson

PROJECT DATA

PROJECT LOCATION
NE 3rd Avenue at Mission Street
Carmel, CA 93921

APN:
010-108-008 Block #27
Carmel By The Sea

OCCUPANCY CLASSIFICATION
R (Single Family Residence)

EXISTING FLOOR AREA
1,707GSF

TYPE OF CONSTRUCTION
VB

NUMBER OF STORIES
2 Stories

PROJECT OWNER
Lynda Dunbar
NE 3rd Avenue at Mission Street
Carmel, CA 93921

DOCUMENT PREPARER
Gordon Bartram
Building Designer / Interior Designer
Contact Info:
gordon_bartram@yahoo.com
Telephone:(310) 409-6632

STRUCTURAL ENGINEER
Mayone Structural Engineering Inc.
187-B El Dorado
Monterey, CA 93940
Contact Info:
Steve Mayone
Email: steve@MayoneStructural.com
Telephone: 831-3724455

GENERAL CONTRACTOR
Mark Holman & Associates
License No. 681339
1919 Pesante, Prunedale, CA
Contact Info:
Email: www.mark19191@CS.com
Telephone: (831) 236-1706

SHEET INDEX

- A-0 COVER SHEET
- C-1 SURVEY INFORMATION
- A-1 EXISTING/PROPOSED PLANS & ELEVATIONS

REVISIONS	BY
10/4/22	CS

DUNBAR RESIDENCE APN: 010 - 108 - 008 BLOCK #27

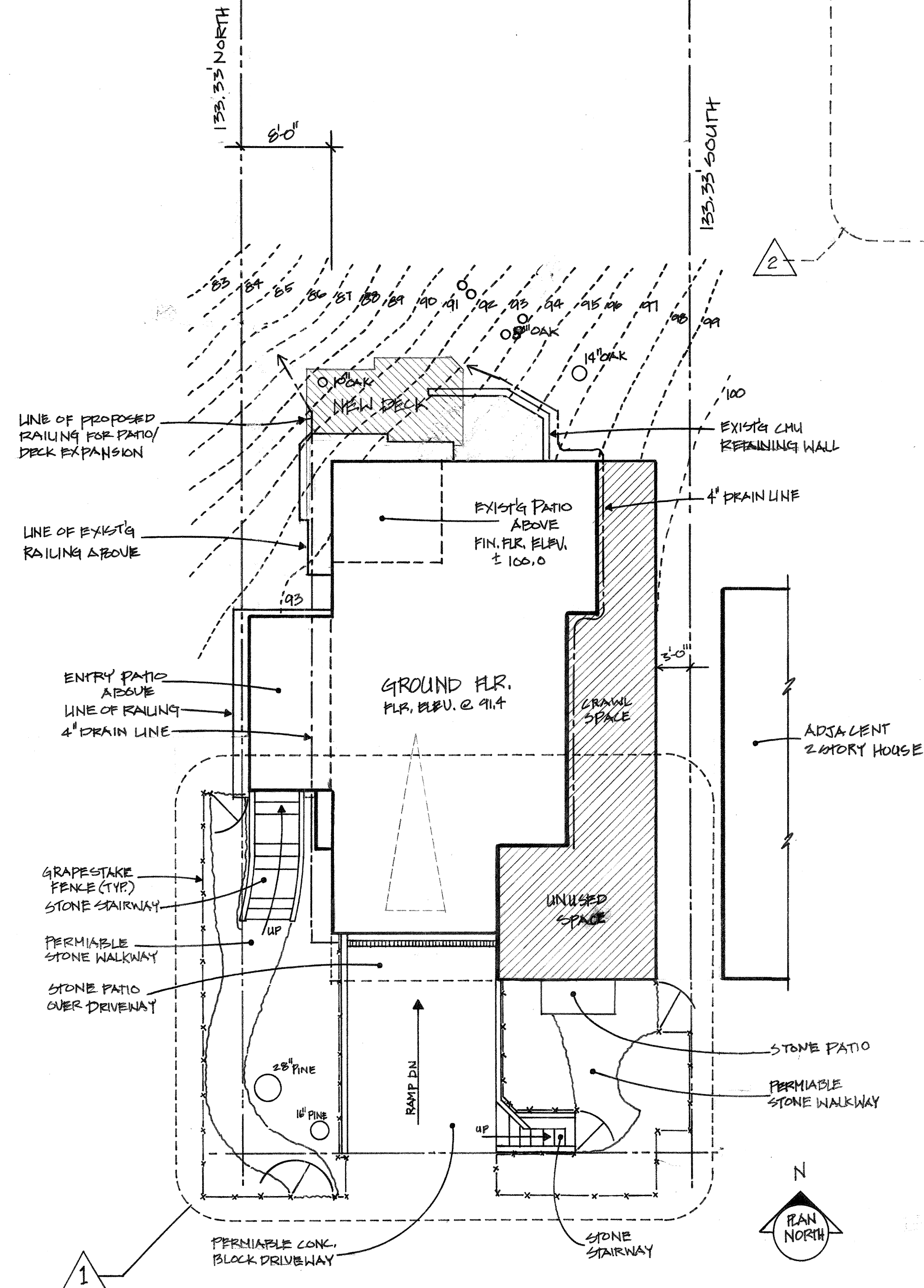
Date	09/09/22
Scale	
Drawn	BARTRAM
Job	DUNBAR
Sheet	A-0

REVISIONS	BY
10/14/22	END
10/19/22	END

NOTE:
All Site Plan information was provided by the Owner from a previously approved Permit Set of Documents dated 04/22/2007 or by way of field measuring.

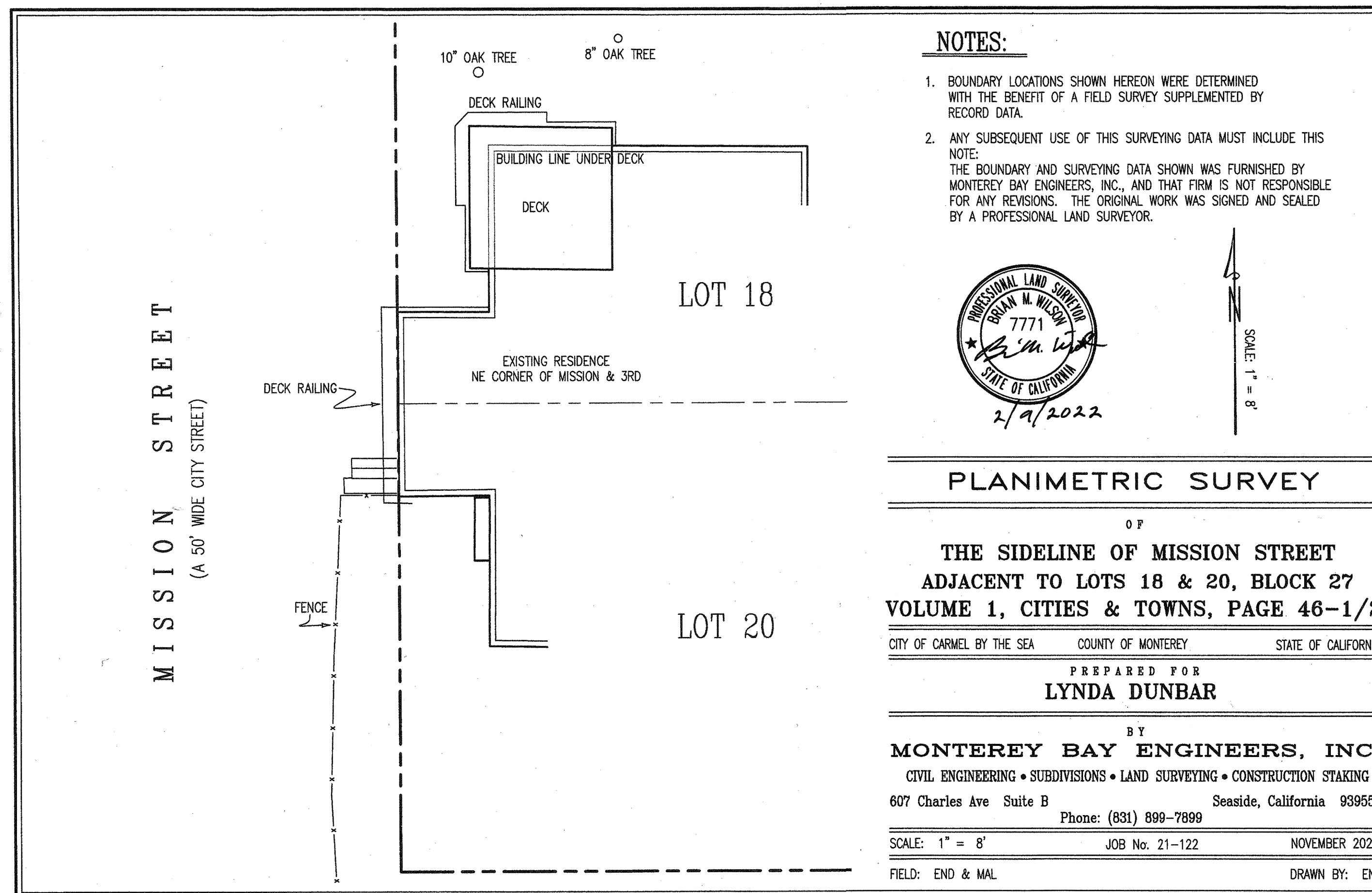
SITE COVERAGE

SITE AREA	5,333.2sf
PERMEABLE AREA	
EXISTING PERMEABLE AREA	
S.W. Entry Walkway	48sf
S. Driveway	247sf
S.E. Upper Walkway	86sf
Existing Permeable Area	Total 381sf
PROPOSED PERMEABLE AREA	
Same as Existing	
Proposed Permeable Area	Total 381sf
IMPERMEABLE AREA	
EXISTING IMPERMEABLE AREA	
S.W. Master Bedroom Patio	20sf
S.W. Stairway up	17sf
W. Entry Stairway up to Entry Patio	44sf
W. Entry Patio	128sf
N.W. Existing Upper Patio Cantilever	34sf
Existing Impermeable Area	Total 243sf
PROPOSED IMPERMEABLE AREA	
EXISTING	
S.W. Master Bedroom Patio	20sf
S.W. Stairway up	17sf
W. Entry Stairway up to Entry Patio	44sf
W. Entry Patio	128sf
N.W. Existing Upper Patio Cantilever	34sf
TO BE ADDED	
N. Upper Patio Extension	84sf
Proposed Impermeable Area	Total 327sf
PROPOSED SITE COVERAGE	TOTAL 708sf



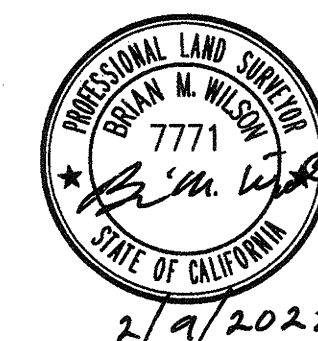
1 SITE PLAN

SCALE: 1/8" = 1'-0"



NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA.
- ANY SUBSEQUENT USE OF THIS SURVEYING DATA MUST INCLUDE THIS NOTE: THE BOUNDARY AND SURVEYING DATA SHOWN WAS FURNISHED BY MONTEREY BAY ENGINEERS, INC., AND THAT FIRM IS NOT RESPONSIBLE FOR ANY REVISIONS. THE ORIGINAL WORK WAS SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR.



PLANIMETRIC SURVEY
OF
THE SIDELINE OF MISSION STREET
ADJACENT TO LOTS 18 & 20, BLOCK 27
VOLUME 1, CITIES & TOWNS, PAGE 46-1/2
CITY OF CARMEL BY THE SEA COUNTY OF MONTEREY STATE OF CALIFORNIA
PREPARED FOR
LYNDA DUNBAR
BY
MONTEREY BAY ENGINEERS, INC.
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
607 Charles Ave Suite B Seaside, California 93955
Phone: (831) 899-7899
SCALE: 1" = 8' JOB No. 21-122 NOVEMBER 2021
FIELD: END & MAL DRAWN BY: END

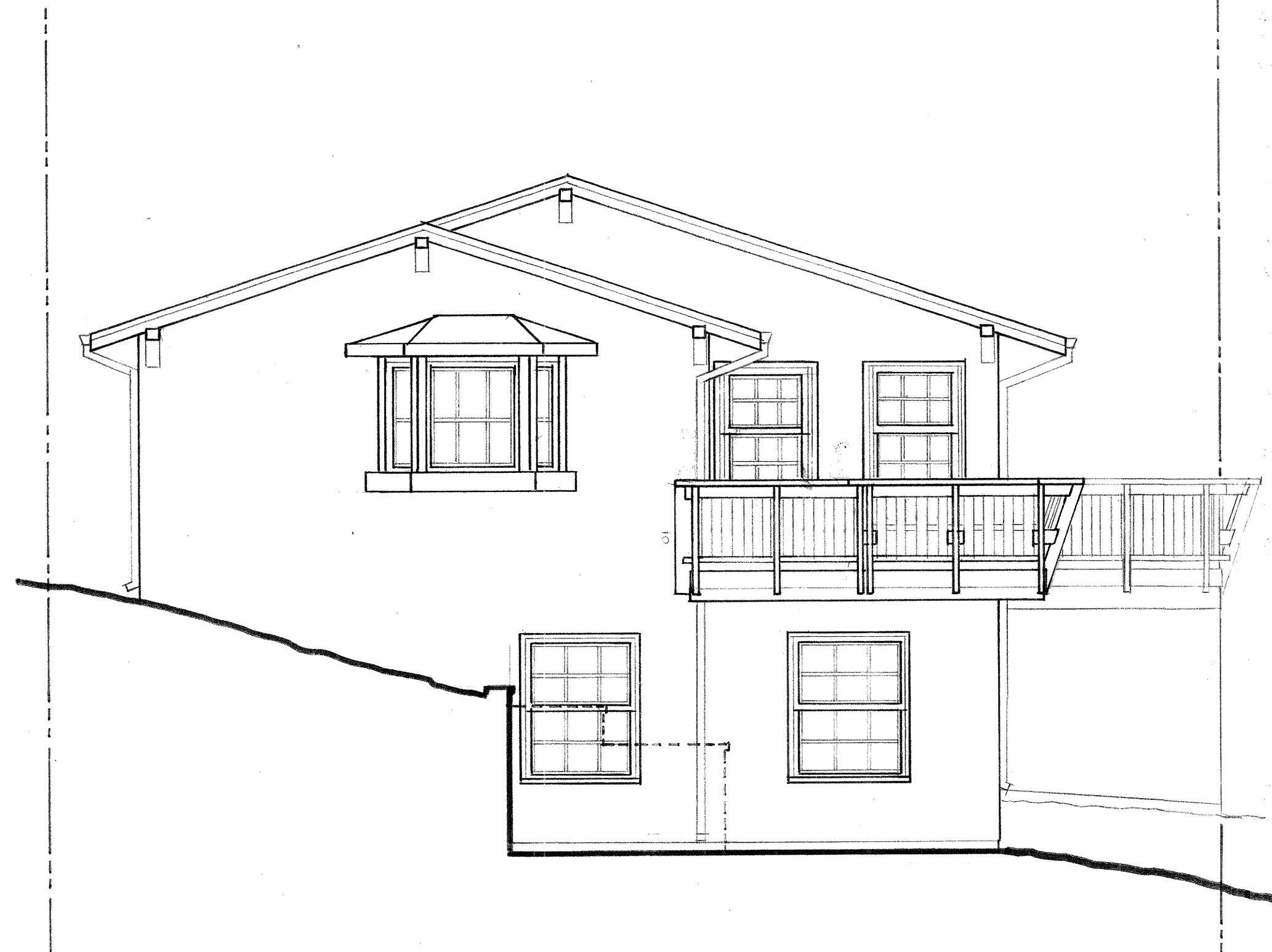
2 PLANIMETRIC SURVEY

SCALE: 1" = 8'-0"

DUNBAR RESIDENCE APN: 010 - 108 - 008 BLOCK #27

Date	09/09/22
Scale	AS NOTED
Drawn	BARTRAM
Job	DUNBAR
Sheet	C-1

REVISIONS	BY
2	10/19/22



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



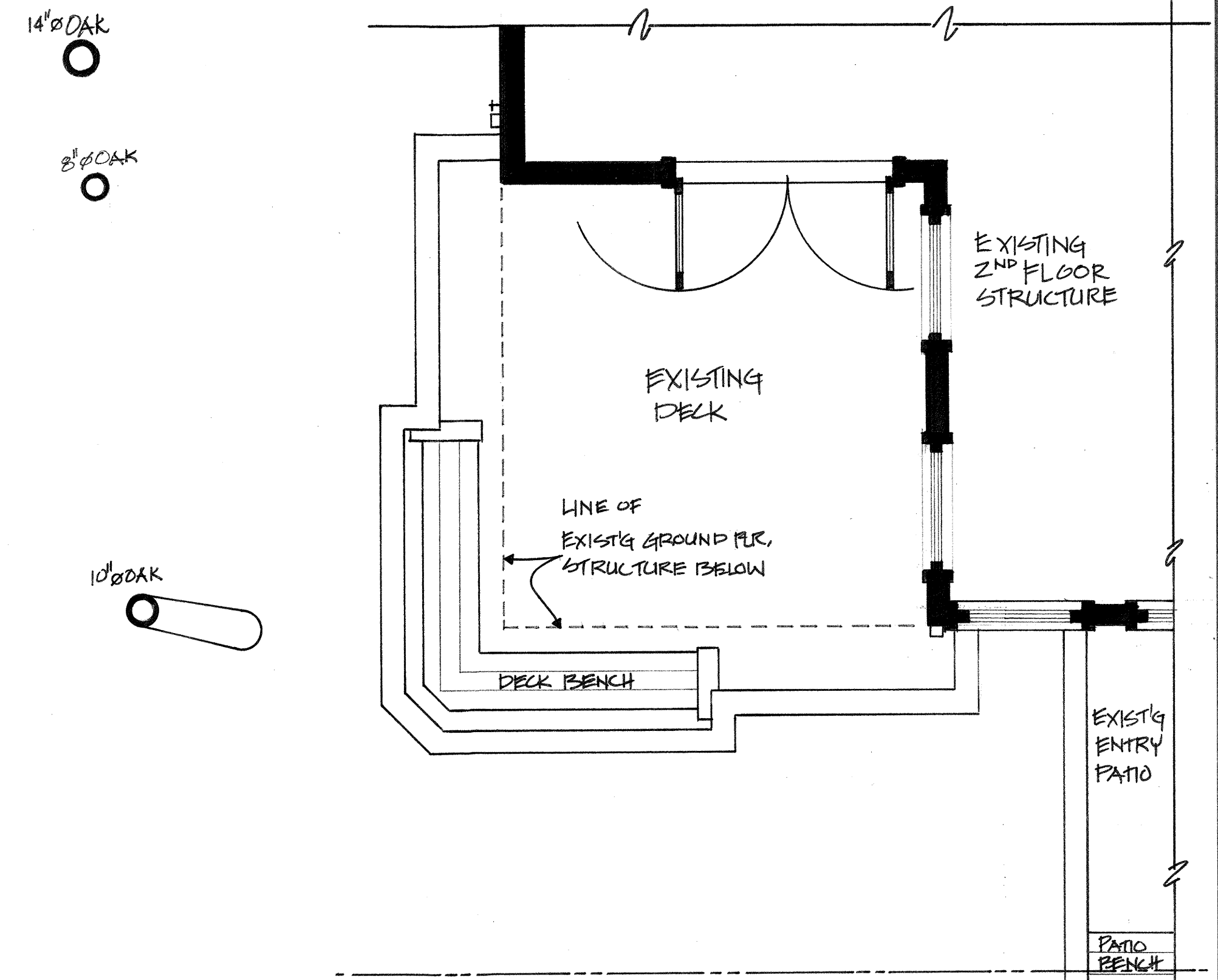
2 EXISTING PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



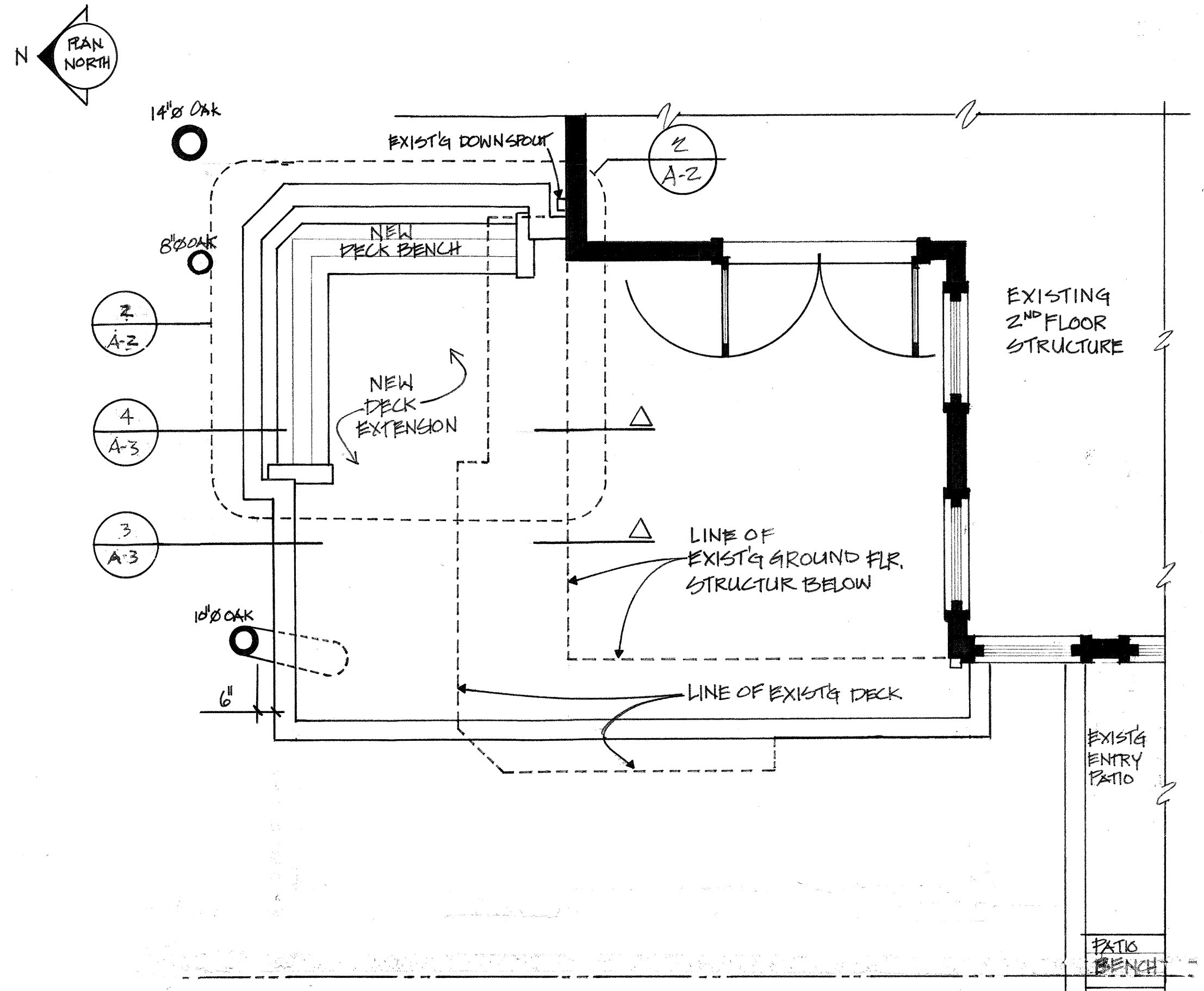
4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



5 PROPOSED PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING PATIO/DECK PLAN
SCALE: 3/8" = 1'-0"



6 PROPOSED PATIO/DECK PLAN
SCALE: 3/8" = 1'-0"

DUNBAR RESIDENCE APN: 010 - 108 - 008 BLOCK #27

Date	09/09/22
Scale	AS NOTED
Drawn	BARTRAM
Job	DUNBAR
Sheet	A-1