



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22138

Owner Name: MCLEOD STUART M

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 06/15/2022

Project Location: Casanova 8 NW of Ocean

APN #: 010251034000 **BLOCK/LOT:** FF/21

Applicant: Thomas Hood, Architect

Project Description: This approval of Design Study application DS 22-138 (McLeod) authorizes raising the detached garage by 1'-2" to avoid significant tree roots, adding a 21 square-foot raised walkway to connect the garage man door on the south elevation of the garage to the previously approved walkway, and increasing the size of the main floor rear deck by 49 square feet, located on Casanova 8 NW Ocean Avenue (also known as Lot 2) in the Single-Family Residential (R-1) District as depicted in the plans prepared by Thomas Bateman Hood Architecture stamped approved by the Community Planning & Building Department on June 15, 2022, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

THOMAS BATEMAN HOOD
 SW Corner of Lincoln & 4th Ave.
 Carmel, California 93921
 P.O. Box 4916
 831 - 622 - 9912
 tom@thood.com
 www.thomasbatemanhood.com

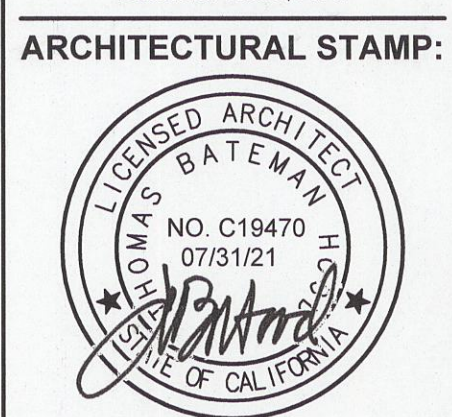
PROJECT:
 NEW RESIDENCE FOR:
 PINE TREES
 LOT 2
 7 NW OF OCEAN ON
 CASANOVA ST.
 CARMEL, CA 93921
 A.P.N.: 010-251-003

OWNER:
 McLEOD GROUP, INC.
 112 LAKE ST. SUITE #200
 KIRKLAND, WA 98033
 T: 425-985-0555

REVISIONS:

1	08-19-2020 - RFI #1
2	09-08-2020 - RFI #2
3	04-20-2021 - REV

OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS
 The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.



THOMAS BATEMAN HOOD, AIA
 CARMEL, CA
 DRAWN BY: THB/ADS/TMK
 PRINT DATE: 10-07-2020
 DRAWING DATE: 10-07-2020

PAGE TITLE:
 PROPOSED LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SHEET:
A2.1
 OF SHEETS

Revised JOB COPY



REVIEWED FOR CODE COMPLIANCE
 JOB COPY
 Date: _____ Permit #: _____
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ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES

LEGEND:

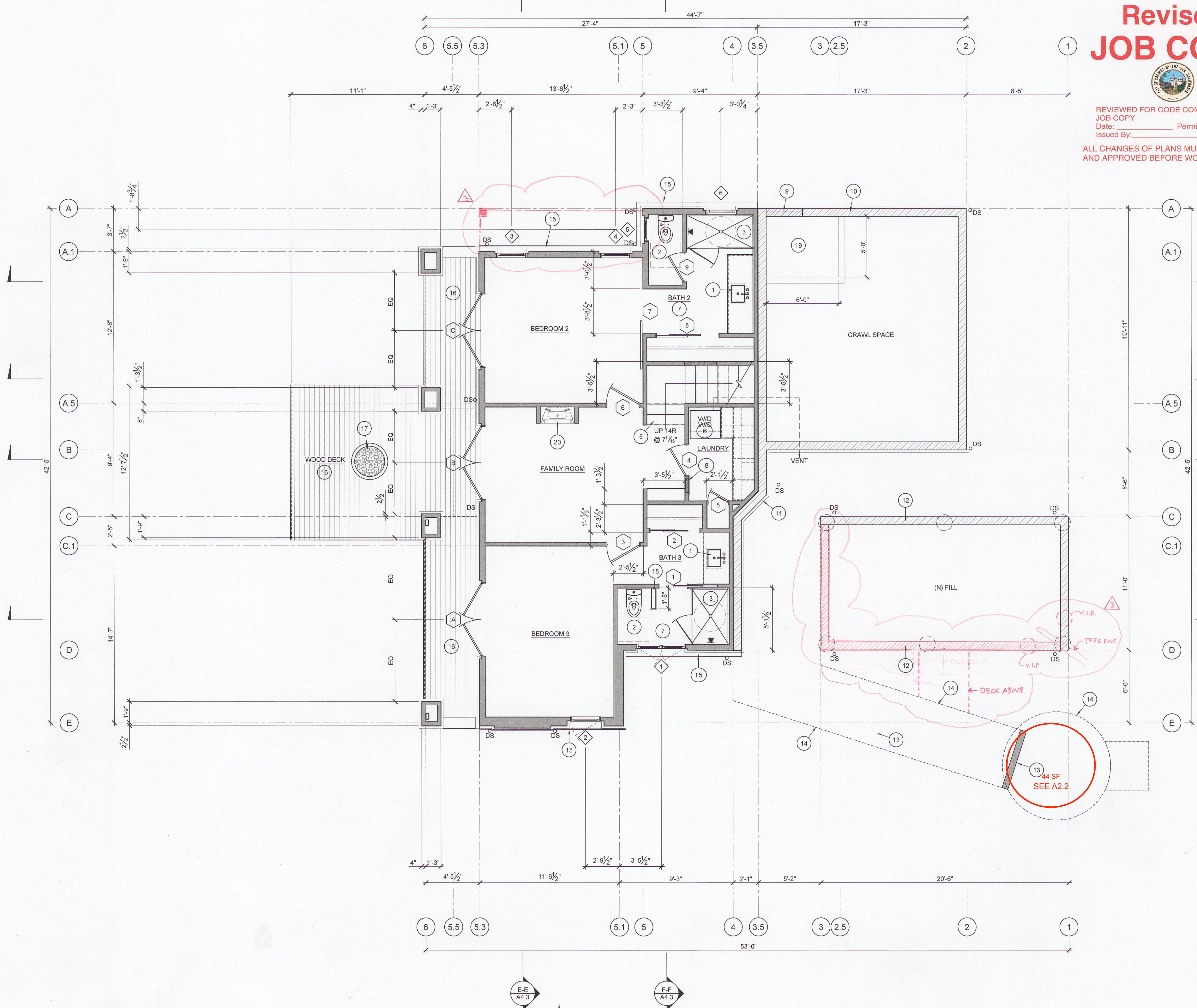
- (N) 2x4 FRAMING
- (E) 2x4 FRAMING

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

1. LAVATORY: SEE SECTION 1.4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
2. TOILET: SEE SECTION 1.1 & SECTION 4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS & REQUIREMENTS.
3. SHOWER w/ TILE SURROUND: SEE SECTIONS 1.2, 1.3 & SECTION 3 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS AND REQUIREMENTS.
4. MECHANICAL EQUIPMENT PER MECHANICAL PLANS; SEE SECTION 6 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
5. STAIRS: SEE SECTION 7 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
6. CLOTHES DRYER: SEE SECTION 2 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
7. BATHROOM: SEE SECTION 10 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
8. LOCATION OF PG&E ELECTRICAL SUB-PANEL; SEE ELECTRICAL PLANS.
9. MIN. 30"x24" CRAWL SPACE ACCESS. ACCESS PANEL SHALL BE SOLID WOOD DOOR OR SOLID OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 1/2" THICK OR 20 MIN. FIRE RATED PER CRC 302.5.1.
10. FOUNDATION PER STRUCTURAL.
11. RETAINING WALL PER STRUCTURAL.
12. GARAGE FOUNDATION PER STRUCTURAL.
13. WALKWAY FOUNDATION PER STRUCTURAL.
14. WALKWAY ABOVE: SEE A2.2.
15. CONCRETE STEM WALL PER STRUCTURAL.
16. WOOD DECK: SEE SECTION 16 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
17. GAS FIRE PIT: SEE SCHEDULES.
18. 42" HIGH PONY WALL.
19. MECHANICAL EQUIPMENT LOCATION IN CRAWL SPACE; PROVIDE 5'-0" CLEARANCE UNDER FLOOR FRAMING. SEE MECHANICAL PLANS FOR EQUIPMENT INFO AND DETAILS.
20. GAS FIREPLACE - HEAT & GLOW SL-3X-1FT; VENT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS.
21. MIN. 30"x22" UNDER-STAIR ACCESS.



PROPOSED LOWER FLOOR PLAN

1/4" = 1'-0"

**CARMEL-BY-THE-SEA
 PLANNING DIVISION
 APPROVED**

Permit #: DS 22-138 (McLeod)
 Date Approved: 6/15/2022
 Planner: M. Waffle

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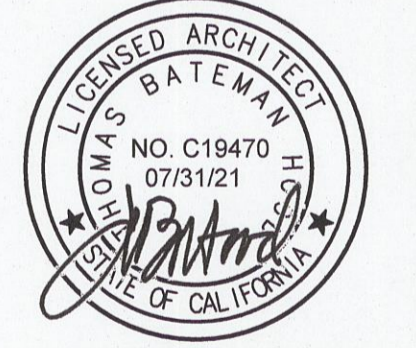
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 McLEOD GROUP, INC.
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3	04-10-2022 REV

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

DRAWN BY: THB/ADS/TMK

PRINT DATE: 10-07-2020

DRAWING DATE: 10-07-2020

PAGE TITLE:

PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET:

A2.2

OF SHEETS

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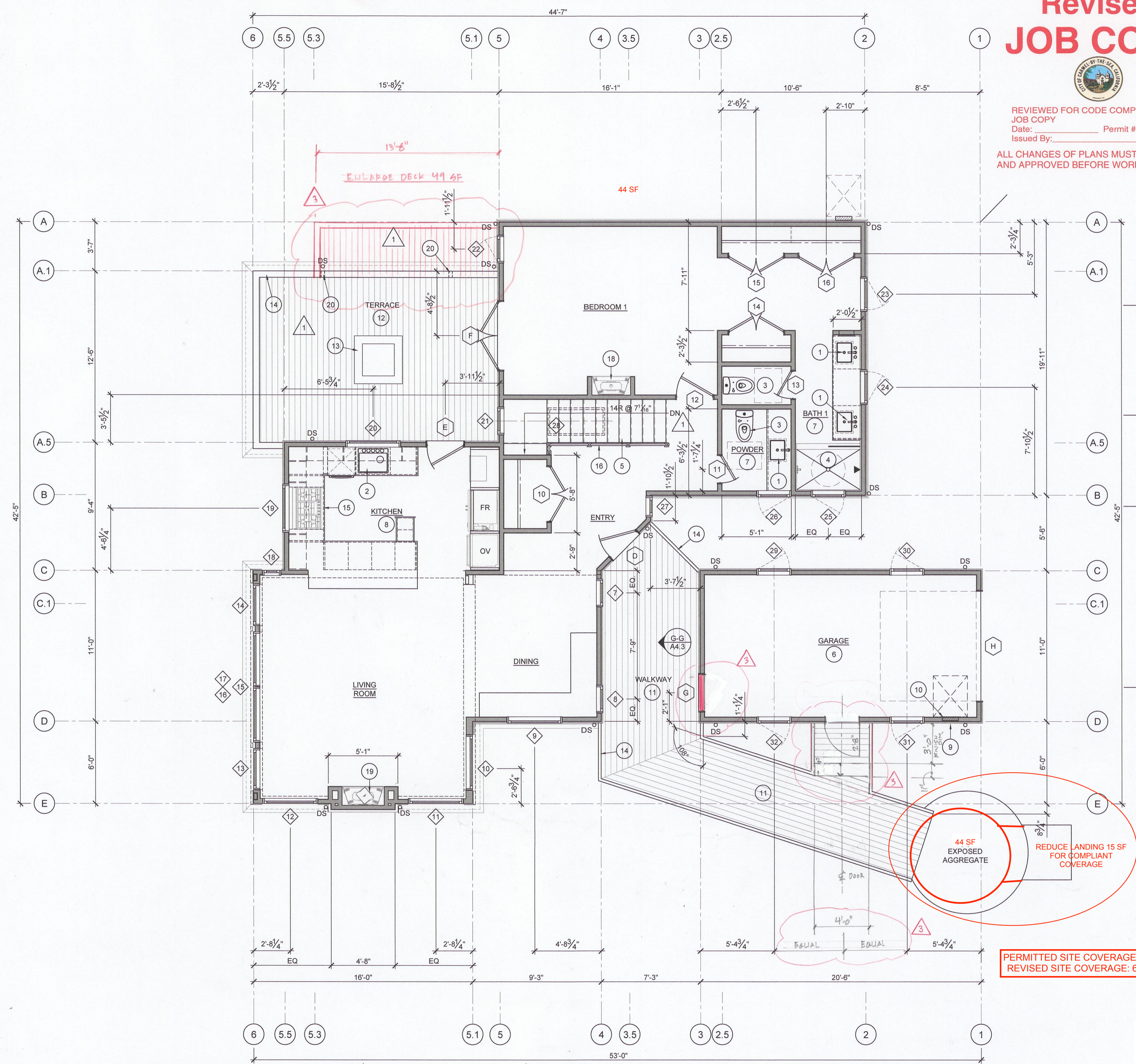
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KEY NOTES: (XX)

- LAVATORY; SEE SECTION 1.4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
- KITCHEN SINK; SEE SECTION 1.8 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
- TOILET; SEE SECTION 1.1 & SECTION 4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS & REQUIREMENTS.
- SHOWER w/ TILE SURROUND; SEE SECTIONS 1.2, 1.3 & SECTION 3 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS AND REQUIREMENTS.
- STAIRS; SEE SECTION 7 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- GARAGE; SEE SECTION 5 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- BATHROOM; SEE SECTION 10 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- KITCHEN; SEE SECTION 11 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- LOCATION OF PG&E ELECTRICAL MAIN & METER; SEE ELECTRICAL PLANS.
- LOCATION OF PG&E ELECTRICAL PANEL; SEE ELECTRICAL PLANS.
- WOOD WALKWAY; SEE SECTION 16 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- WOOD TERRACE; SEE SECTION 16 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
- GAS FIRE TABLE; SEE SCHEDULES.
- 42" HIGH WOOD AND CABLE GUARDRAIL.
- COOKTOP w/ DOWNDRAFT VENTILATION.
- 42" HIGH GLASS GUARDRAIL. SEE 1/A5.4 FOR MFGR'S INSTALLATION DETAILS.
- 42" HIGH PONY WALL.
- GAS FIREPLACE - HEAT & GLOW SL-3X-1FT; VENT THROUGH ROOF.
- GAS FIREPLACE - HEAT & GLOW SL-5X-1FT; VENT THROUGH ROOF.
- 2"x3" SECONDARY ROOF DRAIN @ 2" ABOVE FINISH SURFACE OF DECK.

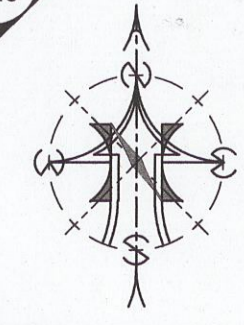


PERMITTED SITE COVERAGE: 672.0 SF
 REVISED SITE COVERAGE: 669.28 SF

**CARMEL-BY-THE-SEA
 PLANNING DIVISION
 APPROVED**

Permit #: DS 22-138 (McLeod)
 Date Approved: 6/15/2022
 Planner: M. Waffie

PROPOSED MAIN FLOOR PLAN



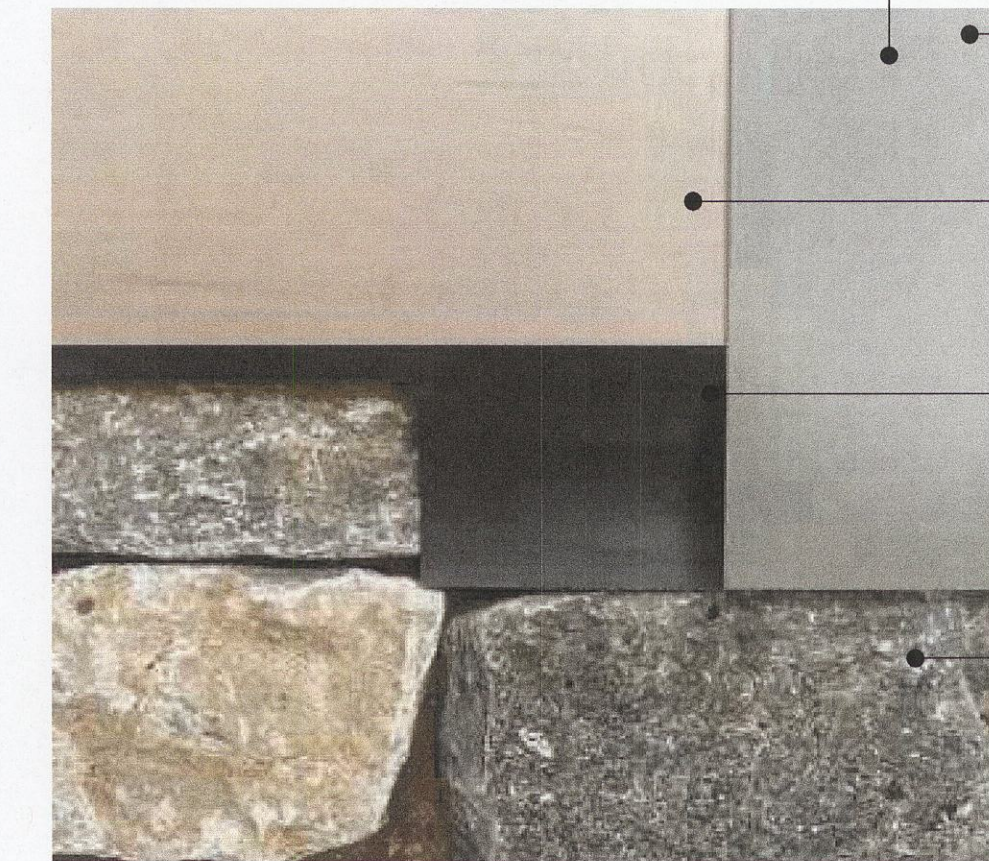
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- 1 ROOF: STANDING METAL SEAM
TAYLOR METAL PRODUCTS
COLOR: "ZINC GREY"
- 2 FLAT ROOF: SINGLY PLY MEMBRANE
DURO-LAST
COLOR: GRAY; SEE
A5.4 FOR SPEC
- 3 WALLS: 6" VERTICAL CEDAR SIDING
COLOR: BENJAMIN MOORE
"BRIARWOOD"
- 4 WINDOWS & DOORS:
SIERRA PACIFIC, ALL WOOD
UNITS
COLOR: BENJAMIN MOORE
"NIGHTFALL" - GRAY &
BEIGE MIX
- 5 FOUNDATION WALLS & CHIMNEY:
"CHIEF CLIFF" THIN STONE
VENEER
WIDE COLOR MIX

THOMAS BATEMAN HOOD ARCHITECTURE

THOMAS BATEMAN HOOD
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P.O. Box 4916
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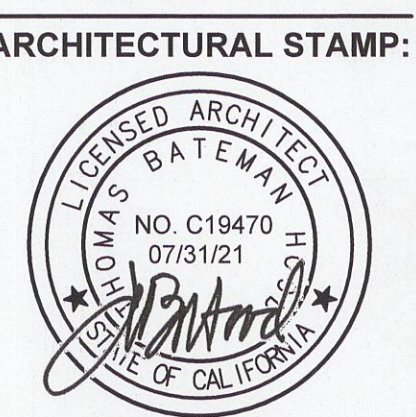
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PAGE TITLE:
PROPOSED ELEVATIONS

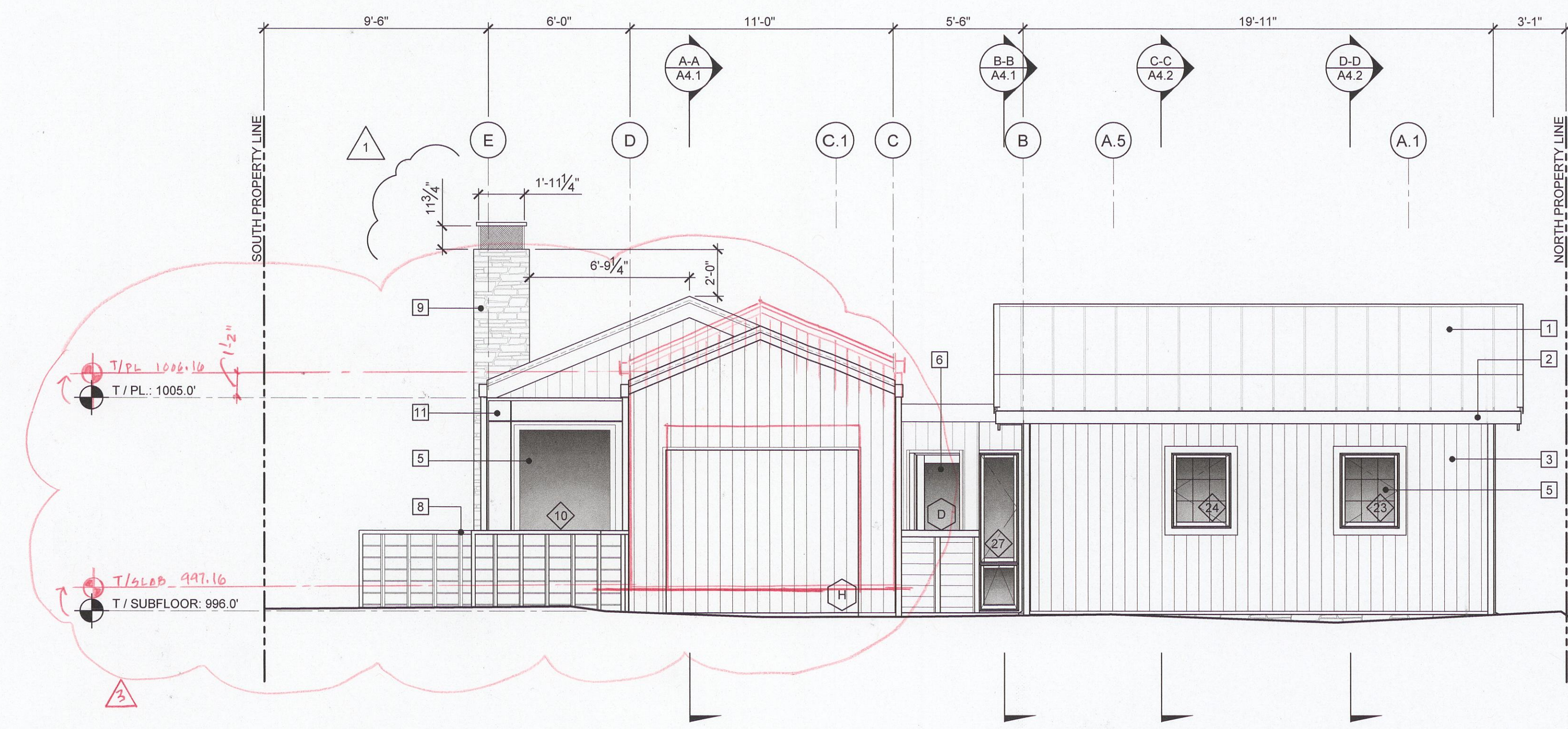
SCALE: 1/4" = 1'-0"

SHEET:

Permit #: DS 22-138 (McLeod)
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Planner: M. Waffle

A3.1

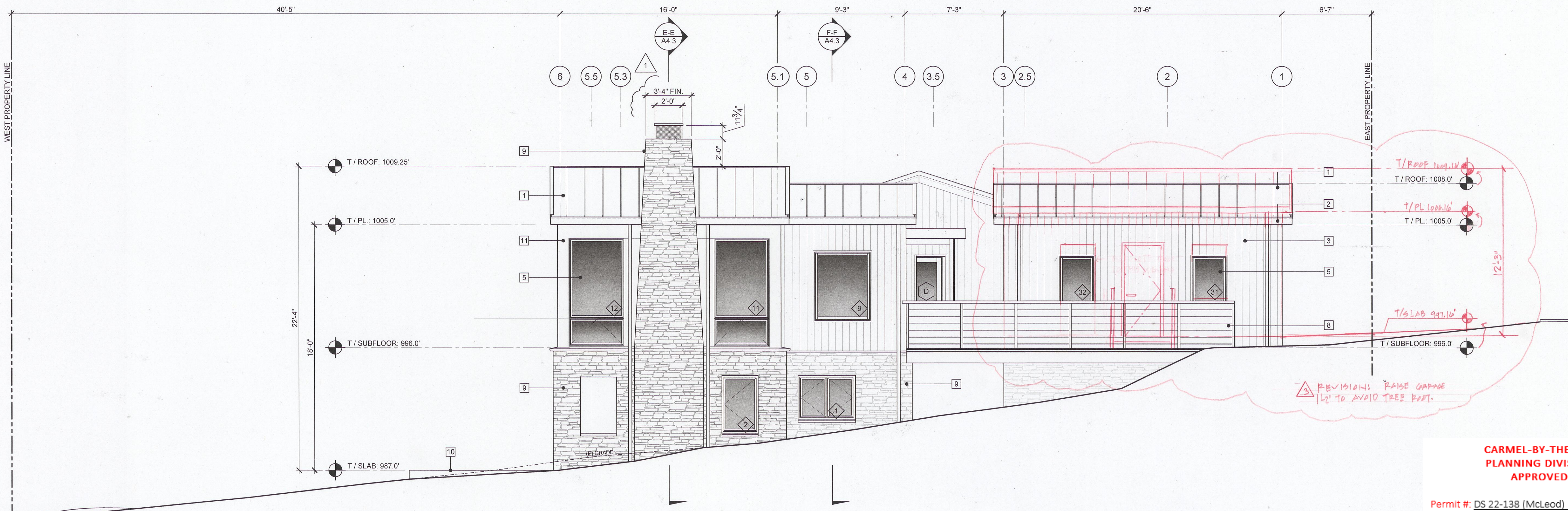
OF SHEETS



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

MAJOR MATERIALS

1. STEEL STANDING SEAM ROOFING, 16" o.c.
2. COPPER GUTTERS & DOWNSPOUTS
3. VERTICAL CEDAR SIDING; PAINT
4. HORIZONTAL CEDAR SIDING; PAINT GRADE
5. WOOD WINDOWS; PAINT GRADE
6. WOOD DOORS; PAINT GRADE
7. WOOD TRIM; PAINT GRADE
8. CABLE AND METAL RAILING
9. THIN STONE VENEER
10. IPE HARDWOOD DECKING
11. DECORATIVE STEEL TRIM



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

**CARMEL-BY-THE-SEA
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OWNER:

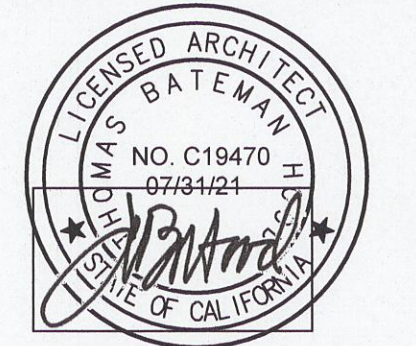
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: THB/ADS/TMK

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**PROPOSED
ELEVATIONS**

SCALE: 1/4" = 1'-0"

SHEET:

A3.2

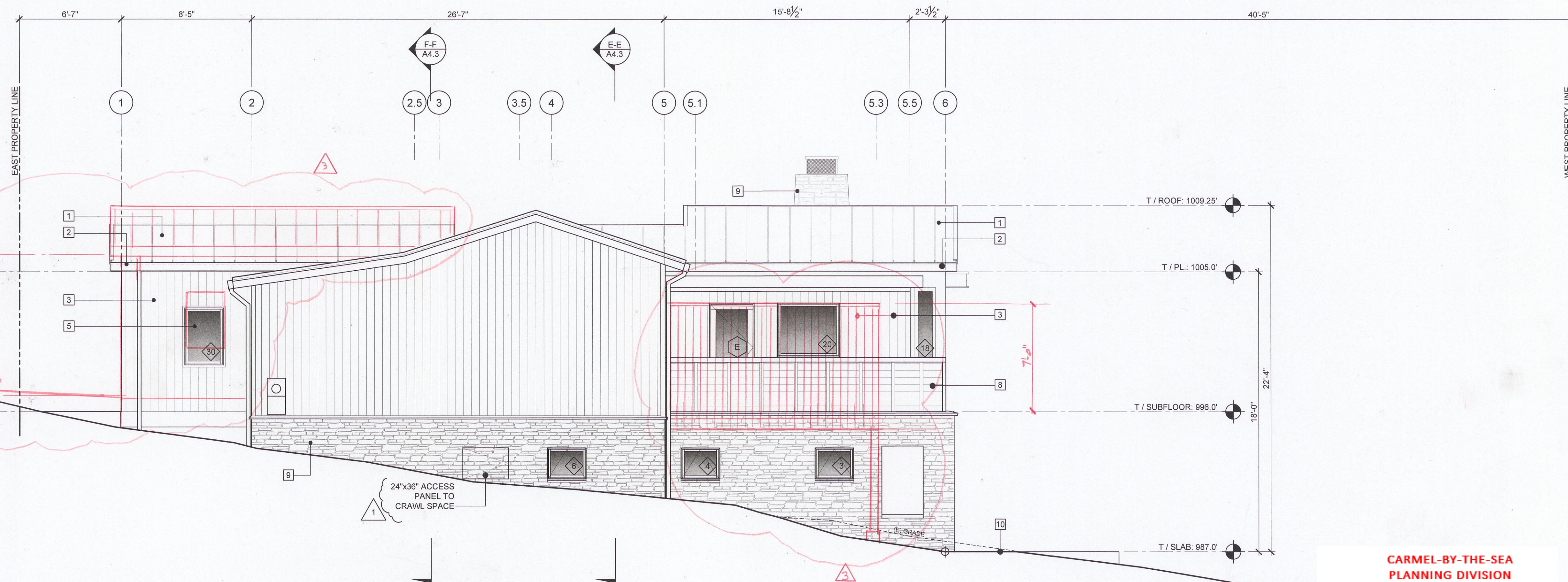
OF SHEETS



1 PROPOSED WEST ELEVATION
1/4" = 1'-0"

MAJOR MATERIALS

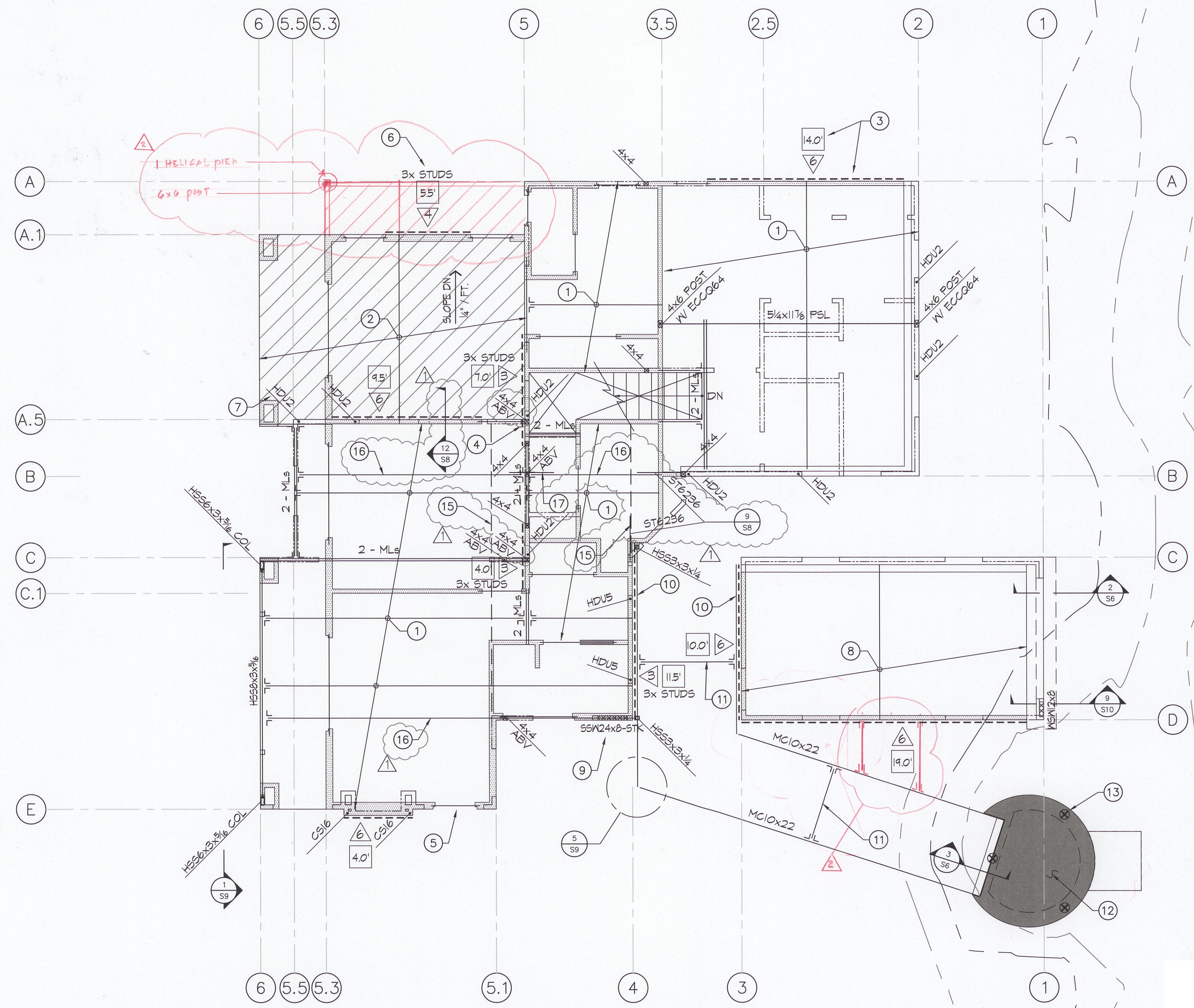
1. STEEL STANDING SEAM ROOFING, 18" o.c.
2. COPPER GUTTERS & DOWNSPOUTS
3. VERTICAL CEDAR SIDING; PAINT
4. HORIZONTAL CEDAR SIDING; PAINT GRADE
5. WOOD WINDOWS; PAINT GRADE
6. WOOD DOORS; PAINT GRADE
7. WOOD TRIM; PAINT GRADE
8. CABLE AND METAL RAILING
9. THIN STONE VENEER
10. IPE HARDWOOD DECKING
11. DECORATIVE STEEL TRIM



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

**CARMEL-BY-THE-SEA
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Planner: M. Waffle



KEYED NOTES

- 1 TYPICAL FLOOR CONSTRUCTION: 3/4" Ecowarm Plus, or equal, over 3/4" CDX T&G plywood glued and nailed w/ 10d @ 6" o.c. edge and 10d @ 10" o.c. field nailing over 11 7/8" TJI IJO joists @ 16" o.c., as manufactured by iLevel Trusjoist by Meyerhaeuser. See Structural Notes, Sheet S1 for minimum design values. No substitutions without the Structural Engineer's approval. Glue shall be applied to a maximum of two panels at a time and all required nailing shall be completed immediately. Use Simpson US1.01/1.02 hangers at flush conditions.
- 2 TYPICAL DECK CONSTRUCTION (shown hatched): 5/4 IPE over 2x4 sleepers over W/P membrane over 3/4" CDX T&G plywood glued and nailed w/ 10d @ 6" o.c. edge and 10d @ 10" o.c. field nailing over 1 3/4"x1 1/4" Microllam joists @ 16" o.c., as manufactured by iLevel Trusjoist by Meyerhaeuser with rippings for slope, see Detail 6/57. See Structural Notes, Sheet S1 for minimum design values. No substitutions without the Structural Engineer's approval. Glue shall be applied to a maximum of two panels at a time and all required nailing shall be completed immediately. Use Simpson THA1.08/22 hangers at flush conditions.
- 3 Shear walls are shown thus on plans: See Shear Wall Schedule, T/58. Top plates over shear walls shall be unspliced, wherever possible. All other top plate splices along shear wall lines shall be strapped with Simpson ST6224 straps w/ 10d x 1 1/2" nails. At all other top plate splices see Typical Detail 1/58.
- 4 Run plywood continuous through wall intersection.
- 5 All headers @ exterior shall be 6x12, unless noted otherwise on plans. See Detail 1/57 at all other headers not called out and for additional information.
- 6 Denotes 3x studs at all vertical panel joints, 3x sill plate, and 3x blocking at all horizontal panel joints. 2-2x studs nailed together w/ 16d @ 12" o.c., staggered, may be used in lieu of 3x studs.
- 7 Holdowns are shown thus on plans: at base of wall to wall or beam below. See Typical Details, Sheet S8.
- 8 GARAGE FLOOR CONSTRUCTION: 3 1/2" N.W. concrete w/ 6x6-W1.4xW1.4 WWF over W/P membrane over 1 1/8" CDX T&G plywood glued and nailed w/ 10d @ 6" o.c. edge and 10d @ 10" o.c. field nailing over 1 3/4"x1 1/4" Microllam joists @ 12" o.c., as manufactured by iLevel Trusjoist by Meyerhaeuser. See Structural Notes, Sheet S1 for minimum design values. No substitutions without the Structural Engineer's approval. Glue shall be applied to a maximum of two panels at a time and all required nailing shall be completed immediately. Use Simpson HU14 hangers at flush conditions.
- 9 Denotes Simpson Strong-Wall. See Sheet S10.
- 10 MC10x22 ledger, see details, Sheet S9
- 11 ENTRY BRIDGE CONSTRUCTION: 3/4" IPE decking over 2x8 PTDF joists @ 16" o.c. Use Simpson HU28 hangers, ea end, welded to MC10x w/ 1/16" fillet weld ea side.
- 12 ENTRY BRIDGE LANDING: 5" structural concrete slab (shown shaded), See Detail 10/55, similar.
- 13 Denotes Helical drilled pier, see Detail 8/55, with 25 kip vertical capacity. Torque on piers and depth into bearing strata to be determined by field test, see Structural Notes, Sheet S1. See geotechnical report for estimated length of piers.
- 14 See architectural drawings for details, specifications and installation of all waterproof membranes.
- 15 CS16 collector strap, see Detail 2/58.
- 16 Microllam collector w/ 10d @ 6" o.c., entire length
- 17 ST6236 strap over plywood to collector.

Structural observation by an independent testing and inspection agency is required during construction to verify conformance to approved drawings. See Structural Notes, Sheet S1.

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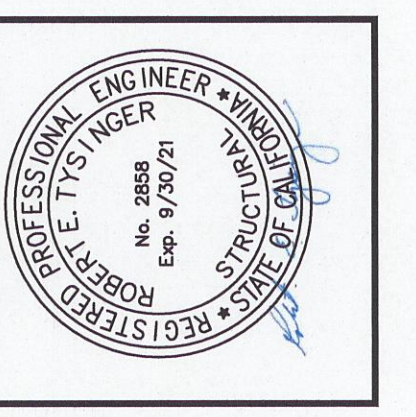
	ROOF LINE
	WALLS ABOVE
	WALLS BELOW

1 MAIN FLOOR FRAMING PLAN

1/4"=1'-0"



Tysinger & Associates
Structural Engineers
212 Pacheco Avenue, Novato, CA 94947
Telephone (415) 898-6704
rob@tysingerengineers.us



PINE TREES - LOT 2
7 NW OF OCEAN ON CASANOVA ST.
CARMEL, CA
APN 010-251-003

MAIN FLOOR FRAMING PLAN

DATE: 12.26.19
DRAWN BY: RET
PROJECT No: 1920

DATE:	ISSUE:
02.05.20	PRICING
04.24.20	PERMIT
08.19.20	PLAN CHECK
04-10-21	REV

No. OF SHEETS: 10

S3
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