



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Review 22319

Owner Name: SCHIAVI KATHLEEN MARIE TR

Case Planner: Evan Kort, Associate Planner

Date Posted: _____

Date Approved: 12/19/2022

Project Location: Lobos St. 3 SE of 3rd Ave.

APN #: 010013010000 **BLOCK/LOT:** 43/5

Applicant: Jason Mehringer

Project Description: This approval of Design Study (DS 22-319, Schiavi) authorizes amendments to existing Design Study Approvals (DS 22-035) for alterations to an existing single-family residence located on Lobos 3 SE 3rd in the Single Family Residential (R-1) District with an active building permit (BP 22-395). The modifications approved under this Design Study include: 1. The removal of a 493 sf portion of an existing gravel driveway and replacement with woodchips; 2. Modifications to the front entry porch; 3. The addition of a new door and landing to the north elevation; 4. Change in exterior light fixture. The project shall be consistent with the plans prepared by Mehringer Construction and Design dated approved by Community Planning & Building Department on December 19, 2022, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No	Standard Conditions	
1.	<p>Authorization. This approval of Design Study (DS 22-319, Schiavi) authorizes amendments to existing Design Study Approvals (DS 22-035) for alterations to an existing single-family residence located on Lobos 3 SE 3rd in the Single Family Residential (R-1) District with an active building permit (BP 22-395). The modifications approved under this Design Study include:</p> <ol style="list-style-type: none"> 1. The removal of a 493 sf portion of an existing gravel driveway and replacement with woodchips; 2. Modifications to the front entry porch; 3. The addition of a new door and landing to the north elevation; 4. Change in exterior light fixture. <p>The project shall be consistent with the plans prepared by Mehringer Construction and Design dated approved by Community Planning & Building Department on December 19, 2022, unless modified by the conditions of approval contained herein.</p>	✓
5.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.</p>	✓
6.	<p>Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>	✓
7.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.</p>	✓
8.	<p>Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).</p>	✓
9.	<p>Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)</p>	✓
10.	<p>Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either</p>	✓

	the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
11.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
12.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
13.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. 	✓

	<ul style="list-style-type: none"> If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. 	
14.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
15.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
SPECIAL CONDITIONS		
22.	Building Permit Revision. A revision to BP 22-395 shall be obtained prior to commencement of work.	✓
16.	Prior Conditions of Approval. All conditions of approval of the previous Design Study approvals shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval. Further, the previous approval remains in full force and effect unless otherwise modified by this action.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please email to ekort@ci.carmel.ca.us.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study (DS 22-035, Schwiv) authorizes alterations to an existing single-family residence located on Lobos 3 SE 3rd in the Single Family Residential (R-1) District. The proposed modifications include: replacing all windows with dual pane aluminum clad, adding 11 2' x 4' skylight on the north elevation, the addition of Carnel stone wainscoting, porch steps, & fireplace veneer, the addition of dormer vents to roof at living room and garage, new exterior paint ("Outerbanks" by Sherwin Williams body with gray trim), and the installation of a new garage door. The project shall be consistent with the plans prepared by Mehlinger Construction & Design dated approved by Community Planning & Building Department on March 31, 2022, unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.
5.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodelled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees (CMC 15.36.020).
6.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 3-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.133).
7.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.

8.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
9.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the drip-line of all trees prior to the issuance of a building permit.	✓
10.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. Excavation within 6 feet of a tree trunk is not permitted. No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. Per Municipal Code Chapter 17.48.110 no material may be stored within the drip-line of a protected tree to include the drip lines of trees on neighboring parcels. Tree Protection Zone -- The Tree Protection Zone shall be equal to drip-line or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. 	✓
	Structural Root Zone - Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4'5" above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. <ul style="list-style-type: none"> If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. 	✓

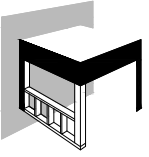
11.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e., 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
12.	Skylights & Skylight Shades. The applicant shall submit product information for the skylights and skylight shades prior to issuance of a building permit. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.	✓
13.	Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry pattern shall be clearly identified in the construction drawings submitted with the building permit application.	✓
14.	Aluminum-Clad Wood Frame Windows and Doors. The applicant shall submit product information for the aluminum-clad wood windows and doors prior to issuance of a building permit. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.	✓
15.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability, and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
16.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if	✓

	human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
17.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
18.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
19.	Conditions of Approval. All conditions of approval for the Planning permits shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
SPECIAL CONDITIONS		
20.	Alternative Light Fixture. According to the manufacturer's specifications listed on their website, the light fixture (listed on Sheet E1.0 of the approved project plans) and an output of 695 lumens. An alternative light fixture shall be selected that complies with Condition of Approval #11.	✓
21.	Historic Determination. Should the associated Preliminary Determination of Historic Ineligibility (HE 22-045), issued on March 30, 2022, be appealed (appeal period end at 5:00 PM on Monday, April 11, 2022), no building permit shall be issued until a final determination has been made that the site is ineligible for listing on the Carnel Inventory of Historic Resources. If an appeal is made and the resolution of the appeal is that the site is listed on the Historic Inventory, and the site is listed on for, listing for listing on the City, this approval shall be void and the project shall be reconsidered for consistency with CMC 17.32, Historic Preservation.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature Printed Name Date

Once signed, please email to ekort@ci.carmel.ca.us.



**MEHLINGER
CONSTRUCTION
& DESIGN**

ADDRESS 481 WALTON ST #6
MONTEREY CA 93940
LICENSE 893553
PHONE 831-760-0275
EMAIL MehlingerDesign@gmail.com

**LOBOS COTTAGE
REMODEL**

ADDRESS 1808S ST 3 SE OF 3RD AVE.
CARMEL BY THE SEA CA 93923
APN 010-013-010
OWNER KATHY SCHWIV
PHONE 970-648-4419
EMAIL jschwiv@ci.carmel.ca.us

PROPERTY SIGNATURE

04/30/22

APPROVED

12/19/2022

City of Carmel-by-the-Sea
Planning & Building Dept.

APPROVAL CONDITIONS

ISSUED BY: JASON MEHLINGER

MARK	PHASE	DATE
	DS APPLICATION	01-28-22
	DS APP REV	03-11-22
	BP APPLICATION	05-04-22
▲	BP PLAN CHECK	06-14-22
▲	FIELD REVISION	08-24-22
▲	FIELD REVISION	09-29-22

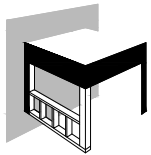
PROJECT NUMBER

GO.1



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

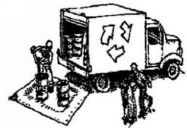


MEHRINGER CONSTRUCTION & DESIGN

ADDRESS: 463 WALTON ST #6
MONTEREY CA 93940
LICENSE: 893553
PHONE: 831-760-0275
EMAIL: MehringnerDesign@gmail.com

LOBOS COTTAGE REMODEL

ADDRESS: LOBOS ST 3 SE OF 3RD AVE.
CARMEL BY THE SEA CA 93923
APN: 010-013-010
OWNER: KATHY SCHAVAN
PHONE: 970-948-4419
EMAIL: kathyrschav@gmail.com



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

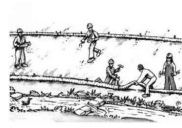
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.

- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.

- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

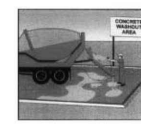


PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
- If sawcut slurry enters a catch basin, clean it up immediately.



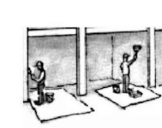
CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



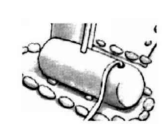
PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

APPROVED

12/19/2022

City of Carmel-by-the-Sea
Planning & Building Dept.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

BMP SHEET		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DS APPLICATION	01-28-22
	DS APP REV	03-11-22
	BP APPLICATION	05-04-22
	BP PLAN CHECK	06-14-22
	FIELD REVISION	08-24-22
	FIELD REVISION	09-29-22

G0.2

EROSION AND SEDIMENT CONTROL

EROSION & SEDIMENT CONTROL GENERAL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - 1.1. PROVIDE EQUIPMENT AND HANDOVER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
 - 1.2. COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - 1.3. KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - 1.4. LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITES AS SOON AS CONSTRUCTION IS COMPLETE.
 - 1.5. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
 - 1.6. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STEEPS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
 - 1.7. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF VEGETATION, BARELY OR SOME OTHER FAST GERMINATING SEEDS.
 - 1.8. DURING WINTER OPERATIONS (BEFORE OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - 1.8.1. VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES FOR MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - 1.8.2. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.

- 5.3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- 5.4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 5.5. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 5.6. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 168.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SITUATION OF WATER COURSES OR UNCONTROLLED EROSION.

GOOD SITE MANAGEMENT "HOUSEKEEPING"

1. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT, GRADING OPERATIONS, AND STOCKPILING OF MATERIALS. DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL THE AIR DEPOSITION OF SITE MATERIALS AND FROM SITE OPERATIONS. SUCH PARTICULATES CAN INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT, NUTRIENTS, TRASH, METALS, BACTERIA, OIL, GREASE AND ORGANICS.

WASTE MANAGEMENT POLLUTION CONTROL

1. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM.
2. THE DISCHARGER SHALL ENSURE THE CONTAINMENT OF SANITATION FACILITIES (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECLAIMING WATER. THE SANITATION FACILITIES SHALL BE CLEANED, REPLACED, AND INSPECTED REGULARLY FOR LEAKS AND SPILLS. SECONDARY CONTAINMENT ON SANITATION FACILITIES MUST BE PROVIDED.
3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT. NO DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECLAIMING WATER SHALL BE ALLOWED.
4. STOCKPILED MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
5. PROCEDURES SHALL BE DEVELOPED THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.

6. CONCRETE WASHOUT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS. SEE DETAIL THIS PAGE.
7. DISCHARGERS SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK INTO THE GROUND, STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES SHALL BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs. LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY.
8. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES. SPECIAL NOTE SHALL BE MADE OF MATERIALS AND WASTES WITH SPECIAL HANDLING OR DISPOSAL REQUIREMENTS, SUCH AS LEAD CONTAMINATED SOILS, CONCRETE SAW CUTTING LIQUIDS, WASTE CHEMICALS AND EMPTY CHEMICAL CONTAINERS. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S STORAGE AND HANDLING RECOMMENDATIONS AND FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS, WHERE POSSIBLE. CONTRACTOR SHALL USE SAFER AND LESS POLLUTING PRODUCTS.

EROSION CONTROL (SOIL STABILIZATION)

1. SUFFICIENT EROSION CONTROL MATERIALS WILL BE MAINTAINED ON SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT BEFORE THE ONSET OF RAIN. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR REACTIVE AREAS (MORE THAN 14 DAYS UNDISTURBED) AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS.
2. DISCHARGERS SHALL LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, THE DISCHARGER SHALL CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION.
3. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.

SEDIMENT CONTROL

1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT THE DURATION OF THE PROJECT. TO ALLOW MAINTENANCE OF TEMPORARY SEDIMENT CONTROLS IN THE EVENT OF PREDICTED RAIN AND FOR RAPID RESPONSE TO FAILURE OR EMERGENCIES. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
2. DISCHARGERS SHALL EFFECTIVELY MANAGE ALL RUN-ON. ALL RUNOFF WITHIN THE SITE AND ALL RUNOFF THAT DISCHARGES OFF THE SITE. RUN-ON FROM OFF-SITE SHALL BE DIRECTED AWAY FROM ALL DISTURBED AREAS OR SHALL COLLECTIVELY BE IN COMPLIANCE WITH THE EFFLUENT LIMITATION OF THIS PERMIT.

4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE, FACE OF THE SLOPE, AND AT THE GRADE BREAKS OF EXPOSED SLOPES.
5. DISCHARGERS SHALL ENSURE THAT CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT IS LIMITED TO ENTRANCES AND EXITS THAT EMPLOY EFFECTIVE CONTROLS TO PREVENT OFFSITE TRACKING OF SEDIMENT.
6. DISCHARGERS SHALL ENSURE THAT ALL STORM DRAIN INLETS AND PERIMETER CONTROLS, RUNOFF CONTROL BMPs, AND POLLUTANT CONTROLS AT ENTRANCES AND EXITS (E.G. THE WASH OFF LOCATIONS) ARE MAINTAINED AND PROTECTED FROM ACTIVITIES THAT REDUCE THEIR EFFECTIVENESS.
7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS ALL IMMEDIATE ACCESS ROADS DAILY.
8. AT A MINIMUM DAILY (WHEN NECESSARY AND PRIOR TO ANY RAIN EVENT), THE DISCHARGER SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS BY MULCHING OR SWEEPING (NOT BY HOSED OR WASHED WAYS).

TRACKING CONTROL

1. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT. AT ALL ACCESS (INGRESS/EGRESS) POINTS TO THE PROJECT SITE, WARE VEHICLES AND/OR EQUIPMENT MAY TRACK SEDIMENT FROM THE CONSTRUCTION SITE ONTO PUBLIC OR PRIVATE ROADWAYS.

WIND EROSION CONTROL

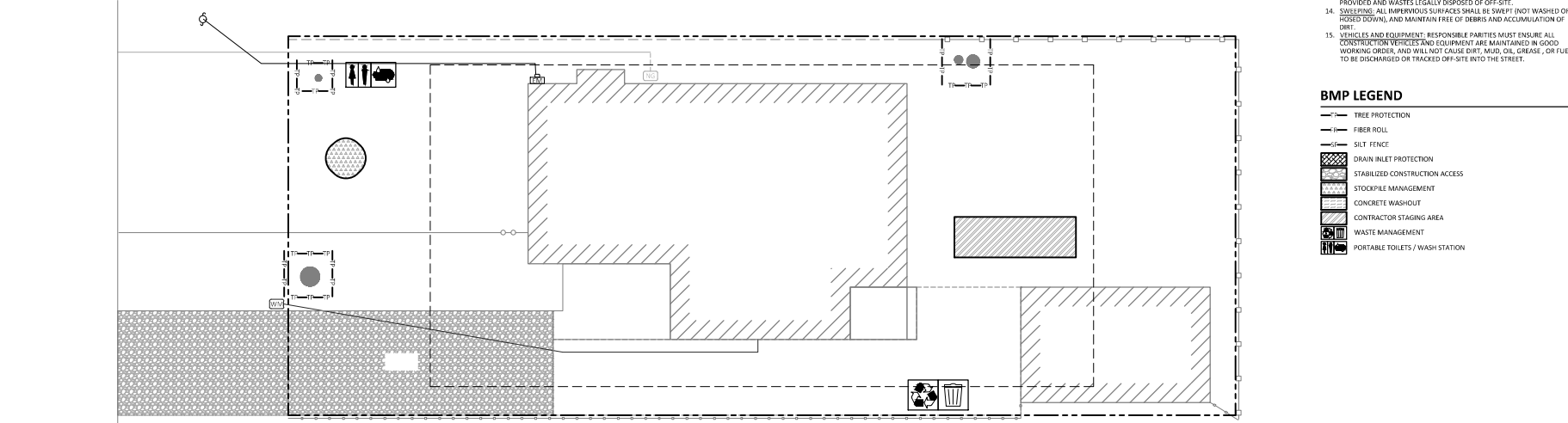
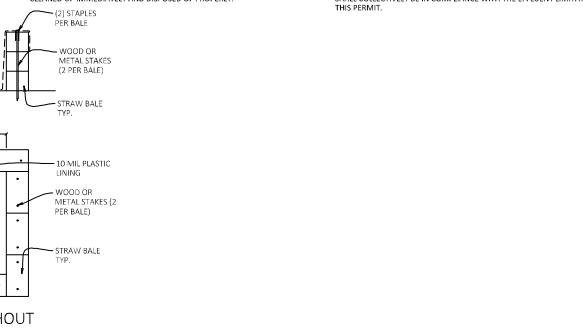
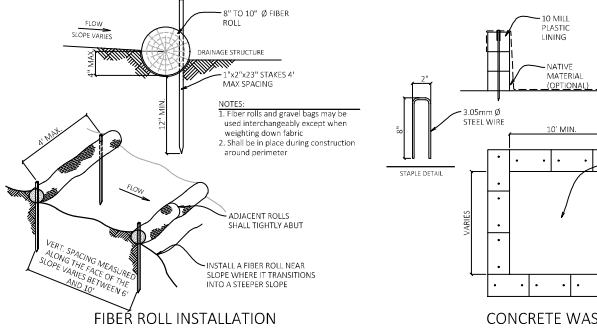
1. WIND EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT ON ALL DISTURBED SOILS ON THE PROJECT SITE THAT ARE SUBJECT TO WIND EROSION, AND WHEN SIGNIFICANT WIND AND DRY CONDITIONS ARE ANTICIPATED DURING PROJECT CONSTRUCTION. THE OBJECTIVE OF WIND CONTROLS IS TO PREVENT THE TRANSPORT OF SOIL FROM DISTURBED AREAS OF THE PROJECT SITE BY WIND.

NON-STORMWATER MANAGEMENT POLLUTION CONTROL

1. NON-STORM WATER DISCHARGES CONSIST OF ALL DISCHARGES FROM A MUNICIPAL STORM WATER CONVEYANCE, WHICH DO NOT ORIGINATE FROM PRECIPITATION EVENTS (I.E., ALL DISCHARGES FROM A CONVEYANCE SYSTEM OTHER THAN STORM WATERS).
2. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORM WATER DISCHARGES DURING CONSTRUCTION.
3. DISCHARGERS SHALL WASH VEHICLES IN SUCH A MANNER AS TO PREVENT NON-STORM WATER DISCHARGES.
4. DISCHARGERS SHALL CLEAN STREETS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED NON-STORM WATER DISCHARGES.

BEST MANAGEMENT PRACTICES

1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG FIBERROLL SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPES OF EXPOSED SOIL AREAS, AND TO DESIGNATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAFFED (STAKES SPACED MAX. 4' ON CENTER). INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH PERIMETER CONTROLS AND SUBGRADE EXTERIOR SLOPE WITH GEOTEXTILE OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER. SEE DETAIL. INSPECT ALL INLET PROTECTION WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STORM WATER RETENTION BASINS OF SUFFICIENT SCALE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
4. BARRIER SYSTEM: WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLAPSE PROTECTIVE CURB, GUTTER OR SIMILAR DISPOSAL METHOD. WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATERSHED OR OTHER METHOD PROVIDED BY THE ENGINEERING AGENCY.
5. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF ANY MOVING OPERATIONS IF NECESSARY FOR THIS APPLICATION. SEE DETAIL. INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SUPERNOID ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BAGG CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE CONCRETE WASHOUT WASHOUT MATS TO BE MAINTAINED AT A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES.
7. CONCRETE WASHOUT: WASHOUT MATS SHALL BE MAINTAINED AT A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. WASHOUT MATS USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND DISPOSED OF PROPERLY.
8. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE CREATED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE COVERED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED IN THEIR ORIGINAL CONTAINERS OR STRUCTURES OR STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DUMP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
9. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC REEFERENCING; ADD SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRAIN LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
10. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIALLY QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). KINCHING FABRIC SHALL BE KEPT TIGHT TO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
11. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 0.275/ YD². BAGS SHALL BE A MINIMUM OF 12" (LONG) X 12" (WIDE) X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 8 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
12. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED TO DRAIN DRAIN INLETS OR DRAINAGE SYSTEMS.
13. SANITATION/SPILL WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WARE/MAINTENANCE SHALL BE PROVIDED AND WASTES LOCALLY DISPOSED OF OFF-SITE.
14. SWEEPING: ALL IMPERVIOUS SURFACES SHALL BE SWEEP (NOT WASHED OR HOSED DOWN), AND MAINWAY FREE OF DEBRIS AND ACCUMULATION OF DIRT.
15. VEHICLES AND EQUIPMENT: RESPONSIBLE PARTIES MUST ENSURE ALL CONSTRUCTION VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, AND WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET.



BMP LEGEND

- TREE PROTECTION
- FIBER ROLL
- SILT FENCE
- DRAIN INLET PROTECTION
- STABILIZED CONSTRUCTION ACCESS
- STOCKPILE MANAGEMENT
- CONCRETE WASHOUT
- CONTRACTOR STAGING AREA
- WASTE MANAGEMENT
- PORTABLE TOILETS / WASH STATION

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LOBOS COTTAGE REMODEL

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APN: 010-03-010
OWNER: KATHY SCHWAB
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EMAIL: jkaufinger@gmail.com

DATE: 09/30/22

APPROVED

12/19/2022

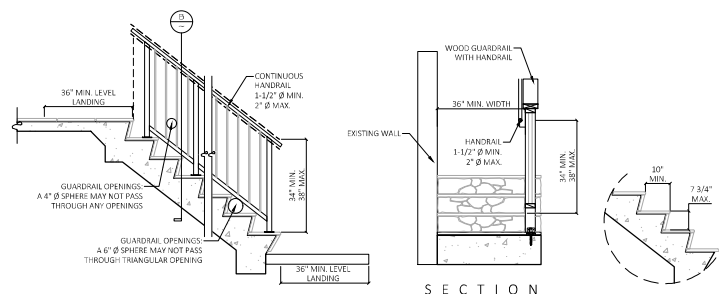
City of Carmel-by-the-Sea
Planning & Building Dept.

CONST. MANAGEMENT

DATE: 09/28/22

BY: JASON MEHRINGER

MARK	PHASE	DATE
DS	APPLICATION	01-28-22
DS	APP REV	03-11-22
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A TYP. EXTERIOR PORCH STAIRS
SCALE: 1/2" = 1'-0"

UNDER-FLOOR VENT CALCULATION

LOCATION	CRAWL SPACE AREA (SF)	REQ. VENT AREA (x130 SF)	REQ. VENTS
MAIN FLR.	927 SF	6.2 SF	
VENT INFORMATION			
TYPE	DIMENSION	NET FREE AREA (SF)	QTY.
JOIST VENT	8" x 16"	0.49 SF	13
		TOTAL NET FREE AREA	6.37000

SITE COVERAGE TABLE

LOCATION	AREA IN SF
[E] FRONT STONE PORCH (IMPERVIOUS)	93 SF
[E] REAR STONE PORCH (IMPERVIOUS)	88 SF
[E] GRAVEL DRIVEWAY (PERMEABLE)	800 SF
GRAVEL DRIVEWAY DEMO AND REPLACE WITH WOOD CHIPS	-803 SF
[P] FRONT STONE PORCH ADDITION (IMPERVIOUS)	5 SF
[P] SIDE YARD STONE STOOP ADDITION (IMPERVIOUS)	17 SF
4% LOT BONUS 4,000 SF	-160 SF
TOTAL	300 SF

SITE NOTES

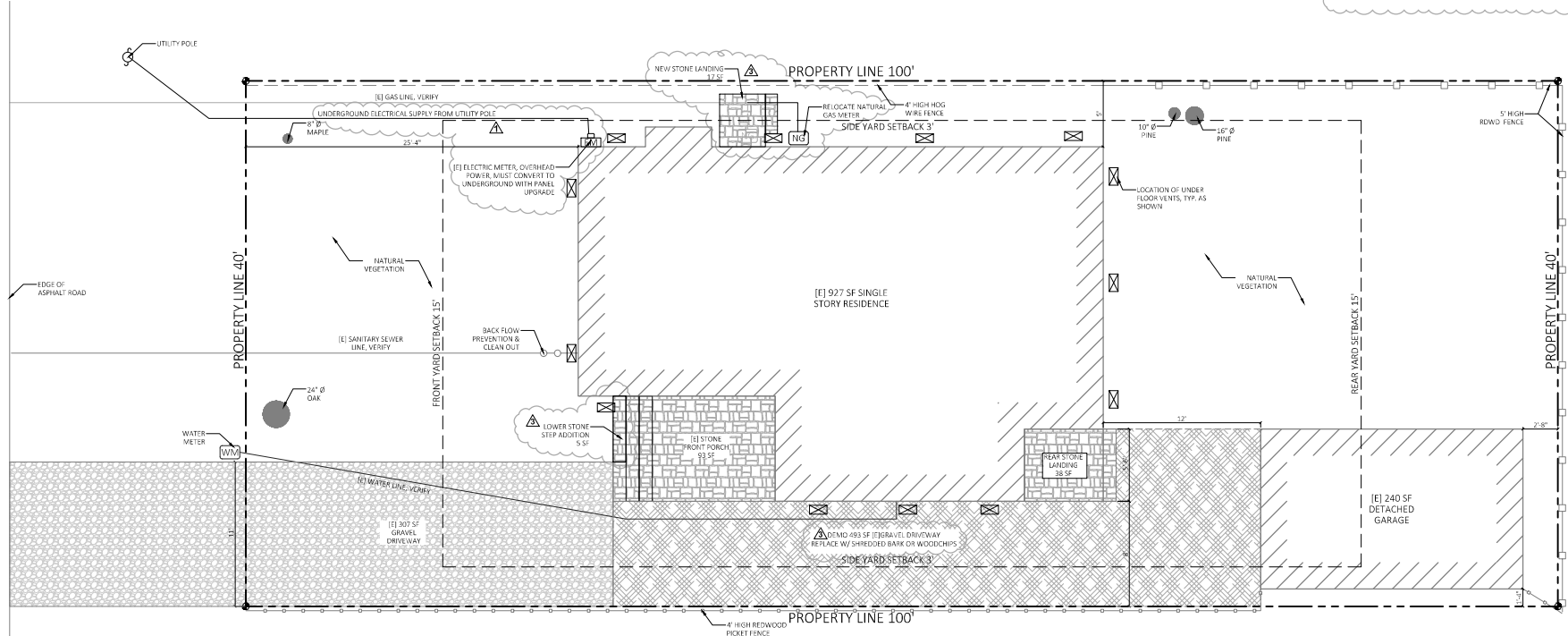
- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH AN NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- THE USE OF SOLDER CONTAINING MORE THAN 2/10THS OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SR 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOBBIES.
- SCOPE ALL GRABES AWAY FROM THE STRUCTURE FOR A MIN ON FOR 10'-0".
- CONTRACTOR IS TO VERIFY THE LOCATION AND HEIGHT OF THE NEAREST UNDERGROUND MANHOLE IF THE FLOOD LEVEL RISES ARE LESS THAN 2' ABOVE THIS ELEVATION. THE SEWER SYSTEM SHALL BE PROTECTED WITH AN APPROVED SEWER BACK WATER VALVE AND SEWER RELIEF VENT SHALL BE INSTALLED.
- UNDER-FLOOR VENTILATION (CFC 9008)
- THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 130 SQUARE FEET OF UNDER-FLOOR AREA.
- ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.
- VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH ANY OF THE FOLLOWING MATERIALS PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 3/4 INCH
- 3.1. CORROSION-RESISTANT WIRE MESH, WITH THE LEAST DIMENSION BEING 1/2" THICK.
- CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.



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APN: 010-013-010
OWNER: KATHY SCHAV
PHONE: 970-948-4419
EMAIL: kathytschav@gmail.com

DATE: 09/30/22



SITE PLAN
SCALE: 1/4" = 1'-0"

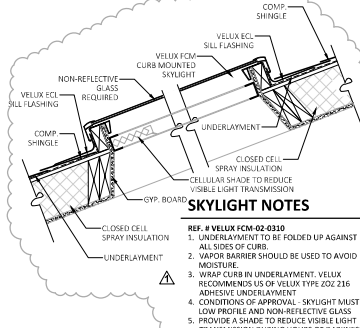
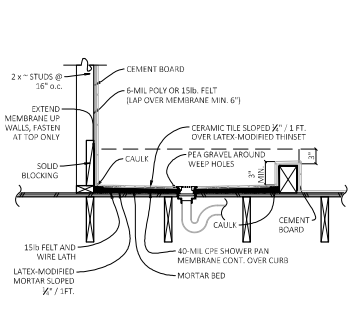
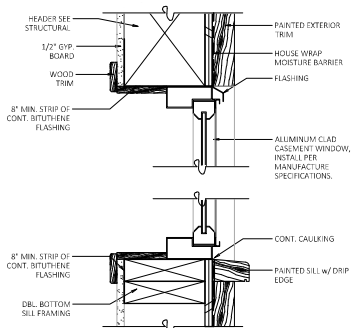
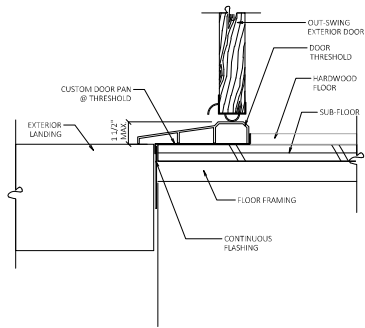
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12/19/2022
City of Carmel-by-the-Sea
Planning & Building Dept.

SITE PLAN

DESIGNED BY: JASON MEHRINGER

MARK	PHASE	DATE
[]	DS APPLICATION	01-28-22
[]	DS APP REV	03-11-22
[]	BP APPLICATION	05-04-22
[]	BP PLAN CHECK	06-14-22
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[]	FIELD REVISION	09-29-22

C1.0



1 THRESHOLD & LANDING
SCALE: 3/4" = 1'-0"

2 TYP. WINDOW INSTALLATION
SCALE: 3/4" = 1'-0"

3 TYP. SHOWER PAN
SCALE: 1/2" = 1'-0"

4 CURB SKYLITE FLASHING
SCALE: 3/4" = 1'-0"

ROOF NOTES

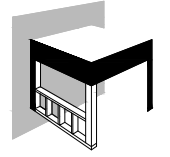
1. ROOF MATERIAL - CLASS 'A' COMPOSITION SHINGLES TO MATCH EXISTING
2. ROOF SLOPE - MATCH EXISTING VERIFY IN FIELD
3. OVERHANGS - 12" TYPICAL VERIFY IN FIELD
4. GUTTERS - ALUMINUM GUTTERS AND DOWNSPOUTS
5. VENTING - GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN THE LEAST VISIBLE LOCATIONS WHERE POSSIBLE
6. ROOF VENTING - TRUE VAULTED CEILING TO BE INSULATED WITH CLOSED CELL SPRAY FOAM INSULATION. NO VENTING REQUIRED

WILD-LAND URBAN INTERFACE

1. IGNITION RESISTANT MATERIALS SHALL COMPLY WITH CBC 700A AND COMPLETELY TESTING STANDARDS SET FORTH BY THE FOLLOWING:
 - 1.1. ASTM E84 OR UL 723
 - 1.2. SPM STANDARD 12.7A.5 "IGNITION-RESISTANT MATERIAL" OR
 - 1.3. ONE OF THE ALTERNATE METHODS IN SECTION CBC 700A.4
2. ALTERNATIVE METHODS FOR DETERMINING IGNITION-RESISTANT MATERIAL NONCOMBUSTIBLE MATERIAL. MATERIAL THAT COMPLIES WITH THE DEFINITION FOR NONCOMBUSTIBLE MATERIALS IN SECTION 202
- 2.2. FIRE-RETARDANT TREATED WOOD IDENTIFIED FOR EXTERIOR USE THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 2303.2
3. ROOFING - ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 7A AND CHAPTER 15. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ROOF ASSEMBLIES IN THE FIRE HAZARD SEVERITY ZONES SHALL BE CLASS A RATING WHEN TESTED IN ACCORDANCE WITH ASTM E838 OR UL190 [CBC 705A.2]
4. VALLEYS - WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 0.039-INCH NO. 36 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONFIBERGLASSED CAP SHEET COMPLYING WITH ASTM D3090, AT LEAST 36-INCH-WIDE (618 MM) RUNNING THE FULL LENGTH OF THE VALLEY [CBC 705A.3]
5. GUTTERS - ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [CBC 706A.4]
6. THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS [707.3] EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS. OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [707A.3.2]
- 6.1. NONCOMBUSTIBLE MATERIAL
- 6.2. IGNITION-RESISTANT MATERIAL
- 6.3. SAWN LUMBER OR GLUE LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES (102 MM). SAWN OR GLUE LAMINATED PLANKS SPINED, TONGUE AND GROOVE, OR SET CLOSE TOGETHER AND WELL SHIPED
7. ENCLOSED ROOF EAVES & SOFFITS - THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A SOFFED IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OF THE FOLLOWING
 - 7.1. NONCOMBUSTIBLE MATERIAL
 - 7.2. IGNITION-RESISTANT MATERIAL
 - 7.3. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT

SKYLITE NOTES

- REF. # VELUX FCW-02-0310
1. UNDERLAYMENT TO BE FOLDED UP AGAINST ALL SIDES OF CURB.
 2. VAPOR BARRIER SHOULD BE USED TO AVOID MOISTURE.
 3. VAPOR CURB IN UNDERLAMENT. VELUX RECOMMENDS US OF VELUX TYPE Z02.216 ADHESIVE UNDERLAMENT.
 4. CONDITIONS OF APPROVAL - SKYLIGHT MUST BE LOW PROFILE AND NON-REFLECTIVE GLASS
 5. PROVIDE A SHADE TO REDUCE VISIBLE LIGHT TRANSMISSION DURING HOURS OF DARKNESS



MEHRINGER CONSTRUCTION & DESIGN

ADDRESS: 483 WALTON ST #6
MONTEREY CA 93940
LICENSE: 839553

OWNER: KATHY SCHWAB
EMAIL: MohringerDesign@gmail.com

LOBOS COTTAGE REMODEL

ADDRESS: LOBOS ST 3 SE OF 3RD AVE.
CARMEL: BY THE SEA CA 93923
APN: 010-013-010
OWNER: KATHY SCHWAB
PHONE: 930-948-4419
EMAIL: kathy@schwab.com

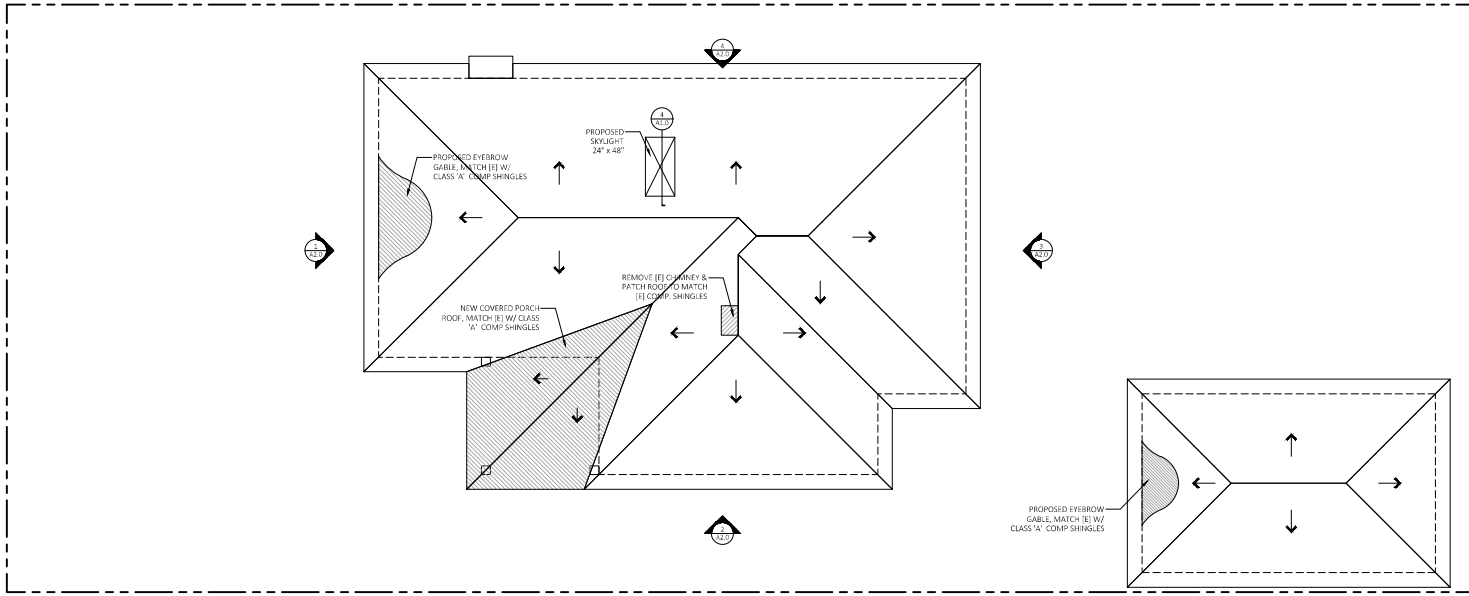
DESIGNER'S SIGNATURE: [Signature]

09/30/22

APPROVED

12/19/2022

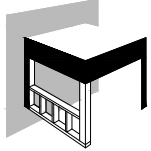
City of Carmel-by-the-Sea
Planning & Building Dept.



ROOF PLAN
SCALE: 3/4" = 1'-0"

FLOOR PLAN		
DESIGNED BY: JASON MEHRINGER		
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A1.0



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APN: 010-013-010
OWNER: JACHTY SCHWAB
PHONE: 970-948-4419
EMAIL: jachtyschwab@gmail.com

DATE: 04/30/22

DATE: 04/30/22

CONSTRUCTION NOTES

- LEAD AND ASBESTOS ABATEMENT
- LEAD REMOVAL - MUST COMPLY WITH 8 CCR 1229 AND RULE 424 OF MBARD CONTRACTOR AND COMPLY WITH CALIFORNIA CCR 1532.1
- TOILETS MUST HAVE A MINIMUM CLEAR WIDTH OF 30" 1/2" EA. SIDE FROM CENTER AND 34" CLEAR FROM THE FRONT PER CFC 402.5
- THE WALLS OF THE TUB OR SHOWER HAVE NON-ABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET
- SHOWER ENCLOSURE IS MADE TEMPERED GLASS AND THE DOORS PROVIDE A MINIMUM 22" CLEAR SPACE WITH THE DOOR IN THE OPEN POSITION
- THE SHOWER MUST HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQ. IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE.
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD.
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES BEFORE STEPPING INTO THE SHOWER SPRAY
- DRYER EXHAUST VENT TO BE A MAXIMUM OF 14' EQUIPPED WITH A BACK DRAFT DAMPER INCLUDING (3) 90 DEGREE ELBOWS AND A MINIMUM DIAMETER OF 4". THE VENT DISCHARGE LOCATION SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING PER CMC 504.3.1

DOOR NOTES

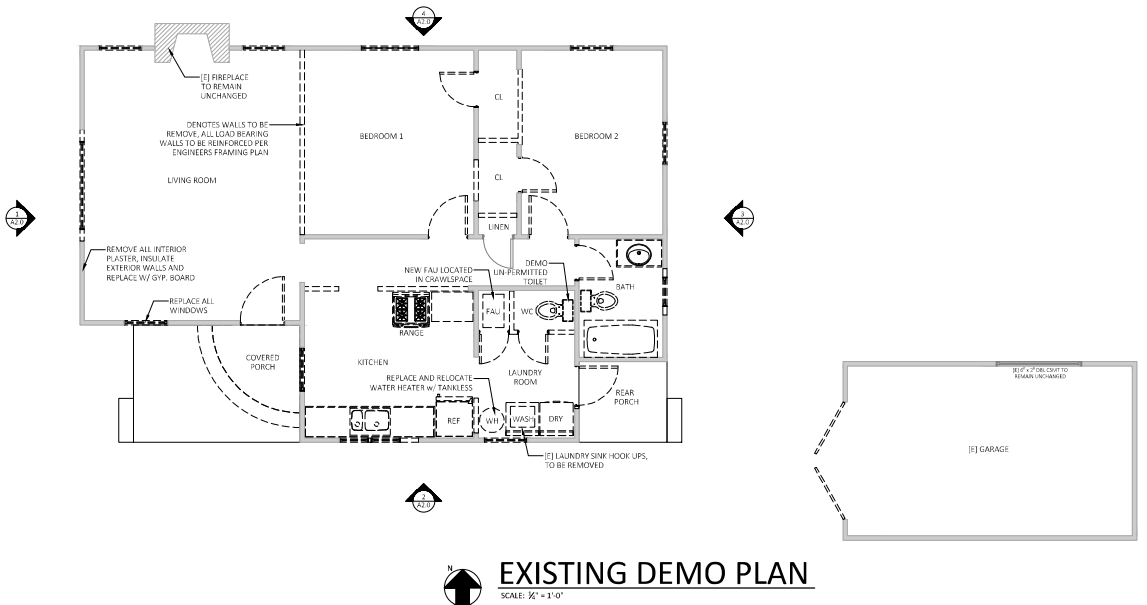
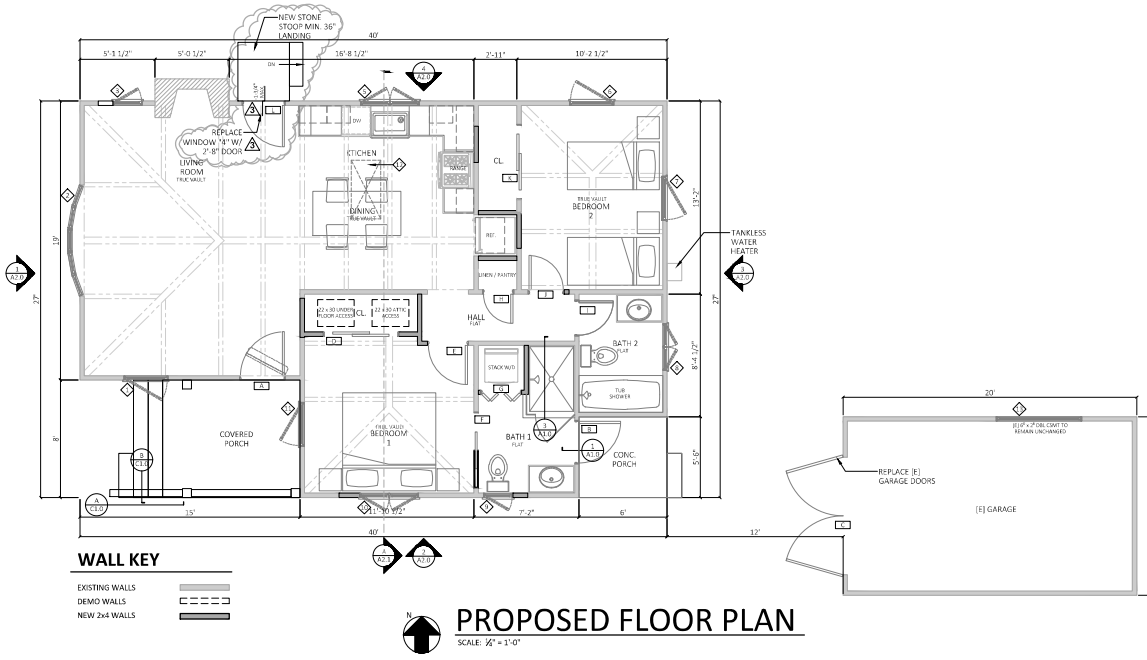
- DOOR DIMENSIONS ARE PROPOSED FINISHED OPENINGS SIZES. GENERAL CONTRACTOR TO VERIFY ALL DOOR SIZES, SHAPES, COLORS, GLAZING, ETC. AND MUST BE APPROVED BY OWNER PRIOR TO ORDERING.
- DOOR FROM GARAGE TO LIVING SPACE MUST BE 20 MINUTE FIRE RATED, 1 3/8" TIGHT FITTING, SELF-CLOSING AND SELF-LATCHED CFC R302.2
- EGRESS DOOR
- THRESHOLD SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. (CFC 811.1)
- LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD (CFC 811.3.1)
- EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

WINDOW NOTES

- REPLACE ALL WINDOWS WITH SIERRA PACIFIC DUAL GLAZED CLAD TYPICAL UNLESS OTHERWISE NOTED.
- WINDOW DIMENSIONS ARE PROPOSED FINISHED OPENINGS SIZES. GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES, SHAPES, COLORS, GLAZING, ETC. AND MUST BE APPROVED BY OWNER PRIOR TO ORDERING.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS.
- FOR WINDOWS THAT SERVE AS EGRESS FROM SLEEPING AREAS:
 - MINIMUM NET CLEAR OPEN DIMENSION OF 20" IN WIDTH
 - MINIMUM NET CLEAR OPEN DIMENSION OF 5.7 SQUARE FEET IN AREA
 - SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44" ABOVE FLOOR
- BATHROOM WINDOW TO BE TEMPERED IF IT IS LESS THAN 60" HORIZONTAL AND OR VERTICAL FROM THE STANDING SURFACE OF THE TUB

WILDLAND-URBAN INTERFACE

- EXTERIOR WINDOWS, SKYLIGHTS, & GLAZED DOORS - EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS
 - BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR
 - BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- OPERABLE SKYLIGHTS - OPERABLE SKYLIGHTS SHALL BE PROTECTED BY A NON-COMBUSTIBLE MESH SCREEN WHERE THE DIMENSIONS OF THE OPENINGS IN THE SCREEN SHALL NOT EXCEED 1/8-INCH



WINDOW SCHEDULE

ID	WIDTH	HEIGHT	HEADER	TYPE	REMARKS
1	3'-0"	4'-6"	6'-8"	CSMNT, GRILL	
2	5'-9"	5'-1"	6'-8"	CSMNT, MULLED BOW	
3	2'-0"	4'-6"	6'-8"	CSMNT, GRILL	
4	2'-0"	3'-6"	6'-8"	DBL CSMNT, GRILL	
5	4'-0"	3'-0"	6'-8"	DBL CSMNT, GRILL	
6	3'-0"	4'-6"	6'-8"	CSMNT, GRILL	NOTE 4
7	3'-0"	4'-6"	6'-8"	CSMNT, GRILL	NOTE 4
8	3'-0"	3'-0"	6'-8"	DBL CSMNT, GRILL	
9	3'-0"	3'-0"	6'-8"	CSMNT, GRILL	
10	4'-0"	3'-0"	6'-8"	DBL CSMNT, GRILL	
11	3'-0"	3'-6"	6'-8"	DBL CSMNT, GRILL	NOTE 4
12	2'-0"	4'-0"	N/A	VELUX FIXED SKYLIGHT	
13	6'-0"	2'-6"	6'-8"	(E) SINGLE PANE CSMNT.	TO REMAIN

DOOR SCHEDULE

ID	WIDTH	HEIGHT	TYPE	REMARKS
A	3'-0"	6'-8"	SOLID WOOD DUTCH DOOR	STAINED
B	2'-10"	6'-8"	PELLA OUTSWING	ALUM. CLAD
C	8'-0"	6'-8"	SOLID WOOD DUAL SWING	STAINED
D	5'-0"	6'-8"	BI-PASS, WOOD PAINTED	
E	3'-8"	6'-8"	WOOD, PAINTED	
F	2'-6"	6'-8"	POCKET, WOOD PAINTED	
G	2'-6"	6'-8"	RHOCK, WOOD PAINTED	
H	2'-0"	6'-8"	WOOD, PAINTED	
I	2'-4"	6'-8"	WOOD, PAINTED	
J	2'-4"	6'-8"	WOOD, PAINTED	
K	5'-9"	6'-8"	BI-PASS, WOOD PAINTED	
L	2'-8"	6'-8"	SOLID WOOD, PAINTED	

- NOTES**
- All new windows to be Pella aluminum clad Eldridge Gray exterior color; interior primed white; dual pane w/ tempered on one side minimum.
 - Window dimensions are proposed finished openings sizes. General contractor to verify all window sizes, shapes, colors, glazing, etc. and must be approved by owner prior to ordering.
 - All glazing subject to human impact shall be tempered glass.
 - For windows that serve as egress from sleeping areas:
 - minimum net clear open dimension of 20" in height
 - minimum net clear open dimension of 20" in width
 - minimum net clear open dimension of 5.7 square feet in area
 - sill heights of such openings shall not exceed 44" above floor
 - Bathroom window to be tempered if it is less than 60" horizontal and or vertical from the standing surface of the tub.

WINDOW LIGHTING & VENT CALC.

LOCATION	ROOM	WINDOW REQUIREMENT	WINDOW CALCULATION			
		AREA	8% LIGHT	4% VENT	LIGHT	VENT
BEDROOM 1	120 SF	9.6 SF	4.8 SF	25.8 SF	25.8 SF	
BEDROOM 2	120 SF	9.6 SF	4.8 SF	27.6 SF	27.6 SF	
BEDROOM 3	0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	

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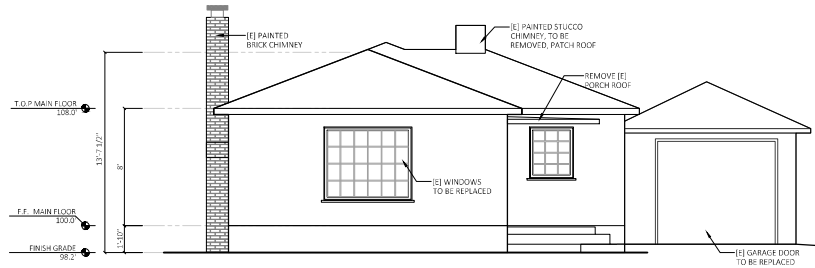
City of Carmel-by-the-Sea
Planning & Building Dept.

FLOOR PLAN

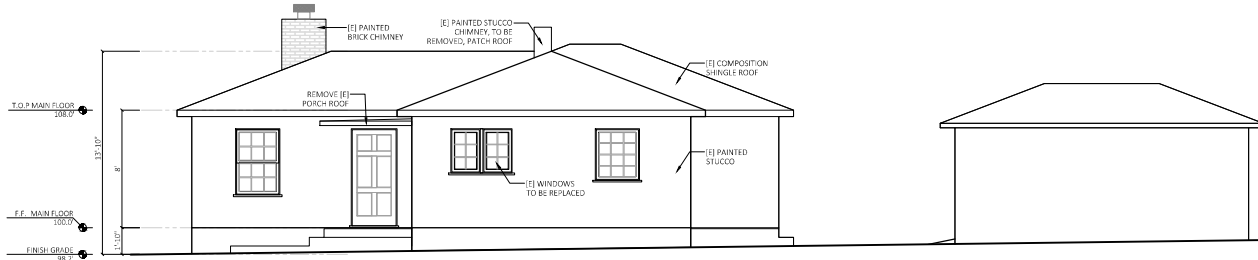
DATE: JASON MEHRINGER

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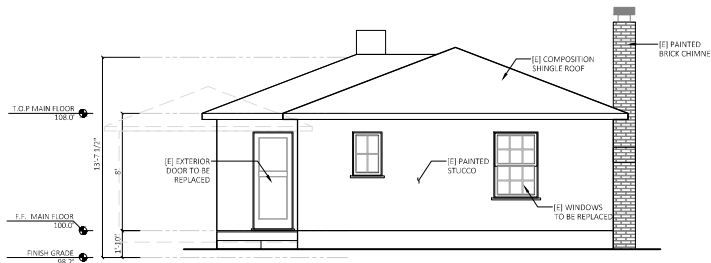
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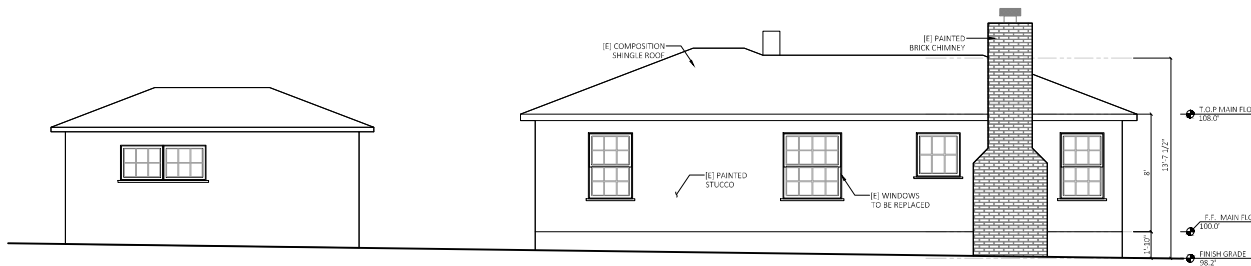
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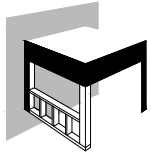
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3 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



**MEHRINGER
CONSTRUCTION
& DESIGN**

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**LOBOS COTTAGE
REMODEL**

ADDRESS: LOBOS ST 3 SE OF 3RD AVE.
CARMEL BY THE SEA CA 93923
APN: 010-013-010
OWNER: KATHY SCHAV
PHONE: 970-948-4419
EMAIL: kathyshav@gmail.com



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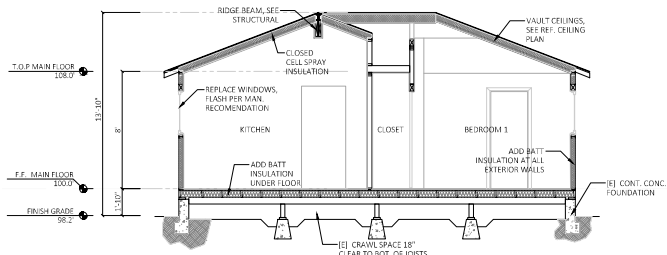
EXISTING ELEVATIONS

Drawn by: JASON MEHRINGER

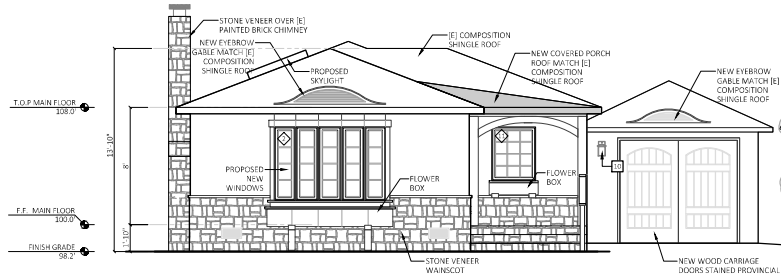
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Sheet Number:

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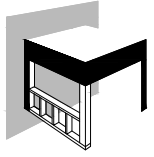
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1 PROPOSED FRONT ELEVATION
SCALE: 1/2" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - MATCH [E] CLASS A COMPOSITION SHINGLES
2. GUTTERS - SEAMLESS ALUMINUM GUTTERS
3. DOWNSPOUTS - SQUARE ALUMINUM
4. WINDOWS - SIERRA PACIFIC DUAL PANE ALUMINUM CLAD COLOR - SLATE GRAY 045
5. NEW DUAL PANE VELUX CURB MOUNTED FIXED SKYLIGHT
6. EXTERIOR DOORS - SOLID WOOD, STAINED COLOR - PROVINCIAL
7. GARAGE DOOR - SOLID WOOD, STAINED COLOR - PROVINCIAL SIDING
- A. [E] STUCCO - REPLACE & PAINT - COLOR BENJAMIN MOORE HC-44 LENOX TAN
- B. VENEER STONE - AAA NATURAL STONE - HONEY BLUFF RUBBLE
9. WOOD TRIM - COLOR BENJAMIN MOORE COP-45 STEWING-OR-BARK
10. LIGHTING - EXTERIOR WALL SCONCE TO BE HAMPTON BAY LED WALL SCONCE
11. EXTERIOR WALL SCONCE TO MEET CONDITIONS OF APPROVAL #11 - DOWNLIGHT, 25 WATT MAX, AND 375 LUMENS MAX.
- 11.1. SKYLIGHT - VELUX FCM 02-0310
- 11.1.1. CONDITION OF APPROVAL #12 NON-REFLECTIVE GLASS AND SHADE REQUIRED

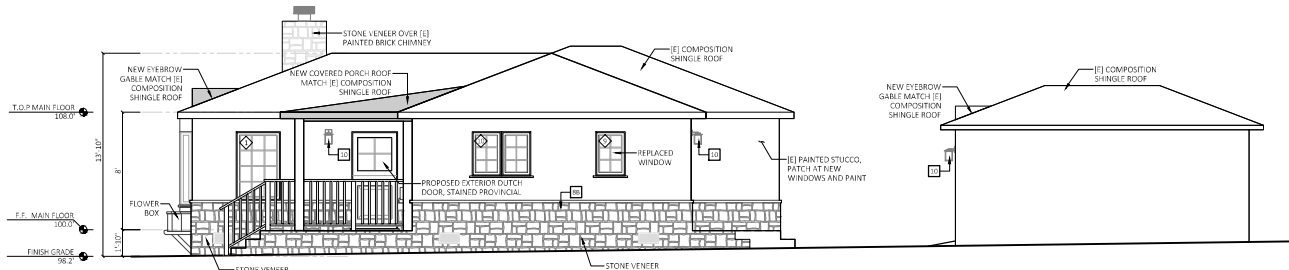


MEHLINGER CONSTRUCTION & DESIGN

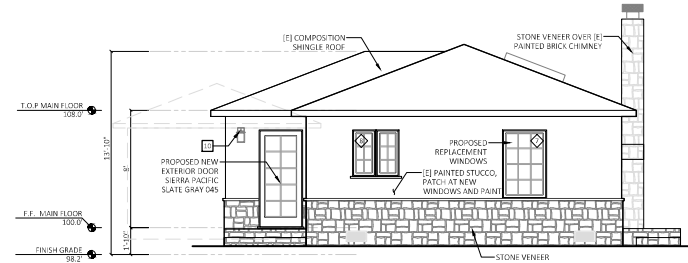
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LOBOS COTTAGE REMODEL

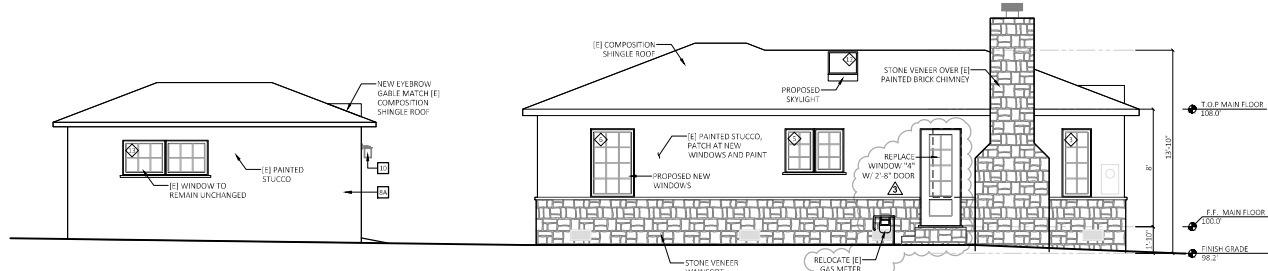
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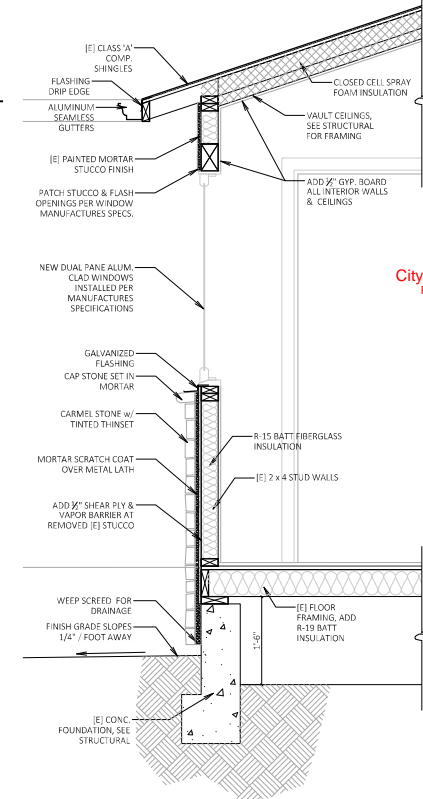
2 PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



TYP. WALL SECTION
SCALE: 1" = 1'-0"

DESIGNER'S SIGNATURE
[Signature]
04/30/22

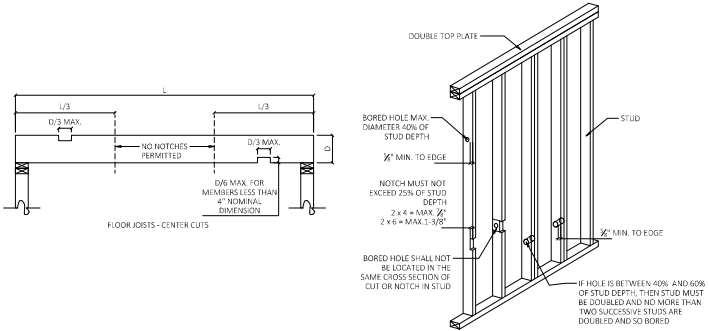
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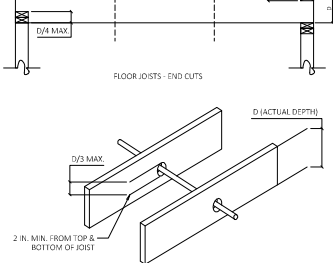
DESIGNED BY: JASON MEHLINGER

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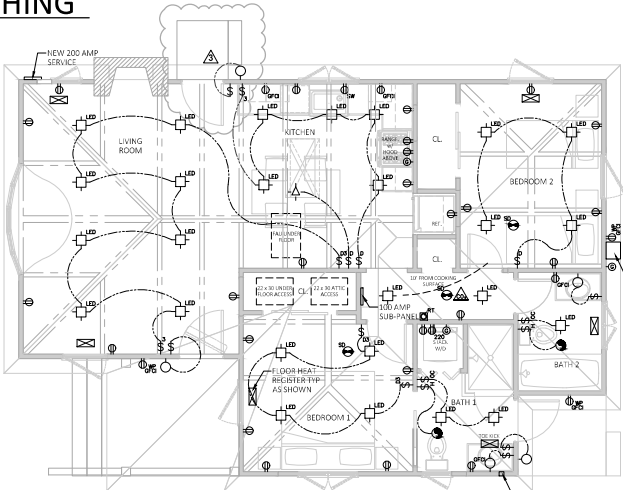
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1 BEAM NOTCHING

SCALE: 3/4" = 1'-0"



ELECTRICAL & MECHANICAL PLAN

SCALE: 3/4" = 1'-0"

SMOKE AND CARBON MONOXIDE

- SINGLE- AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS (CFC 19314.2):
 - IN EACH BEDROOM.
 - IN THE HALLWAY LEADING TO THE BEDROOMS.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS.
- SPECIFIC LOCATION REQUIREMENTS
 - SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE LOCATED WHERE AMBIENT CONDITIONS, INCLUDING HUMIDITY AND TEMPERATURE, ARE OUTSIDE THE LIMITS SPECIFIED BY THE MANUFACTURER'S PUBLISHED INSTRUCTIONS.
 - SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE LOCATED UNDER UNFINISHED ATTICS OR GARAGES OR IN OTHER SPACES WHERE TEMPERATURES CAN FALL BELOW 40°F (4°C) OR EXCEED 100°F (38°C) WHERE THE MOUNTING SURFACE COULD BECOME CONSIDERABLY WARMER OR COOLER THAN THE ROOM, SUCH AS A POORLY INSULATED CEILING BELOW AN UNFINISHED ATTIC OR AN EXTERIOR WALL. SMOKE ALARMS AND SMOKE DETECTORS SHALL BE MOUNTED ON AN INSIDE WALL.
 - SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
 - EXCEPTION: IONIZATION SMOKE ALARMS WITH AN ALARM SILENCING SWITCH OR PHOTOELECTRIC SMOKE ALARMS SHALL BE PERMITTED TO BE INSTALLED 10 FEET (3 M) OR GREATER FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND ALARMS INTERCONNECTED (R19315).
- BATTERY OPERATED SMOKE ALARMS ARE PERMITTED IN LIEU OF INTERCONNECTION / HARD-WIRING OF SMOKE ALARMS IN EXISTING AREAS WHERE THE CONSTRUCTION DOES NOT INVOLVE THE REMOVAL OF INTERIOR FINISHES (R19314).
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL INCLUDING BASEMENT IN DWELLING UNITS THAT HAVE FULL-FUELED APPLIANCES OR ATTACHED GARAGES (R1931.3).
- BATTERY OPERATED CARBON MONOXIDE ALARMS ARE PERMITTED IN EXISTING AREAS WHERE THE CONSTRUCTION DOES NOT INVOLVE THE REMOVAL OF INTERIOR FINISHES (R1931.2).

1005 594 942
MEDIUM EXTERIOR
LED FLAME EFFECT
WALL LANTERN
MATE BLACK FINISH

3 YEAR WARRANTY

Integrated Switch
Use with 120V AC, 60 Hz, 15A, 150W max. LED
150W max. LED
150W max. LED

6.7" W x 15.5" H x 9.2" D
150W max. LED
150W max. LED

SMALL LIGHTING SOURCE
FLAME EFFECT
STYLISH LIGHT

LED LIGHTING

WATT	300
VOLTS	120 V
AMPS	2.5
WATTAGE	150
WATTAGE	150

Color: Matte Black
Finish: Matte Black

SCAN ME

ELECTRICAL LEGEND

- USE APPROVED HARD WIRED SMOKE DETECTOR W/ A BATTERY BACKUP INSTALLED IN ACCORDANCE W/ MANUFACTURER SPECIFICATIONS AND CFC 19314.2.
- CARBON MONOXIDE DETECTORS
- COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE SENSOR
- STANDARD CEILING MOUNTED LIGHT FIXTURE
- LED CEILING MOUNTED LIGHT FIXTURE
- LED CEILING RECESSED CAN LIGHT FIXTURE
- LED CEILING MOUNTED PENDANT LIGHT FIXTURE
- LED WALL SCONCE LIGHT FIXTURE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE MOTION SENSORED OR CONTROLLED BY PHOTO CELL
- UNDER-COATED MOUNTED LED STRIP LIGHTS, CONTROLLED BY SEPARATE SWITCH
- CEILING MOUNTED FLUORESCENT LIGHT
- LIGHT SWITCH MOUNTED 36" ABOVE FINISH FLOOR
- 3-WAY SWITCH MOUNTED 36" ABOVE FINISH FLOOR
- DIMMER SWITCH MOUNTED 36" ABOVE FINISH FLOOR
- OCCUPANCY SENSOR SWITCH MOUNTED 36" ABOVE FINISH FLOOR
- HUMIDISTAT CONTROLLED SWITCH MOUNTED 36" ABOVE FINISH FLOOR
- 110V DUPLEX OUTLET
- 110V DUPLEX SINGLE OUTLET AND SWITCH
- 110V DUPLEX W/ GROUND FAULT PROTECTION
- 110V WATER PROOF FOR EXTERIOR DUPLEX W/ GROUND FAULT PROTECTION
- 220V OUTLET
- 208/240 VOLT DEDICATED 40 AMP CIRCUIT FOR EV CHARGER
- CABLE TV JACK
- TELEPHONE JACK
- ROOM THERMOSTAT
- ALARM KEYPAD
- ALARM CONTROL PANEL
- MOTION SENSOR
- DOOR OR WINDOW CONTACT SENSOR
- SECURITY SYSTEM HORN
- *ENERGY STAR* RATED EXHAUST FAN MAKE, MODEL, AND CFM NOTED. FAN TO BE CONTROLLED BY HUMIDISTAT AND VENT TO THE EXTERIOR AND SWITCHED SEPARATE FROM LIGHT
- SURFACE MOUNTED CEILING FAN AND LIGHT, FAN RATED 1/30HP PRE-WIRED FOR FAN INCLUDES 2 SWITCHES ONE FOR DIMMER FOR THE LIGHT AND ONE FOR THE FAN CONTROL

EXTERIOR LIGHT FIXTURE

- SPECIFICATIONS**
- MANUFACTURE: HAMPTON BAY
 - FIXTURE MODEL: 1-5 LIGHT MIDDWINTER BLACK INTEGRATED LED WALL SCONCE
 - MODEL NUMBER: LAN12/SWY/BK/HD/2
 - COLOR: MIDDWINTER BLACK
 - LIGHTING: 8 WATT
 - LUMENS: 300 MAX

ELECTRICAL NOTES

- GENERAL A**
- ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLES IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, HALLWAYS, LAUNDRY ROOMS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED AFCI-FAULT CIRCUIT INTERRUPTER (AFCI). (CFC 210.21A)
 - PROVIDE ONE ELECTRICAL OUTLET IN HALLWAYS OVER 10 FEET LENGTH. OUTLETS SHALL BE SPACED NO MORE THAN 12 FEET APART AND A MAXIMUM OF 6 FEET FROM END OF WALLS OR CORNERS. (CFC 210.21A)(8, 10)
 - PROVIDE A RECEPTACLE OUTLET IN THE WALLS 2 FEET WIDE OR GREATER. OUTLETS SHALL BE SPACED NO MORE THAN 12 FEET APART AND A MAXIMUM OF 6 FEET FROM END OF WALLS OR CORNERS. (CFC 210.21A)(8, 10)
 - PROVIDE OUTSIDE AFCI/CPG PROTECTED WEATHERPROOF 120-VOLT RECEPTACLE AT FRONT AND REAR OF CEILING UNIT.
- GARAGE**
- WORKING SPACE AT THE FRONT OF ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM DEPTH OF 36 INCHES, WIDTH OF 30 INCHES, AND HEIGHT OF 6 FEET 6 INCHES. (CFC ARTICLE 110.26 ITEMS 1, 2, AND 3)
 - A LEAST ONE ENTRANCE OF 24 INCHES WIDE BY 6 FEET 6 INCHES HIGH. (CFC ARTICLE 110.31(A)) WORKING SPACE SHALL NOT BE USED FOR STORAGE. (CFC ARTICLE 110.26 (B)) ILLUMINATION SHALL BE PROVIDED FOR ALL WORKING SPACES AROUND SERVICE EQUIPMENT, SWITCHBOARDS, PANEL BOARDS, OR MOTOR CONTROL CENTERS INSTALLED INDOORS. (CFC ARTICLE 110.26 (D))
 - THE GARAGE IS REQUIRED TO HAVE A DEDICATED CIRCUIT.
 - ALL NEW ELECTRICAL CIRCUITS ARE REQUIRED TO BE COMBINATION AFCI PROTECTED.
- KITCHEN**
- IN THE KITCHEN AND DINING AREA, A MINIMUM OF (2) 20 AMP CIRCUITS AFCI/CPG PROTECTED RECEPTACLES FOR EACH COUNTER SPACE 12 INCHES OR WIDER SO THAT NO POINT IS MORE THAN 24 INCHES FROM AN OUTLET. NO OTHER LIGHTS OR FIXTURES ARE PERMITTED ON THESE TOW CIRCUITS. (CFC ARTICLE 210.52(C)(1))
 - FRIED APPLIANCES AND MICROWAVES SHALL BE PROVIDED FROM ADDITIONAL DEDICATED CIRCUITS.
 - PROVIDE AFCI/CPG PROTECTION TO 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED IN KITCHEN AND DINING AREAS. (CFC 210.52(A)) ALL AFCI/CPG RECEPTACLE OUTLETS ARE PLACED WITH A MAXIMUM OF 4 FEET ON CENTER AT ALL COUNTER SPACES.
 - OUTLETS AT ISLAND OR PENINSULA MAY NOT BE INSTALLED UNDER A COUNTERTOP WITH AN OVERHANG GREATER THAN 6 INCHES.
- BATH**
- LOCAL EXHAUST VENTILATION: PROVIDE BATHROOMS WITH A TUB OR SHOWER AN ENERGY STAR RATED EXHAUST FAN. (CFC 150.92)
 - VENTED TO THE EXTERIOR (MINIMUM 4" DIAMETER FLEX DUCT WITH A MAXIMUM LENGTH OF 70') WITH A MIN. VENTILATION RATE OF 50 CFM EXHAUST FANS AND LIGHTING SHALL HAVE SEPARATE CIRCUIT. SWITCHES (EVEN IF A COMBINATION UNIT IS INSTALLED) THE EXHAUST FAN MAY NOT BE SUPPLIED BY A GFCI PROTECTED CIRCUIT BASED ON THE MANUFACTURER'S REQUIREMENTS.
 - EXHAUST FAN MUST BE CONTROLLED BY HUMIDISTAT AND SHALL BE READILY ACCESSIBLE AND BE THE EXTERIOR STAR COMPARTMENT.
 - BATHROOMS SHALL BE SUPPLIED BY A MINIMUM (1) DEDICATED 20 AMP CIRCUIT THAT SERVES ONLY THE BATHROOM (CFC 210.11(C)(9))
 - RECEPTACLES INSTALLED IN BATHROOM SHALL BE GFCI PROTECTION TO ALL 125 VOLT, 15 AND 20 AMP (CFC 210.8A)(1), (7) & IN ALL AREAS SPECIFIED IN 210.52. ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES BE LISTED "TRIPER RESISTANT". (CFC 406.17)
 - PROVIDE AFCI/CPG PROTECTION TO 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED IN BATHROOM WITHIN 36" FROM SINK EDGES.
- LIGHTING**
- ALL LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LIGHTING W/ 2019 CEC TABLE 150.0-A.
 - SCREW BASED RECESSED DOWN LIGHTS ARE NO LONGER PERMITTED.
 - RECESSED LIGHTING FIXTURES IN SHOWER ENCLOSURES MUST BE LISTED FOR A DRYER OR WET LOCATION (E-6-A)(1)(A))
 - IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LIGHT FIXTURE SHALL BE CONTROLLED BY A VACUANCY SENSOR (CFC 150.92)(2)
 - LIGHT FIXTURES RECESSED INTO CEILING SHALL MEET ALL THE FOLLOWING REQUIREMENTS:
 - LISTED FOR ZERO CLEARANCE INSULATION CONTACT BY UL OR OTHER NATIONALLY RECOGNIZED TESTING LABORATORY; AND
 - HAVE A LABEL THAT CERTIFIES THE FIXTURE IS AIR-TIGHT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE FIXTURE AND CEILING; AND ALLOW A MINIMUM 1/8" CLEARANCE BETWEEN THE FIXTURE AND CEILING WITHOUT CUTTING HOLES IN THE CEILING; AND
 - SHALL CONTAIN LIGHT SOURCES MARKED "IAB-2016 E" (CFC 150.92)(4)
 - SHALL CONTAIN LIGHT SOURCES MARKED "IAB-2016 E" (CFC 150.92)(4) REQUIRED TO HAVE LIGHT SOURCES MARKED WITH "IAB-2016 E"
 - PROVIDE AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET PER SECTION. (CFC 150.92)(4) EXTERIOR LIGHTING PERMANENTLY MOUNTED TO A HOUSE (OR OTHER BUILDING ON THE SAME LOT) SHALL BE CONTROLLED BY A MANUAL "ON" AND "OFF" SWITCH WHICH DOES NOT OVERRIDE TO "ON" THE AUTOMATIC ACTIONS; AND IS CONTROLLED BY:
 - A PHOTOCELL AND MOTION SENSOR; OR
 - A PHOTOCONTROL, AND AUTOMATIC TIME SWITCH CONTROL; OR
 - ASTRONOMICAL TIME CLOCK; OR
 - ENERGY MANAGEMENT CONTROL SYSTEM
 - 25 WATT MAX
 - 10' MAX. WALL HEIGHT POSITION ABOVE GROUND

MECHANICAL NOTES

- MECHANICAL**
- DRYER EXHAUST VENT: VENT TO BE A MAXIMUM OF 14' EQUIPPED WITH A BACK DRAFT DAMPER INCLUDING (2) 90-DIGREE ELBOW AND A MINIMUM DIAMETER OF 4". THE VENT DISCHARGE LOCATION SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING PER (CMC 504.3.1)
 - AT LAUNDRY AREA, PROVIDE A 220V, 30 AMP DEDICATED CIRCUIT FOR DRYER PER CFC 220.54
 - PROVIDE A GFCI FOR THE NEW FURNACE AND DUCTING
 - PROVIDE A HEAT SOURCE FOR ALL HABITABLE ROOMS
 - DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED PER SECTION 4.501.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED, CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED CONTRACTOR / BUILDER TO PROVIDE A SINGLE LINE GAS DIAGRAM AT THE FRAMING INSPECTION.
 - FUEL SHUT-OFF VALVE:
 - A DEDICATED FUEL SHUT-OFF VALVE SHALL BE INSTALLED WITHIN 6 FEET OF EA. GAS APPLIANCE
 - A SERMENT TRAP MUST BE PROVIDED ON THE GAS LINE DOWNSTREAM OF THE APPLIANCE SHUT-OFF VALVE, AS CLOSE TO THE INLET OF THE EQUIPMENT AS PRACTICAL AND UPSTREAM OF THE FLEX CONNECTOR
- APPLIANCES**
- AN ATTIC OR UNDER-FLOOR SPACE IN WHICH AN APPLIANCE IS INSTALLED SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES (CMC 304.4)
 - LENGTH OF PASSAGEWAY - WHERE THE HEIGHT OF THE PASSAGEWAY IS LESS THAN 6 FEET (1829 MM), THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20 FEET (6096 MM)
 - MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY (CMC 304.4.1) WIDTH OF PASSAGEWAY - THE PASSAGEWAY SHALL BE UNRESTRICTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 3/4 INCHES WIDE FROM THE ENTRANCE OPENING TO THE APPLIANCE. (CMC 304.4.2)
 - WORK PLATFORM - A LEVEL WORKING PLATFORM NOT LESS THAN 30 INCHES BY 30 INCHES SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CMC 304.4.3)
 - LIGHTING AND CONVENIENCE OUTLET - A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. (CMC 304.4.4)

MEHRINGER CONSTRUCTION & DESIGN

ADDRESS: 481 WALTON ST #6, CARMEL BY THE SEA, CA 93924
PHONE: 831-760-0275
EMAIL: MehringerDesign@gmail.com

LOBOS COTTAGE REMODEL

ADDRESS: LOBOS ST 3 SE OF 3RD AVE. CARMEL BY THE SEA CA 93923
APN: 010-013-010
OWNER: KATHY SCHWAB
PHONE: 970-648-4419
EMAIL: kathy@schwab@gmail.com

DATE: 09/30/22

[Signature]

APPROVED

12/19/2022

City of Carmel-by-the-Sea
Planning & Building Dept.

ELECTRICAL PLAN			
DRAWN BY: JASON MEHRINGER			
MARK	PHASE	DATE	
	DS APP REV	01-28-22	
	DS APP REV	03-11-22	
	BP APPLICATION	05-04-22	
	BP PLAN CHECK	06-14-22	
	FIELD REVISION	08-24-22	
	FIELD REVISION	09-29-22	

E1.0



Mehring Construction
481 Watson St. #6
Monterey, CA 93940
Lic. 893553

September 29, 2022

Carmel Planning Department
P.O. Box CC
Carmel-By-The-Sea, CA 93921

Please see the list of field revisions for the project currently under construction.
This list is to correspond with the updated set of drawings marked with Delta 3 clouding and dated 9-29-22.

Permit Number: BP 22-171
Address: Lobos St 3 SE of 3rd Ave.
Carmel-By-The-Sea, CA 93923
APN: 010-013-010
Owner: Kathy Schiavi

Cover sheet Project Data

1. See sheet G0.0 - updated Site Coverage to reflect the removal of 493 sf of existing gravel driveway and replacement with wood chips

APPROVED

12/19/2022

City of Carmel-by-the-Sea
Planning & Building Dept.

Site Plan

1. See Sheet C1.0 - added site coverage table
2. See Sheet C1.0 - See front porch, adding 5 sf of lower step
3. See Sheet C1.0 - see [e] driveway to per replace with 493 sf of wood chips
4. See Sheet C1.0 - see the north side yard stoop added for new door landing
5. See Sheet C1.0 - relocate gas meter for clearance from steps and new door

Proposed Floor Plan

1. See Sheet A1.1 - Proposed floor plan replace window 4 with 2'-8" door and new stone landing
2. See Sheet A1.1 - Door Schedule updated to reflect added door

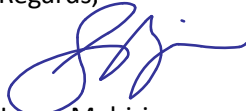
Proposed Elevations

1. See Sheet A2.1 - Proposed Left Elevation to show removed window and new door

Electrical Plan

1. See Sheet E1.0 - updated exterior light and switching for new door location.

Regards,



Jason Mehiring
Merhinger Construction
831-760-0275

APPROVED
12/19/2022
City of Carmel-by-the-Sea
Planning & Building Dept.