



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 22287

**Owner Name:** COSMERO CONSTRUCTION & DEVELOPMENT LLC

**Case Planner:** Suray Nathan, Assistant Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 01/04/2023

**Project Location:** MISSION 4 SW OF 10TH

**APN #:** 010152004000      **BLOCK/LOT:** 117/9

**Applicant:** Peter Lyle Strauhal

**Project Description:** Authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

<b>CONDITIONS OF APPROVAL</b>		
<b>No.</b>	<b>Standard Conditions</b>	
1.	<b>Authorization.</b> Approval of Design Study (DS 22-287, Cosmero) authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements located on Mission 4 SW of 10 <sup>th</sup> Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Peter Lyle Strauhal stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein	✓
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	<b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	<b>Service Laterals.</b> All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	<b>Fire Sprinklers - Residential.</b> Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).	✓
7.	<b>Modifications.</b> The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified.	✓

	A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
8.	<b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
9.	<b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee.  When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	✓
	<b>Landscape Conditions</b>	
10.	<b>Landscape Plan.</b> All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to the issuance of a building permit</u> . The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City’s recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓

11.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
12.	<b>Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2”) are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12”) of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
13.	<b>Erosion Control in the Right-of-Way.</b> Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City’s “List of Compatible Plants Under and Around Native Trees” located in the Forest Management Plan.	✓
14.	<b>Tree Planting Requirements.</b> Prior to issuance of a building permit, the applicant shall submit for review and approval by the Community Planning & Building Department and the City Forester, a final landscape and irrigation plan that shows the location, size and species of required tree plantings. All new trees shall be installed prior to final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester and/or Forest & Beach Commission.	✓
15.	<b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> <li>● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>● Excavation within 6 feet of a tree trunk is not permitted.</li> <li>● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.</li> <li>● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</li> <li>● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high</li> </ul>	✓

	<p>transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</p> <ul style="list-style-type: none"> <li>● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> <li>● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</li> </ul>	
16.	<p><b>Exterior Lighting.</b> Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p>	✓
17.	<p><b>Stone Facades (including chimneys).</b> Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning &amp; Building Director or his/her designee.</p>	✓

	The masonry patten shall be clearly identified in the construction drawings submitted with the building permit application.	
18.	<b>Asphalt Shingle Roofing.</b> The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.	✓
19.	<b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
20.	<b>Driveway.</b> The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.	✓
21.	<b>Hazardous Materials Waste Survey.</b> A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
22.	<b>Cultural Resources.</b> All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
23.	<b>Truck Haul Route.</b> Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and	✓

	any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	
24.	<b>USA North 811.</b> Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
25.	<b>Conditions of Approval.</b> All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
<b>ENVIRONMENTAL COMPLIANCE CONDITIONS</b>		
26.	<b>BMP Tracking Form.</b> Prior to issuance of a building permit, the applicant shall submit a completed BMP Tracking form for review and approval by the City of Carmel.	✓
27.	<b>Semi-Permeable Surfaces.</b> Prior to issuance of a building permit, the applicant shall provide cross-section details for semi-permeable surfaces.	✓
28.	<b>Erosion and Sediment Control Plan.</b> Prior to issuance of a building permit, the applicant shall provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access for review and approval by the City of Carmel.	✓
<b>SPECIAL CONDITIONS</b>		
29.	<b>Project Description:</b> Prior to the issuance of a building permit, the applicant shall write a detailed description of all work to be performed on the site plan.	✓
30.	<b>Plumbing Permit.</b> Prior to the issuance of a building permit, the applicant shall apply for a plumbing permit for the replacement of the fixtures.	✓
31.	<b>Site Coverage.</b> Prior to the final inspection, the applicant shall remove gravel from the rear of the lot and replace it with wood chips to comply with zoning requirement.	✓
32.	<b>Tree Planting Requirements.</b> Prior to the final inspection, the applicant shall plant two lower-canopy oak trees as shown on the approved plan.	✓
33.	<b>Final Inspection.</b> A final inspection is required by the Planning Division.	✓

Acknowledgement and acceptance of conditions of approval:

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

**Once signed, please email to [snathan@ci.carmel.ca.us](mailto:snathan@ci.carmel.ca.us).**

# AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 22-287 (Cosmero)  
Date Approved: 01/04/2023  
Planner: Suray Nathan.

## BUILDING CODE SUMMARY

### APPLICABLE CODE:

2019 TITLE 24, PART 2.5 CALIFORNIA RESIDENTIAL BUILDING CODE (CA BLDG CODE)

### PROJECT DESCRIPTION:

AN INTERIOR REMODEL & EXTERIOR RENOVATION TO AN EXISTING 2-STORY SINGLE FAMILY RESIDENCE W/ CONVENTIONAL WOOD FRAMING FRAMING ON STANDARD FOUNDATION.

### BLDG. CODE SUMMARY (2019 CA BLDG CODE):

1.) RESIDENTIAL ENERGY CODE:	(TABLE N1101.1(1) PER TABLE N1101.1(2), ENVELOPE ENHANCEMENT MEASURE 3, AND CONSERVATION MEASURE A WILL BE USED.	STANDARD BASE CASE APPLIES, U.O.N.
WALL INSULATION-ABOVE GRADE:	R-25 SPRAY FOAM INSULATION AT WALLS W/ THERMAL BREAK AT METAL FRMG.	R-25 SPRAY FOAM INSULATION AT WALLS W/ THERMAL BREAK AT METAL FRMG.
FLAT CEILINGS:	R-49 SPRAY FOAM INSULATION AT CEILING BETWEEN LIVING AND UNFINISHED SPACE	R-49 SPRAY FOAM INSULATION AT CEILING BETWEEN LIVING AND UNFINISHED SPACE
VAULTED CEILINGS:	NA	NA
UNDER FRAMED FLOORS:	SLAB W/ R-15 2'-0" AT PERIMETER	SLAB W/ R-15 2'-0" AT PERIMETER
WINDOWS:	U-0.30, SHGC: 0.25	U-0.30, SHGC: 0.25
WINDOW AREA LIMITATION:	N/A	N/A
SKYLIGHTS:	U-0.50	U-0.50
EXTERIOR DOORS:	R-5	R-5
EXTERIOR DOORS W/ > 2.5 s.f. GLAZING:	R-2	R-2
FORCED AIR DUCT INSULATION:	R-8	R-8
HIGH EFFICACY LIGHTING:	100% HIGH EFFICACY LIGHTING	100% HIGH EFFICACY LIGHTING
RECESSED LIGHTING FIXTURES:	SHALL MEET CA BLDG CODE REQUIREMENTS.	SHALL MEET CA BLDG CODE REQUIREMENTS.
WINDOW AIR LEAKAGE:	SHALL MEET CA BLDG CODE REQUIREMENTS.	SHALL MEET CA BLDG CODE REQUIREMENTS.
VAPOR BARRIERS:	PROVIDE MIN. (1) PERM. VAPOR BARRIER AT WARM SIDE OF ALL INSULATION.	PROVIDE MIN. (1) PERM. VAPOR BARRIER AT WARM SIDE OF ALL INSULATION.
GROUND COVER:	IF WE HAVE TO	IF WE HAVE TO
HVAC EQUIPMENT:	SHALL MEET CA BLDG CODE REQUIREMENTS.	SHALL MEET CA BLDG CODE REQUIREMENTS.
PIPING INSULATION:	SHALL MEET CA BLDG CODE REQUIREMENTS.	SHALL MEET CA BLDG CODE REQUIREMENTS.
2.) STRUCTURAL DESIGN CRITERIA:	(CA BLDG CODE SEC. 301) PRE-ENGINEERED SYSTEM	PRE-ENGINEERED SYSTEM
-	SEE STRUCTURAL ENGINEERING	SEE STRUCTURAL ENGINEERING
-	-	-
-	-	-
CONSTRUCTION SYSTEM TYPE:	PORTAL FRAME & POLE FRAMED W/ HORIZONTAL PURLINS & GIRTS	PORTAL FRAME & POLE FRAMED W/ HORIZONTAL PURLINS & GIRTS
CLIMATIC AND GEOGRAPHIC DESIGN DATA:	-	-
ELEVATION:	150 FT.	150 FT.
SEISMIC DESIGN CATEGORY:	D1 (VERIFY W/ STRUCTURAL)	D1 (VERIFY W/ STRUCTURAL)
FLOOD HAZARD DESIGN CRITERIA:	N/A	N/A
FROST DEPTH:	12"	12"
WIND EXPOSURE CLASSIFICATION:	B	B
STORY HEIGHT:	SEE CROSS SECTIONS	SEE CROSS SECTIONS
LIVE LOADS:	-	-
NON-SLEEPING AREAS:	40 LB./S.F. (VERIFY W/ STRUCTURAL)	40 LB./S.F. (VERIFY W/ STRUCTURAL)
3.) FIRE-RESISTIVE CONSTRUCTION:	N/A	N/A
EXTERIOR WALLS, PROJECTIONS, & OPENINGS:	-	-
FLAME SPREAD AND SMOKE-DEV. INDEXES	-	-
SMOKE AND CO2 ALARMS:	CONTRACTOR SHALL VERIFY EXISTING ALARMS ARE SATISFACTORY AND SHALL PROVIDE (1) NEW CO2 ALARM W/ POWER CONNECTION OUTSIDE NEW BEDROOM AND SMOKE ALARMS AS REQUIRED BY 2019 CA BLDG CODE.	CONTRACTOR SHALL VERIFY EXISTING ALARMS ARE SATISFACTORY AND SHALL PROVIDE (1) NEW CO2 ALARM W/ POWER CONNECTION OUTSIDE NEW BEDROOM AND SMOKE ALARMS AS REQUIRED BY 2019 CA BLDG CODE.
4.) VENTILATION:	ROOF VENTILATION - NO ATTIC	UNDERFLOOR VENTILATION - NO UNDERFLOOR

## ZONE CODE SUMMARY

### PROJECT/SITE INFORMATION:

1.) GOVERNING AGENCY:	CARMEL-BY-THE-SEA
2.) BUILDING ZONE:	SINGLE FAMILY
SITE ADDRESS:	SEE TITLE BLOCK
TAX LOT #:	SEE TITLE BLOCK
PERMITTED USE:	SINGLE FAMILY RESIDENCE (EXISTING TO REMAIN)
3.) SETBACKS:	NORTH: EXISTING TO REMAIN UNCHANGED SOUTH: EXISTING TO REMAIN UNCHANGED EAST: EXISTING TO REMAIN UNCHANGED EAST: EXISTING TO REMAIN UNCHANGED
4.) TOTAL SITE AREA:	PER SITE PLAN
5.) BUILDING AREA:	EXISTING TO REMAIN UNCHANGED
6.) BUILDING HEIGHT:	EXISTING TO REMAIN UNCHANGED
7.) SEPTIC AUTHORIZATION:	EXISTING TO REMAIN UNCHANGED

### BLDG. CODE SUMMARY (2019 CA BLDG CODE):

- NOTES PER CHAPTER 7A MATERIALS CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE:
  - ROOF COVERINGS: ROOF COVERINGS WALLS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF PAINTED, GALVANIZED STEEL.
  - ROOF VALLEYS: NO ROOF VALLEYS PROPOSED.
  - ROOF GUTTERS: ROOF GUTTERS ARE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
  - ATTIC VENTS: ATTIC VENTS ARE PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4 INCH (6 MM) OPENINGS OR ITS EQUIVALENT.
  - EAVE VENTS: NO EAVE VENTS PROPOSED.
  - EXTERIOR WALLS: EXTERIOR WALLS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL.
  - EXTERIOR WALL VENTS: NO EXTERIOR WALL VENTS PROPOSED.
  - EXTERIOR GLAZING: THIS BUILDING CONTAINS NO EXTERIOR GLAZING.
  - EXTERIOR DOOR ASSEMBLIES: EXTERIOR DOORS AND VEHICLE ACCESS DOORS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL.
  - UNDERSIDE OF APPENDAGES AND FLOOR PROJECTIONS: THE BUILDING OVERHANGS ARE ENCLOSED WITH METAL SOFFITS.
  - UNENCLOSED UNDER-FLOOR PROTECTION: THIS BUILDING HAS NO PROPOSED UNDER-FLOOR AREA.
  - DECKING, ETC.: ALL PORTIONS OF SUCH SURFACES IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE OF APPROVED NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL.
- 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN
 

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN

SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

  - IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
    - WASTE AND DEMOLITION MATERIALS THAT WILL BE PRESENT ON THE SITE ARE: BRUSH/GREEN CLIPPINGS, WOOD FORMS WILL BE COLLECTED AND REUSED BY CONCRETE COMPANY, BASE ROCK TO BE BROUGHT IN TO BUILDING TO GRADE.
  - SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
    - ALL CONSTRUCTION AND WASTE MATERIALS WILL BE SORTED ON SITE FOR APPROPRIATE DISPOSAL ACCORDINGLY.
  - IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
    - GREEN WASTE MATERIAL WILL BE MOVED TO THE CHICO COMPOST FACILITY LOCATED AT 4441 COHASSET RD, CHICO, CA 95973.
    - ALL STEEL WASTE (IF ANY) WILL BE TAKEN TO CHICO SCRAP METAL, INC LOCATED AT 878 E 20TH ST, CHICO, CA 95928
    - ALL BASE ROCK REMNANT WILL BE REUSED ONSITE
    - WOODEN FORMS FOR CONCRETE WILL BE COLLECTED BY JR CEMENT INC, (530) 330-6465
  - IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
    - STRUCTURE PROVIDED IS A PRE-CUT PREFORMED STRUCTURE, FOLLOWING CONSTRUCTION INSTRUCTIONS PROVIDED WILL RESULT IN NO WASTE
    - SLAB WILL BE POURED ON SITE DELIVERED IN TRUCKS, FORMS PROVIDED AND COLLECTED TO BE REUSED BY CONCRETE CONTRACTOR
    - NO EXCAVATION OF SITE WILL RESULT IN NO REMNANT SOIL TO BE DISPOSED OF.
  - SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
    - WASTE MATERIALS THAT ARE DIVERTED WILL BE CALCULATED BY WEIGHT

## SHEET INDEX:

### PROJECT DRAWINGS:

A0.1	PROJECT/CODE SUMMARY INFORMATION
A0.2	STRUCTURAL NOTES

### SITE & DRAWINGS:

A1.0	EXISTING SITE PLAN
A1.1	PROPOSED ARCHITECTURAL SITE PLAN

### ARCHITECTURAL DRAWINGS

A2.0	EXISTING FLOOR PLANS
A3.0	PROPOSED ARCHITECTURAL FLOOR PLANS

### CALIFORNIA CODE DOCUMENTS:

CG1.0-CG1.1	CALIFORNIA GREEN CODE MANDATORY MEASURES
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### MECHANICAL DRAWINGS:

NOTE: THE MECHANICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE MECHANICAL PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. MECHANICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE MECHANICAL DRAWINGS.

### PLUMBING DRAWINGS:


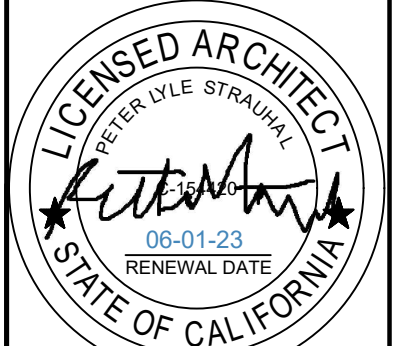
NOTE: THE PLUMBING BUILDING AND PLUMBING SITE LAYOUT FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE FULL PLUMBING PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. PLUMBING WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE PLUMBING DRAWINGS.

### ELECTRICAL DRAWINGS:

NOTE: THE ELECTRICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE ELECTRICAL PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. ELECTRICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE ELECTRICAL DRAWINGS.

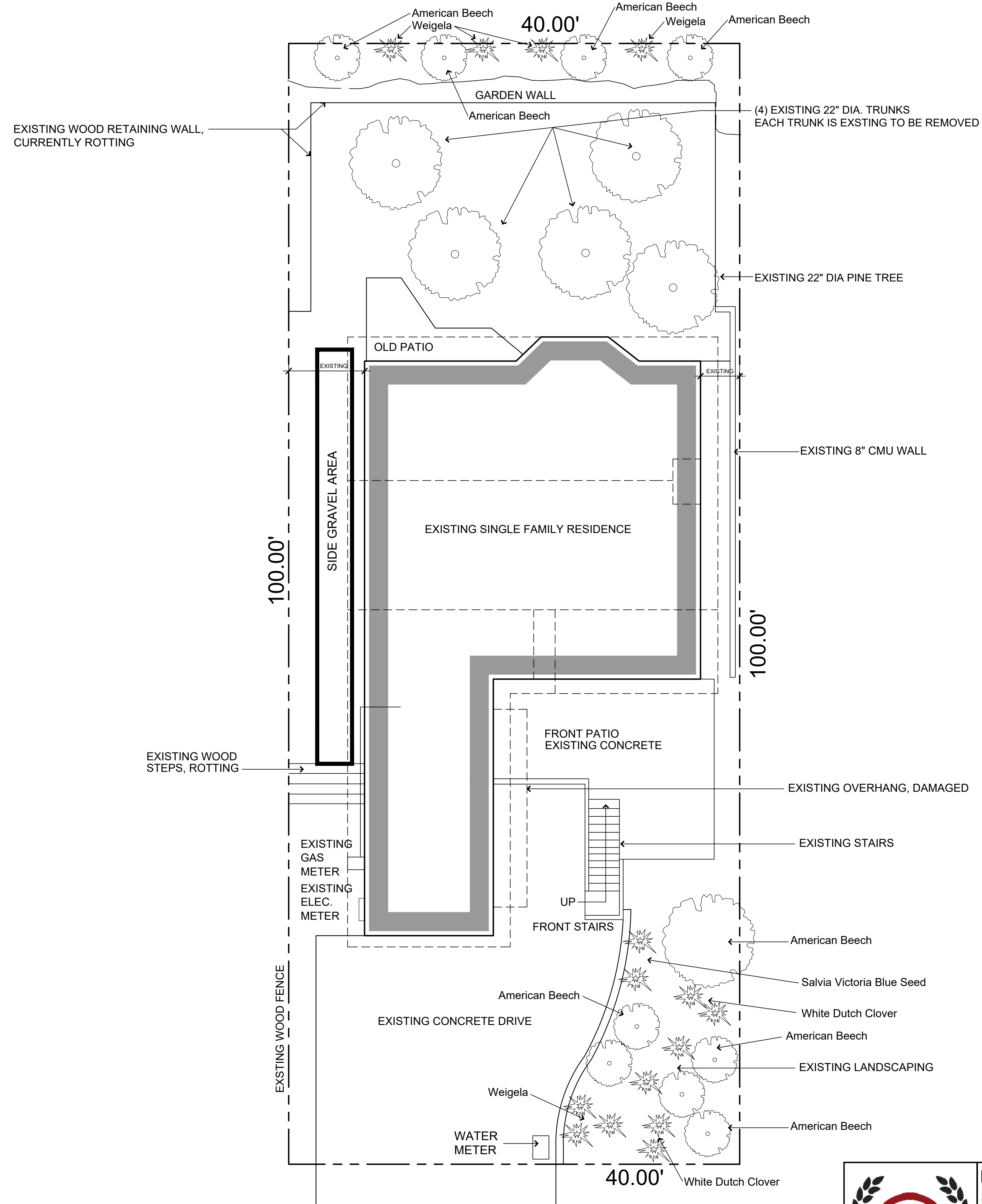
### FIRE SPRINKLER & FIRE ALARM DRAWINGS:

NOTE: THE FIRE SPRINKLER & FIRE ALARM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE FIRE DRAWINGS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. FIRE SUPPRESSION & ALARM WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE FIRE DRAWINGS.

 <p><b>BLS Green</b> Steel Buildings Peter Strauhel, CEO AIA, LEED GA PO BOX 3164 Salem, OR 97302 971-240-5309 www.blsgreenbuildings.com</p>	 <p>LICENSED ARCHITECT PETER LYLE STRAUHAL STATE OF CALIFORNIA 06-01-23 RENEWAL DATE</p>	<p><b>AN EXTERIOR &amp; INTERIOR RENOVATION FOR GREG COSMERO</b></p>		<p><b>A0.1</b></p>
		<p>PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000</p>	<p>Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA</p>	<p>COVER SHEET PROJ.#: 22068 DATE: 08.02.22</p>





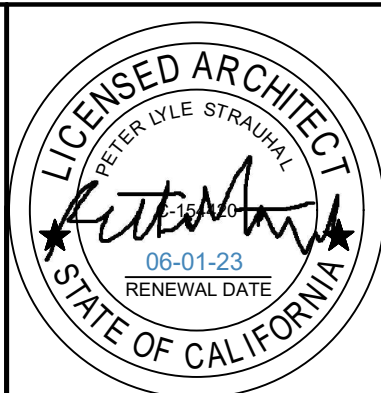


**EXISTING SITE PLAN**  
 SCALE: 3/16" = 1'-0"

Rev.1:11.30.22



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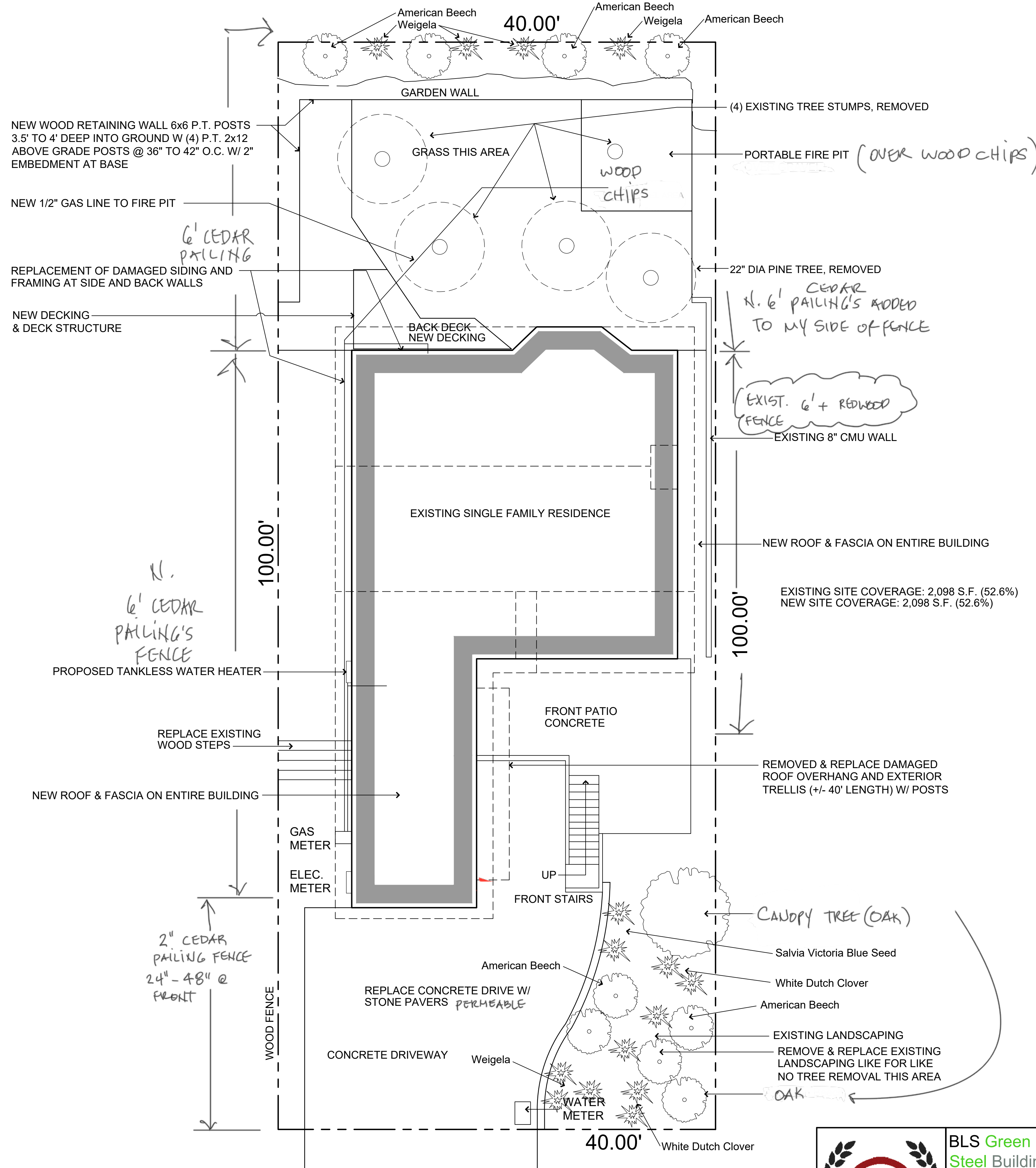
**AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO**

PROJECT ADDRESS:  
 MISSION 4 SW OF 10TH  
 CARMEL-BY-THE, CA 93921  
 PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership  
 Architect, Anthony Laney  
 PO BOX 3164, SALEM, OR 97302  
 PH: 971-239-1519  
 CONTACT: PETER LYLE STRAUHAL, AIA

**A1.0**

EXISTING SITE  
 PROJ.#: 22068  
 DATE: 08.02.22



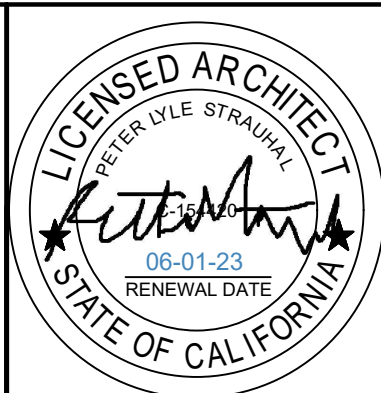
EXISTING SITE COVERAGE: 2,098 S.F. (52.6%)  
 NEW SITE COVERAGE: 2,098 S.F. (52.6%)

PERVIOUS COVERAGE	EXISTING		PROPOSED	
BACK GRAVEL AREA	0 SQ. FT.		104 SQ. FT.	
SIDE GRAVEL AREA	115 SQ. FT.		0 SQ. FT.	
<b>TOTAL PERVIOUS COVERAGE</b>	<b>115 SQ. FT.</b>	<b>2.9%</b>	<b>104 SQ. FT.</b>	<b>2.6%</b>
IMPERVIOUS COVERAGE				
CONCRETE DRIVEWAY	623 SQ. FT.		623 SQ. FT.	
FRONT PATIO	239 SQ. FT.		239 SQ. FT.	
FRONT STAIRS	41 SQ. FT.		41 SQ. FT.	
BACK DECK	0 SQ. FT.		57 SQ. FT.	
BACK PATIO	57 SQ. FT.		0 SQ. FT.	
GARDEN WALL	4 SQ. FT.		4 SQ. FT.	
<b>TOTAL IMPERVIOUS COVERATE</b>	<b>960 SQ. FT.</b>	<b>23.9%</b>	<b>960 SQ. FT.</b>	<b>23.9%</b>
<b>TOTAL GROSS COVERAGE</b>	<b>1,075 SQ. FT.</b>	<b>26.7%</b>	<b>1,064 SQ. FT.</b>	<b>26.4%</b>

**PROPOSED ARCHITECTURAL SITE PLAN**  
 SCALE: 3/16" = 1'-0"



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**AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO**

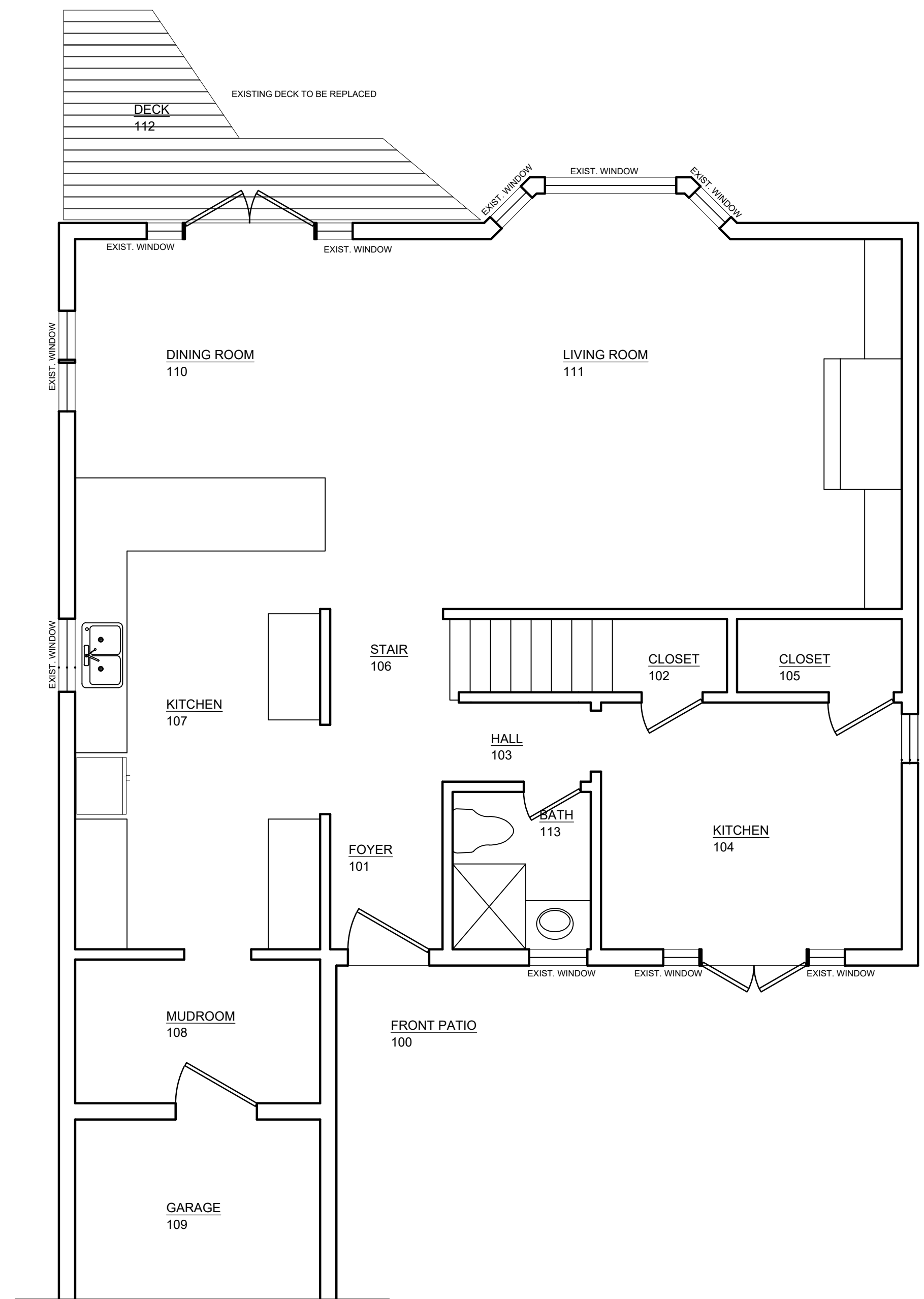
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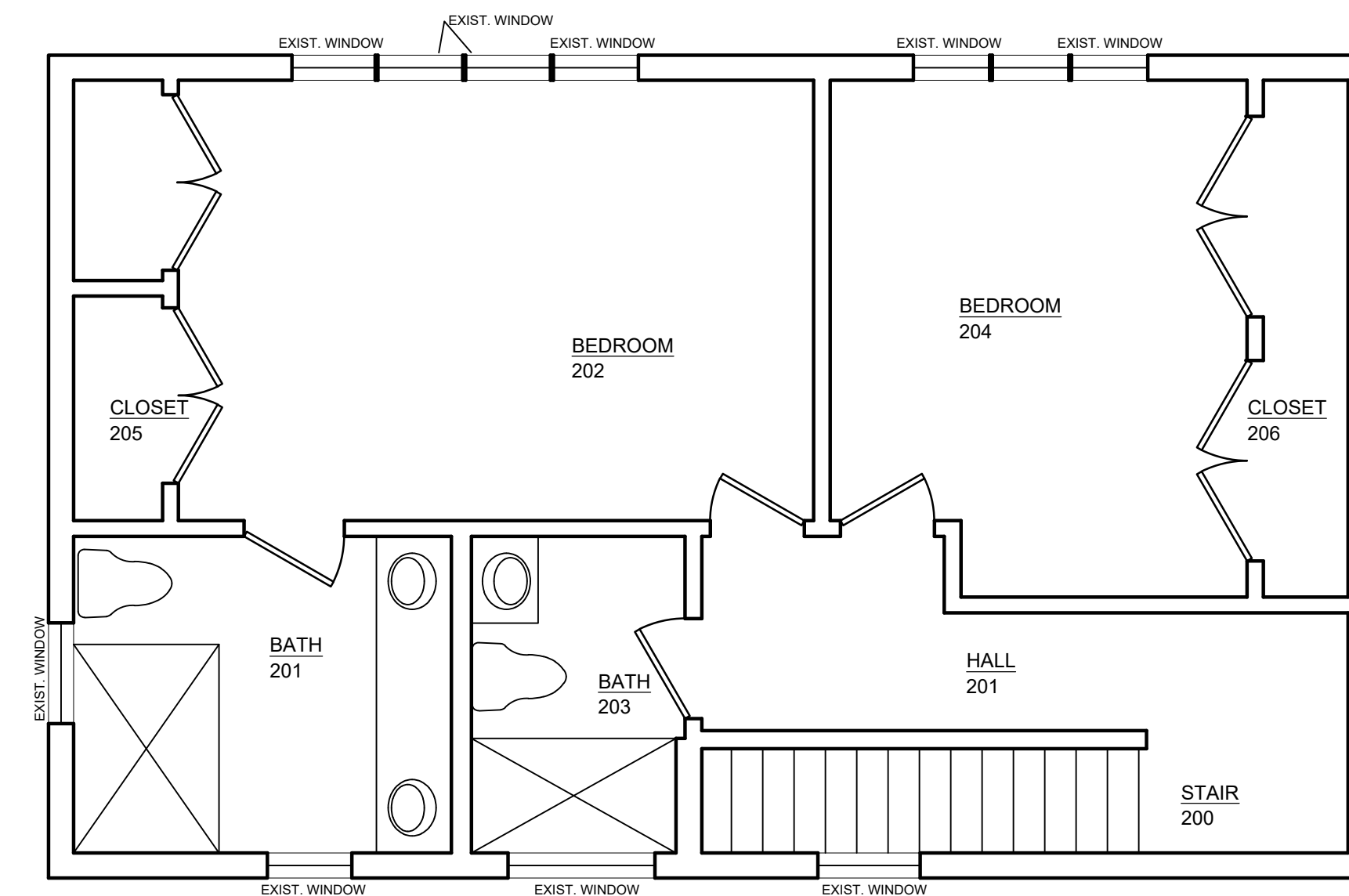
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SITE PLAN  
 PROJ.#: 22068  
 DATE: 08.02.22

Rev.1:11.30.22



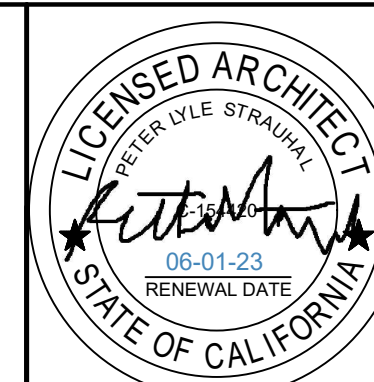
**EXISTING MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**EXISTING UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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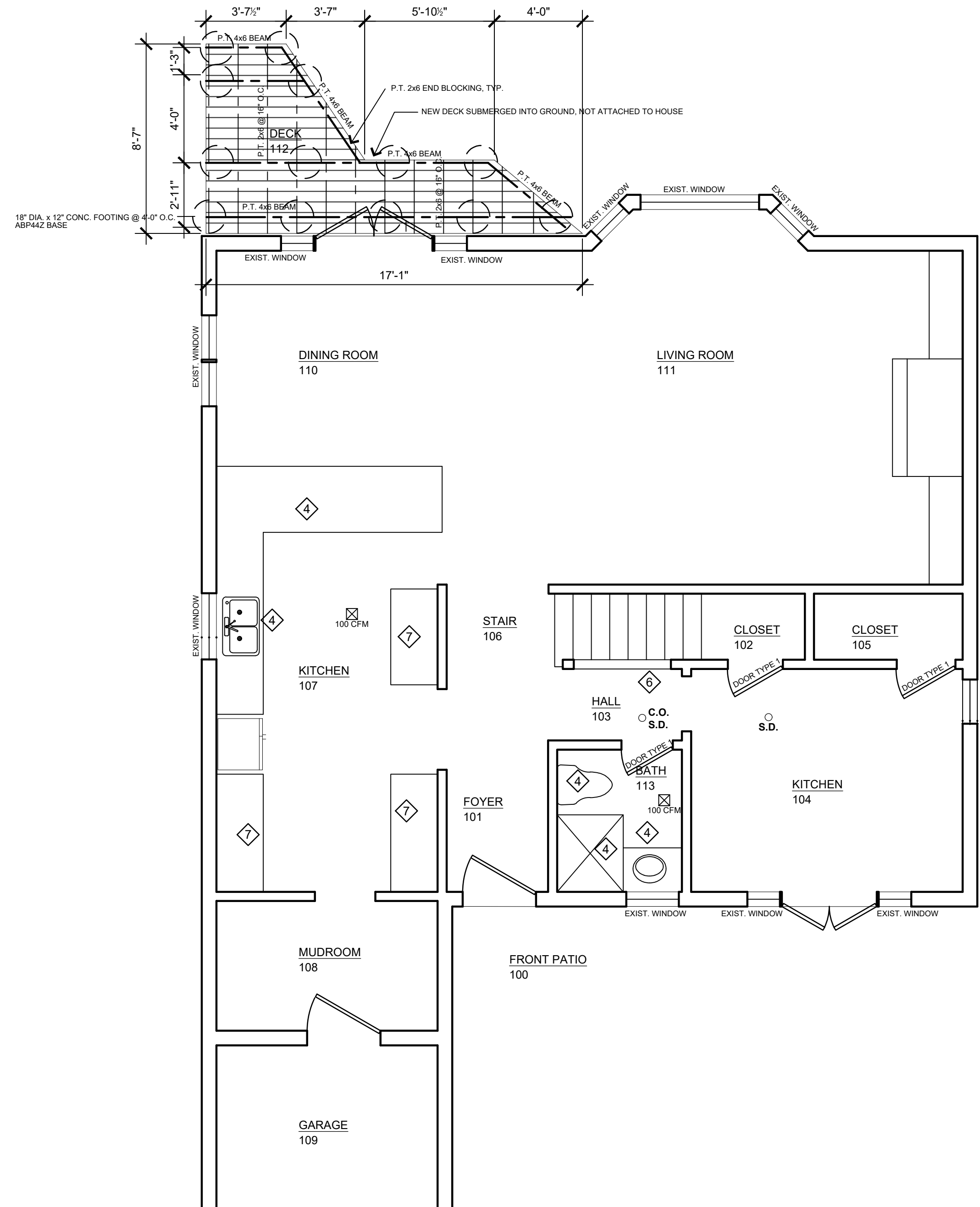
**AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO**

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CARMEL-BY-THE, CA 93921  
PARCEL #: 010-152-004-000

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**A2.0**

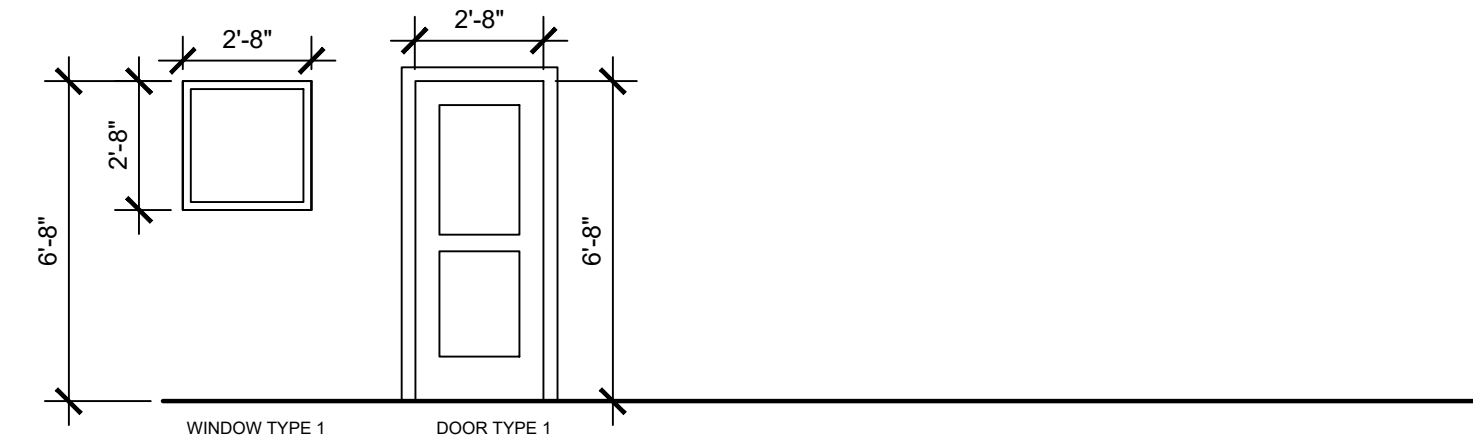
EXISTING PLANS  
PROJ.#: 22068  
DATE: 08.02.22



**ARCHITECTURAL FIRST FLOOR**  
SCALE: 1/4" = 1'-0"

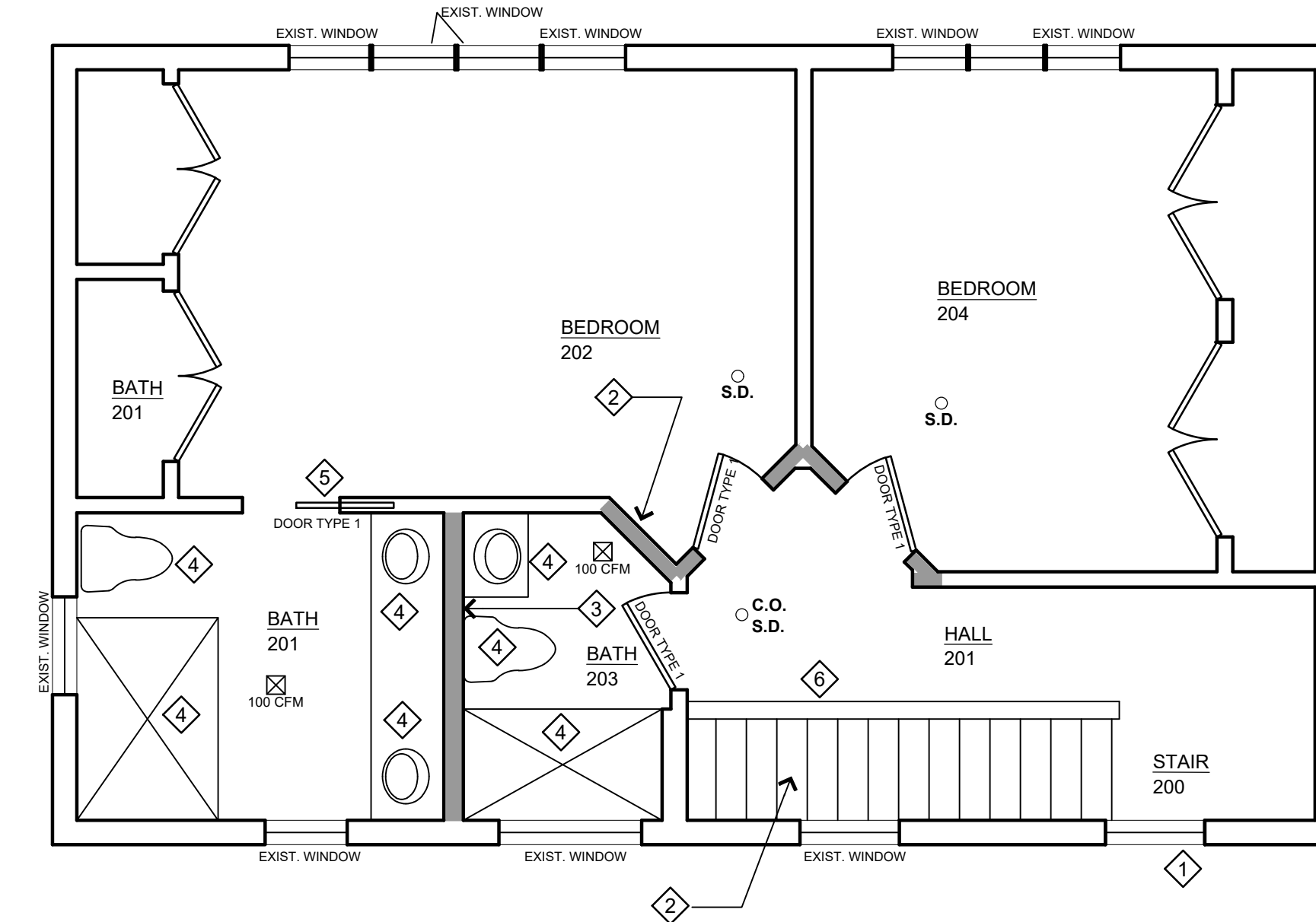
**DEMOLITION PLAN KEY NOTES:**

- 1 REMOVE PORTION OF WALL TO ALLOW FOR THE INSTALLATION OF A NEW WINDOW.
- 2 REMOVE CEILING SOFFIT ABOVE STAIR.
- 3 REPLACE EXISTING BATHROOM PLUMBING WALL FRAMING.
- 4 REMOVE & REPLACE PLUMBING FIXTURES WITH NEW UPDATED UNITS. MODIFY / ADD SHOWER AREA.
- 5 REWORK DOOR AND WALL, ADD NEW POCKET DOOR.
- 6 REMOVE AND REPLACE GUARDRAIL.
- 7 REMOVE & REPLACE CABINETS.



**WINDOW & DOOR SCHEDULE**

SCALE: 1/4" = 1'-0"



**ARCHITECTURAL BASEMENT FLOOR**  
SCALE: 1/4" = 1'-0"

**DEMOLITION PLAN GEN. NOTES:**

1. ALL EXISTING FLOOR COVERINGS IN AREA OF WORK TO BE REMOVED IN THEIR ENTIRETY DOWN TO (EX) TILE FLOORING. VERIFY EXTENT W/ OWNER. THE EXISTING FLOOR IS TO BE CLEANED AND PREPARED PER MANUFACTURER'S SPECIFICATIONS FOR RECEIVING NEW FLOOR COVERING.
2. SEE BIDDER-DESIGNED MECHANICAL DRAWINGS FOR DEMOLITION OF HVAC DUCTING / HVAC UNITS.
3. REMOVE ALL ABANDONED THERMOSTATS AND CONTROLLERS FOR THE HVAC SYSTEM. PATCH WALLS AS REQUIRED.
4. REMOVE ALL ABANDONED ELECTRICAL OUTLETS, SWITCHES, AND RELATED COMPONENTS IN AREAS OF DEMOLITION.
5. CAP ALL ABANDONED PLUMBING PIPING BELOW FINISH FLOOR AND PATCH AS REQUIRED.
6. DIMENSIONS SHALL BE FROM OUTSIDE FACE OF STUD FRAMING. UNLESS OTHERWISE NOTED/INDICATED.
7. SEE BIDDER/DESIGNED MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EXTANT OF FINISHES TO BE REMOVED AS REQUIRED FOR THE INSTALLATION OF NEW ELECTRICAL, PLUMBING AND MECHANICAL LINES.

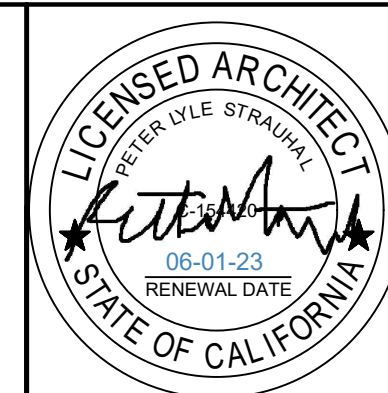
**CONTRACTOR DEMOLITION PLAN NOTES:**

- A. THE CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE JOB SITE AND WITH EXISTING CONDITIONS WHICH MAY IMPACT THE WORK.
- B. THE CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THE WORK.
- C. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
- D. CONTRACTOR SHALL ALSO COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES CONCERNING DEMOLITION OPERATIONS AND REFUSE REMOVAL AND DISPOSAL. CONTRACTOR TO PAY ALL DUMPING FEES.
- E. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY UNCERTAINTIES OR DISCREPANCIES.
- F. DO NOT CLOSE OR OBSTRUCT PEDESTRIAN OR VEHICULAR ACCESS EXCEPT WHERE AUTHORIZED OR INDICATED ON THE DRAWINGS, SEE SHEET A1.0 FOR ADDITIONAL INFORMATION.
- G. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADING NECESSARY TO ENSURE THE HEALTH AND SAFETY OF ALL WHO ENTER THE DEMOLITION AREA DURING THE CONSTRUCTION.
- H. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- I. ALL ITEMS TAKEN OUT DURING DEMOLITION NOT TO BE SALVAGED FOR OWNER OR REUSED IN THE WORK SHALL BE REMOVED FROM THE PROPERTY.
- J. PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. PROTECT SPACE ADJACENT TO DEMOLITION WORK. PROTECT EXISTING WALL, FLOOR AND CEILING FINISHES TO REMAIN. CONTAIN ALL CONSTRUCTION DUST IN WORK AREA.
- K. ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUSES.
- L. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE OR -O.S.H.A. STANDARDS BOTH FOR ALL EMPLOYEES AND THE GENERAL PUBLIC.
- M. PRIOR TO BEGINNING ANY DEMOLITION, A SURVEY OF THE PROPOSED DEMOLITION SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE CONNECTIONS, AND AS BUILT CONDITIONS OF THE AREA TO BE DISMANTLED. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.
- N. REMOVE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL IN DEMOLISHED WALLS, FLOORS AND CEILINGS. NOTE THE FOLLOWING ITEMS.
  1. REMOVE / CAP ALL PLUMBING PIPING BELOW FINISH FLOOR LINE AS REQUIRED.
  2. CAP FLOOR DRAINS AS REQUIRED, PATCH AND INFILL W/ CONC. AS REQUIRED.
  3. REMOVE ALL ABANDONED ELECTRICAL LINES BACK TO PANEL.
  4. HVAC DUCTS TO REMAIN SHALL BE SECURED TO ROOF STRUCTURE AS REQUIRED.
- O. DETERMINE IF ANY TYPE OF HAZARDOUS CHEMICALS, FLAMMABLE MATERIALS OR SIMILAR DANGEROUS SUBSTANCE, INCLUDING ASBESTOS, HAVE BEEN USED IN ANY PIPES. WHEN THE PRESENCE OF SUCH SUBSTANCE IS APPARENT OR SUSPECT, TESTING AND PURGING SHALL BE PERFORMED AND THE HAZARD ABATED, REMOVED, OR ELIMINATED BY APPROVED HAZ. MAT. CONTRACTORS BEFORE DEMOLITION STARTS OR CONTINUES.
- P. CONTRACTOR SHALL MAINTAIN MINIMAL LIGHTING IN DEMO SPACES TO PREVENT INJURY OR HARM.
- Q. PATCH EXISTING CONCRETE FLOOR AS REQUIRED FOR THE APPLICATIONS OF NEWLY INDICATED FINISHES.
- R. EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED TO PROVIDE A UNIFORM SURFACE, MATCHING ADJACENT NEW SURFACES FOR THE APPLICATION OF NEWLY INDICATED FINISHES.
- T. THE PUBLIC SHALL BE PROTECTED FROM DEMOLITION MATERIAL, DUST, FUMES, ETC. BY BARRIERS AND/OR PLASTIC SHEETS AS REQUIRED. DEMOLITION WORK SHALL CEASE IF THE PUBLIC IS ENDANGERED IN ANY WAY.
- U. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AT THE SITE WORK AREA, PROTECT THEM FROM DAMAGE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

**NOTE:**  
TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE, AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.



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CONTACT: PETER LYLE STRAUHAL, AIA

**A3.0**  
FLOOR PLAN  
PROJ.#: 22068  
DATE: 08.02.22



# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y = YES  
N/A = NOT APPLICABLE  
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

Y	N/A	RESPON. PARTY
		<b>CHAPTER 3 GREEN BUILDING</b>
		<b>SECTION 301 GENERAL</b>
		<b>301.1 SCOPE.</b> Buildings shall be designed to include the green building measures specified as mandatory in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or state and county as specified in Section 101.7.
		<b>301.1.1 Additions and alterations. [HCD]</b> The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.
		<b>Note:</b> On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.
		<b>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]</b> The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.
		<b>SECTION 302 MIXED OCCUPANCY BUILDINGS</b>
		<b>302.1 MIXED OCCUPANCY BUILDINGS.</b> In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.
		<b>ABBREVIATION DEFINITIONS:</b> HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHDP Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New
		<b>RESIDENTIAL MANDATORY MEASURES</b>
		<b>DIVISION 4.1 PLANNING AND DESIGN</b>
		<b>SECTION 4.102 DEFINITIONS</b>
		<b>4.102.1 DEFINITIONS</b> The following terms are defined in Chapter 2 (and are included here for reference)
		<b>FRENCH DRAIN.</b> A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.
		<b>WATTLES.</b> Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.
		<b>4.106 SITE DEVELOPMENT</b>
		<b>4.106.1 GENERAL.</b> Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.
		<b>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.</b> Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. <b>Note:</b> Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: <a href="https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html">https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html</a> )
		<b>4.106.3 GRADING AND PAVING.</b> Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. <b>Exception:</b> Additions and alterations not altering the drainage path.
		<b>4.106.4 Electric vehicle (EV) charging for new construction.</b> New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. <b>Exceptions:</b> 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no commercial power supply. 1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.
		<b>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.</b> For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous and enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. <b>4.106.4.1.1 Identification.</b> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".
		<b>4.106.4.2 New multifamily dwellings.</b> If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number. <b>Notes:</b> 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. <b>4.106.4.2.1 Electric vehicle charging space (EV space) locations.</b> Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

Y	N/A	RESPON. PARTY																		
		<b>4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS)</b> When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: 1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. <b>Exception:</b> Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3. <b>Note:</b> Electric Vehicle charging stations serving public housing are required to comply with the California Building Code, Chapter 11B.																		
		<b>4.106.4.2.2 Electric vehicle charging space (EV space) dimensions.</b> The EV space shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm). 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm). a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.																		
		<b>4.106.4.2.3 Single EV space required.</b> Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. <b>4.106.4.2.4 Multiple EV spaces required.</b> Construction documents shall indicate the raceway termination point and proposed location of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated ampereage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. <b>4.106.4.2.5 Identification.</b> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. <b>4.106.4.3 New hotels and motels.</b> All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces. <b>Notes:</b> 1. Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. <b>4.106.4.3.1 Number of required EV spaces.</b> The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.																		
		<b>TABLE 4.106.4.3.1</b>																		
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		<b>4.106.4.3.6 Accessible EV spaces.</b> In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B.																		

### DIVISION 4.2 ENERGY EFFICIENCY

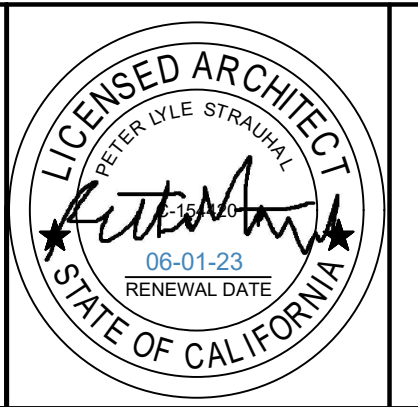
**4.201 GENERAL**  
**4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

Y	N/A	RESPON. PARTY																
		<b>DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION</b>																
		<b>4.303 INDOOR WATER USE</b>																
		<b>4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.</b> Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4. <b>Note:</b> All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. <b>4.303.1.1 Water Closets.</b> The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. <b>Note:</b> The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. <b>4.303.1.2 Urinals.</b> The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. <b>4.303.1.3 Showerheads.</b> <b>4.303.1.3.1 Single Showerhead.</b> Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. <b>4.303.1.3.2 Multiple showerheads serving one shower.</b> When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. <b>Note:</b> A hand-held shower shall be considered a showerhead. <b>4.303.1.4 Faucets.</b> <b>4.303.1.4.1 Residential Lavatory Faucets.</b> The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. <b>4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.</b> The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. <b>4.303.1.4.3 Metering Faucets.</b> Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. <b>4.303.1.4.4 Kitchen Faucets.</b> The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. <b>Note:</b> Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. <b>4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.</b> Plumbing fixtures and fittings shall be installed in accordance with the and shall meet the applicable standards referenced in Table 1701.1.1 of the California Plumbing Code. <b>NOTE:</b> THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.																
		<b>TABLE - MAXIMUM FIXTURE WATER USE</b>																
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		<b>4.304 OUTDOOR WATER USE</b>																
		<b>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.</b> Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. <b>NOTES:</b> 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2, MWELO and supporting documents, including water budget calculator, are available at: <a href="https://www.water.ca.gov/">https://www.water.ca.gov/</a>																

Y	N/A	RESPON. PARTY
		<b>DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</b>
		<b>4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE</b>
		<b>4.406.1 RODENT PROOFING.</b> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
		<b>4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING</b>
		<b>4.408.1 CONSTRUCTION WASTE MANAGEMENT.</b> Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. <b>Exceptions:</b> 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. <b>4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN.</b> Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. <b>4.408.3 WASTE MANAGEMENT COMPANY.</b> Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. <b>Note:</b> The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. <b>4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].</b> Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. <b>4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.</b> Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. <b>4.408.5 DOCUMENTATION.</b> Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4. <b>Notes:</b> 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at <a href="http://www.hcd.ca.gov/CALGreen.html">www.hcd.ca.gov/CALGreen.html</a> may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). <b>4.410 BUILDING MAINTENANCE AND OPERATION</b>
		<b>4.410.1 OPERATION AND MAINTENANCE MANUAL.</b> At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. <b>4.410.2 RECYCLING BY OCCUPANTS.</b> Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. <b>Exception:</b> Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
		<b>DIVISION 4.5 ENVIRONMENTAL QUALITY</b>
		<b>SECTION 4.501 GENERAL</b>
		<b>4.501.1 Scope</b> The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.
		<b>SECTION 4.502 DEFINITIONS</b>
		The following terms are defined in Chapter 2 (and are included here for reference) <b>AGRIFIBER PRODUCTS.</b> Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. <b>COMPOSITE WOOD PRODUCTS.</b> Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1. <b>DIRECT-VENT APPLIANCE.</b> A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.



**BLS Green Steel Buildings**  
Peter Strauhl, CEO  
AIA, LEED GA  
PO BOX 3164  
Salem, OR 97302  
971-240-5309  
[www.blsgreenbuildings.com](http://www.blsgreenbuildings.com)

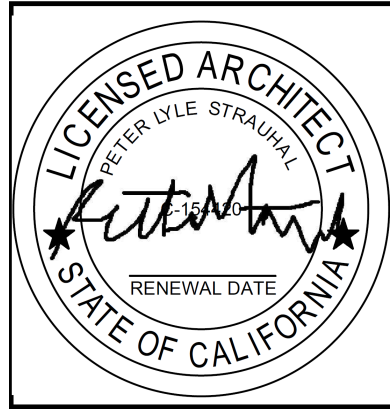


<b>AN EXTERIOR &amp; INTERIOR RENOVATION FOR GREG COSMERO</b>		<b>CG1.1</b>
PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000	Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA	GREEN CODE PROJ.#: 22068 DATE: 08.02.22

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## Peter Lyle Strauhal, AIA, LEED AP

Principal Architect  
PO Box 3164  
Salem, OR 97302  
971-239-1519  
pstrauhal@gmail.com



12 December, 2022

## Pacific Grove, California

### Attn: Plan Reviewer

Dear City Staff,

RE: MBP22-0856, Project Name/Description: ADU, 823 Lydon St., Monterey, CA **Per your checksheet, here is our response for Subject Property:**

*City of Carmel-by-the-Sea  
COMMUNITY PLANNING AND BUILDING DEPARTMENT  
POST OFFICE DRAWER CC  
CARMEL-BY-THE-SEA, CA 93921  
(831) 620-2010 OFFICE  
October 31, 2022  
Peter Lyle Strauhal  
PO Box 3164  
Salem, OR 97302  
Email: pstrauhal@gmail.com  
Subject: Completeness Review Letter  
Design Study DS 22-287 (Cosmero)  
Mission 4 SW of 10th Ave  
Block: 117 Lot: 9 APN: 010-152-004-000*

*Dear Mr. Strauhal,*

*Thank you for submitting a Design Study application (DS 22-287, Cosmero) for the repair roof eave and reroofing, replace existing siding, fencing, decking and trellis received on October 8, 2022. The staff has determined that the following additional information and/or revisions to the plans are required:*

*1. A city business license is required on the planning application. Please indicate the applicant's city business license number. If the applicant does not hold a city business license, please apply for the appropriate license. Please direct questions regarding business licenses to (831) 620-2000 or [cityclerk@ci.carmel.ca.us](mailto:cityclerk@ci.carmel.ca.us).*

**Response: Application has been submitted for city business license to City of Carmel-by-the-Sea.**

*2. The City records indicate the site has not been evaluated for eligibility as a historic resource. Therefore, no application shall be deemed complete unless it includes a determination that the property is either eligible or ineligible for the Carmel Historic Inventory (CMC 17.32.130). Please apply for a Historic Evaluation. Here is the link to the application. Applications can be submitted online at <https://carmel.portal.iworq.net/portalthome/carmel>.*



**Response: Historic Evaluation has been requested.**

3. Provide a data table showing calculations for existing and proposed site coverage (see sample below) and label all improvements on the site plan, as appropriate. Site coverage is defined as the total ground area of a site occupied by materials or improvements that cover the natural soil but which are outside the perimeter of structures that count as floor area. Site coverage includes:

**Response: Table with areas and labels have been provided on sheet A1.1.**

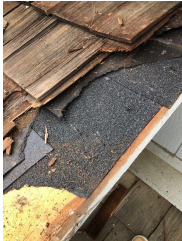
A. Fully permeable materials including gravel, spaced decking, and exterior stairs. However, shredded bark, wood chips, and similar materials used as mulch within fully landscaped areas are not counted as site coverage.

B. Semi-permeable materials including sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

C. Impermeable materials including asphalt, concrete, mortared brick and stone, decomposed granite, unspaced decking and balconies at any level, garden walls, solariums, bridges, sheds not counted as floor area, ponds, hot tubs, and swimming pools.

**Response: Understood. No Additional Response.**

4. Submit a representative photograph and specification cut sheet depicting the existing and proposed roofing material(s).



Old Roof



New Roof (Under separate, approved permit)

5. Provide the existing and proposed materials for the siding on an elevation plan or clear photos of all elevation with the existing and proposed materials.



“Old” Siding



“New” (Existing) Siding

**Response: This item is not relevant. The owner is not altering the siding. Here is a picture of the old siding and the new siding for reference to satisfy this plan review line item.**

6. Indicate materials used for the gutters and downspouts on the site plan.

**Response: The gutters and downspouts are white painted sheet metal and are existing to remain unchanged.**

7. Provide existing and proposed window and door schedule data table showing the make, style, location, and material of all windows and doors (include photos or a specification brochure cut sheet) (see sample below).

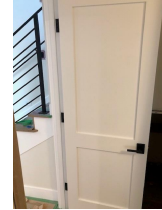
**Response: The existing and proposed doors and windows are existing to remain unchanged with the exception of 1 window. The new window matches the existing windows exactly. Make: Milgard, Style, Single Hung, Location, Front Elevation, Hallway.**



Old Windows



New Windows



Existing Doors to Remain

8. Clarify if you are proposing any skylight(s).

**Response: Clarification: No.**

9. Provide the height and the material for the existing and proposed fence, and show the location on the site plan.

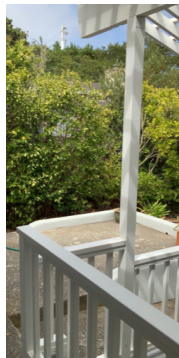
**Response: The height and material and location of the existing and proposed fence is already provided and is already on the site plan.**

10. The maximum permitted driveway width in the right-of-way is 14 feet. Please clarify the width of the new paved driveway you are proposing.

**Response: The driveway is existing to remain unchanged. There is no change to the width of the driveway. The driveway is exactly the width of the word existing.**

11. Provide photos of existing trellis and the proposed material.

**Response: The repaired trellis is wood, painted white.**



Old Trellis



Repaired Trellis

12. Clarify if any work is to be done in the garage and if proposing a garage door change.

**Response: Clarification: No.**

13. For the proposed landscaping, please depict on the site plan the number, species, and location of all planting and provide a plant list for approval by the City Forester. Please also depict all new irrigation.

**Response: Landscaping species provided. No new irrigation is proposed as irrigation is existing.**

14. A tree removal permit application is required for the proposed removal or substantial trimming of any tree with a trunk that is over 2" in diameter. Submit a tree removal permit for any proposed removal of trees as a result of the construction.

**Response: Application has been submitted for city business license to City of Carmel-by-the-Sea.**

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15. Provide a written response to each of the comments above and submit revised plans as a single complete package.

**Response: Understood. No Additional Response.**

*Staff Recommendations: The items listed below are project comments and are not required for application completeness. However, your response to these items will inform staff whether the project is consistent with the Residential Design Guidelines. CMC Section 17.58.040.A.3.b (Procedures) states that any project that does not comply with the residential design guidelines shall be referred to the Planning Commission for resolution or redirected into a Track 2 Design Study.*

**Response: Understood. No Additional Response.**

*For the Planning Commission to approve a deviation from the Residential Design Guidelines, the Commission must find that the deviation achieves applicable design objectives, as well as, or better than, what would be achieved by adherence to the Residential Design Guidelines. Staff has identified the following Residential Design Guidelines applicable to the project:*

**Response: Understood. No Additional Response.**

*1. Residential Design Guideline*

*9.8. Roof materials should be consistent with the architectural style of the building and with the context of the neighborhood.*

- Wood shingles and shakes are preferred materials for most types of architecture typical of Carmel (i.e., Arts and Crafts, English Revival, and Tudor Revival).*
- Clay tile, slate, and concrete tile may be considered appropriate on some structures (i.e., Spanish and Italian Revival, Monterey Colonial, French Revival, etc.).*
- Composition shingles that convey color and texture similar to that of wood shingles may be considered on some architectural styles characteristic of more recent eras.*
- Metal, plastic, and glass roofs are inappropriate in all neighborhoods.*

**Response: Proposed scope of work will comply exactly with the residential design guidelines.**

*2. Residential Design Guideline*

*10.5 The residential design guidelines encourage patios and walkways, select paving materials that convey the colors and textures of native materials, and reduce runoff.*


- The use of Carmel stone, brick, decomposed granite, and earth-toned pavers, for example, is appropriate.*
- Using a "sand-set" instead of "mortar-set" for paving materials allows for the percolation of rain into the soil and is encouraged.*
- Avoid using "turf block" and grey concrete.*
- Paving designs and materials uncharacteristic of a village in a forest are discouraged.*

**Response: Proposed scope of work will comply exactly with the residential design guidelines.**

*Staff Comment: To consider reducing site coverage and impervious site coverage to permeable.*

*Resubmittal Requirements: Upon receipt and review of the above-requested revised and supplemental materials, we can inform you of the next steps in the City's review of the application. Please submit revised plans digitally by emailing them directly to [snathan@ci.carmel.ca.us](mailto:snathan@ci.carmel.ca.us). Should you have any questions, I can be reached directly at (831) 620-2027, or [snathan@ci.carmel.ca.us](mailto:snathan@ci.carmel.ca.us), if you have any questions regarding this letter or the process. Sincerely, Suray Nathan, Assistant Planner.*

**Response: Understood. No Additional Response.**



Peter Lyle Strauhal, AIA  
cc: File

12-01-22

Date