New Santa Rita Residence

Santa Rita 2 SW of 5th, Carmel, CA, 93923

GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR. OR FAILURE ON ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK.
- ALL CONSTRUCTION WORK, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA RESIDENTIAL CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF CARMEL. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS
- DETAILS NOTED AS 'TYPICAL' SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THIS PROJECT.
- DIMENSIONS, DETAILS, NOTES, AND/OR SYMBOLS THAT APPLY TO ONE UNIT APPLY TO ALL UNITS IN LIKE SITUATIONS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF STUD (F.O.S.), OR FACE OF CONCRETE (F.O.C.), UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE
- THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION OF ALL SITE UTILITIES AND TO COORDINATE AND AVOID CONFLICT IN THE LOCATIONS OF NEW UNDERGROUND AND SITE UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF
- CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS. AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE CITY OF CARMEL AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDERS CONTAINING LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED.
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSE BIBS.
- SEWER BACK WATER VALVE AND SEWER RELIEF VENT IS REQUIRED

EROSION CONTROL NOTES

1. BETWEEN OCTOBER 15TH AND APRIL 15TH DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOILS PROTECTION.

2. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS. VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.

FIRE NOTES

1. THE HOUSE AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT

ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF

STREET ELEVATION

GENERAL CONTRACTOR NOTES

1. A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATIONS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTION.

2. CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR

3. TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY

. ELECTRICAL SERVICE SHALL BE PROVIDED UNDERGROUND

GRADING NOTES

SHEET INDEX

1. FOUNDATIONS AND RETAINING WALLS ON THE NORTH SIDE OF THE HOUSE WITHIN 15' OF THE PINE TREE ON THE NEIGHBORING LOT SHALL

2. FOUNDATIONS ON THE SOUTH SIDE OF THE HOUSE WITHIN 15' OF THE CYPRESS AND PINE SHALL BE HAND DUG TO IDENTIFY ANY SIGNIFICANT

3. UTILITIES WITHIN 15' OF THE CYPRESS IN THE FRONT OF THE LOT SHALL BE HAND DUG TO IDENTIFY ANY SIGNIFICANT ROOTS.

4. FIRST 4' OF THE FLO WELL EXCAVATION LOCATED WITHIN 6' OF THE PINE TREE MUST BE HAND DUG TO IDENTIFY ANY SIGNIFICANT ROOTS.

NO ROOTS OVER 2" SHALL BE CUT PRIOR TO GETTING APPROVAL

ARCHITECTURAL

A1.0 SITE PLAN

CALGREEN STANDARDS

REFLECTED CEILING PLANS

PLANTING AND IRRIGATION PLAN

SECOND FLOOR FRAMING PLAN

SECOND FLOOR FRAMING DETAILS

STRONG WALL DETAILS AND SPECS

CONSTRUCTION MANAGEMENT PLAN

GRADING, DRAINAGE, AND UTILITY PLAN

EROSION AND SEDIMENT CONTROL PLAN

STANDARD PLANS AND CONSTRUCTION DETAILS

LOW-RISE RESIDENTIAL MANDATORY MEASURES

GRADING, DRAINAGE, AND EROSION CONTROL PLAN COVER SHEET

STANDARD SPECIFICATIONS

EXTERIOR ELEVATIONS

BUILDING SECTIONS

FOUNDATION PLAN

FOUNDATION DETAILS

ROOF FRAMING PLAN

ROOF FRAMING DETAILS

ENERGY COMPLIANCE

DETAILS

DETAILS

ENERGY CALCULATIONS:

PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

BE HAND DUG TO IDENTIFY ANY SIGNIFICANT ROOTS.

FROM THE CITY FORESTER. SOME ROOTS MAY REQUIRE BRIDGING AS REQUIRED BY THE CITY FORESTER.

COVER SHEET, PROJECT INFO, NOTES & ABBREVIATIONS

MAIN LEVEL DIMENSION PLAN, WINDOWS/DOORS INFO

UPPER LEVEL DIMENSION PLAN, WINDOWS/DOORS INFO

CONSTRUCTION BEST MANAGEMENT PRACTICES

MAIN LEVEL FLOOR PLAN, ELECTRICAL, NOTES

UPPER LEVEL FLOOR PLAN. ELECTRICAL. NOTES

CONDITIONS OF APPROVAL, SPECIAL INSPECTIONS FORM

PROJECT DATA

ANATOLY OSTRETSOV P.O.BOX 2272 MONTEREY, CA 93942 (831) 682-1331

PROPERTY OWNER:

MS. JIE MEI 17201 SONORA RD. OAKDALE, CA 95361 TEL. (408) 497-0349

SANTA RITA 2 SW OF 5TH CARMEL, CA 93923

PROJECT DESCRIPTION/ SCOPE OF WORK:

1. NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE (1,800 SF). ROOF TOP DECK (246 SF) LOCATED ABOVE SINGLE-STORY MASTER BEDROOM/ BATHROOM

R-3, U

LOT: 5 BLOCK: 61

010-038-002-000

LEGAL DESCRIPTION:

APPLICABLE CODES:

TYPE OF CONSTRUCTION:

OCCUPANCY: STORIES: HEIGHT LIMIT:

24' (15' AT REAR SETBACK) GRADING: CUT - 150 CY, FILL - 18 CY, SEE CIVIL PLANS TREE REMOVAL:

3 NON-PROTECTED TREES, SEE SITE PLAN 2016 CBC, 2016 CRC, 2016 CFC, 2016 CPC, 2016 CEC, 2016 CMC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING CODE

4,000 S.F.

1,800 S.F.

1,800 S.F. MAIN FLOOR - 1,245 S.F. UPPER FLOOR - 312 S.F. GARAGE -243 S.F.

SITE COVERAGE ALLOWED

LOT AREA:

FLOOR AREA ALLOWED:

FLOOR AREA PROPOSED:

ADDITIONAL 4% OF LOT SIZE (160 SF) FOR DRIVEWAY TOTAL ALLOWED - 556 S.F.

SITE COVERAGE PROPOSED:

	AREA
ROOF DECK (IMPERVIOUS)	43 S.F.
LANDING @ BDRM 1 (IMPERVIOUS)	3 S.F.
MAIN TERRACE (PERMEABLE)	228 S.F.
COVERED PORCH (IMPERVIOUS)	44 S.F.
FRONT PATHWAY (PERMEABLE)	92 S.F.
DRIVEWAY 9'-0" (PERMEABLE)	146 S.F.
UTILITY AREA (MULCH) NOT COUNTED	36 S.F.
TOTAL COVERAGE	556 S.F.

PERMEABLE IMPERVIOUS 466 S.F. (84%) 90 S.F. (16%)



GOLDEN RECTANGLE

SOUTHEAST Carmel Bay State Marine Conservation Area

VICINITY MAP

REVISIONS: <u>08-16-19</u> PLAN CHECK

10-18-21 FIELD REVISIONS 04-20-22
DESIGN REVISIONS

C-36320 ³

RENEWAL DATE

COVER SHEET PROJECT INFO

DATE: 07-17-2019

BUILDING PERMIT

SHEET NO.

A0.0

ARCHITECT:

SANTA RITA STREET ELEVATION

ABBREVIATIONS

HEADER

HANGER

HARDWOOD

HORIZONTAL

INSULATION

KIPS (1,000 LBS.)

MACHINE BOLT

NOT IN CONCRACT

PLY EDGE NAILING

SEE ARCH. DRAWING

SOLID BLOCKING

SQUARE FOOT

SLAB ON GRADE

SPECIFCATIONS

TONGUE & GROOVE

TOP OF CONCRETE

WELDED WIRE MESH

WROUGHT IRON

UNLESS OTHERWISE NOTED

NOT TO SCALE

ON CENTER

PLYWOOD

REQUIRED

REVERSED

SCHEDULE

SHEATHING

STANDARD

TOP OF PLATE

TOP OF WALL

TUBE STEEL

TYPICAL

VERTICAL

WITHOUT

WITH

SHEET

SIMILIAR

TOE NAIL

REINFORCED

MALLEABLE IRON WASHER

PRESSURE TREATED DOUGLAS FIR

INTERIOR

MAXIMUM

MINIMUM

OVER

PLATE

JOIST

LEVEL

HGR.

HDWD.

HORIZ.

INT.

INSUL

L.V.L.

MAX.

N.I.C.

N.T.S.

P.E.N.

P.T.D.F.

PLYWD.

REINF

REQ'D

REV.

S.A.D.

S.O.G.

SHT.

SHTG.

SPEC.

STD.

T.&G.

T.N.

T.O.C.

T.O.P.

T.O.W.

T.S.

TYP.

U.O.N.

VERT.

W.W.M.

SIM.

SCHED.

S.B.

ANCHOR BOLT

ALTERNATE

ALUMINUM

ARCHITECT

AUTOMATIC

ASPHALT

BOARD

BEAM

BLOCKING

BUILDING

BOTTOM

CLEAR

COLUMN

CONCRETE

CONNECTION

CONTINUOUS

COUNTERSINK

DOUGLAS FIR

CENTER

DOUBLE

DIAMETER

DRAWING

EDGE NAILING

ELEVATION

ELEVATOR

EXISTING

EXPANSION

FINISH GRADE

FIELD NAILING

FOUNDATION

GALVANIZED

GALVINIZED IRON

GLUE LAMINATED

GYPSUM BOARD

FACE OF MASONRY

FIRE EXTINGUISHER

EXTERIOR

FLOOR

FEET

FOOTING

GAUGE

EQUAL

FACH

CONSTRUCTION

CONCRETE BLOCK

BETWEEN

CONTRACTION JOINT

APPROXIMATE

ABOVE

ABV.

ALUM.

APPROX

ARCH.

ASPH.

AUTO.

BLKG.

BLDG.

BOT.

BTWN.

CONC.

CONC. BLK

CONSTR

DBL.

G.I.

GLU-LAM.

GYP. BD.

PROJECT SITE

AO ARCHITECTURAL DESIGN

TEL: (831) 682-1331 anatoly@aoarchdesign.com

STRUCTURAL ENGINEER: SEASIDE, CA 93955

TEL: (831) 393-4460 CIVIL ENGINEER: LANDSET ENGINEERS INC.

TEL. (831) 443-6970 FAX (831) 443-3801 ENERGY CONSULTANT:

CONTACT PERSON: DAVID KNIGHT TEL: (831) 372-8328

561-A BRUNKEN AVE. SALINAS, CA 93901 CONTACT PERSON: LAWRENCE E. GRICE TEL. (831)422-9619

DEFERRED SUBMITTALS

1. CONTRACTOR TO SUBMIT SINGLE LINE GAS DIAGRAM FOR APPROVAL PRIOR TO GAS PIPING INSTALLATION.

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS FORM, SEE A0.1 _____

CONSULTANTS

CONTACT PERSON: ANATOLY OSTRETSOV P.O. BOX 2272 MONTEREY, CA 93940

STRUCTURES ENGINEERING, INC 1676 FREMONT BLVD., SUITE G, CONTACT PERSON: WILLIAM COKER, P.E.

> 520-B CRAZY HORSE CANYON RD. SALINAS, CA. 93907 CONTACT PERSON: GUY GIRAUDO

> > MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD. #8, CARMEL-BY-THE-SEA, CA 93923

GEOTECHNICAL ENGINEER: GRICE ENGINEERING, INC.

FAX (831)422-1896

3. PLUMBING DIAGRAM

AMENDED AND ADOPTED BY THE PLANNING COMMISSION ON JUNE 12, 2019

STANDARD CONDITIONS Authorization. This approval of Design Study (DS 19-128, Mei) authorizes the construction of a new, 1,800-square-foot, two-story, single-family residence on a vacant lot located on Santa Rita Street 2 southwest of 5th Avenue in the Single-Family Residential (R-1) Zoning District, as depicted in the plans prepared by AO Architectural Design dated received by Community Planning & Building on May 14, 2019, unless modified by the conditions of approval contained herein.

Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.

Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.

Landscape Plan. All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning

Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester. Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted <u>before</u> cutting the roots.

The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City

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Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an

investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.

Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commissio

Modifications. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection. Setback and Height Certifications. A State licensed surveyor shall survey and certify

the following in writing: The footing locations for conformance with the approved plans prior to footing/foundation inspection; The roof height for conformance with the approved plans prior to roof

sheathing inspection. Written certifications prepared, sealed and signed by the surveyor shall be provided to the building inspector at the time of the specified inspections. 10. Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the

11. Skylights. All skylights shall use non-reflective glass to minimize the amount of light

and glare visible from adjoining properties. The applicant shall install skylights with

flashing that matches the roof color, or shall paint the skylight flashing to match the

transmission during the hours of darkness. The manufacturer's specifications for the

roof color. Skylight shades shall be installed in each skylight to reduce visible light

construction drawings submitted with the building permit application.

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skylights and skylight shades shall be included in the construction drawings submitted with the building permit application . Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their

face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry patter shall be clearly identified in the construction drawings submitted with the building permit application.

3. Unclad Wood Frame Windows. The applicant shall install unclad wood windows. Windows that have been approved with divided lights shall be constructed with true divided lights. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted. The manufacturer's specifications for the windows shall be included in the construction drawings submitted with the building permit application. 14. Indemnification. The applicant agrees, at his or her sole expense, to defend,

indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred. resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all

such actions by the parties hereto. Driveway. The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction

6. Volume Study. This project is subject to a volume study. . Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.

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18. Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to

California Public Resources Code (PRC) Section 5097.98. D. Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures. 20. USA North 811. Prior to any excavation or digging, the applicant shall contact the

appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information) Conditions of Approval. All conditions of approval for the Planning permit(s) shall

be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division **ENVIRONMENTAL COMPLIANCE CONDITIONS**

22. Drainage Plan. Provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas. 23. BMP Tracking Form. A completed BMP Tracking form will need to be submitted

24. Cross-Section Details for Semi-Permeable Surfaces. Cross-section details will need to be provided with the Building Permit application for semi-permeable surfaces, including the sand-set flagstone surface and semi-permeable stone surface. 25. Erosion and Sediment Control Plan. Provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access with Building Permit application.

with the Building Permit Application.

SPECIAL CONDITIONS

'English laurel' at a height of 9'. *Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

DS 19-128 (Mei)

June 13, 2019

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Final Conditions of Approval

6' to a maximum of 4'.

removed within 2 years following final inspection.

Once signed, please return to the Community Planning & Building Department.

Inspection of welding for REINFORCING steel:

Shear reinforcement

Other reinforcing steel

□ Bracing and stiffening details Member locations

Application of joint details at each connection

Welding of stairs and railing systems

Verifying use of specified design mix

the temp, of the concrete

application techniques

Inspection of pre-stressed concrete

Erection of pre-cast members

20171030 Statement of Special Inspections, Tests, and Observations

Application of pre-stressing forces

Welding of cold-formed sheet steel framing members

□ Inspection of reinforcing steel, including pre-stressing tendons

☐ Inspection of reinforcing steel welding in accordance with T.

Inspect bolts to be installed in concrete prior to and during

At time fresh concrete is sampled to fabricate specimens for

Inspection of concrete and shotcrete placement for proper

Inspection for maintenance of specified curing temp. and

☐ Grouting of bonded pre-stressed tendons in the seismic force-

strength tests, perform slump and air content tests, and determine | X

placement of concrete where allowable loads have been increased | x | Epoxy Bolts

□ Verification of weld-ability of reinforcing steel other than ASTM

ermediate and special moment frames and boundary elements

of special reinforced concrete shear walls and shear reinforcing.

nspection of steel frame joint details for compliance with plans

☐ Reinforcing steel-resisting flexural and axial forces in

26. 30" Monterey cypress. The southeast corner of the master bedroom is within the 6'

root protection zone of the 30" Monterey cypress tree. This area shall be hand dug

and the City Forester shall be contacted to inspect the area prior to construction. A

applicant shall install up to 2' of temporary framed lattice on top of the existing,

completion of construction and up to 2 years thereafter to allow the vegetated

privacy screen an opportunity to grow. The temporary framed lattice shall be

28. Trash Enclosure. The application shall reduce the height of the trash enclosure from

29. Second Story Deck Railing. The second story deck railing shall be opaque glass on

30. Landscape Privacy Screen (South Elevation). The landscape privacy screen along

the south property line shall be extended the full length of the second story deck.

laurel on the final landscape plan so staff can verify it is fast growing and will reach

an appropriate height to provide privacy. The size of the plant material shall be in

accordance with the plans prepared by Robert Shuler Design dated 5-14-2019 and

presented to the Planning Commission on June 12, 2019 which indicate 24" box

Printed Name

31. Board and Batten Siding. Natural wood shall be used for the board and batten

32. English Laurel Privacy Screen. The applicant shall specify the variety of English

7. West Property Line Fence. Within 7 days of the issuance of building permits, the

bridged footing may be required if deemed necessary by the City Forester.

west property line fence and shall maintain the temporary lattice through

City of Carmel-by-the-Sea **Building Safety Division**

Statement of Special Inspections, Tests, and Observations

Bld. Permit #: APN: 010-038-00	
Location: Santa Rita 2 SW of 5th Proj	ect Type: SFR
Applicant: Anatoly Ostretsov Address: P.O. Box 2272 City/State: Monterey, CA zip: 93940 Phone: 831-682-1331 Email: anatoly@aoarchdesign.com	Contractor: T.B.D. Address: Zip: Phone: Email:
Owner: Ms. Jie Mei Address: 17201 Sonora Rd. City/State: Oakdale, CA Zip: 95361 Phone: 408-497-0349 Email:	Engineer/Architect: Structures Engineering, Inc Address: 1676 Fremont Blvd., Suite G City/State: Seaside, CA Zip: 93955 Phone: 831-393-4460 Email:

New Single Family Residence

This "Statement of Special Inspections, Tests, and Inspections" is submitted in accordance with the and Observations shall be performed in accordance with the APPROVED plans and specifications, this Statement and CBC Chapter 17. Reports of the results of special inspections, tests and observations shall be submitted to the Building Safety Division prior to City inspection of the subject work. A final Report of Special Inspections, Testing, and Observations documenting the following shall be submitted prior to issuance of a Certificate of Occupancy:

 The required inspections, tests and observations performed; and The manner of correction of any discrepancies and their final approval.

The Owner and Contractor recognize their obligations to ensure that the construction complies with the approved permit documents and to implement this program of special inspections. In partial fulfillment of these obligations, the Owner will retain and pay for the work described in this form. This Statement has been developed with the understanding that the Building Official will:

Review and approve the qualifications of the personnel performing special inspections, tests,

and observations; . Monitor special inspection activities on the job site to assure that the personnel are qualified to,

and are, performing their duties as described herein; · Review submitted inspection reports;

Code Section

Masonry

Inspection

· Perform inspections on behalf of the City as required by the Carmel-by-the-Sea Building Code

Inspection/Test/Observation

Location of reinforcement, connectors, pre-stressing tendons,

At the start of masonry construction verify the following to

☐ Grade and size of pre-stressing tendons and anchorages

 $\hfill\square$ Type, size, and location of anchors, including other details of anchorage of masonry to structural members, frames or other

Protection of masonry during extreme weather (<40° or >90°)

Placement of reinforcement, connectors, prestressing tendons

☐ Proportions of site-prepared grout and prestressing grout for

☐ Verify grout placement to ensure compliance with code and

□ Observe preparation of required grout specimens, mortar

□ Verify compliance with required inspection provisions of the

Observe grouting of prestressing bonded tendons

construction documents and the approved submittals

Specified size, grade and type of reinforcement

Application and measurement of prestressing force

Prior to grouting verify the following for compliance

☐ Proportions of site-prepared mortar Construction of mortar joints

☐ Size and location of structural elements

Welding of reinforcing bars

□ Construction of mortar joints

construction document specifications

□ Grout space is clean

bonded tendons

specimens or prisms

and anchorages □ Pre-stressing technique

20171030 Statement of Special Inspections, Tests, and Observations

CP

Special Inspection Agencies Engaged

Each special inspection agency, testing facility, and observer shall be recognized by the Building Official prior to performing any duties. Special inspection agencies listed on this form must be pre-approved and listed on the City of Carmel's approved Special Inspector list. No agency changes shall be made without first obtaining the approval of the Building Official. Any unauthorized changes may result in a "Stop Work Order" and possible permit revocation. To be pre-approved by the City of Carmel, a company shall be listed on the Monterey County Resource Management Agency Special Inspectors list; or shall submit a company profile including resumes of all employees, their certifications, and a list of the types of work for which recognition is requested to the Building Official at least 2 weeks in advance.

The following are the special inspection, testing and observation agencies that will perform work on this project

Expertise	Firm/Inspector Information*				
Special Inspection (Except for Geotechnical)	Firm: Advanced Testing & Inspection, LLC	Address: 540-8 Brunkton Av	ô		
For the contract of the second contract of th	City: Salines	State: CA	Zip: 93901		
	Phone: 831-422-2272	Email: ablesting@gme	il.com		
Material Testing	Firm:	Address:			
Fig	City:	State:	Zip:		
	Phone:	Email:	- 12000		
Geotechnical	Firm:	Address:			
	City:	State:	Zip:		
	Phone:	Email:			
Other (Specify):	Firm:	Address:	111		
	City:	State:	Zip:		
	Phone:	Email:			

I have read and agree to comply with the terms and conditions of this statement

Registered Design Professional in Charge	Signature: / Lill Coh Lic.# C 82497	Date: 07-19-19
Owner Name: Agent Anatoly Ostretsov Owners Authorization	Signature Agony,	Date: 7/19/19
Inspection Agency/Inspector Name:	Signature M - Ternalicelian	Date:07-20-1
Building Official: Building Official's Acceptance	Signature	Date:

20171030 Statement of Special Inspections, Tests, and Observations

ode Section	Inspection/Test/Observation	C	P	Notes
	From the beginning of masonry construction the following shall be verified to ensure compliance:		x	
	☐ Proportions of site-prepared mortar, grout, and prestressing		^	
	grout for bonded tendons.			
	☐ Placement of masonry units and construction of mortar joints		x	
	☐ Placement of reinforcement, connectors, and prestressing tendons and anchorage		x	
	☐ Grout space prior to grouting	X		
	□ Placement of grout	X		
Table	□ Placement of prestressing grout	X		
1704.5.3 Level 2	Verify: Size and location of structural elements		x	
Masonry Inspection	☐ Type, size, and location of anchors, including other details of anchorage of masonry to structural members, frames and other construction	x		
	☐ Specified size, grade, and type of reinforcement		x	
	☐ Welding of reinforcement bars	X		
	☐ Protection of masonry during extreme weather (<40° or >90°)		x	
	□ Application and measurement of prestressing force	x		
	Observation of the preparation of any required grout specimens, mortar specimens, and/or prisms	x		
	☐ Verification of compliance with required provisions of construction documents and the approved submittals		x	
Section 1704.6	☐ Inspection of pre-fabricated wood structural elements and assemblies in accordance with Section 1704.2	-	-	
1/04.0	☐ Inspect site-built assemblies	_		
1704.6.1	□ Verify grade and thickness of sheathing	_		
High-Load Diaphragms	☐ Verify nominal size of framing members at adjoining panel edges	_		
onpogo	☐ Verify: a. Nail or staple diameter and length b. Number of fastener lines c. Spacing between fasteners in the field and at the edges	-	-	
Table 1704.7	☐ Verify materials below footings are adequate to achieve the desired bearing capacity		x	
Soils	☐ Verify excavations are extended to proper depth and have reached proper material		x	
	☐ Perform classification and testing of controlled fill materials		x	
	☐ Verify use of proper materials, densities and lift thicknesses during placement and compaction of controlled fill	x		
	☐ Prior to placement of controlled fill, observe subgrade and verify that site has been properly prepared		x	

Descriptions of work requiring Special Inspections, Tests or Observations

Seismic Requirements (Section 1705.3.1) Description of seismic-force resistance system and designated seismic systems subject to special inspections per Shear Wall nailing for 4" or less E.N. **Epoxy Bolts**

Wind Requirements (Section 1705.4.1)

Description of the main wind-force resistance system and designated wind resisting components subject to special inspections per Sec. 1705.4.2

Geotechnical Requirements (Geotechnical Engineer's Report) Description of the geotechnical elements subject to special inspection, testing and observations. SEE TABLE BELOW $\sim\sim\sim\sim$

20171030 Statement of Special Inspections, Tests, and Observations

Code Section	Inspection/Test/Observation	С	Р	Notes
	☐ Verify pile materials, sizes, and lengths comply with design requirements	x		
	☐ Determine capacities of test piles and conduct additional load tests as required	x		
Table 1704.8 Pile Foundations	Observe driving operations and maintain complete and accurate records for each pile	x		
	□ Verify location of piles and their plumbness a. Confirm type and size of hammer b. Record number of blows per foot of penetration c. Determine required penetrations to achieve design capacity d. Record tip and but elevations and record any pile damage	x		
	☐ For steel piles, perform additional inspections in accordance with Sec. 1704.3	_	-	
	☐ For specialty piles, perform additional inspections as determined by the registered design professional in responsible charge	_	-	
	☐ For augered, uncased piles and caisson piles, perform inspections in accordance with Sec. 1704.9	-	-	
	Observe drilling operations and maintain complete and accurate records for each pier	x		
Table 1704.9 Pier Foundations	Verify locations of piers and their plumbness, confirming: a. Pier diameter b. Bell diameters c. Lengths, embedment into bedrock (if applicable) d. Adequate end strata bearing capacity	x		
	☐ Inspect surface for compliance with the approved fire- resistance design and the approved manufacturer's written instructions	_	-	
1704.10 Spray	☐ Verify minimum ambient temperature before and after application	-	-	
Applied Fire-	☐ Verify ventilation of area during and after application		x	
Resistant Materials	☐ Measure average thickness per ASTM E605 and Sec. 1704.10.3	-	_	
Waterials	☐ Verify density of material for conformance with the approved fire-resistant design and ASTM E605	-	-	
	☐ Test cohesive/adhesive bond strength per Sec. 1704.10.5	_	-	
1704.11	☐ Mastic and intumescent fire-resistant coatings	_	_	
1704.12	☐ Exterior Insulation and Finish Systems (EFIS)	_	_	
1704.13	☐ Alternate materials and systems	-	_	
1704.14	☐ Smoke control systems	_	_	
	Section 1705 – Statement of Special Inspections			
1705.3.4 (4.3)	Suspended ceiling systems and their anchorage	-	-	
	☐ Roof cladding and roof framing connections	_	-	
1705.4.2	☐ Wall connections to roof and floor diaphragms and framing	_	-	
Wind	☐ Roof and floor diaphragm systems, including collectors, drag struts and boundary elements	-	-	

Schedule of Special Inspections, Tests and Observations

Box Entries
 X – Is placed in the column to denote either "C" continuous or "P" periodic inspections – Denotes an activity that is either a one-time activity or one whose frequency is defined by the design professional in responsible charge

Code Section	Inspection/Test/Observation	С	P	Notes
	Sec. 1704 Special Inspections	-		
1704.2.1	Fabrication shop qualification: □ Inspect fabricators fabrication and quality control procedures	-	-	
	Material verification of high-strength bolts, nuts, washers: □ Identification marking conform to ASTM referenced standards		х	
	☐ Manufacturer's Certificate of Compliance required		x	
	Inspection of high-strength bolting: □ Bearing-type connections		x	
	□ Slip-critical connections	x	х	
	Material verification of structural steel: □ Identification markings conform to ASTM referenced standards	-	-	
Table	☐ Manufacturer's mill test reports required	-	_	
1704.3 Steel	Material verification of weld filler materials: □ Identification markings conform to ASTM referenced standards	-	-	
	☐ Manufacturer's Certificate of Compliance required	-	-	
	Inspection of welding for STRUCTURAL steel: Complete and partial penetration welds	x		
	☐ Multi-pass fillet welds	x		
	☐ Single-pass fillet welds >5/16"	x		
	☐ Single-pass fillet welds ≤ 5/16"		x	
	☐ Floor and roof deck welds		x	

20171030 Statement of Special Inspections, Tests, and Observations

Wood

Foundation

1707.6

Components walls weighing more than 15 psf

more than 5 psf

Mechanical power systems

□ Inspect erection and fastening of interior and exterior veneer weighing

☐ Inspect anchorage of electrical equipment for emergency or stand-by

☐ Inspect installation of vibration isolation systems where required by

☐ Verify that the equipment label and anchorage or mounting conforms

☐ Seismic isolation system inspection in accordance with ASCE 7-Sec.

Section 1708.1 Structural Masonry Testing for Seismic Resistance

mponents

Inspect anchorage of non-emergency electrical equipment

equipment must be seismically qualified.

carrying flammable, combustible, or highly toxic contents

☐ Inspect installation of HVAC ductwork that contains hazardous

to the Certificate of Compliance when mechanical and electrical

☐ Verify F'_m and f'_{AAC} every 5000 square feet during construction

 Verify certificates of compliance prior to construction $\ \ \square$ Verify f'_m and f'_{AAC} prior to construction

20171030 Statement of Special Inspections, Tests, and Observations

n	Inspection/Test/Observation	C	P	Notes	Code Section	Inspection/Test/Observation	С	P		No
	☐ Vertical wind-force-resisting systems, including braced frames, moment frames and shear walls	-	-		1708.3	☐ Obtain mill certificates for reinforcing steel, verify compliance with approved construction documents, and verify steel supplied corresponds	-	-		
	☐ Wind-force-resisting-system connections to the foundation	-	-		1708.4	to certificate	+	+	+	
	☐ Fabrication and installation of systems or components required to meet the impact resistance requirements of Sec. 1609.1.2	_	-		1708.4	☐ Structural steel – Invoke the QAP Quality Assurance requirements in AISC 341	-	-		
	Section 1707 – Special Inspections for Seismic Resistance	e		-	1708.5	☐ Obtain certificate that equipment has been tested per Sec. 1708.5	-	-		
	☐ Special inspection for welding in accordance with AISC 341	x			1708.6	☐ Obtain system tests as required by ASCE 7 Sec. 17.8	_	_		
ī	☐ Inspect field gluing operations of elements of the seismic-force-	-				Other Required Inspections/Tests/Observations				
	resisting-system	X			2	☐ Structural Epoxy (per evaluation report)	1	X		
	■ Inspect nailing, bolting, anchoring, and other fastening of components within the seismic-force-resisting-system including:			where nail		☐ Manufactured shear panel(s) used in seismic/wind resistance system (per evaluation report)		x		
	a. Wood shear walls b. Wood diaphragms c. Drag struts, braces d. Shear panels e. Hold-downs		x	spacing is 4 inches or less for shear walls		Geotechnical engineers review of plans for conformance with recommendations/report findings		x		
	☐ Welding of elements of the seismic-force-resisting-system		X		-		+	+	+	
	☐ Inspection of screw attachments, bolting, anchoring, and other fastening of components within the seismic-force-resistance-system including struts, braces and hold-downs		x							
	☐ Placement of reinforcing		X				-	_	-	
	☐ Placement of concrete	x					-	+	-	
	☐ Anchorage of storage racks and access floors 8 feet or greater in height		х				+			
	☐ Inspect erection and fastening of exterior cladding weighing more than 5 psf.		x							
	☐ Inspect erection and fastening of interior and exterior non-bearing		x			······································	<u></u>	_	~	<u>~</u>

$\sim\sim$				_
GE	OTECHNICA	L INSPECTION SCI	HEDULE	~~
Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date complet
Site stripping and clearing	GRICE ENGINEERING	Beginning of Project		
Subexcavation, fill placement, and compaction	GRICE ENGINEERING	Throughout grading operations		
Foundation Excavations	GRICE ENGINEERING	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	GRICE ENGINEERING	Prior to trench backfill		
Utility trench compaction	GRICE ENGINEERING	During backfill operations		FEE
Retaining wall backfill compaction	GRICE ENGINEERING	During backfill operations		
Baserock subgrade compaction	GRICE ENGINEERING	Prior to pavement installation		

20171030 Statement of Special Inspections, Tests, and Observations

ANATOLY OSTRETSOV P.O.BOX 2272 MONTEREY, CA 93942 (831) 682-1331

REVISIONS: <u>08-16-19</u> PLAN CHECK

10-18-21 FIELD REVISIONS 04-20-22 DESIGN REVISIONS

CONDITIONS. SP. INSPECTIONS

DATE: 07-17-2019

BUILDING PERMIT

A0.

SHEET NO.

20171030 Statement of Special Inspections, Tests, and Observations

20171030 Statement of Special Inspections, Tests, and Observations

20171030 Statement of Special Inspections, Tests, and Observations

GENERAL NOTES

BUILDING NOTES

1. REMOVAL OR RELOCATION WALLS AND/OR CHANGING FIXTURE TYPE OR LOCATION REQUIRES FLOOR PLANS SHOWING THE EXISTING AND PROPOSED FLOOR PLAN 2. A WINDOW LOCATED LESS THAN 60" ABOVE THE STANDING SURFACE OF A TUB OR SHOWER SHALL BE TEMPERED 3. SMOKE ALARMS ARE REQUIRED INSIDE EACH SLEEPING ROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS 4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS HAVING ATTACHED

GARAGES AND UNITS THAT HAVE FUEL BURNING APPLIANCES. THERE SHALL BE ONE INSTALLED ON EACH LEVEL INCLUDING BASEMENTS AND ONE OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS 5. RELOCATION OR ADDITION OF PLUMBING FIXTURES REQUIRES A WATER PERMIT FROM MPWMD

KITCHEN NOTES

ELECTRICAL

1. ALL NEW ELECTRICAL TO MEET CURRENT CALIFORNIA ELECTRIC CODE 2. MINIMUM OF TWO (2) 20-AMP CIRCUITS SERVING COUNTER AFCI AND GFCI PROTECTED RECEPTACLES ONLY ARE REQUIRED SPACED NO MORE THAN 4' ON CENTER (2' MAX. FROM A SINK). NO OTHER LIGHTS OR FIXTURES ARE PERMITTED ON THESE TWO CIRCUITS. ALL OUTLETS SHALL BE AFCI AND GFCI PROTECTED. 3. FIXED APPLIANCES AND MICROWAVE SHALL BE PROVIDED POWER FROM ADDITIONAL DEDICATED

4. ONE OUTLET PROVIDED PER AN ISLAND OR PENINSULA, REGARDLESS OF LENGTH OR SIZE, UNLESS SEPARATED INTO MORE THAN ONE COUNTERTOP AREA. ON ISLANDS AND PENINSULA SPACES. RECEPTACLES MAY BE MOUNTED NOT MORE THAN 12" BELOW THE COUNTERTOP AREA WHERE CONSTRUCTION PRECLUDES MOUNTING ABOVE THE COUNTERTOP 5. RECEPTACLES MAY NOT BE MOUNTED UNDER ANY OVERHANG GREATER THAN 6"

6. NEW LIGHTING STANDARDS REQUIRE ALL LUMINAIRES INSTALLED IN RESIDENTIAL BUILDINGS MUST BE HIGH-EFFICACY

1. RELOCATING, ADDING TO, OR OTHERWISE MODIFYING A GAS LINE REQUIRES BOTH A GAS LINE DIAGRAM AND PRESSURE TEST, GAS LINE DIAGRAM MUST BE APPROVED PRIOR TO BEGINNING WORK ON THE GAS PIPING SYSTEM, SEE DEFERRED SUBMITTAL REQUIREMENT ON AO.O. 2. ALL NEW PLUMBING LINES SHALL BE TESTED PRIOR TO COVERING 3. A WATER HAMMER ARRESTOR IS REQUIRED ON THE HOT WATER SUPPLY TO A DISHWASHER

1. ALL NEW APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE GUIDELINES. IT IS IMPORTANT THESE GUIDELINES BE REVIEWED PRIOR TO CLOSING UP THE WALLS

2. MINIMUM OF ONE (1) 20-AMP CIRCUIT SERVING ONLY THE BATHROOM GFCI OUTLETS/LIGHTING

BATHROOM NOTES 1. ALL NEW ELECTRICAL TO MEET CALIFORNIA ELECTRICAL CODE

3. ONE GFCI PROTECTED RECEPTACLE SHALL BE LOCATED WITHIN 3 FEET OF THE SINK'S EDGE 4. NEW LIGHTING STANDARDS REQUIRE ALL LUMINAIRES INSTALLED IN RESIDENTIAL BUILDINGS MUST BE HIGH-FFFICACY 5. ANY LIGHTING DIRECTLY OVER THE SHOWER/TUB AREA IS REQUIRED TO BE APPROVED FOR WET LOCATIONS

IS REQUIRED

1. SHOWER STALLS ARE REQUIRED TO HAVE A MINIMUM CLEAR THRESHOLD OPENING OF 22" AND THE FLOOR AREA MUST BE A MINIMUM OF 1,024 SQ. IN. AND ENCOMPASS A 30" CIRCLE 2. GLASS SHOWER ENCLOSURE MUST BE TEMPERED 3. TOILET AREA IS REQUIRED TO HAVE A MINIMUM WIDTH OF 30" CLEAR SPACE AND 24" CLEAR SPACE IN FRONT

4. SHOWER HEAD MUST HAVE A PRESSURE/ TEMPERATURE BALANCE VALVE 5. A SEWER BACKWATER VALVE AND RELIEF VENT ARE REQUIRED WHEN ADDING OR RELOCATING PLUMBING FIXTURES 6. SHOWER CONTROLS SHALL BE LOCATED ON A SIDE WALL OR OTHERWISE SITUATED TO ALLOWE ADJUSTMENT WITHOUT ENTERING THE SHOWER STREAM.

1. AN "ENERGY STAR" EXHAUST FAN IS REQUIRED IN ANY BATHROOM THAT HAS A TUB OR SHOWER. THE FAN MUST BE CONTROLLED BY A HUMIDISTAT AND VENT TO THE EXTERIOR AND MUST BE SWITCHED SEPARATE FROM THE LIGHT. 2. EXHAUST FANS SHALL TERMINATE OUTSIDE THE BUILDING, AND SHALL BE PROTECTED FROM BACKDRAFT BY AN APPROVED BACKDRAFT DAMPER EITHER AT THE TERMINUS OR INTEGRAL TO THE FAN HOUSING (CA ENERGY CODE 150.0(M)7)

CALGREEN NOTES

1. PROVIDE WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303. THESE INCLUDE MAX. 1.28 GPF FOR WATER CLOSETS, MAX. 1.8 GPM @ 60 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS TO NOT EXCEED 1.8 GPM @ 60 PSI, MAX. 1.2 GPM @ 60 PSI FOR LAVATORY FAUCETS, MAX. 1.8 GPM @ 60 PSI AT KITCHEN FAUCETS. 2. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS. (4.406.1) 3. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

4. ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. (4.504.2.1)

5. PAINTS, STAIN, AND OTHER COATINGS, SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)6. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT

WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED. 7. CARPET & CARPET SYSTEMS SHALL BE COMPLIANT W/ VOC LIMITS (4.504.3)

8. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4 9. HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD

(MDF) USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (4.504.5) 10. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. WALL AND FLOOR FRAMING MEMBERS SHALL NOT EXCEED 19% MOISTURE CONTENT (4.505.3)

11. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY A HUMIDITY CONTROL (4.506.1) 12. CONTRACTOR/ OWNER SHALL PROVIDE VERIFICATION FOR ALL ITEMS LISTED ABOVE, IF APPLIES, TO BUILDING OFFICIAL FOR INSPECTION AS REQUIRED.

CRAWL SPACE VENTILATION CALCULATION

NEW UNDERFLOOR AREA REQUIRING VENTILATION = 1,136 S.F.

 $\frac{1}{150} = 7.57 \text{ SF. REQ'D. VENT.}$

VENTING PROVIDED:

6"X14" SCREENED VENT = .55 SF, EACH VENT

7.57 S.F. / .55 S.F. = 13.7 VENTS REQUIRED

___14___ VENTS PROVIDED

UNDERFLOOR VENTING NOTES:

1. UNDERFLOOR VENTING SHALL BE IN ACCORDANCE WITH CRC 2016, SECTION R408

2. LOCATE OPENINGS AS CLOSE TO CORNERS AS PRACTICAL AND EQUALLY DISTRIBUTED ALONG OPPOSITE WALL LINES TO PROVIDE CROSS VENTILATION. LOCATE VENTS UNDER WINDOWS AND DOORS, WHERE POSSIBLE, SO AS NOT TO REDUCE SHEAR WALLS.

3. OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH, WITH MESH OPENINGS OF 1/4" IN DIMENSION.

ELECTRICAL NOTES

1. WORKING SPACE AT FRONT OF ELECTRICAL EQUIPMENT SHALL HAVE: A MINIMUM DEPTH OF 36 INCHES, WIDTH OF 30 INCHES, HEIGHT OF 6 FEET 6 INCHES (CEC 110.26 (A)(1)(2)) 2. PROVIDE AT LEAST ONE ENTRANCE TO ENCLOSURES FOR ELECTRICAL INSTALLATIONS NOT LESS THAN 24 INCHES WIDE AND 6.5 FEET HIGH (CEC 110.33 (A)).

3. WORKING SPACE SHALL NOT BE USED FOR STORAGE (CEC 110.26 (B)). 4. ILLUMINATION SHALL BE PROVIDED FOR ALL WORKING SPACES ABOUT SERVICE EQUIPMENT, SWITCHBOARDS, SWITCHGEAR, PANEL BOARDS, OR MOTOR CONTROL CENTERS INSTALLED INDOORS (CEC 110.26 (D)).

5. EACH MULTIWIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE BRANCH CIRCUITS ORIGINATES (CEC 210.4(B))

6. ALL 120-VOLT, SINGLE-PHASE, 15- 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIIVNG ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS. OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT (CEC 210.12(A))

7. A MINIMUM OF TWO 20 AMP. SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, AND OTHER SIMILAR AREAS (CEC 210.11 (C)(1))

8. AT LEAST ONE 20 AMP. BRANCH CIRCUIT SHALL BE PROVIDED FOR ALL LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2)) 9. AT LEAST ONE 120-VOLT 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY A BATHROOM RECEPTACLE. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS (CEC 210.11 (C)(3)) 10. 125- AND 250- VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. AN OUTLET BOX HOOD SHALL BE "EXTRA DUTY" (CEC 406.9 (B)(1)) 11. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED AS

TAMPER-RESISTANT RECEPTACLES (CEC 406.12(A)) 12. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN FACH SLEEPING ROOM . OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. . ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER (CRC R 314.3) SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034 (CRC R 314.1.1)

13. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

2. ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, INCLUDING BASEMENTS. 3. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM(CRC R

COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHELL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS (CRC R 315.4)

CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217 (CRC R 315.1.1)

14. AT LEAST ONE LUMINAIRE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.

KEY NOTES

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD. THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD IF THE DOOR DOES NOT SWING

OVER THE LANDING OR FLOOR (CRC R311.3) PROVIDE 5/8 TYPE "X" GYP. BD. ON THE GARAGE SIDE OF CEILING AND WALLS THAT SEPARATES THE GARAGE FROM THE DWELLING UNIT (CRC R302.6) PROVIDE 1/2" GYP. BD. OVER WALL & CEILING FRAMING ON THE ENCLOSED SIDE

OF ACCESSIBLE SPACE UNDER STAIRWAYS (CRC R302.7) OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE FQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMBCORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING AND SELF-LATCHING DEVICE (CRC R302.5.1)

TOPS OF HANDRAILS AND GUARDS WHOSE TOP RAILS SERVE AS A HANDRAIL AT STAIRS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" VERTICALLY ABOVE THE LEADING EDGE OF THE STAIR TREAD NOSING (CRC R311.7.8.1 AND R312.1.2(2)). SPACE BETWEEN BALUSTERS SHALL BE SO THAT A 4 3/8" ø SPHERE CANNOT PASS THROUGH (6" Ø SPHERE WHERE THE RISER, TREAD & BOTTOM RAIL FORM AN OPENING) (CRC R312.1.3). (SEE DETAIL 7/A8.0)

TERRACE, BALCONIES, OR DECKS 30" OR MORE ABOVE FINISH FLOOR OR GRADE REQUIRES A 42" HIGH GUARD RAIL (CRC R312.1.1). SPACE BETWEEN BALUSTERS SHALL BE SO THAT A 4" Ø SPHERE CANNOT PASS THROUGH (CRC R312.1.3). (SEE DETAIL 7/A8.1)

SLOPE TERRACES AT 1/4" PER FT. MIN. AWAY FROM STRUCTURE 200 AMP MAIN ELECTRICAL PANEL WITH U.F.E.R. GROUND (CEC 250.52(3)). PROVIDE 30"(w)X36"(d) MIN. CLEAR WORKING SPACE IN FRONT OF ALL PANELS

(CEC 110.26) 150 AMP ELECTRICAL SUB-PANEL WITH U.F.E.R. GROUND (CEC 250.52(3)). PROVIDE 30"(w)X36"(d) MIN. CLEAR WORKING SPACE IN FRONT OF ALL PANELS (CEC 110.26)

ALL KITCHEN AND GARAGE OUTLETS TO BE G.F.C.I. PROTECTED

4" DIAMETER CONC. FILLED BOLLARD DISHWASHER PER OWNERS SELECTION. DISHWASHER SHALL CONNECT TO THE WASTE PIPING THROUGH AN APPROVED DISHWASHER AIR GAP OR OTHER APPROVED BACKFLOW DEVICE

WASHING MACHINE PER OWNERS SELECTION 30" WIDE GAS COOKTOP WITH OVEN BELOW AND HOOD ABOVE PER OWNERS

PROVIDE 36" WIDE SPACE FOR REFRIGERATOR, VERIFY MAKE AND MODEL WITH PROVIDE R.O. SYSTEM TO ALL SINKS AND REFRIGERATOR IN KITCHEN

PROVIDE 24" WIDE MINIMUM (OUTSWING) TEMPERED GLASS DOOR AT SHOWER ENCLOSURE (ALL GLASS AT SHOWER ENCLOSURE TO BE TEMPERED)

PROVIDE 2x6 STUD WALL FOR THERMOSTATIC SHOWER VALVE

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE NOT LESS THAN 6 FT. ABOVE THE FLOOR (CRC R307.2)

12"x14" RECESSED SHOWER NICHE, VERIFY SIZE WITH OWNER

BUILT-IN SHOWER SEAT, VERIFY SIZE AND FINISH WITH OWNER

RECESSED VANITY CABINET PER OWNERS SELECTION 1.28 GALLON PER FLUSH "HIGH EFFICIENCY" TOILET PER OWNERS SELECTION PROVIDE AN "ENERGY STAR" EXHAUST FAN ON SEPARATE SWITCH IN THIS ROOM.

CLOTHES DRYER AND RANGE TO HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET VENT DRYER TO EXTERIOR WITH 4" METAL MOISTURE EXHAUST DUCT WITH A SMOOTH INTERIOR SURFACE. 14'-0' MAXIMUM HORIZONTAL RUN WITH (2) 90' BENDS MAXIMUM. 2'-0" IN LENGTH SHALL BE DEDUCTED FOR EACH 90" IN EXCESS OF FIRST TWO. (CMC 504.4.2) AIR DUCT EXHAUST SHALL TERMINATE NOT LESS THAN 3 FT. FROM A PROPERTY LINE. 10 FT. FROM A FORCED AIR INLET. AND 3 FT. FROM OPENINGS INTO THE BUILDING (CMC 502.2.1)

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WATER HEATER WITH RECIRCULATING PUMP, SEE DETAIL 8/A8.1 FOR STRAPPING REGENCY DIRECT VENT GAS FIREBOX INSERT MODEL "HORIZON" HR13E-NG11 WITH FLUSH HEARTH. CONTRACTOR/OWNER TO PROVIDE ON SITE THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FACTORY BUILT CHIMNEYS AND FIREPLACES FOR FIELD INSPECTION. CSA 2.17-2017, ANSI Z21.88-2017, CSA

PROVIDE CABINETS/ ADJUSTABLE SHELVING PER OWNERS REQUIREMENTS

WOOD FLOORING PER OWNERS SELECTION

STONE/CERAMIC TILE FLOORING PER OWNERS SELECTION

SEE SHEET A4.0, A4.1 FOR LOCATION.

CARPET FLOORING PER OWNERS SELECTION

PROVIDE A 18"x 24" MINIMUM CRAWL SPACE ACCESS THROUGH THE FLOOR OR 16"x 24" THROUGH A PERIMETER WALL (CRC R408.4) PROVIDE A 22"x 30" MINIMUM ATTIC SPACE ACCESS WITH 30" MINIMUM HEAD

CLEARANCE (CRC R807.1) THE FINAL GRADE SHALL SLOPE AWAY FROM FOUNDATION AT A MIN. OF 5% SLOPE WITHIN 10 FEET OF THE BUILDING FOUNDATION

ACME CUSTOM RESIDENTIAL ELEVATOR, ANSI/ASME A17.1 STANDARDS

ELECTRICAL LEGEND

→ DUPLEX OUTLET

+ HALF SWITCHED OUTLET **⇒** 220 VOLT OUTLET

ARC-FAULT CIRCUIT INTERRUPTER

GROUND-FAULT CIRCUIT INTERRUPTER

WATERPROOF OUTLET (EXTERIOR) TELEPHONE JACK

HIGH SPEED DATA LINE

TELEVISION CABLE GAS OUTLET

KEY VALVE

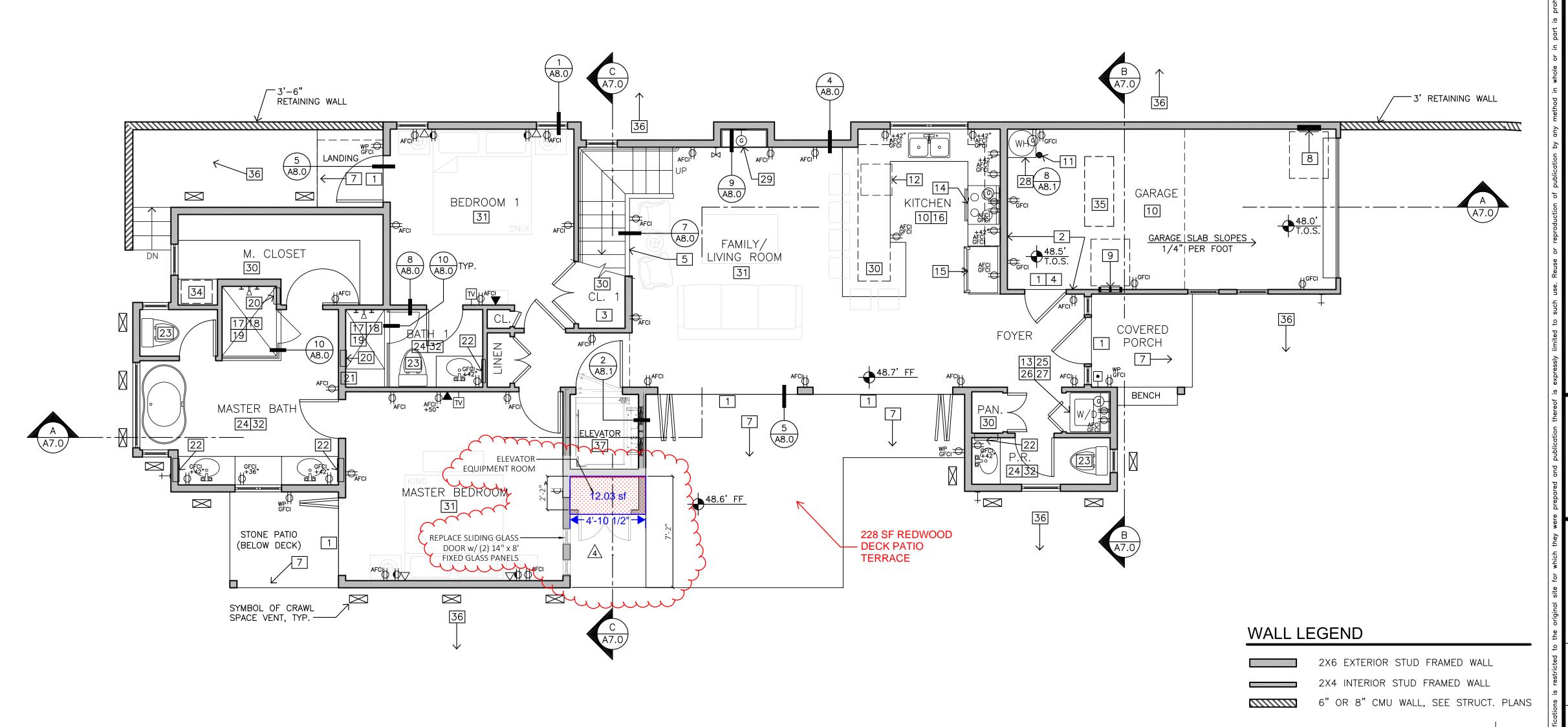
200 AMP MAIN ELECTRICAL PANEL 150 AMP SUB-PANEL

→ HOSE BIB VALVE (WITH NON-REMOVABLE BACK FLOW DEVICE)

DOORBELL

CHIME DOOR BELL CHIME

THE TYPE AND AMOUNT OF PLUMBING FIXTURES ON THIS RESIDENCE ARE REGULATED BY THE MONTEREY PENINSULA WATER MANAGEMENT DISTRICT. PLEASE REFER TO THE WATER PERMIT. CA PLUMBING CODE, AND GREEN BUILDING STANDARDS CODE FOR ALL PLUMBING FIXTURE REQUIREMENTS



AO ARCHITECTURA

ANATOLY OSTRETSOV P.O.BOX 2272 MONTEREY, CA 93942

(831) 682-1331



REVISIONS:

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<u>/1</u>\ <u>08-16-19</u> PLAN CHECK <u>/2</u>\ <u>09-16-19</u> PLAN CHECK 2

10-18-21 FIELD REVISIONS 04-20-22
DESIGN REVISIONS

> MAIN LEVEL FLOOR PLAN

DATE: 07-17-2019

BUILDING PERMIT

SHEET NO.

GENERAL NOTES

BUILDING NOTES

1. REMOVAL OR RELOCATION WALLS AND/OR CHANGING FIXTURE TYPE OR LOCATION REQUIRES FLOOR PLANS SHOWING THE EXISTING AND PROPOSED FLOOR PLAN 2. A WINDOW LOCATED LESS THAN 60" ABOVE THE STANDING SURFACE OF A TUB OR SHOWER SHALL BE TEMPERED 3. SMOKE ALARMS ARE REQUIRED INSIDE EACH SLEEPING ROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS

4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS HAVING ATTACHED GARAGES AND UNITS THAT HAVE FUEL BURNING APPLIANCES. THERE SHALL BE ONE INSTALLED ON EACH LEVEL INCLUDING BASEMENTS AND ONE OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS 5. RELOCATION OR ADDITION OF PLUMBING FIXTURES REQUIRES A WATER PERMIT FROM MPWMD

KITCHEN NOTES

ELECTRICAL

1. ALL NEW ELECTRICAL TO MEET CURRENT CALIFORNIA ELECTRIC CODE 2. MINIMUM OF TWO (2) 20-AMP CIRCUITS SERVING COUNTER AFCI AND GFCI PROTECTED RECEPTACLES ONLY ARE REQUIRED SPACED NO MORE THAN 4' ON CENTER (2' MAX. FROM A SINK). NO OTHER LIGHTS OR FIXTURES ARE PERMITTED ON THESE TWO CIRCUITS. ALL OUTLETS SHALL BE AFCI AND GFCI PROTECTED. 3. FIXED APPLIANCES AND MICROWAVE SHALL BE PROVIDED POWER FROM ADDITIONAL DEDICATED

4. ONE OUTLET PROVIDED PER AN ISLAND OR PENINSULA, REGARDLESS OF LENGTH OR SIZE, UNLESS SEPARATED INTO MORE THAN ONE COUNTERTOP AREA. ON ISLANDS AND PENINSULA SPACES, RECEPTACLES MAY BE MOUNTED NOT MORE THAN 12" BELOW THE COUNTERTOP AREA WHERE CONSTRUCTION PRECLUDES MOUNTING ABOVE THE COUNTERTOP 5. RECEPTACLES MAY NOT BE MOUNTED UNDER ANY OVERHANG GREATER THAN 6"

6. NEW LIGHTING STANDARDS REQUIRE ALL LUMINAIRES INSTALLED IN RESIDENTIAL BUILDINGS MUST BE HIGH-EFFICACY

1. RELOCATING, ADDING TO, OR OTHERWISE MODIFYING A GAS LINE REQUIRES BOTH A GAS LINE DIAGRAM AND PRESSURE TEST, GAS LINE DIAGRAM MUST BE APPROVED PRIOR TO BEGINNING WORK ON THE GAS PIPING SYSTEM, SEE DEFERRED SUBMITTAL REQUIREMENT ON AO.O. 2. ALL NEW PLUMBING LINES SHALL BE TESTED PRIOR TO COVERING 3. A WATER HAMMER ARRESTOR IS REQUIRED ON THE HOT WATER SUPPLY TO A DISHWASHER

1. ALL NEW APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE GUIDELINES. IT IS IMPORTANT THESE GUIDELINES BE REVIEWED PRIOR TO CLOSING UP THE WALLS

BATHROOM NOTES 1. ALL NEW ELECTRICAL TO MEET CALIFORNIA ELECTRICAL CODE

2. MINIMUM OF ONE (1) 20-AMP CIRCUIT SERVING ONLY THE BATHROOM GFCI OUTLETS/LIGHTING

4. NEW LIGHTING STANDARDS REQUIRE ALL LUMINAIRES INSTALLED IN RESIDENTIAL BUILDINGS MUST BE HIGH-FFFICACY 5. ANY LIGHTING DIRECTLY OVER THE SHOWER/TUB AREA IS REQUIRED TO BE APPROVED FOR WET LOCATIONS

3. ONE GFCI PROTECTED RECEPTACLE SHALL BE LOCATED WITHIN 3 FEET OF THE SINK'S EDGE

IS REQUIRED

1. SHOWER STALLS ARE REQUIRED TO HAVE A MINIMUM CLEAR THRESHOLD OPENING OF 22" AND THE FLOOR AREA MUST BE A MINIMUM OF 1,024 SQ. IN. AND ENCOMPASS A 30" CIRCLE 2. GLASS SHOWER ENCLOSURE MUST BE TEMPERED 3. TOILET AREA IS REQUIRED TO HAVE A MINIMUM WIDTH OF 30" CLEAR SPACE AND 24" CLEAR SPACE IN FRONT

4. SHOWER HEAD MUST HAVE A PRESSURE/ TEMPERATURE BALANCE VALVE 5. A SEWER BACKWATER VALVE AND RELIEF VENT ARE REQUIRED WHEN ADDING OR RELOCATING PLUMBING FIXTURES 6. SHOWER CONTROLS SHALL BE LOCATED ON A SIDE WALL OR OTHERWISE SITUATED TO ALLOWE ADJUSTMENT WITHOUT ENTERING THE SHOWER STREAM.

1. AN "ENERGY STAR" EXHAUST FAN IS REQUIRED IN ANY BATHROOM THAT HAS A TUB OR SHOWER. THE FAN MUST BE CONTROLLED BY A HUMIDISTAT AND VENT TO THE EXTERIOR AND MUST BE SWITCHED SEPARATE FROM THE LIGHT. 2. EXHAUST FANS SHALL TERMINATE OUTSIDE THE BUILDING, AND SHALL BE PROTECTED FROM BACKDRAFT BY AN APPROVED BACKDRAFT DAMPER EITHER AT THE TERMINUS OR INTEGRAL TO THE FAN HOUSING (CA ENERGY CODE 150.0(M)7)

CALGREEN NOTES

1. PROVIDE WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303. THESE INCLUDE MAX. 1.28 GPF FOR WATER CLOSETS, MAX. 1.8 GPM @ 60 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS TO NOT EXCEED 1.8 GPM @ 60 PSI, MAX. 1.2 GPM @ 60 PSI FOR LAVATORY FAUCETS, MAX. 1.8 GPM @ 60 PSI AT KITCHEN FAUCETS. 2. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS. (4.406.1) 3. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

4. ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. (4.504.2.1)

5. PAINTS, STAIN, AND OTHER COATINGS, SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)6. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT

WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED. 7. CARPET & CARPET SYSTEMS SHALL BE COMPLIANT W/ VOC LIMITS (4.504.3)

8. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4 9. HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD

(MDF) USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (4.504.5) 10. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. WALL AND FLOOR FRAMING MEMBERS SHALL NOT EXCEED 19% MOISTURE CONTENT (4.505.3)

11. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY A HUMIDITY CONTROL (4.506.1)

12. CONTRACTOR/ OWNER SHALL PROVIDE VERIFICATION FOR ALL ITEMS LISTED ABOVE, IF APPLIES, TO BUILDING OFFICIAL FOR INSPECTION AS REQUIRED.

ELECTRICAL NOTES

1. WORKING SPACE AT FRONT OF ELECTRICAL EQUIPMENT SHALL HAVE: A MINIMUM DEPTH OF 36 INCHES, WIDTH OF 30 INCHES, HEIGHT OF 6 FEET 6 INCHES (CEC 110.26 (A)(1)(2)) 2. PROVIDE AT LEAST ONE ENTRANCE TO ENCLOSURES FOR ELECTRICAL INSTALLATIONS NOT LESS THAN 24 INCHES WIDE AND 6.5 FEET HIGH (CEC 110.33 (A)).

3. WORKING SPACE SHALL NOT BE USED FOR STORAGE (CEC 110.26 (B)). 4. ILLUMINATION SHALL BE PROVIDED FOR ALL WORKING SPACES ABOUT SERVICE EQUIPMENT, SWITCHBOARDS, SWITCHGEAR, PANEL BOARDS, OR MOTOR CONTROL CENTERS INSTALLED INDOORS (CEC 110.26 (D)).

5. EACH MULTIWIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE BRANCH CIRCUITS ORIGINATES (CEC 210.4(B))

6. ALL 120-VOLT, SINGLE-PHASE, 15- 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIIVNG ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS. OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT (CEC 210.12(A))

7. A MINIMUM OF TWO 20 AMP. SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, AND OTHER SIMILAR AREAS (CEC 210.11 (C)(1))

8. AT LEAST ONE 20 AMP. BRANCH CIRCUIT SHALL BE PROVIDED FOR ALL LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2)) 9. AT LEAST ONE 120-VOLT 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY A BATHROOM RECEPTACLE. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS (CEC 210.11 (C)(3)) 10. 125- AND 250- VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. AN OUTLET BOX HOOD SHALL BE "EXTRA DUTY" (CEC 406.9 (B)(1))

11. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES (CEC 406.12(A))

12. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN FACH SLEEPING ROOM . OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER (CRC R 314.3) SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034 (CRC R 314.1.1)

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ELECTRICAL LEGEND

→ DUPLEX OUTLET

+ HALF SWITCHED OUTLET **⇒** 220 VOLT OUTLET

AFCI ARC—FAULT CIRCUIT INTERRUPTER

GROUND-FAULT CIRCUIT INTERRUPTER WATERPROOF OUTLET (EXTERIOR)

TELEPHONE JACK HIGH SPEED DATA LINE

TELEVISION CABLE

GAS OUTLET

KEY VALVE 200 AMP MAIN ELECTRICAL PANEL

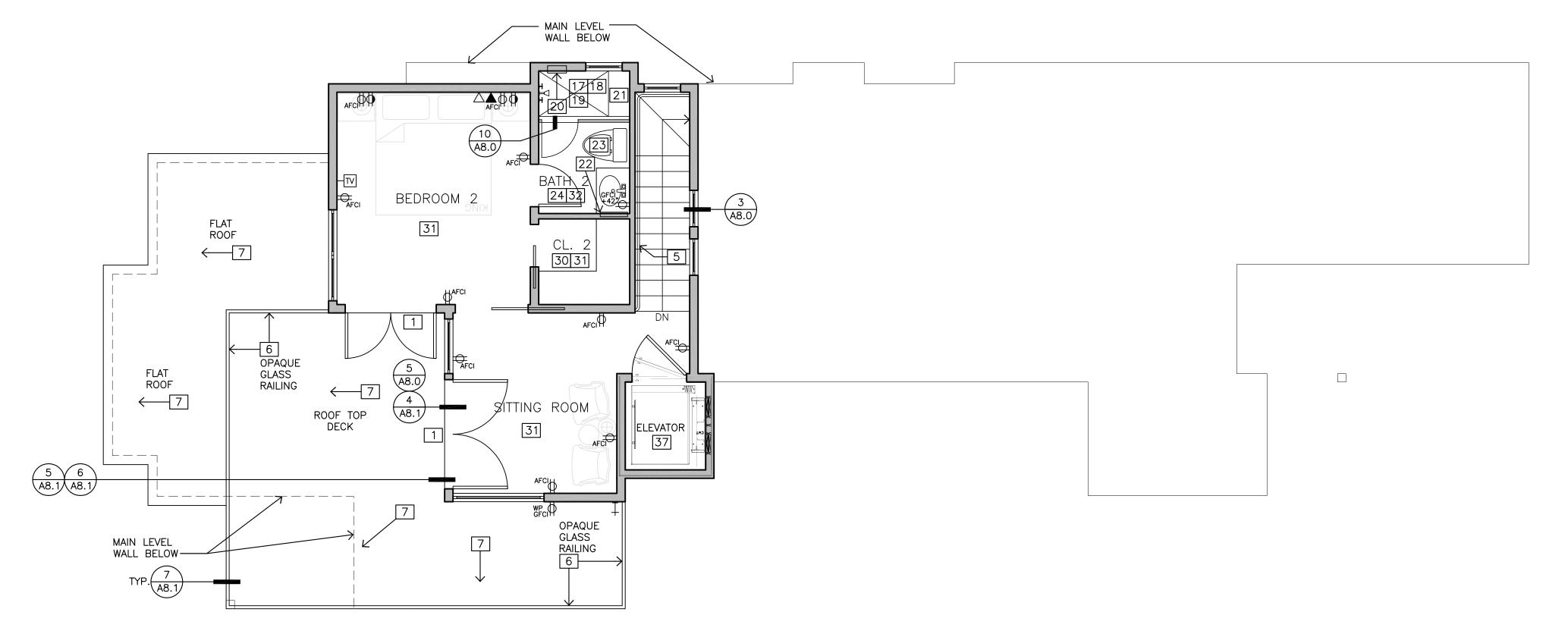
150 AMP SUB-PANEL

→ HOSE BIB VALVE (WITH NON-REMOVABLE BACK FLOW DEVICE)

DOORBELL

CHIME DOOR BELL CHIME

THE TYPE AND AMOUNT OF PLUMBING FIXTURES ON THIS RESIDENCE ARE REGULATED BY THE MONTEREY PENINSULA WATER MANAGEMENT DISTRICT. PLEASE REFER TO THE WATER PERMIT, CA PLUMBING CODE, AND GREEN BUILDING STANDARDS CODE FOR ALL PLUMBING FIXTURE REQUIREMENTS



WALL LEGEND

2X6 EXTERIOR STUD FRAMED WALL 2X4 INTERIOR STUD FRAMED WALL

6" OR 8" CMU WALL, SEE STRUCT. PLANS



1/4"=1'-0'

A2.1

UPPER LEVEL FLOOR PLAN, NOTES

S

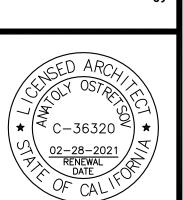
AO ARCHITECTURAI

ANATOLY OSTRETSOV

P.O.BOX 2272

MONTEREY, CA 93942

(831) 682-1331



REVISIONS:

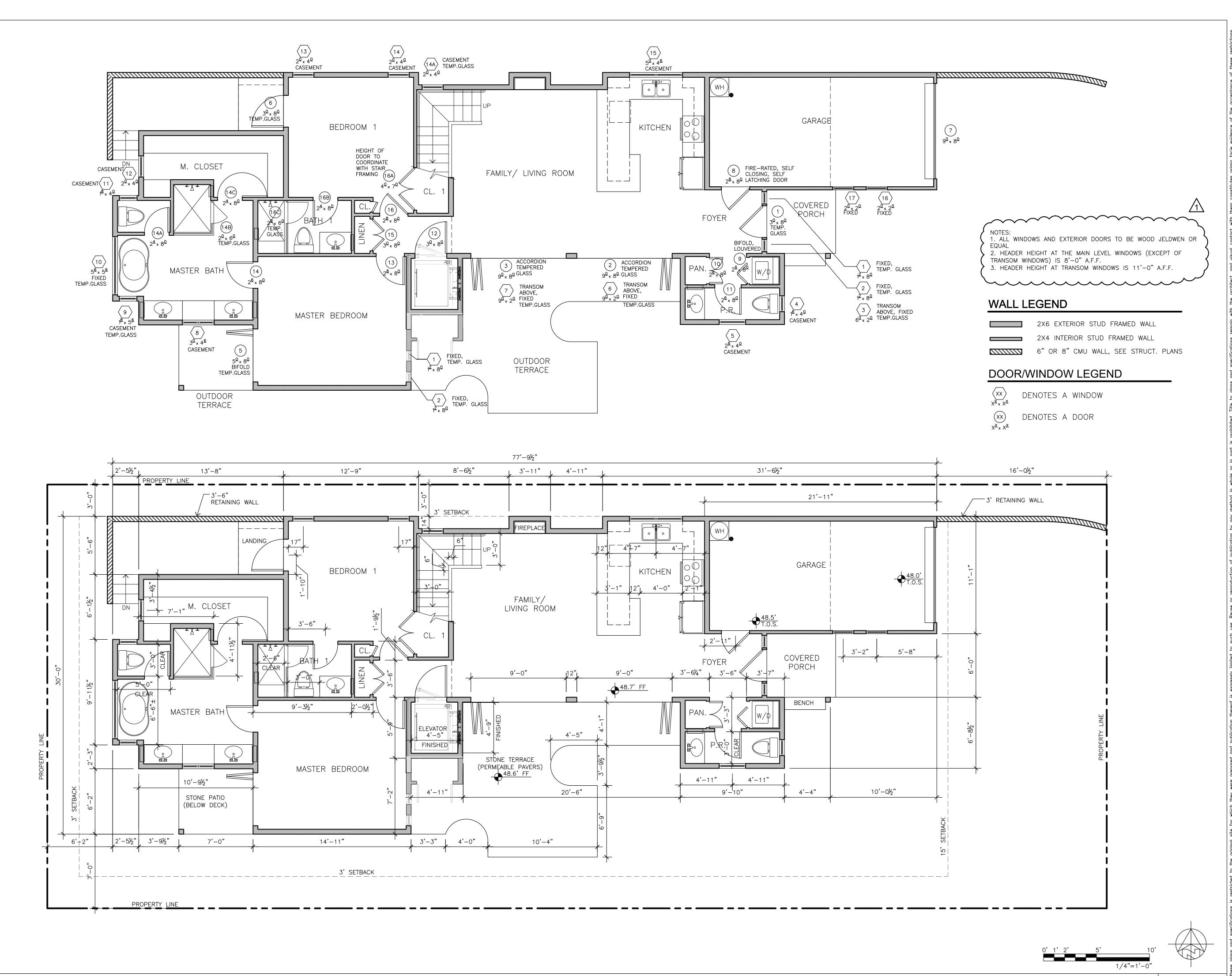
<u>/1\ 08-16-19</u> PLAN CHECK <u>/2</u>\ <u>09-16-19</u> PLAN CHECK 2

10-18-21 FIELD REVISIONS 04-20-22
DESIGN REVISIONS

UPPER LEVEL FLOOR PLAN

DATE: 07-17-2019 **BUILDING PERMIT**

SHEET NO.



AO ARCHITECTURAL D E S I G N

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SING

08-16-19 PLAN CHECK

MAIN LEVEL DIMENSION PLAN

DATE: 07-17-2019 **BUILDING PERMIT**

SHEET NO.

A3.0

PROPERTY LINE

ROOF RIDGE LINE ______

__3'-0"_SIDE_SETBACK__4

FLAT ROOF

MMAIN LEVEL WALL BELOW—

12'-5"

BEDROOM 2

ROOF TOP TOP

6'-4½"

21'-11"

— OPAQUE GLASS RAILING

SITTING ROOM

9'-11"

— OPAQUE GLASS —— RAILING

ELEVATOR

4'-10½"

PROPERTY LINE



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08-16-19 PLAN CHECK

10-18-21
FIELD REVISIONS

UPPER LEVEL

DIMENSION PLAN

DATE: 07-17-2019 **BUILDING PERMIT**

SHEET NO.

A3.1

2X6 EXTERIOR STUD FRAMED WALL

6" OR 8" CMU WALL, SEE STRUCT. PLANS

2X4 INTERIOR STUD FRAMED WALL

DENOTES A WINDOW

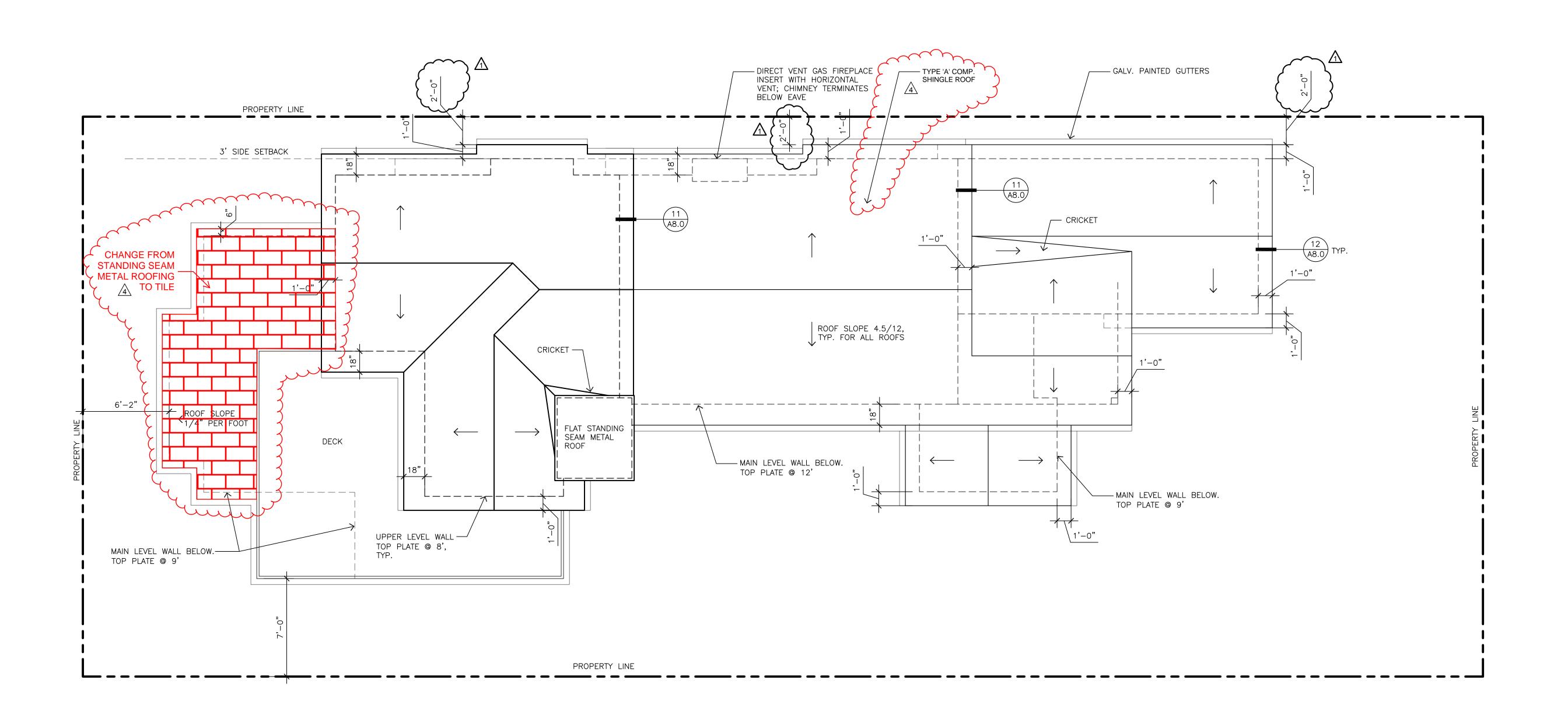
DENOTES A DOOR

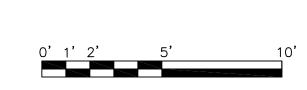
 $X_{X}^{X}X_{X}$

OVERHANG VARIES, SEE ROOF PLAN

GALVANIZED FASCIA GUTTERS WITH SQUARE DOWNSPOUTS

GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION







SHEET NO.

A5.0

ROOF PLAN 1/4"=1'-0"

ROOF MATERIAL — CLASS 'A' COMPOSITION SHINGLE MANUFACTURER — CERTAINTEED FINISH/COLOR - PRESIDETNIAL SHAKE TL / CHARCOAL BLACK minimum ROOF SLOPE = 4.5/12 UNLESS OTHERWISE NOTED

ATTIC VENTILATION NOT REQUIRED. SPRAY FOAM INSULATION APPLIED DIRECTLY TO BOTTOM OF ROOF SHEATHING

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08-16-19 PLAN CHECK

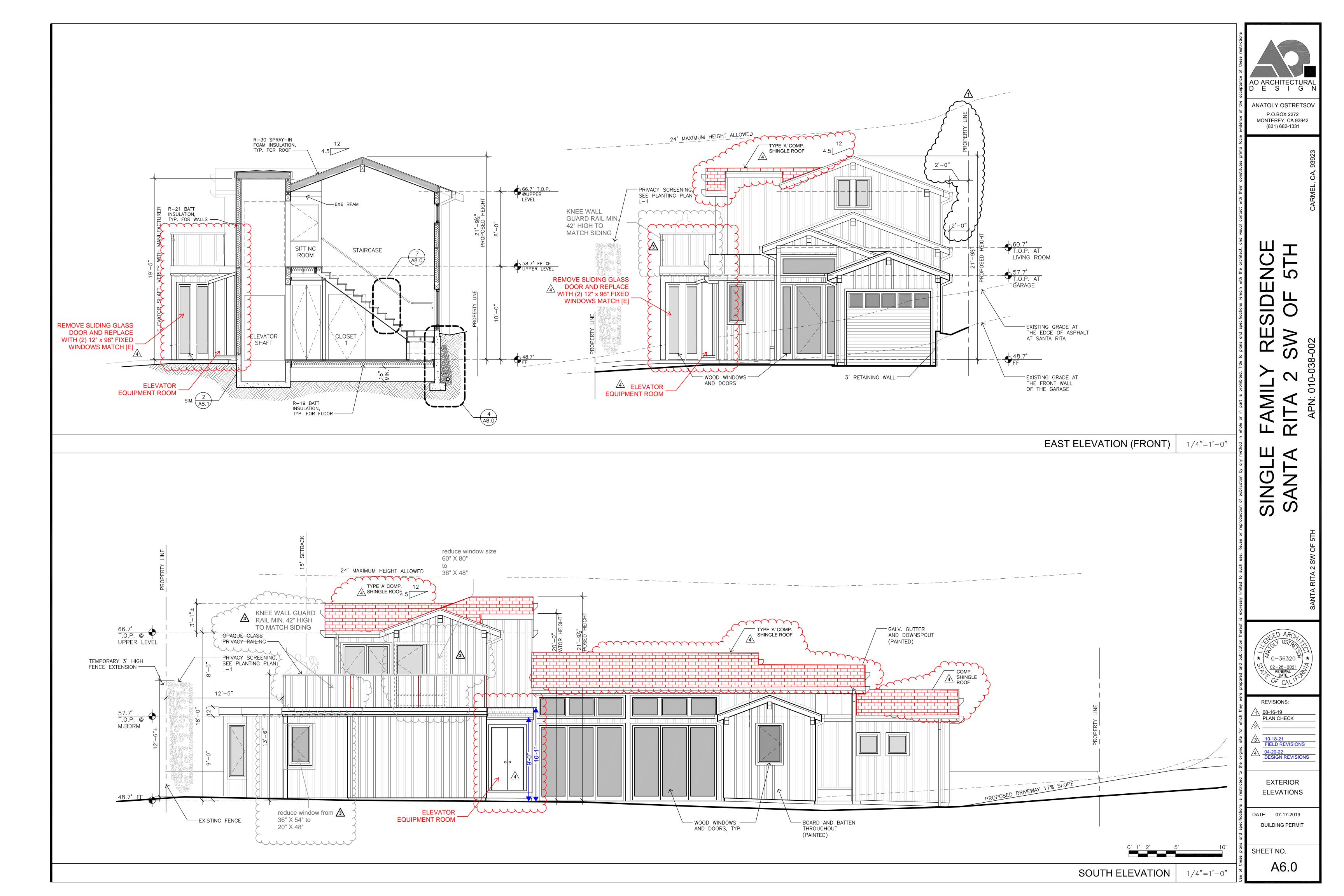
10-18-21
FIELD REVISIONS
04-20-22
DESIGN REVISIONS

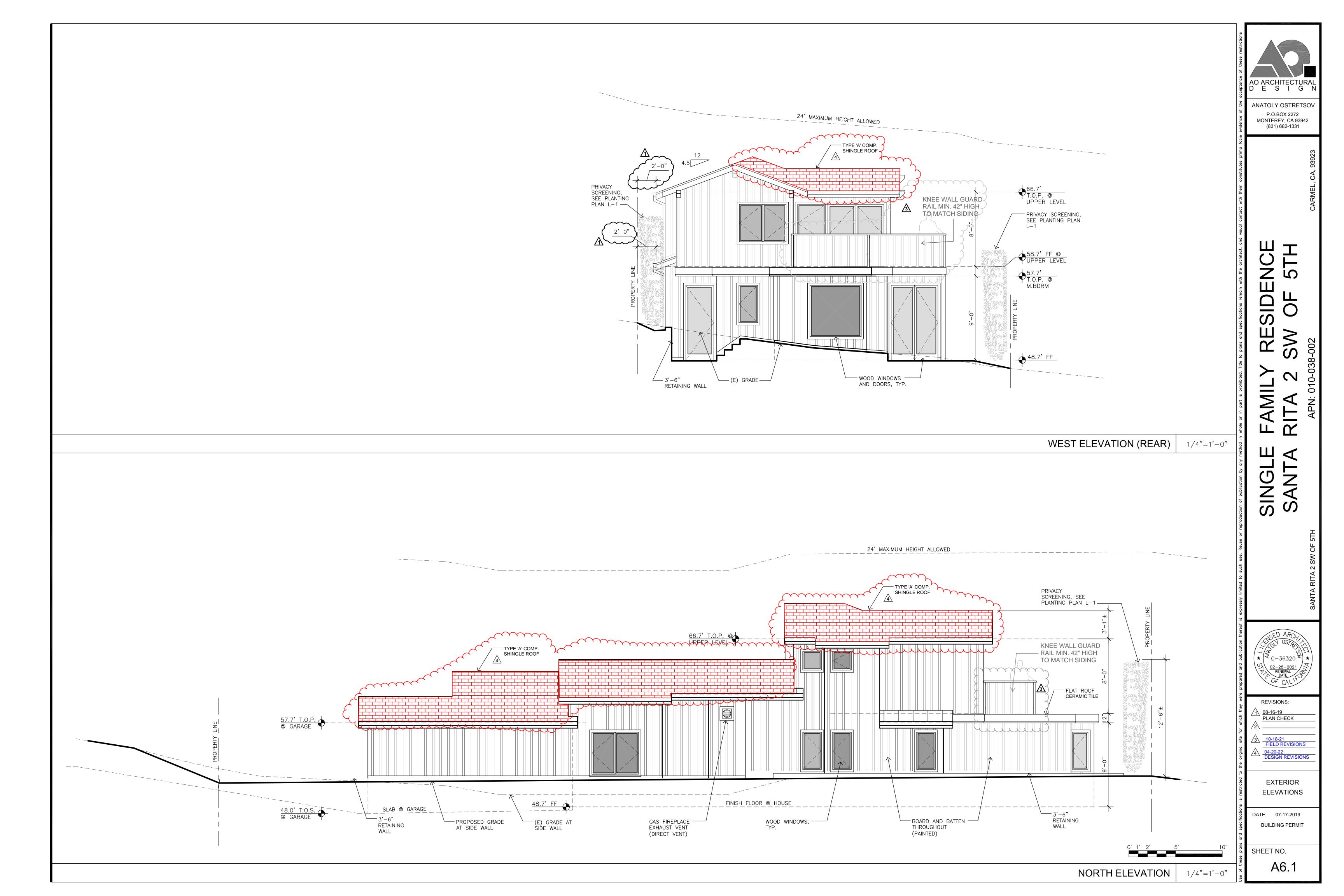
ROOF PLAN

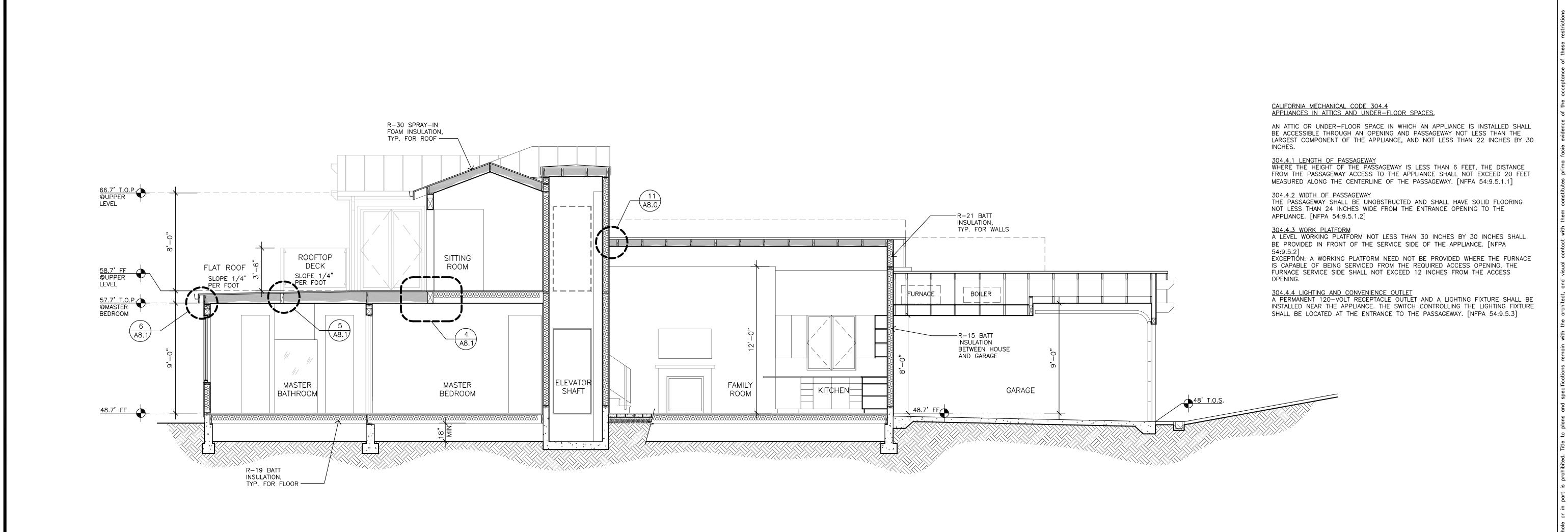
DATE: 07-17-2019

BUILDING PERMIT

SING





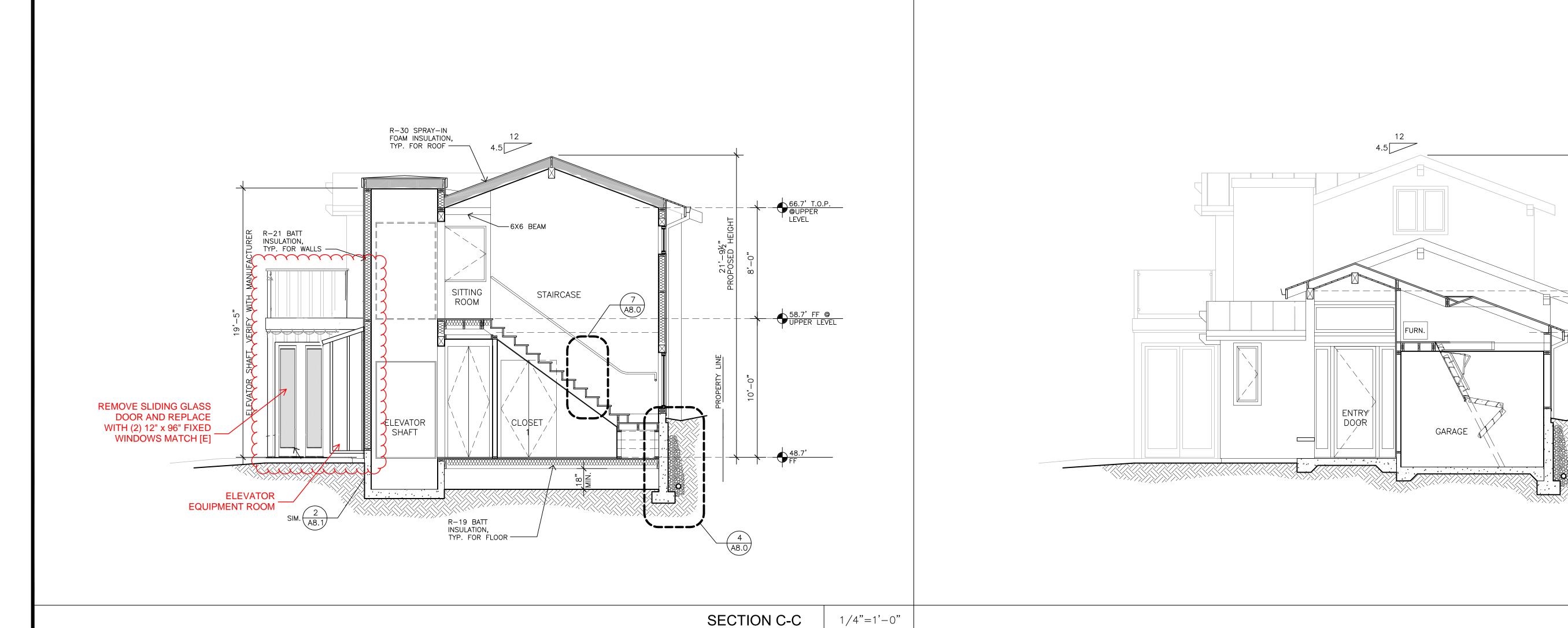


SECTION A-A

60.7' T.O.P. @ LIVING ROOM

57.7' T.O.P. © GARAGE

1/4"=1'-0"





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REVISIONS:

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10-18-21 FIELD REVISIONS

BUILDING SECTIONS

DATE: 07-17-2019

A7.0

BUILDING PERMIT

SHEET NO.

SECTION B-B

1/4"=1'-0"

