



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22195

Owner Name: YOUR GOLDEN KEY NO 1 LLC

Case Planner: Suray Nathan, Assistant Planner

Date Posted: _____

Date Approved: 09/20/2022

Project Location: 13th Ave 3 SE Mission St

APN #: 010161018000 **BLOCK/LOT:** 141/1,3,6 & 8

Applicant: Angie Phares, Hastings Construction, Inc.

Project Description: Authorizes the installation of in-kind replacement of the exiting wood decks and the in-kind replacement of the 6-foot wood fence on the south and west elevations located on 13th Ave 2 SE Mission St

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study (DS 22-195, Your Golden Key No. 1, LLC) authorizes the installation of in-kind replacement of the exiting wood decks and the in-kind replacement of the 6-foot wood fence on the south and west elevations located on 13th Ave 2 SE Mission St in the Single-Family Residential (R-1) District as depicted in the plans prepared by Angie Phares stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).	✓
7.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of	✓

	Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
8.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	
9.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	
	Landscape Conditions	
10.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to the issuance of a building permit</u> . The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
11.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓

12.	<p>Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	✓
13.	<p>Erosion Control in the Right-of-Way. Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" located in the Forest Management Plan.</p>	✓
14.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not 	✓

	<p>sever roots.</p> <ul style="list-style-type: none"> ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. 	
15.	<p>Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p>	✓
16.	<p>Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	✓
17.	<p>Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.</p>	✓

18.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
19.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
20.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓

Acknowledgement and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

Once signed, please email to snathan@ci.carmel.ca.us.

GENERAL NOTES

GOVERNING CODES ASSOCIATED WITH THIS PROJECT:
 2021 CARMEL-BY-THE-SEA MUNICIPAL CODE, 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA ENERGY CODE (CEC) & CALIFORNIA GREEN BUILDING CODE (CALGREEN), AND ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

THESE DRAWINGS ARE PREPARED FOR USE BY A PROPERLY LICENSED, BONDED & CERTIFIED CONTRACTOR.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODE AND ORDINANCE REQUIREMENTS SET FORTH BY THE PREVAILING GOVERNING BODY.

ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO ORDERING MATERIALS.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

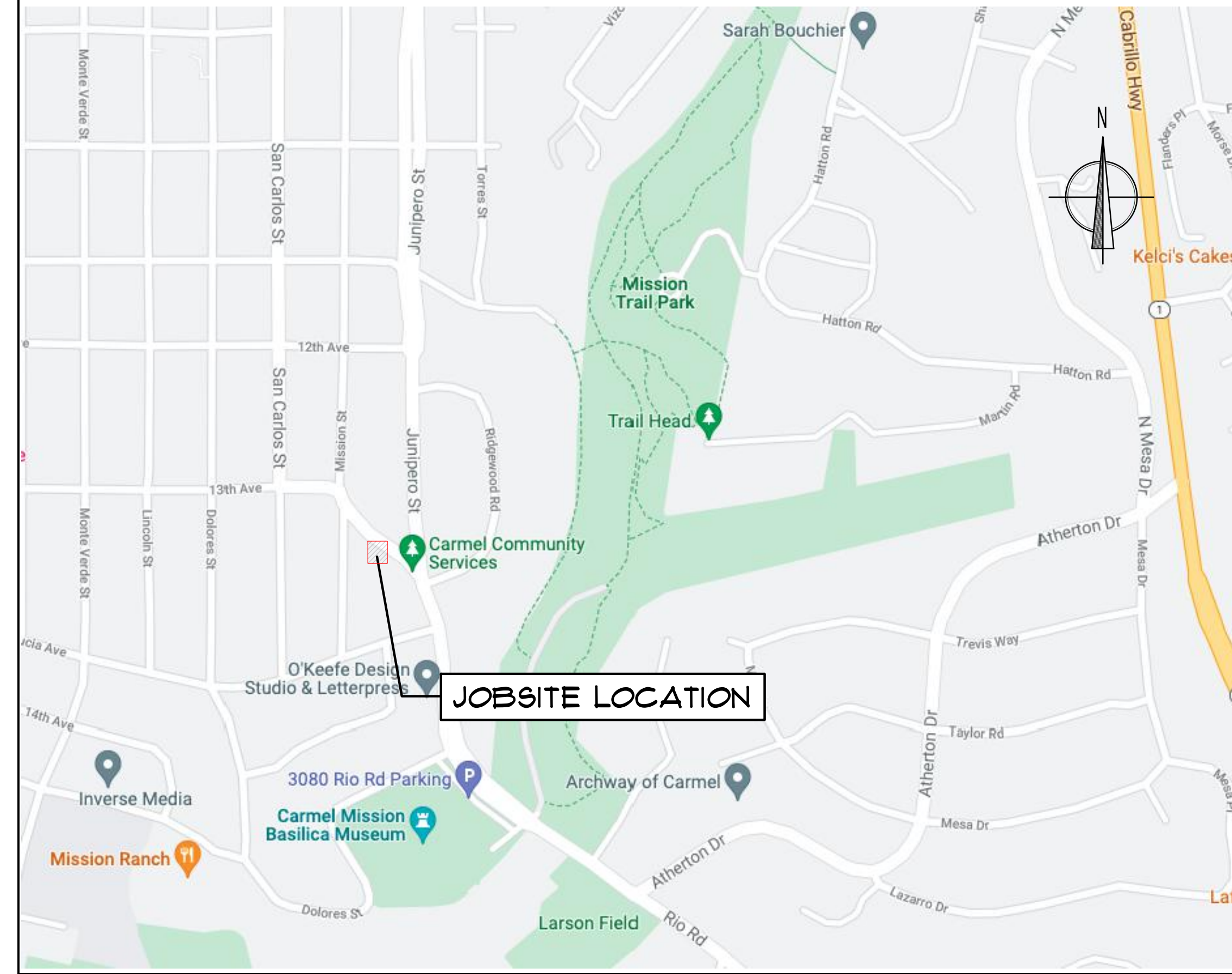
VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.

SETBACK & HEIGHT CERTIFICATIONS
 A STATE LICENSED SURVEYOR SHALL SURVEY AND CERTIFY THE FOLLOWING IN WRITING:

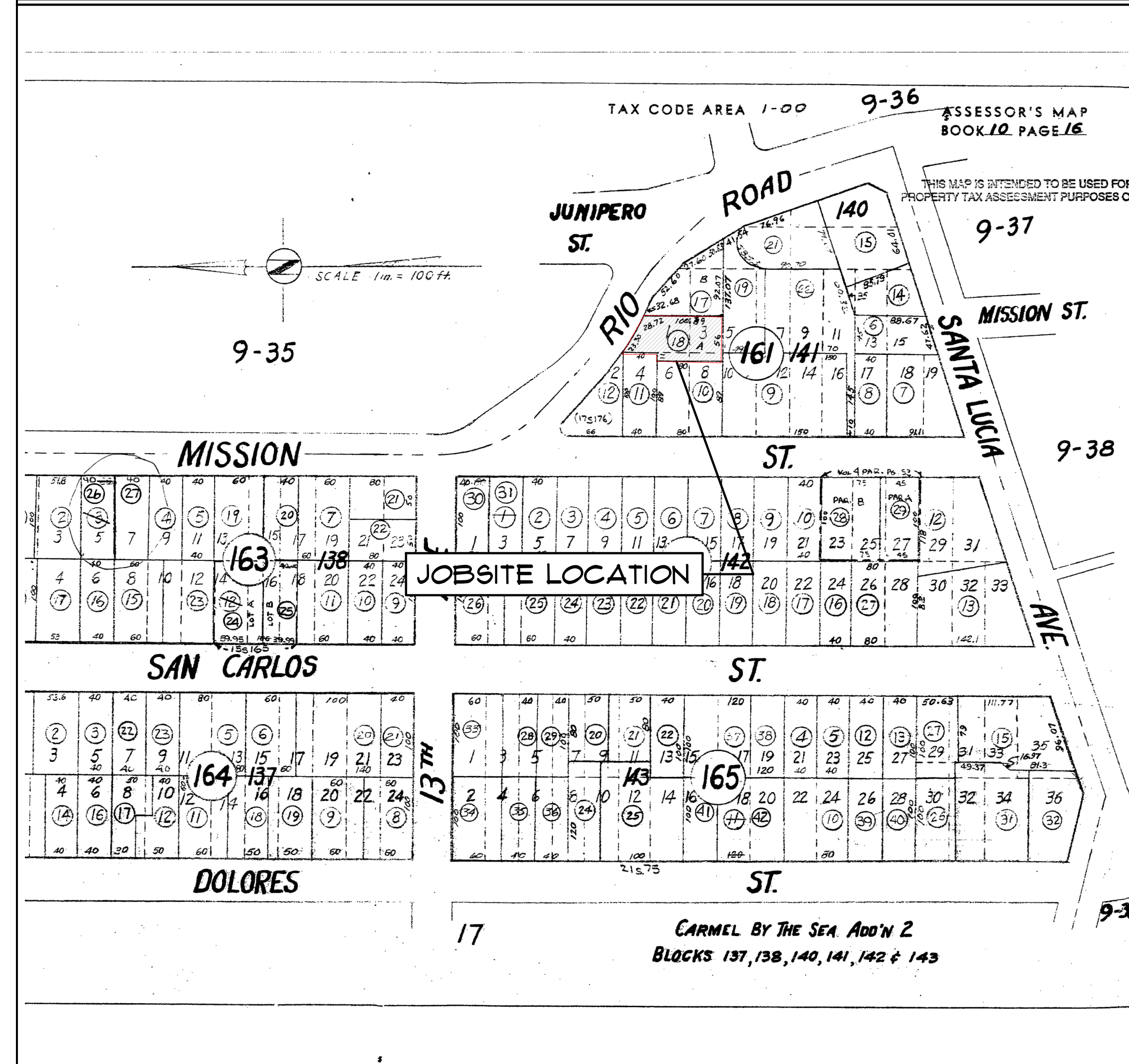
- THE FOOTING LOCATIONS FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO FOOTING/FOUNDATION INSPECTION
- THE ROOF HEIGHT FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION

WRITTEN CERTIFICATIONS PREPARED, SEALED & SIGNED BY THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING INSPECTIONS AT THE TIME OF SPECIFIED INSPECTIONS.

VICINITY MAP



APN MAP



PROJECT CONTACTS

OWNER:
 Cong-Kai Jin
 Your Golden Key No. 1, LLC
 25880 Via Carmelita
 Carmel, CA 93923
 240-672-2588
 shihchiping@kw.com
 kylejin187@gmail.com

RESIDENTIAL DESIGNER:
 Angie Phares
 Hastings Construction, Inc.
 11 Thomas Owens Way
 Suite 201
 Monterey, CA 93940
 831-620-0920 x706
 design@hastingsconstruction.com

△ DRAWING INDEX

- Title Sheet
- Existing Site Plan
- Existing Conditions with Site Plan
- Existing Elevations
- Deck Details & Notes

**CARMEL-BY-THE-SEA
 PLANNING DEPARTMENT
 APPROVED**

Permit #: (DS 22-195, Your Golden Key No. 1, LLC)

Date Approved: 09/20/2022

Planner: Suray Nathan.

△ SCOPE OF WORK

CHANGE IN SCOPE

Repair and replace existing decks and fencing, as needed. All new materials shall match existing conditions.

SYMBOL KEY



ABBREVIATIONS

A.B.	ANCHOR BOLT	F.O.C.	FACE OF CONCRETE	O.F.S.	OUTSIDE FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
A.C.	ASPHALTIC CONCRETE	F.O.S.	FACE OF STUD	OPP.	OPPOSITE	U.N.O.	UNLESS NOTED OTHERWISE
A.F.C.	AIR CONDITIONING	FR. DR.	FRENCH DOOR	O.A.	OUTSIDE DIAMETER	VERT.	VERTICAL
ALUM.	ALUMINUM	FTG.	FOOT OR FEET				
APPROX.	APPROXIMATE		FOOTING	PL.	PLATE	W.	WITH
ARCH.	ARCHITECTURAL	GA.	GAUGE	PLAS.	PLASTER	W/	WAINSCOT
ANOD.	ANODIZED	GALV.	GALVANIZED	PLY.	PLYWOOD	WC	WATER CLOSET
ASPH.	ASPHALT	G.I.	GALVANIZED IRON	P.N.L.	PANEL	WD	WOOD
		GFI	GROUND FAULT INTERRUPTER	P & S	POLE & SHELF	WDW	WINDOW
BD.	BOARD	GL	GLASS	PT.	POINT	W/O	WITH OUT
BLDG.	BUILDING	GND.	GROUND	PR.	PAIR	W/P	WATERPROOF
BLKG.	BLOCKING	GYP. BD.	GYPSSUM BOARD	R.A.	RETURN AIR	W/P	WELDED WIRE FABRIC
BM.	BEAM	H.C.	HOLLOW CORE	R.A.	RADIUS		
BOTT.	BOTTOM	H.D.	HOLD DOWN	R.D.	ROUND		
CAB.	CABINET	HDR.	HEADER	REC.	RECESSED		
CEM.	CEMENT	HDWD.	HARDWOOD	REF.	REFRIGERATOR		
C.I.	CERAMIC TILE	HORIZ.	HORIZONTAL	RENF.	REINFORCING		
CLR.	CLEAR	HR.	HOUR	RES.	RESILIENT		
CLST.	CLOSET	H.B.	HOSE BIBB	RM.	ROOM		
COMP.	COMPOSITION	HT.	HEIGHT	R.O.	ROUGH OPENING		
CONC.	CONCRETE	HC	HANDICAP	REQ.	REQUIRED		
C.G.	CEILING	HVAC	HEATING VENTILATION & AIR CONDITIONING	REQ.	REQUIRED		
C.M.U.	CONCRETE MASONRY UNIT	HW	HOT WATER	R.W.D.	REDWOOD		
C.O.	CLEAN OUT			R.W.L.	RAINWATER LEADER		
COOL.	COOLING						
CONN.	CONNECTION	I.D.	INSIDE DIAMETER	SCHED.	SCHEDULE		
CONST.	CONSTRUCTION	INS.	INSULATION	S.C.	SOLID CORE		
CSMT.	CASING	INT.	INTERIOR	SECT.	SECTION		
C.W.	COLD WATER	J.B.	JUNCTION BOX	S.F.	SQUARE FOOT/FEET		
		JST.	JOIST	SH	SINGLE HUNG		
DBL.	DOUBLE	SH	SHEET	SHR.	SHOWER		
DET.	DETAIL	SHR.	SHOWER	SLD.	SLIDER		
DF.	DOUGLAS FIR	SLD.	SLIDER	SLD. GL. DR.	SLIDING GLASS DOOR		
DIA. OR Ø	DIAMETER	SPCS.	SPECIFICATIONS	SO.	SQUARE		
DIM.	DIMENSION	SO.	SQUARE	SO.FT.	SQUARE FEET		
D.S.	DOWNSPOUT	STD.	STANDARD	STD.	STANDARD		
DRY.	DRYER	STL.	STEEL	STR.	STRUCTURAL		
DW.	DISHWASHER	STR.	STRUCTURAL	SS	STAINLESS STEEL		
DWG.	DRAWING	SYM.	SYMMETRICAL	SYM.	SYMMETRICAL		
		TA	TOWEL BAR	TEL.	TELEPHONE		
EA.	EACH	TEMP.	TEMPERED	THRSH.	THRESHOLD		
ELEC.	ELECTRICAL	T&G.	TONGUE & GROOVE	T&G.	TONGUE & GROOVE		
ELEV.	ELEVATION	T.O.F.	TOP OF FOOTING	T.O.F.	TOP OF FOOTING		
ENCL.	ENCLOSURE	T.O.P.	TOP OF PLATE	T.O.P.	TOP OF PLATE		
EQ.	EQUAL	T.O.S.	TOP OF SLAB	T.O.S.	TOP OF SLAB		
EXH.	EXHAUST	T.O.W.	TOP OF WALL	T.O.W.	TOP OF WALL		
EXP.	EXPANSION	TP	TOILET PAPER	TP	TOILET PAPER		
EXST. OR (E)	EXISTING	TYP.	TYPICAL	TYP.	TYPICAL		
EXT.	EXTERIOR						
FBRLG.	FIBERGLASS						
FD.	FLOOR DRAIN						
FND.	FOUNDATION						
F.F.	FINISH FLOOR						
F.G.	FINISH GRADE						
FLR.	FLOOR						
FL.	FLUORESCENT						

PROJECT DATA

LOT DATA:

Project Address: 13th 2SE of Mission, Carmel-by-the-Sea
 APN: 010-161-018-000
 Parcel Size: 0.1364 ACRES (5,941 sq. ft.)
 Zoning: R-1

Setbacks (Interior Site):
 Front: 15'-0"
 Rear: 15'-0"
 Sides: Composite - 25% of Site Width (3'-0" min.)

BUILDING CODE DATA:

Occupancy: R-3/U
 Construction Type: VB
 Fire Sprinklers: No

FLOOR AREAS:

Existing - no changes Proposed:

Living Floor Area	1,281 SF
Garage Area	212 SF
Base Floor Area	1,053 SF (Allowed: 2,441.75 SF)
Building Footprint:	1,500 SF

SITE COVERAGES:

Existing Site Coverage - no changes Proposed:

Permeable Coverage:	199 SF
Impervious Coverage:	961 SF

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 LIC#: 791539 CLASS: A/B



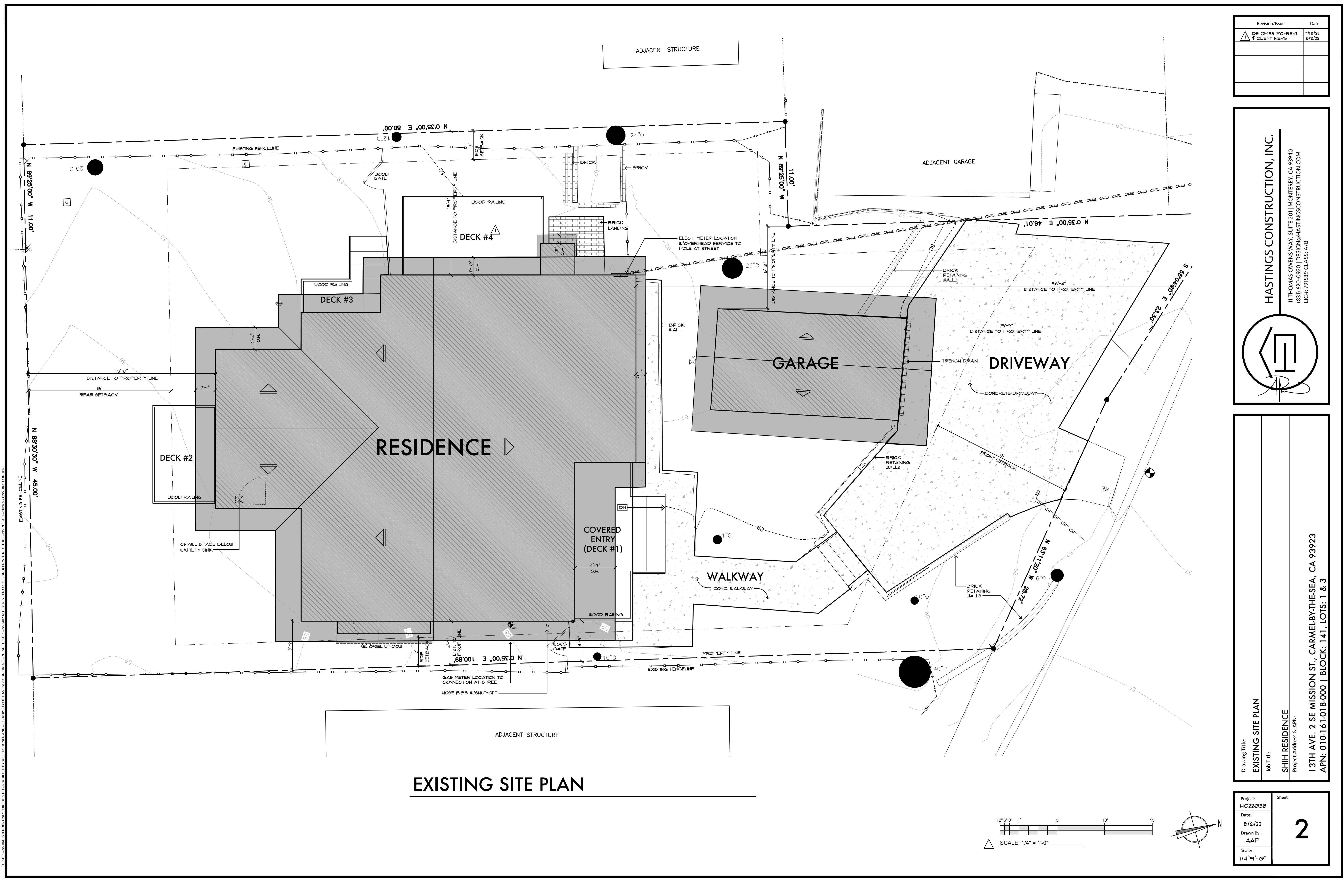
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TITLE SHEET

Job Title:
 GOLDEN TRIANGLE RENOVATION

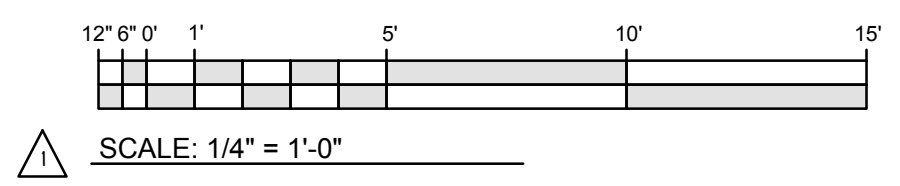
Project Address & APN:
 13TH AVE. 2 SE MISSION ST., CARMEL-BY-THE-SEA, CA 93923
 APN: 010-161-018-000 | BLOCK: 141, LOTS: 1 & 3

Project: HC2203B
 Date: 9/19/2022
 Drawn By: AAP
 Scale: N.T.S.

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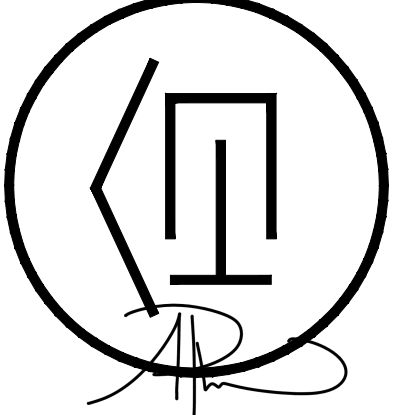


EXISTING SITE PLAN



Revision/Issue	Date
DB 22-198 PC-REV1 CLIENT REV6	7/19/22 8/9/22

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Drawing Title:
EXISTING SITE PLAN

Job Title:
SHIH RESIDENCE

Project Address & APN:
**13TH AVE. 2 SE MISSION ST., CARMEL-BY-THE-SEA, CA 93923
 APN: 010-161-018-000 | BLOCK: 141, LOTS: 1 & 3**

Project: HC22038	Sheet
Date: 5/6/22	2
Drawn By: AAP	
Scale: 1/4"=1'-0"	

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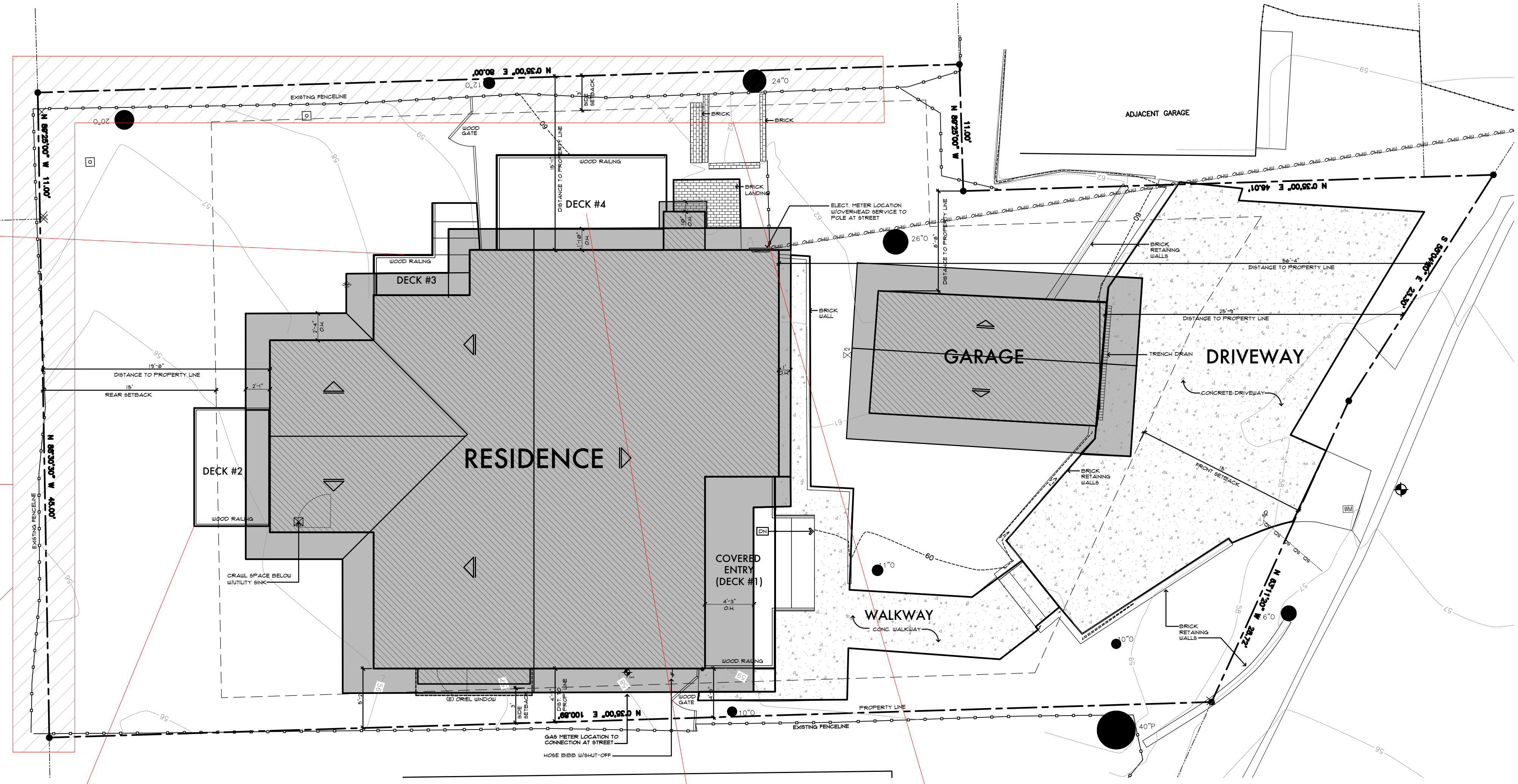
Existing Conditions
Deck #3

AREA OF FENCE REPAIR;
ALL NEW MATERIALS TO
MATCH EXISTING

NOTE:

▲ EXISTING FENCE & DECKING MATERIALS ARE WOOD, BELIEVED TO BE EITHER REDWOOD OR CEDAR. MATERIALS THAT CANNOT BE REPAIRED OR REUSED SHALL BE REPLACED IN KIND - VERIFY IN FIELD.

▲ EXISTING FENCE HEIGHT IS 6'-0".



Existing Conditions
at southern fence & Deck #2



Existing Conditions
at western fence & Deck #4



Revision/Issue	Date
▲ D8 22-198 PC-REV1 CLIENT REV#1	7/19/22
▲ D8 22-198 PC-REV2	8/9/22

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Drawing Title:
EXISTING CONDITIONS AND SCOPE OF WORK

Job Title:
SHIH RESIDENCE

Project Address & APN:
**13TH AVE. 2 SE MISSION ST., CARMEL-BY-THE-SEA, CA 93923
 APN: 010-161-018-000 | BLOCK: 141, LOTS: 1 & 3**

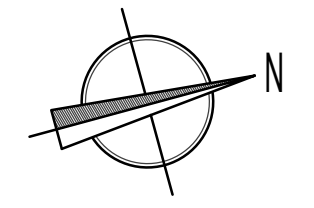
Project:
HC22038

Date:
5/6/22

Drawn By:
AAP

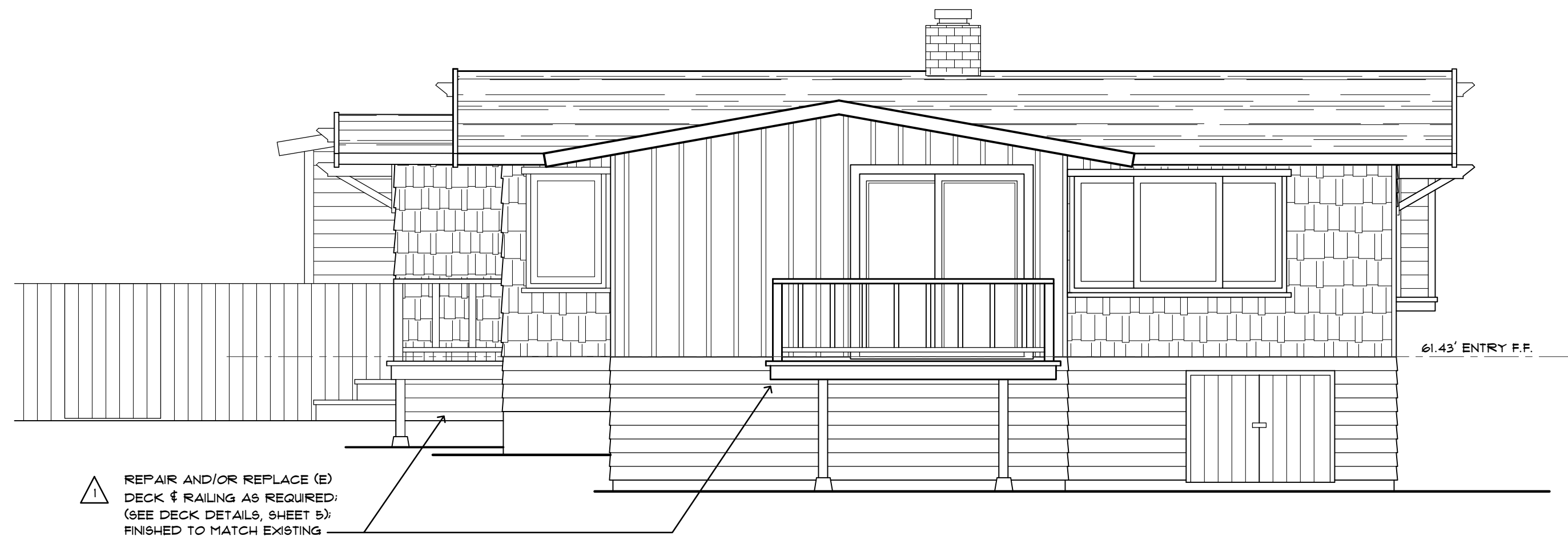
Scale:
N.T.S.

Sheet
▲ **3**



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Revision/Issue	Date
△ D8 22-198 PC-REV1 CLIENT REV6	7/19/22 8/9/22
△ D8 22-198 PC-REV2	9/13/22



EXISTING REAR ELEVATION (SOUTH)

△ NO CHANGES TO EXTERIOR; REPLACEMENT & REPAIR OF EXISTING DECKS AND REPLACEMENT OF FENCING ONLY.



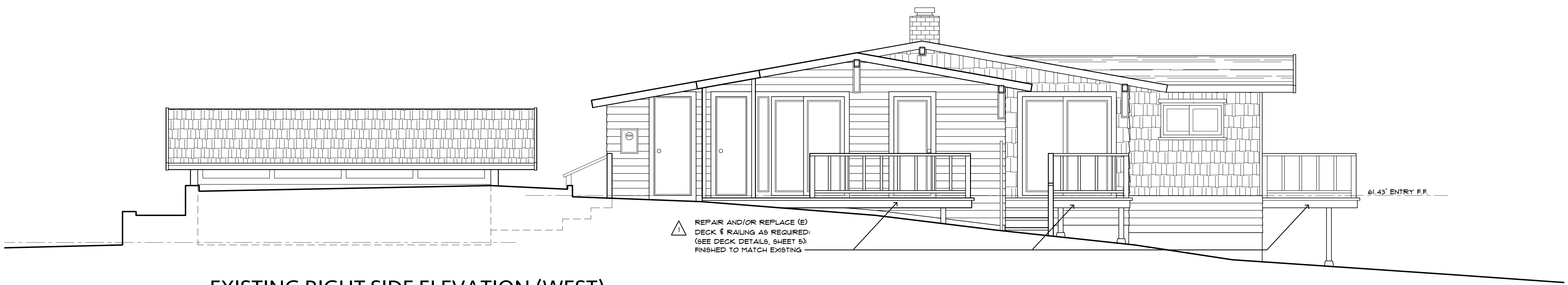
EXISTING FRONT ELEVATION (NORTH)

△ NO CHANGES TO EXTERIOR; REPLACEMENT & REPAIR OF EXISTING DECKS AND REPLACEMENT OF FENCING ONLY.



EXISTING LEFT SIDE ELEVATION (EAST)

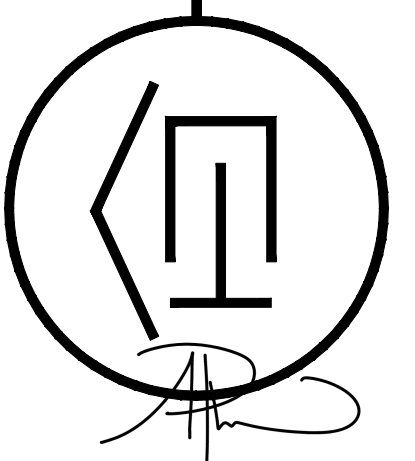
△ NO CHANGES TO EXTERIOR; REPLACEMENT & REPAIR OF EXISTING DECKS AND REPLACEMENT OF FENCING ONLY.



EXISTING RIGHT SIDE ELEVATION (WEST)

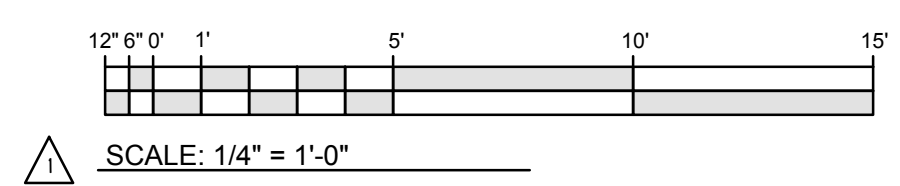
△ NO CHANGES TO EXTERIOR; REPLACEMENT & REPAIR OF EXISTING DECKS AND REPLACEMENT OF FENCING ONLY.

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Drawing Title: **EXISTING ELEVATIONS**
Job Title: **GOLDEN TRIANGLE RENOVATION**
Project Address & APN: **13TH AVE. 2 SE MISSION ST., CARMEL-BY-THE-SEA, CA 93923**
APN: 010-161-018-000 | BLOCK: 141, LOTS: 1 & 3

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Scale: 1/4"=1'-0"	



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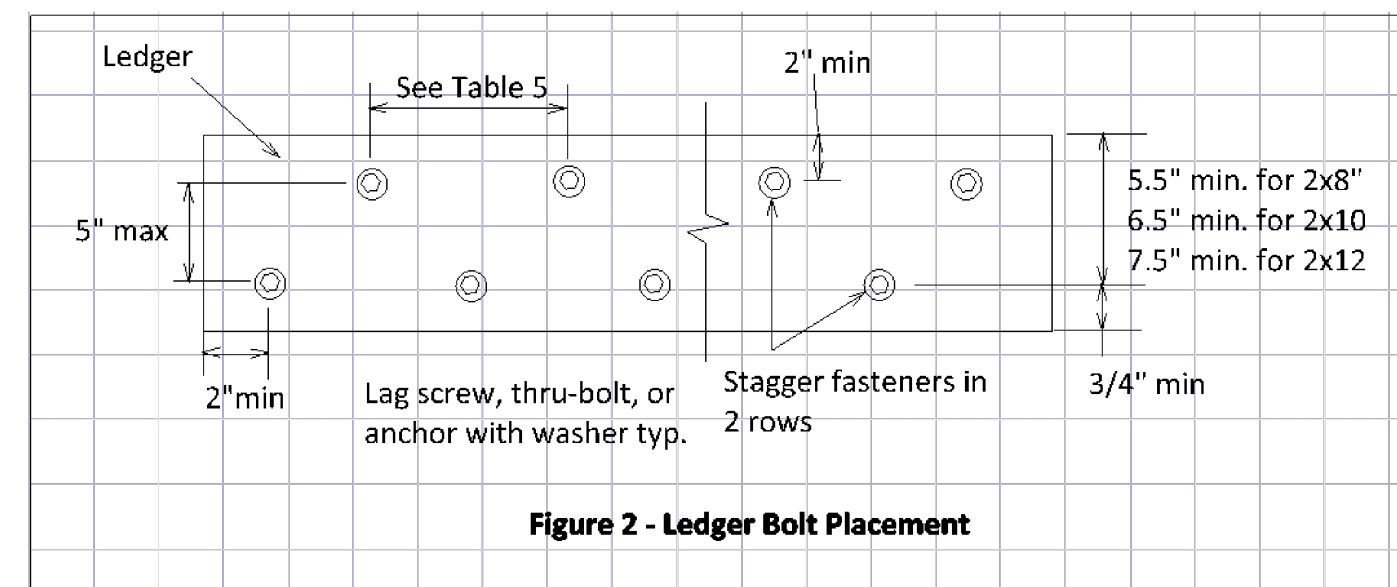
GENERAL NOTES - DECK

1. Deck Foundation Requirements

- a. All footings shall bear on solid ground and shall be placed at least 12 inches below the undisturbed ground surface (See Figure 1 and Table 1 for size and spacing). Pre-manufactured post bases shall be galvanized.

2. Deck Framing Requirements

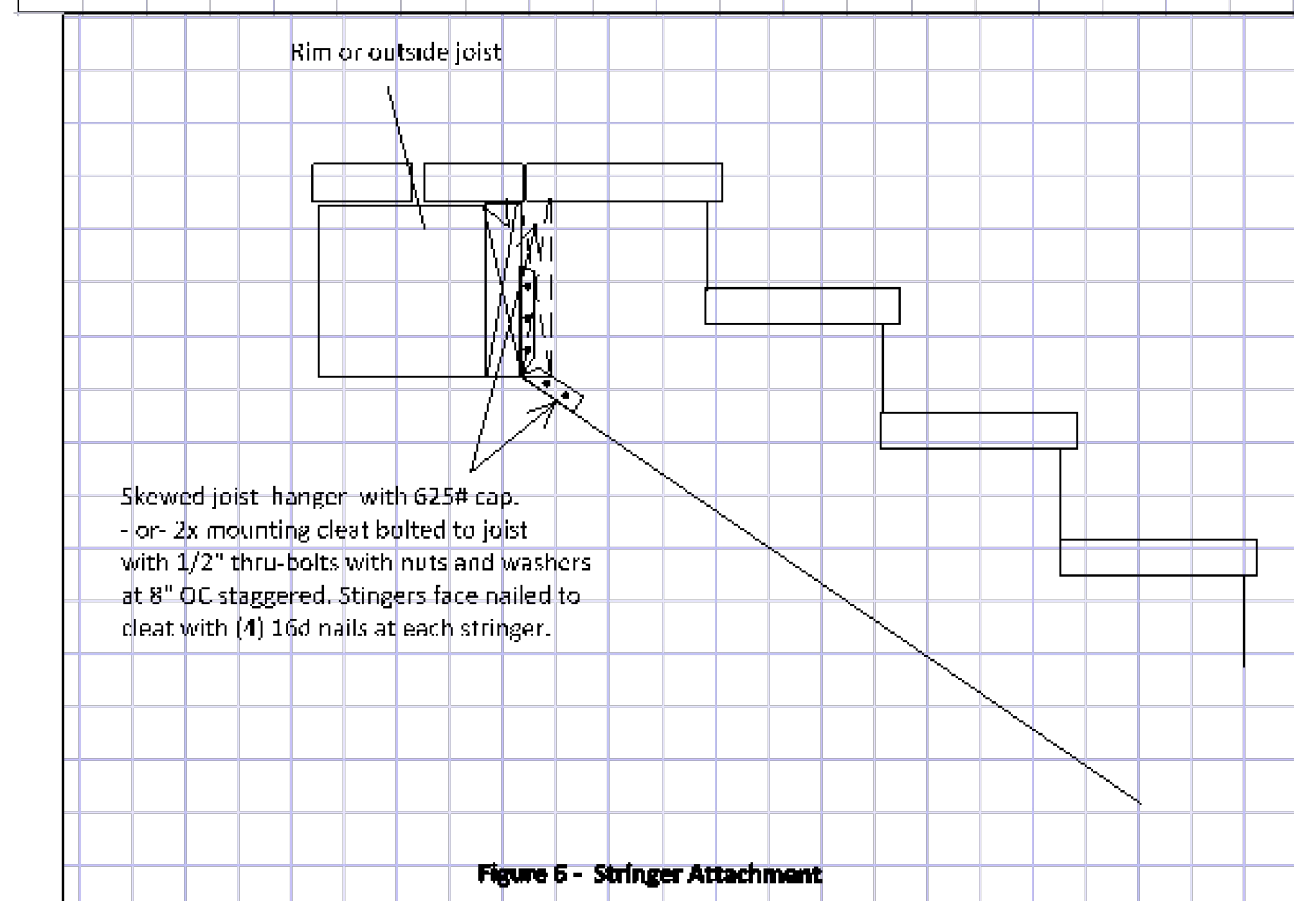
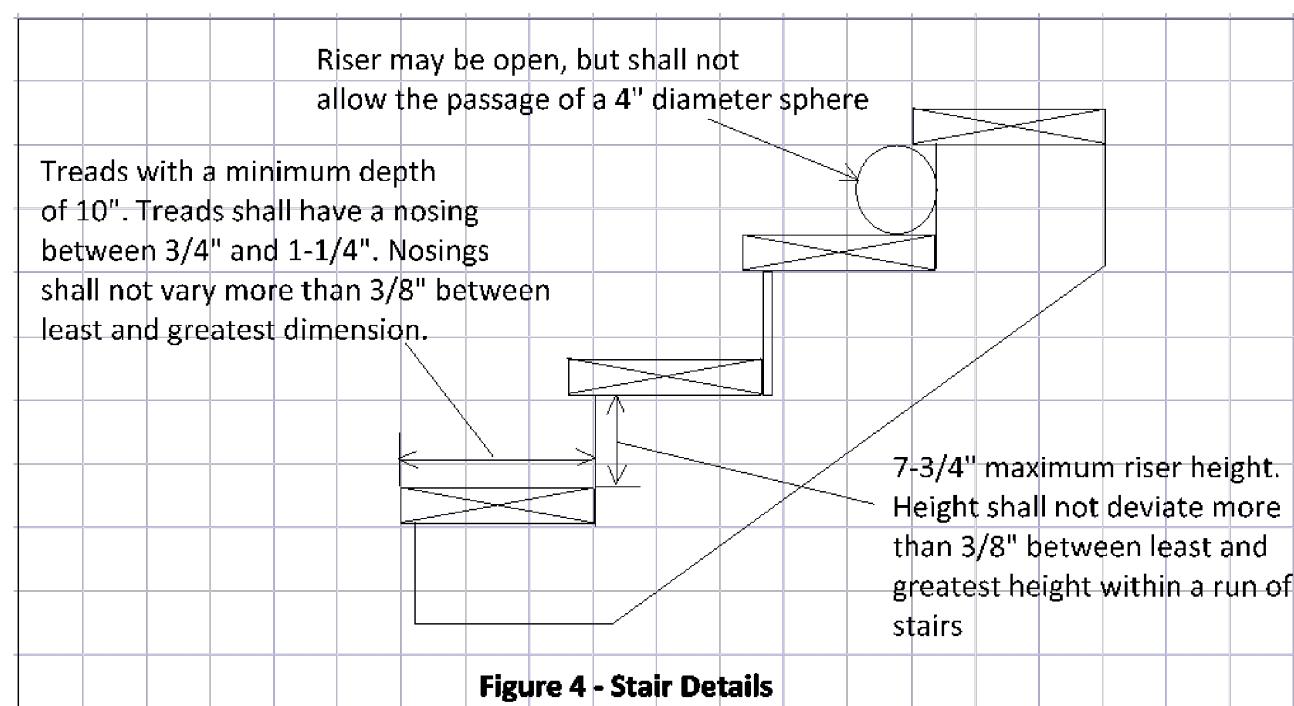
- a. Deck framing shall be positively anchored to the primary structure for both vertical and lateral loads. Such attachment shall not be accomplished by the use of toenails or nails subject to withdrawal. Where the positive connection to the primary structure cannot be provided, decks shall be self-supporting. Wood and wood based products exposed to weather must be protected from decay.
- b. The ledger shall be attached as set forth in CRC Table R502.2.2.1 with 1/2 inch minimum lag screws or bolts with washers, all hot-dipped galvanized or stainless steel. Lag screws shall be placed 2" in from the bottom and top and 2" - 5" from the ends of the deck ledger and shall be staggered. The tip of the lag screw shall fully extend beyond the inside face of the band joist (See Figure 2 and Table 2).
- c. Deck framing shall have positive tension tie connections with floor framing. Hold-down tension devices shall be installed in not less than 2 locations per deck. Each device shall have an allowable design capacity of not less than 1500 pounds (See figure 3).



- d. Deck ledgers shall be flashed to prevent water from contacting the house band/rim joist.
- e. Deck ledger shall be a minimum 2x8 pressure treated No. 2 or better grade lumber (See Table 2, Footnote 5).
- f. The maximum distance between the face of the ledger and the face of the band/ rim joist shall not exceed 1 inch.
- g. Ledger connections not conforming to the above requirements shall be designed and sealed by a State registered engineer in accordance with accepted engineering practice.
- h. Deck framing (e.g. joists, beams, posts, decking, etc.) shall be of approved, naturally durable or pressure-preservative-treated wood.
- i. Joist Hangers, when used, shall each have a minimum load capacity in accordance with Table 5 - Joist Hanger Capacity. Joist hangers shall be from an approved manufacturer, and selected on the dimensions of the joist or girder it is carrying. Joist hangers shall be galvanized or stainless steel. Use joist hangers with inside flanges when clearances to the edge of the beam or ledger board dictate. **Do not use clip angles or brackets to support joists.**

3. Stairway Requirements

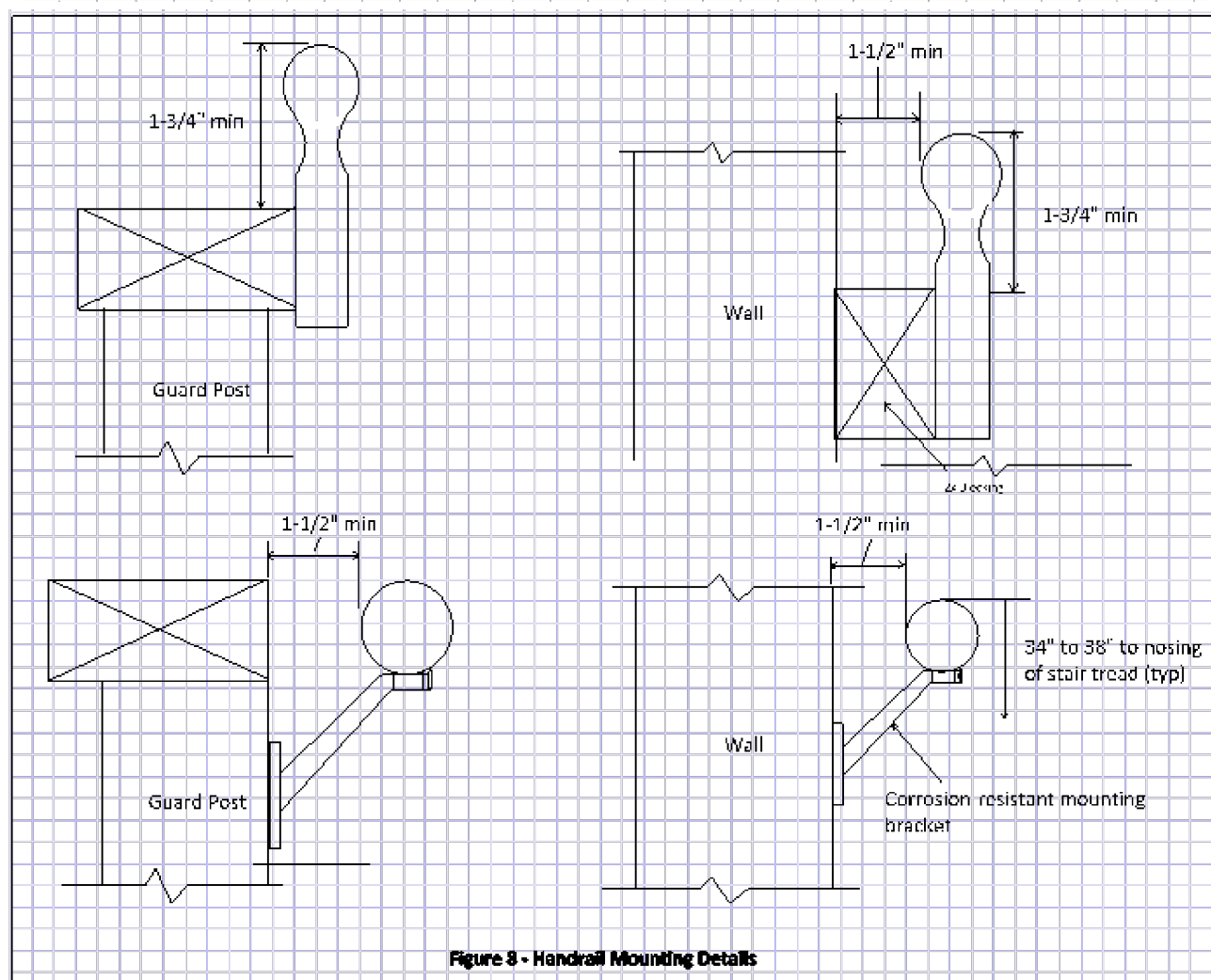
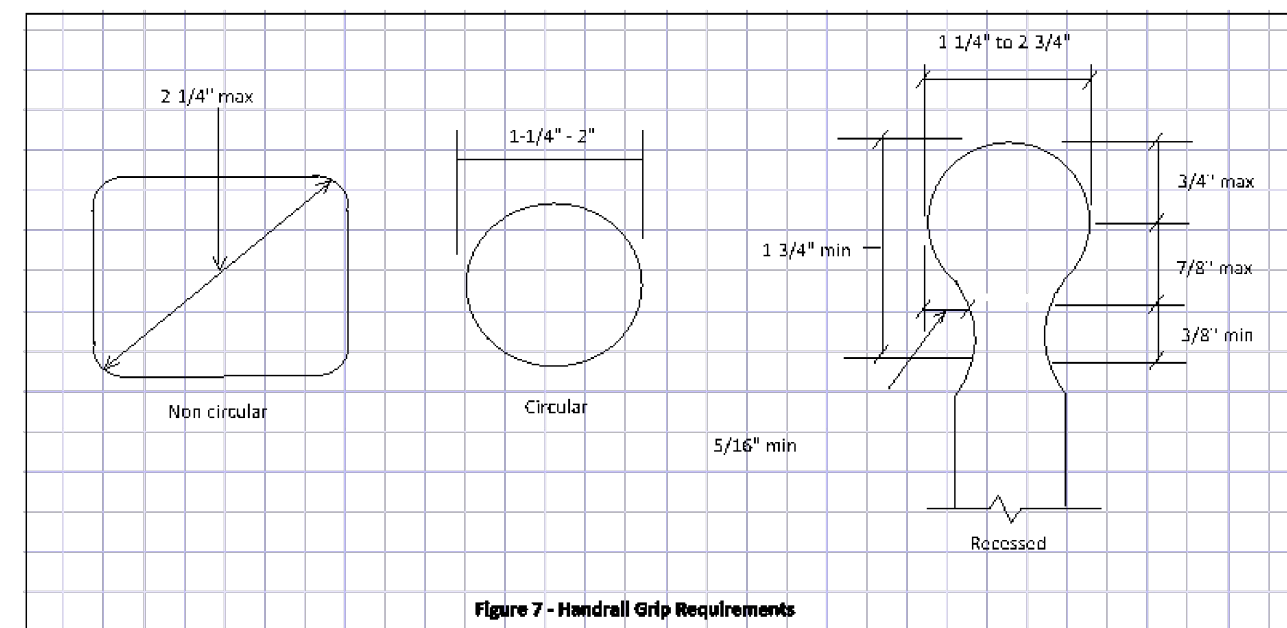
- a. Stairways shall not be less than 36 inches in clear width above the handrails. Handrail projections are limited to not more than 4.5 inches on either side of the stairway (See figure 5).
- b. Headroom shall be not less than 6 feet 8 inches measured vertically from the tread nosing.
- c. Riser height shall not exceed 7 3/4 inches. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8" (See figure 4).



- d. Tread depth (measured from nosing to riser, or back of tread) shall be at least 10 inches. The largest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8" (See figure 4)
- e. Nosing's not less than 0.75" but not more than 1.25" shall be provided on stairways with solid risers if the tread depth is less than 11". The radius of curvature at the nosing shall be no greater than 9/16 inch (See Figure 4).
- f. Open risers are permitted, provided that the opening between treads does not permit the passage of a 4-inch sphere. The opening between adjacent treads is not limited on stairs with a total rise of 30 inches or less. (CRC Sec. R311.7.5.1) (See figure 4).

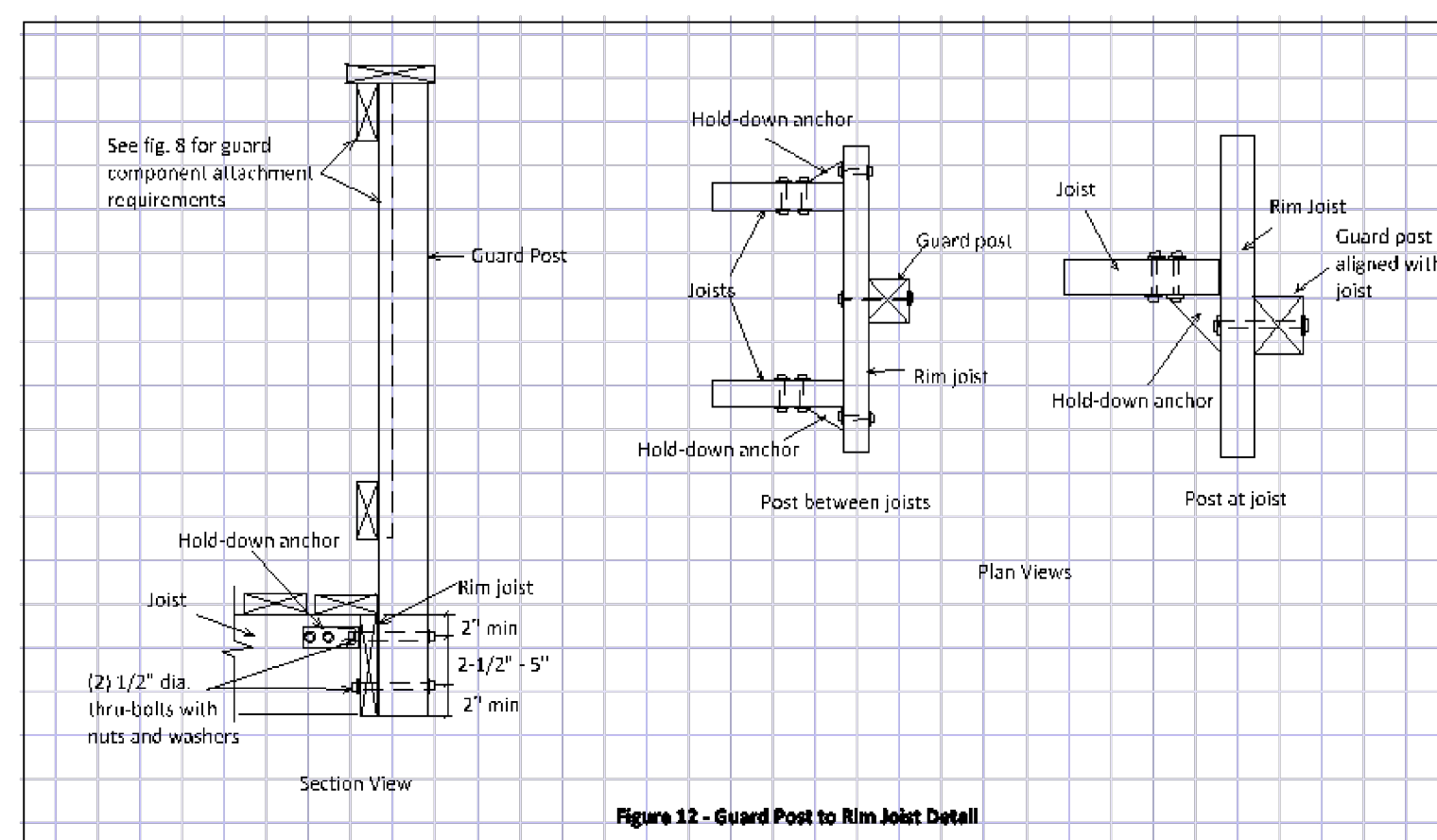
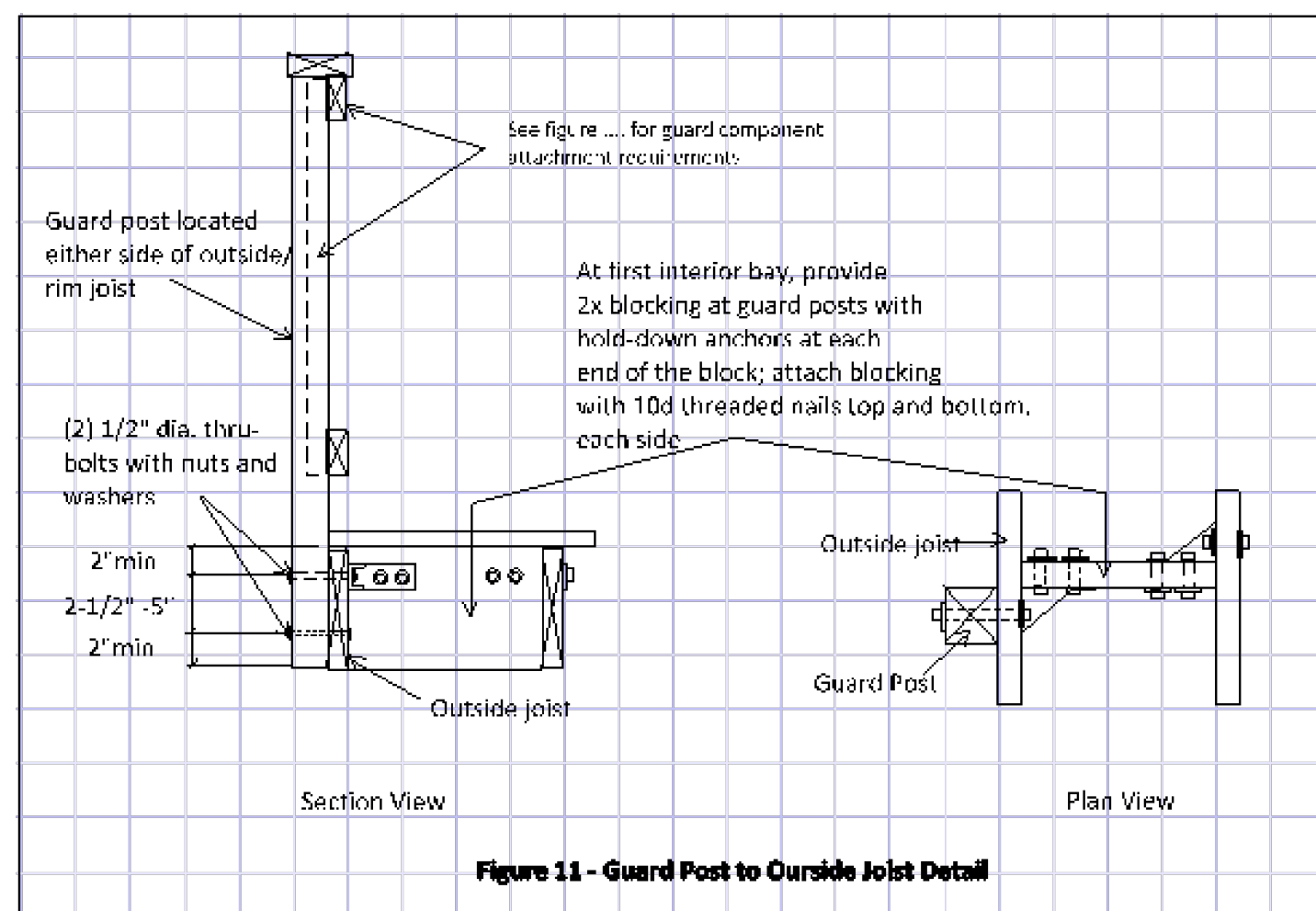
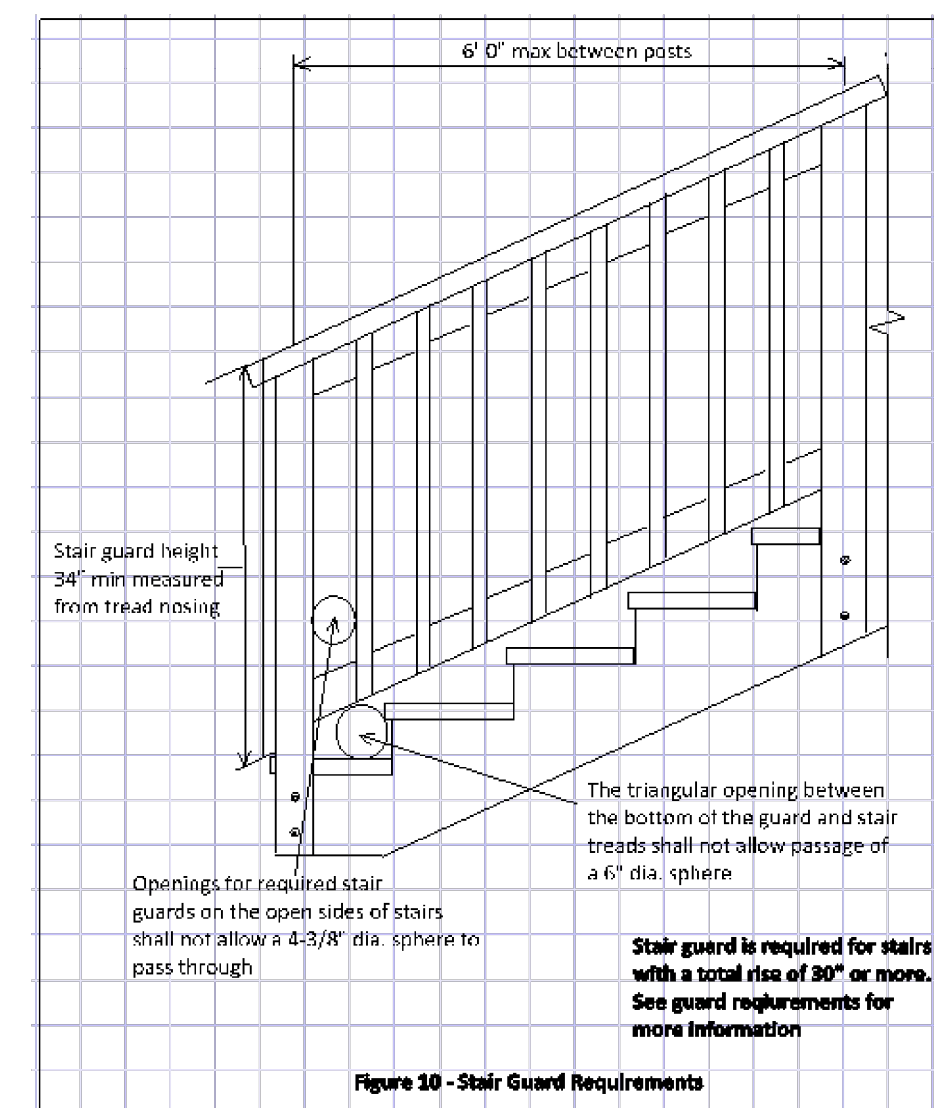
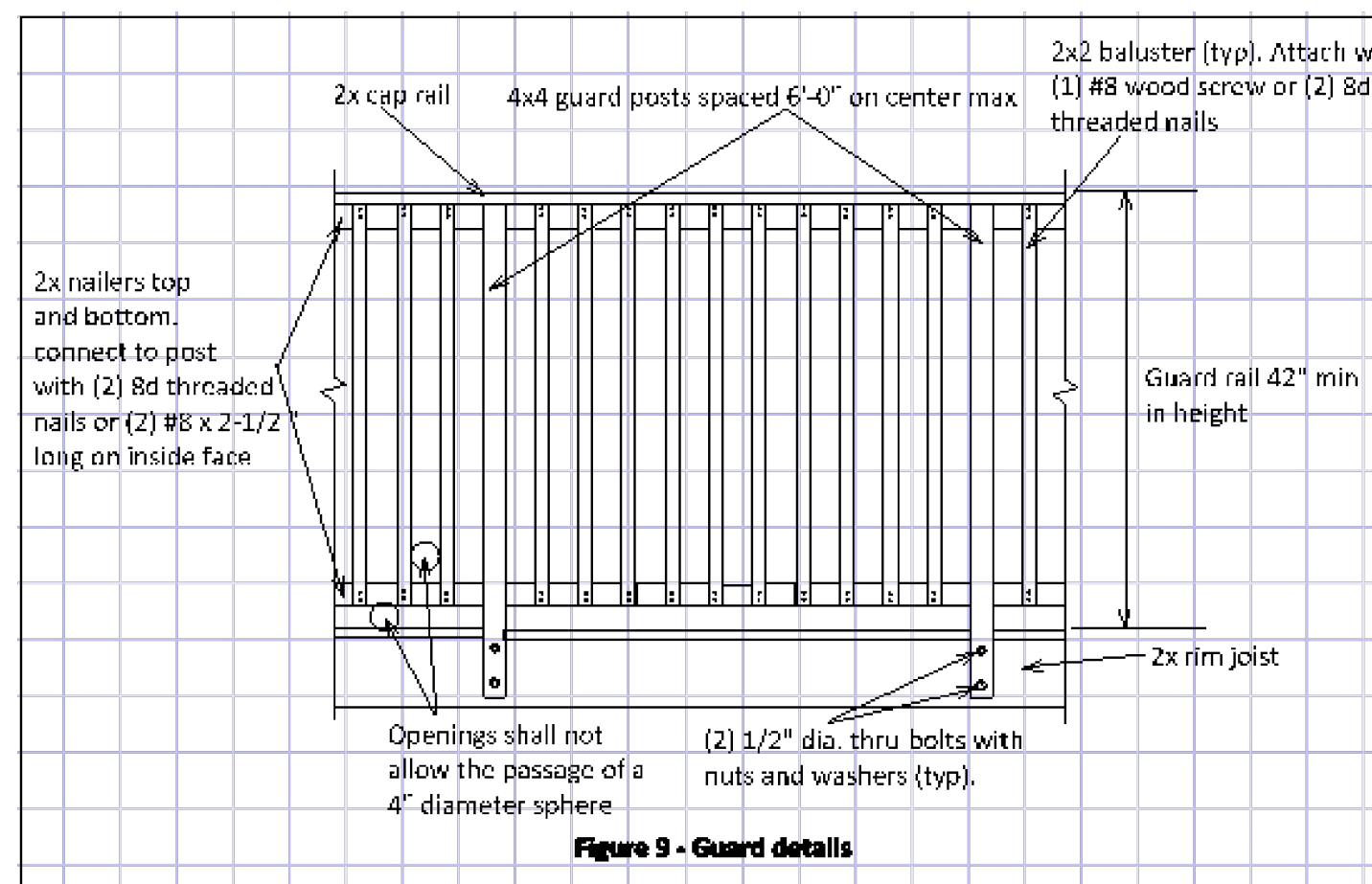
4. Handrail requirements

- a. Handrails shall be provided on at least one side of each continuous flight of stairs with 4 or more risers.
- b. The top of handrails shall be 34 to 38 inches above the tread nosing.
- c. Handrails shall be graspable and shall be of one of the following types:
 - i. Type I. Handrails with a circular cross-section of between 1-1/4" and 2" in diameter. If the handrail is not circular, it shall have a perimeter dimension of at least 4 inches and not greater than 6-1/4 inches with a maximum cross section dimension of 2-1/4". Edges shall have a minimum radius of 0.01 inch (See figure 6 & 7)
 - ii. Type II. Handrails with a perimeter greater than 6-1/4" shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin with a distance of 3/4 inch measured vertically from the tallest portion of the profile and achieve a depth of at least 5/16 inch within 7/8 inches below the widest portion of the profile. This required depth shall continue for at least 3/8 inch to a level that is not less than 1-3/4 inches below the tallest portion of the profile. The minimum width of the handrail above the recess shall be 1-1/4 inches to a maximum of 2-3/4 inches. Edges shall have a minimum radius of 0.01 inch. (See figure 6 & 7).
- d. Handrail ends shall be returned or shall terminate in a newel post or safety terminal. Handrails adjacent to a wall shall have a space of not less than 1-1/2 inch between the wall and the handrail.



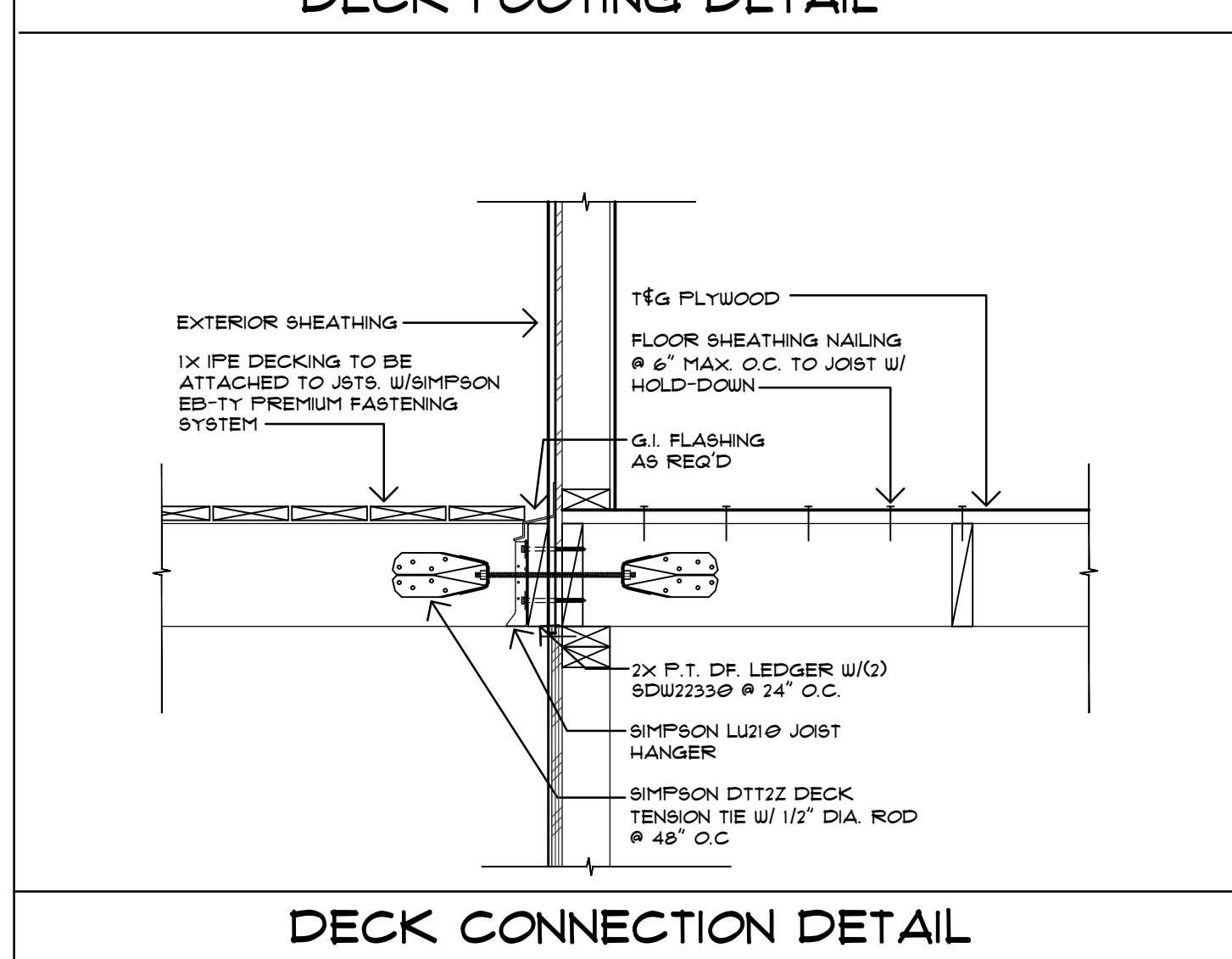
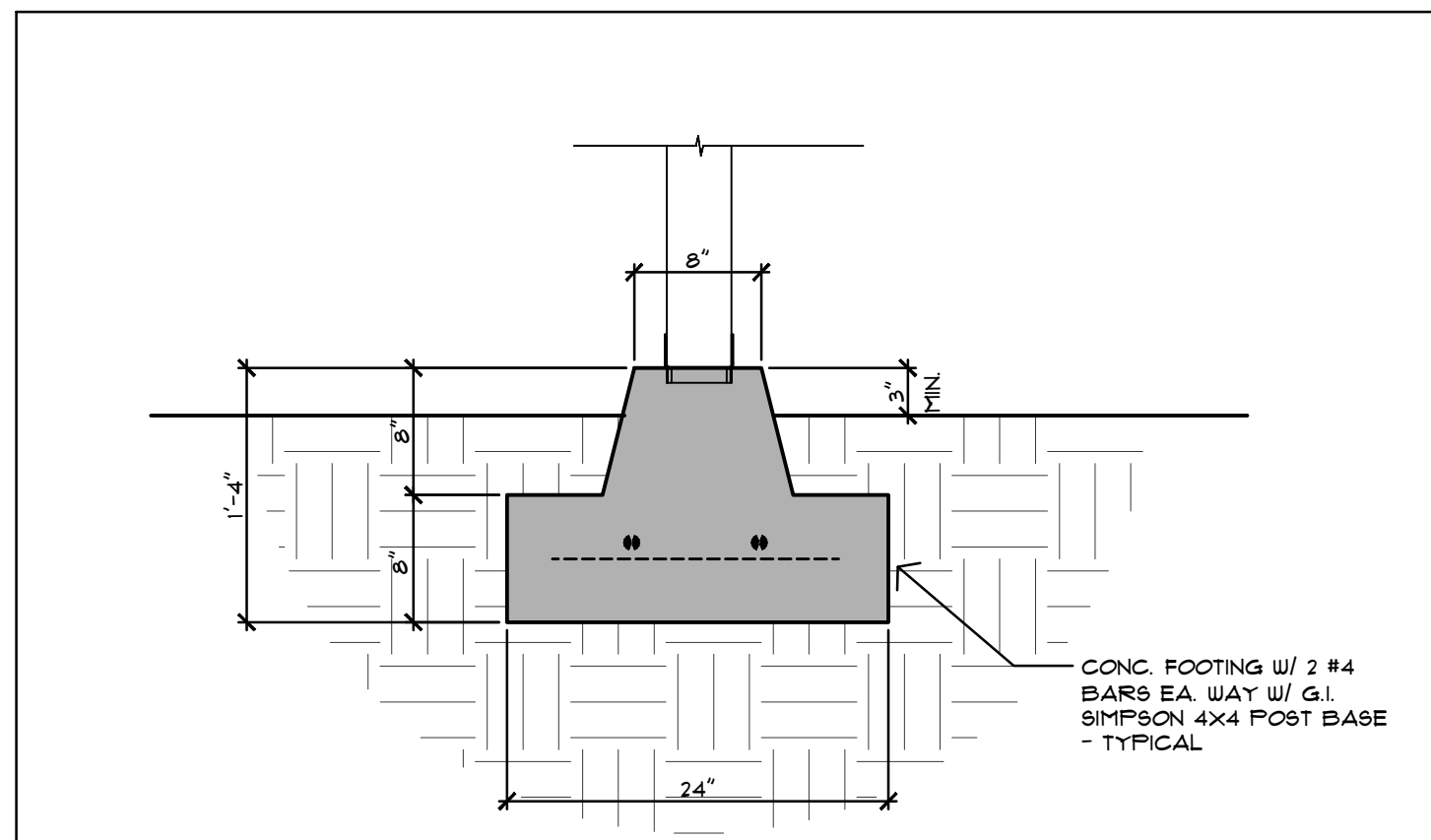
5. Guardrail Requirements

- a. Guards shall be located along open sides of decks, porches, landings, stairs that are located more than 30 inches (measured vertically to the floor or grade below at any point within 36 inches horizontally to the edge of the open side (See figure 6).
- b. Guards shall be not less than 42 inches high measured vertically above the walking surface, adjacent fixed seating, or the line connecting the leading edges of the treads (See figure 6).
 - i. Exceptions:
 1. Guards on the open sides of stairs shall have a height of not less than 34 inches measured vertically from a line connecting the leading edges of the treads.
 2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches and not more than 38 inches measured vertically from a line connecting the leading edges of the treads (See figure 5)
- c. Guardrails and handrails shall be capable of withstanding a single concentrated load of 200 lbs applied in any direction at any point along the top of the rail.
- d. Guardrail in-fill components, balusters, and panel fillers shall be capable of withstanding a horizontally applied normal load of 50 lbs on an area equal to 1 sq. ft. This load need not be assumed to act concurrently with any other live load requirement.



6. Landing Requirements:

- a. Exterior doors shall be provided with landings. The width of each landing shall be not less than the width of the door served. Every landing shall have a minimum dimension of 36 inches measured in the direction of travel. Exterior landings are permitted to have a slope not exceeding 1/4 unit vertical in 12 units horizontal (2%). (Figure 13)
- b. Exterior landings at the required egress door shall not be more than 1-1/2 inches lower than the top of the threshold for the out-swinging door and not more than 7-3/4 inches below the top of the threshold for an in-swinging door.
- c. Doors other than the required egress door shall be provided with landings not more than 7-3/4 inches below the top of the threshold.
 - i. Exception: A landing is not required where a stairway of two or fewer risers is located on the exterior side of the door, provided the door does not swing over the stairway.
- d. Exterior doors and stairways shall be provided with an artificial light source located in the immediate vicinity of the top landing of the stairway. Lighting shall be controlled from inside the dwelling unit, unless the lighting is continuously illuminated or automatically controlled.



NOTE: ALL WORK SHALL COMPLY WITH CARMEL MUNICIPAL CODE TITLE 15, 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA RESIDENTIAL CODE (CRC), AND THE CITY OF CARMEL'S STANDARD OPERATING GUIDANCE & PRESCRIPTIVE RESIDENTIAL DECKS & STAIRS REQUIREMENTS (SOG), AS APPLICABLE.

Revision/Issue	Date

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