



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22139

Owner Name: MCLEOD STUART M

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 06/15/2022

Project Location: Casanova 9 NW of Ocean

APN #: 010251035000 **BLOCK/LOT:** FF/23

Applicant: Thomas Hood, Architect

Project Description: This approval of Design Study application DS 22-139 (McLeod) authorizes reconfiguration of the stairs leading to the roof deck and an associated living room window modification, located on Casanova 9 NW Ocean Avenue (also known as Lot 3) in the Single-Family Residential (R-1) District as depicted in the plans prepared by Thomas Bateman Hood Architecture stamped approved by the Community Planning & Building Department on June 15, 2022, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.



PINE TREES - LOT 3

7 NW of Ocean Ave. on Casanova St.
Carmel, California

CONSULTANTS

ARCHITECT:	THOMAS BATEMAN HOOD P.O. BOX 4916 CARMEL, CA 93921 831-622-9912	GEOTECHNICAL ENGINEER:	HARO, KASUNICH & ASSOCIATES, INC. 116 EAST LAKE AVE. WATSONVILLE, CA 95076 831-722-4175
ASSOCIATE CONSULTING ARCHITECT:	BRIAN CONGLETON P.O. BOX 4116 CARMEL, CA 93921 831-626-1929	HISTORIAN:	MEG CLOVIS 14024 RESERVATION RD. SALINAS, CA 93908 831-375-8739
SURVEYOR:	GORDON HUMENIK, LS RASMUSSEN LAND SURVEYING, INC. 2150 GARDEN RD. SUITE A-3 MONTEREY, CA 93942 831-375-7240	CIVIL:	MATTHEW LEWIS, PE WHITSON ENGINEERS 6 HARRIS COURT MONTEREY, CA 93940 831-649-5225
STRUCTURAL ENGINEER:	ROB TYSINGER, SE TYSINGER & ASSOCIATES 212 PACHECO AVE. NOVATO, CA 94947 415-898-6704	LANDSCAPE:	ELYSIA ATKINS ZETTERRE LANDSCAPE ARCHITECTURE, INC. 1171 FOLSOM ST SAN FRANCISCO, CA 94103 415-691-2166
MECHANICAL ENGINEER:	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD. #8 CARMEL, CA 93923 831-272-8328	HISTORIAN:	KENT SEAVEY 310 LIGHTHOUSE AVE. PACIFIC GROVE, CA 93950 831-375-8739
GEOTECHNICAL ENGINEER:	HARO, KASUNICH & ASSOCIATES, INC. 116 EAST LAKE AVE. WATSONVILLE, CA 95076 831-722-4175		

PROJECT DESCRIPTION

THE PROJECT GENERALLY INCLUDES THE FOLLOWING:

- DEMOLITION OF GARAGE AND WOOD DECK, PARTIAL DEMOLITION TO THE EXISTING RESIDENCE
- CONSTRUCTION OF 1880.0 SQUARE FOOT, TWO STORY RESIDENCE WITH 240.0 SQ. FT. DETACHED GARAGE.

DEFERRED SUBMITTALS

- FIRE SPRINKLERS
- NATURAL GAS PIPING
- PLUMBING SYSTEM
- PREFABRICATED STEEL ITEMS

SPECIAL CONDITIONS

- A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.
- TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANDY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE CITY FORESTER, ENVIRONMENTAL COMPLIANCE MANAGER, PROJECT PLANNER AND BUILDING INSPECTOR PRIOR TO BEGINNING ANY SITE WORK.

STAIR REVISION

A0.0	TITLE SHEET
A1.0	EXISTING SURVEY
A1.1	EXISTING SITE PLAN
A1.2	PROPOSED SITE PLAN & ROOF PLAN
A1.3	UNDERGROUND UTILITY PLAN
A1.4	TREE PROTECTION PLAN
C0.1	CIVIL COVER SHEET
C0.2	DETAILS AND SPECIFICATIONS
C1.0	SITE GRADING & DRAINAGE
C2.1	EROSION CONTROL PLAN
C2.2	EROSION CONTROL DETAILS
A2.0	CODE COMPLIANCE & TYPICAL DETAILS
A2.1	EXISTING FLOOR PLANS/DEMOLITION PLANS
A2.2	PROPOSED LOWER FLOOR PLAN
A2.3	PROPOSED MAIN FLOOR PLAN
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A4.2	PROPOSED BUILDING SECTIONS
A6.1	DOOR SCHEDULE
A6.2	WINDOW SCHEDULE
A6.3	EQUIPMENT, APPLIANCE & PLUMBING SCHEDULES w/ KEY PLAN
A6.4	PLUMBING SCHEDULE & KEY PLAN
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A7.1	GENERAL NOTES & BMP'S
A7.2	CONDITIONS OF APPROVAL
A7.3	CALGREEN MANDATORY MEASURES
A7.4	CALGREEN MANDATORY MEASURES CONTINUED

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E1.2	MAIN FLOOR POWER PLAN
E1.3	LOWER FLOOR LIGHTING PLAN
E1.4	MAIN FLOOR LIGHTING PLAN
E1.5	PRODUCT SPECS
E1.6	PRODUCT SPECS & METER REQUIREMENTS
S1	STRUCTURAL NOTES
S2	LOWER LEVEL/FOUNDATION PLAN
S3	MAIN LEVEL FRAMING PLAN
S4	ROOF FRAMING PLAN
S5	FOUNDATION DETAILS
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S7	FRAMING DETAILS
S8	FRAMING DETAILS
S9	SHEAR DETAILS
S10	STEEL & MISC. FRAMING DETAILS
S11	STRONG-WALL & MISC. DETAILS

SHEET INDEX

PROJECT INFORMATION

ZONING:

R-1

CONSTRUCTION TYPE:

V-B SPRINKLERED

OCCUPANCY GROUP:

R-3/U

ADDRESS:

7NW OF OCEAN AVE. ON CASANOVA ST. CARMEL, CA 93921

APN:

010-251-003 LOTS 17, 19, 21 & 23

LOT AREA:

(E) LOT 21: AREA = 4,000 S.F. (0.09 ACRES) 4,000 S.F.
(E) LOT 23: AREA = 4,000 S.F. (0.09 ACRES)
SEE PROJECT DESCRIPTION FOR MERGER INFORMATION

(N) LOT 17: AREA = 4,220.5 S.F. (0.10 ACRES)

FLOOR AREA:

MAX FLOOR AREA (4,220.5' x 4455'): 1,881.23 S.F.
MAX FLOOR AREA ALLOWED = 1,881.23 S.F.

EXISTING FLOOR AREA:

LOWER FLOOR: 457.00 S.F.
GARAGE: 238.00 S.F.
TOTAL = 679.00 S.F.

PROPOSED FLOOR AREA:

LOWER FLOOR: 538.41 S.F.
MAIN FLOOR: 759.67 S.F.
ADU "THE HUT": 328.40 S.F.
GARAGE: 240.00 S.F.
TOTAL = 1,864.48 S.F.

SITE COVERAGE:

COVERAGE ALLOWED: 413.87 S.F.
(MAX. FLOOR AREA ABOVE * 0.22)
50% PERMEABLE BONUS: 169.00 S.F.
LOT MERGER BONUS: 0.00 S.F.

TOTAL COVERAGE ALLOWED= 582.87 S.F.

PROPOSED SITE COVERAGE:

PERVIOUS
ENTRY WALK: 217.51 S.F.
WOOD DECK: 52.75 S.F.
TOTAL PERVIOUS: 270.26 S.F.

IMPERVIOUS
DRIVEWAY: 34.98 S.F.
MAIN FLOOR DECK: 246.87 S.F.
TOTAL IMPERVIOUS: 281.85 S.F.
TOTAL SITE COVERAGE: 552.11 S.F.

THOMAS BATEMAN
HOOD
ARCHITECTURE

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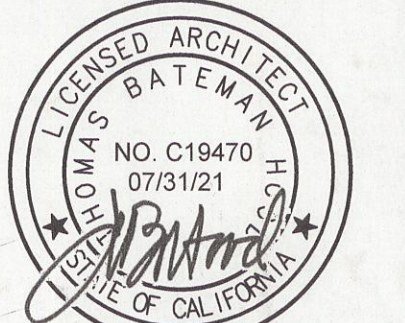
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ALTERATIONS &
ADDITION FOR:
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A.P.N.: 010-251-003

OWNER:
McLEOD GROUP, INC.
112 LAKE ST. SUITE #200
KIRKLAND, WA 98033
T: 425-985-0555

REVISIONS:
1 08-19-2020 - RFI #1
2 09-18-2020 - RFI 2
3 10-01-2020 - PLANNING REV
4 04-20-2022 DESIGN SHOT REV.

OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: THB/ADS/TMK

PRINT DATE: 10-07-2020

DRAWING DATE: 10-07-2020

PAGE TITLE:

TITLE SHEET

SCALE: NONE

SHEET:

A0.1

OF SHEETS

CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED

Permit #: DS 22-139 (McLeod)

Date Approved: 6/15/2022

Planner: M. Waffle

JOB COPY

REVIEWED FOR CODE COMPLIANCE
JOB COPY
Date: 10/7/2020 Permit #: 20-209
Issued By: Sullivan Casey-Lang
ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES

THOMAS BATEMAN HOOD
SW Corner of Lincoln & 4th Ave.
Carmel, California 93921
P.O. Box 4916
831-522-9912
tom@t-b-hood.com
www.thomasbatemanhood.com

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7 NW OF OCEAN ON
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CARMEL, CA 93921
A.P.N.: 010-251-003

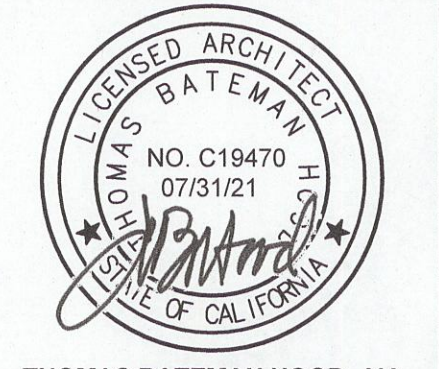
OWNER:
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112 LAKE ST. SUITE #200
KIRKLAND, WA 98033
T: 425-985-0555

REVISIONS:

1	08-19-2020 - RFI #1
2	09-18-2020 - RFI 2
3	10-01-2020 - PLANNING REV
4	4-20-2021 REV.

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

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PRINT DATE: 10-07-2020

DRAWING DATE: 10-07-2020

PAGE TITLE:

PROPOSED SITE PLAN

SCALE: NOTED

SHEET:

A1.2

OF SHEETS

APN: 010-251-002

GARAGE

ROOF ELEV. = 1004.6'
(FLAT ROOF)

FND MON 3/4 IP TAGGED...4974

6" HIGH WOOD FENCE

WOOD FENCE

(N90° 00' 00"W 100.00' R1)

TRASH AREA
(WOOD DECKING)

A.D.U.

PROPOSED WORK
TO BE SUBMITTED
UNDER SEPARATE
PERMIT

5
994.63'
CP3 /MAG-TN FLUSH IN N
LY END RR TIE 5' W LY
OF SE LY COR GARAGE

(N) 42" HIGH WOOD
GUARDRAIL & GATE

CASANOVA STREET
(A 50 FOOT WIDE CITY STREET)

(N00° 00' 00"E 40.00' R1)

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DS 22-139 (McLeod)
Date Approved: 5/15/2022
Planner: M. Waffle

NOTE:

- EXISTING SITE PLAN BASED ON ORIGINAL SURVEY; SEE A1.0.
- SEE C1.0 FOR GRADING AND DRAINAGE PLAN.

KEY NOTES: (XX)

1. NEW ASPHALT APRON
2. EXISTING DRIVEWAY
3. NEW WOOD DECK/WALKING BRIDGE; SEE EXTERIOR ELEVATIONS ON SHEET A3.2 & A3.3.
4. (E) TREE TO BE REMOVED.
5. NEW SINGLE FAMILY RESIDENCE PER PROPOSED PLANS ON SHEETS A2.2 & A2.3.
6. NEW DETACHED GARAGE PER PROPOSED PLANS ON SHEET A2.3.
7. NEW WOOD DECK AT MAIN FLOOR; SEE SHEET A2.3.
8. NEW WOOD DECK AT LOWER FLOOR; SEE SHEET A2.2.
9. EXISTING GRADE TO BE MODIFIED PER PROPOSED GRADING PLAN ON C1.0.
10. FOR ALL PROPOSED GRADES, SEE GRADING PLAN ON SHEET C1.0.
11. NEW PG&E GAS MAIN
12. EXISTING WATER MAIN LOCATION TO REMAIN.
13. 2"x3" SECONDARY ROOF DRAIN; 2" ABOVE FINISH SURFACE.

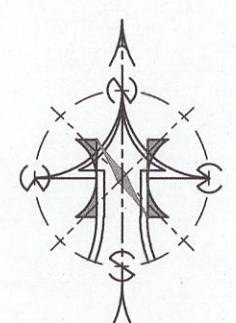
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Date: _____ Permit #: _____
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ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES

STAIR REVISION
SITE PLAN

1/4" = 1'-0"



016

LEGEND:

- (N) 2x4 FRAMING
- (E) 2x4 FRAMING
- (E) 2x4 FRAMING TO BE ALTERED
- (E) 2x4 FRAMING TO BE REMOVED

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

1. LAVATORY: SEE SECTION 1.4 IN "CODE COMPLIANCE" ON THIS PAGE FOR FLOW RESTRICTIONS.
2. TOILET: SEE SECTION 1.1 & SECTION 4 IN "CODE COMPLIANCE" FOR FLOW RESTRICTIONS & REQUIREMENTS.
3. SHOWER w/ TILE SURROUND: SEE SECTIONS 1.2, 1.3 & SECTION 3 IN "CODE COMPLIANCE" FOR FLOW RESTRICTIONS AND REQUIREMENTS.
4. WATER BOILER LOCATION: SEE MECHANICAL PLANS FOR REQUIREMENTS.
5. STAIRS: SEE SECTION 7 IN "CODE COMPLIANCE" FOR REQUIREMENTS.
6. GARAGE: SEE SECTION 5 IN "CODE COMPLIANCE" FOR REQUIREMENTS.
7. BATHROOM: SEE SECTION 8 IN "CODE COMPLIANCE" FOR REQUIREMENTS.
8. KITCHEN: SEE SECTION 9 IN "CODE COMPLIANCE" FOR REQUIREMENTS.
9. LOCATION OF PG&E ELECTRICAL SUB-PANEL; SEE ELECTRICAL PLANS.
10. GAS FIREPLACE - HEAT & GLOW SL-3X-IFT, VENT THROUGH NORTH WALL.
11. WOOD DECK: SEE SECTION 10 IN "CODE COMPLIANCE" ON SHEET A2.0 FOR REQUIREMENTS.
12. PG&E POWER MAIN; SEE ELECTRICAL PLANS.
13. GAS FIRE PIT; SEE EQUIPMENT SCHEDULE.
14. KITCHEN SINK: SEE SECTION 1.5 IN "CODE COMPLIANCE" ON SHEET A2.0 FOR FLOW RESTRICTIONS.

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 P.O. Box 4816
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 tom@t-hood.com
 www.thomasbatemanhood.com

PROJECT:
 ALTERATIONS &
 ADDITION FOR:
 PINE TREES LOT 3
 7 NW OF OCEAN ON
 CASANOVA ST.
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 A.P.N.: 010-251-003

OWNER:
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 T: 425-985-0555

REVISIONS:

1	08-19-2020 - RFI #1
2	09-18-2020 - RFI 2
3	10-01-2020 - PLANNING REV
4	4-26-2022 DESIGN STUDY

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ARCHITECTURAL STAMP:



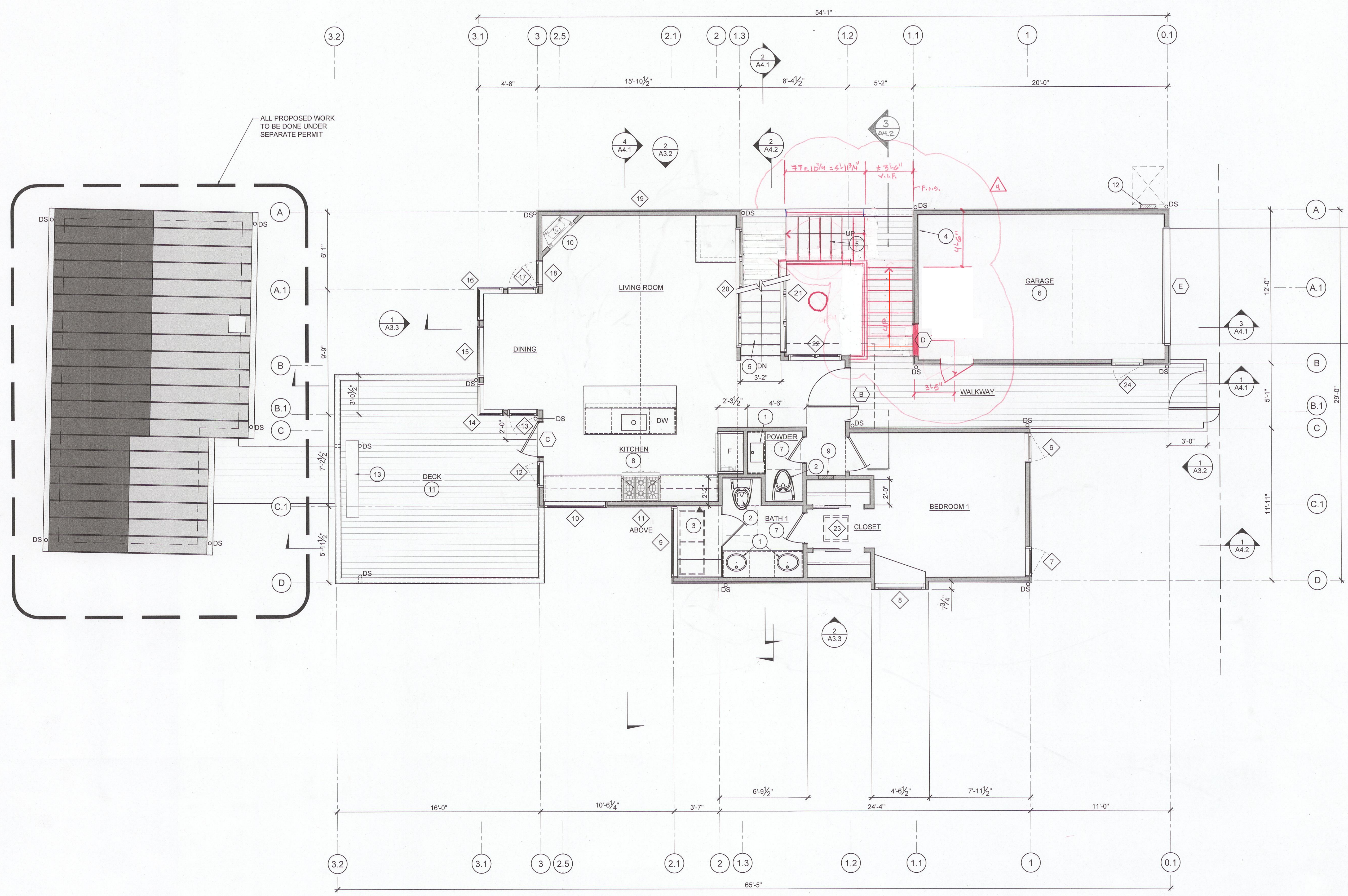
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 CARMEL, CA
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 DRAWING DATE: 10-07-2020

PAGE TITLE:

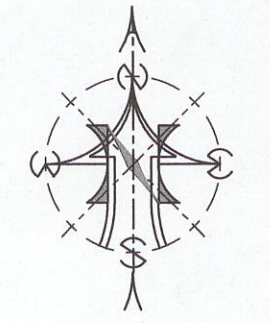
PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
 SHEET:

A2.3



ALL PROPOSED WORK TO BE DONE UNDER SEPARATE PERMIT



STAIR REVISION
MAIN FLOOR PLAN

1/4" = 1'-0"

CARMEL-BY-THE-SEA PLANNING DIVISION APPROVED

Permit #: DS 22-139 (McLeod)
 Date Approved: 5/15/2022
 Planner: M. Waffle

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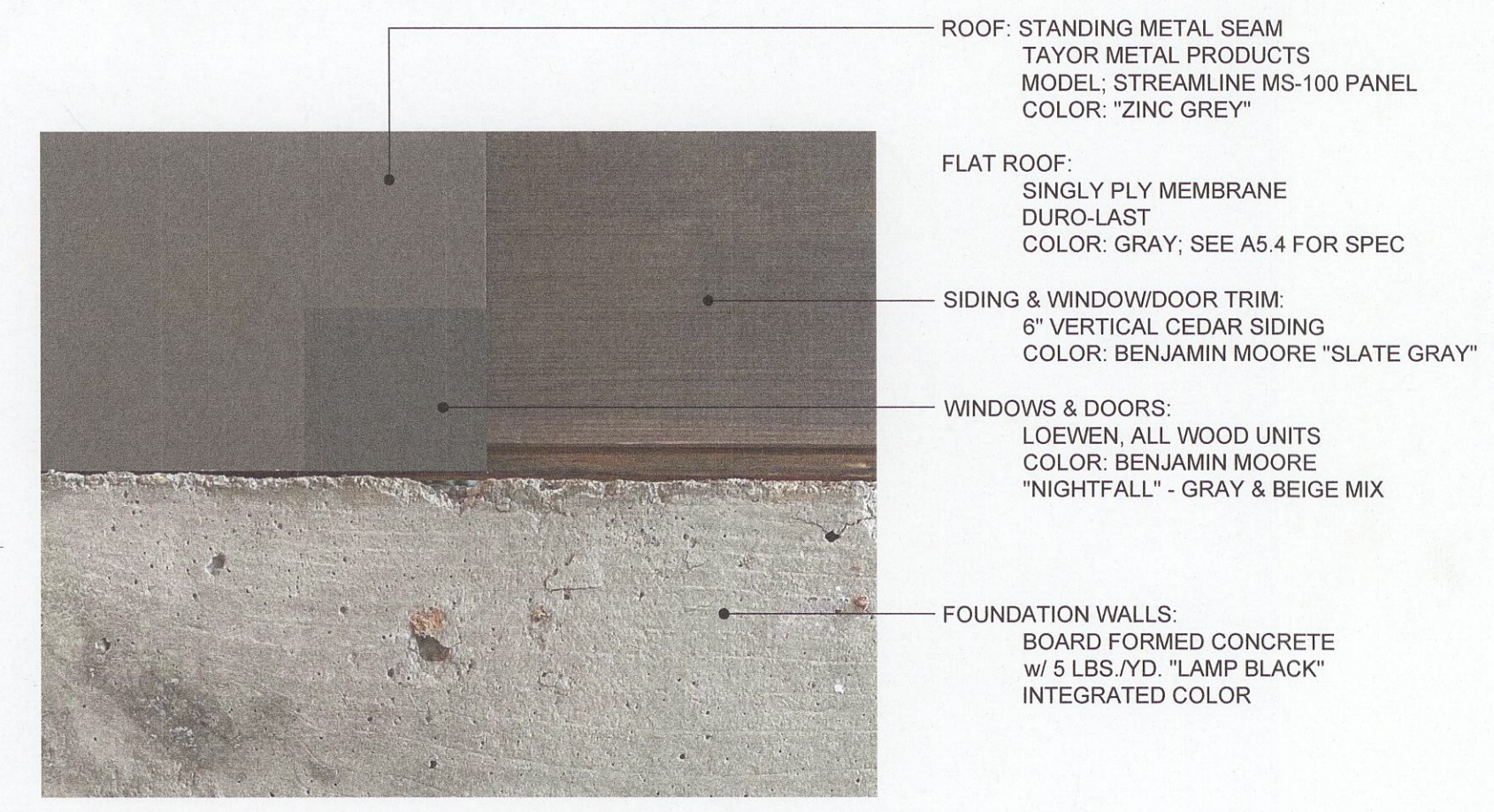
1	08-19-2020 - RFI #1
2	09-18-2020 - RFI 2
3	10-01-2020 - PLANNING REV
4	4-20-2022 STAIR REV

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ARCHITECTURAL STAMP:
LICENSED ARCHITECT
THOMAS BATEMAN
NO. C19470
07/3/21
STATE OF CALIFORNIA

THOMAS BATEMAN HOOD, AIA
CARMEL, CA
DRAWN BY: **THB/ADS/TMK**
PRINT DATE: **10-07-2020**
DRAWING DATE: **10-07-2020**

PAGE TITLE:
PROPOSED ELEVATIONS
SCALE: 1/4" = 1'-0"
SHEET:
A3.2
OF SHEETS



- ROOF: STANDING METAL SEAM
TAYLOR METAL PRODUCTS
MODEL: STREAMLINE MS-100 PANEL
COLOR: "ZINC GREY"
- FLAT ROOF:
SINGLY PLY MEMBRANE
DURO-LAST
COLOR: GRAY; SEE A5.4 FOR SPEC
- SIDING & WINDOW/DOOR TRIM:
6" VERTICAL CEDAR SIDING
COLOR: BENJAMIN MOORE "SLATE GRAY"
- WINDOWS & DOORS:
LOEWEN, ALL WOOD UNITS
COLOR: BENJAMIN MOORE
"NIGHTFALL" - GRAY & BEIGE MIX
- FOUNDATION WALLS:
BOARD FORMED CONCRETE
w/ 5 LBS./YD. "LAMP BLACK"
INTEGRATED COLOR

MAJOR MATERIALS

1. STEEL STANDING SEAM ROOFING, 16" o.c.
2. COPPER GUTTERS & DOWNSPOUTS
3. VERTICAL CEDAR SIDING, PAINT GRADE
4. HORIZONTAL CEDAR SIDING, PAINT GRADE
5. MASONRY CHIMNEY: EXISTING
6. WOOD WINDOWS, PAINT GRADE
7. WOOD DOORS, PAINT GRADE
8. WOOD TRIM, PAINT GRADE
9. IPE HARDWOOD DECKING
10. BOARD FORMED CONCRETE w/ INTEGRATED COLOR

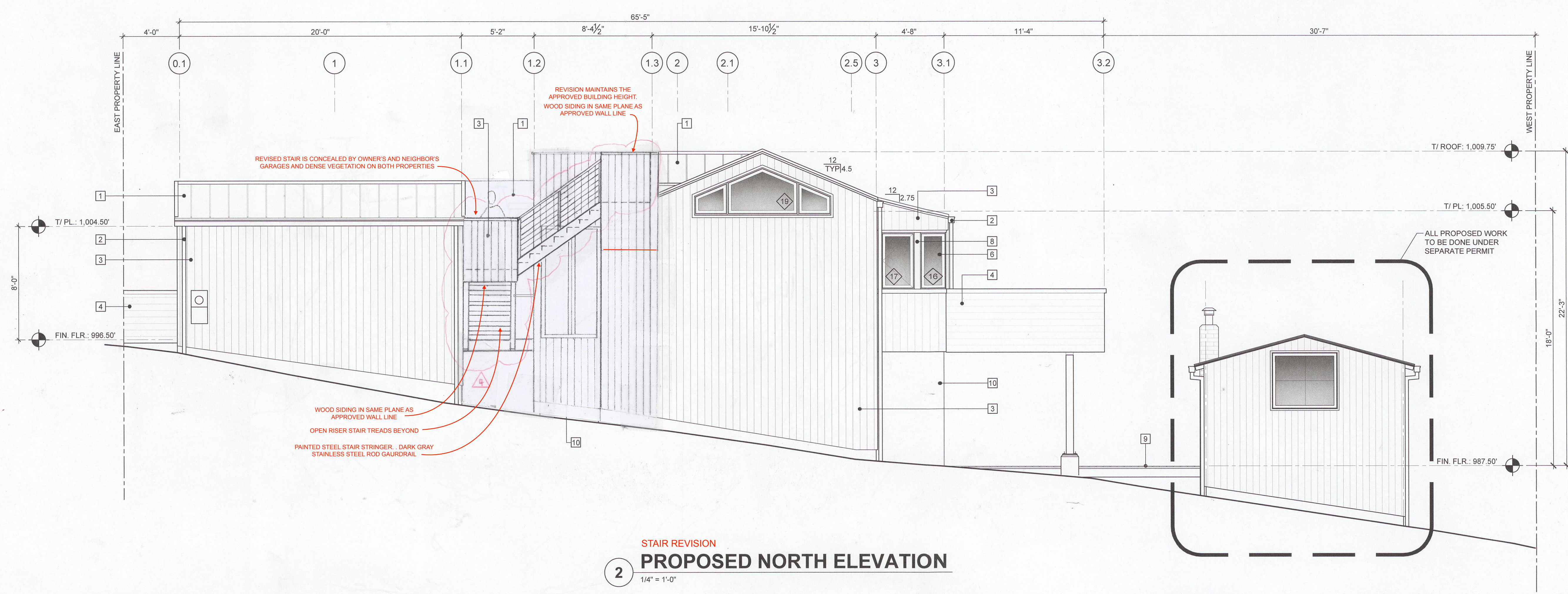
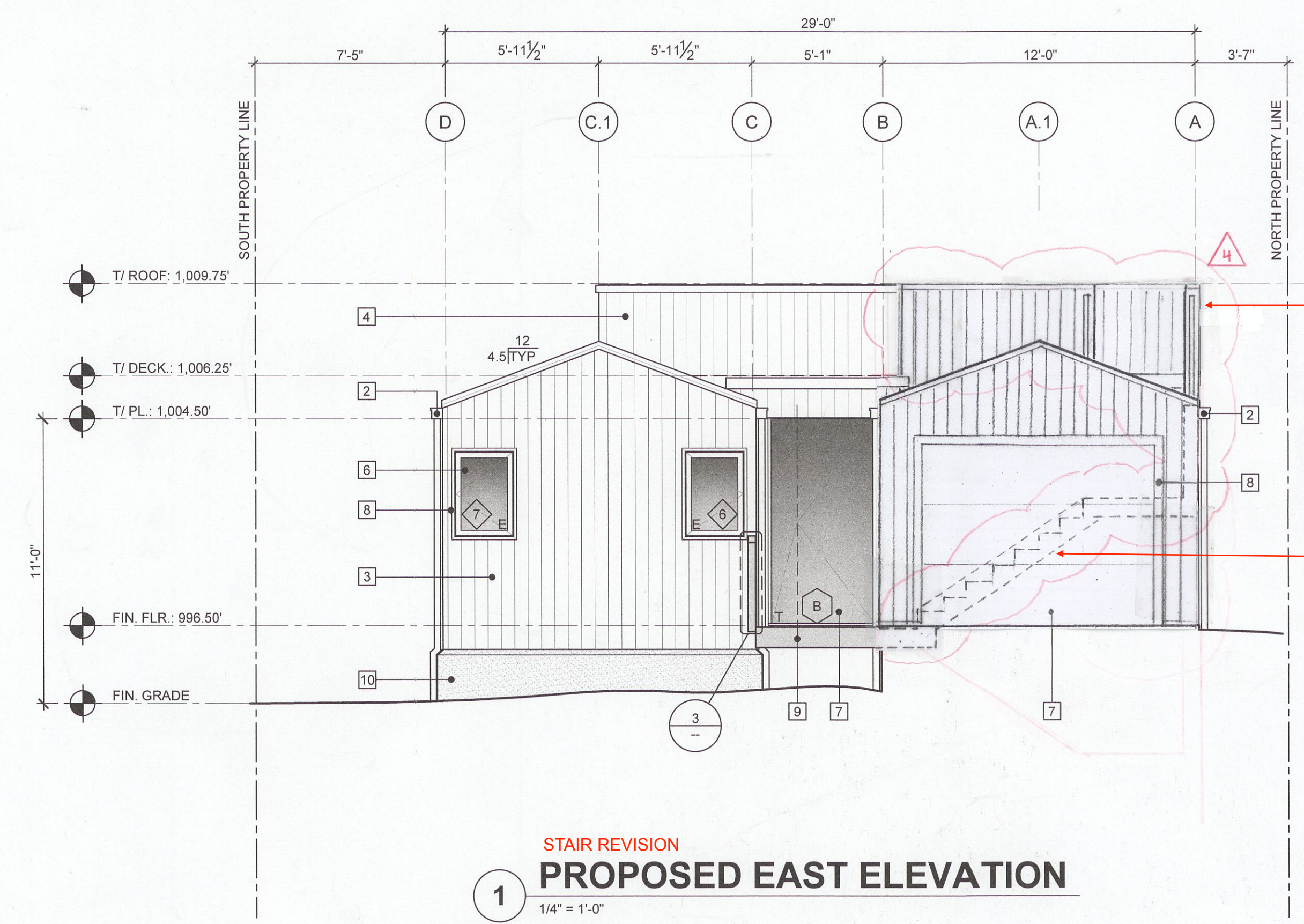
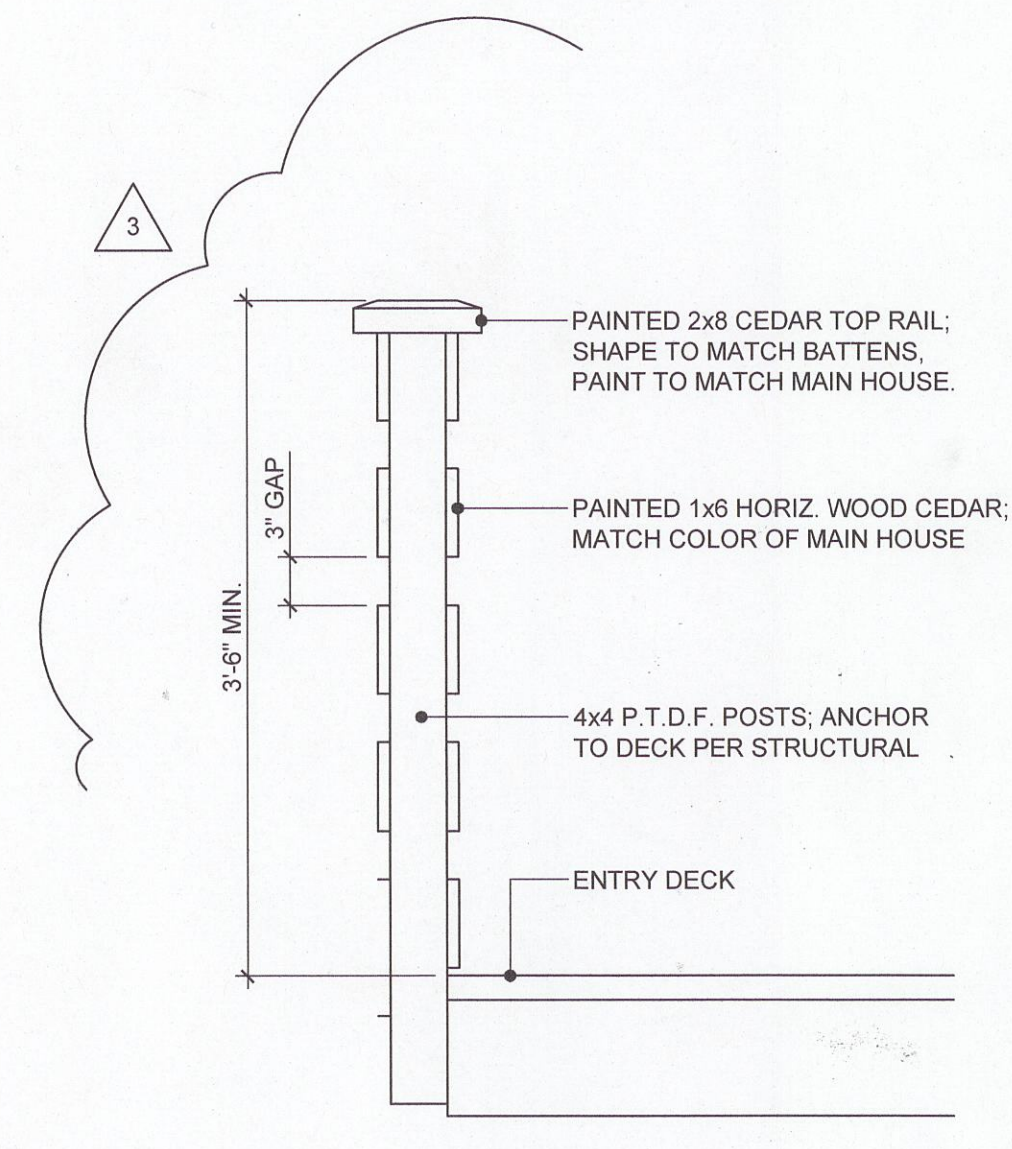
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PLANNING DIVISION
APPROVED**

Permit #: **DS 22-139 (McLeod)**
Date Approved: **6/15/2022**
Planner: **M. Waffle**

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 CARMEL, CA

DRAWN BY: THB/ADS/TMK

PRINT DATE: 10-07-2020

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PAGE TITLE:

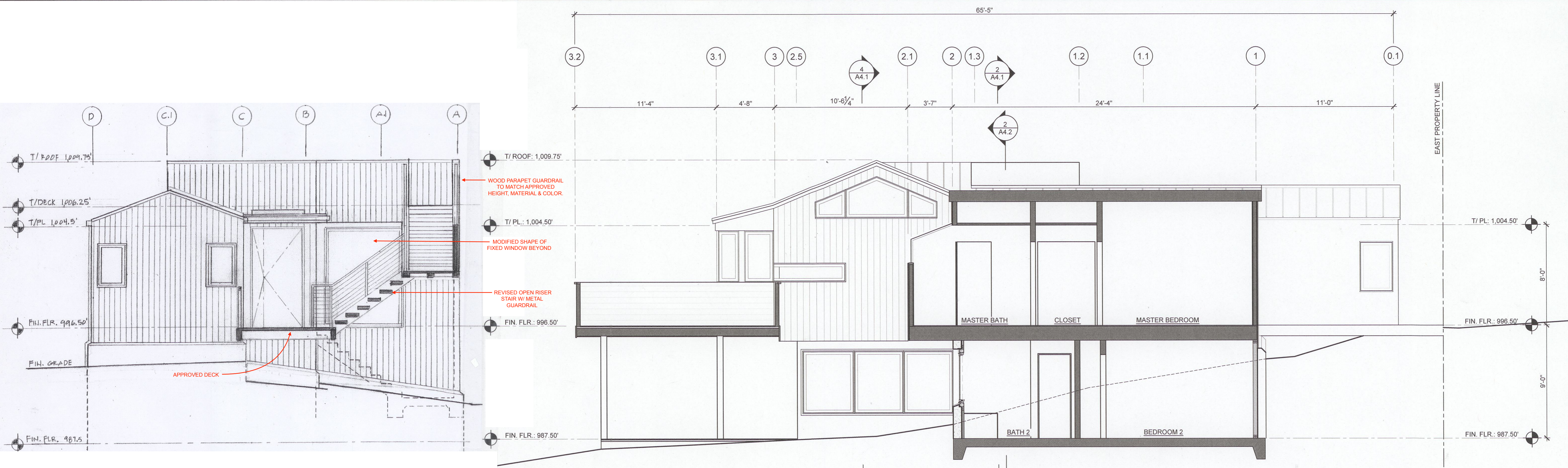
SECTIONS

SCALE: 1/4" = 1'-0"

SHEET:

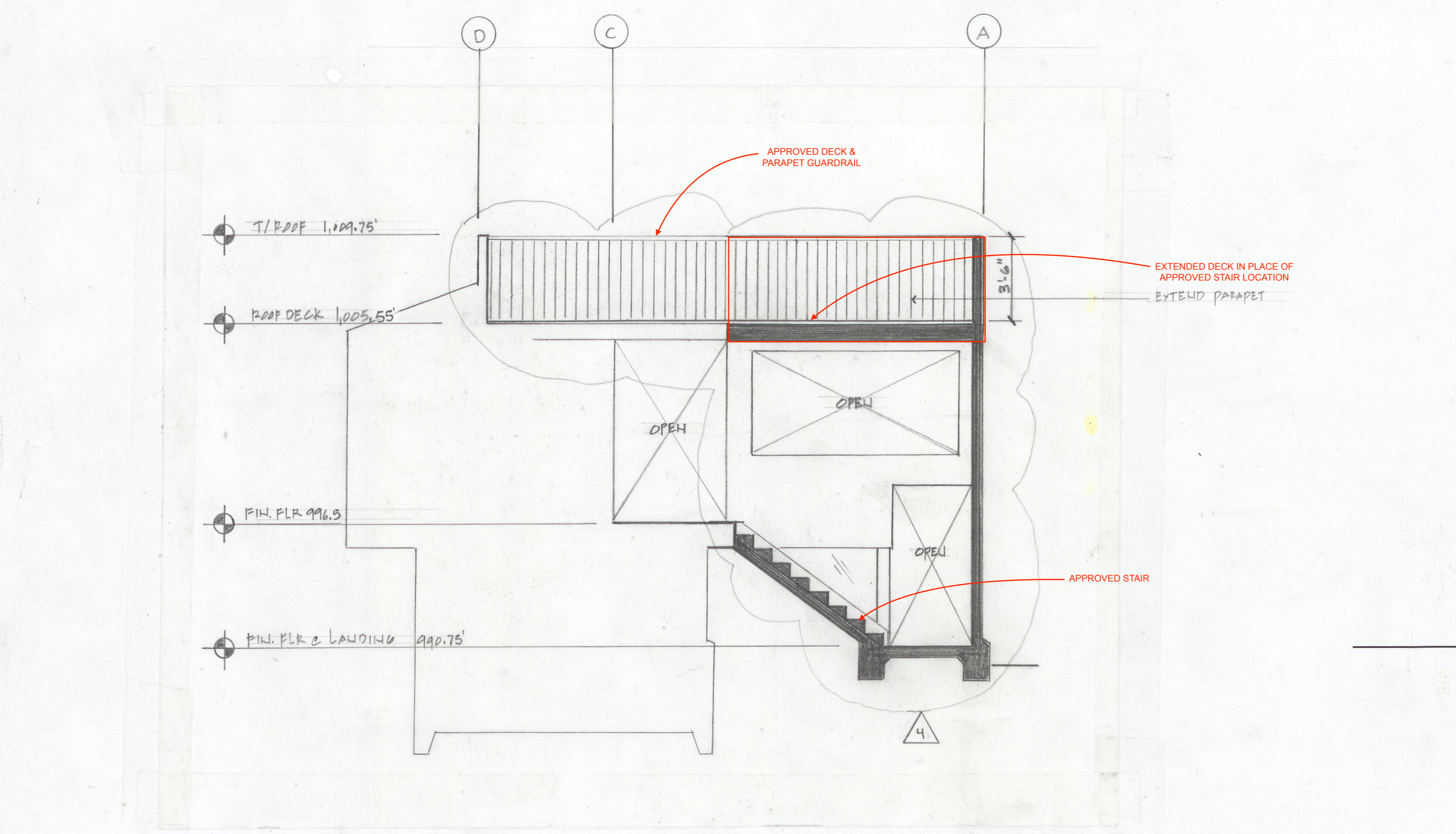
A4.2

OF SHEETS



1 SECTION E-E
 1/4" = 1'-0"

3 PROPOSED STAIR REVISION
 SECTION @ EXTERIOR STAIR - VIEW WEST
 1/4" = 1'-0"



2 SECTION F-F
 1/4" = 1'-0"

4 PROPOSED STAIR REVISION
 REVISED SECTION @ STAIR F-F
 1/4" = 1'-0"

CARMEL-BY-THE-SEA PLANNING DIVISION APPROVED

Permit #: DS 22-139 (McLeod)

Date Approved: 6/15/2022

Planner: M. Waffle

SEE REVISED SECTION AT LEFT

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 Issued By: _____

ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES