

#### **NOTICE OF APPROVAL**

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

| Planning Case #: Design Study 22287   |
|---|
| Owner Name: COSMERO CONSTRUCTION & DEVELOPMENT LLC  |
| Case Planner: Suray Nathan, Assistant Planner   |
| Date Posted:  |
| <b>Date Approved:</b> 01/04/2023  |
| Project Location: MISSION 4 SW OF 10TH  |
| <b>APN</b> #: 010152004000 <b>BLOCK/LOT:</b> 117/9  |
| Applicant: Peter Lyle Strauhal  |
| <b>Project Description:</b> Authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements. |
| Can this project be appealed to the Coastal Commission? Yes □ No ✓  |

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

|     | CONDITIONS OF APPROVAL   |          |  |
|-----|--|----------|--|
| No. | Standard Conditions  |          |  |
| 1.  | <b>Authorization.</b> Approval of Design Study (DS 22-287, Cosmero) authorizes the repair roof eave, fascia, and reroofing, replace a portion of the existing siding, fencing, and trellis, convert a patio into PT wood decking, replace fixtures, and the removal of gravel in the northwest corner of the lot, and associated site improvements located on Mission 4 SW of 10 <sup>th</sup> Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Peter Lyle Strauhal stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein | ✓        |  |
| 2.  | <b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.   | <b>√</b> |  |
| 3.  | <b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.   | ✓        |  |
| 4.  | <b>Water Use</b> . Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.  | ✓        |  |
| 5.  | <b>Service Laterals.</b> All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).   | ✓        |  |
| 6.  | <b>Fire Sprinklers - Residential.</b> Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135.   | <b>√</b> |  |
| 7.  | <b>Modifications.</b> The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified.  | ✓        |  |

|     | A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.  |   |
|-----|--|---|
| 8.  | <b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.   | ✓ |
| 9.  | Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee.   | > |
|     | When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail. |   |
|     | Landscape Conditions   |   |
| 10. | Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester prior to the issuance of a building permit. The landscape plan will be  | ✓ |

Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.

|     | <del>-</del>  |          |
|-----|---|----------|
| 11. | <b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.  | ✓        |
| 12. | <b>Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.   | <b>→</b> |
| 13. | <b>Erosion Control in the Right-of-Way.</b> Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" located in the   | ✓        |
|     | Forest Management Plan.   |          |
| 14. | Tree Planting Requirements. Prior to issuance of a building permit, the applicant shall submit for review and approval by the Community Planning & Building Department and the City Forester, a final landscape and irrigation plan that shows the location, size and species of required tree plantings. All new trees shall be installed prior to final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester and/or Forest & Beach Commission.  | <        |
| 15. | <ul> <li>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</li> <li>Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>Excavation within 6 feet of a tree trunk is not permitted.</li> <li>No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.</li> <li>Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</li> <li>Tree Protection Zone The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high</li> </ul> | <b>✓</b> |

transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.

- The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.
- 16. **Exterior Lighting.** Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.
- 17. **Stone Facades (including chimneys).** Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee.

|     | The masonry patter shall be clearly identified in the construction drawings   |          |
|-----|---|----------|
|     | submitted with the building permit application.   |          |
| 18. | <b>Asphalt Shingle Roofing.</b> The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.  | ✓        |
| 19. | Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto. | <b>√</b> |
| 20. | <b>Driveway.</b> The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.   | <b>√</b> |
| 21. | Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.  | ✓        |
| 22. | <b>Cultural Resources.</b> All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.  | <b>✓</b> |
| 23. | <b>Truck Haul Route.</b> Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and  | ✓        |

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|     | any necessary temporary traffic control measures for the grading activities. The               |          |
|-----|--|----------|
|     | applicant shall be responsible for ensuring adherence to the truck-haul route and              |          |
|     | implementation of any required traffic control measures.                                       |          |
| 24. | <b>USA North 811.</b> Prior to any excavation or digging, the applicant shall contact the      | <b>√</b> |
|     | appropriate regional notification center (USA North 811) at least two working days,            |          |
|     | but not more than 14 calendar days, prior to commencing that excavation or digging.            |          |
|     | No digging or excavation is authorized to occur on site until the applicant has                |          |
|     | obtained a Ticket Number and all utility members have positively responded to the              |          |
|     | dig request. (Visit USANorth811.org for more information)                                      |          |
| 25. | Conditions of Approval. All conditions of approval for the Planning permit(s) shall            | ✓        |
|     | be printed on a full-size sheet and included with the construction plan set submitted          |          |
|     | to the Building Safety Division.   |          |
|     | ENVIRONMENTAL COMPLIANCE CONDITIONS  |          |
| 26. | <b>BMP Tracking Form.</b> Prior to issuance of a building permit, the applicant shall submit   | ✓        |
|     | a completed BMP Tracking form for review and approval by the City of Carmel.                   |          |
| 27. | <b>Semi-Permeable Surfaces.</b> Prior to issuance of a building permit, the applicant shall    | ✓        |
|     | provide cross-section details for semi-permeable surfaces.                                     |          |
| 28. | Erosion and Sediment Control Plan. Prior to issuance of a building permit, the                 | <b>✓</b> |
|     | applicant shall provide an erosion and sediment control plan that includes locations           |          |
|     | and installation details for erosion and sediment control BMPs, material staging               |          |
|     | areas, and stabilized access for review and approval by the City of Carmel.                    |          |
|     | SPECIAL CONDITIONS   |          |
| 29. | <b>Project Description:</b> Prior to the issuance of a building permit, the applicant shall    | ✓        |
|     | write a detailed description of all work to be performed on the site plan.                     |          |
| 30. | <b>Plumbing Permit</b> . Prior to the issuance of a building permit, the applicant shall apply | <b>√</b> |
|     | for a plumbing permit for the replacement of the fixtures.                                     |          |
| 31. | <b>Site Coverage.</b> Prior to the final inspection, the applicant shall remove gravel from    | <b>√</b> |
|     | the rear of the lot and replace it with wood chips to comply with zoning requirement.          |          |
| 32. | Tree Planting Requirements. Prior to the final inspection, the applicant shall plant           | <b>√</b> |
|     | two lower-canopy oak trees as shown on the approved plan.                                      |          |
| 33. | Final Inspection. A final inspection is required by the Planning Division.                     | ✓        |
|     |  |          |

| Property Owner Signature | Printed Name | <br>Date |
|--------------------------|--------------|----------|

Acknowledgement and acceptance of conditions of approval:

Once signed, please email to <a href="mailto:snathan@ci.carmel.ca.us">snathan@ci.carmel.ca.us</a>.

# AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 22-287 (Cosmero)

Date Approved: 01/04/2023

Planner: Suray Nathan.

## BUILDING CODE SUMMARY

## **APPLICABLE CODE:**

4.) VENTILATION:

2019 TITLE 24, PART 2.5 CALIFORNIA RESIDENTIAL BUILDING CODE (CA BLDG CODE)

## PROJECT DESCRIPTION:

AN INTERIOR REMODEL & EXTERIOR RENOVATION TO AN EXISTING 2-STORY SINGLE FAMILY RESIDENCE W/ CONVENTIONAL WOOD FRAMING FRAMING ON STANDARD FOUNDATION.

## BLDG. CODE SUMMARY (2019 CA BLDG CODE):

**ROOF VENTILATION - NO ATTIC** 

| 1.) | PER TABLE N1101.1(2), ENVELOPE ENHÂNG  | STANDARD BASE CASE APPLIES, U.O.N.<br>CEMENT MEASURE 3, AND CONSERVATION MEASURE A WILL BE USED.  |
|-----|--|---|
|     | WALL INSULATION-ABOVE GRADE:   | R-25 SPRAY FOAM INSULATION AT WALLS W/ THERMAL BREAK AT METAL FRMG.   |
|     | FLAT CEILINGS:   | R-49 SPRAY FOAM INSULATION AT CEILING BETWEEN LIVING AND UNFINISHED SPAC  |
|     | VAULTED CEILINGS:  | NA  |
|     | UNDER FRAMED FLOORS:   | SLAB W/ R-15 2'-0" AT PERIMETER   |
|     | WINDOWS:   | U-0.30, SHGC: 0.25  |
|     | WINDOW AREA LIMITATION:  | N/A   |
|     | SKYLIGHTS:   | U-0.50  |
|     | EXTERIOR DOORS:  | R-5   |
|     | EXTERIOR DOORS W/ > 2.5 s.f. GLAZING:  | R-2   |
|     | FORCED AIR DUCT INSULATION:  | R-8   |
|     | HIGH EFFICACY LIGHTING:  | 100% HIGH EFFICACY LIGHTING   |
|     | RECESSED LIGHTING FIXTURES:  | SHALL MEET CA BLDG CODE REQUIREMENTS.   |
|     | WINDOW AIR LEAKAGE:  | SHALL MEET CA BLDG CODE REQUIREMENTS.   |
|     | VAPOR BARRIERS:  | PROVIDE MIN. (1) PERM. VAPOR BARRIER AT WARM SIDE OF ALL INSULATION.  |
|     | GROUND COVER:  | IF WE HAVE TO   |
|     | HVAC EQUIPMENT:  | SHALL MEET CA BLDG CODE REQUIREMENTS.   |
|     | PIPING INSULATION:   | SHALL MEET CA BLDG CODE REQUIREMENTS.   |
| 2.) | STRUCTURAL DESIGN CRITERIA: (CA BLDG CODE S  | SEC. 301) PRE-ENGINEERED SYSTEM SEE STRUCTURAL ENGINEERING  |
|     | <u>-</u>   | -   |
|     | <u>-</u>   | -   |
|     | CONSTRUCTION SYSTEM TYPE:  | PORTAL FRAME & POLE FRAMED W/ HORIZONTAL PURLINS & GIRTS  |
|     | CLIMATIC AND GEOGRAPHIC DESIGN DATA:   | -   |
|     | ELEVATION:   | 150 FT.   |
|     |  | 10011.  |
|     | SEISMIC DESIGN CATEGORY:   | D1 (VERIFY W/ STRUCTURAL)   |
|     | FLOOD HAZARD DESIGN CRITERIA:  | N/A   |
|     | FROST DEPTH:   | 12"   |
|     | WIND EXPOSURE CLASSIFICATION:  | В   |
|     | STORY HEIGHT:  | SEE CROSS SECTIONS  |
|     | LIVE LOADS: NON-SLEEPING AREAS:  | 40 LB./S.F. (VERIFY W/ STRUCTURAL)  |
| 3.) | FIRE-RESISTIVE CONSTRUCTION:   | N/A   |
| ,   | EXTERIOR WALLS, PROJECTIONS, & OPENINGS:   | <u>-</u>  |
|     | FLAME SPREAD AND SMOKE-DEV. INDEXES  | -   |
|     | SMOKE AND CO2 ALARMS:  | CONTRACTOR SHALL VERIFY EXISTING ALARMS ARE SATISFACTORY AND SHALL PROVIDE (1) NEW CO2 ALARM W/ POWER CONNECTION OUTSIDE NEW BEDROOM AND SMOKE ALARMS AS REQUIRED BY 2019 CA BLDG CODE. |
| 4.  | \(\text{\tinc{\text{\tinit}}\\ \text{\tex{\tex |   |

## ZONE CODE SUMMARY

## PROJECT/SITE INFORMATION:

| 1). | GOVERNING AGENCY: | CARMEL-BY-THE-SE |
|-----|-------------------|------------------|
| 2.) | BUILDING ZONE:    | SINGLE FAMILY    |
|     | SITE ADDRESS:     | SEE TITLE BLOCK  |
|     | TAX LOT #:        | SEE TITLE BLOCK  |

3.) SETBACKS:

UNDERFLOOR VENTILATION - NO UNDERFLOOR

PERMITTED USE: SINGLE FAMILY RESIDENCE (EXISTING TO REMAIN)

> NORTH: EXISTING TO REMAIN UNCHANGED SOUTH: EXISTING TO REMAIN UNCHANGED EAST: EXISTING TO REMAIN UNCHANGED EAST: EXISTING TO REMAIN UNCHANGED

TOTAL SITE AREA: PER SITE PLAN

**BUILDING AREA: EXISTING TO REMAIN UNCHANGED** 

BUILDING HEIGHT: EXISTING TO REMAIN UNCHANGED 7.) SEPTIC AUTHORIZATION **EXISTING TO REMAIN UNCHANGED** BLDG. CODE SUMMARY (2019 CA BLDG CODE)

1.) NOTES PER CHAPTER 7A MATERIALS CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE:

ROOF VALLEYS: NO ROOF VALLEYS PROPOSED

EAVE VENTS: NO EAVE VENTS PROPOSED

EXTERIOR WALLS: EXTERIOR WALLS ARE OF APPROVED, NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL

**EXTERIOR WALL VENTS: NO EXTERIOR WALL VENTS PROPOSED** 

**EXTERIOR GLAZING:** THIS BUILDING CONTAINS NO EXTERIOR GLAZING.

UNDERSIDE OF APPENDAGES AND FLOOR PROJECTIONS: THE BUILDING OVERHANGS ARE ENCLOSED WITH METAL SOFFITS. UNENCLOSED UNDER-FLOOR PROTECTION: THIS BUILDING HAS NO PROPOSED UNDER-FLOOR AREA.

DECKING, ETC.: ALL PORTIONS OF SUCH SURFACES IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE OF APPROVED NON-COMBUSTIBLE MATERIAL, AND ARE MADE OF GALVANIZED STEEL.

2.) 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN

SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE **ENFORCING AGENCY**.

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE <u>MATERIALS</u> TO BE DIVERTED FROM <u>DISPOSAL</u> BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE. a. WASTE AND DEMOLITION MATERIALS THAT WILL BE PRESENT ON THE SITE ARE; BRUSH/GREEN CLIPPINGS, WOOD FORMS WILL BE COLLECTED AND REUSED BY CONCRETE COMPANY, BASE ROCK TO BE BROUGHT IN TO BRING

2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR

a. ALL CONSTRUCTION AND WASTE MATERIALS WILL BE SORTED ON SITE FOR APPROPRIATE DISPOSAL

3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN. a. GREEN WASTE MATERIAL WILL BE MOVED TO THE CHICO COMPOST FACILITY LOCATED AT 4441 COHASSET RD,

b. ALL STEEL WASTE (IF ANY) WILL BE TAKEN TO CHICO SCRAP METAL, INC LOCATED AT 878 E 20TH ST, CHICO, CA

c. ALL BASE ROCK REMNANT WILL BE REUSED ONSITE

d. WOODEN FORMS FOR CONCRETE WILL BE COLLECTED BY JR CEMENT INC, (530) 330-6465 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION

a. STRUCTURE PROVIDED IS A PRE-CUT PREFORMED STRUCTURE, FOLLOWING CONSTRUCTION INSTRUCTIONS

PROVIDED WILL RESULT IN NO WASTE b. SLAB WILL BE POURED ON SITE DELIVERED IN TRUCKS, FORMS PROVIDED AND COLLECTED TO BE REUSED BY CONCRETE CONTRACTOR

c. NO EXCAVATION OF SITE WILL RESULT IN NO REMNANT SOIL TO BE DISPOSED OF. 5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

a. WASTE MATERIALS THAT ARE DIVERTED WILL BE CALCULATED BY WEIGHT

## SHEET INDEX:

### PROJECT DRAWINGS:

PROJECT/CODE SUMMARY INFORMATION

STRUCTURAL NOTES

### SITE & DRAWINGS:

**EXISTING SITE PLAN** 

PROPOSED ARCHITECTURAL SITE PLAN

### ARCHITECTURAL DRAWINGS

**EXISTING FLOOR PLANS** 

PROPOSED ARCHITECTURAL FLOOR PLANS

#### **CALIFORNIA CODE DOCUMENTS:**

CALIFORNIA GREEN CODE MANDATORY MEASURES

#### **MECHANICAL DRAWINGS**

NOTE: THE MECHANICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. MECHANICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE MECHANICA

NOTE: THE PLUMBING BUILDING AND PLUMBING SITE LAYOUT FOR THIS PRIOR TO CONSTRUCTION. PLUMBING WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE PLUMBING

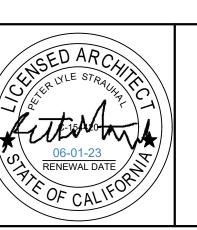
#### **ELECTRICAL DRAWINGS:**

NOTE: THE ELECTRICAL SYSTEM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE ELECTRICAL PLANS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. ELECTRICAL WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL. AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE ELECTRICAL

#### FIRE SPRINKLER & FIRE ALARM DRAWINGS:

NOTE: THE FIRE SPRINKLER & FIRE ALARM FOR THIS PROJECT IS TO BE BIDDER/DESIGNED. THE FIRE DRAWINGS ARE NOT A PART OF THESE DOCUMENTS AND WILL BE SUBMITTED AT A LATER DATE. BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT PRIOR TO CONSTRUCTION. FIRE SUPPRESSION & ALARM WORK TO MEET ALL APPLICABLE CODES. DEFERRED SUBMITTAL. PETER LYLE STRAUHAL, AIA ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED IN THE FIRE DRAWINGS.





## AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS:

MISSION 4 SW OF 10TH

CARMEL-BY-THE, CA 93921

PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership Architect, Anthony Laney

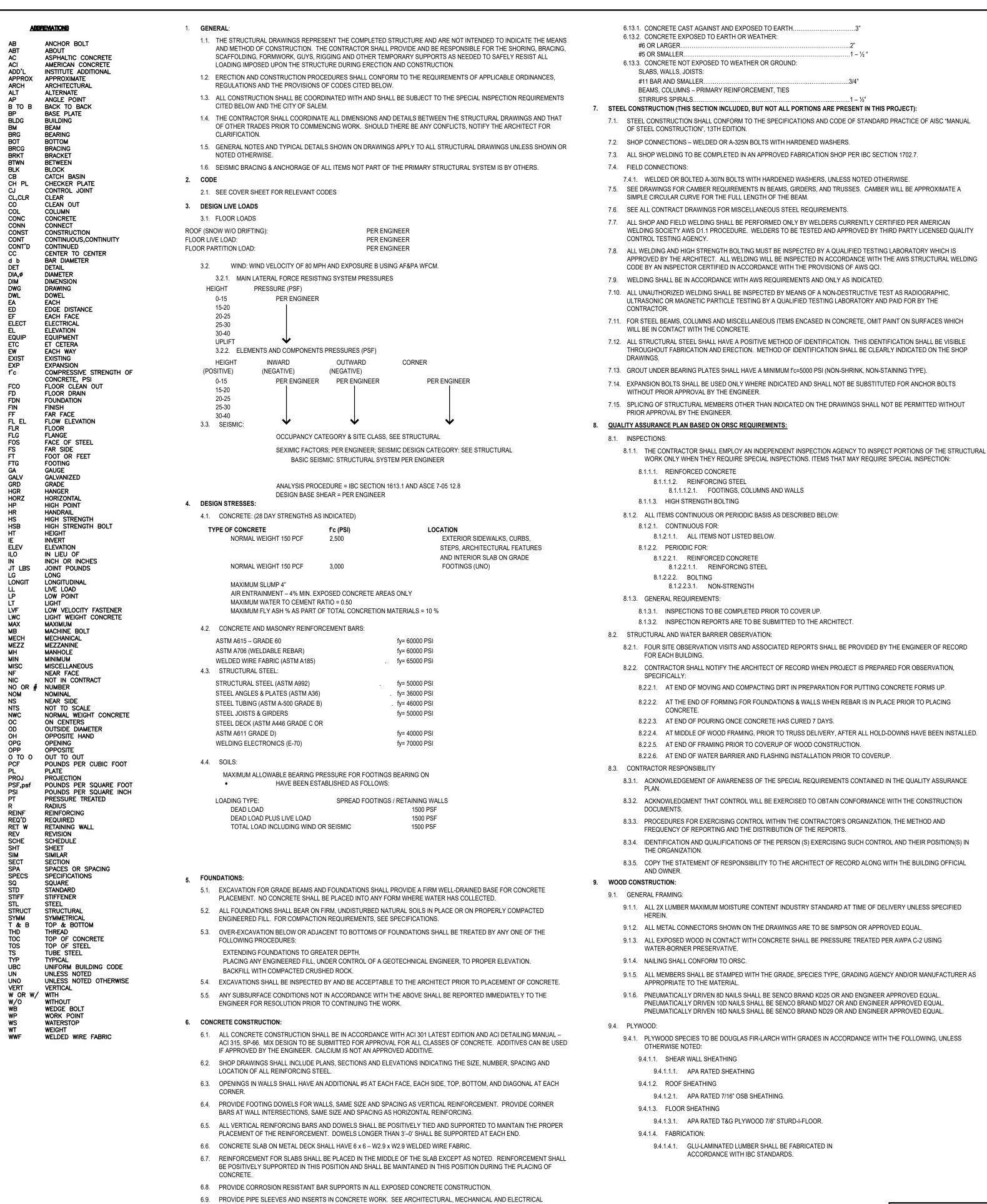
**COVER SHEET** 

A0.

PROJ.#: 22068

DATE: 08.02.22

PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA

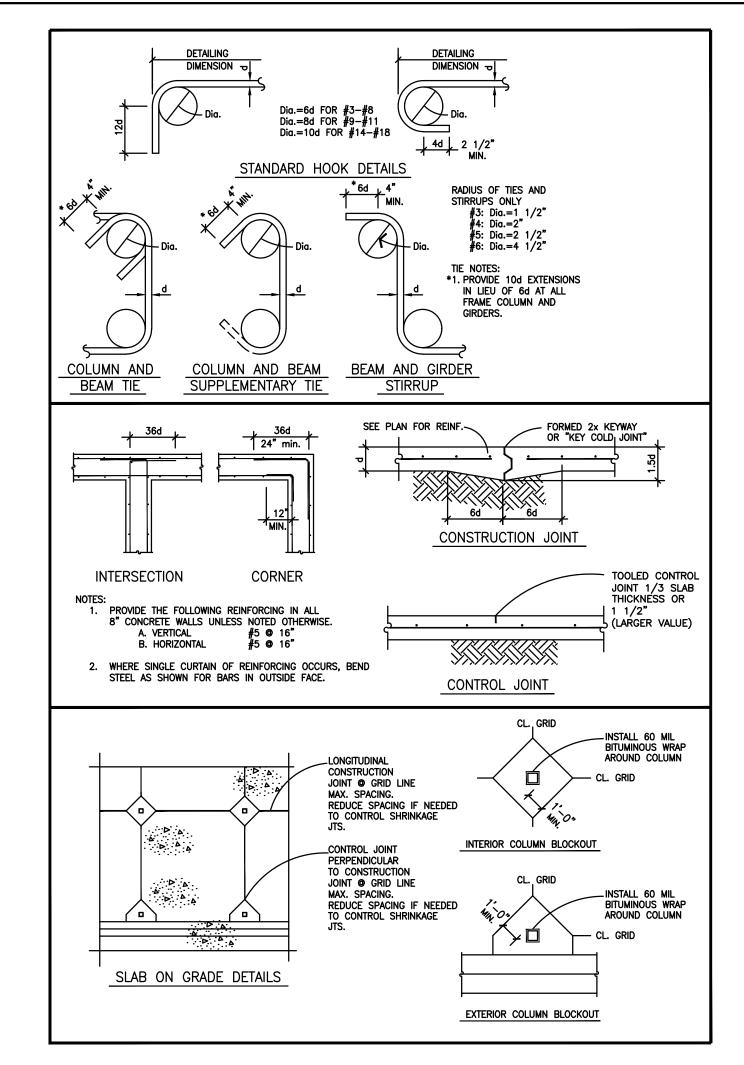


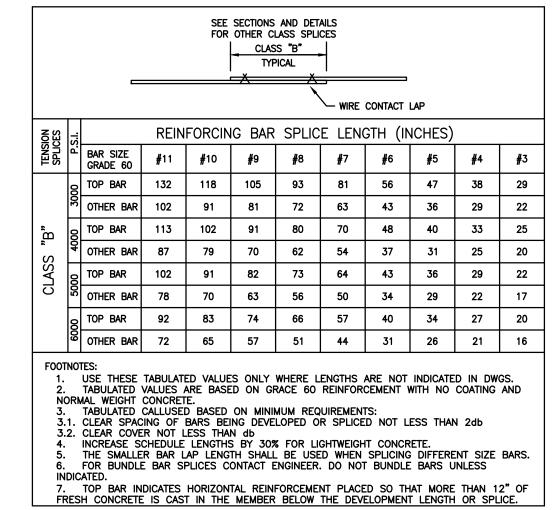
6.10. ALL EXPOSED CORNERS OF CONCRETE BEAMS AND COLUMNS TO BE CHAMFERED 3/4" UNLESS NOTED OTHERWISE.6.11. NO ALUMINUM CONDUITS OR PIPES SHALL BE EMBEDDED IN CONCRETE. THE USE OF ALUMINUM PIPES OR CHUTES TO

TRANSPORT CONCRETE SHALL NOT BE PERMITTED.

6.13. CONCRETE PROTECTION FOR REINFORCEMENT:

6.12. WELDING OF ASTM A615 REINFORCING BARS SHALL NOT BE PERMITTED.









## AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS:

MISSION 4 SW OF 10TH

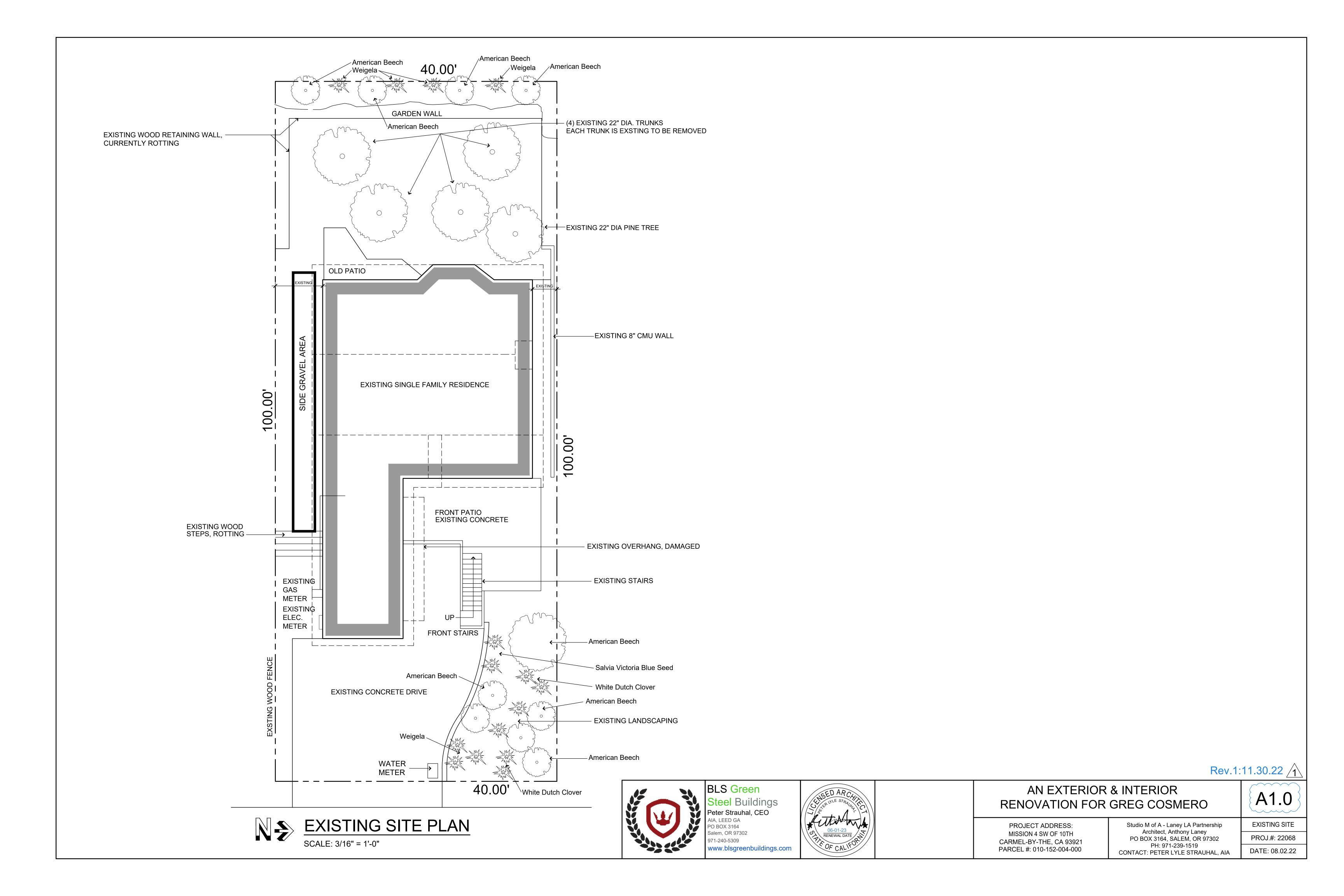
CARMEL-BY-THE, CA 93921

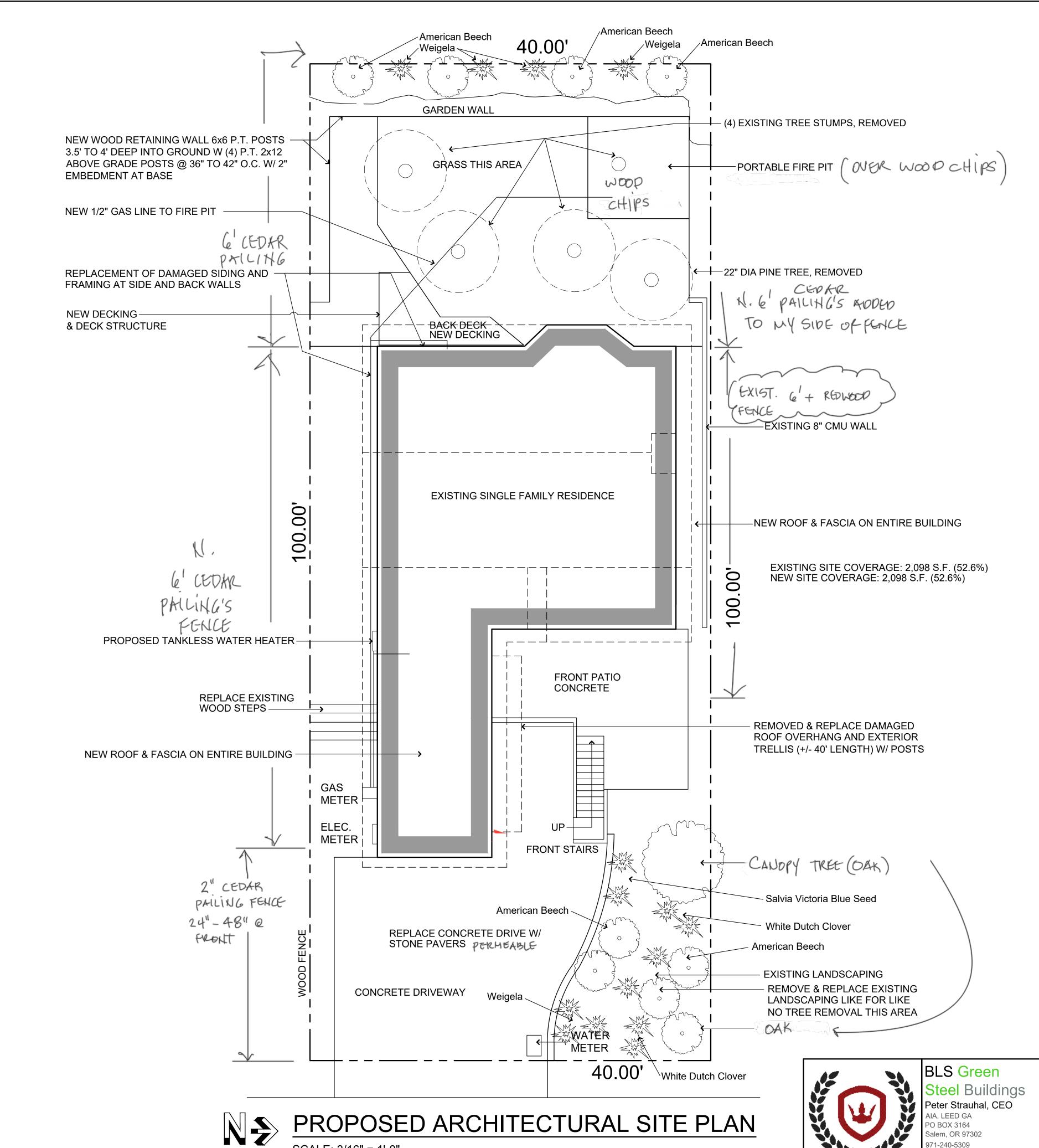
PARCEL #: 010-152-004-000

A0.2

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA STRUCT. NOTES
PROJ.#: 22068

DATE: 08.02.22





SCALE: 3/16" = 1'-0"

| PERVIOUS COVERAGE         | EXISTING      |       | PROPOSED      |       |
|---------------------------|---------------|-------|---------------|-------|
| BACK GRAVEL AREA          | 0 SQ. FT.     |       | 104 SQ. FT.   |       |
| SIDE GRAVEL AREA          | 115 SQ. FT.   |       | 0 SQ. FT.     |       |
| TOTAL PERVIOUS COVERAGE   | 115 SQ. FT.   | 2.9%  | 104 SQ. FT.   | 2.6%  |
| IMPERVIOUS COVERAGE       |               |       |               |       |
| CONCRETE DRIVEWAY         | 623 SQ. FT.   |       | 623 SQ. FT.   |       |
| FRONT PATIO               | 239 SQ. FT.   |       | 239 SQ. FT.   |       |
| FRONT STAIRS              | 41 SQ. FT.    |       | 41 SQ. FT.    |       |
| BACK DECK                 | 0 SQ. FT.     |       | 57 SQ. FT.    |       |
| BACK PATIO                | 57 SQ. FT.    |       | 0 SQ. FT.     |       |
| GARDEN WALL               | 4 SQ. FT.     |       | 4 SQ. FT.     |       |
|                           |               |       |               |       |
| TOTAL IMPERVIOUS COVERATE | 960 SQ. FT.   | 23.9% | 960 SQ. FT.   | 23.9% |
| TOTAL GROSS COVERAGE      | 1,075 SQ. FT. | 26.7% | 1,064 SQ. FT. | 26.4% |

Rev.1:11.30.22

A1.1



# AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS:

MISSION 4 SW OF 10TH

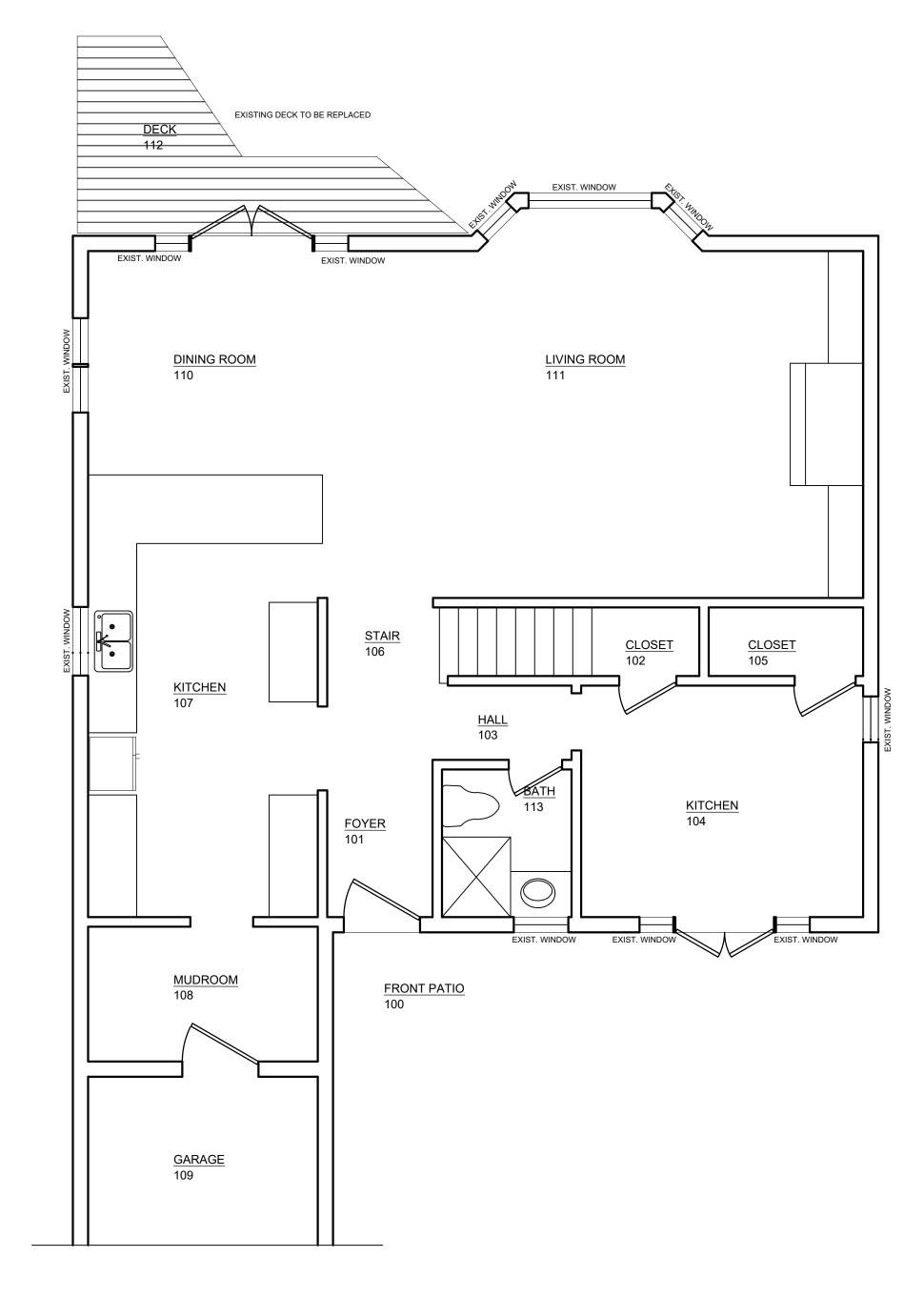
CARMEL-BY-THE, CA 93921

PARCEL #: 010-152-004-000

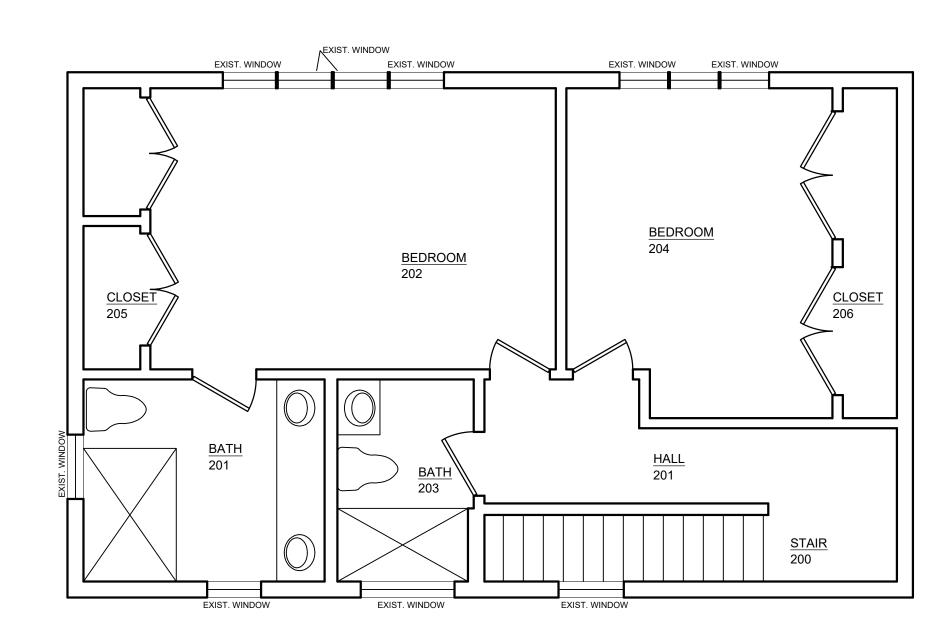
Studio M of A - Laney Laney

Studio M of A - Laney LA Partnership
Architect, Anthony Laney
PO BOX 3164, SALEM, OR 97302
PH: 971-239-1519
CONTACT: PETER LYLE STRAUHAL, AIA

SITE PLAN
PROJ.#: 22068
DATE: 08.02.22

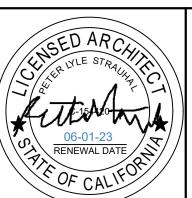












## AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

A2.0

PROJECT ADDRESS:

MISSION 4 SW OF 10TH

CARMEL-BY-THE, CA 93921

PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership

Architect, Anthony Laney

PO BOX 3164, SALEM, OR 97302

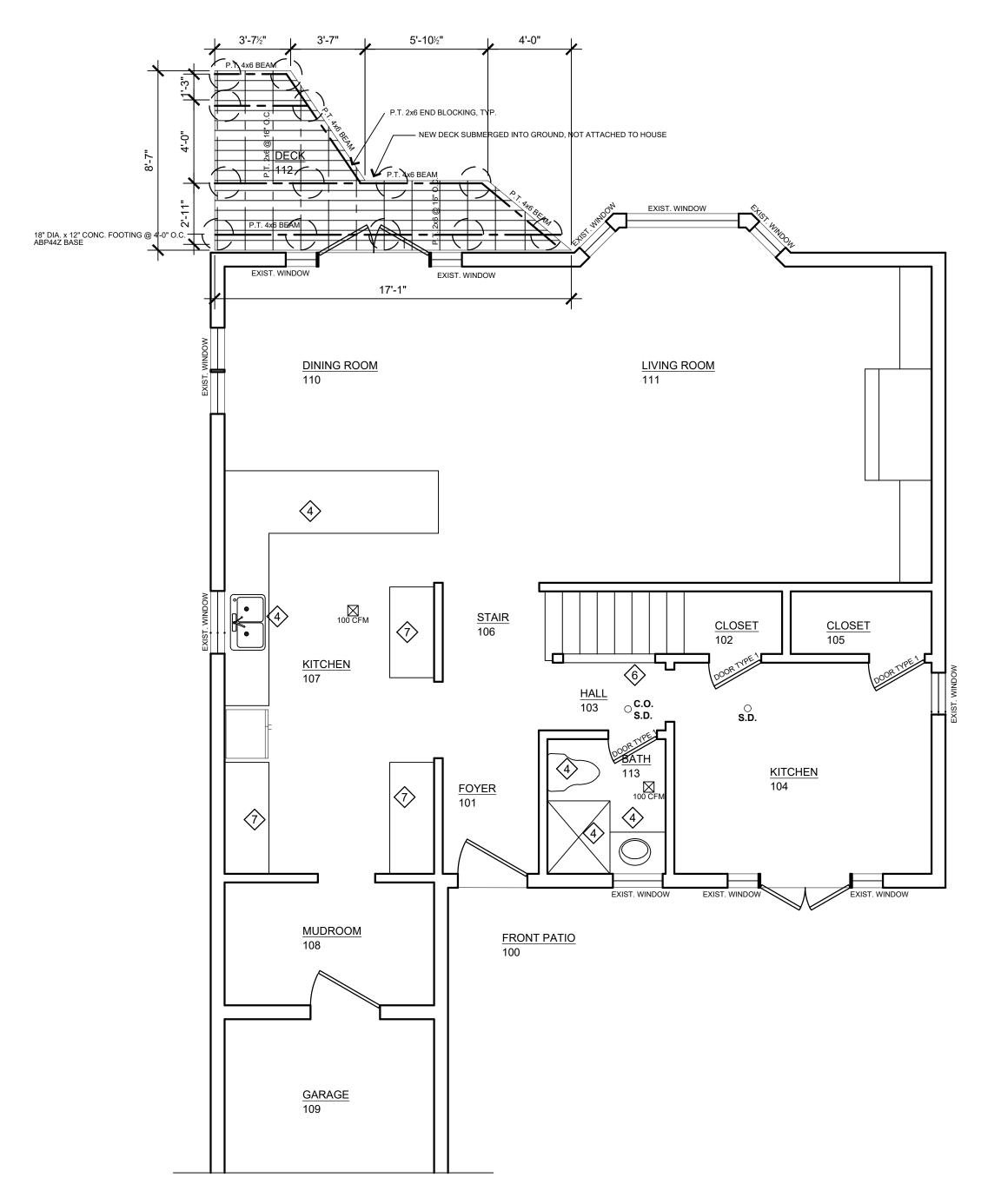
PH: 971-239-1519

CONTACT: PETER LYLE STRAUHAL, AIA

thony Laney
ALEM, OR 97302
239-1519
YLE STRAUHAL, AIA

EXISTING PLANS
PROJ.#: 22068

DATE: 08.02.22



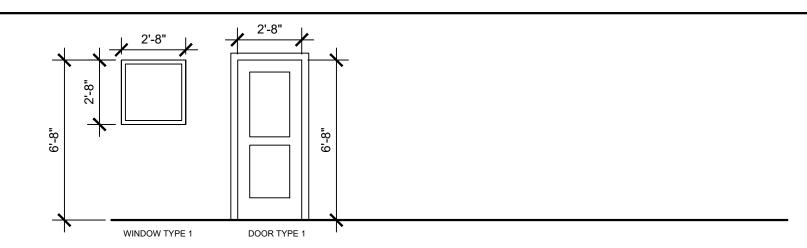


## **DEMOLITION PLAN KEY NOTES:**

- (1) REMOVE PORTION OF WALL TO ALLOW FOR THE INSTALLATION OF
- A NEW WINDOW. <2> REMOVE CEILING SOFFIT ABOVE STAIR.
- (3) REPLACE EXISTING BATHROOM PLUMBING WALL FRAMING.
- REMOVE & REPLACE PLUMBING FIXTURES WITH NEW UPDATED UNITS. MODIFY / ADD SHOWER AREA.
- (5) REWORK DOOR AND WALL, ADD NEW POCKET DOOR.
- (6) REMOVE AND REPLACE GUARDRAIL
- (7) REMOVE & REPLACE CABINETS.

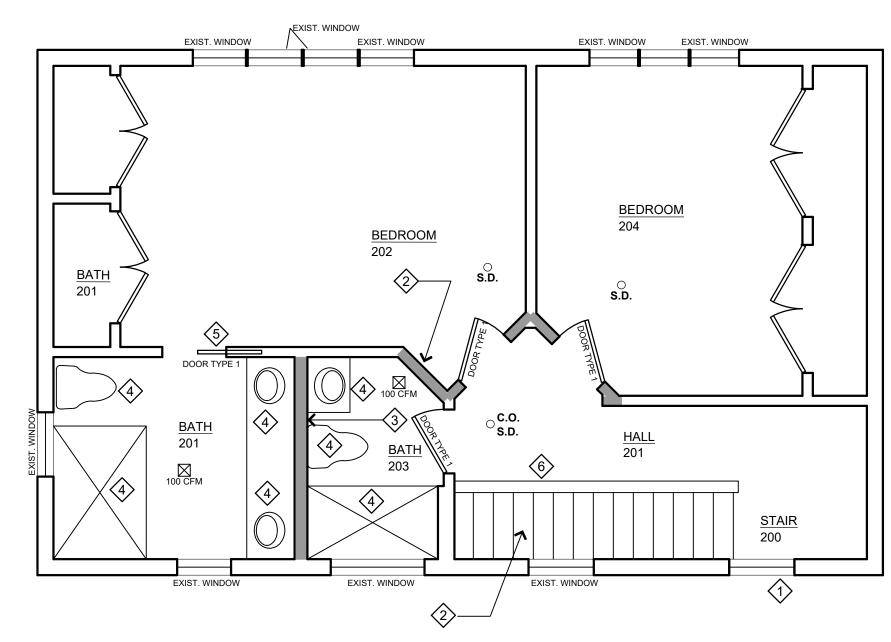
## NOTE:

TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE, AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.



## WINDOW & DOOR SCHEDULE

SCALE: 1/4" = 1'-0"



# ARCHITECTURAL BASEMENT FLOOR

## **DEMOLITION PLAN GEN. NOTES:**

- 1. ALL EXISTING FLOOR COVERINGS IN AREA OF WORK TO BE REMOVED IN THEIR ENTIRETY DOWN TO (EX) TILE FLOORING, VERIFY EXTENT W/ OWNER. THE EXISTING FLOOR IS TO BE CLEANED AND PREPARED PER MANUFACTURER'S SPECIFICATIONS FOR RECEIVING NEW FLOOR COVERING.
- 2. SEE BIDDER-DESIGNED MECHANICAL DRAWINGS FOR DEMOLITION OF HVAC DUCTING / HVAC UNITS.
- 3. REMOVE ALL ABANDONED THERMOSTATS AND CONTROLLERS FOR THE HVAC SYSTEM. PATCH
- 4. REMOVE ALL ABANDONED ELECTRICAL OUTLETS, SWITCHES, AND RELATED COMPONENTS IN
- AREAS OF DEMOLITION.
- 5. CAP ALL ABANDONED PLUMBING PIPING BELOW FINISH FLOOR AND PATCH AS REQUIRED.
- 6. DIMENSIONS SHALL BE FROM OUTSIDE FACE OF STUD FRAMING. UNLESS OTHERWISE
- 7. SEE BIDDER/DESIGNED MECHANICAL, ELECTRICAL. AND PLUMBING DRAWINGS FOR EXTANT OF FINISHES TO BE REMOVED AS REQUIRED FOR THE INSTALLATION OF NEW ELECTRICAL, PLUMBING AND MECHANICAL LINES.

## **CONTRACTOR DEMOLITION PLAN NOTES:**

B. THE CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL

AND WITH EXISTING CONDITIONS WHICH MAY IMPACT THE WORK.

THE CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE JOB SITE

- PAY ALL REQUIRED FEES FOR THE WORK. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND
- D. CONTRACTOR SHALL ALSO COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES CONCERNING DEMOLITION OPERATIONS AND REFUSE

NATIONAL CODES AND ORDINANCES.

- REMOVAL AND DISPOSAL. CONTRACTOR TO PAY ALL DUMPING FEES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY UNCERTAINTIES
- DO NOT CLOSE OR OBSTRUCT PEDESTRIAN OR VEHICULAR ACCESS EXCEPT WHERE AUTHORIZED OR INDICATED ON THE DRAWINGS, SEE SHEET A1.0 FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADING NECESSARY TO ENSURE THE HEALTH AND SAFETY OF ALL WHO ENTER THE DEMOLITION AREA DURING THE CONSTRUCTION.
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. PROTECT SPACE ADJACENT TO DEMOLITION WORK. PROTECT EXISTING WALL, FLOOR AND CEILING FINISHES TO REMAIN. CONTAIN ALL CONSTRUCTION DUST IN
- K. ALL ITEMS TAKEN OUT DURING DEMOLITION NOT TO BE SALVAGED FOR OWNER OR REUSED IN THE WORK SHALL BE REMOVED FROM THE
- ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUSES.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE OR.-O.S.H.A. STANDARDS BOTH FOR ALL EMPLOYEES AND THE GENERAL
- PRIOR TO BEGINNING ANY DEMOLITION, A SURVEY OF THE PROPOSED DEMOLITION SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE CONNECTIONS, AND AS BUILT CONDITIONS OF THE AREA TO BE DISMANTLED. THE CONTRACTOR SHALL NOTIFY PURE ARCHITECTURE AIA PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.

PROJECT ADDRESS:

MISSION 4 SW OF 10TH

CARMEL-BY-THE, CA 93921

PARCEL #: 010-152-004-000

- REMOVE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL IN DEMOLISHED WALLS, FLOORS AND CEILINGS. NOTE THE FOLLOWING
- 1 REMOVE / CAP ALL PLUMBING PIPING BELOW FINISH FLOOR LINE AS
- 2. CAP FLOOR DRAINS AS REQUIRED, PATCH AND INFILL W/ CONC. AS
- 3. REMOVE ALL ABANDONED ELECTRICAL LINES BACK TO PANEL. 4. HVAC DUCTS TO REMAIN SHALL BE SECURED TO ROOF STRUCTURE
- DETERMINE IF ANY TYPE OF HAZARDOUS CHEMICALS, FLAMMABLE MATERIALS OR SIMILAR DANGEROUS SUBSTANCE, INCLUDING ASBESTOS, HAVE BEEN USED IN ANY PIPES. WHEN THE PRESENCE OF SUCH SUBSTANCE IS APPARENT OR SUSPECT, TESTING AND PURGING SHALL BE PERFORMED AND THE HAZARD ABATED, REMOVED, OR ELIMINATED BY APPROVED HAZ. MAT. CONTRACTORS BEFORE DEMOLITION STARTS OR
- CONTRACTOR SHALL MAINTAIN MINIMAL LIGHTING IN DEMO SPACES TO
- PREVENT INJURY OR HARM. R. PATCH EXISTING CONCRETE FLOOR AS REQUIRED FOR THE APPLICATIONS OF NEWLY INDICATED FINISHES.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED TO PROVIDE A UNIFORM SURFACE, MATCHING ADJACENT NEW SURFACES FOR THE APPLICATION OF NEWLY INDICATED FINISHES.
- THE PUBLIC SHALL BE PROTECTED FROM DEMOLITION MATERIAL, DUST FUMES, ETC. BY BARRIERS AND/OR PLASTIC SHEETS AS REQUIRED.
  DEMOLITION WORK SHALL CEASE IF THE PUBLIC IS ENDANGERED IN ANY
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AT THE SITE WORK AREA, PROTECT THEM FROM DAMAGE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.



Peter Strauhal, CEO O BOX 3164 alem, OR 97302 www.blsgreenbuildings.com



## AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164, SALEM, OR 97302 PH: 971-239-1519

FLOOR PLAN

PROJ.#: 22068

DATE: 08.02.22 CONTACT: PETER LYLE STRAUHAL, AIA

## 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

|   |     |                  | RESIDENTIAL MA  | <b>\</b> |    |
|---|-----|------------------|---|----------|----|
| Y | N/A | RESPON.<br>PARTY |   | Y        | N/ |
|   |     | PARIY            | /g ROC).  Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.  MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.  PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).  Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).  REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.  VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain |          |    |
|   | 1 🖾 |                  | hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).  4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.  4.504 POLLUTANT CONTROL   |          |    |
|   |     | CONTR-<br>ACTOR  | 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.   |          |    |
| × | 1 0 | CONTR-<br>ACTOR  | 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.   |          |    |
|   |     | CONTR-<br>ACTOR  | <ul> <li>4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:</li> <li>1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.</li> <li>2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in</li> </ul>                              |          |    |
| × |     | CONTR-<br>ACTOR  | units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of <i>California Code of Regulations</i> , Title 17, commencing with section 94507.  4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss  |          |    |
| × | 1 0 | CONTR-<br>ACTOR  | coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.  4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation   |          |    |

**4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

1. Manufacturer's product specification. 2. Field verification of on-site product containers.

| (Less Water and Less Exempt Compounds in Grams pe | r Liter)  |
|---|-----------|
| ARCHITECTURAL APPLICATIONS                        | VOC LIMIT |
| INDOOR CARPET ADHESIVES                           | 50        |
| CARPET PAD ADHESIVES                              | 50        |
| OUTDOOR CARPET ADHESIVES                          | 150       |
| WOOD FLOORING ADHESIVES                           | 100       |
| RUBBER FLOOR ADHESIVES                            | 60        |
| SUBFLOOR ADHESIVES                                | 50        |
| CERAMIC TILE ADHESIVES                            | 65        |
| VCT & ASPHALT TILE ADHESIVES                      | 50        |
| DRYWALL & PANEL ADHESIVES                         | 50        |
| COVE BASE ADHESIVES                               | 50        |
| MULTIPURPOSE CONSTRUCTION ADHESIVE                | 70        |
| STRUCTURAL GLAZING ADHESIVES                      | 100       |
| SINGLE-PLY ROOF MEMBRANE ADHESIVES                | 250       |
| OTHER ADHESIVES NOT LISTED                        | 50        |
| SPECIALTY APPLICATIONS                            |           |
| PVC WELDING                                       | 510       |
| CPVC WELDING                                      | 490       |
| ABS WELDING                                       | 325       |
| PLASTIC CEMENT WELDING                            | 250       |
| ADHESIVE PRIMER FOR PLASTIC                       | 550       |
| CONTACT ADHESIVE                                  | 80        |
| SPECIAL PURPOSE CONTACT ADHESIVE                  | 250       |
| STRUCTURAL WOOD MEMBER ADHESIVE                   | 140       |
| TOP & TRIM ADHESIVE                               | 250       |
| SUBSTRATE SPECIFIC APPLICATIONS                   |           |
| METAL TO METAL                                    | 30        |
| PLASTIC FOAMS                                     | 50        |
| POROUS MATERIAL (EXCEPT WOOD)                     | 50        |
| WOOD  | 30        |
| FIBERGLASS  | 80        |

<sup>1.</sup> IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER. THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

| (Less Water and Less Exempt Compounds in Grams per Liter) |           |  |
|---|-----------|--|
| SEALANTS  | VOC LIMIT |  |
| ARCHITECTURAL   | 250       |  |
| MARINE DECK   | 760       |  |
| NONMEMBRANE ROOF  | 300       |  |
| ROADWAY   | 250       |  |
| SINGLE-PLY ROOF MEMBRANE                                  | 450       |  |
| OTHER   | 420       |  |
| SEALANT PRIMERS   |           |  |
| ARCHITECTURAL   |           |  |
| NON-POROUS  | 250       |  |
| POROUS  | 775       |  |
| MODIFIED BITUMINOUS                                       | 500       |  |
| MARINE DECK   | 760       |  |
| OTHER   | 750       |  |

| COATING CATEGORY                          | VOC LIMIT |
|---|-----------|
| FLAT COATINGS                             | 50        |
| NON-FLAT COATINGS                         | 100       |
| NONFLAT-HIGH GLOSS COATINGS               | 150       |
| SPECIALTY COATINGS                        |           |
| ALUMINUM ROOF COATINGS                    | 400       |
| BASEMENT SPECIALTY COATINGS               | 400       |
| BITUMINOUS ROOF COATINGS                  | 50        |
| BITUMINOUS ROOF PRIMERS                   | 350       |
| BOND BREAKERS                             | 350       |
| CONCRETE CURING COMPOUNDS                 | 350       |
| CONCRETE/MASONRY SEALERS                  | 100       |
| DRIVEWAY SEALERS                          | 50        |
| DRY FOG COATINGS                          | 150       |
| FAUX FINISHING COATINGS                   | 350       |
| FIRE RESISTIVE COATINGS                   | 350       |
| FLOOR COATINGS                            | 100       |
| FORM-RELEASE COMPOUNDS                    | 250       |
| GRAPHIC ARTS COATINGS (SIGN PAINTS)       | 500       |
| HIGH TEMPERATURE COATINGS                 | 420       |
| INDUSTRIAL MAINTENANCE COATINGS           | 250       |
| LOW SOLIDS COATINGS 1                     | 120       |
| MAGNESITE CEMENT COATINGS                 | 450       |
| MASTIC TEXTURE COATINGS                   | 100       |
| METALLIC PIGMENTED COATINGS               | 500       |
| MULTICOLOR COATINGS                       | 250       |
| PRETREATMENT WASH PRIMERS                 | 420       |
| PRIMERS, SEALERS, & UNDERCOATERS          | 100       |
| REACTIVE PENETRATING SEALERS              | 350       |
| RECYCLED COATINGS                         | 250       |
| ROOF COATINGS                             | 50        |
| RUST PREVENTATIVE COATINGS                | 250       |
| SHELLACS                                  |           |
| CLEAR                                     | 730       |
| OPAQUE                                    | 550       |
| SPECIALTY PRIMERS, SEALERS & UNDERCOATERS | 100       |
| STAINS                                    | 250       |
| STONE CONSOLIDANTS                        | 450       |
| SWIMMING POOL COATINGS                    | 340       |
| TRAFFIC MARKING COATINGS                  | 100       |
| TUB & TILE REFINISH COATINGS              | 420       |
| WATERPROOFING MEMBRANES                   | 250       |
| WOOD COATINGS                             | 275       |
| WOOD PRESERVATIVES                        | 350       |
| ZINC-RICH PRIMERS                         | 340       |

<sup>2.</sup> THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

| ss Water and Less Exempt Compounds in Gr | ams per Liter) |
|--|----------------|
| ALANTS                                   | VOC LIMIT      |
| CHITECTURAL                              | 250            |
| RINE DECK                                | 760            |
| NMEMBRANE ROOF                           | 300            |
| ADWAY                                    | 250            |
| IGLE-PLY ROOF MEMBRANE                   | 450            |
| HER                                      | 420            |
| ALANT PRIMERS                            |                |
| CHITECTURAL                              |                |
| NON-POROUS                               | 250            |
| POROUS                                   | 775            |
| DIFIED BITUMINOUS                        | 500            |
| RINE DECK                                | 760            |
| HER                                      | 750            |

| GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS |           |  |
|---|-----------|--|
| COATING CATEGORY  | VOC LIMIT |  |
| FLAT COATINGS   | 50        |  |
| NON-FLAT COATINGS   | 100       |  |
| NONFLAT-HIGH GLOSS COATINGS   | 150       |  |
| SPECIALTY COATINGS  |           |  |
| ALUMINUM ROOF COATINGS  | 400       |  |
| BASEMENT SPECIALTY COATINGS   | 400       |  |
| BITUMINOUS ROOF COATINGS  | 50        |  |
| BITUMINOUS ROOF PRIMERS   | 350       |  |
| BOND BREAKERS   | 350       |  |
| CONCRETE CURING COMPOUNDS   | 350       |  |
| CONCRETE/MASONRY SEALERS  | 100       |  |
| DRIVEWAY SEALERS  | 50        |  |
| DRY FOG COATINGS  | 150       |  |
| FAUX FINISHING COATINGS   | 350       |  |
| FIRE RESISTIVE COATINGS   | 350       |  |
| FLOOR COATINGS  | 100       |  |
| FORM-RELEASE COMPOUNDS  | 250       |  |
| GRAPHIC ARTS COATINGS (SIGN PAINTS)                                   | 500       |  |
| HIGH TEMPERATURE COATINGS   | 420       |  |
| NDUSTRIAL MAINTENANCE COATINGS  | 250       |  |
| LOW SOLIDS COATINGS 1   | 120       |  |
| MAGNESITE CEMENT COATINGS   | 450       |  |
| MASTIC TEXTURE COATINGS   | 100       |  |
| METALLIC PIGMENTED COATINGS   | 500       |  |
| MULTICOLOR COATINGS   | 250       |  |
| PRETREATMENT WASH PRIMERS   | 420       |  |
| PRIMERS, SEALERS, & UNDERCOATERS                                      | 100       |  |
| REACTIVE PENETRATING SEALERS  | 350       |  |
| RECYCLED COATINGS   | 250       |  |
| ROOF COATINGS   | 50        |  |
| RUST PREVENTATIVE COATINGS  | 250       |  |
| SHELLACS  |           |  |
| CLEAR   | 730       |  |
| OPAQUE  | 550       |  |
| SPECIALTY PRIMERS, SEALERS & UNDERCOATERS                             | 100       |  |
| STAINS  | 250       |  |
| STONE CONSOLIDANTS  | 450       |  |
| SWIMMING POOL COATINGS  | 340       |  |
| TRAFFIC MARKING COATINGS  | 100       |  |
| TUB & TILE REFINISH COATINGS  | 420       |  |
| WATERPROOFING MEMBRANES   | 250       |  |
| WOOD COATINGS   | 275       |  |
| WOOD PRESERVATIVES  | 350       |  |
| ZINC-RICH PRIMERS   | 340       |  |

#### HARDWOOD PLYWOOD VENEER CORE 0.05 HARDWOOD PLYWOOD COMPOSITE CORE PARTICLE BOARD 0.09 MEDIUM DENSITY FIBERBOARD 0.11 THIN MEDIUM DENSITY FIBERBOARD 2 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

TABLE 4.504.5 - FORMALDEHYDE LIMITS

PRODUCT

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

#### DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product

- Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
- NSF/ANSI 140 at the Gold level.
   Scientific Certifications Systems Indoor Advantage TM Gold.
- **4.504.3.1 Carpet cushion.** All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
- 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1

#### 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

- 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
- Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloCBCore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1,
- February 2010 (also known as Specification 01350). 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard

#### composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

- 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:
- Product certifications and specifications 2. Chain of custody certifications.
- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- 5. Other methods acceptable to the enforcing agency.

#### 4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

- **4.505.2.1 Capillary break.** A capillary break shall be installed in compliance with at least one of the 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with
- a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, 2. Other equivalent methods approved by the enforcing agency.
- 3. A slab design specified by a licensed design professional. 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage
  - shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent
  - moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end
  - of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
  - Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure. 4.506 INDOOR AIR QUALITY AND EXHAUST

## 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

#### 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

# Peter Strauhal, CEO www.blsgreenbuildings.com

## AN EXTERIOR & INTERIOR RENOVATION FOR GREG COSMERO

PROJECT ADDRESS: MISSION 4 SW OF 10TH CARMEL-BY-THE, CA 93921 PARCEL #: 010-152-004-000

Studio M of A - Laney LA Partnership Architect, Anthony Laney PO BOX 3164. SALEM. OR 97302 PH: 971-239-1519 CONTACT: PETER LYLE STRAUHAL, AIA GREEN CODE

PROJ.#: 22068 DATE: 08.02.22

Equipment Selection), or other equivalent design software or methods. **Exception:** Use of alternate design temperatures necessary to ensure the system functions are CHAPTER 7 **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS** 

**CURRENT LIMIT** 

Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs.

4.507 ENVIRONMENTAL COMFORT

3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

nstallation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2019 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.

sized, designed and have their equipment selected using the following methods:

ASHRAE handbooks or other equivalent design software or methods.

☐ CONTR-ACTOR 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper

☐ CONTRACTOR 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade.

4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

**703 VERIFICATIONS** 

☐ CONTRACTOR 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not mited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

<sup>2.</sup> FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

<sup>3.</sup> VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

**4.106.4.2.1 Electric vehicle charging space (EV space) locations.** Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space

shall be located in the common use parking area and shall be available for use by all residents.

**CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL** DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS)** When EV chargers are installed, EV spaces DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: **EFFICIENCY** the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, 1. The EV space shall be located adjacent to an accessible parking space meeting the 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. requirements of the California Building Code, Chapter 11A, to allow use of the EV charger urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2. 4.303.1.3. 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in from the accessible parking space. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with 2. The EV space shall be located on an accessible route, as defined in the California Building 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to cement mortar, concrete masonry or a similar method acceptable to the enforcing additions or alterations of existing residential buildings where the addition or alteration increases the Code. Chapter 2, to the building. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving building's conditioned area, volume, or size. The requirements shall apply only to and/or within the 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final specific area of the addition or alteration. **Exception:** Electric vehicle charging stations designed and constructed in compliance with the 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent completion, certificate of occupancy, or final permit approval by the local building department. See Civil California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Code Section 1101.1. et seq., for the definition of a noncompliant plumbing fixture, types of residential of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or buildings affected and other important enactment dates. or meet a more stringent local construction and demolition waste improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate Note: Electric Vehicle charging stations serving public housing are required to comply with the California **4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1. Building Code, Chapter 11B. flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and Specification for Tank-type Toilets. 1. Excavated soil and land-clearing debris. other important enactment dates. 4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be 2. Alternate waste reduction methods developed by working with local agencies if diversion or designed to comply with the following: Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the of two reduced flushes and one full flush. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of 1. The minimum length of each EV space shall be 18 feet (5486 mm). 3. The enforcing agency may make exceptions to the requirements of this section when isolated individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential The minimum width of each EV space shall be 9 feet (2743 mm). 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. jobsites are located in areas beyond the haul boundaries of the diversion facility. buildings, or both. Individual sections will be designated by banners to indicate where the section applies 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN . Submit a construction waste management plan in minimum width of the EV space is 12 feet (3658 mm). high-rise buildings, no banner will be used. conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 **SECTION 302 MIXED OCCUPANCY BUILDINGS** horizontal (2.083 percent slope) in any direction. gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, WaterSense Specification for Showerheads. reuse on the project or salvage for future use or sale. 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or shall comply with the specific green building measures applicable to each specific occupancy. **4.106.4.2.3 Single EV space required.** Install a listed raceway capable of accommodating a 208/240-4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by 3. Identify diversion facilities where the construction and demolition waste material collected will be diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only ABBREVIATION DEFINITIONS: cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction allow one shower outlet to be in operation at a time. 4. Identify construction methods employed to reduce the amount of construction and demolition waste Department of Housing and Community Development documents shall identify the raceway termination point. The service panel and/or subpanel shall provide California Building Standards Commission capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated Note: A hand-held shower shall be considered a showerhead. Division of the State Architect, Structural Safety DSA-SS installation of a branch circuit overcurrent protective device. weight or volume, but not by both. Office of Statewide Health Planning and Development OSHPD 4.303.1.4 Faucets **4.106.4.2.4 Multiple EV spaces required.** Construction documents shall indicate the raceway 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the termination point and proposed location of future EV spaces and EV chargers. Construction documents **4.303.1.4.1 Residential Lavatory Faucets.** The maximum flow rate of residential lavatory faucets shall enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition Additions and Alterations shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall waste material diverted from the landfill complies with Section 4.408.1. electrical load calculations to verify that the electrical panel service capacity and electrical system, not be less than 0.8 gallons per minute at 20 psi. including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs Note: The owner or contractor may make the determination if the construction and demolition waste at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory materials will be diverted by a waste management company. 40-ampere minimum branch circuit. Required raceways and related components that are planned to be faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential **RESIDENTIAL MANDATORY MEASURES** installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the buildings shall not exceed 0.5 gallons per minute at 60 psi. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver meet the minimum 65% construction waste reduction requirement in Section 4.408.1 **DIVISION 4.1 PLANNING AND DESIGN 4.106.4.2.5 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent more than 0.2 gallons per cycle. protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons with the California Electrical Code. **SECTION 4.102 DEFINITIONS** construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 ne following terms are defined in Chapter 2 (and are included here for reference) to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces **4.408.5 DOCUMENTATION**. Documentation shall be provided to the enforcing agency which demonstrates capable of supporting future installation of EVSE. The construction documents shall identify the location FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.. of the EV spaces. pervious material used to collect or channel drainage or runoff water. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed 1. Sample forms found in "A Guide to the California Green Building Standards Code 1. Construction documents are intended to demonstrate the project's capability and capacity , and shall meet the applicable standards referenced in Table (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in used for perimeter and inlet controls in accordance with the 1701.1 of the California Plumbing Code or facilitating future EV charging. compliance with this section 2. There is no requirement for EV spaces to be constructed or available until EV chargers 2. Mixed construction and demolition debris (C & D) processors can be located at the California 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation are installed for use. Department of Resources Recycling and Recovery (CalRecycle). and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, THIS TABLE COMPILES THE DATA IN SECTION 4.303.1. AND IS INCLUDED AS **4.106.4.3.1 Number of required EV spaces.** The number of required EV spaces shall be based 4.410 BUILDING MAINTENANCE AND OPERATION management of storm water drainage and erosion controls shall comply with this section. on the total number of parking spaces provided for all types of parking facilities in accordance with **4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact disc, A CONVENIENCE FOR THE USER. Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the web-based reference or other media acceptable to the enforcing agency which includes all of the following shall 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less nearest whole number. than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre TABLE - MAXIMUM FIXTURE WATER USE or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent 1. Directions to the owner or occupant that the manual shall remain with the building throughout the TABLE 4.106.4.3.1 property, prevent erosion and retain soil runoff on the site. **FIXTURE TYPE** 2. Operation and maintenance instructions for the following: NUMBER OF REQUIRED EV TOTAL NUMBER OF PARKING SHOWER HEADS a. Equipment and appliances, including water-saving devices and systems, HVAC systems. 1.8 GMP @ 80 PSI Retention basins of sufficient size shall be utilized to retain storm water on the site. RESIDENTIAL) . Where storm water is conveyed to a public drainage system, collection point, gutter or similar photovoltaic systems, electric vehicle chargers, water-heating systems and other major disposal method, water shall be filtered by use of a barrier system, wattle or other method approved MAX. 1.2 GPM @ 60 PSI LAVATORY FAUCETS b. Roof and yard drainage, including gutters and downspouts. MIN. 0.8 GPM @ 20 PSI (RESIDENTIAL) 3. Compliance with a lawfully enacted storm water management ordinance. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. LAVATORY FAUCETS IN 0.5 GPM @ 60 PSI Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or e. Water reuse systems. COMMON & PUBLIC USE AREAS are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. Information from local utility, water and waste recovery providers on methods to further reduce 1.8 GPM @ 60 PSI KITCHEN FAUCETS resource consumption, including recycle programs and locations. Website: https://www.waterboards.ca.gov/water issues/programs/stormwater/construction.html) 4. Public transportation and/or carpool options available in the area. METERING FAUCETS 0.2 GAL/CYCLE 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent 4 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will what methods an occupant may use to maintain the relative humidity level in that range. WATER CLOSET 1.28 GAL/FLUSH 6. Information about water-conserving landscape and irrigation design and controllers which conserve manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface 76-100 water include, but are not limited to, the following: 0.125 GAL/FLUSH URINALS 101-150 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation 151-200 . Water collection and disposal systems 8. Information on required routine maintenance measures, including, but not limited to, caulking, French drains 6 percent of total painting, grading around the building, etc. 201 and over 4.304 OUTDOOR WATER USE Information about state solar energy and incentive programs available. 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS . Residential developments shall comply with 5. Other water measures which keep surface water away from buildings and aid in groundwater 10. A copy of all special inspections verifications required by the enforcing agency or this code. a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water 4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to Efficient Landscape Ordinance (MWELO), whichever is more stringent. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building **Exception**: Additions and alterations not altering the drainage path. site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, 1. The minimum length of each EV space shall be 18 feet (5486mm). storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, 2. The minimum width of each EV space shall be 9 feet (2743mm) **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are equipment (EVSE) shall be installed in accordance with the California Electrical Code. Article 625 4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section available at: https://www.water.ca.gov/ 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of in accordance with Section 4.106.4.2.3. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and 4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4. infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no commercial power supply. 1.2 Where there is evidence substantiating that meeting the requirements will alter the local **4.106.4.3.5** Identification. The service panels or sub-panels shall be identified in accordance with Section DIVISION 4.5 ENVIRONMENTAL QUALITY utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per SECTION 4.501 GENERAL **4.106.4.3.6 Accessible EV spaces.** In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating stations in the California Building Code, Chapter 11B. and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. **SECTION 4.502 DEFINITIONS** 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each 5.102.1 DEFINITIONS dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway **DIVISION 4.2 ENERGY EFFICIENCY** The following terms are defined in Chapter 2 (and are included here for reference) shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy including furniture, fixtures and equipment (FF&E) not considered base building elements. concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere ommission will continue to adopt mandatory standards. minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent **COMPOSITE WOOD PRODUCTS.** Composite wood products include hardwood plywood, particleboard and medium protective device. density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed **4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1. protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. **4.106.4.2 New multifamily dwellings.** If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number. AN EXTERIOR & INTERIOR 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. RENOVATION FOR GREG COSMERO 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed

Peter Strauhal, CEO

www.blsgreenbuildings.com

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER

**GREEN CODE** 

PROJ.#: 22068

DATE: 08.02.22

Studio M of A - Laney LA Partnership

Architect, Anthony Laney

PO BOX 3164, SALEM, OR 97302

PH: 971-239-1519

CONTACT: PETER LYLE STRAUHAL, AIA

PROJECT ADDRESS:

MISSION 4 SW OF 10TH

CARMEL-BY-THE, CA 93921

PARCEL #: 010-152-004-000

#### Peter Lyle Strauhal, AIA, LEED AP

Principal Architect PO Box 3164 Salem, OR 97302 971-239-1519 pstrauhal@gmail.com

12 December,, 2022



Attn: Plan Reviewer

**Dear City Staff,** 



City of Carmel-by-the-Sea
COMMUNITY PLANNING AND BUILDING DEPARTMENT
POST OFFICE DRAWER CC
CARMEL-BY-THE-SEA, CA 93921
(831) 620-2010 OFFICE
October 31, 2022
Peter Lyle Strauhal
PO Box 3164
Salem, OR 97302
Email: pstrauhal@gmail.com

Subject: Completeness Review Letter Design Study DS 22-287 (Cosmero)

Mission 4 SW of 10th Ave

Block: 117 Lot: 9 APN: 010-152-004-000

Dear Mr. Strauhal.

Thank you for submitting a Design Study application (DS 22-287, Cosmero) for the repair roof eave and reroofing, replace existing siding, fencing, decking and trellis received on October 8, 2022. The staff has determined that the following additional information and/or revisions to the plans are required:

1. A city business license is required on the planning application. Please indicate the applicant's city business license number. If the applicant does not hold a city business license, please apply for the appropriate license. Please direct questions regarding business licenses to (831) 620-2000 or cityclerk@ci.carmel.ca.us.

Response: Application has been submitted for city business license to City of Carmel-by-the-Sea.

2. The City records indicate the site has not been evaluated for eligibility as a historic resource. Therefore, no application shall be deemed complete unless it includes a determination that the property is either eligible or ineligible for the Carmel Historic Inventory (CMC 17.32.130). Please apply for a Historic Evaluation. Here is the link to the application. Applications can be submitted online at <a href="https://carmel.portal.iworg.net/portalhome/carmel">https://carmel.portal.iworg.net/portalhome/carmel</a>.



#### Response: Historic Evaluation has been requested.

3. Provide a data table showing calculations for existing and proposed site coverage (see sample below) and label all improvements on the site plan, as appropriate. Site coverage is defined as the total ground area of a site occupied by materials or improvements that cover the natural soil but which are outside the perimeter of structures that count as floor area. Site coverage includes:

Response: Table with areas and labels have been provided on sheet A1.1.

- A. Fully permeable materials including gravel, spaced decking, and exterior stairs. However, shredded bark, wood chips, and similar materials used as mulch within fully landscaped areas are not counted as site coverage.
- B. Semi-permeable materials including sand-set bricks or pavers, garden walkways of small paving stones, and arbors.
- C. Impermeable materials including asphalt, concrete, mortared brick and stone, decomposed granite, unspaced decking and balconies at any level, garden walls, solariums, bridges, sheds not counted as floor area, ponds, hot tubs, and swimming pools.

Response: Understood. No Additional Response.

4. Submit a representative photograph and specification cut sheet depicting the existing and proposed roofing material(s).



Old Roof



New Roof (Under separate, approved permit)

5. Provide the existing and proposed materials for the siding on an elevation plan or clear photos of all elevation with the existing and proposed materials.



"Old" Siding



"New" (Existing) Siding

Response: This item is not relevant. The owner is not altering the siding. Here is a picture of the old siding and the new siding for reference to satisfy this plan review line item.

6. Indicate materials used for the gutters and downspouts on the site plan.

Response: The gutters and downspouts are white painted sheet metal and are existing to remain unchanged.

7. Provide existing and proposed window and door schedule data table showing the make, style, location, and material of all windows and doors (include photos or a specification brochure cut sheet) (see sample below).

Response: The existing and proposed doors and windows are existing to remain unchanged with the exception of 1 window. The new window matches the existing windows exactly. Make: Milgard, Style, Single Hung, Location, Front Elevation, Hallway.







Old Windows

New Windows

**Existing Doors to Remain** 

8. Clarify if you are proposing any skylight(s).

Response: Clarification: No.

9. Provide the height and the material for the existing and proposed fence, and show the location on the site plan

Response: The height and material and location of the existing and proposed fence is already provided and is already on the site plan.

10. The maximum permitted driveway width in the right-of-way is 14 feet. Please clarify the width of the new paved driveway you are proposing.

Response: The driveway is existing to remain unchanged. There is no change to the width of the driveway. The driveway is exactly the width of the word existing.

11. Provide photos of existing trellis and the proposed material.

Response: The repaired trellis is wood, painted white.





Old Trellis

Repaired Trellis

12. Clarify if any work is to be done in the garage and if proposing a garage door change.

Response: Clarification: No.

13. For the proposed landscaping, please depict on the site plan the number, species, and location of all planting and provide a plant list for approval by the City Forester. Please also depict all new irrigation. Response: Landscaping species provided. No new irrigation is proposed as irrigation is existing.

14. A tree removal permit application is required for the proposed removal or substantial trimming of any tree with a trunk that is over 2" in diameter. Submit a tree removal permit for any proposed removal of trees as a result of the construction.

Response: Application has been submitted for city business license to City of Carmel-by-the-Sea.

15. Provide a written response to each of the comments above and submit revised plans as a single complete package.

Response: Understood. No Additional Response.

Staff Recommendations: The items listed below are project comments and are not required for application completeness. However, your response to these items will inform staff whether the project is consistent with the Residential Design Guidelines. CMC Section 17.58.040.A.3.b (Procedures) states that any project that does not comply with the residential design guidelines shall be referred to the Planning Commission for resolution or redirected into a Track 2 Design Study.

Response: Understood. No Additional Response.

For the Planning Commission to approve a deviation from the Residential Design Guidelines, the Commission must find that the deviation achieves applicable design objectives, as well as, or better than, what would be achieved by adherence to the Residential Design Guidelines. Staff has identified the following Residential Design Guidelines applicable to the project:

Response: Understood. No Additional Response.

- 1. Residential Design Guideline
- 9.8. Roof materials should be consistent with the architectural style of the building and with the context of the neighborhood.
- Wood shingles and shakes are preferred materials for most types of architecture typical of Carmel (i.e., Arts and Crafts, English Revival, and Tudor Revival).
- Clay tile, slate, and concrete tile may be considered appropriate on some structures (i.e., Spanish and Italian Revival, Monterey Colonial, French Revival, etc.).
- Composition shingles that convey color and texture similar to that of wood shingles may be considered on some architectural styles characteristic of more recent eras.
- *Metal*, *plastic*, and *glass roofs are inappropriate in all neighborhoods*.

Response: Proposed scope of work will comply exactly with the residential design guidelines.

- 2. Residential Design Guideline
- 10.5 The residential design guidelines encourage patios and walkways, select paving materials that convey the colors and textures of native materials, and reduce runoff.
- The use of Carmel stone, brick, decomposed granite, and earth-toned pavers, for example, is appropriate.
- Using a "sand-set" instead of "mortar-set" for paving materials allows for the percolation of rain into the soil and is encouraged.
- Avoid using "turf block" and grey concrete.
- Paving designs and materials uncharacteristic of a village in a forest are discouraged.

Response: Proposed scope of work will comply exactly with the residential design guidelines.

Staff Comment: To consider reducing site coverage and impervious site coverage to permeable. Resubmittal Requirements: Upon receipt and review of the above-requested revised and supplemental materials, we can inform you of the next steps in the City's review of the application. Please submit revised plans digitally by emailing them directly to <a href="mailto:snathan@ci.carmel.ca.us">snathan@ci.carmel.ca.us</a>. Should you have any questions, I can be reached directly at (831) 620-2027, or snathan@ci.carmel.ca.us, if you have any questions regarding this letter or the process. Sincerely, Suray Nathan, Assistant Planner.

Response: Understood. No Additional Response.

Peter Lyle Strauhal, AIA

<u>12-01-22</u>

Date

cc: File