

New Santa Rita Residence

Santa Rita 2 SW of 5th, Carmel, CA, 93923



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GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE ON ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK.
- ALL CONSTRUCTION WORK, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA RESIDENTIAL CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF CARMEL. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- DETAILS NOTED AS 'TYPICAL' SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THIS PROJECT.
- DIMENSIONS, DETAILS, NOTES, AND/OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ON CONSTRUCTION DRAWINGS ARE TO FACE OF STUD (F.O.S.), OR FACE OF CONCRETE (F.O.C.), UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE BUILDING DURING CONSTRUCTION.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION OF ALL SITE UTILITIES AND TO COORDINATE AND AVOID CONFLICT IN THE LOCATIONS OF NEW UNDERGROUND AND SITE UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE CITY OF CARMEL AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDER CONTAINING LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED.
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSE BIBS.
- SEWER BACK WATER VALVE AND SEWER RELIEF VENT IS REQUIRED

EROSION CONTROL NOTES

- BETWEEN OCTOBER 15TH AND APRIL 15TH DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOILS PROTECTION.
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS. VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.

FIRE NOTES

- THE HOUSE AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT.
- ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF IBCO CLASS A ROOF CONSTRUCTION.

STREET ELEVATION



SANTA RITA STREET ELEVATION

GENERAL CONTRACTOR NOTES

- A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATIONS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTION.
- CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTION REFERENCE.
- TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.
- ELECTRICAL SERVICE SHALL BE PROVIDED UNDERGROUND

GRADING NOTES

- FOUNDATIONS AND RETAINING WALLS ON THE NORTH SIDE OF THE HOUSE WITHIN 15' OF THE PINE TREE ON THE NEIGHBORING LOT SHALL BE HAND DUG TO IDENTIFY ANY SIGNIFICANT ROOTS.
- FOUNDATIONS ON THE SOUTH SIDE OF THE HOUSE WITHIN 15' OF THE CYPRESS AND PINE SHALL BE HAND DUG TO IDENTIFY ANY SIGNIFICANT ROOTS.
- UTILITIES WITHIN 15' OF THE CYPRESS IN THE FRONT OF THE LOT SHALL BE HAND DUG TO IDENTIFY ANY SIGNIFICANT ROOTS.
- FIRST 4' OF THE FLO WELL EXCAVATION LOCATED WITHIN 6' OF THE PINE TREE MUST BE HAND DUG TO IDENTIFY ANY SIGNIFICANT ROOTS.
- NO ROOTS OVER 2" SHALL BE CUT PRIOR TO GETTING APPROVAL FROM THE CITY FORESTER. SOME ROOTS MAY REQUIRE BRIDGING AS REQUIRED BY THE CITY FORESTER.

SHEET INDEX

- ARCHITECTURAL:**
- A0.0 COVER SHEET, PROJECT INFO, NOTES & ABBREVIATIONS
 - A0.1 CONDITIONS OF APPROVAL, SPECIAL INSPECTIONS FORM
 - A0.2 CALGREEN STANDARDS
 - A0.3 CALGREEN STANDARDS
 - A0.4 CONSTRUCTION BEST MANAGEMENT PRACTICES
 - A0.5 SITE PLAN
 - A2.0 MAIN LEVEL FLOOR PLAN, ELECTRICAL, NOTES
 - A2.1 UPPER LEVEL FLOOR PLAN, ELECTRICAL, NOTES
 - A3.0 MAIN LEVEL DIMENSION PLAN, WINDOWS/DOORS INFO
 - A3.1 UPPER LEVEL DIMENSION PLAN, WINDOWS/DOORS INFO
 - A4.0 REFLECTED CEILING PLANS
 - A5.0 ROOF PLAN
 - A6.0 EXTERIOR ELEVATIONS
 - A6.1 EXTERIOR ELEVATIONS
 - A7.0 BUILDING SECTIONS
 - A8.0 DETAILS
 - A8.1 DETAILS
 - L-1 PLANTING AND IRRIGATION PLAN
- STRUCTURAL:**
- S.1 STANDARD SPECIFICATIONS
 - S.2 FOUNDATION PLAN
 - S.3 FOUNDATION DETAILS
 - S.4 SECOND FLOOR FRAMING PLAN
 - S.5 SECOND FLOOR FRAMING DETAILS
 - S.6 ROOF FRAMING PLAN
 - S.7 ROOF FRAMING DETAILS
 - S.8 STRONG WALL DETAILS AND SPECS
- CIVIL:**
- CMP-1 CONSTRUCTION MANAGEMENT PLAN
 - C-1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN COVER SHEET
 - C-2 SITE PLAN
 - C-3 GRADING, DRAINAGE, AND UTILITY PLAN
 - C-4 EROSION AND SEDIMENT CONTROL PLAN
 - C-5 STANDARD PLANS AND CONSTRUCTION DETAILS
- ENERGY CALCULATIONS:**
- T-1 ENERGY COMPLIANCE
 - T-2 LOW-RISE RESIDENTIAL MANDATORY MEASURES

DEFERRED SUBMITTALS

- CONTRACTOR TO SUBMIT SINGLE LINE GAS DIAGRAM FOR APPROVAL PRIOR TO GAS PIPING INSTALLATION.
- SPRINKLER SYSTEM LAYOUT
- PLUMBING DIAGRAM

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS FORM, SEE A0.1

PROJECT DATA

PROPERTY OWNER:
MS. JIE MEI
17201 SONORA RD.
OAKDALE, CA 95361
TEL. (408) 497-0349

PROJECT ADDRESS:
SANTA RITA 2 SW OF 5TH
CARMEL, CA 93923

PROJECT DESCRIPTION/ SCOPE OF WORK:
1. NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE (1,800 SF). ROOF TOP DECK (246 SF) LOCATED ABOVE SINGLE-STORY MASTER BEDROOM/ BATHROOM

LEGAL DESCRIPTION: LOT: 5 BLOCK: 61
010-038-002-000
APN: R-1
ZONING: R-1
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: R-3, U
STORIES: 2
HEIGHT LIMIT: 24' (15' AT REAR SETBACK)
CUT - 150 CY, FILL - 18 CY, SEE CIVIL PLANS
GRADING: 3 NON-PROTECTED TREES, SEE SITE PLAN
TREE REMOVAL: 2016 CBC, 2016 CRC, 2016 CFC, 2016 CPC,
2016 CEC, 2016 CMC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING CODE
APPLICABLE CODES:

LOT AREA: 4,000 S.F.
FLOOR AREA ALLOWED: 1,800 S.F.
FLOOR AREA PROPOSED: 1,800 S.F. MAIN FLOOR - 1,245 S.F.
UPPER FLOOR - 312 S.F.
GARAGE - 243 S.F.

SITE COVERAGE ALLOWED: 396 S.F.
ADDITIONAL 4% OF LOT SIZE (160 SF) FOR DRIVEWAY TOTAL ALLOWED - 556 S.F.

SITE COVERAGE PROPOSED:

	AREA
ROOF DECK (IMPERVIOUS)	43 S.F.
LANDING @ BDRM 1 (IMPERVIOUS)	3 S.F.
MAIN TERRACE (PERMEABLE)	228 S.F.
COVERED PORCH (IMPERVIOUS)	44 S.F.
FRONT PATHWAY (PERMEABLE)	92 S.F.
DRIVEWAY 9'-0" (PERMEABLE)	146 S.F.
UTILITY AREA (MULCH) NOT COUNTED	36 S.F.
TOTAL COVERAGE	556 S.F.

PERMEABLE 466 S.F. (84%)
IMPERVIOUS 90 S.F. (16%)

VICINITY MAP



SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH
APN: 010-038-002
CARMEL, CA, 93923
SANTA RITA 2 SW OF 5TH



- REVISIONS:**
- 08-16-19 PLAN CHECK
 - 10-18-21 FIELD REVISIONS
 - 04-20-22 DESIGN REVISIONS

COVER SHEET
PROJECT INFO

DATE: 07-17-2019
BUILDING PERMIT

SHEET NO.
A0.0

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GENERAL NOTES

BUILDING NOTES

1. REMOVAL OR RELOCATION WALLS AND/OR CHANGING FIXTURE TYPE OR LOCATION REQUIRES FLOOR PLANS SHOWING THE EXISTING AND PROPOSED FLOOR PLAN
2. A WINDOW LOCATED LESS THAN 60" ABOVE THE STANDING SURFACE OF A TUB OR SHOWER SHALL BE TEMPERED
3. SMOKE ALARMS ARE REQUIRED INSIDE EACH SLEEPING ROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS HAVING ATTACHED GARAGES AND UNITS THAT HAVE FUEL BURNING APPLIANCES. THERE SHALL BE ONE INSTALLED ON EACH LEVEL, INCLUDING BASEMENTS AND ONE OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
5. RELOCATION OR ADDITION OF PLUMBING FIXTURES REQUIRES A WATER PERMIT FROM MPWMD

KITCHEN NOTES

ELECTRICAL

1. ALL NEW ELECTRICAL TO MEET CURRENT CALIFORNIA ELECTRIC CODE
2. MINIMUM OF TWO (2) 20-AMP CIRCUITS SERVING COUNTER AFCI AND GFCI PROTECTED RECEPTACLES. ONLY ARE REQUIRED SPACED NO MORE THAN 4' ON CENTER (2' MAX. FROM A SINK). NO OTHER LIGHTS OR FIXTURES ARE PERMITTED ON THESE TWO CIRCUITS. ALL OUTLETS SHALL BE AFCI AND GFCI PROTECTED.
3. FIXED APPLIANCES AND MICROWAVE SHALL BE PROVIDED POWER FROM ADDITIONAL DEDICATED CIRCUITS
4. ONE OUTLET PROVIDED PER AN ISLAND OR PENINSULA, REGARDLESS OF LENGTH OR SIZE, UNLESS SEPARATED INTO MORE THAN ONE COUNTERTOP AREA, ON ISLANDS AND PENINSULA SPACES. RECEPTACLES MAY BE MOUNTED NOT MORE THAN 12" BELOW THE COUNTERTOP AREA WHERE CONSTRUCTION PRECLUDES MOUNTING ABOVE THE COUNTERTOP
5. RECEPTACLES MAY NOT BE MOUNTED UNDER ANY OVERHANG GREATER THAN 6"
6. NEW LIGHTING STANDARDS REQUIRE ALL LUMINAIRES INSTALLED IN RESIDENTIAL BUILDINGS MUST BE HIGH-EFFICACY

PLUMBING

1. RELOCATING, ADDING TO, OR OTHERWISE MODIFYING A GAS LINE REQUIRES BOTH A GAS LINE DIAGRAM AND PRESSURE TEST. GAS LINE DIAGRAM MUST BE APPROVED PRIOR TO BEGINNING WORK ON THE GAS PIPING SYSTEM. SEE DEFERRED SUBMITTAL REQUIREMENT ON A0.0.
2. ALL NEW PLUMBING LINES SHALL BE TESTED PRIOR TO COVERING
3. A WATER HAMMER ARRESTOR IS REQUIRED ON THE HOT WATER SUPPLY TO A DISHWASHER

APPLIANCES

1. ALL NEW APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE GUIDELINES. IT IS IMPORTANT THESE GUIDELINES BE REVIEWED PRIOR TO CLOSING UP THE WALLS

BATHROOM NOTES

1. ALL NEW ELECTRICAL TO MEET CALIFORNIA ELECTRICAL CODE
2. MINIMUM OF ONE (1) 20-AMP CIRCUIT SERVING ONLY THE BATHROOM GFCI OUTLETS/LIGHTING IS REQUIRED
3. ONE GFCI PROTECTED RECEPTACLE SHALL BE LOCATED WITHIN 3 FEET OF THE SINK'S EDGE
4. NEW LIGHTING STANDARDS REQUIRE ALL LUMINAIRES INSTALLED IN RESIDENTIAL BUILDINGS MUST BE HIGH-EFFICACY
5. ANY LIGHTING DIRECTLY OVER THE SHOWER/TUB AREA IS REQUIRED TO BE APPROVED FOR WET LOCATIONS

PLUMBING

1. SHOWER STALLS ARE REQUIRED TO HAVE A MINIMUM CLEAR THRESHOLD OPENING OF 22" AND THE FLOOR AREA MUST BE A MINIMUM OF 1,024 SQ. IN. AND ENCOMPASS A 30" CIRCLE
2. GLASS SHOWER ENCLOSURE MUST BE TEMPERED
3. TOILET AREA IS REQUIRED TO HAVE A MINIMUM WIDTH OF 30" CLEAR SPACE AND 24" CLEAR SPACE IN FRONT
4. SHOWER HEAD MUST HAVE A PRESSURE/ TEMPERATURE BALANCE VALVE
5. A SEWER BACKWATER VALVE AND RELIEF VENT ARE REQUIRED WHEN ADDING OR RELOCATING PLUMBING FIXTURES
6. SHOWER CONTROLS SHALL BE LOCATED ON A SIDE WALL OR OTHERWISE SITUATED TO ALLOW ADJUSTMENT WITHOUT ENTERING THE SHOWER STREAM.

MECHANICAL

1. AN "ENERGY STAR" EXHAUST FAN IS REQUIRED IN ANY BATHROOM THAT HAS A TUB OR SHOWER. THE FAN MUST BE CONTROLLED BY A HUMIDISTAT AND VENT TO THE EXTERIOR AND MUST BE SWITCHED SEPARATE FROM THE LIGHT.
2. EXHAUST FANS SHALL TERMINATE OUTSIDE THE BUILDING, AND SHALL BE PROTECTED FROM BACKDRAFT BY AN APPROVED BACKDRAFT DAMPER EITHER AT THE TERMINUS OR INTEGRAL TO THE FAN HOUSING (CA ENERGY CODE 150.0(M)7)

CALGREEN NOTES

1. PROVIDE WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303. THESE INCLUDE MAX. 1.28 GPF FOR WATER CLOSETS, MAX. 1.8 GPM @ 60 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS TO NOT EXCEED 1.8 GPM @ 60 PSI, MAX. 1.2 GPM @ 60 PSI FOR LAVATORY FAUCETS, MAX. 1.8 GPM @ 60 PSI AT KITCHEN FAUCETS.
2. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS. (4.406.1)
3. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)
4. ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. (4.504.2.1)
5. PAINTS, STAIN, AND OTHER COATINGS, SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
6. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3)
7. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
8. CARPET & CARPET SYSTEMS SHALL BE COMPLIANT W/ VOC LIMITS (4.504.3)
9. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4
10. HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD (MDF) USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (4.504.5)
11. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. WALL AND FLOOR FRAMING MEMBERS SHALL NOT EXCEED 19% MOISTURE CONTENT (4.505.3)
12. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY A HUMIDITY CONTROL (4.506.1)
13. CONTRACTOR/ OWNER SHALL PROVIDE VERIFICATION FOR ALL ITEMS LISTED ABOVE, IF APPLIES, TO BUILDING OFFICIAL FOR INSPECTION AS REQUIRED.

ELECTRICAL NOTES

1. WORKING SPACE AT FRONT OF ELECTRICAL EQUIPMENT SHALL HAVE: A MINIMUM DEPTH OF 36 INCHES, WIDTH OF 30 INCHES, HEIGHT OF 6 FEET 6 INCHES (CEC 110.26 (A)(1)(2))
 2. PROVIDE AT LEAST ONE ENTRANCE TO ENCLOSURES FOR ELECTRICAL INSTALLATIONS NOT LESS THAN 24 INCHES WIDE AND 6.5 FEET HIGH (CEC 110.33 (A)).
 3. WORKING SPACE SHALL NOT BE USED FOR STORAGE (CEC 110.26 (B)).
 4. ILLUMINATION SHALL BE PROVIDED FOR ALL WORKING SPACES ABOUT SERVICE EQUIPMENT, SWITCHBOARDS, SWITCHGEAR, PANEL BOARDS, OR MOTOR CONTROL CENTERS INSTALLED INDORS (CEC 110.26 (D)).
 5. EACH MULTIWIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE BRANCH CIRCUITS ORIGINATES (CEC 210.4(B))
 6. ALL 120-VOLT, SINGLE-PHASE, 15- 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. (CEC 210.12(A))
 7. A MINIMUM OF TWO 20 AMP. SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, AND OTHER SIMILAR AREAS (CEC 210.11 (C)(1))
 8. AT LEAST ONE 20 AMP. BRANCH CIRCUIT SHALL BE PROVIDED FOR ALL LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2))
 9. AT LEAST ONE 120-VOLT 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY A BATHROOM RECEPTACLE. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS (CEC 210.11 (C)(3))
 10. 125- AND 250- VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. AN OUTLET BOX HOOD SHALL BE "EXTRA DUTY" (CEC 406.9 (B)(1))
 11. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES (CEC 406.12(A))
 12. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 1. IN EACH SLEEPING ROOM
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS.
 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER (CRC R 314.3)
- SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034 (CRC R 314.1.1)
13. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 1. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 2. ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, INCLUDING BASEMENTS.
 3. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM(CRC R 315.3)
- COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS (CRC R 315.4)
- CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217 (CRC R 315.1.1)
14. AT LEAST ONE LUMINAIRE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.

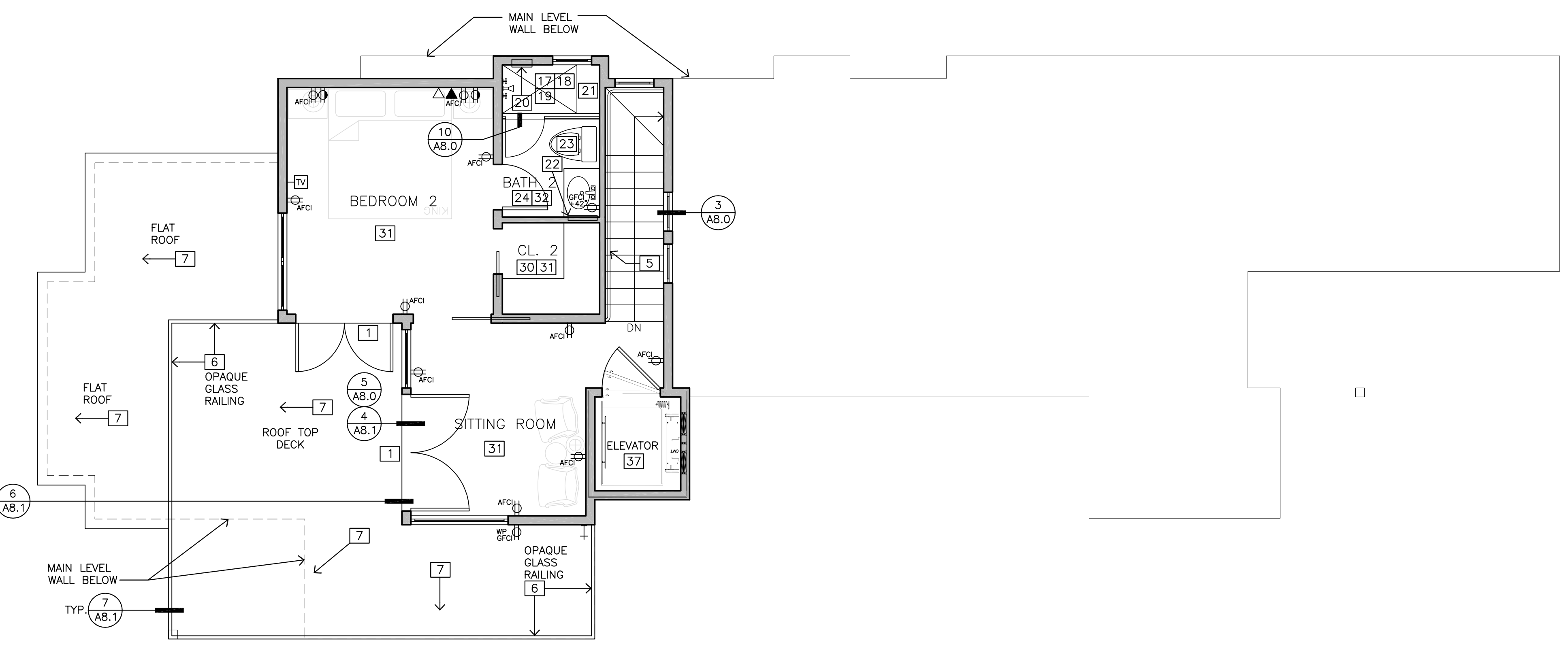
KEY NOTES

1. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD. THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD IF THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR (CRC R311.3)
2. PROVIDE 5/8 TYPE "X" GYP. BD. ON THE GARAGE SIDE OF CEILING AND WALLS THAT SEPARATES THE GARAGE FROM THE DWELLING UNIT (CRC R302.6)
3. PROVIDE 1/2" GYP. BD. OVER WALL & CEILING FRAMING ON THE ENCLOSED SIDE OF ACCESSIBLE SPACE UNDER STAIRWAYS (CRC R302.7)
4. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING AND SELF-LATCHING DEVICE (CRC R302.5.1)
5. TOPS OF HANDRAILS AND GUARDS WHOSE TOP RAILS SERVE AS A HANDRAIL AT STAIRS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" VERTICALLY ABOVE THE LEADING EDGE OF THE STAIR TREAD NOSING (CRC R311.7.8.1 AND R312.1.2(2)). SPACE BETWEEN BALUSTERS SHALL BE SO THAT A 4 3/8" Ø SPHERE CANNOT PASS THROUGH (6" Ø SPHERE WHERE THE RISER, TREAD & BOTTOM RAIL FORM AN OPENING) (CRC R312.1.3). (SEE DETAIL 7/AB.0)
6. TERRACE, BALCONIES, OR DECKS 30" OR MORE ABOVE FINISH FLOOR OR GRADE REQUIRES A 42" HIGH GUARD RAIL (CRC R312.1.1). SPACE BETWEEN BALUSTERS SHALL BE SO THAT A 4" Ø SPHERE CANNOT PASS THROUGH (CRC R312.1.3). (SEE DETAIL 7/AB.1)
7. SLOPE TERRACES AT 1/4" PER FT. MIN. AWAY FROM STRUCTURE
8. 200 AMP MAIN ELECTRICAL PANEL WITH U.F.E.R. GROUND (CEC 250.52(3)). PROVIDE 30"(w)X36"(d) MIN. CLEAR WORKING SPACE IN FRONT OF ALL PANELS (CEC 110.26)
9. 150 AMP ELECTRICAL SUB-PANEL WITH U.F.E.R. GROUND (CEC 250.52(3)). PROVIDE 30"(w)X36"(d) MIN. CLEAR WORKING SPACE IN FRONT OF ALL PANELS (CEC 110.26)
10. ALL KITCHEN AND GARAGE OUTLETS TO BE G.F.C.I. PROTECTED
11. 4" DIAMETER CONC. FILLED BOLLARD
12. DISHWASHER PER OWNERS SELECTION. DISHWASHER SHALL CONNECT TO THE WASTE PIPING THROUGH AN APPROVED DISHWASHER AIR GAP OR OTHER APPROVED BACKFLOW DEVICE
13. WASHING MACHINE PER OWNERS SELECTION
14. 30" WIDE GAS COOKTOP WITH OVEN BELOW AND HOOD ABOVE PER OWNERS SELECTION
15. PROVIDE 36" WIDE SPACE FOR REFRIGERATOR, VERIFY MAKE AND MODEL WITH OWNER
16. PROVIDE R.O. SYSTEM TO ALL SINKS AND REFRIGERATOR IN KITCHEN
17. PROVIDE 24" WIDE MINIMUM (OUTSWING) TEMPERED GLASS DOOR AT SHOWER ENCLOSURE (ALL GLASS AT SHOWER ENCLOSURE TO BE TEMPERED)
18. PROVIDE 2x6 STUD WALL FOR THERMOSTATIC SHOWER VALVE
19. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE NOT LESS THAN 6 FT. ABOVE THE FLOOR (CRC R307.2)
20. 12"x14" RECESSED SHOWER NICHE, VERIFY SIZE AND FINISH WITH OWNER
21. BUILT-IN SHOWER SEAT, VERIFY SIZE AND FINISH WITH OWNER
22. RECESSED VANITY CABINET PER OWNERS SELECTION
23. 1.28 GALLON PER FLUSH "HIGH EFFICIENCY" TOILET PER OWNERS SELECTION
24. PROVIDE AN "ENERGY STAR" EXHAUST FAN ON SEPARATE SWITCH IN THIS ROOM. SEE SHEET A4.0, A4.1 FOR LOCATION.
25. CLOTHES DRYER AND RANGE TO HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET
26. VENT DRYER TO EXTERIOR WITH 4" METAL MOISTURE EXHAUST DUCT WITH A SMOOTH INTERIOR SURFACE. 14"-Ø MAXIMUM HORIZONTAL RUN WITH (2) 90° BENDS MAXIMUM. 2"-Ø IN LENGTH SHALL BE DEDUCTED FOR EACH 90° IN EXCESS OF FIRST TWO. (CMC 504.4.2) AIR DUCT EXHAUST SHALL TERMINATE NOT LESS THAN 3 FT. FROM A PROPERTY LINE, 10 FT. FROM A FORCED AIR INLET, AND 3 FT. FROM OPENINGS INTO THE BUILDING (CMC 502.2.1)
27. IN A CASE WHERE A CLOTHES DRYER IS INSTALLED IN A CLOSET, A MINIMUM OPENING OF 100 SQ. INCHES SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS. (CMC 504.3.1)
28. WATER HEATER WITH RECIRCULATING PUMP, SEE DETAIL 8/AB.1 FOR STRAPPING
29. REGENCY DIRECT VENT GAS FIREBOX INSERT MODEL "HORIZON" HR13E-NG11 WITH FLUSH HEARTH CONTRACTOR/OWNER TO PROVIDE ON SITE THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FACTORY BUILT CHIMNEYS AND FIREPLACES FOR FIELD INSPECTION. CSA 2.17-2017, ANSI Z21.88-2017, CSA 2.33-2017
30. PROVIDE CABINETS/ ADJUSTABLE SHELVING PER OWNERS REQUIREMENTS
31. WOOD FLOORING PER OWNERS SELECTION
32. STONE/CERAMIC TILE FLOORING PER OWNERS SELECTION
33. CARPET FLOORING PER OWNERS SELECTION
34. PROVIDE A 18"x 24" MINIMUM CRAWL SPACE ACCESS THROUGH THE FLOOR OR 16"x 24" THROUGH A PERIMETER WALL (CRC R408.4)
35. PROVIDE A 22"x 30" MINIMUM ATTIC SPACE ACCESS WITH 30" MINIMUM HEAD CLEARANCE (CRC R807.1)
36. THE FINAL GRADE SHALL SLOPE AWAY FROM FOUNDATION AT A MIN. OF 5% SLOPE WITHIN 10 FEET OF THE BUILDING FOUNDATION
37. ACME CUSTOM RESIDENTIAL ELEVATOR, ANSI/ASME A17.1 STANDARDS

ELECTRICAL LEGEND

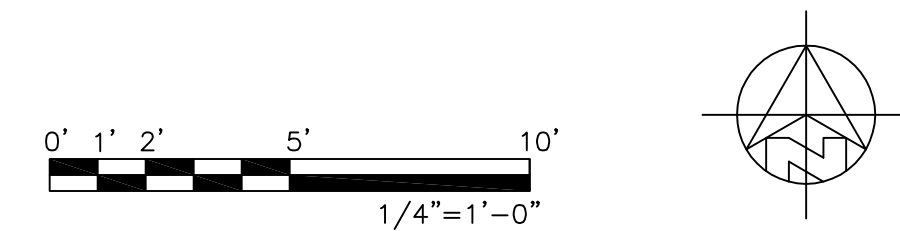
- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED OUTLET
- ⊕ 220 VOLT OUTLET
- AFCI ARC-FAULT CIRCUIT INTERRUPTER
- GFCI GROUND-FAULT CIRCUIT INTERRUPTER
- WP GFCI WATERPROOF OUTLET (EXTERIOR)
- ⊕ TELEPHONE JACK
- ⬆ HIGH SPEED DATA LINE
- TV TELEVISION CABLE
- ⊕ GAS OUTLET
- ⊕ KEY VALVE
- 200 AMP MAIN ELECTRICAL PANEL
- 150 AMP SUB-PANEL
- ⊕ HOSE BIB VALVE (WITH NON-REMOVABLE BACK FLOW DEVICE)
- ⊕ DOORBELL
- CHIME DOOR BELL CHIME

NOTE:
THE TYPE AND AMOUNT OF PLUMBING FIXTURES ON THIS RESIDENCE ARE REGULATED BY THE MONTEREY PENINSULA WATER MANAGEMENT DISTRICT. PLEASE REFER TO THE WATER PERMIT, CA PLUMBING CODE, AND GREEN BUILDING STANDARDS CODE FOR ALL PLUMBING FIXTURE REQUIREMENTS



WALL LEGEND

- ▬ 2X6 EXTERIOR STUD FRAMED WALL
- ▬ 2X4 INTERIOR STUD FRAMED WALL
- ▨ 6" OR 8" CMU WALL, SEE STRUCT. PLANS



UPPER LEVEL FLOOR PLAN, NOTES 1/4"=1'-0"



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APN: 010-038-002

**SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH**



REVISIONS:

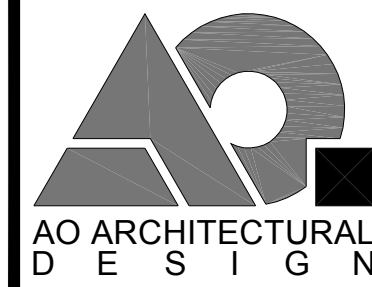
08-16-19	PLAN CHECK
09-16-19	PLAN CHECK 2
10-18-21	FIELD REVISIONS
04-20-22	DESIGN REVISIONS

UPPER LEVEL FLOOR PLAN

DATE: 07-17-2019
BUILDING PERMIT

SHEET NO.
A2.1

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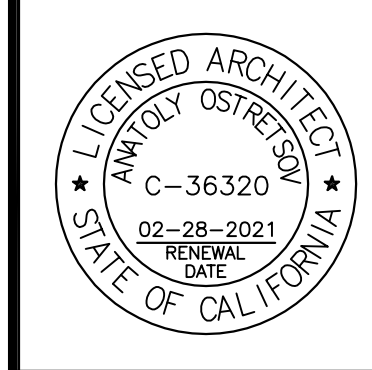


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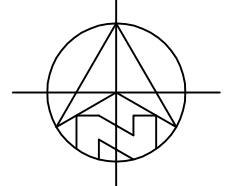
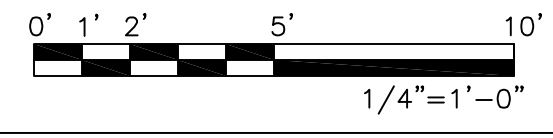
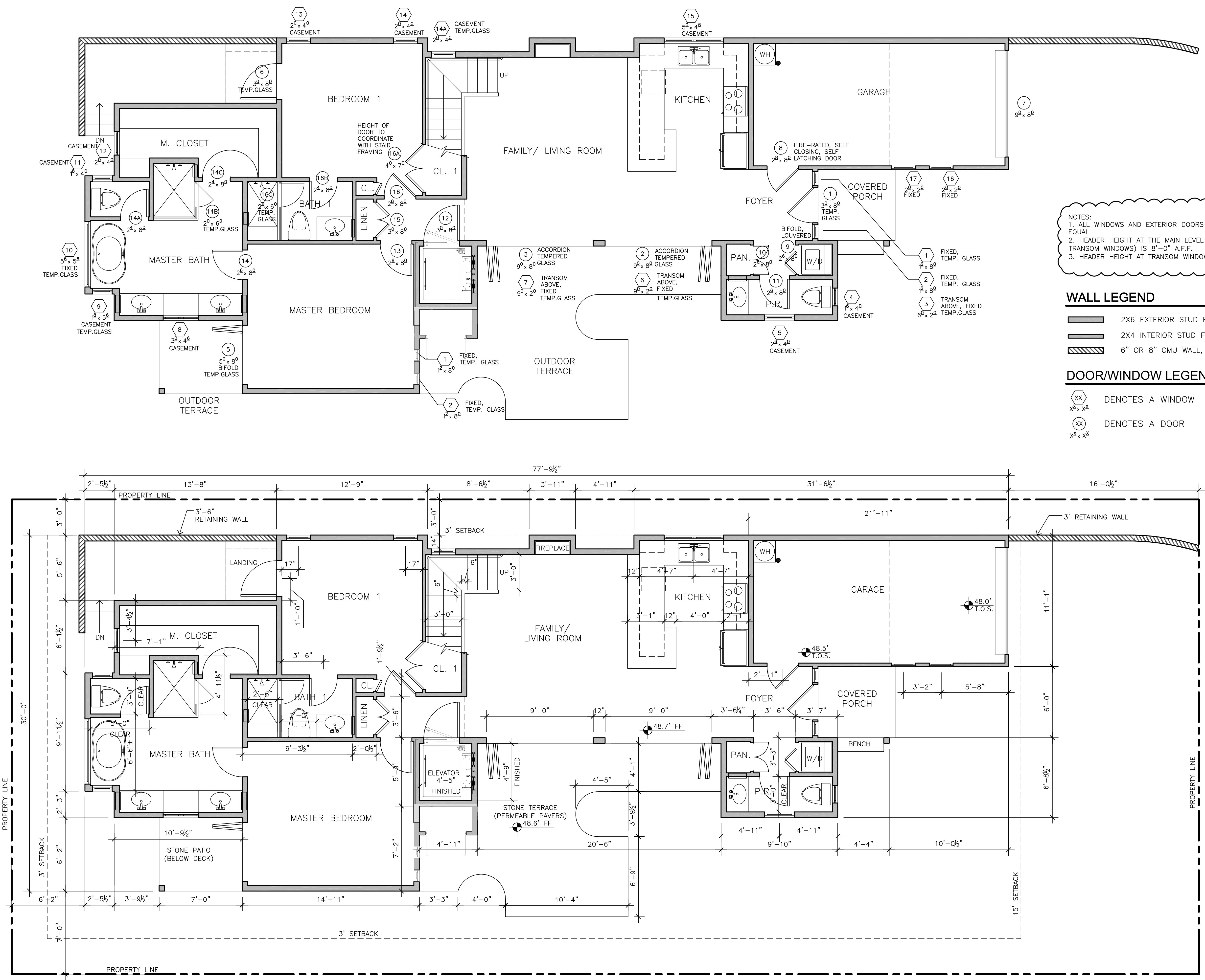
REVISIONS:

08-16-19	PLAN CHECK
10-18-21	FIELD REVISIONS
04-20-22	DESIGN REVISIONS

MAIN LEVEL
DIMENSION PLAN

DATE: 07-17-2019
BUILDING PERMIT

SHEET NO.
A3.0



MAIN LEVEL DIMENSION PLAN, WINDOWS AND DOORS INFO 1/4"=1'-0"

SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH

APN: 010-038-002

SANTA RITA 2 SW OF 5TH



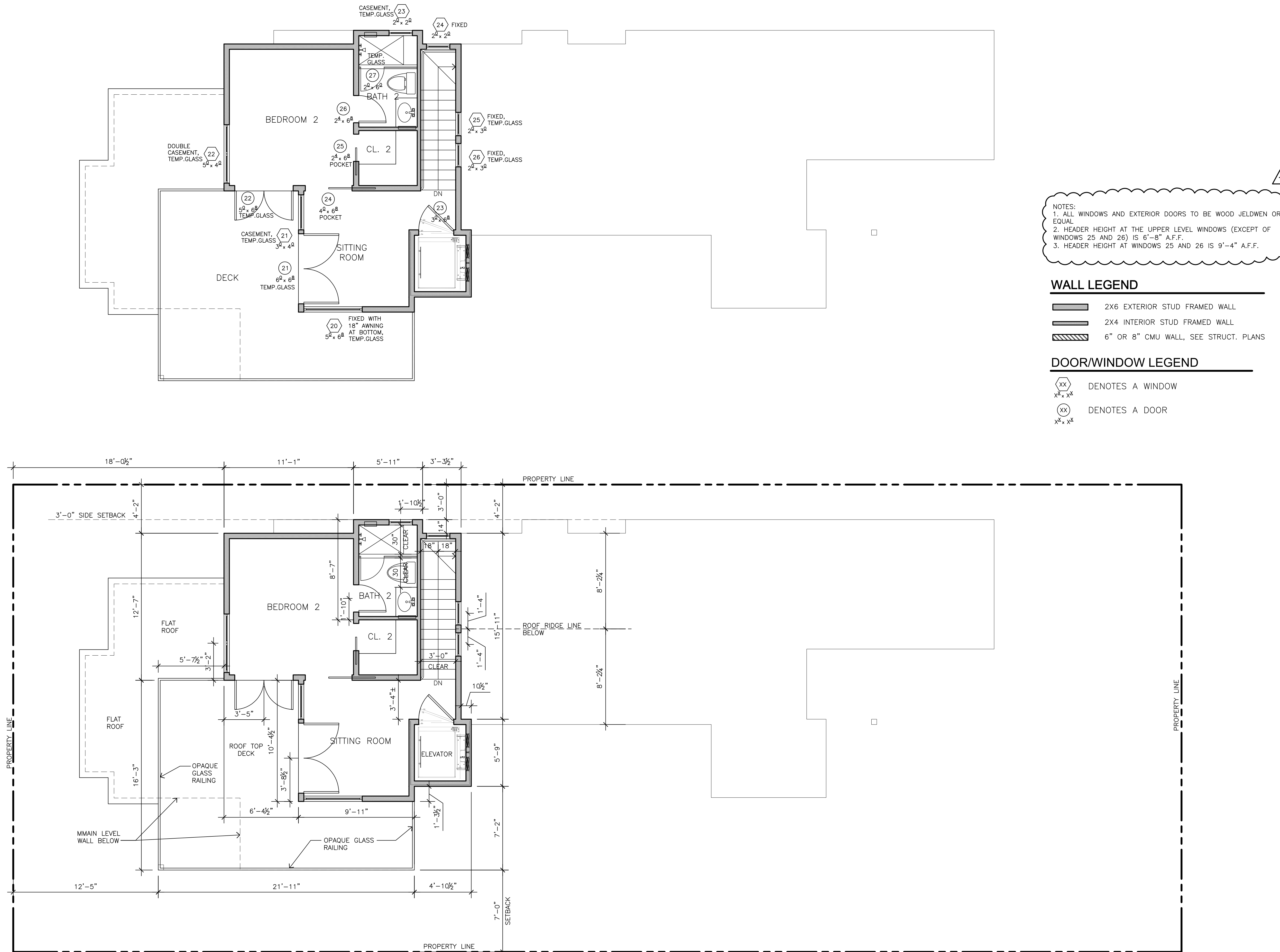
REVISIONS:

08-16-19	PLAN CHECK
10-18-21	FIELD REVISIONS
04-20-22	DESIGN REVISIONS

UPPER LEVEL
DIMENSION PLAN

DATE: 07-17-2019
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SHEET NO.
A3.1



UPPER LEVEL DIMENSION PLAN, WINDOWS AND DOORS INFO 1/4" = 1'-0"

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GENERAL ROOF NOTES

△ ROOF MATERIAL - CLASS 'A' COMPOSITION SHINGLE
 MANUFACTURER - CERTAINTEED
 FINISH/COLOR - PRESIDENTIAL SHAKE TL / CHARCOAL BLACK

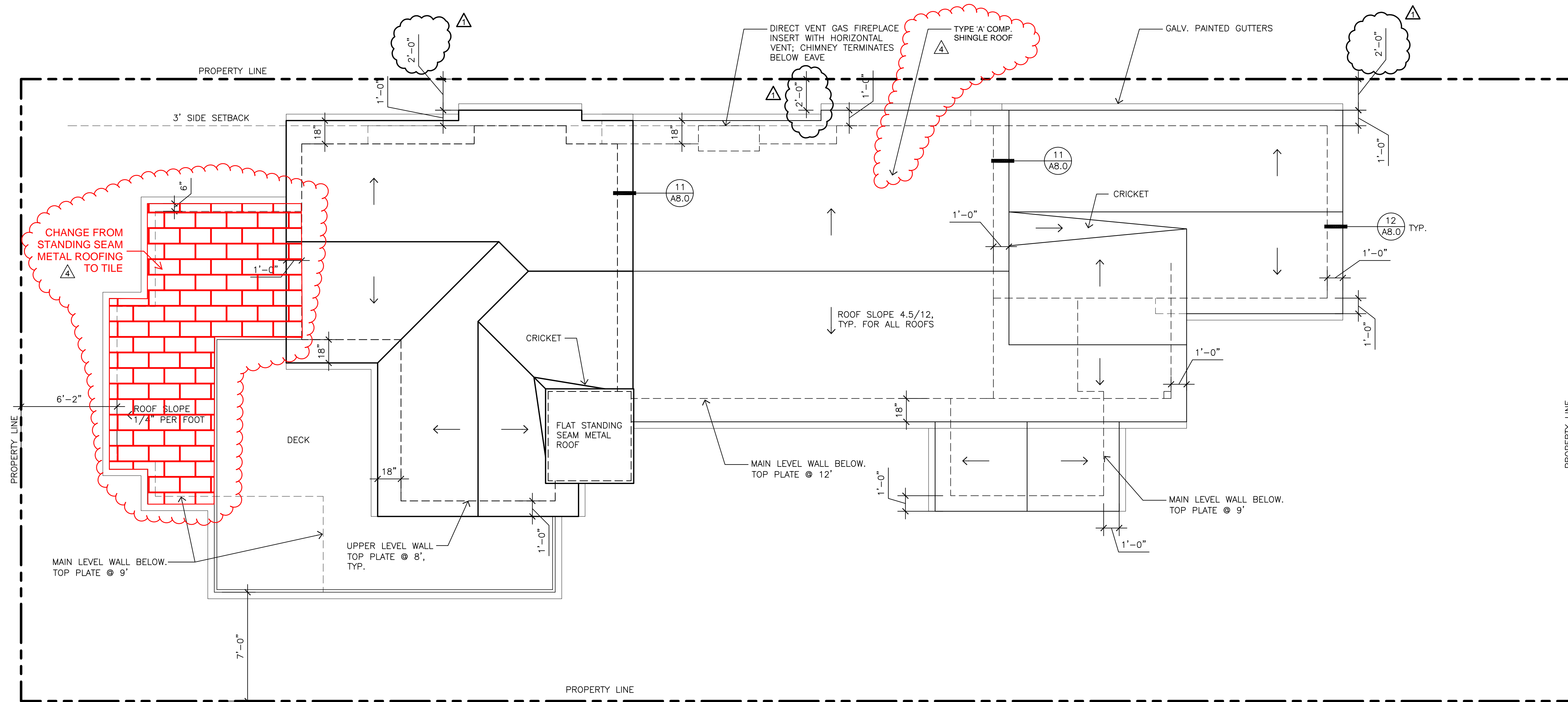
ROOF SLOPE = 4.5/12 UNLESS OTHERWISE NOTED

OVERHANG VARIES, SEE ROOF PLAN

GALVANIZED FASCIA GUTTERS WITH SQUARE DOWNSPOUTS

GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION

ATTIC VENTILATION NOT REQUIRED. SPRAY FOAM INSULATION APPLIED DIRECTLY TO BOTTOM OF ROOF SHEATHING



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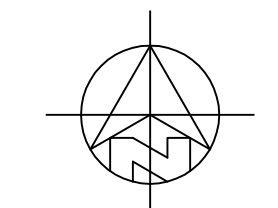
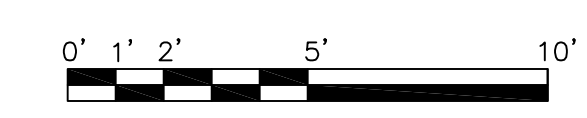
REVISIONS:

△ 08-16-19	PLAN CHECK
△ 10-18-21	FIELD REVISIONS
△ 04-20-22	DESIGN REVISIONS

ROOF PLAN

DATE: 07-17-2019
 BUILDING PERMIT

SHEET NO.
A5.0



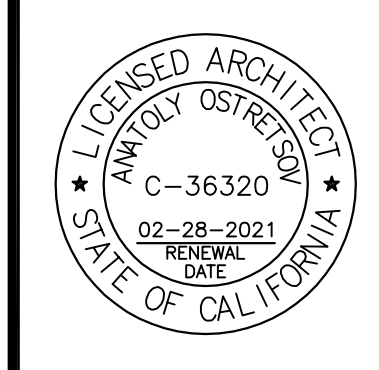
ROOF PLAN 1/4" = 1'-0"

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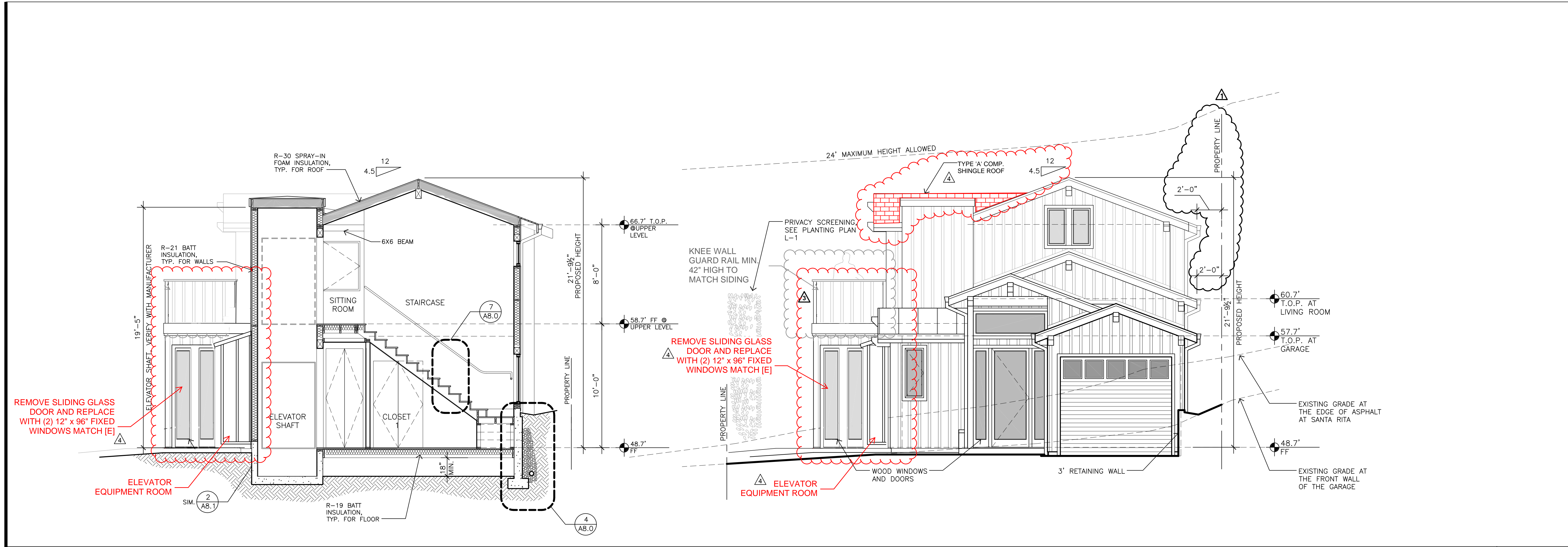
REVISIONS:

08-16-19	PLAN CHECK
10-18-21	FIELD REVISIONS
04-20-22	DESIGN REVISIONS

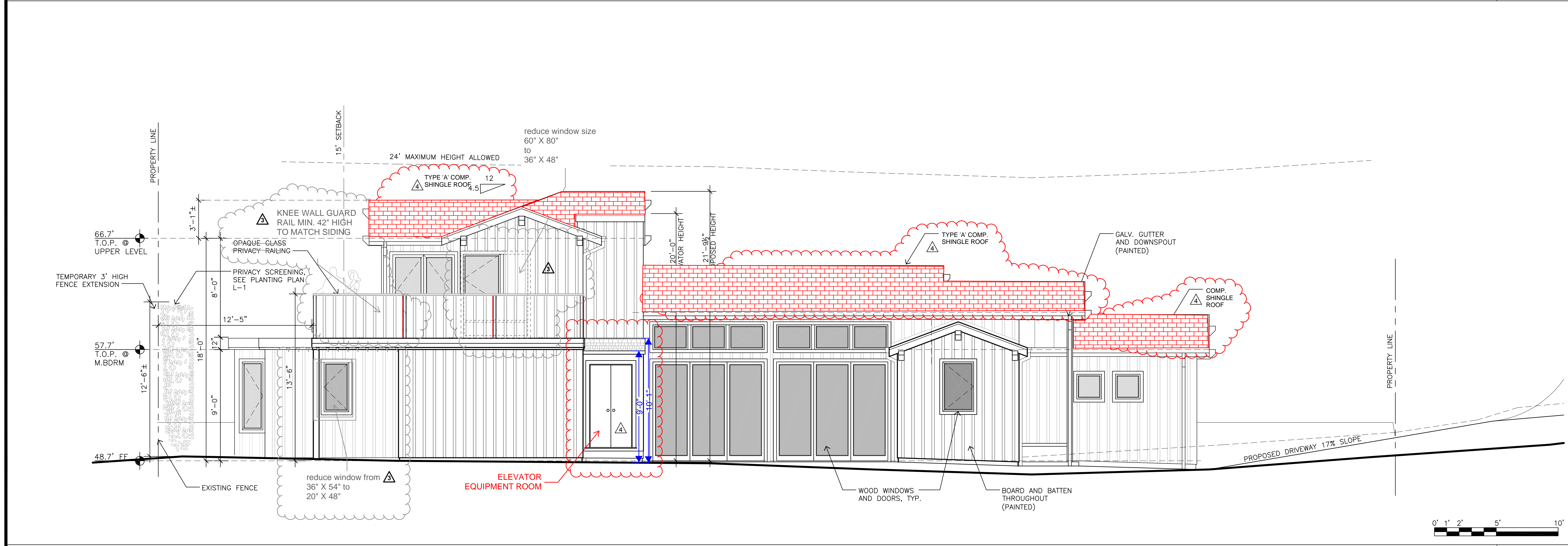
EXTERIOR ELEVATIONS

DATE: 07-17-2019
BUILDING PERMIT

SHEET NO.
A6.0

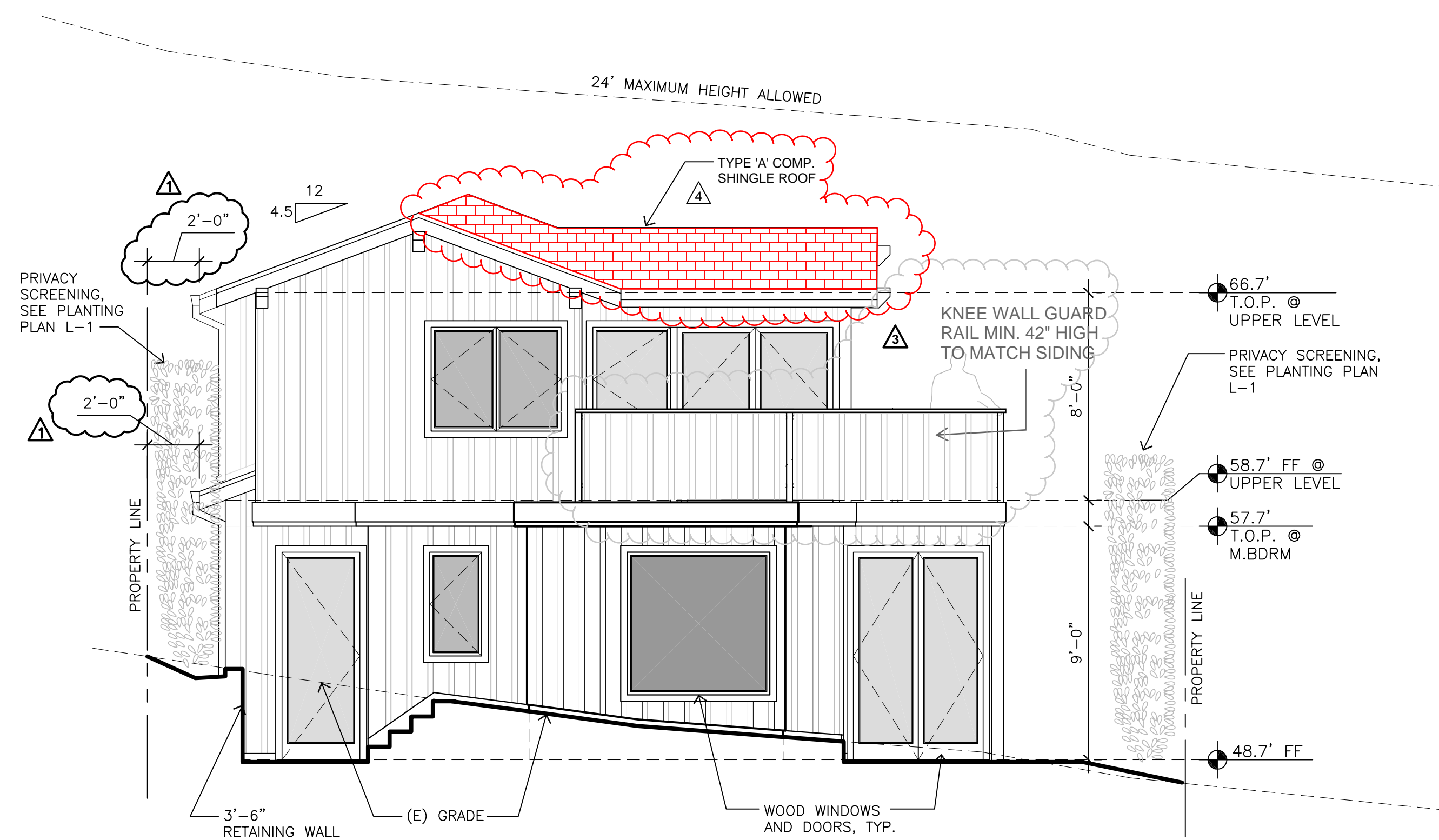


EAST ELEVATION (FRONT) 1/4"=1'-0"

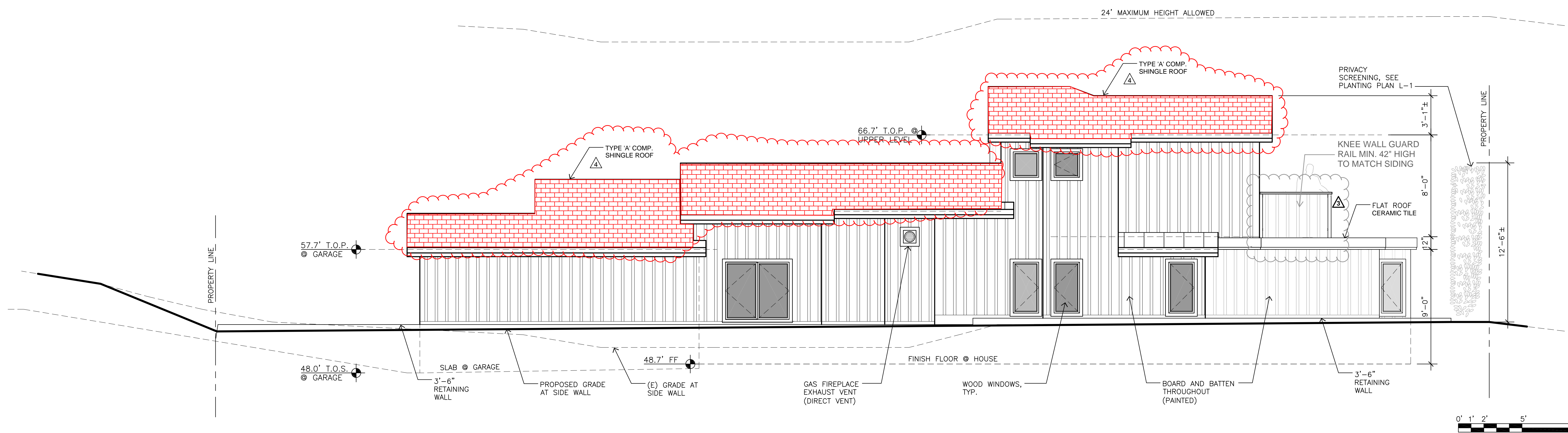


SOUTH ELEVATION 1/4"=1'-0"

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WEST ELEVATION (REAR) 1/4"=1'-0"



NORTH ELEVATION 1/4"=1'-0"



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REVISIONS:

10-18-21	FIELD REVISIONS
04-20-22	DESIGN REVISIONS

BUILDING SECTIONS

DATE: 07-17-2019
BUILDING PERMIT

SHEET NO.
A7.0

CALIFORNIA MECHANICAL CODE 304.4
APPLIANCES IN ATTICS AND UNDER-FLOOR SPACES.

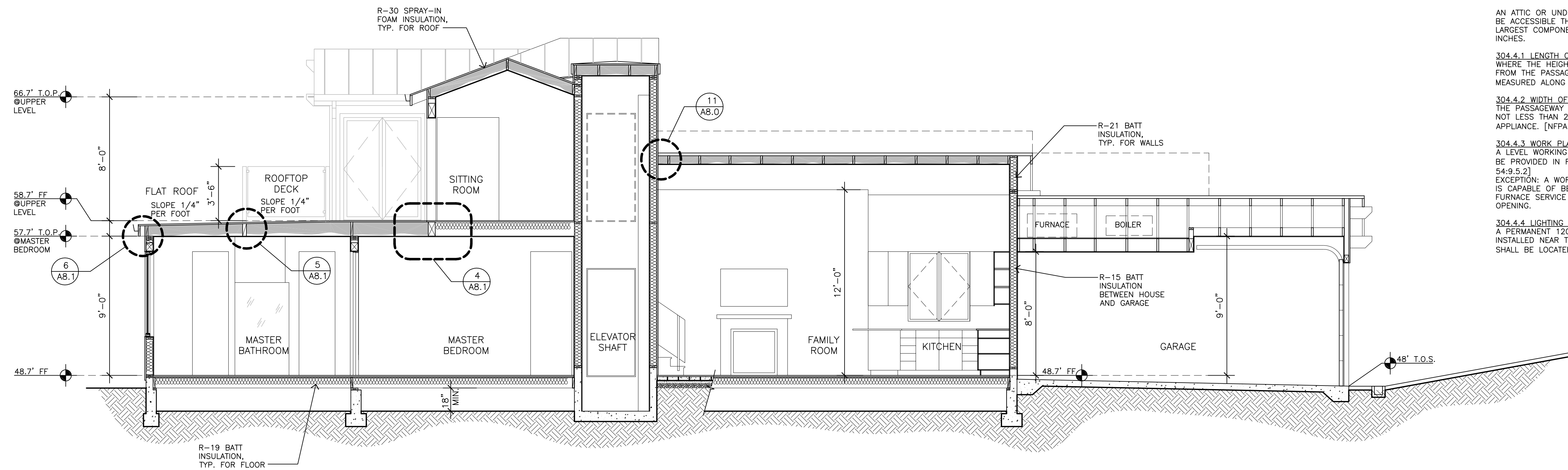
AN ATTIC OR UNDER-FLOOR SPACE IN WHICH AN APPLIANCE IS INSTALLED SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES.

304.4.1 LENGTH OF PASSAGEWAY
WHERE THE HEIGHT OF THE PASSAGEWAY IS LESS THAN 6 FEET, THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20 FEET MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY. [NFPA 54:9.5.1.1]

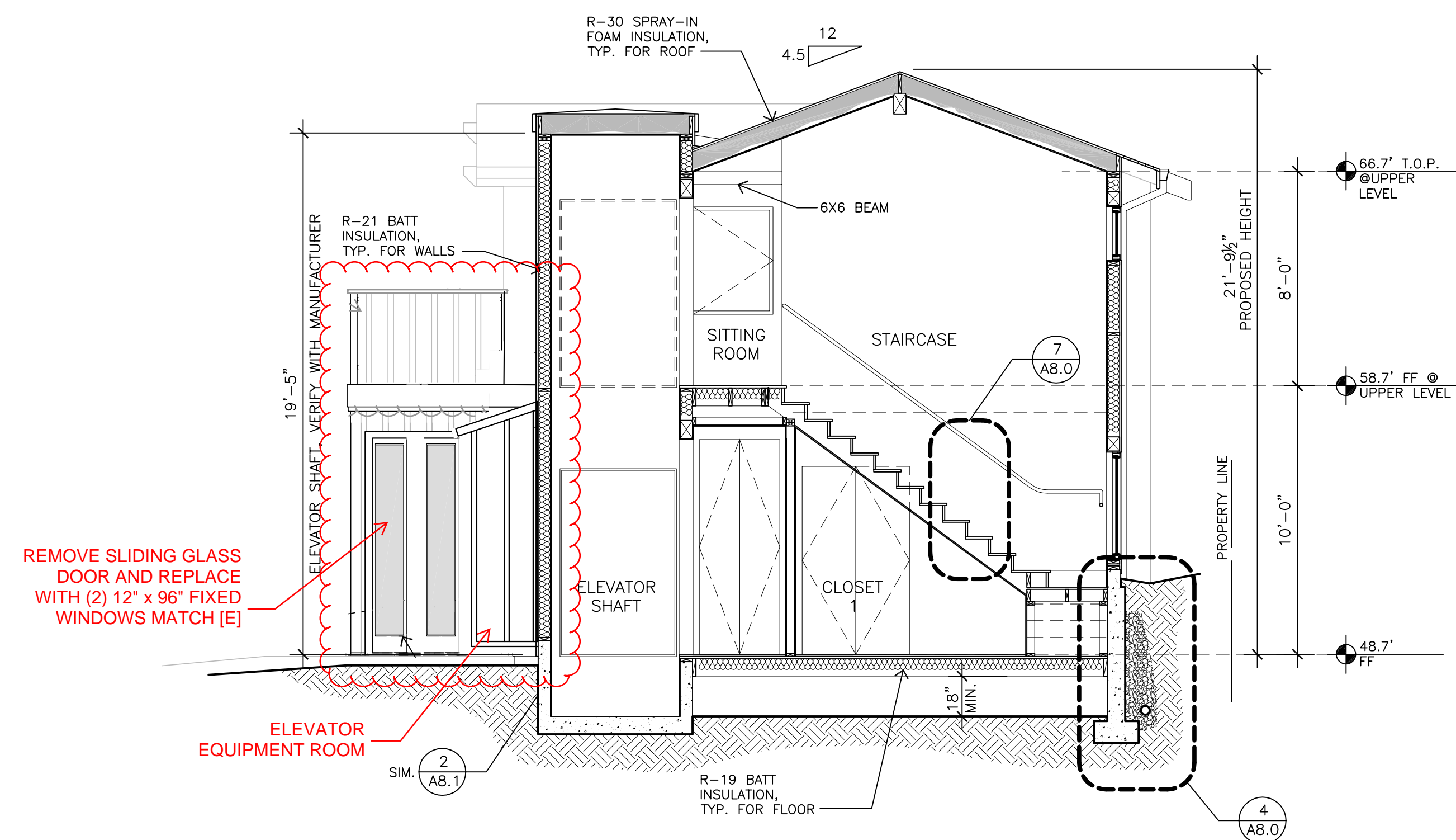
304.4.2 WIDTH OF PASSAGEWAY
THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24 INCHES WIDE FROM THE ENTRANCE OPENING TO THE APPLIANCE. [NFPA 54:9.5.1.2]

304.4.3 WORK PLATFORM
A LEVEL WORKING PLATFORM NOT LESS THAN 30 INCHES BY 30 INCHES SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. [NFPA 54:9.5.2]
EXCEPTION: A WORKING PLATFORM NEED NOT BE PROVIDED WHERE THE FURNACE IS CAPABLE OF BEING SERVED FROM THE REQUIRED ACCESS OPENING. THE FURNACE SERVICE SIDE SHALL NOT EXCEED 12 INCHES FROM THE ACCESS OPENING.

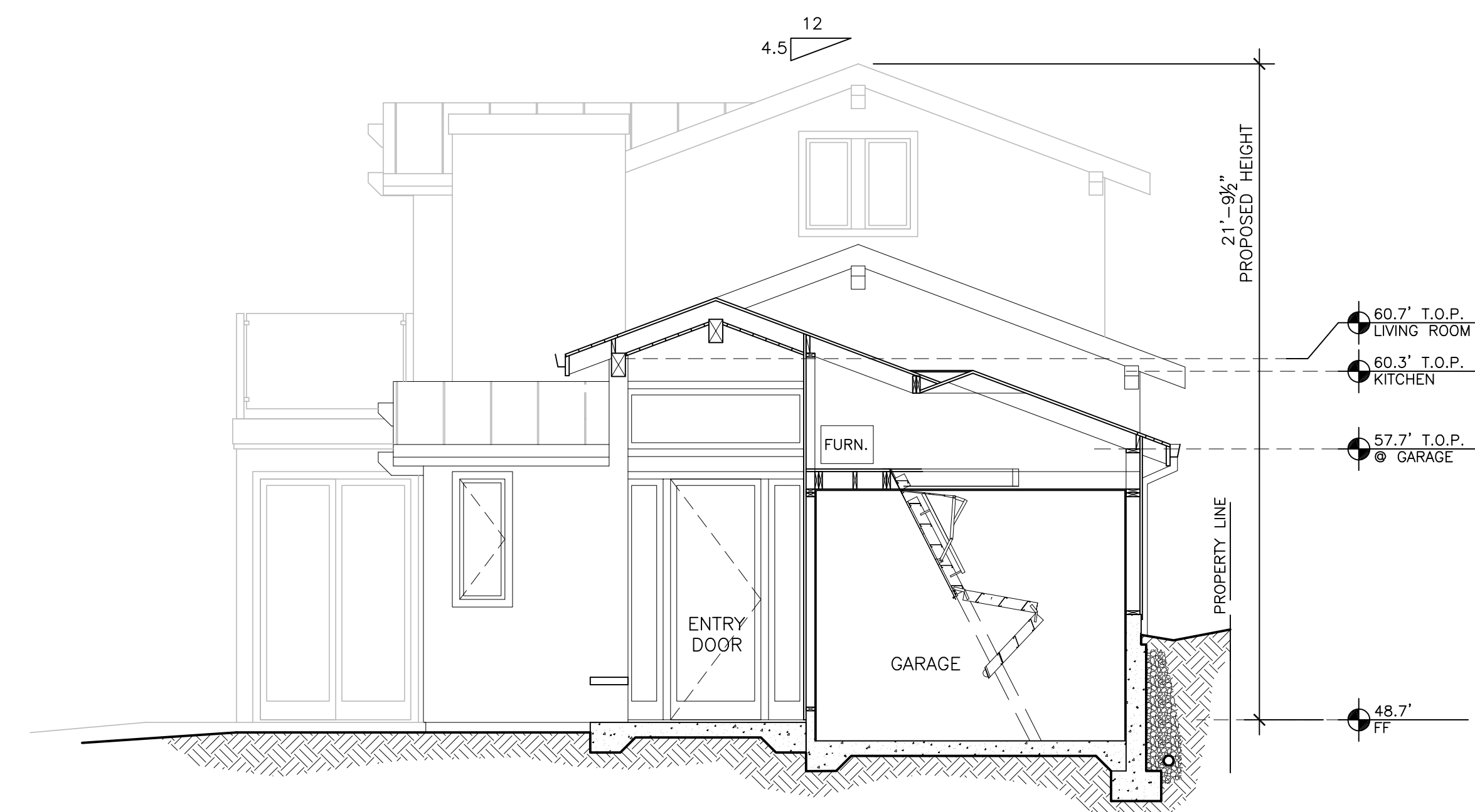
304.4.4 LIGHTING AND CONVENIENCE OUTLET
A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. [NFPA 54:9.5.3]



SECTION A-A 1/4"=1'-0"

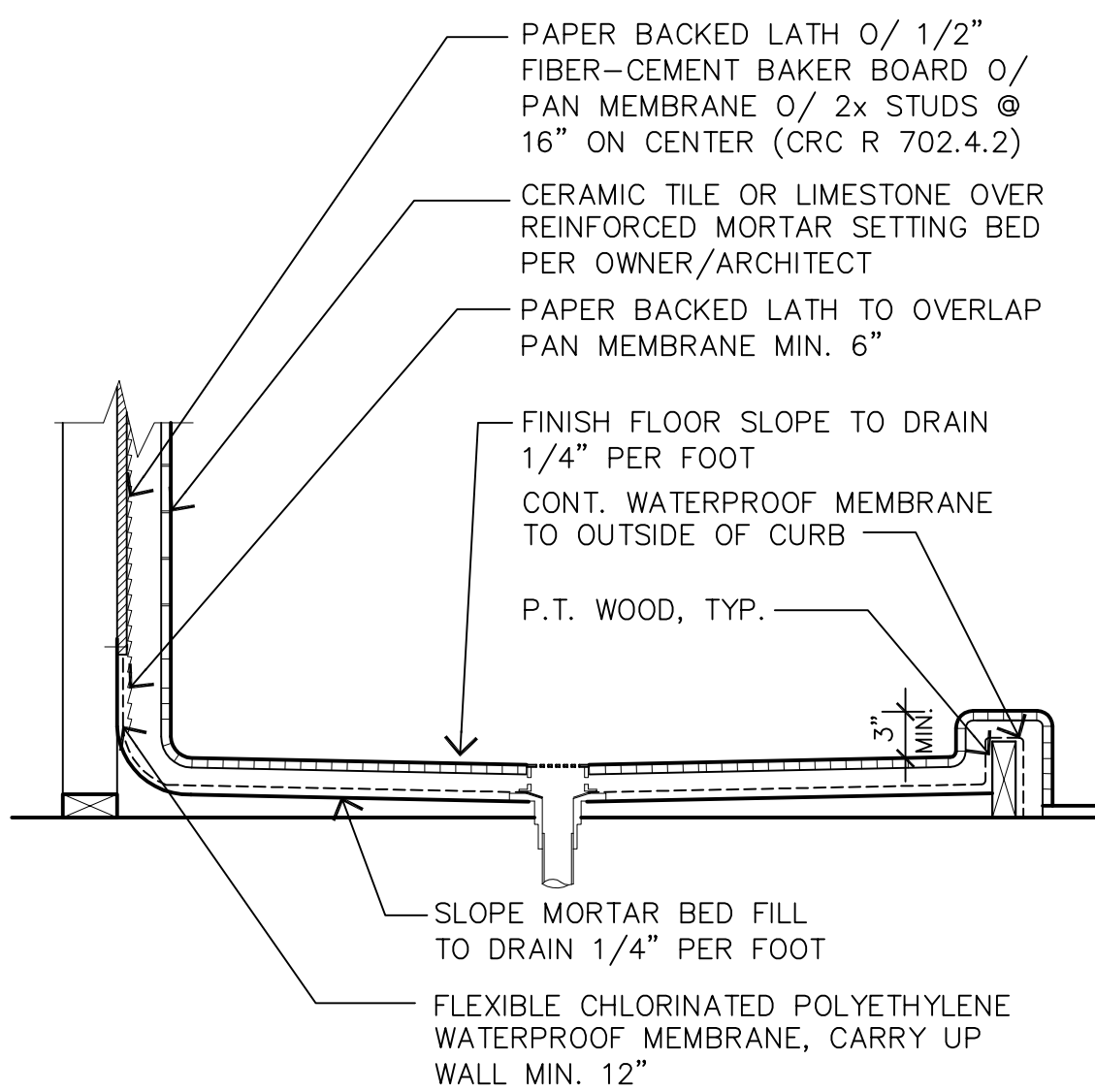


SECTION C-C 1/4"=1'-0"

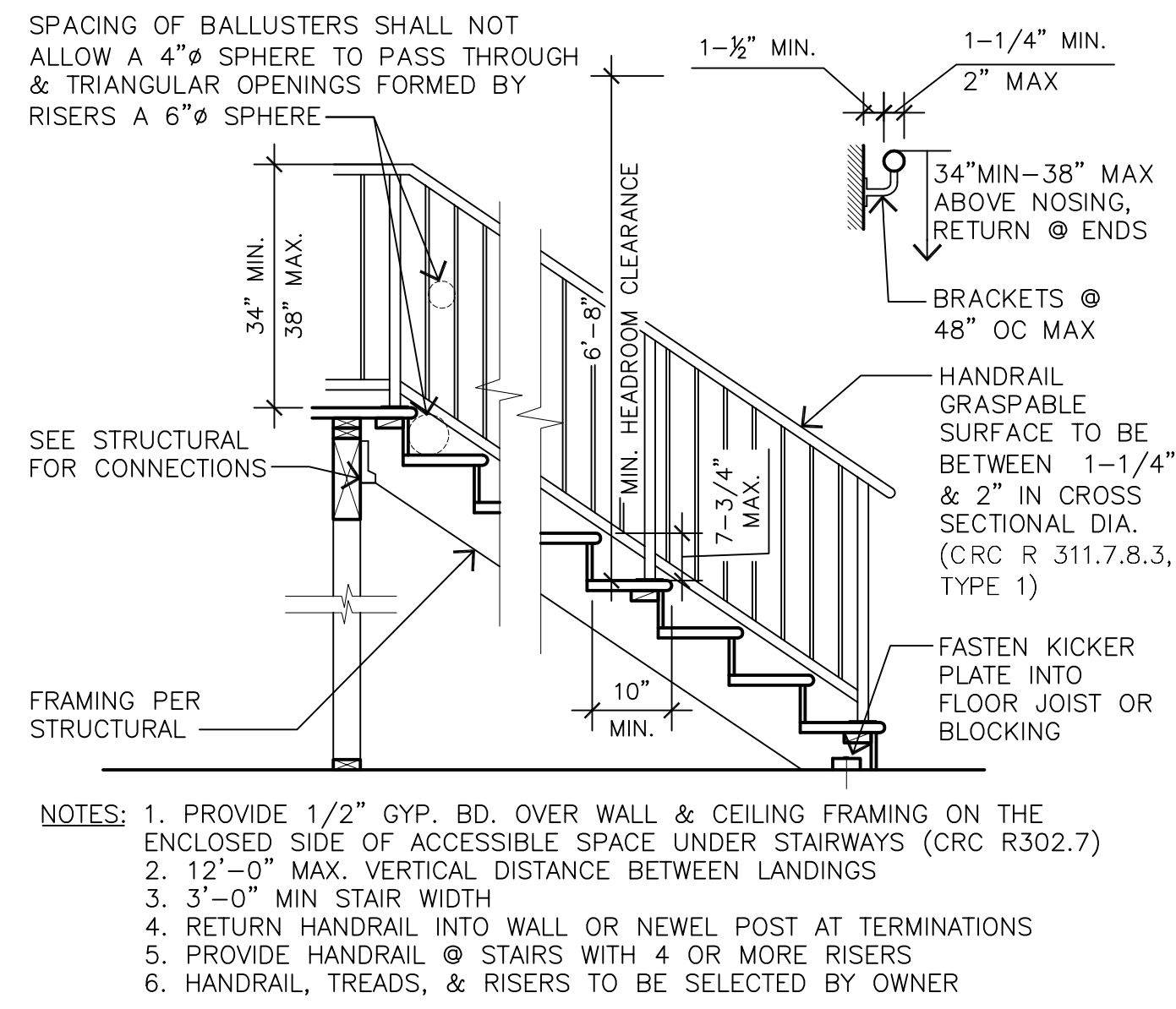


SECTION B-B 1/4"=1'-0"

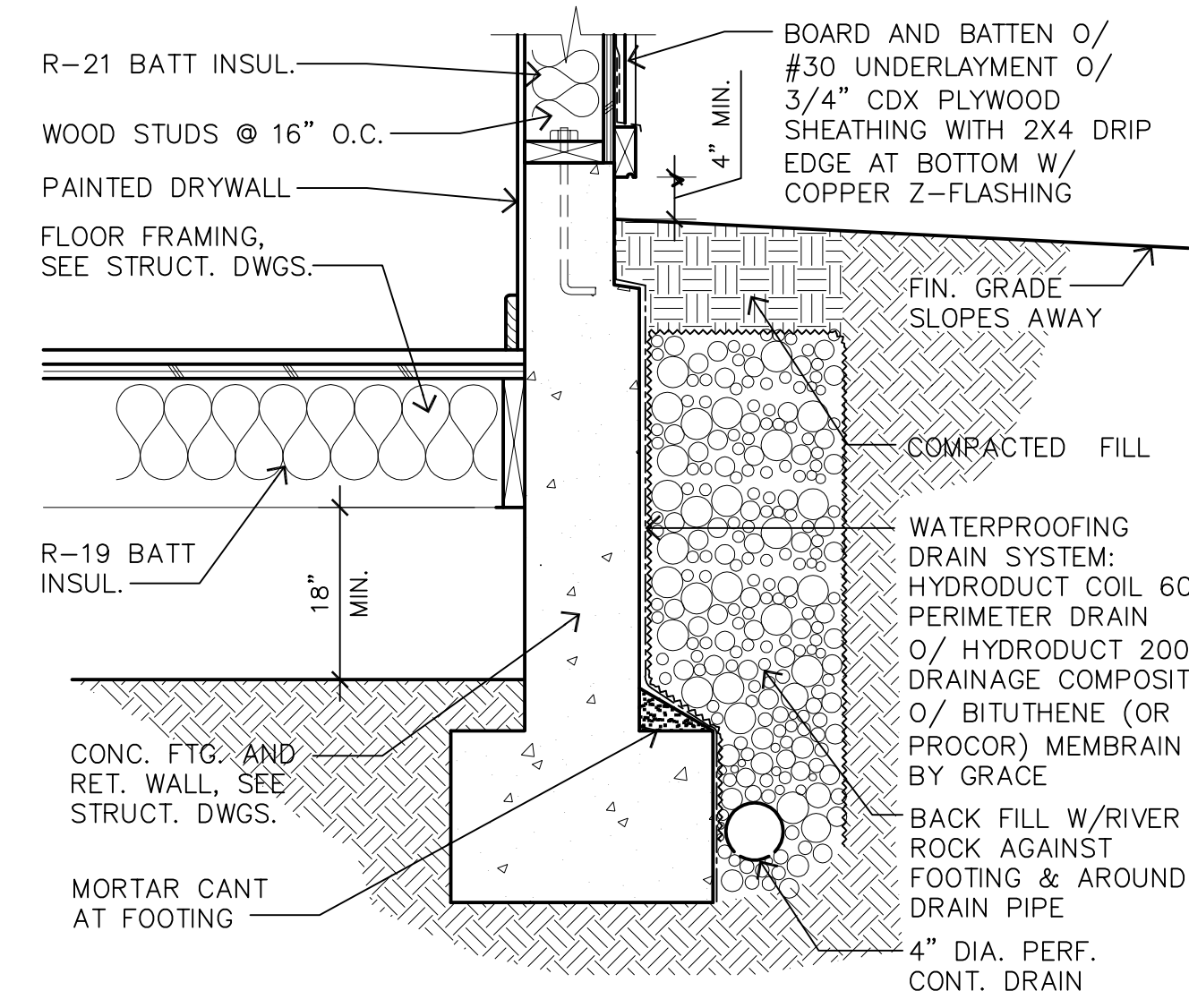
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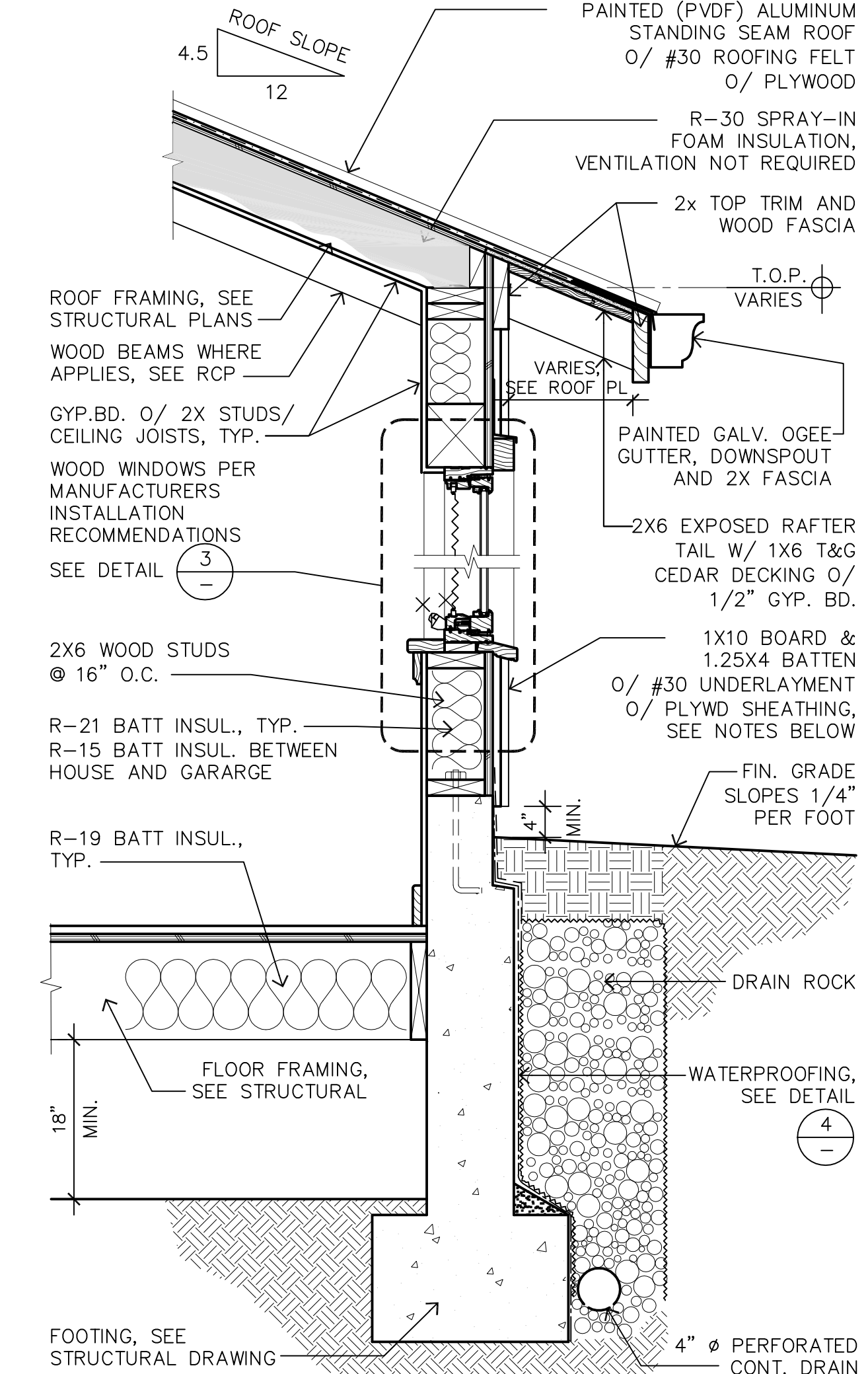
10 SHOWER DETAIL
1"=1'-0"



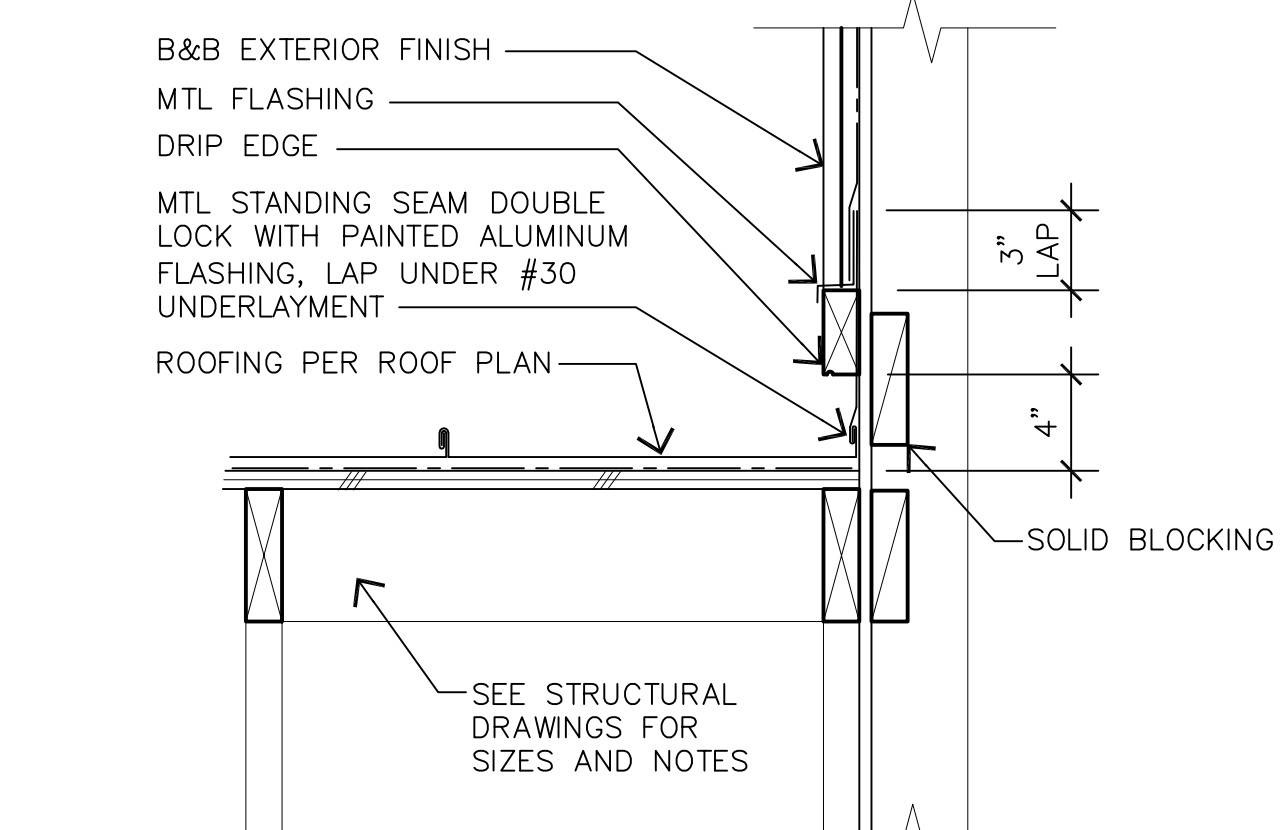
7 INTERIOR STAIR
1/2" = 1'-0"



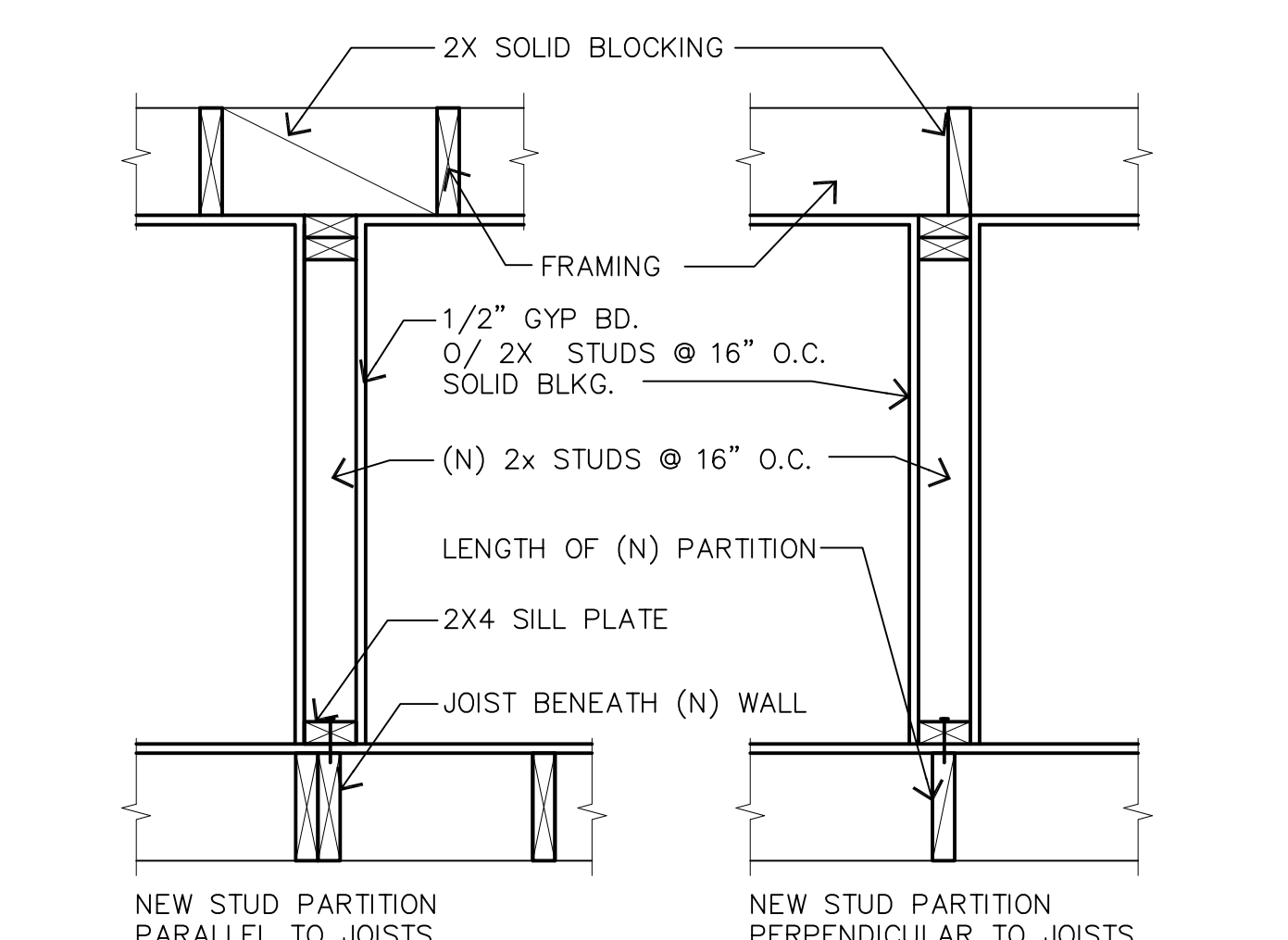
4 WATERPROOFING @ NORTH WALL
1"=1'-0"



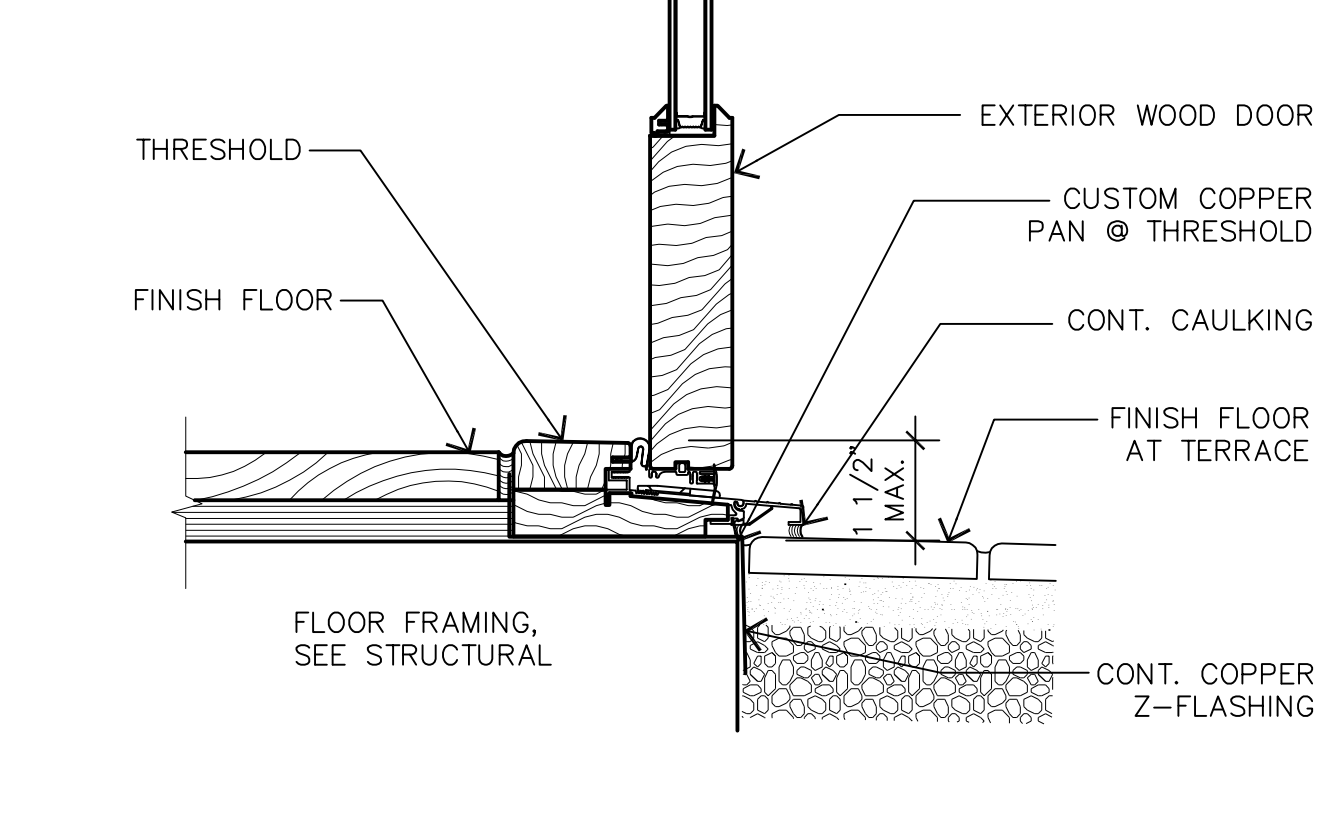
1 TYPICAL WALL SECTION
1"=1'-0"



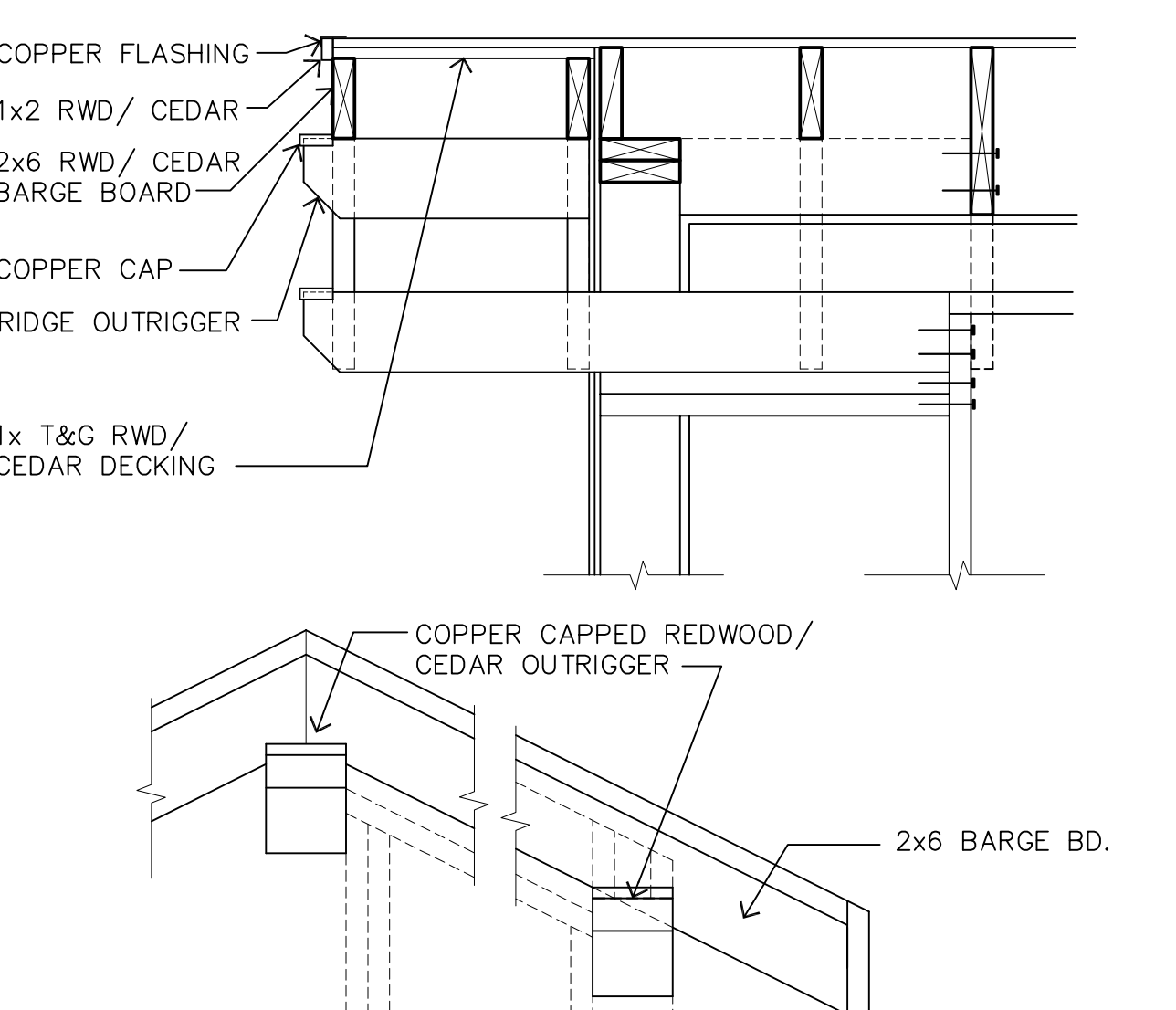
11 ROOF TO WALL TRANSITION
1-1/2"=1'-0"



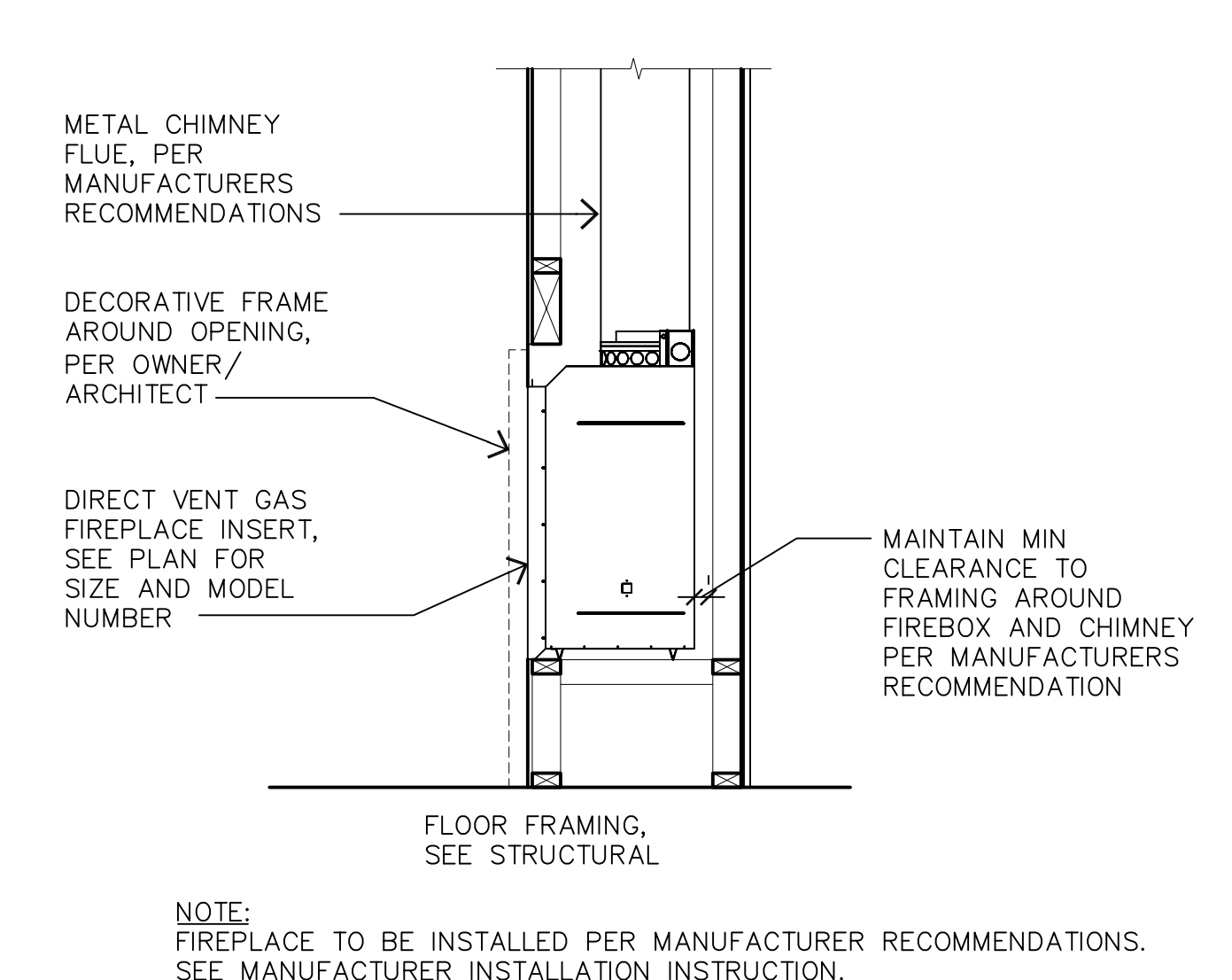
8 NEW NON-BEARING INTERIOR PARTITIONS
1"=1'-0"



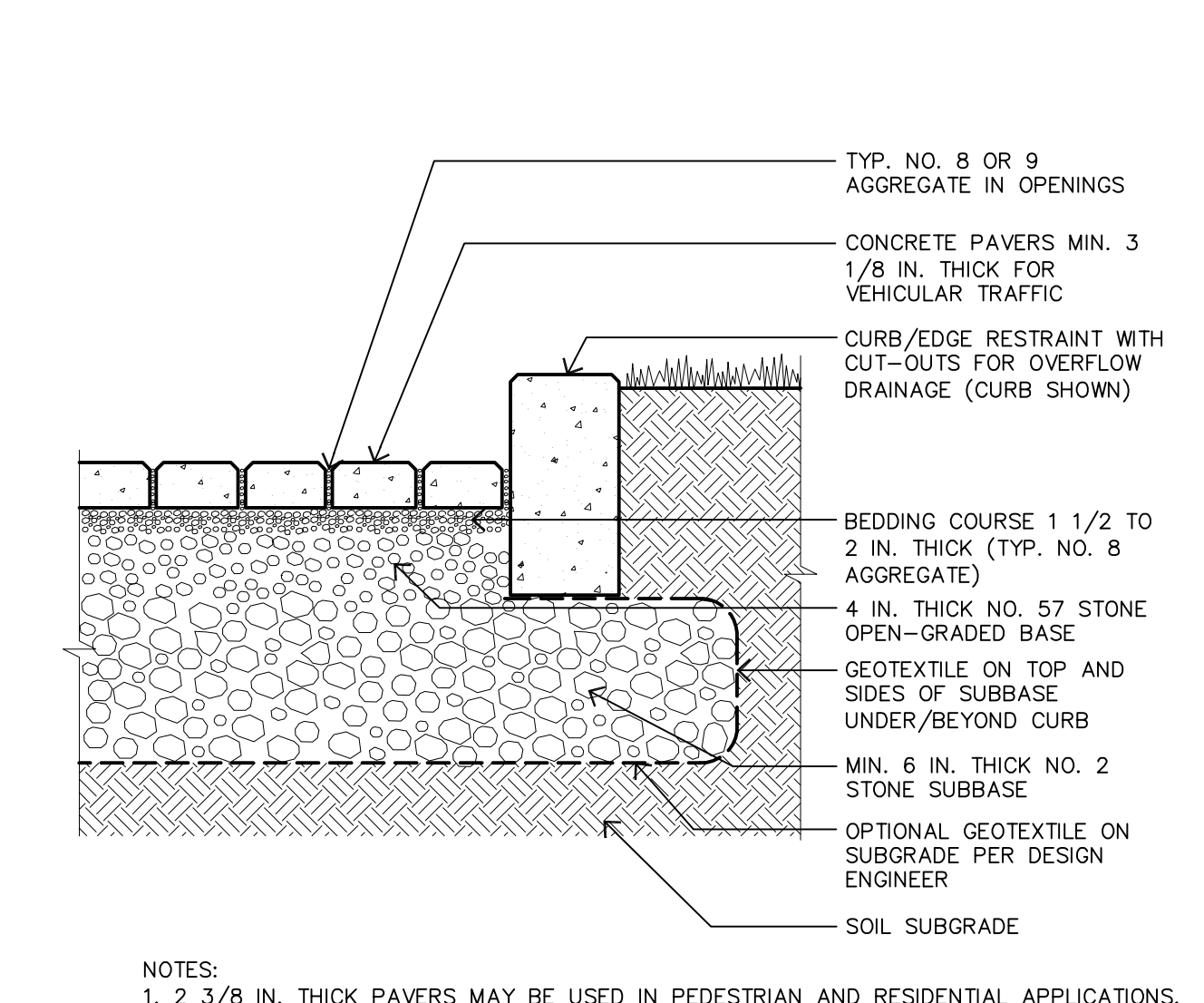
5 TYP. THRESHOLD @ WOOD OUTSWING DOOR
3"=1'-0"



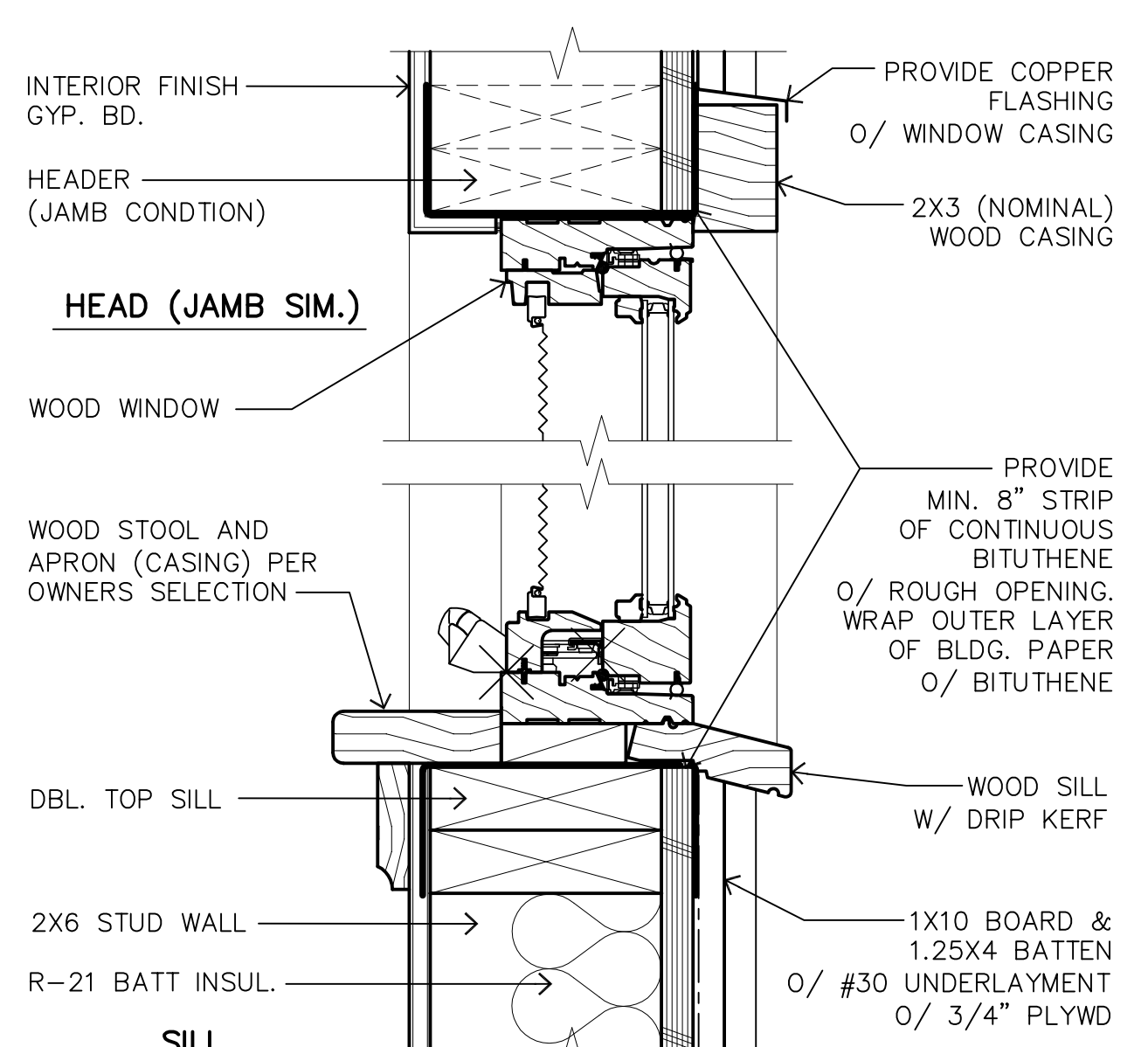
12 GABLE WITH OUTRIGGERS
1"=1'-0"



9 DIRECT VENT GAS FIREPLACE
1/2" = 1'-0"



6 PERMEABLE PAVEMENT WITH FULL EXFILTRATION TO SOIL SUBGRADE
1"=1'-0"



3 WOOD CASEMENT/ FIXED WINDOW
3"=1'-0"

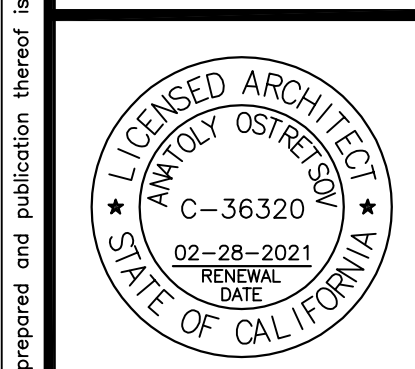


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SANTA RITA 2 SW OF 5TH



REVISIONS:

10-18-21	FIELD REVISIONS
04-20-22	DESIGN REVISIONS

DETAILS

DATE: 07-17-2019
BUILDING PERMIT

SHEET NO.
A8.0

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