



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Review 22170

Owner Name: GREAT VALLEY HOLDINGS LLC

Case Planner: Katherine Wallace

Date Posted: _____

Date Approved: 06/15/2022

Project Location: 5th Ave 2 NW of San Carlos, Carmel CA 93921

APN #: 010136018000 **BLOCK/LOT:** 51/W 45' OF LOTS 17 AND 19

Applicant: Ken Turgen

Project Description: Second outdoor patio trellis associated with the commercial use on the lower level of the building.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of Design Review (DR 22-170, Great Valley Holdings) authorizes the installation of a second outdoor patio trellis associated with the commercial use on the lower level of the building at 5 th Avenue 2 NW of San Carlos in the Service-Commercial (SC) District as depicted in the plans prepared by Wald Ruhne & Dost Architects, stamped approved on June 15, 2022 and on file at the Community Planning & Building Department, unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the SC zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional review and approval prior to issuance of the building permit.	✓
3.	Appeal Period. Approval of DR 22-170 is subject to a 10-day notice and appeal period.	✓
4.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction. CMC Section 17.52.170.B (General Limits)	✓
5.	Permit Extension. The Director may grant one 12-month extension of this Design Review approval. If, since the date of the original approval, the conditions surrounding the original approval have changed, or the General Plan, municipal code or Local Coastal Plan Program has been amended in any manner which causes the approval to be inconsistent with these plans or codes, no time extension or renewal shall be granted for any approval. CMC Section 17.52.170.C (Time Extensions)	✓
6.	Modifications. The applicant shall submit in writing to the Community Planning & Building Director any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
7.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓

DR 22-170 (Great Valley Holdings)

June 15, 2022

Conditions of Approval

	Special Conditions	
8.	Building Permit Revision. Approval of a revision to BP 21-409 shall be obtained from the Building Department prior to commencement of work.	✓
9.	Conditions of Approval. These conditions of approval shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
10.	Lighting. This approval does not authorize the approval of lighting on or attached to the trellis.	✓

*Acknowledgement and acceptance of conditions of approval.

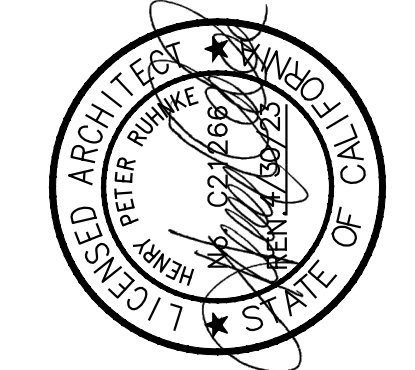
Property Owner Signature

Printed Name

Date

Once signed, please email to kwallace@ci.carmel.ca.us.

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



CHEZ NOIR
JONATHAN BLACK & MONIQUE BOURGEOIS
5TH AVENUE BETWEEN SAN CARLOS & DOLORES STREETS
CARMEL, CALIFORNIA 93921
A.P.N.: APN# 010-136-018

JOB NO.: 21100
PRINT DATE: 6.1.2022
PLOT DATE: 6.1.2022
DRAWN BY: RS
CHECKED BY: KT
SET ISSUED:
08.30.2021 75% REVIEW SET
09.10.2021 BLDG. DEPT. SUB
11.02.2021 BLDG. DEPT. SUB 2
12.02.2021 BLDG. DEPT. SUB 3
12.16.2021 BLDG. DEPT. SUB 4
04.06.2022 TRELLIS
06.01.2022 TRELLIS RESUB.

GENERAL NOTES

1. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER CBC SECTION 502.1.

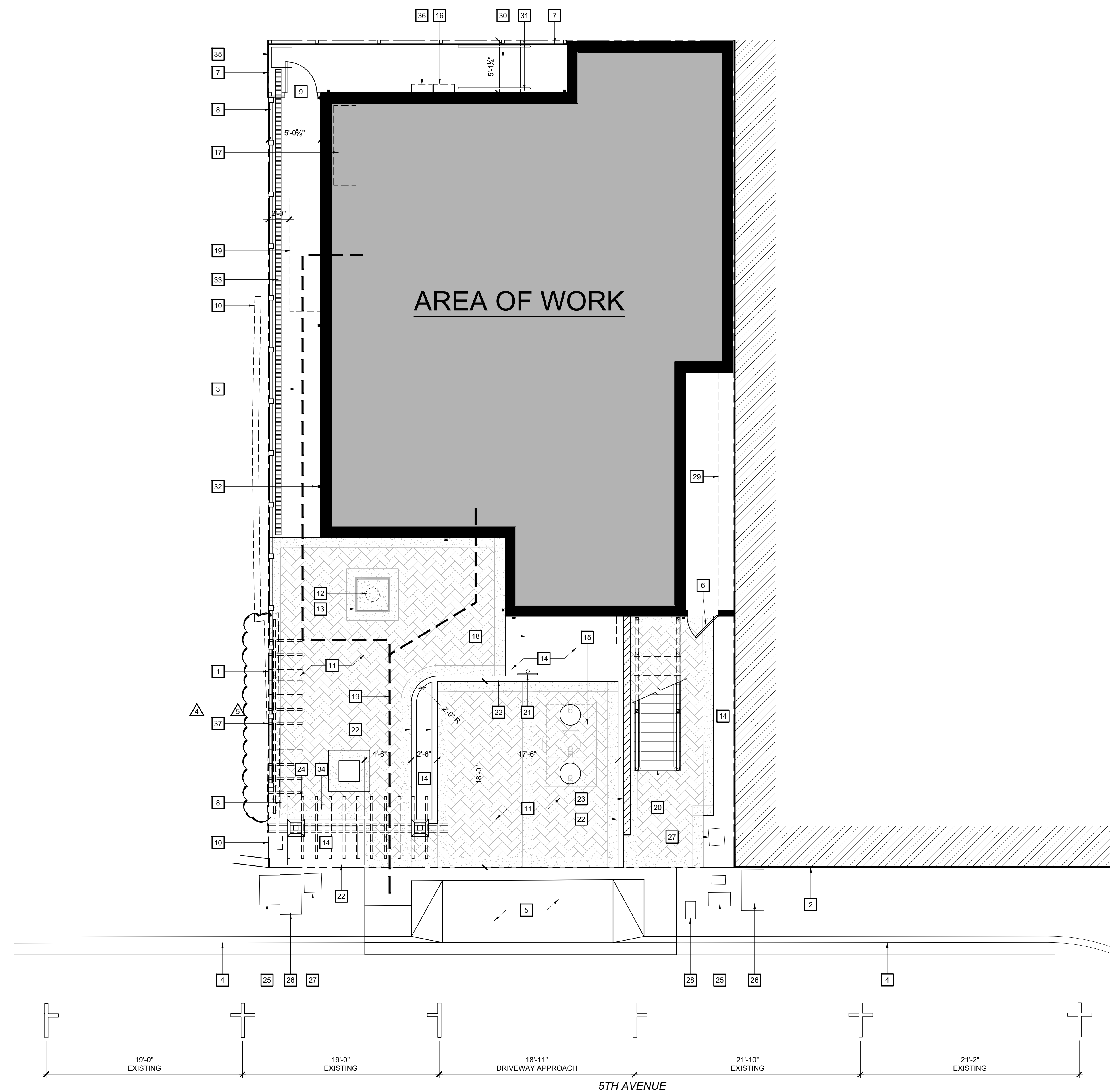
SHEET NAME:
SITE PLAN
SHEET NO.:

A100

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS. NOTE: ALL KEYNOTE ITEMS ARE NEW WORK UNLESS OTHERWISE NOTED.

- 1 PROPERTY LINE.
- 2 EXISTING BUILDING.
- 3 EXISTING WALKWAY.
- 4 EXISTING CURB, GUTTER, & SIDEWALK.
- 5 EXISTING DRIVEWAY.
- 6 EXISTING LATTICE GATE.
- 7 EXISTING 6'-0" HIGH REDWOOD FENCE.
- 8 EXISTING 3'-6" HIGH GUARD.
- 9 EXISTING 3'-0" WIDE x 6'-0" HIGH REDWOOD GATE.
- 10 EXISTING SITE RETAINING WALL.
- 11 EXISTING PERMEABLE PAVERS.
- 12 EXISTING MAGNOLIA TREE TO REMAIN.
- 13 EXISTING TREE WELL FENCE.
- 14 EXISTING PLANTING AREA.
- 15 EXISTING GREASE INTERCEPTOR.
- 16 EXISTING GAS METERS.
- 17 EXISTING ELECTRICAL METERS.
- 18 EXISTING BALCONY ABOVE.
- 19 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY. PATH OF TRAVEL TO HAVE A MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 1:48 CROSS SLOPE.
- 20 EXISTING STAIRS TO SECOND LEVEL.
- 21 EXISTING RESERVED PARKING TENANT PARKING ONLY SIGN.
- 22 EXISTING STONE VENEER RAISED PLANTER WALL.
- 23 EXISTING STONE VENEER RETAINING WALL.
- 24 EXISTING TRELLIS.
- 25 EXISTING PG&E VAULT.
- 26 EXISTING TELECOM VAULT.
- 27 EXISTING CATV VAULT.
- 28 EXISTING WATER METER.
- 29 LINE OF SECOND FLOOR ABOVE.
- 30 EXISTING CONCRETE STAIRS.
- 31 EXISTING HANDRAIL.
- 32 EXISTING DOWNSPOUT.
- 33 EXISTING TRENCH DRAIN.
- 34 EXISTING FLUSH CONCRETE CURB.
- 35 EXISTING DROP INLET & SUMP.
- 36 NEW ELECTRICAL PANEL - SEE ELECTRICAL PLANS.
- 37 NEW TRELLIS - SEE SHEET A830.

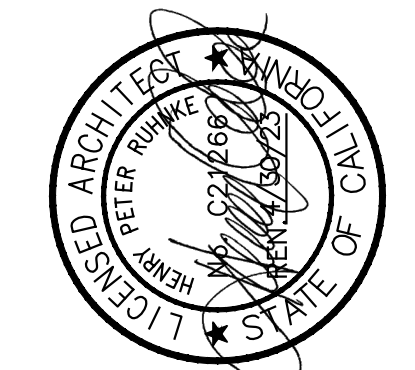


**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DR 22-170 (Great Valley Holdings)
Date Approved: 06/15/2022
Planner: K. Wallace

PLAN NORTH
SITE PLAN
SCALE: 3/16"=1'-0"

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 CARMEL, CALIFORNIA 93921
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JOB NO.: 21100

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DRAWN BY: RS

CHECKED BY: -

SET ISSUED:

08.30.2021 75% REVIEW SET

09.10.2021 BLDG. DEPT. SUB

11.02.2021 BLDG. DEPT. SUB 2

12.02.2021 BLDG. DEPT. SUB 3

12.16.2021 BLDG. DEPT. SUB 4

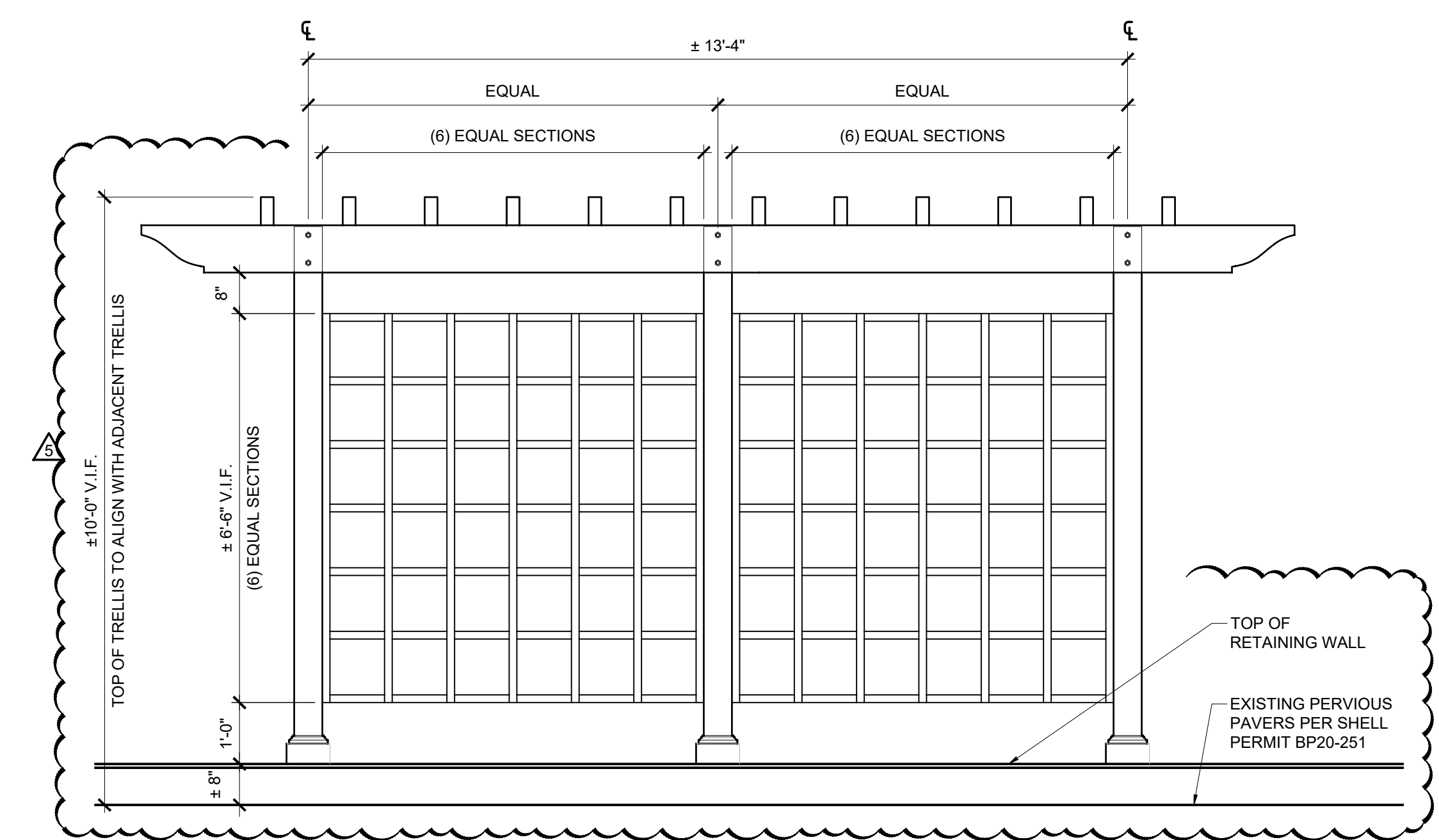
04.06.2022 TRELLIS

06.01.2022 TRELLIS RESUB.

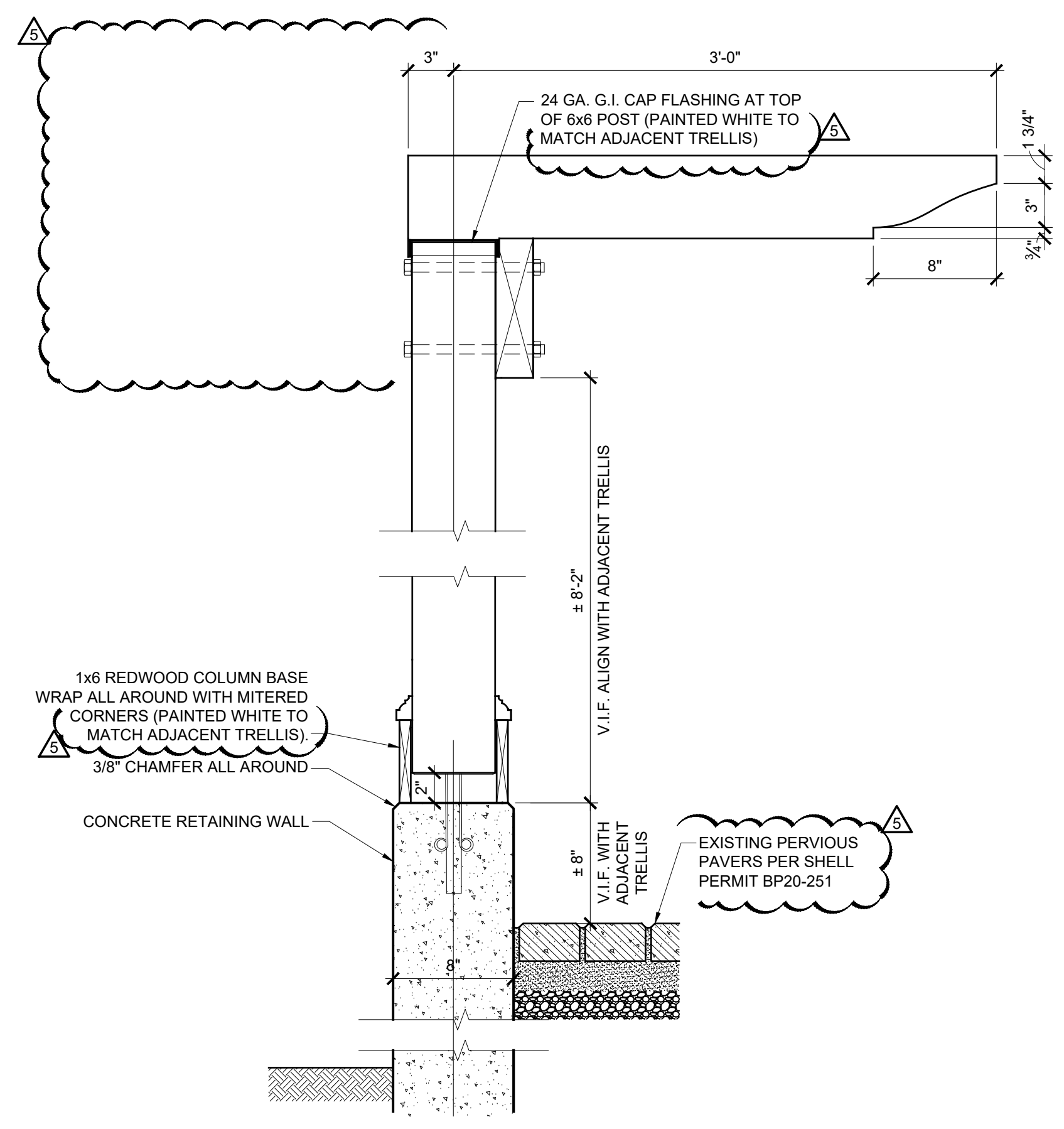
SHEET NAME:
TRELLIS ELEVATIONS AND DETAILS

SHEET NO.:

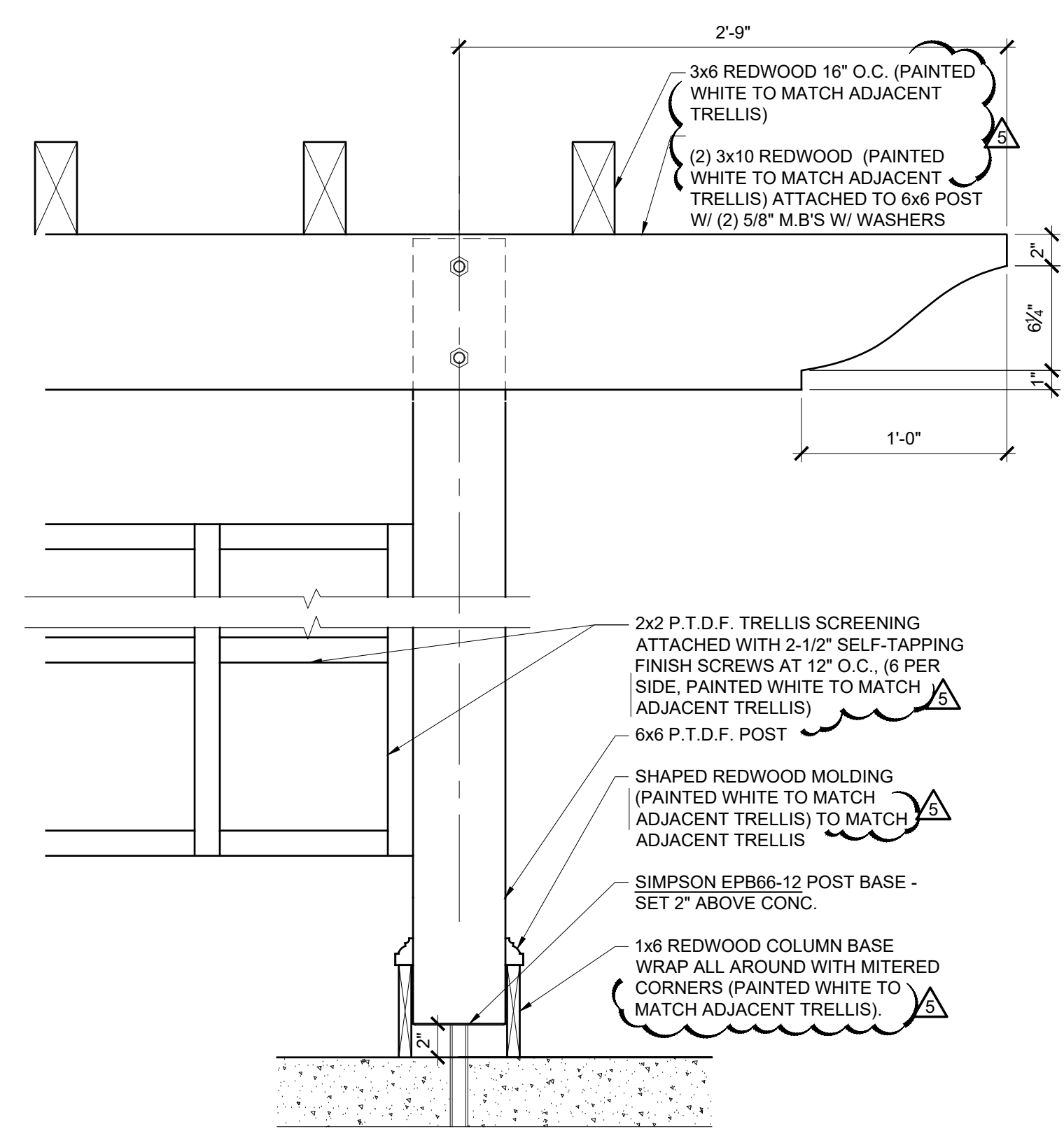
A830



1 TRELLIS ELEVATION
 SCALE: 1/2" = 1'-0"



3 TRELLIS SECTION
 SCALE: 1-1/2" = 1'-0"



2 TRELLIS SECTION
 SCALE: 1-1/2" = 1'-0"