



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22236

Owner Name: LYE TRINI TR

Case Planner: Suray Nathan, Assistant Planner

Date Posted: _____

Date Approved: 09/13/2022

Project Location: San Carlos Street, 3 NE of 5th

APN #: 010132010000 **BLOCK/LOT:** 57/ALL OF LOTS 12 AND 14

Applicant: Holdren Lietzke Architecture

Project Description: Authorizes the remodel of the 2nd-floor interior and the replacement of the exterior doors with aluminum clad doors and exterior windows with aluminum clad windows of two existing apartments, a 942 SF one bedroom and a 479 SF studio unit located on San Carlos Street, 3 NE of 6th Ave in the Central Commercial (CC) District.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

| CONDITIONS OF APPROVAL | | |
|------------------------|---|---|
| No. | Standard Conditions | |
| 1. | Authorization. Approval of Design Study (DS 22-236, Trini Lye Trust) authorizes the remodel of the 2nd-floor interior and the replacement of the exterior doors with aluminum clad doors and exterior windows with aluminum clad windows of two existing apartments, a 942 SF one bedroom and a 479 SF studio unit located on San Carlos Street, 3 NE of 6th Ave in the Central Commercial (CC) District as depicted in the plans prepared by Holdren Lietzke stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein. | ✓ |
| 2. | Codes and Ordinances. The project shall be constructed in conformance with all requirements of the Central Commercial (CC) District. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission. | ✓ |
| 3. | Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction. | ✓ |
| 4. | Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission. | ✓ |
| 5. | Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020). | ✓ |
| 6. | Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135). | ✓ |
| 7. | Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of | ✓ |

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| | Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection. | |
| | Landscape Conditions | |
| 8. | Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester. | ✓ |
| 9. | Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2”) are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12”) of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit. | ✓ |
| 10. | Erosion Control in the Right-of-Way. Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City’s “List of Compatible Plants Under and Around Native Trees” located in the Forest Management Plan. | ✓ |
| 11. | Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of | ✓ |

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| | <p>wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</p> <ul style="list-style-type: none"> ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. | |
| 12. | <p>Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p> | ✓ |
| 13. | <p>Skylights & Skylight Shades. The applicant shall submit product information for the skylights and skylight shades prior to issuance of a building permit if skylight is proposed. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.</p> | ✓ |
| 14. | <p>Aluminum-Clad Wood Frame Windows and Doors. The applicant shall submit product information for the aluminum-clad wood windows and doors prior to issuance of a building permit. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.</p> | ✓ |

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| 15. | Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto. | ✓ |
| 16. | Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit. | ✓ |
| 17. | Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98. | ✓ |
| 18. | Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures. | ✓ |
| 19. | USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information) | ✓ |
| 20. | Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division. | ✓ |
| SPECIAL CONDITIONS | | |
| 21. | Plumbing Permit. Prior to the issuance of a building permit, the applicant shall apply | ✓ |

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| | for a plumbing permit for the remodeling of the kitchen and the bathroom. | |
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Acknowledgement and acceptance of conditions of approval:

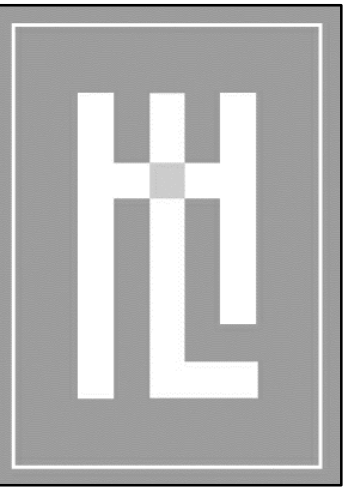
Property Owner Signature

Printed Name

Date

Once signed, please email to snathan@ci.carmel.ca.us.

LYE APARTMENT



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 08.23.2022

SCALE: N.T.S.

DRAWN: SGC

JOB NUMBER: 22.06

REVISION

PLANNING COMMENTS
08/30/22

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

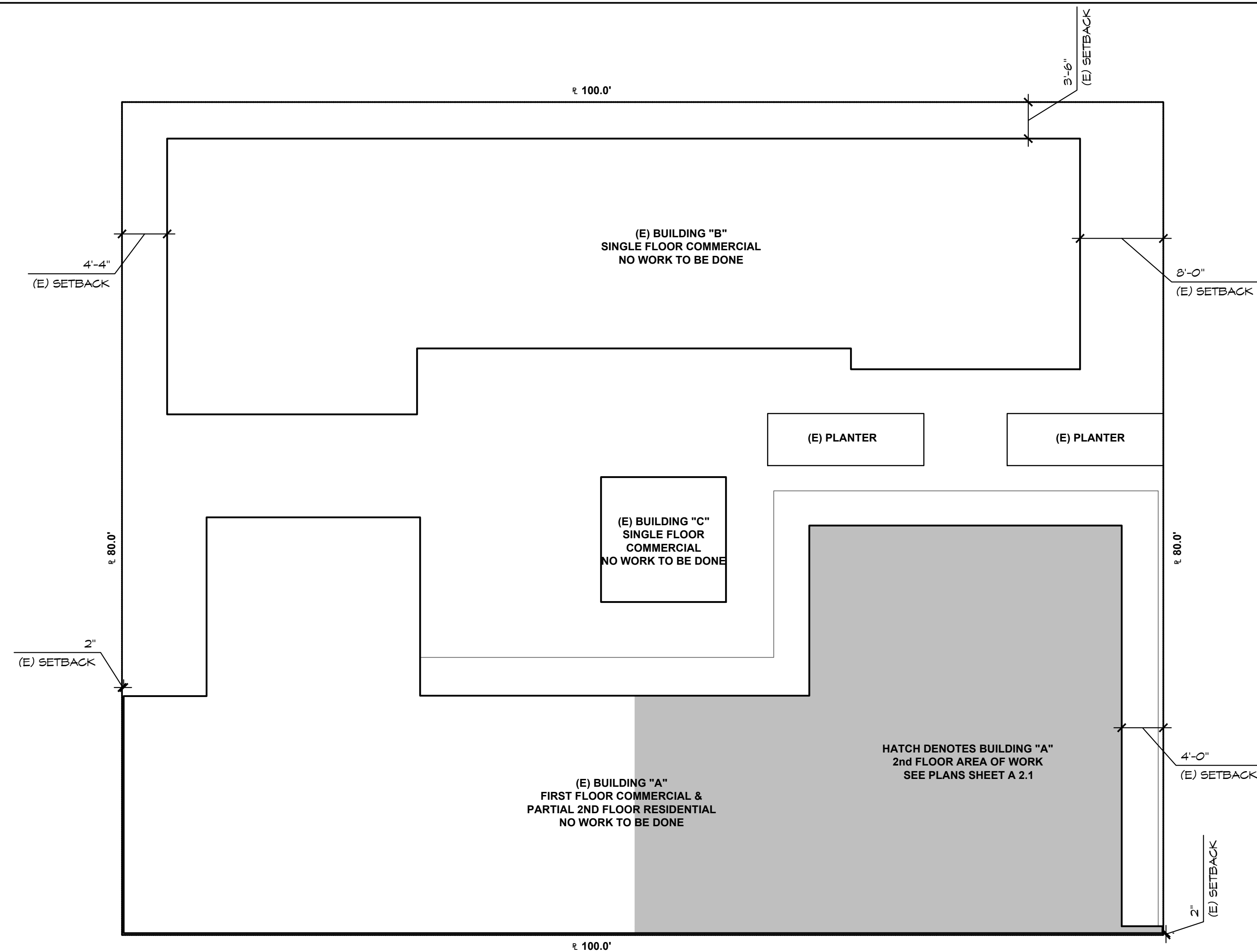
- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN + LIETZKE ARCHITECTURE. HEREINAFTER REFERRED TO AS "ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR, NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

GENERAL NOTES

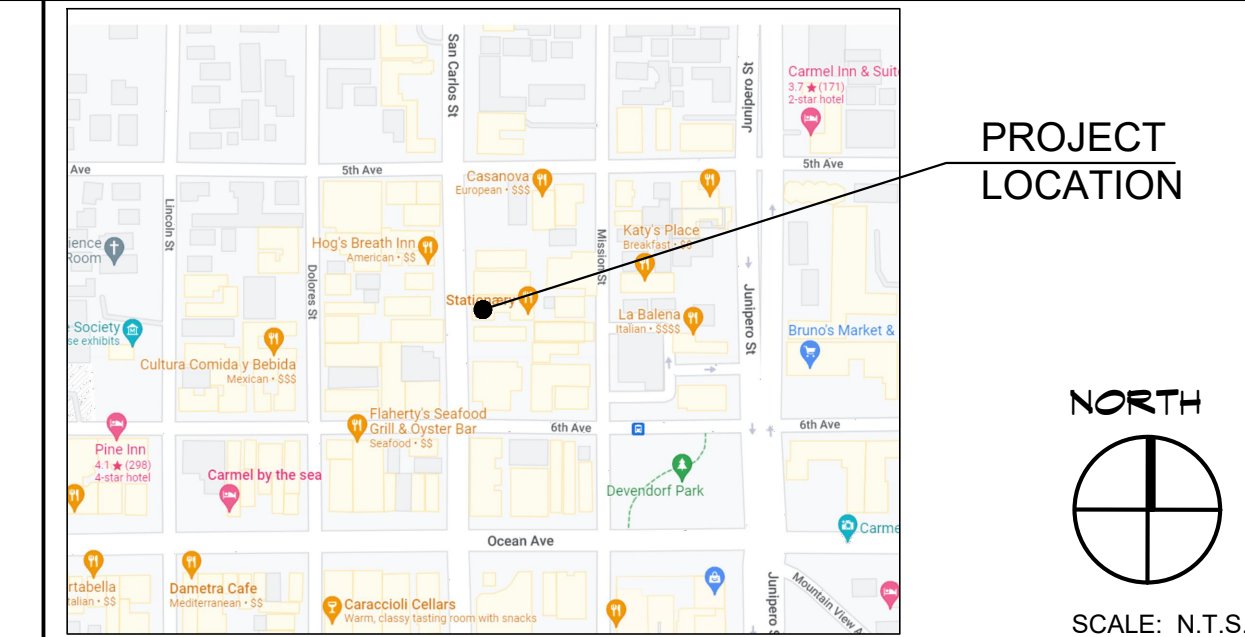
- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2001 U.B.C.)
- RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & O.S.H.A. SAFETY REGULATIONS.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS/DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING STANDARDS CODE, PLUMBING, MECHANICAL, ELECTRICAL, FIRE & ENERGY CODES & ANY AMENDMENTS OF PRESIDING CITY OR COUNTY.
- GRADING:** NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION. ALL CUT AND/OR FILL OF SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED WITH NATIVE GRASSES OR OTHERWISE TREATED TO CONTROL EROSION.
- SHOP DRAWINGS:** PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.

- CHANGE ORDERS:** NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- CONSTRUCTION BRACING & SHORING:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS:** CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNERS PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS:** ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.
- SUBSEQUENT CHANGES:** ADDITIONAL CONSTRUCTION, LANDSCAPE IMPROVEMENTS, OR OTHER CHANGES IN THE IMPROVEMENTS THAT DIFFER FROM THE APPROVED FINAL DESIGN REVIEW DOCUMENTS, MUST BE SUBMITTED IN WRITING TO THE VIA QUINTANA ARCHITECTURAL REVIEW BOARD FOR REVIEW AND APPROVAL, PRIOR TO MAKING CHANGES. ANY CHANGES MADE WITHOUT SPECIFIC APPROVAL ARE CONSIDERED NOT APPROVED, AND SUBJECTED TO REMOVAL OR ALTERATION AS REQUIRED.
- TITLE 24 ENERGY REQUIREMENTS:** THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- TREE AND ROOT PROTECTION:** TREES ARE TO BE PROTECTED AND PRESERVED IN OR NEAR THE CONSTRUCTION AREA. A BOUNDARY OF ORANGE SNOW NETTING OR HIGH VISIBILITY PLASTIC FENCING SUPPORTED BY WOOD OR METAL STAKES AND/OR STRAW BALES SHOULD BE ERECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES TO DEFINE THE CONSTRUCTION PROJECT BOUNDARY. EXCAVATION AND CONSTRUCTION ACTIVITIES AND MATERIALS SHOULD NOT INTRUDE INTO THIS DEFINED BOUNDARY AT ANY TIME AND KEPT AS MUCH AS POSSIBLE WITHIN PROPOSED STRUCTURE AND DRIVEWAY FOOTPRINTS OR OUTSIDE OF THE TREE DRIP LINES IN THE TREELESS AREA.
- ALL MANUFACTURER'S INSTALLATION GUIDES SHALL BE PROVIDED TO INSPECTOR AT TIME OF INSPECTION.

SITE PLAN



VICINITY MAP



**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 22-236 (Trini Lye Trust)

Date Approved: 09/13/2022

Planner: Suray Nathan.

PROJECT DATA

PROJECT SUMMARY / SCOPE OF WORK:
BUILDING "A" 2ND FLOOR INTERIOR REMODEL TO EXISTING 942 S.F. ONE BEDROOM APARTMENT AND A 479 S.F. STUDIO UNIT. REPLACE ALL EXTERIOR DOORS AND WINDOWS PER PLAN AND ELEVATIONS.

PROJECT ADDRESS: SAN CARLOS ST. 3 NORTH EAST OF 5th Ave. CARMEL, CA

ASSESSOR PARCEL NUMBER: 010-132-010

LOT/TRACK NO: 12814 / 57

ZONING: CC

LOT SIZE:
LOT = 8000 S.F.

CURRENT USE:

OCCUPANCY GROUP: RESIDENCE : R-3

TYPE OF CONSTRUCTION: V-B

WATER COMPANY: GAL-AM

SEWER: CAVD

PROJECT TEAM

OWNER:
TRINI LYE
28090 CASTELLANO WAY
NAPLES, FL 34110

PROJECT ADDRESS:
SAN CARLOS ST.
3 NORTH EAST OF 5TH AVE.
CARMEL, CA

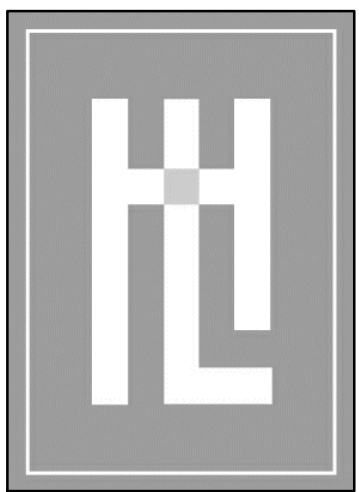
ARCHITECT:
HOLDREN + LIETZKE ARCHITECTURE
225 CANNERY ROW - A
MONTEREY, CA 93940
PH: (831) 649-6001
CONTACT: CRAIG HOLDREN

SHEET INDEX

- A0.1 COVER SHEET ARCHITECTURAL
- A2.1 UPPER FLOOR PLANS
- A2.2 GROUND FLOOR PLAN
- A3.1 EXISTING ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A4.1 WINDOW AND DOOR SCHEDULES

COVER SHEET
LYE APARTMENT REMODEL
 SAN CARLOS ST. 3 NORTH EAST OF 5TH AVE.
 CARMEL, CA
 A.P.N. 010-132-010

A0.1



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

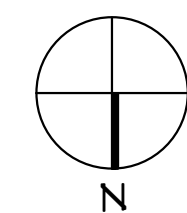
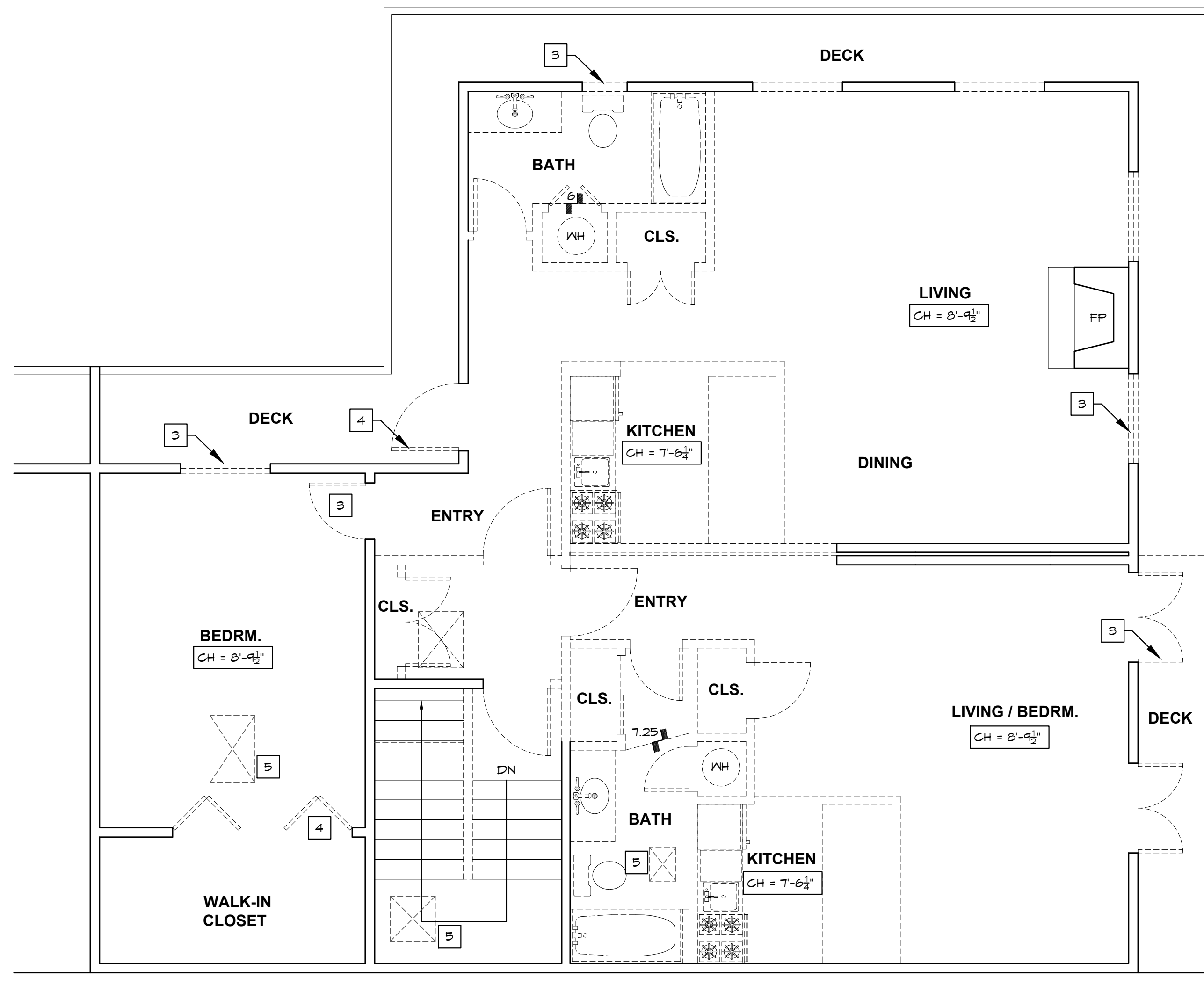
DATE: 08.23.2022

SCALE: 1/4"=1'-0"

DRAWN: JM

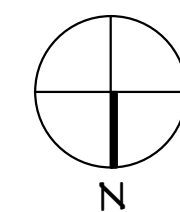
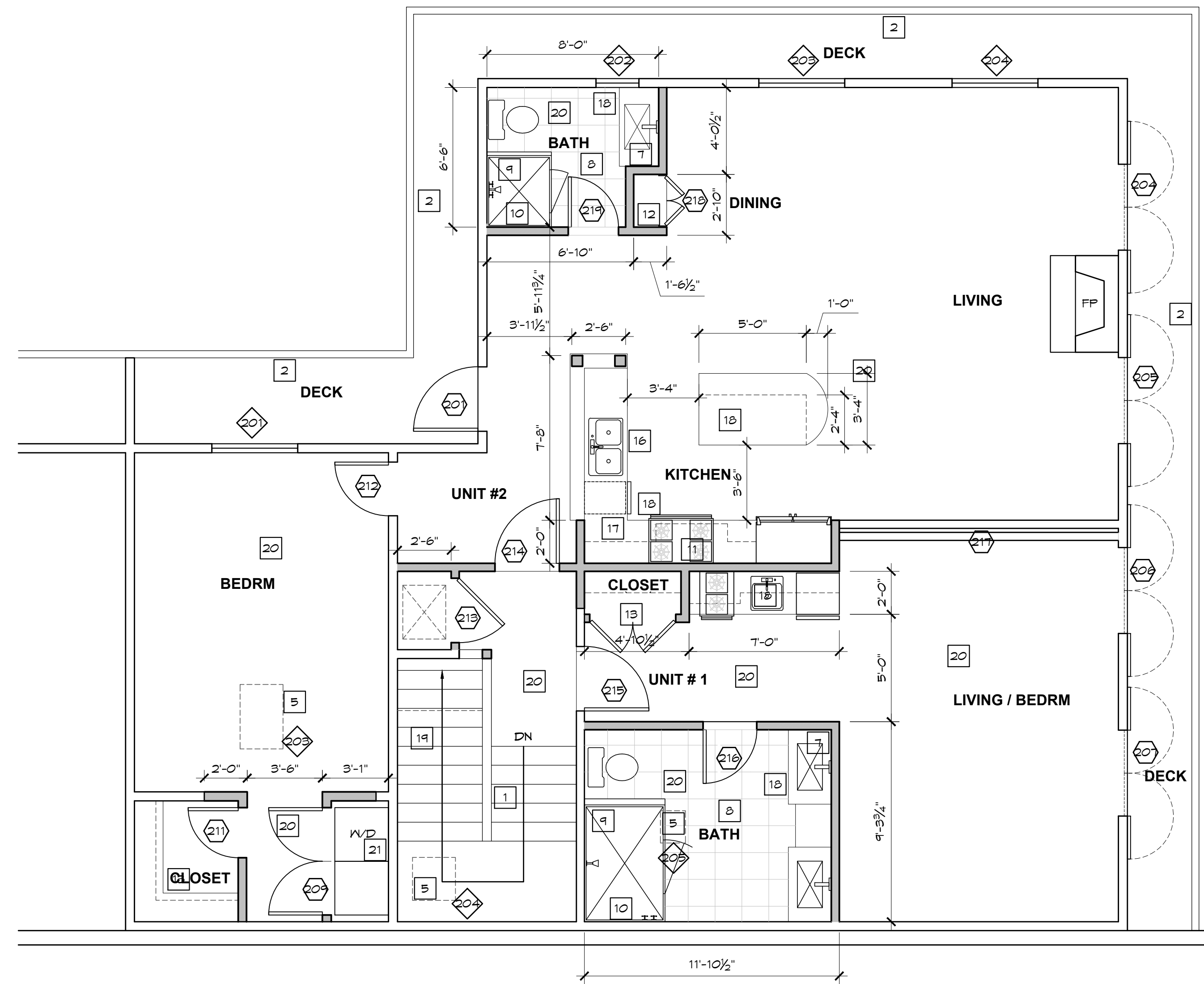
JOB NUMBER: 22.06

REVISION



EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLUMBING NOTES:

- ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M.
- ALL LAV. FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.2 G.P.M.
- WATER CLOSETS, EITHER FLUSH TANK, FLUSHOMETER TANK, OR FLUSHOMETER VALVE OPERATED, SHALL NOT USE MORE THAN 1.20 GAL. PER FLUSH (CPC 402.2)
- USE FIBERGLASS, CEMENT BASED BACKER BOARD OR WATER RESISTANT GYPSUM WALL BOARD NEXT TILE AND SINK.
- NON-ABSORBENT WALL MATERIAL IN SHOWER SHALL BE 10" A.F.F. MIN.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, WHIRLPOOL BATHTUB, AND SHOWER/TUB COMBO FILTERS SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
- SHOWER/TUB SHOWER CONTROL VALVES: SHOWER AND TUB-SHOWERS COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, ARRANGED SO THAT THE SHOWER HEADS DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY
- THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MINIMUM OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2 INCHES OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2 INCHES. (CENIC 150(J)2) THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CP-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION. (RESIDENTIAL COMPLIANCE MANUAL SECTION 2.3)
- WATER SOFTENING SYSTEM. VERIFY WITH OWNER REUSE OF EXISTING SYSTEM OR PROVIDE NEW SYSTEM PER OWNERS REQUIREMENTS.

GENERAL PLAN NOTES:

- PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CENIC SECTION 111)
- SHOWERS: SHOWER SHALL BE PROVIDED WITH DAMS/THRESHOLDS AT LEAST 2" AND NOT MORE THAN 4" ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22" INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22" UNOBSTRUCTED OPENING FOR EGRESS.
- SHOWER SIZE: ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE.

KEY NOTES:

- EXISTING FULL HEIGHT WALL TO BE CUT DOWN TO 42" ABOVE STAIR NOSING
- EXISTING DECK GUARDRAIL TO REMAIN (NO CHANGE)
- ALL EXISTING EXTERIOR DOORS AND WINDOWS TO BE REPLACE WITH NEW WOOD ALUMINUM GLAD DOORS AND WINDOWS. STYLE AND FINISH AS APPROVED BY OWNER.
- ALL REMAINING INTERIOR DOORS NOT AFFECTED BY THE WALL REMODEL TO BE REPLACE WITH SOLID CORE WOOD DOORS. STYLE AND FINISH AS APPROVED BY OWNER.
- EXISTING SKYLIGHTS TO REMAIN
- INSTALL SCHLUTER KERDI-LINE (www.kerdi-line.com OR APPROVED EQUAL) LINEAR FLOOR DRAIN @ MASTER SHOWER, SLOPE SHWR. FLOOR TO DRAIN
- MIN. 14" W. X 24" H. X 3" D. MEDICINE CHEST
- PROVIDE BLOCKING FOR WALL MOUNTED ACCESSORIES AS REQ'D. - ACCESSORIES TO BE SELECTED BY OWNER - TYP. - SEE INT. ELEV. FOR ADD'L INFO.
- 3/8" TEMPERED GLASS SHOWER ENCLOSURE - PROVIDE CONTINUOUS RIGID ANCHORING AT TOP & BOTTOM
- TILE TO MIN. 12" A.F.F. IN ALL SHOWERS - USE DENSISHIELD TILE BACKER BY: GEORGIA PACIFIC @ ALL TILE SURFACES
- VENT HOOD THROUGH ROOF
- SEE MECH. FOR ROOF VENT LOCATIONS
- POLE W/SHELF ABOVE - PAINT TO MATCH WALLS
- CLOSET SYSTEM BY OTHERS - SEE INTERIOR ELEVATIONS FOR ADD'L. INFORMATION
- MIN. 22" X 30" ATTIC ACCESS - SEE ELECT. FOR LIGHTING REQMTS. & SEE MECH REQMTS.
- PROVIDE REVERSE OSMOSIS SYSTEM & FAUCET AT KITCHEN SINK
- CABINET - UPFERS OR SHELVES ABOVE IN SOME LOCATIONS - PROVIDE BLOCKING AS REQ'D. FOR CABINET AND FINISH INSTALLATION - SEE INTERIOR ELEVATIONS - FINAL DESIGN TO BE APPROVED BY OWNER
- CABINET W/ COUNTERTOP - SEE INT. ELEV. FOR ADD'L INFO. - PROVIDE BLOCKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER
- PROVIDE 3/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES
- 3/8" TYPE 'X' GYP. BD. @ ALL WALL, CEILING & STRUCTURAL SURFACES
- RECESS WALL FOR PLUMBING & VENT REQUIREMENTS SEE DETAIL - / AS.-

WALL SCHEDULE:

NOTE:

- ALL INT. & EXT. WALLS TO HAVE BATT INSUL.

- FULL HEIGHT (N) WALL
- FULL HEIGHT (E) WALL
- FULL HEIGHT (D) WALL

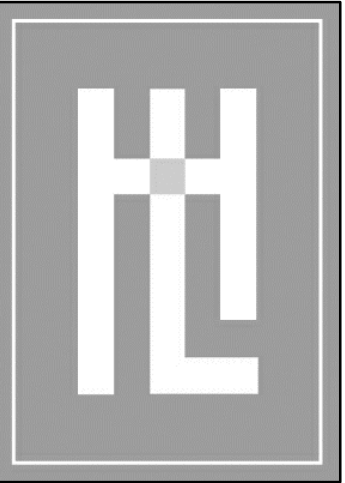
1/4" UPPER FLOOR PLANS

LYE APARTMENT REMODEL

SAN CARLOS ST. 3 NORTH EAST OF 5TH AVE.
CARMEL, CA

A.P.N. 010-132-010

A2.1



**HOLDREN+LIETZKE
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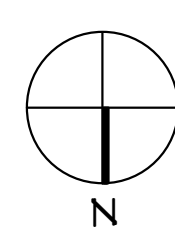
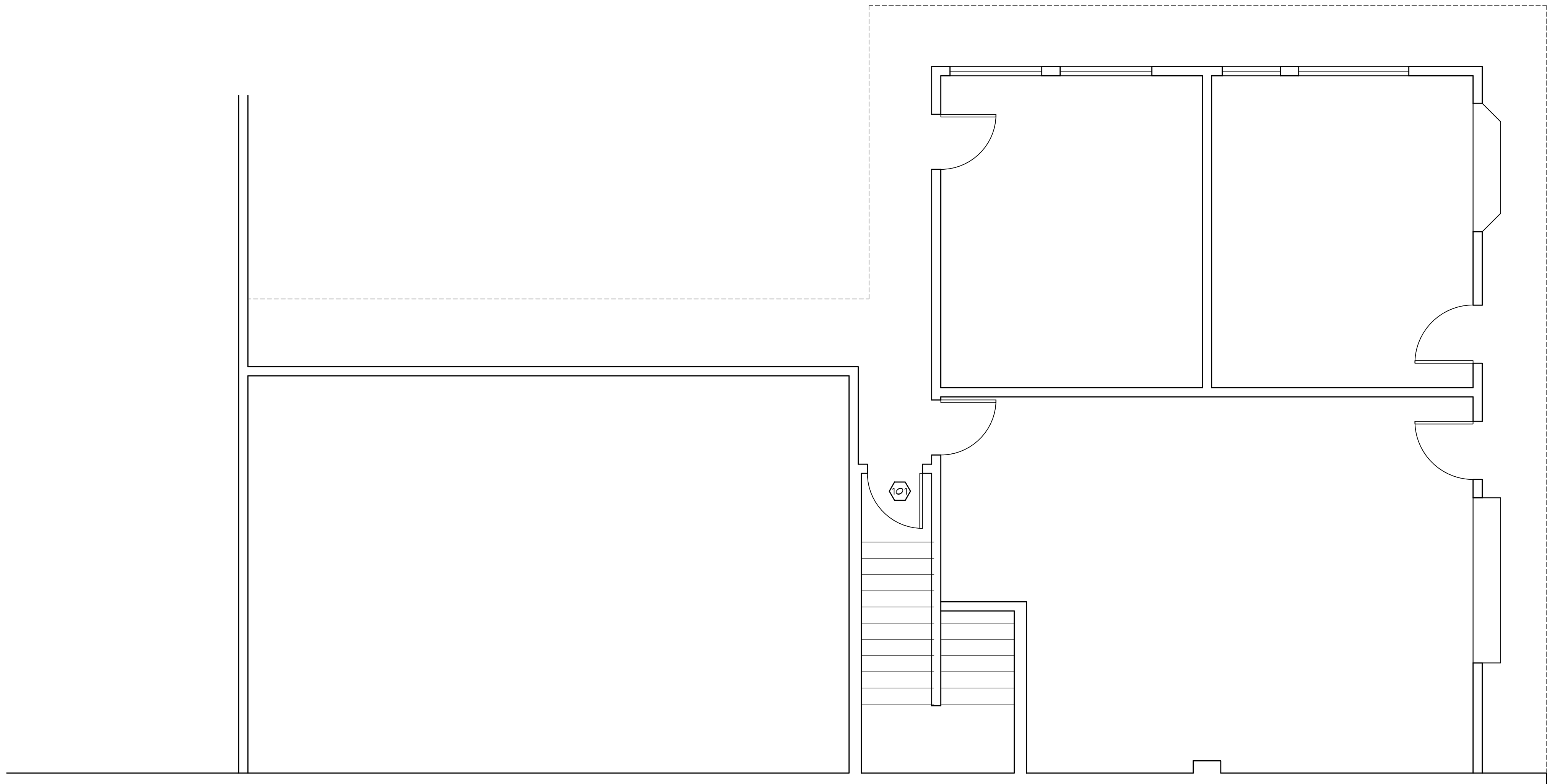
DATE: 08.23.2022

SCALE: 1/4"=1'-0"

DRAWN: JM

JOB NUMBER: 22.06

REVISION


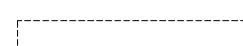


EXISTING GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

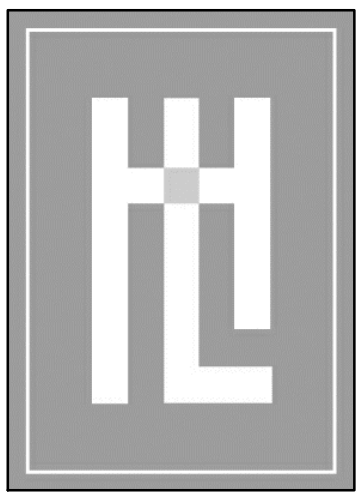
WALL SCHEDULE:

NOTE:
1. ALL INT. & EXT. WALLS TO HAVE
BATT INSUL.

-  FULL HEIGHT (N) WALL
-  FULL HEIGHT (E) WALL
-  FULL HEIGHT (D) WALL

1/4" EXISTING GROUND FLOOR PLAN

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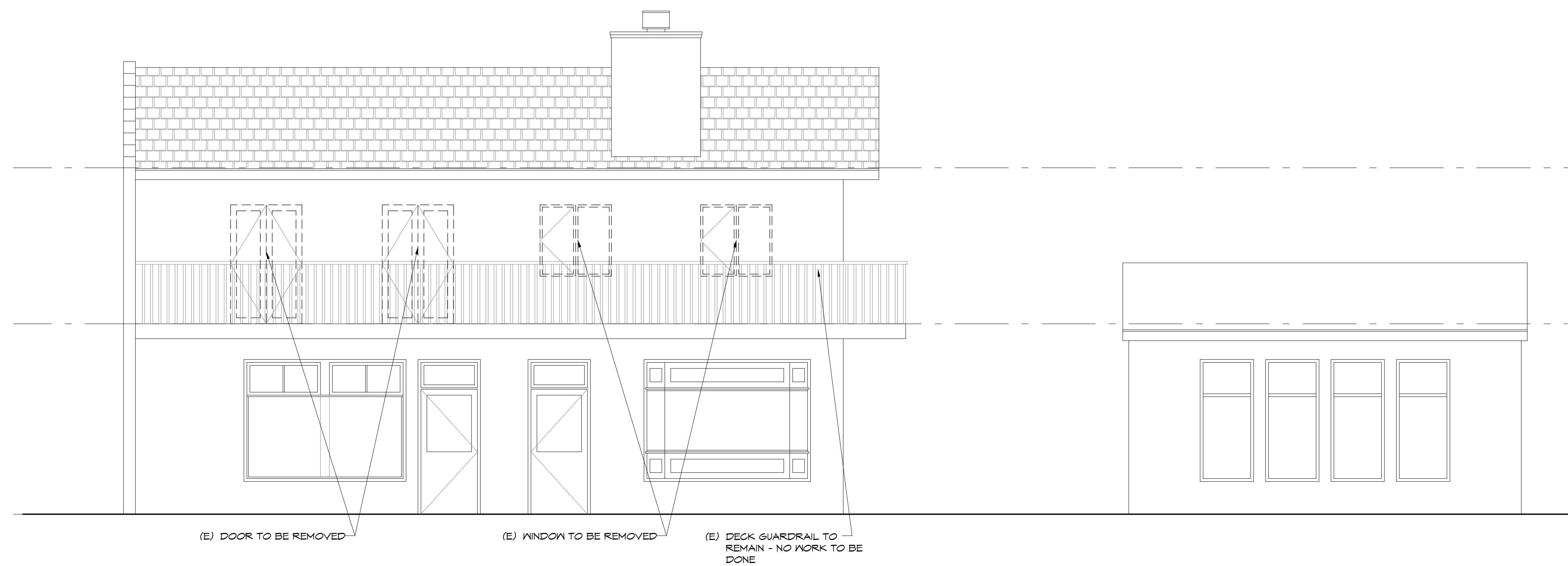
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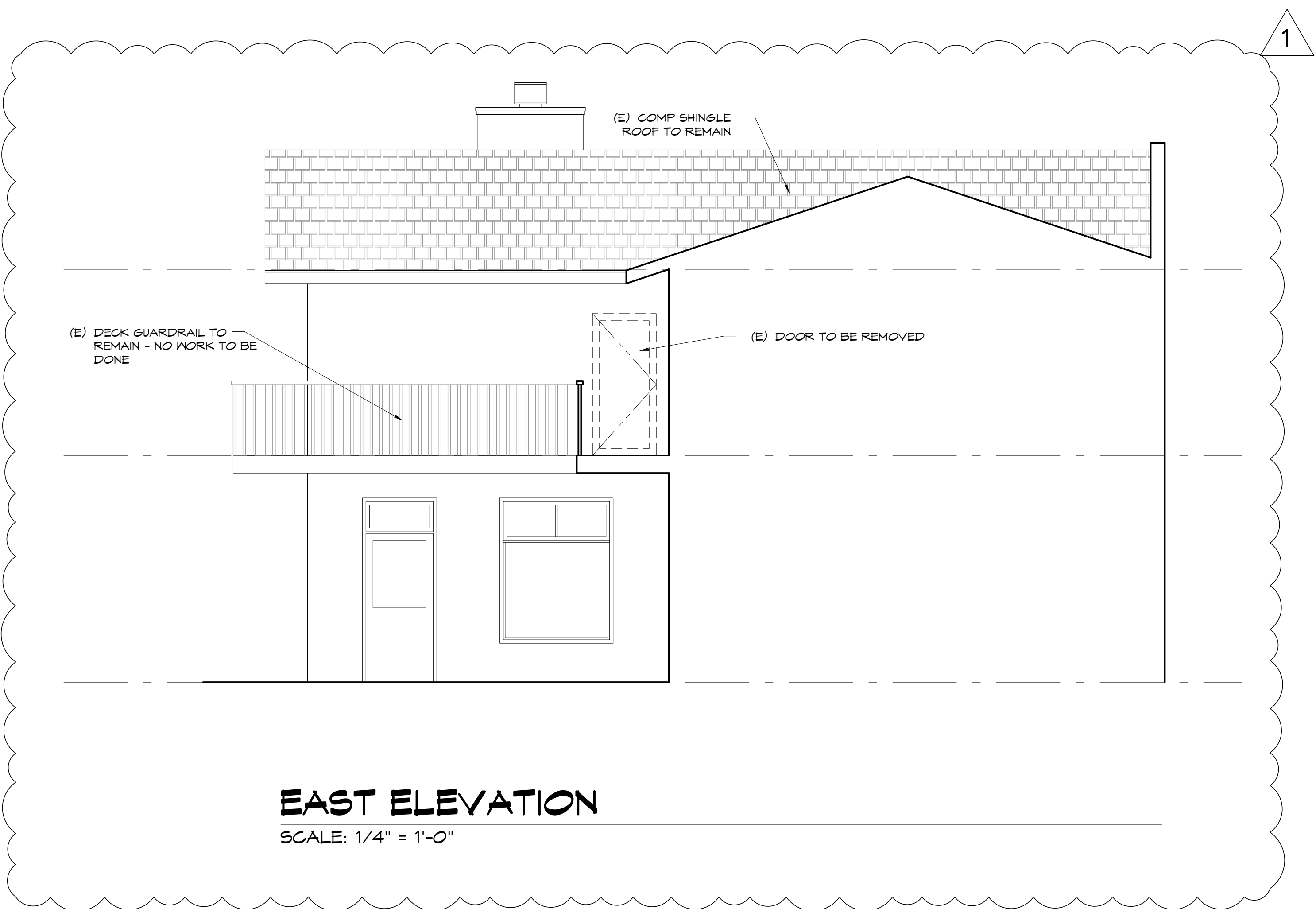
REVISION

1 PLANNING COMMENTS
08/30/22



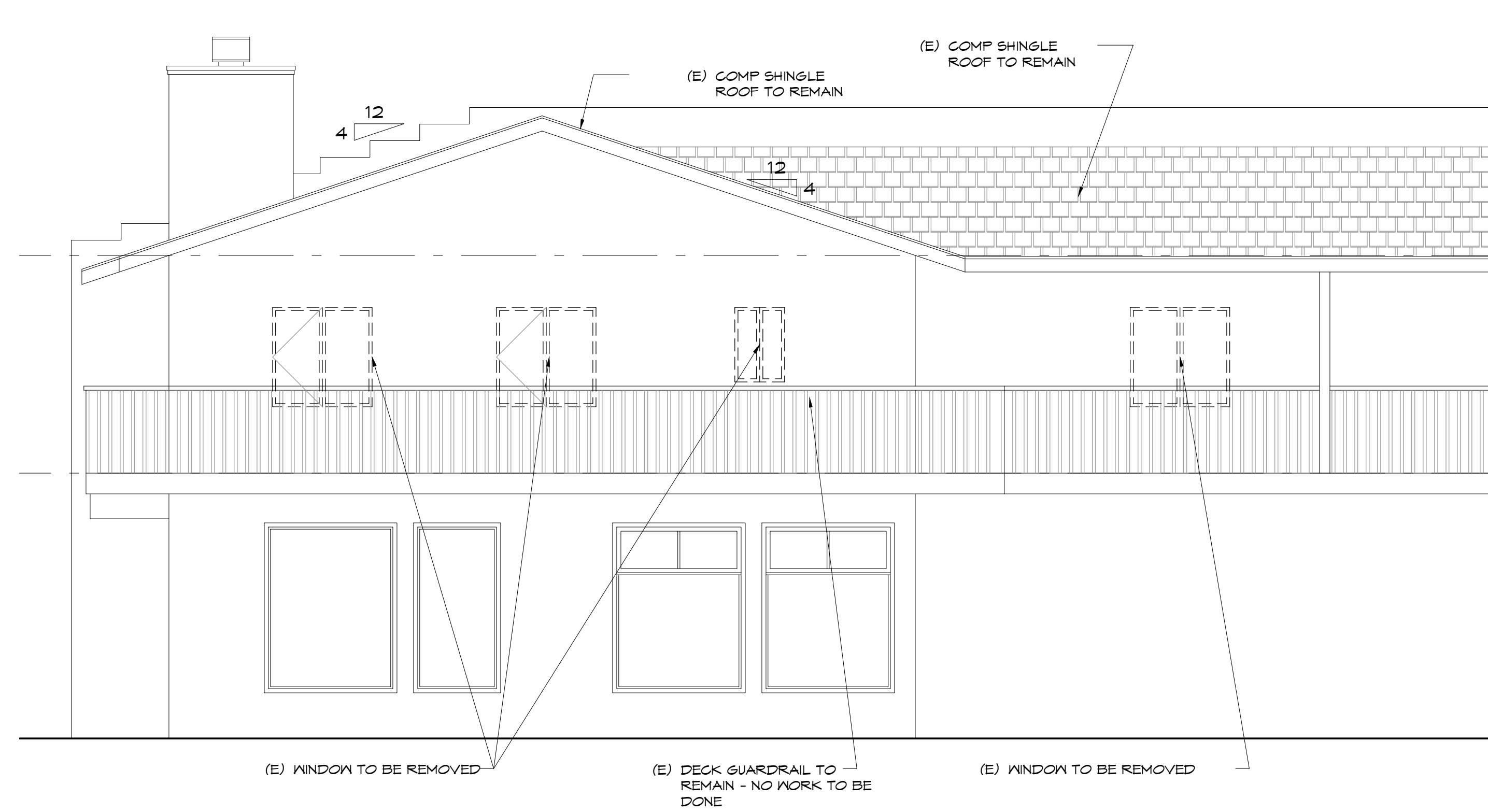
WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

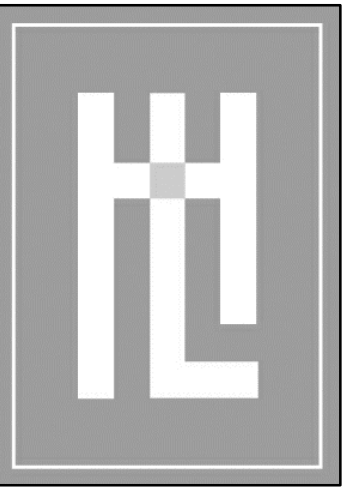


SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

1/4" EXISTING & DEMO ELEVATIONS

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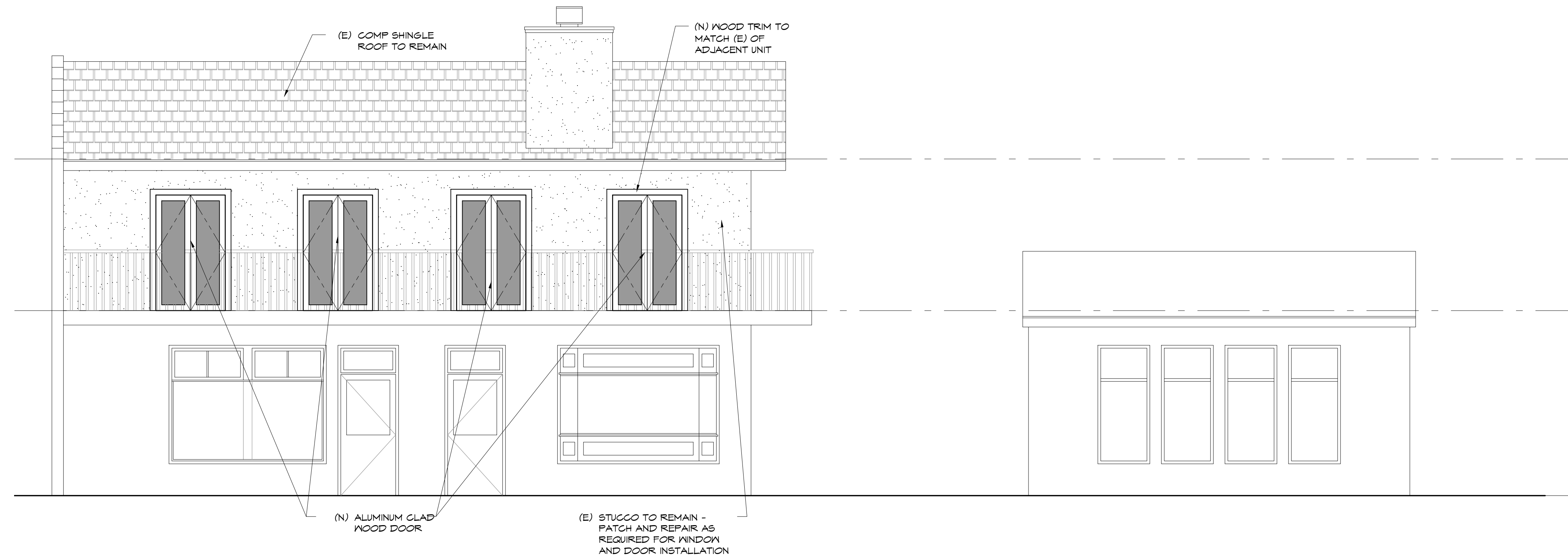
DATE: 08.23.2022

SCALE: 1/4"=1'-0"

DRAWN: SGC

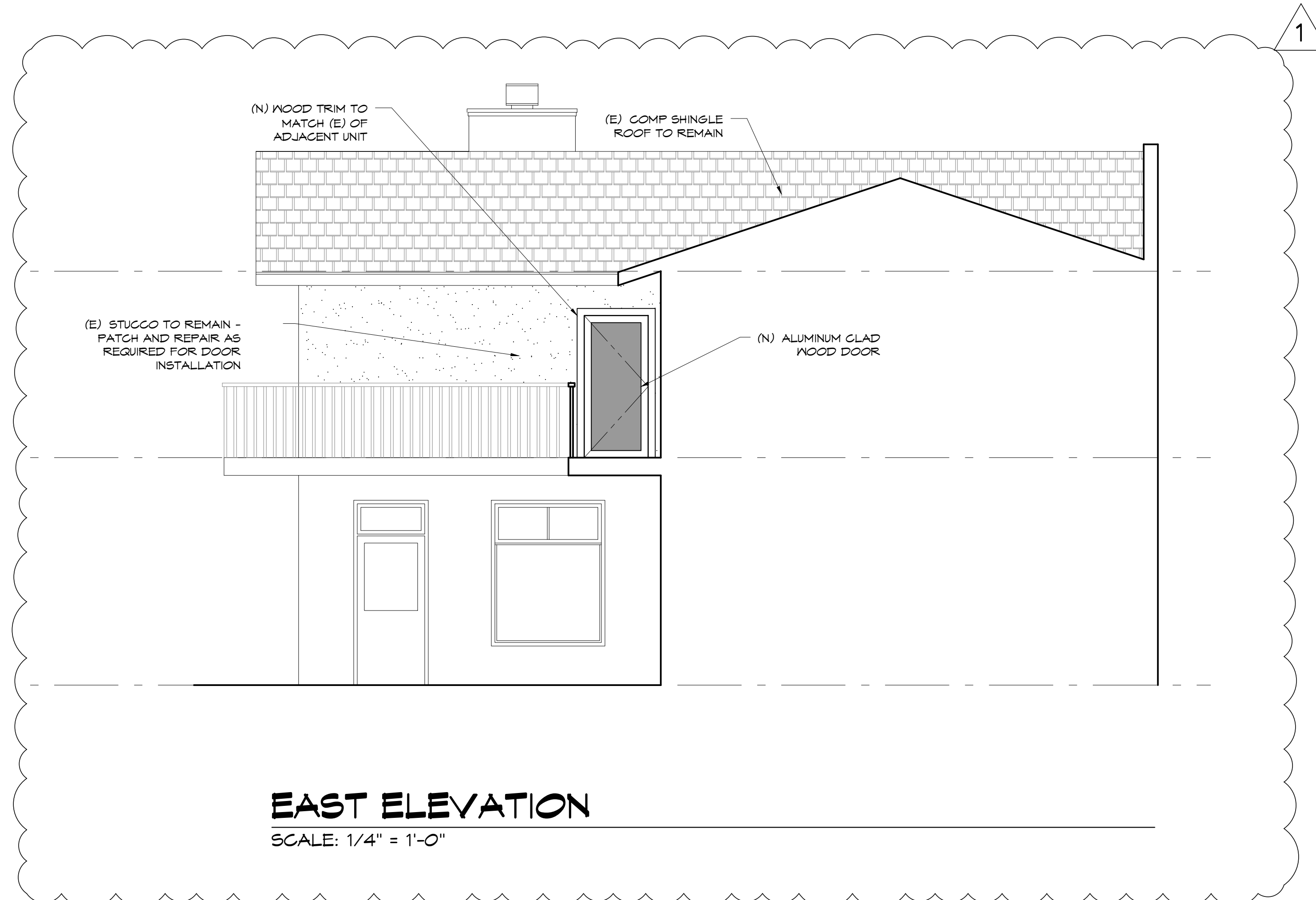
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| REVISION | PLANNING COMMENTS |
|----------|-------------------|
| 1 | 08/30/22 |



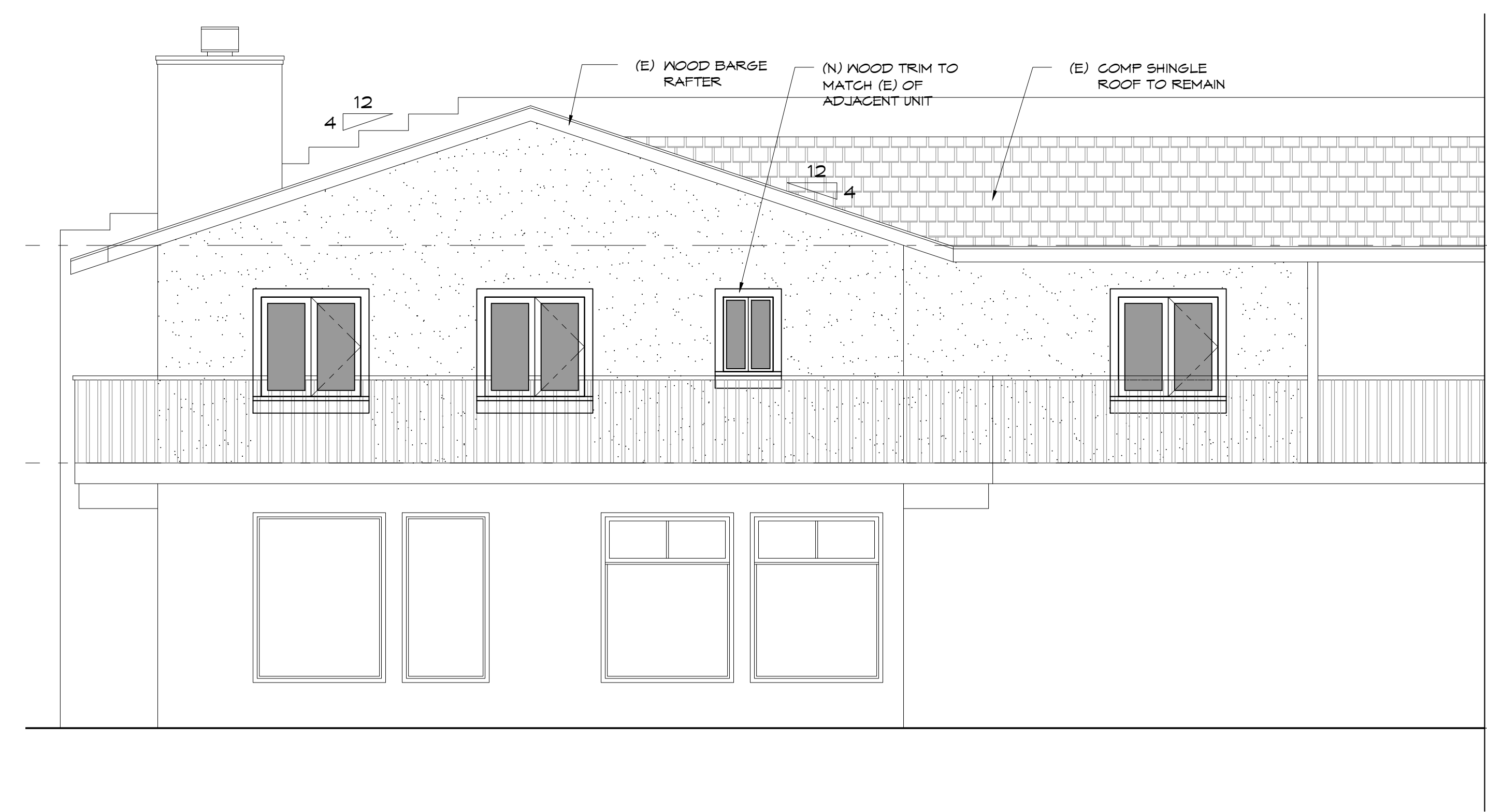
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

1/4" PROPOSED ELEVATIONS

LYE APARTMENT REMODEL

SAN CARLOS ST. 3 NORTH EAST OF 5TH AVE.
CARMEL, CA

A.P.N. 010-132-010

WINDOW SCHEDULE - ALUMINUM GLAD - VISTALUXE WINDOWS BY KOLBE OR APPROVED EQUAL - UNLESS NOTED OTHERWISE

NOTE: SEE WINDOW NOTE 4, SHEET A4.1 FOR ADDITIONAL GLAZING INFORMATION

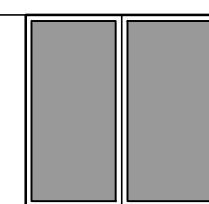
| MARK | TYPE | NOMINAL DIMENSIONS | | HEAD HEIGHT (ABOVE FIN. FLR.) | FRAME (EXT./INT) | GLAZING | DETAILS | | | REMARKS NOTE: WINDOWS TO BE INSTALLED IN 2 X 6 STUD WALLS U.O.N. |
|------|------------|--------------------|--------|-------------------------------|------------------|------------------|---------|------|------|---|
| | | WIDTH | HEIGHT | | | | HEAD | JAMB | SILL | |
| 201 | A CASEMENT | 4'-0" | 4'-0" | 6'-8" | ALUM. GLAD /WOOD | DOUBLE INSULATED | | | | |
| 202 | A CASEMENT | 2'-0" | 3'-0" | 6'-8" | ALUM. GLAD /WOOD | DOUBLE INSULATED | | | | |
| 203 | A CASEMENT | 4'-0" | 4'-0" | 6'-8" | ALUM. GLAD /WOOD | DOUBLE INSULATED | | | | |
| 204 | A CASEMENT | 4'-0" | 4'-0" | 6'-8" | ALUM. GLAD /WOOD | DOUBLE INSULATED | | | | |

DOOR SCHEDULE -

NOTE:
1. EXTERIOR DOORS SHALL BE ALUMINUM GLAD, MANUFACTURER: VISTALUXE DOORS BY KOLBE & KOLBE
2. INTERIOR DOORS SHALL BE SOLID CORE, STAIN GRADE APPROVED BY OWNER OR ARCHITECT UNLESS NOTED OTHERWISE

| MARK | TYPE | NOMINAL DIMENSIONS | | | GLAZING | CORE | DOOR FINISH | FRAME FINISH | HARDWARE | DETAILS | | |
|------|------------------------|--------------------|--------|--------|---------|------|-------------|--------------|----------|---------|------|------|
| | | WIDTH | HEIGHT | THICK | | | | | | HEAD | JAMB | SILL |
| 101 | A EXTERIOR FLUSH PANEL | 3'-0" | 6'-8" | 1-3/4" | | | STAINED | STAINED | ENTRY | | | |
| 201 | B EXTERIOR FULL LIGHT | 3'-0" | 6'-8" | 1-3/4" | TEMP | | STAINED | STAINED | ENTRY | | | |
| 202 | C EXTERIOR FLUSH PANEL | PR 2'-0" | 6'-8" | 1-3/4" | TEMP | | STAINED | STAINED | ENTRY | | | |
| 203 | NOT USED | | | | | | | | | | | |
| 204 | NOT USED | | | | | | | | | | | |
| 205 | C EXTERIOR FLUSH PANEL | PR 2'-0" | 6'-8" | 1-3/4" | TEMP | | STAINED | STAINED | ENTRY | | | |
| 206 | C EXTERIOR FLUSH PANEL | PR 2'-0" | 6'-8" | 1-3/4" | TEMP | | STAINED | STAINED | ENTRY | | | |
| 207 | C EXTERIOR FLUSH PANEL | PR 2'-0" | 6'-8" | 1-3/4" | TEMP | | STAINED | STAINED | ENTRY | | | |
| 208 | NOT USED | | | | | | | | | | | |
| 209 | E INTERIOR FLUSH PANEL | PR 2'-6" | 6'-8" | 1-3/4" | | | STAINED | STAINED | | | | |
| 210 | NOT USED | | | | | | | | | | | |
| 111 | D INTERIOR FLUSH PANEL | 2'-4" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | | | | |
| 112 | D INTERIOR FLUSH PANEL | 2'-6" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | | | | |
| 113 | D INTERIOR FLUSH PANEL | 3'-0" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | | | | |
| 114 | D INTERIOR FLUSH PANEL | 3'-0" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | ENTRY | | | |
| 115 | D INTERIOR FLUSH PANEL | 2'-4" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | | | | |
| 116 | D INTERIOR FLUSH PANEL | 2'-6" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | PRIVACY | | | |
| 117 | F INTERIOR POCKET | PR 3'-0" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | PRIVACY | | | |
| 118 | E INTERIOR FLUSH PANEL | PR 1'-2" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | | | | |
| 119 | D INTERIOR FLUSH PANEL | 2'-4" | 6'-8" | 1-3/4" | | S.C. | STAINED | STAINED | PRIVACY | | | |

WINDOW TYPES:



A

WINDOW NOTES

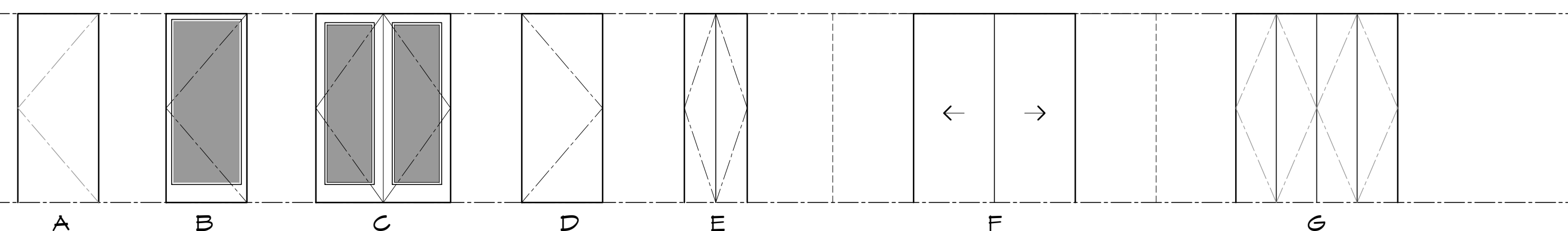
GLAZING NOTES:

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
 - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A HOT TUB, WHIRLPOOL, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWER COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE AND WITHIN 60 INCHES MEASURED HORIZONTALLY FROM SHOWER OR TUB EDGE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UN-TEMPERED OBSCURE.

WINDOW NOTES:

- WINDOWS: ALUMINUM GLAD UNLESS OTHERWISE NOTED.
- CASEMENT WINDOWS SHALL BE OUT SWING CASEMENT - TYPICAL.
 - ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
 - ALL DETAILS REFER TO SHEET A4.3 UNLESS OTHERWISE INDICATED.
 - CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLANS AND EXTERIOR ELEVATIONS FOR VERIFICATION OF NUMBER & LOCATION OF ALL SASH HERE IN SCHEDULED.
 - WINDOW SIZES INDICATED IN WINDOW SCHEDULE ARE APPROXIMATE & MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS. UPON REVIEW AND APPROVAL BY ARCHITECT.
 - FOR WINDOW MUNTINS, MULLIONS, SWING HAND OF OPERABLE WINDOWS, ETC SEE A3.3 - A3.9 BUILDING ELEVATIONS.
 - CONTRACTOR SHALL VERIFY DIVIDED LIGHT CONFIGURATION & MTR. AVAILABILITY FOR EACH WINDOW PRIOR TO ORDER. SEE A3.3 - A3.9 BUILDING ELEVATIONS.
 - EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 - ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 1'-8", NET CLEAR OPENING HEIGHT OF 2'-0" AND MAXIMUM SILL HEIGHT ABOVE FINISH FLOOR SHALL BE 3'-8".
 - SEE SPECIFICATIONS FOR TECHNICAL DATA, FINISHES, HARDWARE, WEATHERSTRIPPINGS, ETC.
 - WALL WIDTHS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.
 - PROVIDE JAMBS EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
 - SEE TYPICAL WINDOW FLASHING REQUIREMENTS 16/AB.1 FOR ADDITIONAL INFORMATION.
 - WHEN INSTALLING ALUMINUM OR ALUMINUM GLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.
 - DETAILS INDICATE FIXED SASH. SEE SCHEDULE & EXTERIOR ELEVATIONS FOR OPERATION.
 - ALL OPERABLE WINDOWS TO HAVE SCREENS.

DOOR TYPES:



DOOR NOTES

HARDWARE NOTES

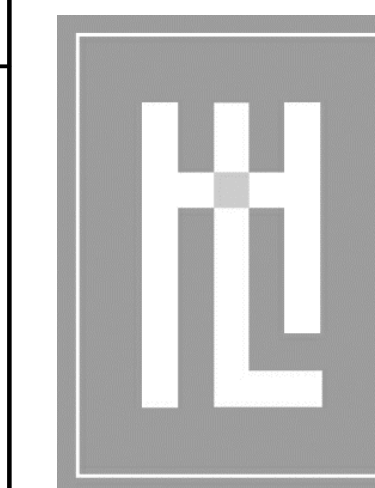
- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N. :
 - ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
 - SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
 - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
 - PROVIDE 4" X 4" BUTTS ON ALL DOORS.
 - ALL HARDWARE TO HAVE FINISH PER OWNER.
 - ALL FIRE RATED DOORS SHALL HAVE PEMKO 888D (OR EQUAL) SMOKE SEALS.

DOOR NOTES

- SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR OPERATION
- VERIFY DOOR FINISH WITH OWNER OR ARCHITECT:
 - S.G. = STAIN GRADE
 - P.G. = PAINT GRADE OR MFR. = MANUFACTURER
- ALL DOOR GLAZING TO BE TEMPERED
- TEMPERED GL. - A PERMANENT LABEL PER CBC 2019 SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- WHEN INSTALLING ALUMINUM OR ALUMINUM GLAD DOORS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

EXTERIOR DR. NOTES

- DOOR STILES & RAILS SHALL NOT BE LESS THAN 1-3/8" THICK. RAISED PANELS SHALL NOT BE LESS THAN 1-1/4" THICK EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.
- SEE DETAILS ON SHEET A8.0 FOR FLASHING REQUIREMENTS.
- SEE DETAILS AS NOTED IN DOOR SCHEDULE FOR ADDITIONAL INFORMATION



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DATE: 07.19.2022

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 22.06

REVISION

PLANNING COMMENTS 08/30/22

1

08/30/22

WINDOW SCHEDULE

LYE APARTMENT REMODEL
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A4.1