



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22268

Owner Name: Q'S BG LLC

Case Planner: Suray Nathan, Assistant Planner

Date Posted: _____

Date Approved: 09/14/2022

Project Location: CAMINO REAL 1 SW OF OCEAN AVE

APN #: 010266015000 **BLOCK/LOT:** M/1 & 3

Applicant: JOHN MOORE

Project Description: Authorizes interior (714 square-foot) and exterior remodel including new master bath, relocating laundry, replacing exterior doors and windows with Loewen clad windows, replacing exterior sidings, and replacing roofing material with heavy cedar shake, located on Camino Real 1 SW of Ocean Avenue in the Single-Family Residential (R-1) District.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study (DS 22-268, Lee) authorizes interior (714 square-foot) and exterior remodel including new master bath, relocating laundry, replacing exterior doors and windows with Loewen clad windows, replacing exterior sidings, and replacing roofing material with heavy cedar shake, located on Camino Real 1 SW of Ocean Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by John Moore stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).	✓
7.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A	✓

	<p>cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	
8.	<p>Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.</p>	
9.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>	
	<p>Landscape Conditions</p>	
10.	<p>Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.</p>	✓
11.	<p>Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	✓

12.	<p>Erosion Control in the Right-of-Way. Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" located in the Forest Management Plan.</p>	✓
13.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an 	✓

	investigation by the City Forester has been completed and mitigation measures have been put in place.	
14.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
15.	Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry patten shall be clearly identified in the construction drawings submitted with the building permit application.	✓
16.	Aluminum-Clad Wood Frame Windows and Doors. The applicant shall submit product information for the aluminum-clad wood windows and doors prior to issuance of a building permit. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.	✓
17.	Cedar shake Roofing. The applicant shall submit product information for the heavy cedar shake roofing prior to issuance of a building permit.	✓
18.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
19.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the	✓

	Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
20.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
22.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
SPECIAL CONDITIONS		
23.	Plumbing Permit. Prior to the issuance of a building permit, the applicant shall apply for a plumbing permit for the bathroom remodel.	✓
24.	Electrical Permit. Prior to the issuance of a building permit, the applicant is required to apply for an electrical permit for the interior remodeling.	✓

Acknowledgement and acceptance of conditions of approval:

 Property Owner Signature

 Printed Name

 Date

Once signed, please email to snathan@ci.carmel.ca.us.

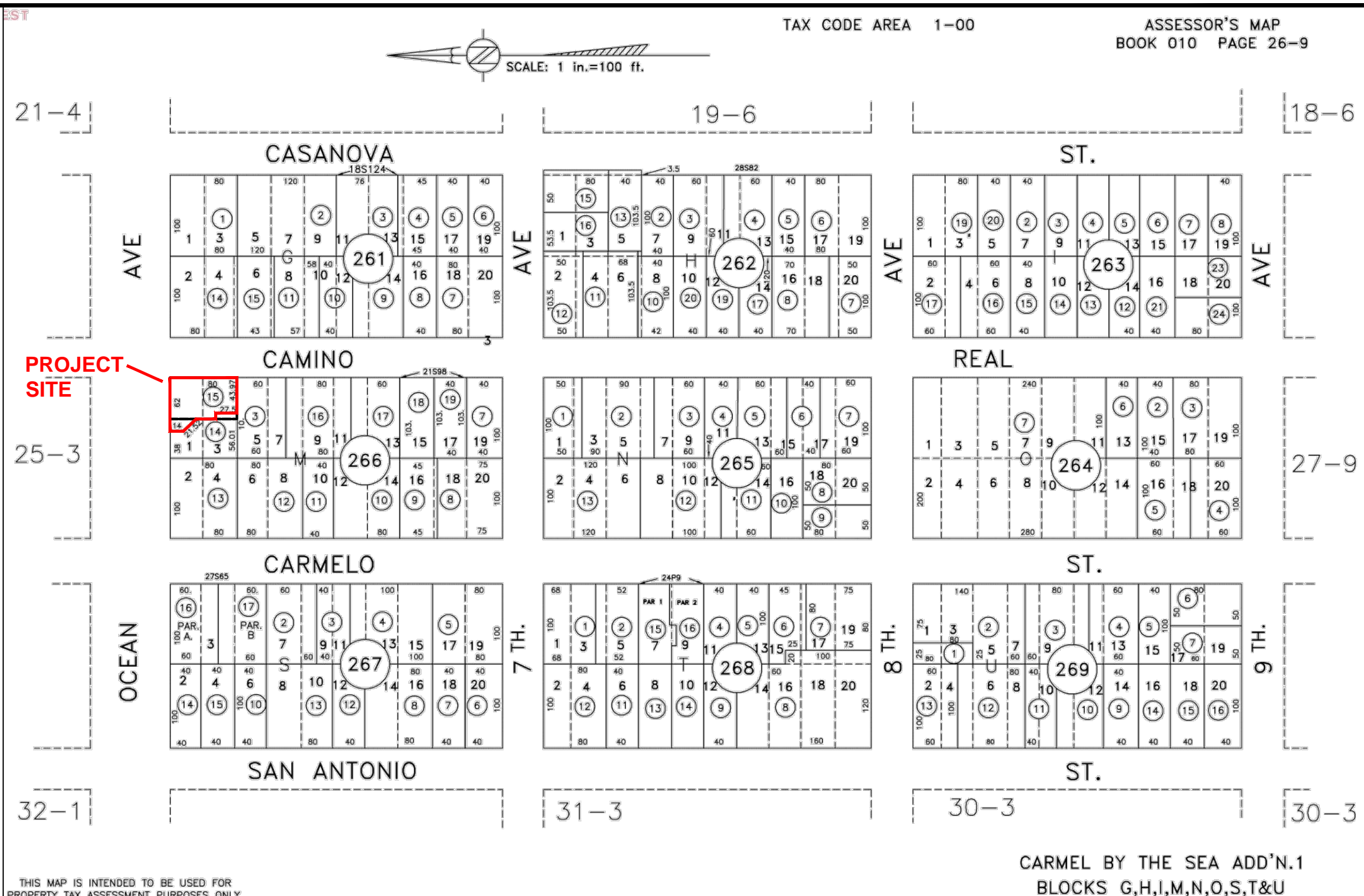
GENERAL CONDITIONS

1. Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2. Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3. Contractor shall be responsible to obtain and all necessary permits, inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
4. Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5. Materials that are specified by their brand names establish standards of quality and performance. Any request for substitution shall be submitted to Moore Design LLC and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6. All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7. All dimensions on construction drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8. All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9. All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10. All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in accordance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
11. The use of the word 'provide' in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12. The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13. The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14. The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15. The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16. All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17. Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18. All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19. Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20. Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mg. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.

ABBREVIATIONS AND SYMBOLS

APPROX. APPROXIMATE	O.C. ON CENTER	SECTION	SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
BLK. BLOCK	O.D. OUTSIDE DIAMETER	WALL LINE	NUMBERS VERTICAL LETTERS HORIZONTAL
CLO. CLOSET	PLYWD. PLYWOOD	DOORS SYMBOL NUMBERS	
CONC. CONCRETE	REF. REFRIGERATOR	WINDOW TYPE NUMBERS	
CONT. CONTINUOUS	R.O. ROUGH OPENING	DETAIL NUMBER	SHEET WHERE DETAIL IS LOCATED
DS. DOWNSPOUT	SHWR. SHOWER	REVISIONS NUMBERS	CLOUD AROUND REVISION OPTIONAL
DW. DSHWASHER	SMR. SMIRAR	+8'-0"	CILING HEIGHT
(E) EXISTING	SK. SKYLEIGHT		
F.O.C. FACE OF CONCRETE	TRG. TONGUE AND GROOVE		
F.O.S. FACE OF STUD	T.O.P. TOP OF PLATE		
GALV. GALVANIZED	TYP. TYPICAL		
GYP. GYPSUM	U.O.N. UNLESS OTHERWISE NOTED		
G.W.B. GYPSUM WALLBOARD	WP. WATERPROOF		
FLR. FLOOR	W/ WITH		
HWDD. HARDWOOD	W/O WITHOUT		
N.C. NOT IN CONTRACT	W.I.C. WALK IN CLOSET		
N.T.S. NOT TO SCALE			

VICINITY MAP



THE LEE REMODEL

CARMEL,

CA

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 22-268 (Lee)

Date Approved: 09/14/2022

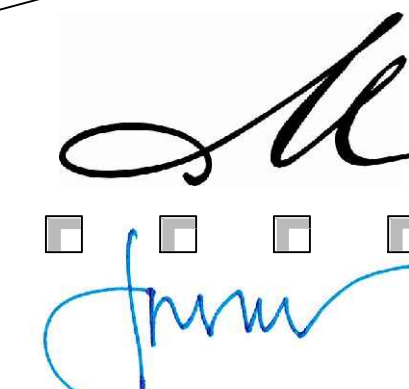
Planner: Suray Nathan

PROJECT NAME:

LEE REMODEL

CAMINO REAL 1 SW OF OCEAN AVE
CARMEL, CA 93923

APN: 010-266-015



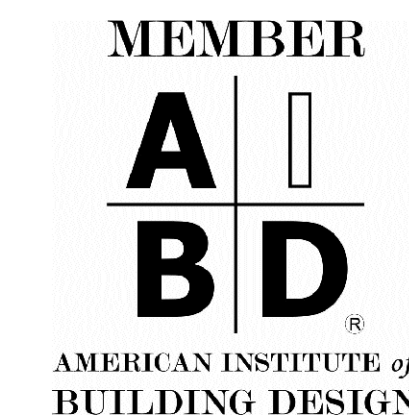
MOORE DESIGN INC.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
TRACK 1 SUBMITTAL	8-12-2022
TRACK 1 REVISIONS	9/6/2022

PRINT DATE: 9/6/2022



All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of MOORE DESIGN INC. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with MOORE DESIGN INC., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

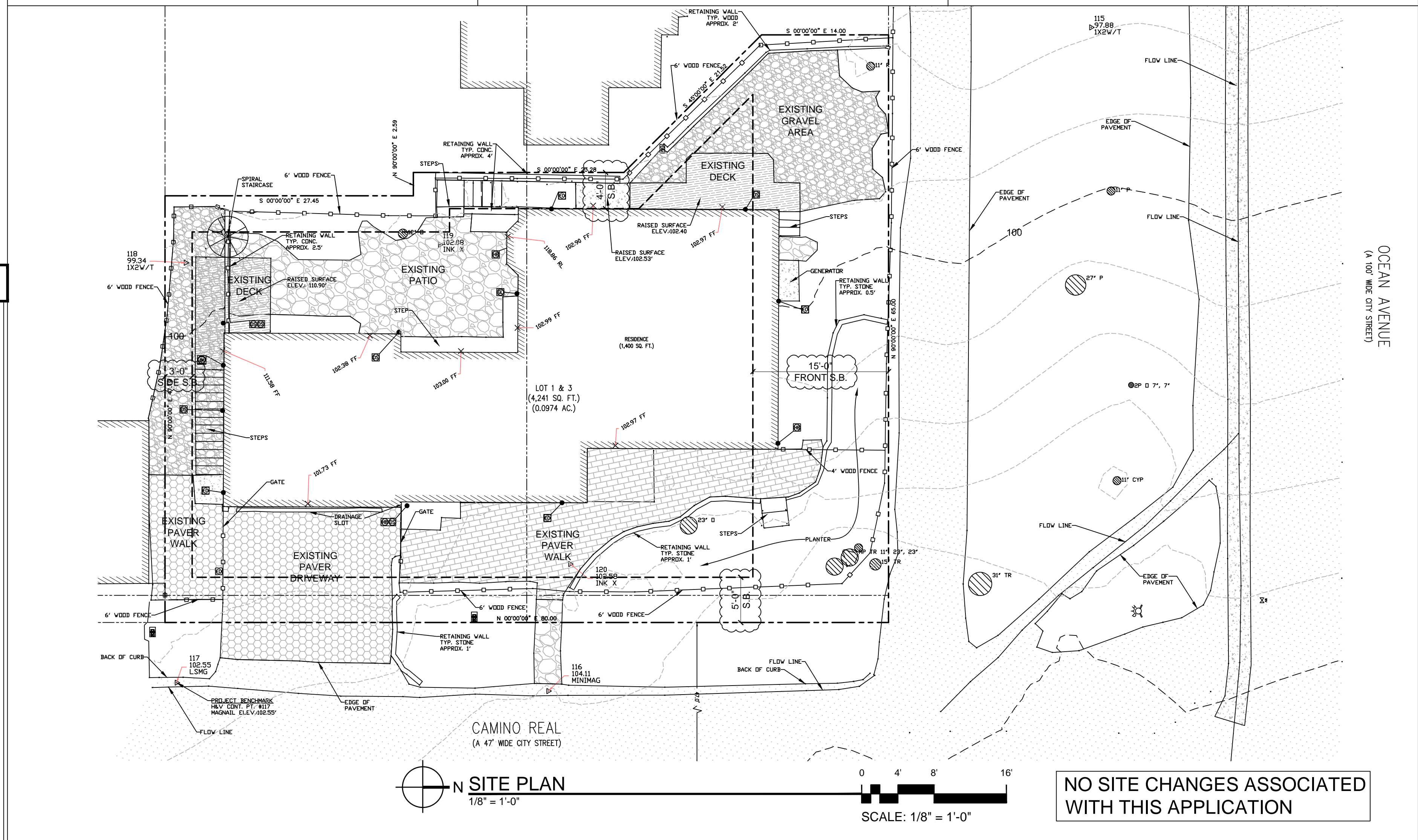
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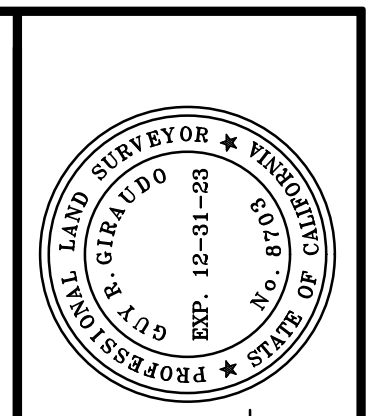
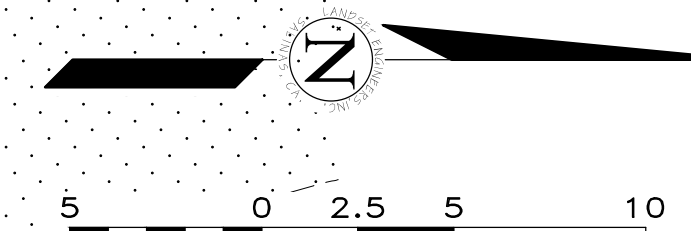
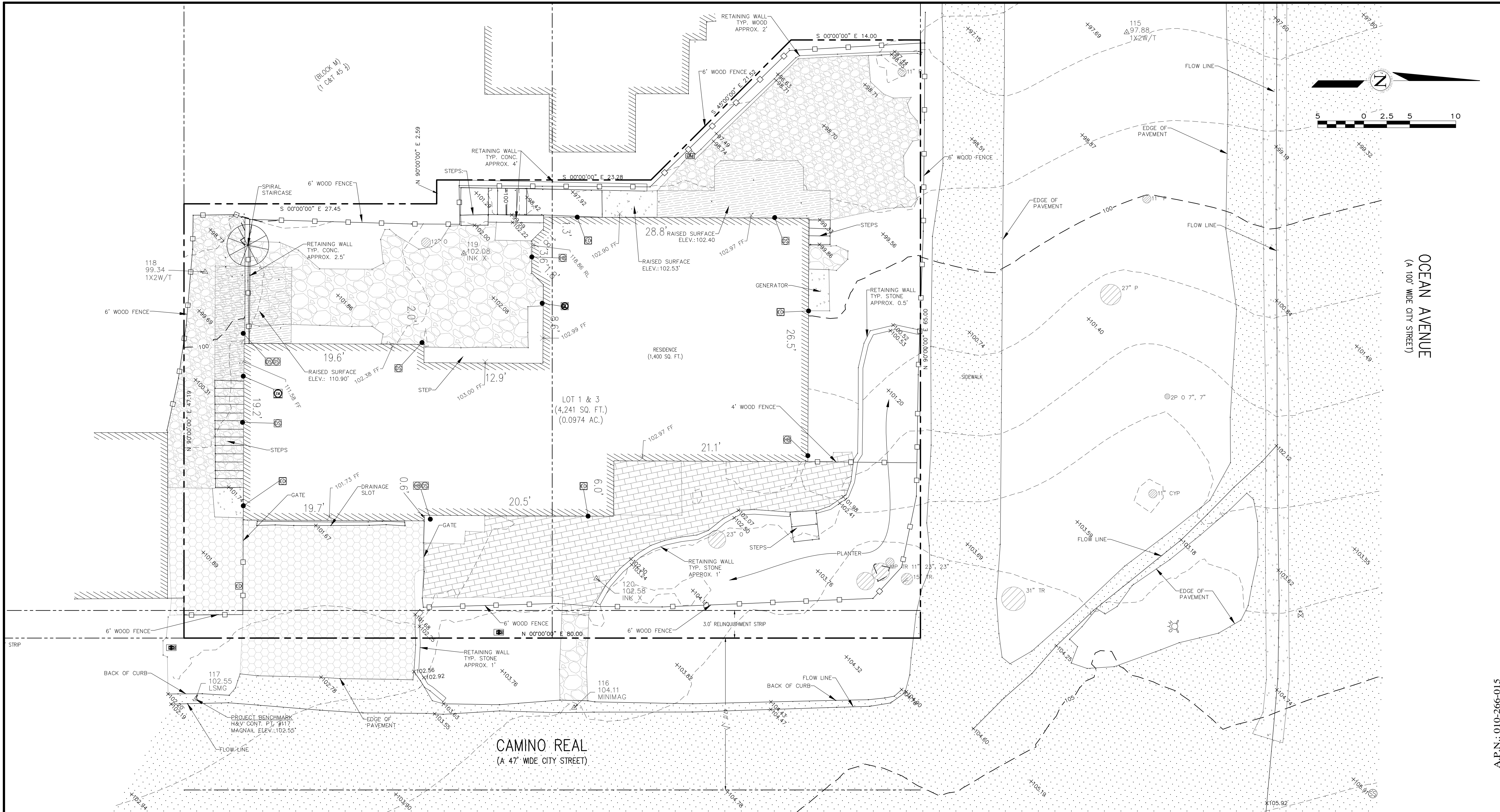
COVER SHEET / PROJECT INFO

SHEET NUMBER:

A0.1

SHEET INDEX		PROJECT DIRECTORY		PROJECT INFORMATION																																																																			
<table border="1"> <tr> <th>ARCHITECTURAL</th> <th></th> </tr> <tr> <td>A0.1</td> <td>COVER SHEET / SITE PLAN</td> </tr> <tr> <td>A2.0</td> <td>EXISTING - DEMO PLAN</td> </tr> <tr> <td>A2.1</td> <td>FLOOR PLAN</td> </tr> <tr> <td>A4.1</td> <td>EXISTING EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A4.2</td> <td>PROPOSED EXTERIOR ELEVATIONS</td> </tr> </table>		ARCHITECTURAL		A0.1	COVER SHEET / SITE PLAN	A2.0	EXISTING - DEMO PLAN	A2.1	FLOOR PLAN	A4.1	EXISTING EXTERIOR ELEVATIONS	A4.2	PROPOSED EXTERIOR ELEVATIONS	<table border="1"> <tr> <td>OWNER:</td> <td>TM & SUSAN LEE CAMINO REAL 1 SW OF OCEAN AVE CARMEL, CA 93923 435-901-0299</td> </tr> <tr> <td>DESIGNER:</td> <td>MOORE DESIGN, LLC CONTACT: JOHN MOORE 550 FIGUEROA STREET, SUITE B MONTEREY, CA 93940 OFFICE (831) 642-9732 CELL (831) 238-6868 EMAIL: john@mooredesign.org</td> </tr> <tr> <td>GENERAL CONTRACTOR:</td> <td>T.B.D.</td> </tr> <tr> <td>STRUCTURAL ENGINEER:</td> <td>T.B.D.</td> </tr> <tr> <td>SURVEYOR:</td> <td>LANDSET ENGINEERS, INC. CONTACT: GUY GRAUDO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: GGRAUDO@LANDSETENG.COM</td> </tr> <tr> <td>TITLE 24 CONSULTANT:</td> <td>MONTEREY ENERGY GROUP CONTACT: DAVID WRIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8328 FAX (831) 372-4613 EMAIL: cad@megt.com</td> </tr> </table>		OWNER:	TM & SUSAN LEE CAMINO REAL 1 SW OF OCEAN AVE CARMEL, CA 93923 435-901-0299	DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 550 FIGUEROA STREET, SUITE B MONTEREY, CA 93940 OFFICE (831) 642-9732 CELL (831) 238-6868 EMAIL: john@mooredesign.org	GENERAL CONTRACTOR:	T.B.D.	STRUCTURAL ENGINEER:	T.B.D.	SURVEYOR:	LANDSET ENGINEERS, INC. CONTACT: GUY GRAUDO 520 CRAZY HORSE RD. 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Code Local Amendments</td> </tr> <tr> <td>ZONE:</td> <td>R-1</td> </tr> <tr> <td>YEAR CONSTRUCTED:</td> <td>1939</td> </tr> <tr> <td>MAX BLDG. HT.:</td> <td>NO CHANGE (24'-0" ALLOWED)</td> </tr> <tr> <td>CONSTR. TYPE:</td> <td>TYPE V-B</td> </tr> <tr> <td>OCCUPANCY:</td> <td>R-3 (RESIDENTIAL), U</td> </tr> <tr> <td>FIRE SPRINKLERS:</td> <td>NONE EXISTING- NOT REQUIRED NFPA-13D</td> </tr> <tr> <td>WATER SYSTEM:</td> <td>CALAM</td> </tr> <tr> <td>SEWER SYSTEM:</td> <td>PUBLIC</td> </tr> <tr> <td>TREE REMOVAL:</td> <td>NONE</td> </tr> <tr> <td>TOPOGRAPHY:</td> <td>GENTLY SLOPING</td> </tr> <tr> <td>GRADING:</td> <td>NONE</td> </tr> <tr> <td>LOT SIZE:</td> <td>4,400 SF</td> </tr> <tr> <td>LOT COVERAGE CALCS:</td> <td>NO CHANGE</td> </tr> <tr> <td>FLOOR AREA CALCS:</td> <td>NO CHANGE</td> </tr> <tr> <td>SETBACKS:</td> <td>FRONT - 15', REAR - 15', STREET SIDE - 5', INTERIOR SIDE - 3'</td> </tr> </table>		PROJECT ADDRESS:	CAMINO REAL 1 SW OF OCEAN AVE CARMEL, CA 93923	A.P.N.:	010-266-015	PROJECT SCOPE:	INTERIOR REMODEL (714 SF) INCLUDING NEW MASTER BATH, CONVERT ONE FULL BATH INTO POWDER ROOM, RELOCATE LAUNDRY, RELOCATE ENTRY DOOR, REMOVE AND REPLACE EXTERIOR DOORS AND WINDOWS, REPLACE EXISTING SIDING ON SEVERAL SIDES- SEE ELEVATIONS, REPLACE EXISTING ROOFING MATERIALS WITH SAME MATERIALS, NO SITE COVERAGE OR LANDSCAPE CHANGES	PROJECT VALUATION:	\$215,000	RELATED PERMIT:	NONE	PROJECT CODE COMPLIANCE:	2019 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments	ZONE:	R-1	YEAR CONSTRUCTED:	1939	MAX BLDG. HT.:	NO CHANGE (24'-0" ALLOWED)	CONSTR. TYPE:	TYPE V-B	OCCUPANCY:	R-3 (RESIDENTIAL), U	FIRE SPRINKLERS:	NONE EXISTING- NOT REQUIRED NFPA-13D	WATER SYSTEM:	CALAM	SEWER SYSTEM:	PUBLIC	TREE REMOVAL:	NONE	TOPOGRAPHY:	GENTLY SLOPING	GRADING:	NONE	LOT SIZE:	4,400 SF	LOT COVERAGE CALCS:	NO CHANGE	FLOOR AREA CALCS:	NO CHANGE	SETBACKS:	FRONT - 15', REAR - 15', STREET SIDE - 5', INTERIOR SIDE - 3'
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A4.2	PROPOSED EXTERIOR ELEVATIONS																																																																						
OWNER:	TM & SUSAN LEE CAMINO REAL 1 SW OF OCEAN AVE CARMEL, CA 93923 435-901-0299																																																																						
DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 550 FIGUEROA STREET, SUITE B MONTEREY, CA 93940 OFFICE (831) 642-9732 CELL (831) 238-6868 EMAIL: john@mooredesign.org																																																																						
GENERAL CONTRACTOR:	T.B.D.																																																																						
STRUCTURAL ENGINEER:	T.B.D.																																																																						
SURVEYOR:	LANDSET ENGINEERS, INC. CONTACT: GUY GRAUDO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: GGRAUDO@LANDSETENG.COM																																																																						
TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID WRIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8328 FAX (831) 372-4613 EMAIL: cad@megt.com																																																																						
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<p>CAL GREEN NOTES</p> <ol style="list-style-type: none"> 1. Irrigation Controllers- Automatic irrigation controllers installed at the time of final inspection shall be weathered-based. CGBC 4.304.1 2. Rodent Proofing- Protect annular spaces around pipes, electrical cables, conduits or other openings at exterior walls against passage of rodents. CGBC 4.406.1 3. Construction Waste Management- Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with the CGBC Sec. 4.408.1 4. Covering of Mechanical Equipment & Ducts- Cover duct openings and other air related air distribution component openings during storage, construction and until final start up with tape, plastic, or other acceptable method. CGBC 4.504.1 5. Adhesives, sealants and caulks- Adhesives, sealants and caulks used on the project shall be compliant with VOC and other toxic compound limits. CGBC 4.504.2.1 6. Paint and Coatings- Paint, stains and other coatings used on the project shall be compliant with VOC limits. CGBC 4.504.2.2 7. Aerosol paints and coatings- Aerosol paints and coatings used on the project shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. CGBC 4.504.2.3. Verification of compliance shall be provided. 8. Carpet Systems- All carpet and carpet systems installed shall be compliant with VOC limits. CGBC 4.504.3 9. Resilient Floor Systems- 80% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. CGBC 4.504.4 10. Composite Wood Products- Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. CGBC 4.504.5 11. Foundation: Capillary Break- A 4" thick of 1/2" or larger clean aggregate shall be installed with a vapor retarder in direct contact with concrete. CGBC 4.505.2.1 12. Moisture Content of Building Materials- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. CGBC 4.505.3 13. Bathroom Exhaust Fans- Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan and the fan must be controlled by a humidistat capable of adjustment between a relative humidity range of < 50% to a maximum of 80%. CGBC 4.506.1 14. Heating and Air-Conditioning System Design- HVAC systems shall be sized, designed and their equipment sized per CGBC 4.507.2. HVAC system installer must be trained and certified and special inspectors employed by the enforcing agency must be qualified. 																																																																							





APPROVED BY:
 GUY R. GIRARDO
 P.L.S. No. 87703



TOPOGRAPHIC MAP
 OF
 THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2014028711
 OFFICIAL RECORDS OF MONTEREY COUNTY
 CARMEL-BY-THE-SEA, CALIFORNIA
 FOR
 MR. & MRS. TIM & SUZY LEE

LEGEND:

	PROPERTY BOUNDARY LINE		CONDUIT
	ADJACENT PROPERTY BOUNDARY LINE		GAS LINE
	ORIGINAL PROPERTY BOUNDARY LINE		TELEPHONE SERVICE
	EASEMENT LINE (TYPE AS SHOWN)		UNKNOWN UTILITY
	ROADWAY CENTERLINE		FUSE BOX
	MAJOR CONTOUR LINE (5' INTERVAL)		ELECTRICAL OUTLET
	MINOR CONTOUR LINE (1' INTERVAL)		UTILITY POLE
	FENCE (TYPE AS MARKED)		WATER SERVICE
	ASPHALT CONCRETE SURFACE		IRRIGATION BOX
	CONCRETE SURFACE		IRRIGATION CONTROL VALVE
	BRICK SURFACE		WATER VALVE
	WOODEN SURFACE		DRAIN LINE
	PAVER SURFACE		STREET LIGHT
	NATURAL GROUND SURFACE/LANDSCAPED AREA		STONE WALKING SURFACE
			GRAVEL SURFACE

	GAS METER		FOUND MONUMENT - TYPE NOTED
	WATER METER		SURVEY H&V CONTROL POINT
	PGE BOX		SPOT ELEVATION
	UTILITY HUB		RIDGELINE
	TELEPHONE BOX		FINISHED FLOOR
	ELECTRICAL HUB		TREE (TYPE AND SIZE AS MARKED) CENTER OF SYMBOL IS APPROX. CENTER OF TREE
	ELECTRICAL METER		TWO-PRONGED TREE (2P)
	SANITARY SEWER MANHOLE		THREE-PRONGED TREE (3P)
	STORM DRAIN MANHOLE		MULTIPRONGED TREE (MP)
	PGE GAS MANHOLE		
	ELECTRICAL MANHOLE		

CE = CEDAR PA = PALM
 CW = COTTON WOOD PE = PEPPER
 CYP = CYPRESS P = PINE
 E = EUCALYPTUS R = REDWOOD
 H = HOLLY TR = TREE
 O = OAK W = WILLOW

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #117, A MAGNETIC NAIL LOCATED APPROXIMATELY 6.8' EASTERLY FROM THE MOST SOUTHEASTERLY PROPERTY CORNER, ELEVATION = 102.55' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (04/15/2022) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.

CONTACT INFORMATION:
 OWNER:
 TIM AND SUZY LEE
 CAMINO REAL, 15W OF OCEAN AVENUE
 CARMEL-BY-THE-SEA, CA 93921
 ARCHITECT:
 ATTN: JOHN MOORE
 550 FIGUEROA STREET
 MONTEREY, CA 93940
 SITE LOCATION:
 CAMINO REAL, 15W OF OCEAN AVENUE
 CARMEL-BY-THE-SEA, CA 93921

A.P.N.: 010-266-015

5/6/22	AL	RELEASED TO CLIENT
No.	DATE	BY REVISION

SCALE: 1" = 5'
 DATE: MAY 2022
 JOB NO. 2491-01

SHEET **1**
 OF 1 SHEETS

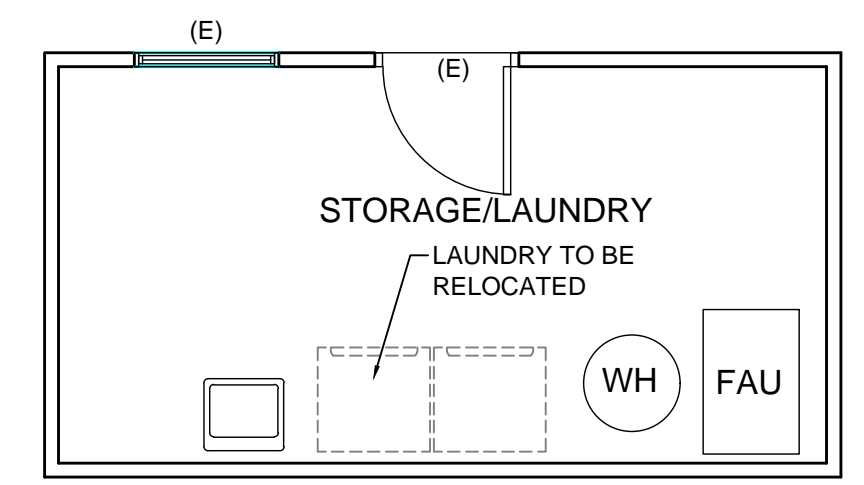
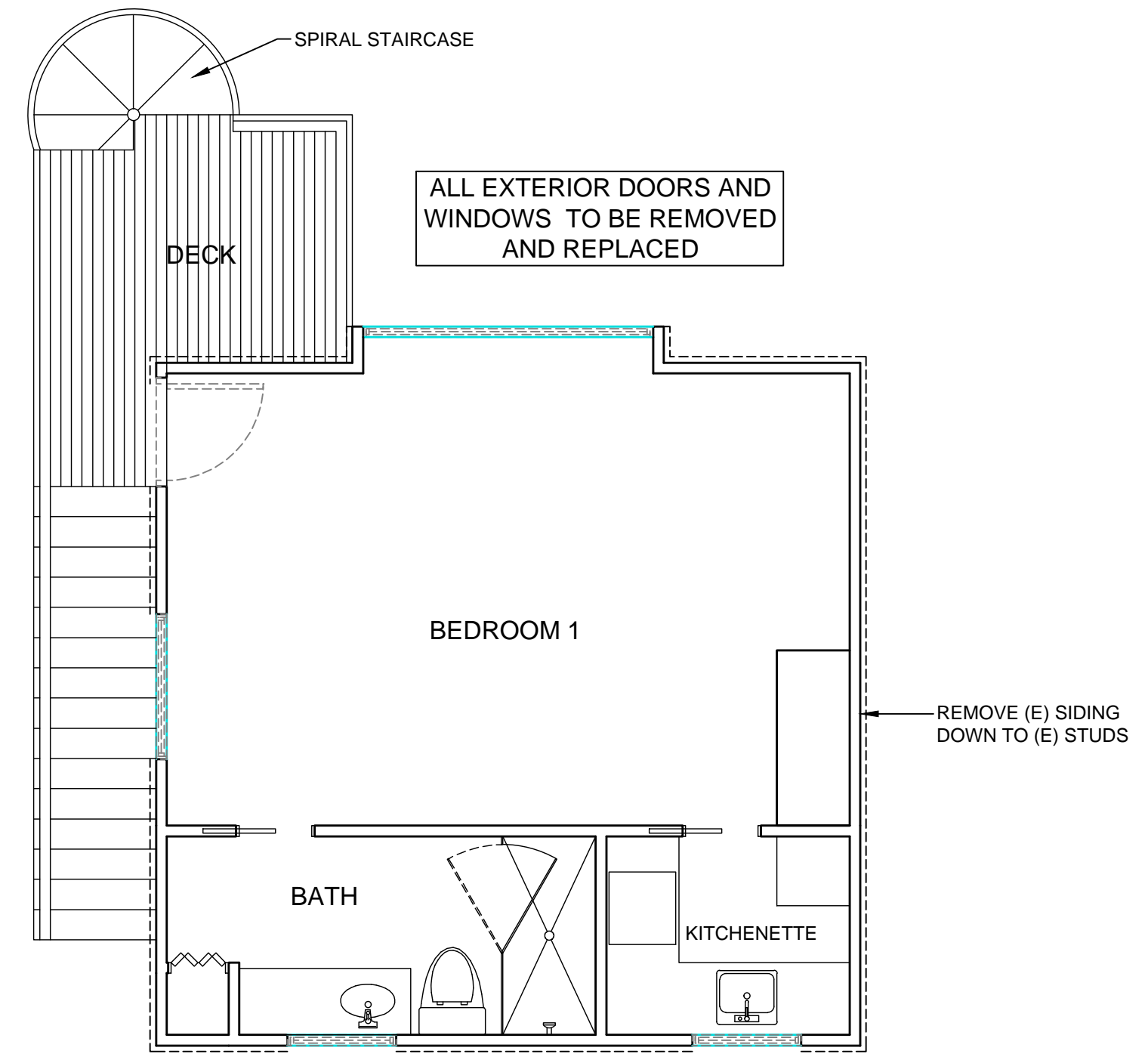
WALL LEGEND

- NEW 2x4 WALLS
- EXISTING 2x4 WALLS
- - - - WALLS TO BE REMOVED

1. EXTERIOR WALLS- 2x4 STUDS @ 16" OC U.O.N. HORIZONTAL SIDING ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
2. INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
3. SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
4. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
6. SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
7. PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

DEMOLITION NOTES

1. Cap all existing utilities to be maintained for re-use in finished construction.
2. Provide appropriate protection/coverage for existing flooring, ceiling, wall finishes, etc., to be maintained in finished construction.
3. Identify and carefully store doors, casework, millwork, light fixtures, and any other materials that will be re-used-verify with owner.
4. Contractor to verify all walls to be removed or replaced and shall provide proper shoring for structural support of any bearing walls.
5. Contractor to keep an orderly job site and dispose of debris on a periodic basis.
6. Inspect all existing foundations and framing to remain, notify designer or structural engr. if any sub-standard areas are encountered.
7. All floors are to be checked & leveled prior to any construction, shim or rebuild as necessary.
8. Provide proper protection for all trees on the construction site.

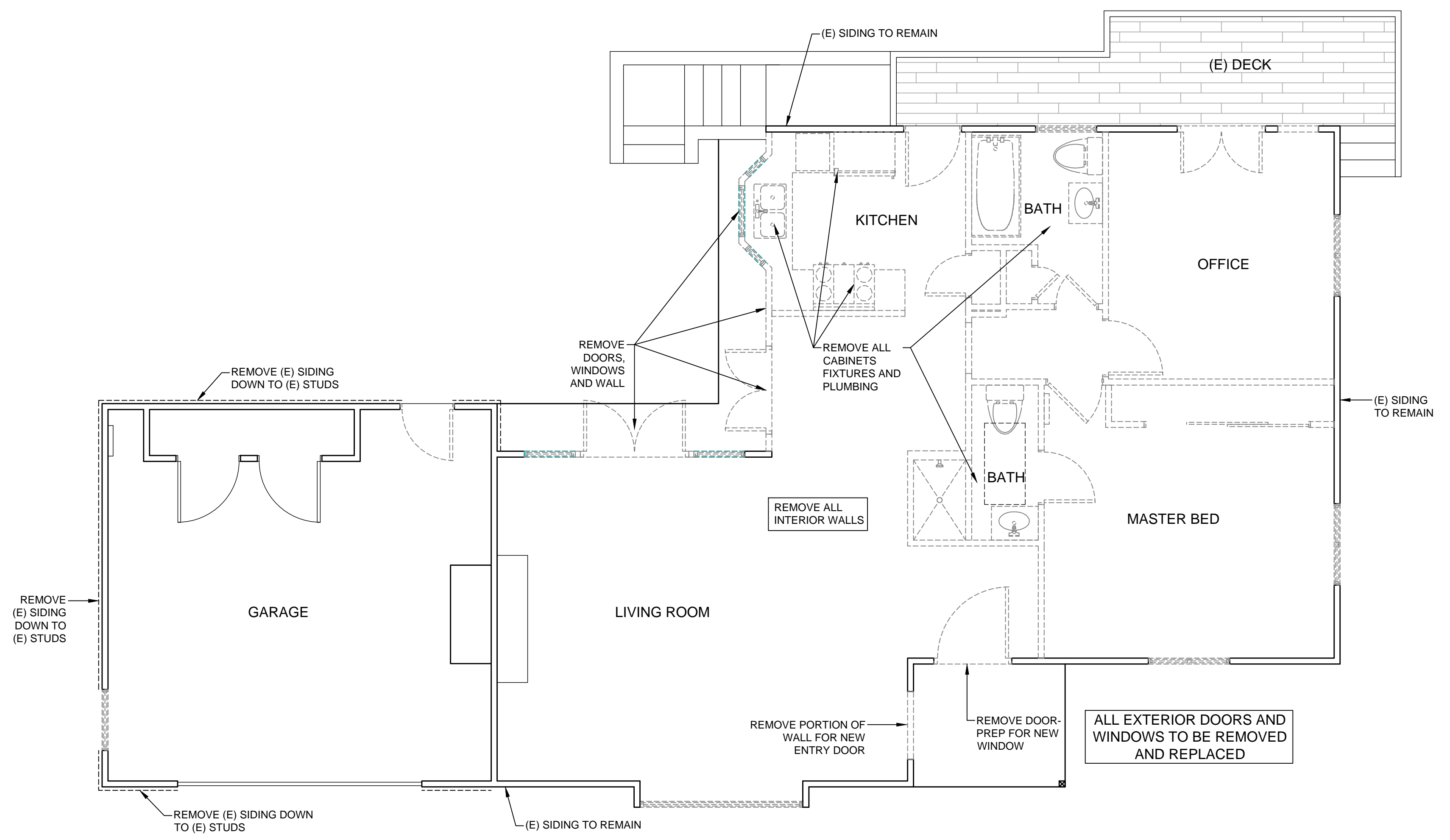


UPPER FLOOR DEMO PLAN
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

EXISTING LOWER FLOOR PLAN
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



MAIN FLOOR DEMO PLAN
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

PROJECT NAME:
LEE REMODEL

CAMINO REAL 1 SW OF
OCEAN AVE
CARMEL, CA 93923

APN: 010-266-015

John Moore

MOORE DESIGN Inc.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
TRACK 1 SUBMITTAL	8-12-2022

PRINT DATE: 8/9/2022

MEMBER

A I B D

AMERICAN INSTITUTE of
BUILDING DESIGN

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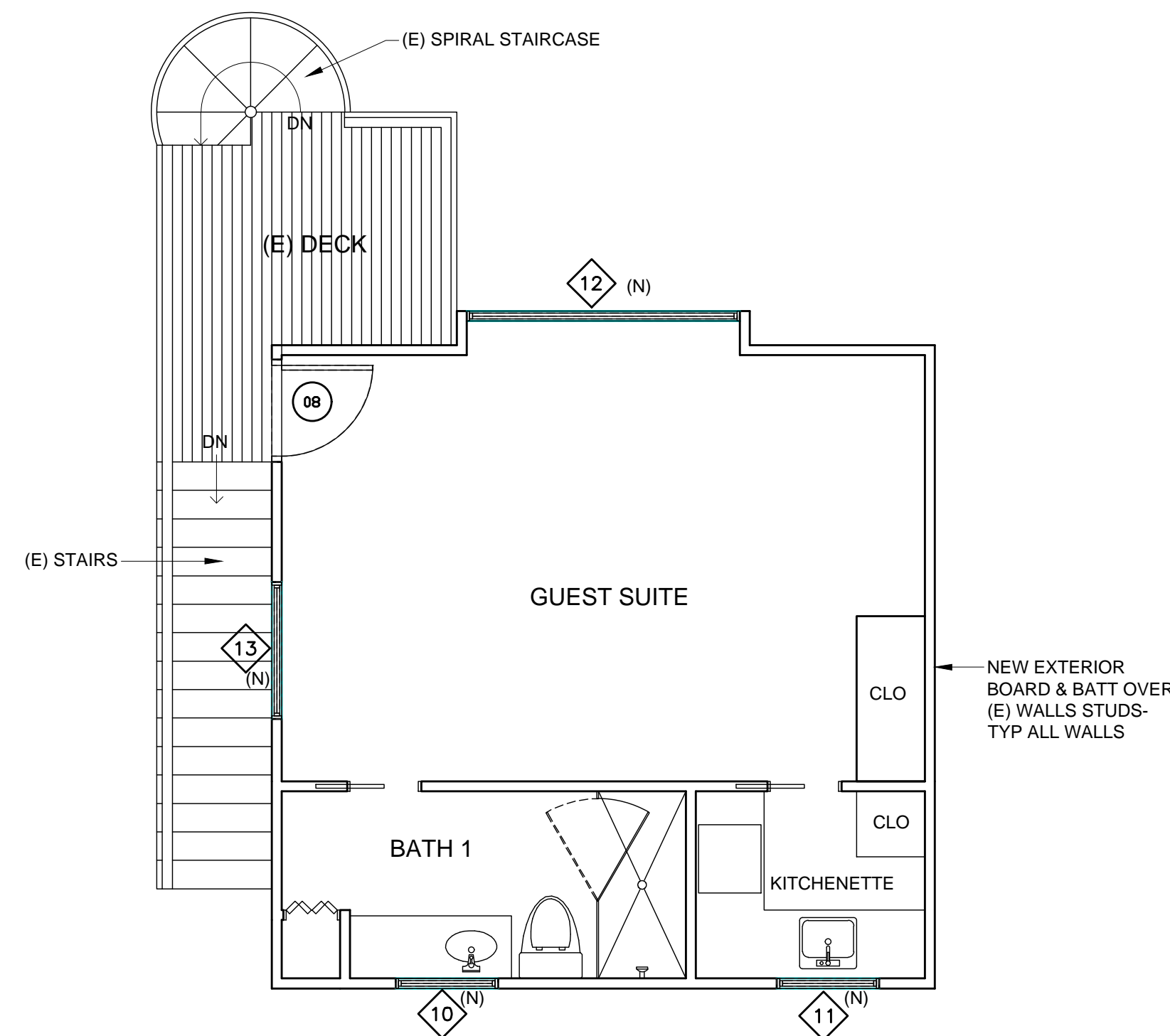
SHEET TITLE:
EXISTING - DEMO PLAN

SHEET NUMBER:
A2.0

WINDOW SCHEDULE								
WDW #	LOCATION	WIDTH	HEIGHT	HEAD HT	JAMB	ACTION	TYPE	REMARKS
1	LIVING RM	8'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		
2	KITCHEN	3'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		
3	MASTER BED	4'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		
4	MASTER BED	4'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		
5	MASTER BATH	4'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		TEMP
6	MASTER BATH	2'-0"	2'-0"	6'-8"	3-1/2"	CASEMENT		TEMP
7	MASTER BATH	4'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		TEMP
8	POWDER RM	2'-0"	2'-0"	6'-8"	3-1/2"	CASEMENT		TEMP
9	GARAGE	3'-0"	3'-0"	6'-8"	3-1/2"	CASEMENT		
10	GUEST SUITE	3'-0"	3'-0"	6'-8"	3-1/2"	CASEMENT		TEMP
11	GUEST SUITE	3'-0"	3'-0"	6'-8"	3-1/2"	CASEMENT		TEMP
12	GUEST SUITE	8'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		
13	GUEST SUITE	4'-0"	4'-4"	6'-8"	3-1/2"	CASEMENT		

DOOR SCHEDULE								
DOOR #	LOCATION	WIDTH	HEIGHT	THICK	MATERIAL	ACTION	TYPE	REMARKS
1	ENTRY	3'-0"	7'-0"	1-3/8"	WD	SWING		STAINED
2	MASTER BED	2'-6"	6'-8"	1-3/8"	WD	SWING		PAINTED
3	POWDER RM	2'-4"	6'-8"	1-3/8"	WD	SWING		PAINTED
4	DINING ROOM	2'-8"	6'-8"	1-3/8"	WD	SWING		STAINED
5	DINING ROOM	11'-6"	6'-8"	1-3/8"	WD	ACCORDION		STAINED
6	DINING ROOM	10'-10"	6'-8"	1-3/8"	WD	ACCORDION		STAINED
7	GARAGE	2'-6"	6'-8"	1-3/8"	WD	SWING		STAINED
8	BEDROOM 1	2'-8"	6'-8"	1-3/8"	WD	SWING		STAINED

CONTRACTOR TO VERIFY ALL SIZES AND VERIFY WITH OWNER IF ANY DOORS CAN BE REUSED
 PROVIDE GALV PAN UNDER ALL EXTERIOR DOORS



PROPOSED UPPER FLOOR PLAN
 1/4" = 1'-0"
 SCALE: 1/4" = 1'-0"

Section 102.1 Subsection 5 Monterey Fire Code Amendments of the 2019 California Fire Code

Existing structures Alterations and repairs. All new work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter. When alterations and/or repairs result in the removal, alteration, modification, replacement of fifty percent or more of the external walls of a building, or result in the removal, modification, replacement and/or repair of fifty percent or more of the existing internal structural and/or non-structural framework, independently or in combination thereof, within a five year period, the entire building shall be made to conform to the current provisions of this Chapter. The determination under this section of the requirement for upgrading any existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official.

COMMENTARY: This section is for all projects involving structural modifications. The following "formula" has been agreed upon by the Fire Districts Committee of the Monterey County Fire Prevention Officers Association:

STEP	ACTION	L.F.
1	TOTAL LENGTH OF WALLS (INTERIOR & EXTERIOR) OF ORIGINAL EXISTING BUILDING	507.0
2	TOTAL LENGTH OF WALLS TO BE REPLACED/RELOCATED DURING THE REMODEL	0.0
3	TOTAL LENGTH OF WALLS TO BE PROPOSED TO BE REMOVED DURING THE REMODEL	123.0
4	TOTAL LENGTH OF WALLS OF NEW ADDITION (NOT ALREADY COUNTED IN STEPS 2 & 3)	74.0
5	ADD RESULTS OF STEPS 2, 3, & 4	197.0
6	DIVIDE TOTAL OF STEP 5 BY TOTAL OF STEP 1	0.39
7	IF STEP 6 EQUALS .5 (50%) OR MORE AUTOMATIC FIRE SPRINKLERS ARE REQUIRED FOR THIS PROJECT. Or if the cumulative total of the projects within the 5 year period is 50% or more automatic fire sprinklers are required for the project.	< 50%

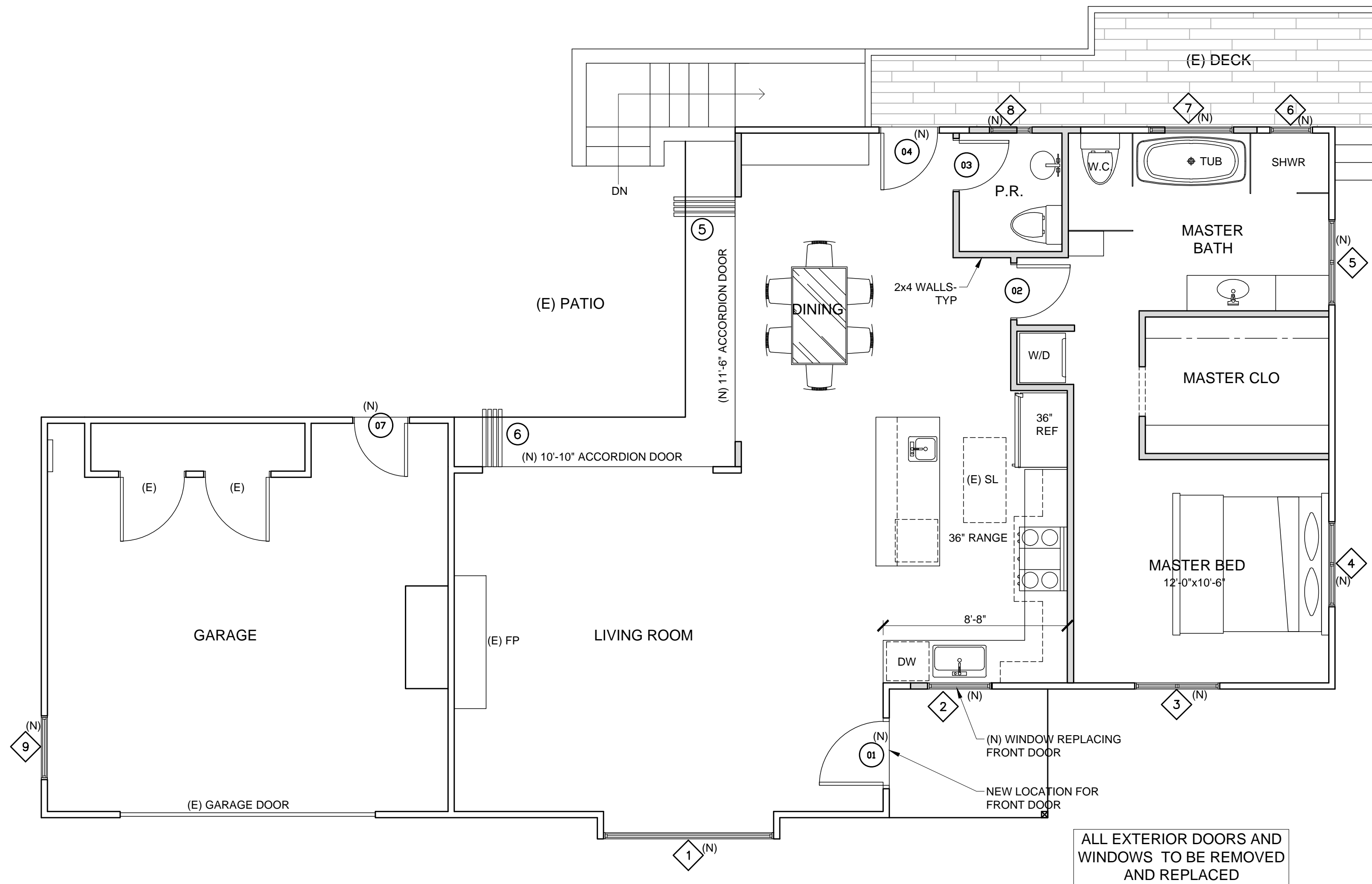
I attest that the measurements and calculations stated above for this project are true and correct.

Completed by:

John Moore
 Phone Number 831-642-9732

Representing Firm: Moore Design
 E-mail: john@mooredesign.org

Signature *John Moore*



PROPOSED MAIN FLOOR PLAN
 1/4" = 1'-0"
 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

1. Cap all existing utilities to be maintained for re-use in finished construction.
2. Provide appropriate protection/coverage for existing flooring, ceiling, wall finishes, etc., to be maintained in finished construction.
3. Identify and carefully store doors, casework, millwork, light fixtures, and any other materials that will be re-used-verify with owner.
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7. All floors are to be checked & leveled prior to any construction, shim or rebuild as necessary.
8. Provide proper protection for all trees on the construction site.

WALL LEGEND

- NEW 2x4 WALLS
- EXISTING 2x4 WALLS
- - - WALLS TO BE REMOVED

1. EXTERIOR WALLS: 2x4 STUDS @ 16" OC U.O.N. HORIZONTAL SIDING ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
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LEE REMODEL

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DRAWING RECORD

DESCRIPTION	ISSUED
TRACK 1 SUBMITTAL	8-12-2022

PRINT DATE: 8/9/2022

MEMBER



AMERICAN INSTITUTE OF
 BUILDING DESIGN

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SHEET TITLE:

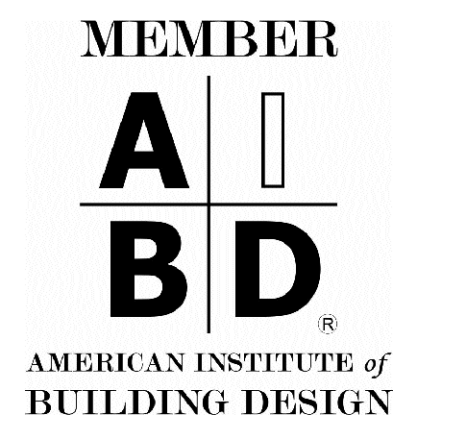
FLOOR PLAN

SHEET NUMBER:

A2.1

DRAWING RECORD	
DESCRIPTION	ISSUED
TRACK 1 SUBMITTAL	8-12-2022

PRINT DATE: 8/12/2022



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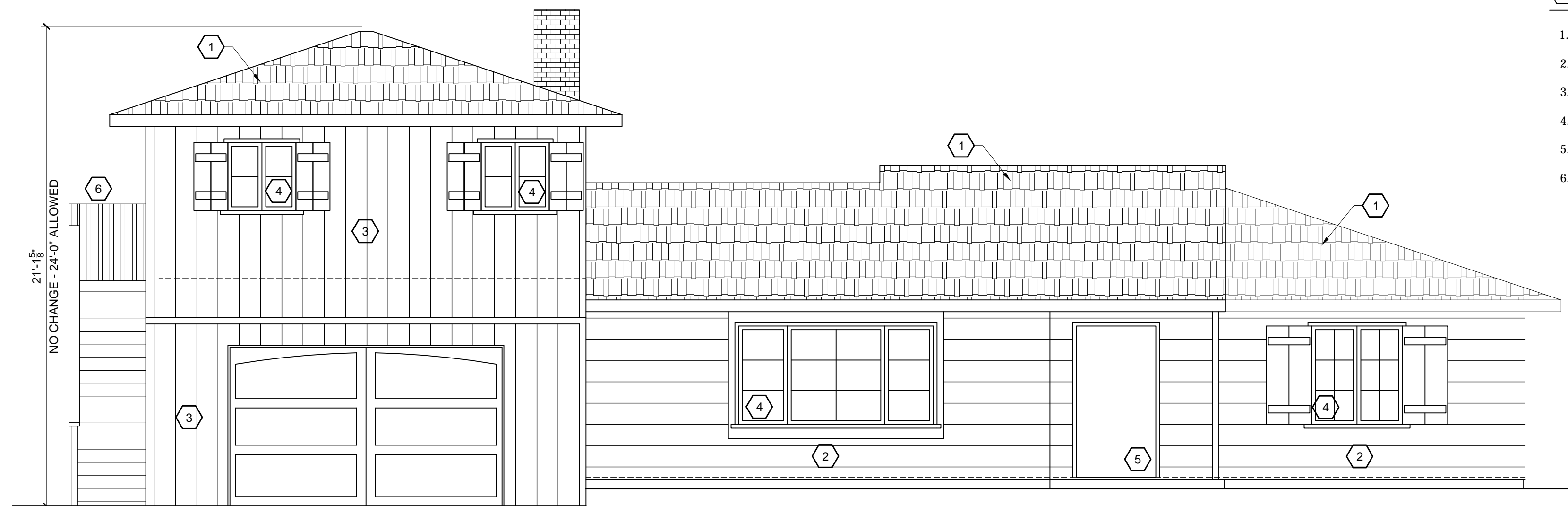
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:
EXISTING ELEVATIONS

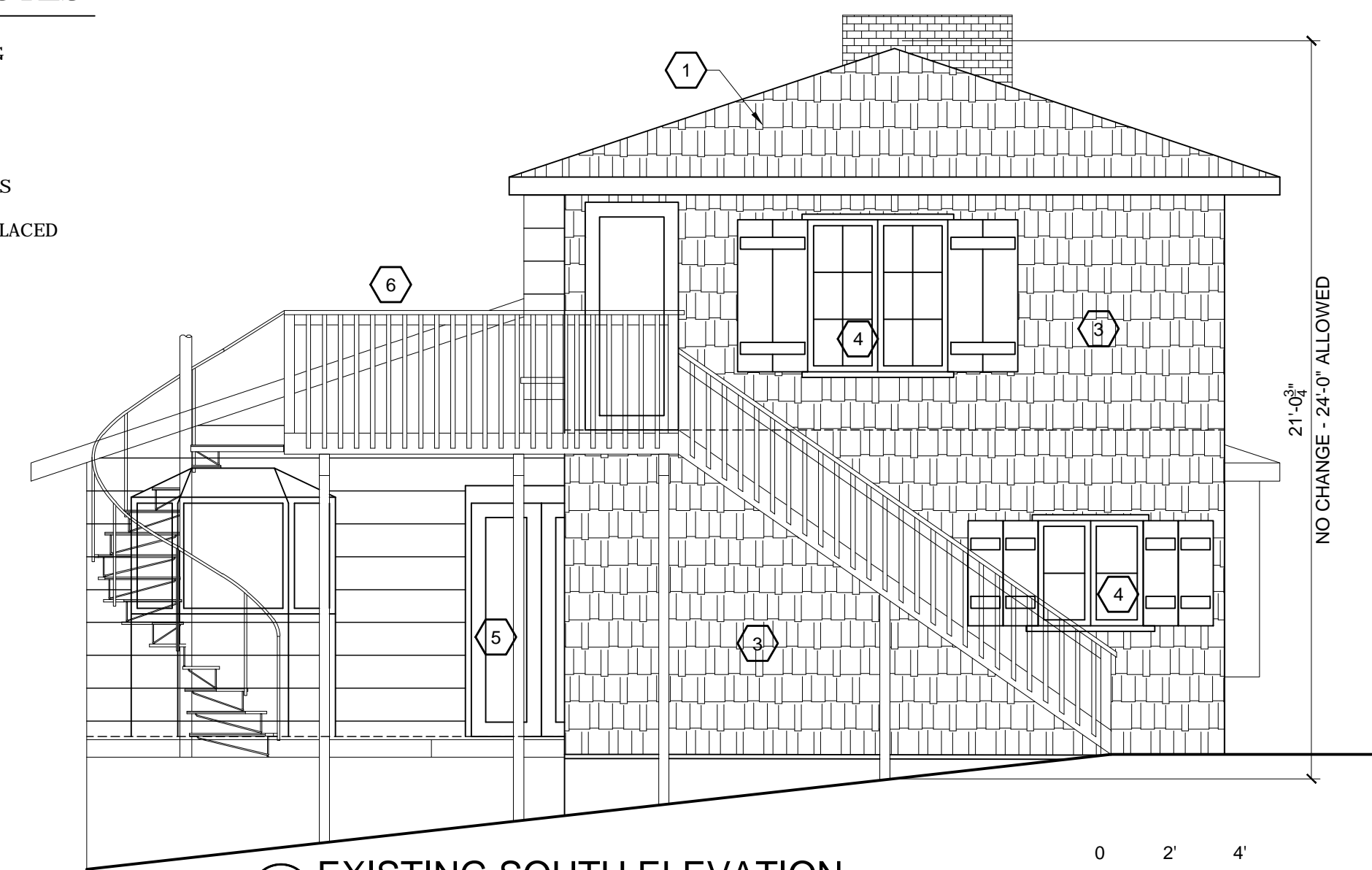
SHEET NUMBER:
A4.0

SHEET NOTES

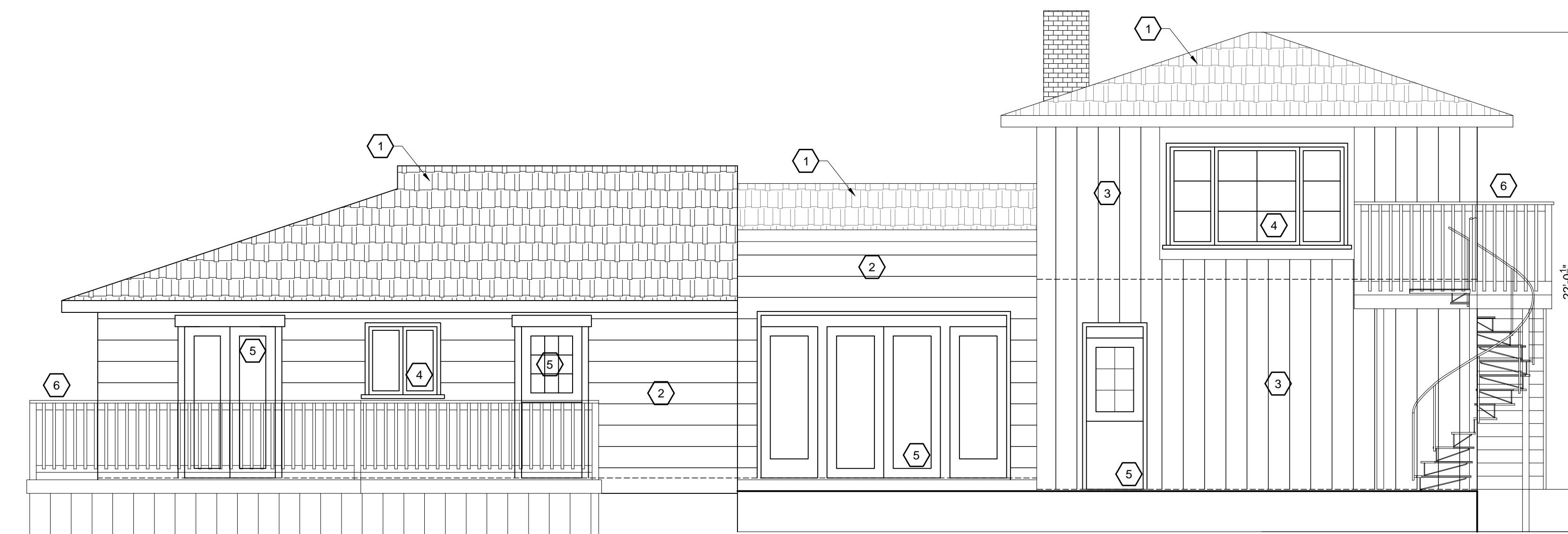
1. REPLACE ROOFING
2. SIDING TO REMAIN
3. REPLACE SIDING
4. REPLACE WINDOWS
5. DOORS TO BE REPLACED
6. DECK TO REMAIN



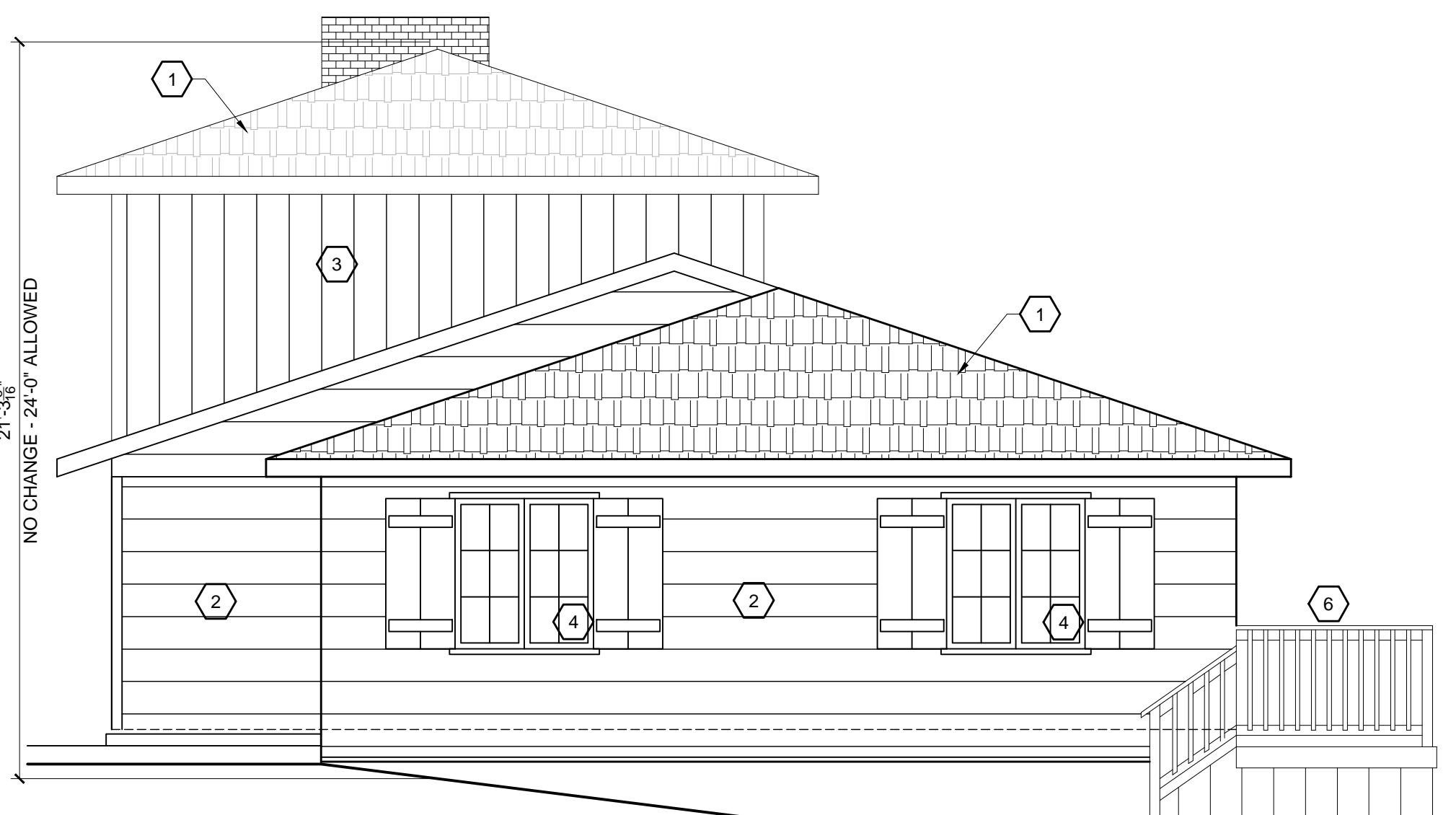
1 EXISTING EAST ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



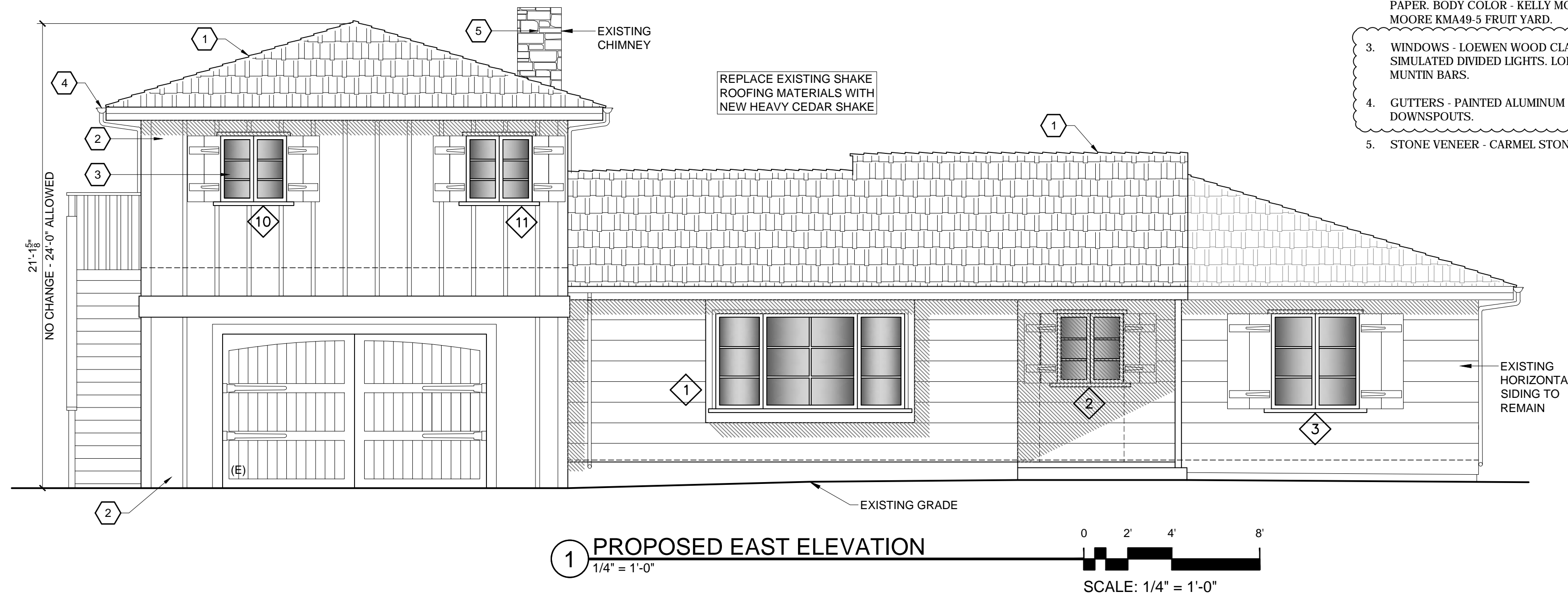
3 EXISTING WEST ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



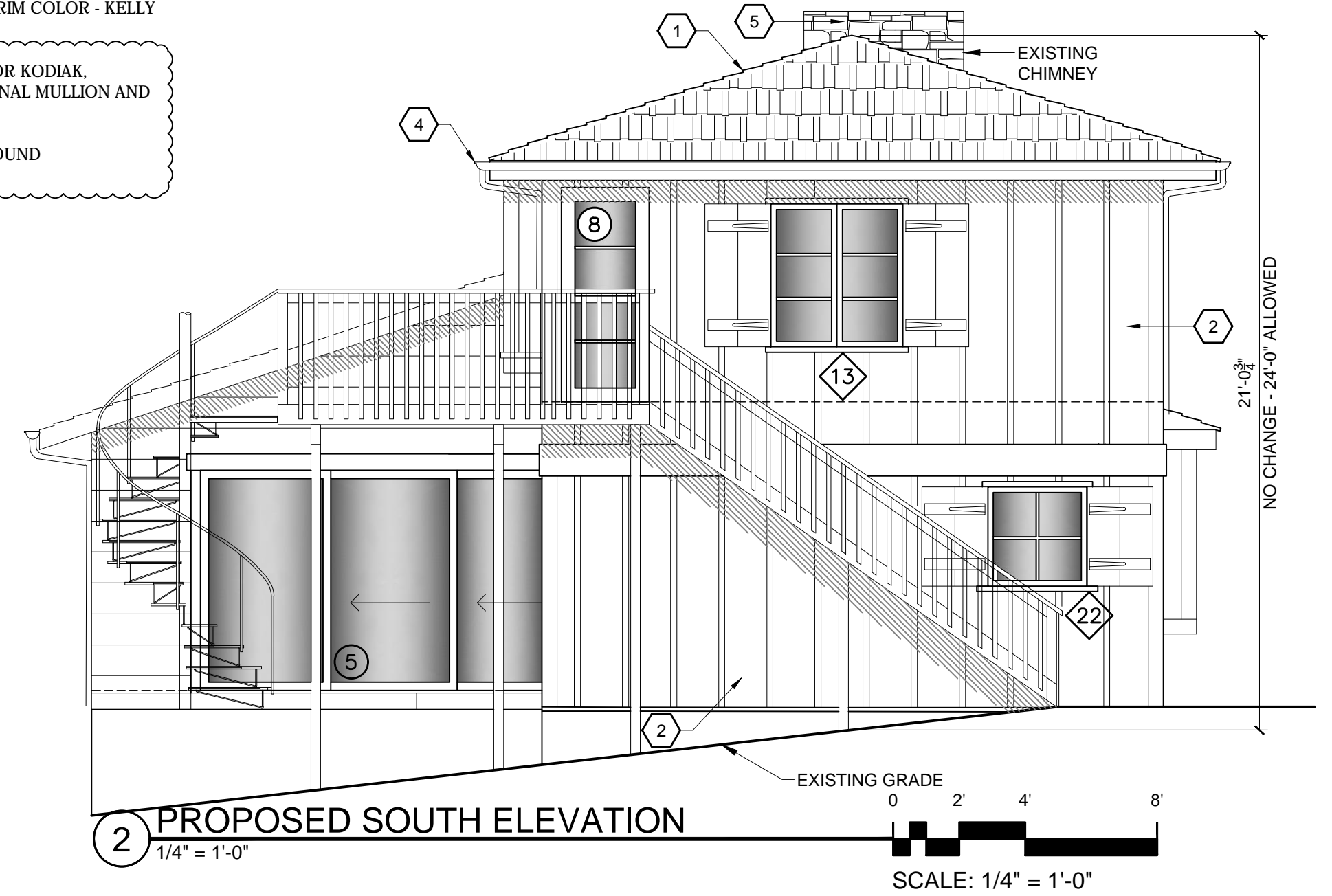
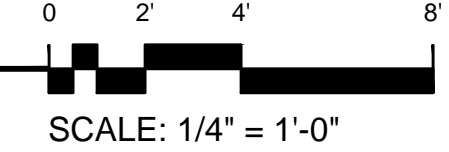
4 EXISTING NORTH ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"

SHEET NOTES

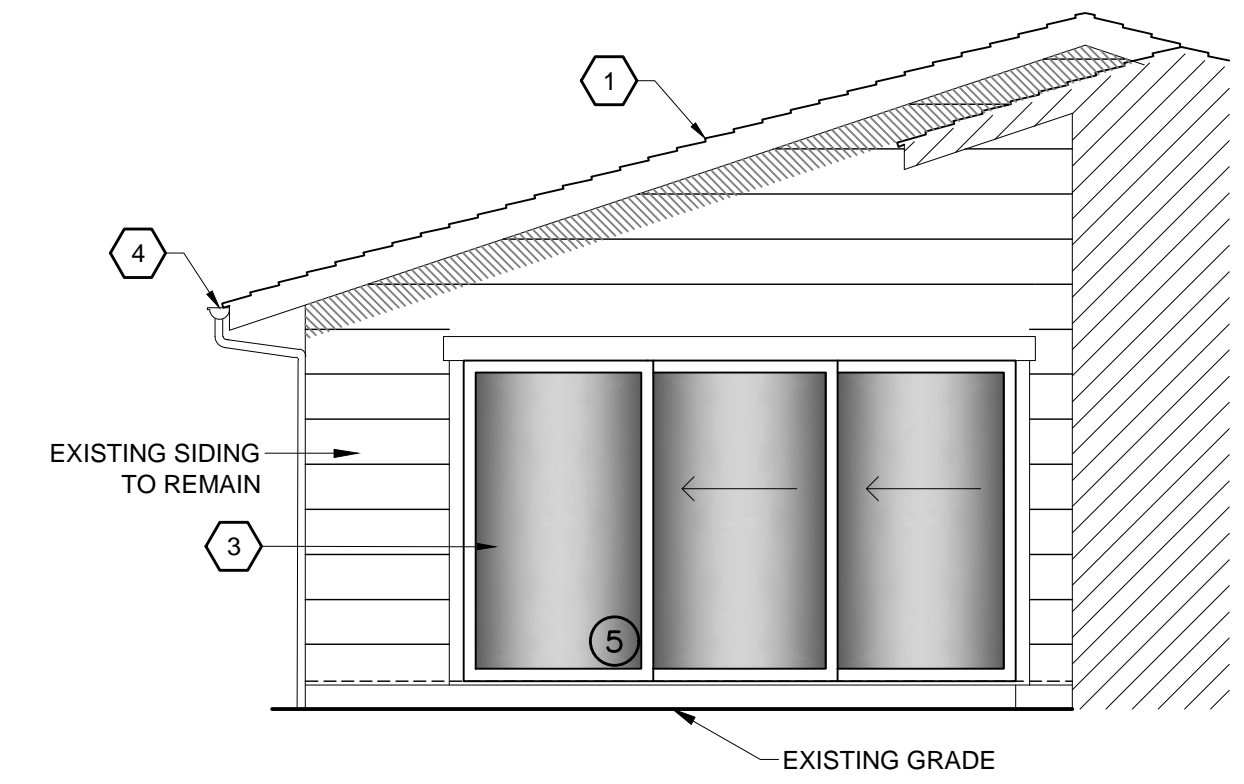
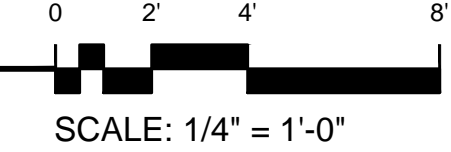
1. ROOF - HEAVY CEDAR SHAKE
2. WALLS - BOARD & BATT AT GARAGE & UPPER FLOOR 0/2 LAYERS GRADE D' BLDG. PAPER, BODY COLOR - KELLY MOORE KM4641-1 BROWN MOUSE, TRIM COLOR - KELLY MOORE KM49-5 FRUIT YARD.
3. WINDOWS - LOEWEN WOOD CLAD DOUBLE PANE WINDOWS, COLOR KODIAK, SIMULATED DIVIDED LIGHTS, LOEWEN USES INTERNAL AND EXTERNAL MULLION AND MUNTIN BARS.
4. GUTTERS - PAINTED ALUMINUM HALF ROUND GUTTERS WITH 3" ROUND DOWNSPOUTS.
5. STONE VENEER - CARMEL STONE



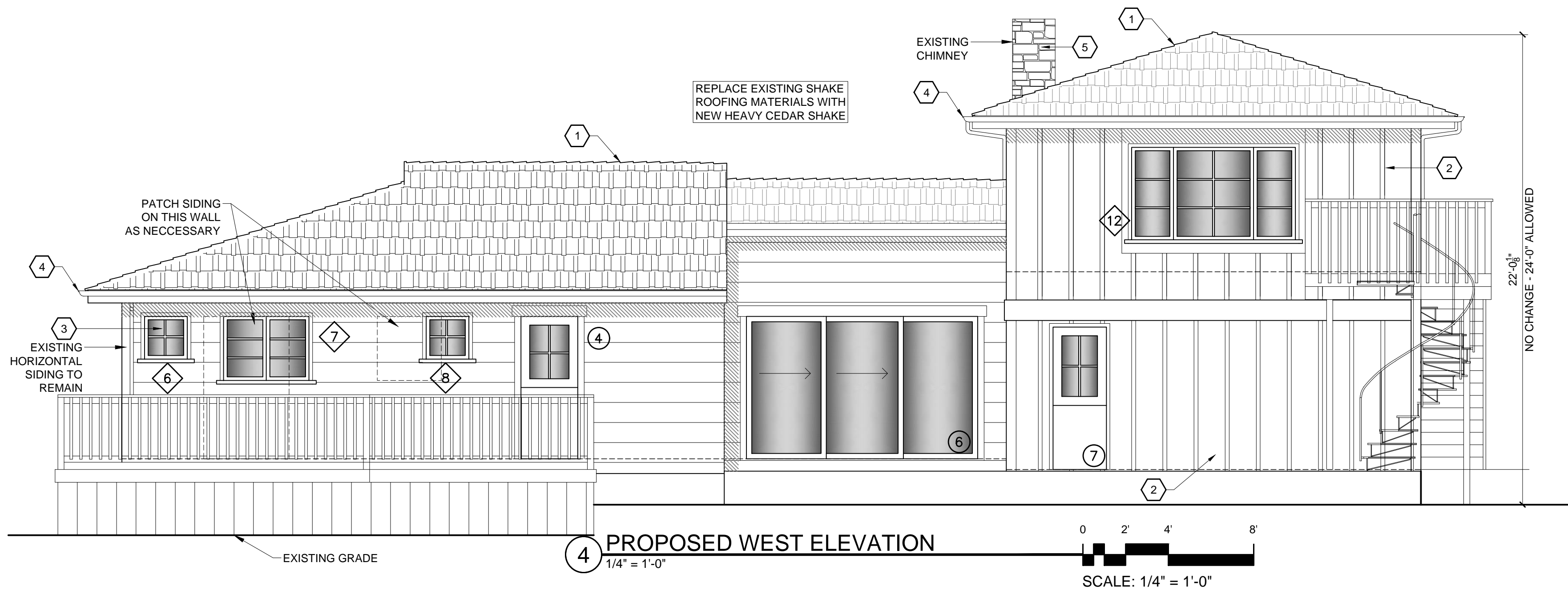
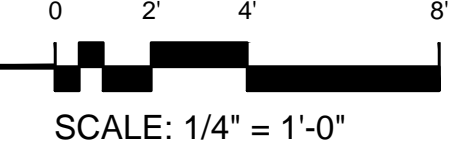
1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



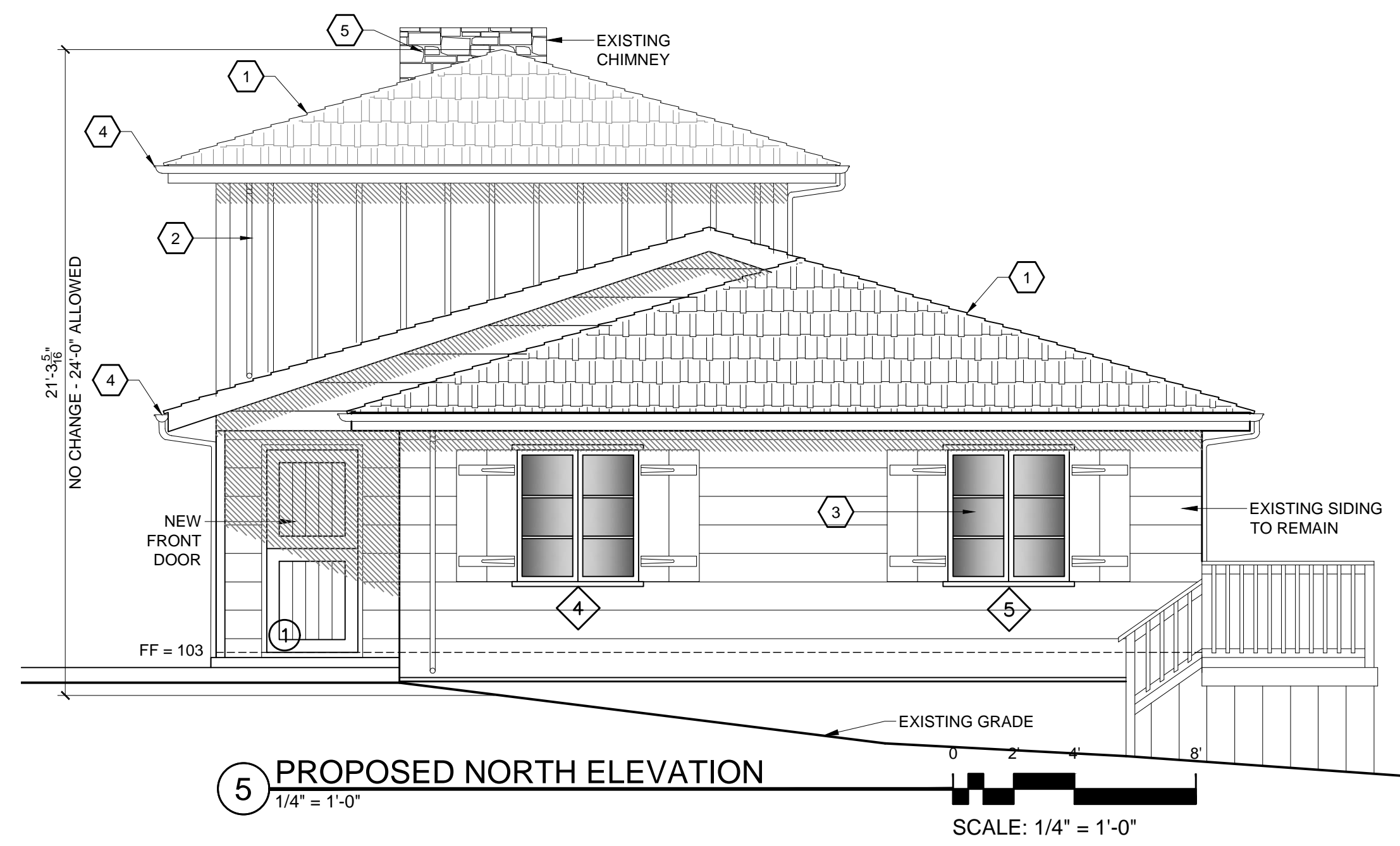
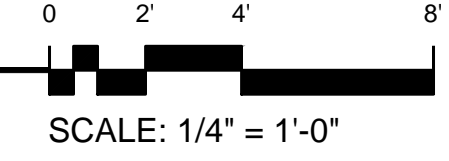
2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



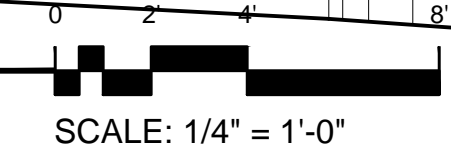
3 PROPOSED SOUTH COURTYARD
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
1/4" = 1'-0"



5 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



PROJECT NAME:
LEE REMODEL

CAMINO REAL 1 SW OF
OCEAN AVE
CARMEL, CA 93923

APN: 010-266-015

John Moore

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DRAWING RECORD

DESCRIPTION	ISSUED
TRACK 1 SUBMITTAL	8-12-2022
TRACK 1 REVISIONS	9/6/2022

PRINT DATE: 9/6/2022

MEMBER

A I B D

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BUILDING DESIGN

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SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A4.1