



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22130

Owner Name: MORTEN ELISABETH S

Case Planner: Evan Kort, Associate Planner

Date Posted: _____

Date Approved: 06/22/2022

Project Location: Scenic Road 2 SW of 8th

APN #: 010301029000 **BLOCK/LOT:** A1/LOT 2 EXC E 100 FT & 61 FT BY 5 FT STRIP OF LOT 3

Applicant: Noel McNamee

Project Description: This approval of Design Study (DS 22-130, Morten) authorizes amendments to an existing Design Study Approval (DS 18-445, Morten) for alterations to an existing single-family residence located on Scenic Road 2 SW of 8th in the Single Family Residential (R-1) District with an active building permit (BP 19-680). The modifications approved under this Design Study include: 1. Material changes to the front retaining walls. No shape or height change are proposed, however, the wall will be changed from the previously approved CMU block with wood pickets to a 6" wide board formed concrete retaining wall in an earth tone color. The project shall be consistent with the plans prepared by WR&D Architects dated approved by Community Planning & Building Department on June 22, 2022, unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<p>Authorization. This approval of Design Study (DS 22-130, Morten) authorizes amendments to an existing Design Study Approval (DS 18-445, Morten) for alterations to an existing single-family residence located on Scenic Road 2 SW of 8th in the Single Family Residential (R-1) District with an active building permit (BP 19-680). The modifications approved under this Design Study include:</p> <p style="margin-left: 40px;">1. Material changes to the front retaining walls. No shape or height change are proposed, however, the wall will be changed from the previously approved CMU block with wood pickets to a 6" wide board formed concrete retaining wall in an earth tone color.</p> <p>The project shall be consistent with the plans prepared by WR&D Architects dated approved by Community Planning & Building Department on June 22, 2022, unless modified by the conditions of approval contained herein.</p>	✓
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.</p>	✓
3.	<p>Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>	✓
4.	<p>Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.</p>	✓
5.	<p>Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).</p>	✓
6.	<p>Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)</p>	✓
7.	<p>Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised</p>	✓

	plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
8.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
9.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee. When changes or modifications to the project are proposed, the applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	✓
10.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
11.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division. All conditions of approval of the previous design studies associated with the project (DS 18-445) shall also apply to this approval unless expressly otherwise noted within these Conditions of Approval.	✓
SPECIAL CONDITIONS		
12.	Retaining Wall Color. The board form concrete retaining wall shall have an “Adobe” (61078) pigment by Davis Colors (as depicted on sheet A402 of the approved project	✓

	plans) applied to the concrete mixture to give the concrete an earth tone finish as opposed to a stark unfinished grey.	
13.	Condition of Approval Acknowledgement. The Condition of Approval Acknowledgement form, available from the Community Planning and Building Department, shall be signed by the appropriate parties prior to the issuance of a building permit. A signed copy of the acknowledgement shall also be printed in the building plan set.	✓
14.	Building Permit Revision. A revision to BP 19-680 shall be obtained prior to commencement of work.	

Acknowledgement and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning & Building Department.

MORTEN RESIDENCE REMODEL DESIGN STUDY APPLICATION

Second House S.E. of 8th on Scenic Road
Carmel-by-the-Sea, CA 93921

PROJECT INFORMATION

PROJECT: ELISABETH MORTEN
RESIDENCE REMODEL DESIGN STUDY APPLICATION
LOCATION: SECOND HOUSE S.E. OF 8TH ON SCENIC ROAD
CARMEL-BY-THE-SEA, CA 93923
APN: 010-301-029-000
ZONING: R-1 SINGLE FAMILY RESIDENTIAL, BEACH OVERLAY, PARK OVERLAY
OCCUPANCY: R-3
CONSTRUCTION: V-B, NON-SPRINKLERED
LOT SIZE: 0.106 ACRES (4,600 S.F.)

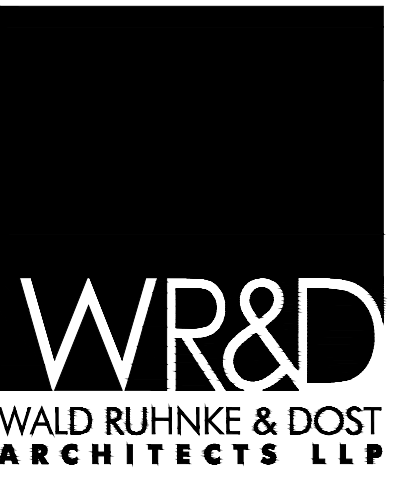
SHEET INDEX

SHT. #
TITLE
A001 COVER SHEET
ARCHITECTURAL
R100 SITE PLAN
A401 EXTERIOR ELEVATIONS
A402 EXTERIOR RENDERED ELEVATIONS

APPROVED

06/22/2022

City of Carmel-by-the-Sea
Planning & Building Dept.



2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940
PHONE: 831.649.4642
FAX: 831.649.3530
WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. ANY REPRODUCTION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. NO REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES A BREACH OF THE ACCEPTANCE OF THESE RESTRICTIONS.



ABREVIATIONS	LEGEND	SYMBOLS	PROJECT TEAM	GENERAL NOTES
<p>A AND ANGLE AT CENTERLINE D DIAMETER OR ROUND D PERPENDICULAR P PROPERTY LINE P ROUND OR NUMBER</p> <p>A.B. ANCHOR BOLT A.B.S. ASPHALTIC CONCRETE A.C. AIR CONDITIONING A.C.US. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR A.GGR. AGGREGATE ALUM. ALUMINUM ANOD. ANODIZED A.P.A. AMERICAN PLYWOOD ASSOCIATION ARCH. ARCHITECTURAL A.S. ADJUSTABLE SHELF</p> <p>BD. BOARD BIT BITUMINOUS BLDG. BUILDING BLK. BLOCK BLM. BLOCKING BM. BEAM B.M. BENCH MARK BOT. BOTTOM BRG. BEARING BTWN. BETWEEN BU.R. BUILDUP ROOFING B.W. BOTH WAYS</p> <p>CAB. CABINET C.B. CATCH BASIN CBC. CALIFORNIA BUILDING CODE CEM. CEMENT CER. CERAMIC C.F. CONTRACTOR FURNISHED C.I. CUBIC FEET C.J. CONTROL JOINT C.L. CEILING CLR. CLEARANCE CLM. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE CONC. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS C.O.T.G. CLEAN-OUT TO GRADE CSMT. CASEMENT C.T. CERAMIC TILE C.TSK. COUNTERTOP CY. CUBIC YARD</p> <p>DBL. DOUBLE DEPT. DEPARTMENT DET. DETAIL DF. DRINKING FOUNTAIN D.G. DOUGLAS FIR D.G. DECOMPOSED GRANITE D.H. DOUBLE HUNG DIAG. DIAGONAL DIMEN. DIMENSION DISP. DISPENSER/DISPOSER DR. DOWN DRAWING DRAWING D.S.B. DBL. STRENGTH B GRADE (CLASS)</p> <p>D.S. DOWNSPOUT DWN. DRAINER D.W. DISH WASHER</p> <p>E. EACH E.J. EXPANSION JOINT ELEV. ELEVATION ELEVATOR ELEVATOR ELEC. ELECTRICAL EMER. EMERGENCY ENCL. ENCLOSURE EQUIP. EQUIPMENT EWC. ELECTRIC WATER COOLER EXIST. EXISTING EXH. EXHAUST EXP. EXPOSED/EXPANSION EXT. EXTERIOR</p> <p>F.A. FIRE ALARM FAST. FASTENER F.D. FLOOR DRAIN F.F. FIRE EXTINGUISHER CABINET F.F. FINISH FLOOR F.G. FINISH GRADE FND. FOUNDATION F.E. FIRE EXTINGUISHER FIB. FIBERGLASS F.M.S. FINISHED MECHANICAL SCREW</p> <p>F.H.W.S. FLATHEAD WOOD SCREW FLASH FLASHING FLR. FLOORING F.L. FLOORING F.O. FACE OF BLOCK F.O.B. FACE OF BLOCK F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUCCO F.P. FIBERGLASS REINFORCED PANEL FT. FOOT/FEET FUR. FURRING FUT. FUTURE</p> <p>GA. GALVANIZED GALV. GALVANIZED G.B. GRAB BAR G.I. GALVANIZED IRON GL. GLASS/LAM GL.B. GLUE-LAM BEAM GR. GROUNDING G.W.B. GYPSUM WALLBOARD</p> <p>H.B. HOSE BIB HDB. HARDWOOD H.A. HOLLOW CORE HDC. HOLLOW CORE HDWR. HARDWARE H.M. HOLLOW METAL HORZ. HORIZONTAL H.S. HEAVY SHEET HT. HEIGHT HTG. HEATING H.W. HOT WATER HW. HARDWOOD H.V.A.C. HEATING/VENTILATING/AIR CONDITIONING</p> <p>I.C.C. INTERNATIONAL CODE ID. INSIDE DIAMETER INCL. INCLUDED (ING) INSUL. INSULATED (ING) INT. INTERIOR INV. INVERT JAN. JANITOR J.H. JOIST HANGER JT. JOINT KIT. KITCHEN KIT. KITCHEN L. LENGTH LAM. LAMINATE LAV. LAVATORY LAG. LAG BOLT LOC. LOCATION L.V.L. LAMINATED VENEER LUMBER L.W. LIGHTWEIGHT</p> <p>MAS. MASONRY MAT. MATERIALS MAX. MAXIMUM M.C. MACHINE BOLT M.C. MEDICINE CABINET M.H. MAN HOLE MECH. MECHANICAL MEMB. MEMBRANE MEZZ. MEZZANINE M.F. MANUFACTURER (ER) MIN. MINIMUM MIR. MIRROR M.M. MISCELLANEOUS MLD. MOLDING/MOULDING M.W. MALLEABLE IRON WASHER M.O. MASONRY OPENING MD. METAL MET. METAL MILL. MILLION N. NORTH NEW. NEW NAT. NATURAL N.C. NOT IN CONTRACT NOM. NOMINAL N.T.S. NOT TO SCALE</p> <p>O. OVER O.V. OVERHUNG OBS. OBSOLETE O.C. ON CENTER(S) O.D. OUTSIDE DIAMETER OFF. OFFICE O.F. OWNER FURNISHED O.F.I. CONTRACTOR INSTALLED O.F. OWNER INSTALLED O.H. OVER HANG O.H.M.S. OVALHEAD MACHINE SCREW O.H.W.S. OVALHEAD WOOD SCREW OPN. OPENING OPP. OPPOSITE</p> <p>P.A.F. POWDER ACTUATED FASTENER P.B. PANIC BAR PART. PARTICLE BOARD P.B. PART. BOARD P.C.F. POUNDS PER CUBIC FOOT P.O. POWER OPENING P.O. POWER OPENING P.G. PAINT GRADE PERF. PERFORATE P.L. POUNDS PER LINEAR FOOT PLAS. LAM. PLASTIC LAMINATE PLAS. PLASTER</p> <p>P.L.V. PLYWOOD PAIR. PAIR P.S.F. POUNDS PER SQUARE FOOT P.S. POUNDS PER SQUARE INCH PT. PRESSURE TREATED PART. PARTITION PART. PAPER TOWEL DISPENSER P.V.C. POLYVINYL CHLORIDE</p> <p>R.A. RISER R.A. RETURN AIR RAD. RADIUS RAD. RADIIUS R.D. ROOF DRAIN REG. REGISTER REF. REFRIGERATOR REIN. REINFORCED REQD. REQUIRED REQM. REQUIREMENT RES. RESIDENT REV. REVERSED R.H.M.S. ROUNDHEAD MACHINE SCREW R.H.W.S. ROUNDHEAD WOOD SCREW R.M. ROOM R.O. ROUGH OPENING R.O.W. RIGHT OF WAY R.S. RESAWN RUB. RUBBER R.WD. REDWOOD R.W.L. RAIN WATER LEADER</p> <p>S. SOUTH S.B. SOLID BLOCKING S.C. SOLID CORE SCH. SCHEDULE SCH. SCHEDULE S.D. SLOPE DRAIN SECT. SECTION SERV. SERVICE S.F. SQUARE FOOT S.G. STAIN GRADE S.H. SHELF/SHELVING SHT. SHEET SH. SHINGLING S.I. SHEET METAL S.S. STAINLESS STEEL SERVICE</p> <p>S.S.D. SEE STRUCTURAL DRAWINGS S.M. SHEET METAL S.M.S. SHEET METAL SCREW SPEC. SPECIFICATION SQ. SQUARE STD. STANDARD STK. STOCK STOR. STORAGE STRUC. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL SYS. SYSTEM</p> <p>T. TREAD T.B. TOWEL BAR T.B.D. TO BE DETERMINED T.C. TOP OF CURB TEL. TELEPHONE TEMP. TEMPERSRE T.E.N. TYPICAL EDGE NAILING TONG. & GROOVE THK. THICKNESS THRESH. THRESHOLD T.J. TRUSS JOIST INTERNATIONAL TOP. TOP OF T.P.H. TOLLET PAPER HOLDER TOP OF PAVEMENT TV. TELEVISION TOP OF WALL TYP. TYPICAL</p> <p>U. UNDERWRITERS LABORATORY UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URN. URINAL V.F. VERIFY IN FIELD W. WEST/WIDTHWIDE W. WITH W.C. WATER CLOSET WOOD. WOOD W.D.W. WINDOW W.D.W. WATER HEATER W.I. WOODWORK INSTITUTE W.I.T. WITOUT W.P. WATERPROOFING W.R. WATER RESISTANT W.S. WOOD SCREW W.S.C. WAINSCOT WT. WEIGHT W.W.M. WELDED WIRE MESH</p>	<p>EARTH</p> <p>ROCK</p> <p>SAND, MORTAR, PLASTER</p> <p>CONCRETE BLOCK</p> <p>CAST-IN-PLACE (C.I.P.) CONCRETE</p> <p>(E) STUD WALL</p> <p>(N) STUD WALL</p> <p>(E) STUD WALL TO BE REMOVED</p> <p>SOUND INSULATED STUD WALL</p> <p>METAL</p> <p>WOOD FINISH</p> <p>WOOD FRAMING CONTINUOUS MEMBER</p> <p>WOOD BLOCKING</p> <p>PLYWOOD</p> <p>GYPSUM WALLBOARD</p> <p>A.C. PAVING</p>	<p>DOOR SYMBOL</p> <p>WINDOW SYMBOL</p> <p>KEY TAG</p> <p>DEMOLITION TAG</p> <p>MATCH LINE</p> <p>WORK POINT, DATUM POINT OR CONTROL</p> <p>VERTICAL OR HORIZONTAL DIAPHRAGM KEY</p> <p>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</p> <p>DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>FINISH GRADE (SPOT) ELEVATION SURFACE</p> <p>EXISTING GRADE (SPOT) ELEVATION SURFACE</p> <p>PROPERTY LINE</p> <p>REVISION</p>	<p>OWNER ELISABETH MORTEN SECOND HOUSE S.E. OF 8TH ON SCENIC ROAD CARMEL-BY-THE-SEA, CA 93923 ph: (831) 649-4642 Email: guldtest@aol.com Contact: ELISABETH MORTEN</p> <p>ARCHITECT WALD, RUHNKE & DOST ARCHITECTS, LLP 2340 GARDEN ROAD, SUITE 100 MONTEREY, CA 93940 ph: (831) 649-4642 fax: (831) 649-3530 Email: henry@wrdoch.com Contact: HENRY RUHNKE</p>	<p>1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.</p> <p>2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.</p> <p>3. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.</p> <p>4. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.</p> <p>5. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.</p> <p>6. THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE. AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.</p> <p>7. EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>8. CONTRACTOR SHALL OBTAIN AND 8-1-DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND WILL MAINTAIN IT IN ACTIVE STATUS THROUGHOUT THE PROJECT.</p>
SCOPE OF WORK				
<p>REQUESTING A SIMPLE CHANGE TO THE APPROVED FRONT RETAINING WALLS. NO SHAPE OR HEIGHT CHANGE INVOLVED. WOULD LIKE TO CHANGE FROM CURRENT CMU BLOCK WITH WOOD PICKETS TO A REALISTIC 6" WIDE BOARD FORMED CONCRETE LOOK IN AN EARTH TONE COLOR. THIS CHANGE WILL ENHANCE THE BEAUTY OF THE FRONT LANDSCAPING. WILL BE MAINTENANCE FREE AND REQUIRES ONLY ONE MATERIAL BE USED VERSUS THE APPROVED WOOD PICKET WALLS THAT WILL REQUIRE A "CAP" OF SOME SORT TO COVER THE RAW TOPS OF THE CMU BLOCK WALLS AND WOOD PICKETS. SINCE THE WALLS ARE CURVED AND SLOPED, A WOOD CAP IS NOT FEASIBLE AND ANOTHER BUILDING MATERIAL WOULD HAVE TO BE USED, SUCH AS A ROURED CONCRETE CAP, A PAINTED STUCCO CAP OR A CUT UP SEGMENTED STONE CAP. NONE OF THESE CAP OPTIONS ARE AS AESTHETICALLY PLEASING OR MORE REASONABLY APPROPRIATE THAN BOARD FORMED CONCRETE. ESPECIALLY FOR SCENIC ROAD ONCE THE LANDSCAPING IS ESTABLISHED, MOST OF THE WALLS WILL BE BEHIND PLANTS OR HAVE PLANTS CASCADING DOWN THE FACE OF THE WALLS TO ENHANCE THE BEAUTY EVEN MORE.</p>				

MORTEN RESIDENCE REMODEL DESIGN STUDY APPLICATION

A.P.N. 010-301-029-000

ELISABETH MORTEN
SECOND HOUSE S.E. OF 8TH ON SCENIC ROAD
CARMEL, CA

JOB NO:
16053.2

PRINT DATE:
6.9.2022
DRAWN BY: JTI
CHECKED BY: SS / HR
SET ISSUED:

PLANNING SUBMITTAL 12/18/2018
BUILDING DEPARTMENT SUBMITTAL SET 11/15/2019
BUILDING DEPARTMENT REVISION SET 4/22/2020
BUILDING DEPARTMENT REVISION SET 6/29/2020
BUILDING DEPARTMENT REVISION SET 11/9/2020

DESIGN STUDY APPLICATION 06/09/2022

SHEET NAME:

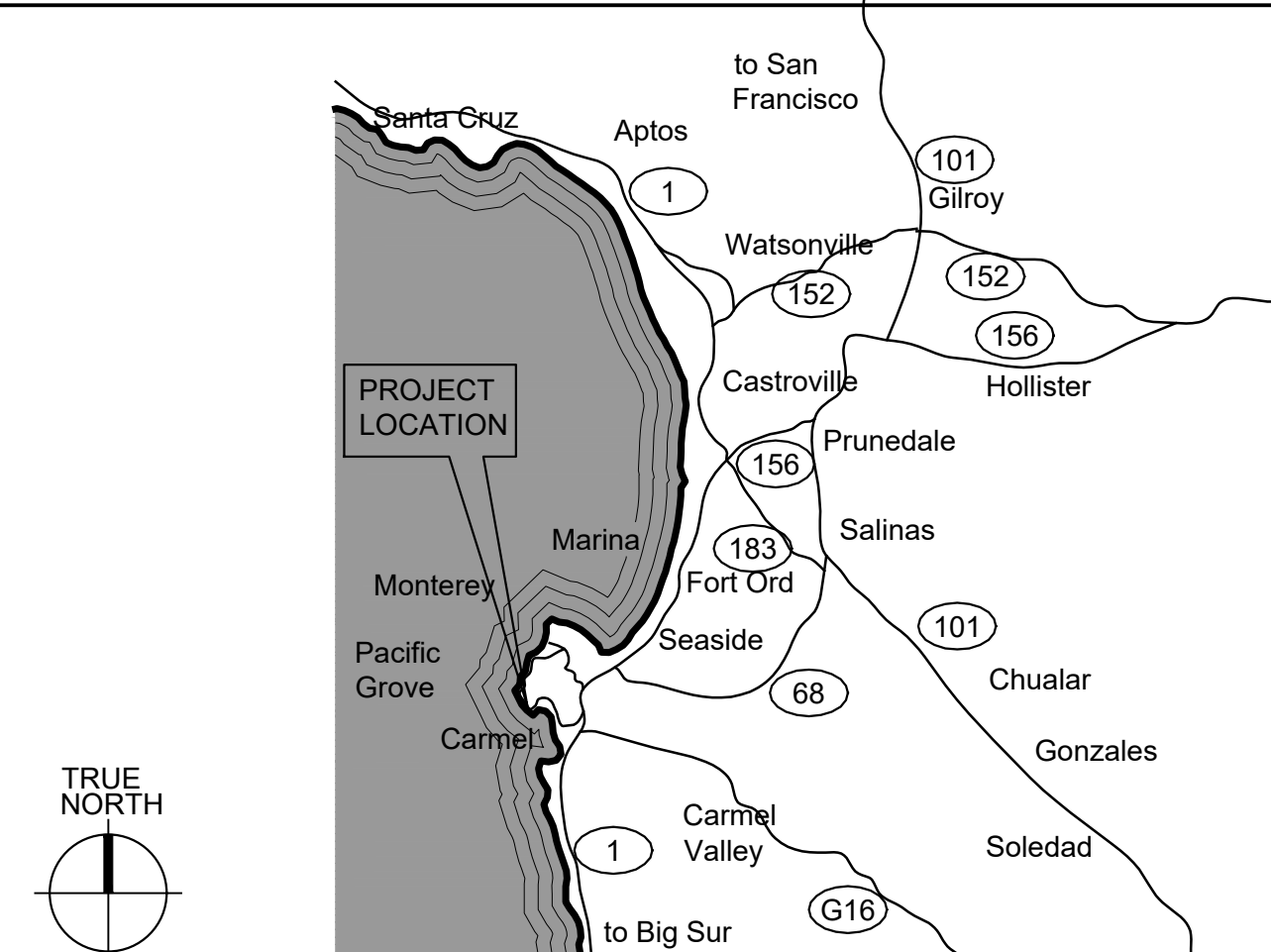
COVER SHEET

SHEET NO.:

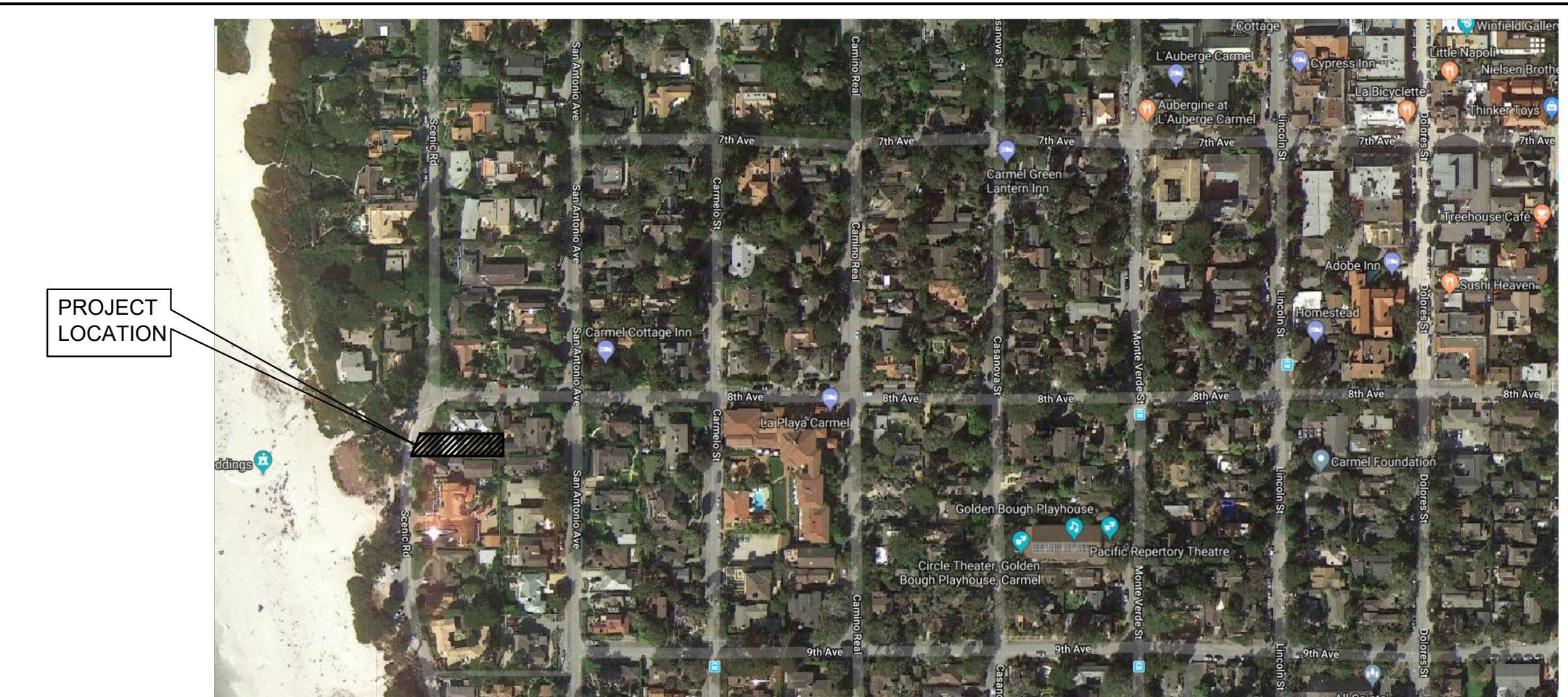
A001

FILE NAME: 16053-2-A001-08

LOCATION MAP



VICINITY MAP



KEY NOTES

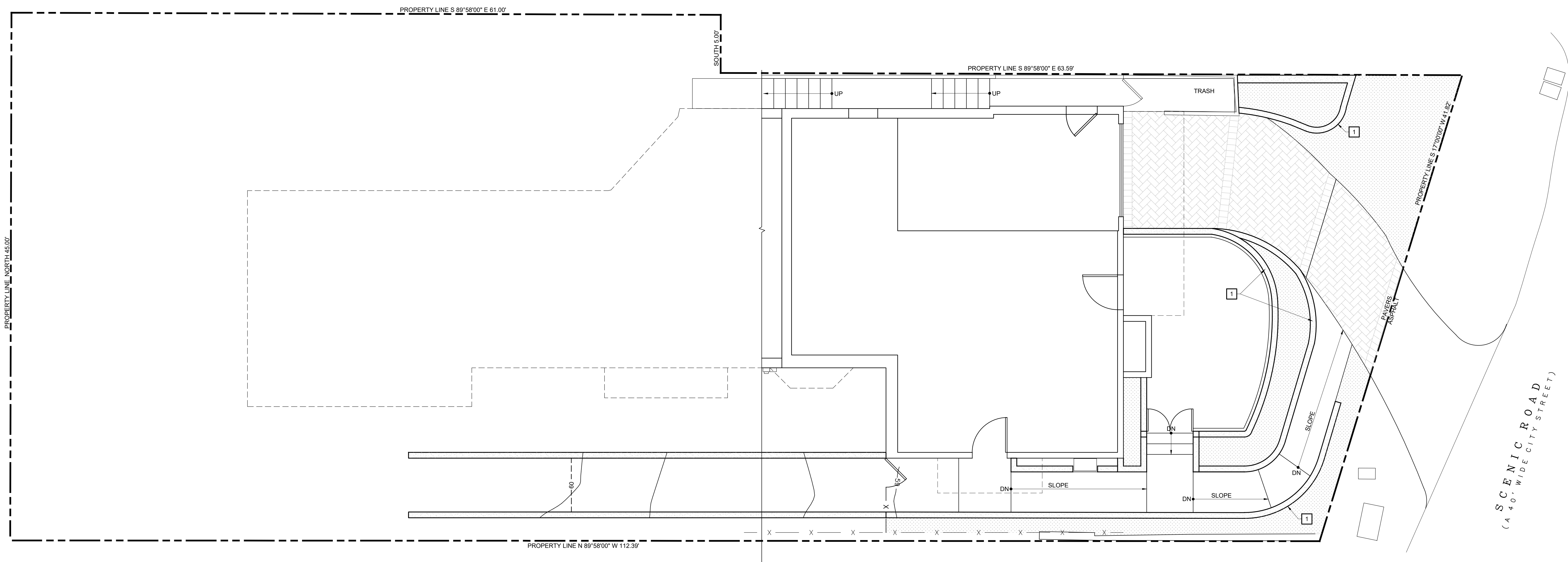
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 RETAINING WALL TO BE CHANGED FROM CMU BLOCK WITH WOOD PICKETS TO 6" WIDE FORM BOARD CONCRETE. COLOR TO BE DARK EARTH TONE COLOR.



2340 GARDEN ROAD, SUITE 100
 MONTEREY, CALIFORNIA 93940
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SITE PLAN
 SCALE: 1/4"=1'-0"
 PLAN NORTH

**MORTEN RESIDENCE REMODEL
 DESIGN STUDY APPLICATION**

ELISABETH MORTEN
 SECOND HOUSE S.E. OF 8TH ON SCENIC ROAD
 CARMEL, CA
 A.P.N. 010-301-029-000

JOB NO:
16053.2
 PRINT DATE:
 PLOT DATE: 6.9.2022
 DRAWN BY: JTI
 CHECKED BY: SS / HR
 SET ISSUED:

PLANNING SUBMITTAL	12/18/2018
BUILDING DEPARTMENT SUBMITTAL SET	11/15/2019
BUILDING DEPARTMENT REVISION SET	4/22/2020
BUILDING DEPARTMENT REVISION SET	6/29/2020
BUILDING DEPARTMENT REVISION SET	11/9/2020

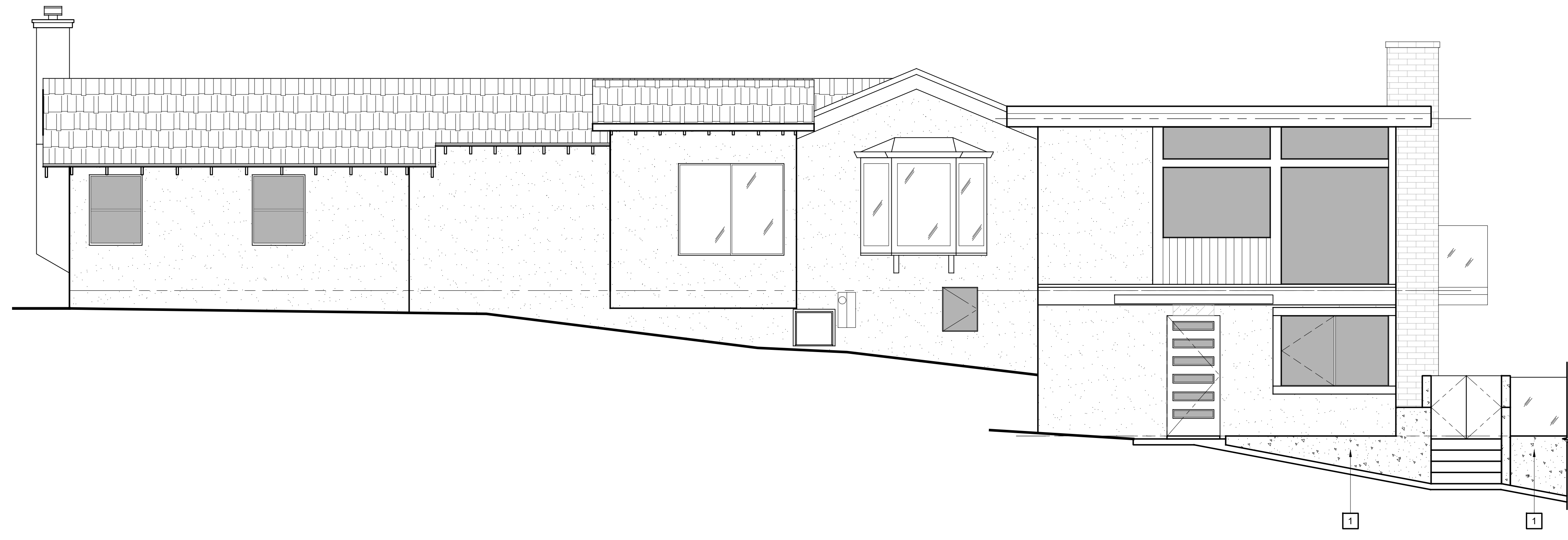
DESIGN STUDY APPLICATION 06/09/2022

SHEET NAME:

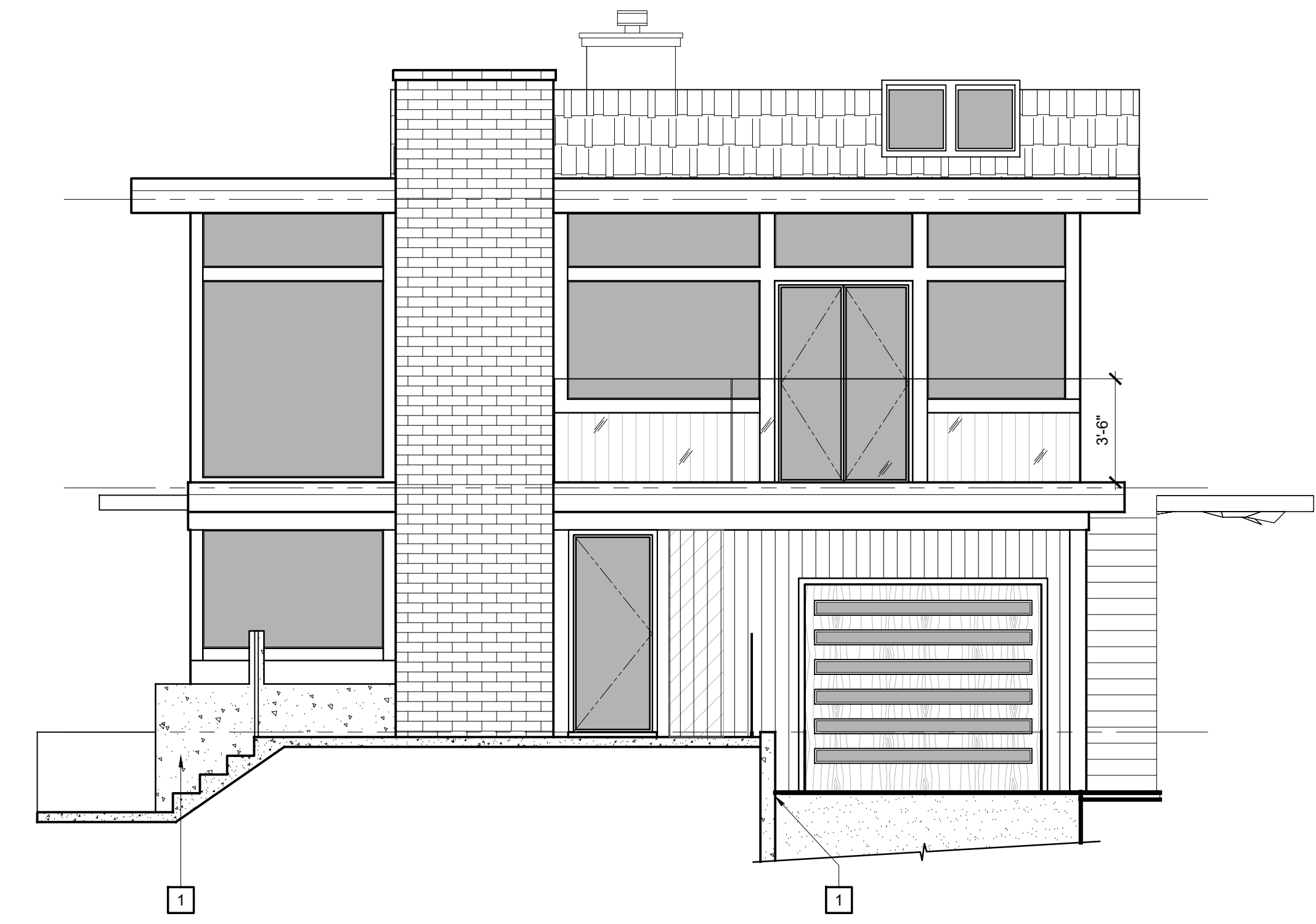
SITE PLAN
 SHEET NO.:

A100

FILE NAME: 16053.2-A100-05



② PROPOSED - PARTIAL EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



① PROPOSED ELEVATION (FROM STREET) - WEST
SCALE: 1/4" = 1'-0"

MORTEN RESIDENCE REMODEL
DESIGN STUDY APPLICATION
ELISABETH MORTEN
SECOND HOUSE S.E. OF 8TH ON SCENIC ROAD
CARMEL, CA
A.P.N. 010-301-029-000

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BUILDING DEPARTMENT REVISION SET 4/22/2020
BUILDING DEPARTMENT REVISION SET 6/29/2020
BUILDING DEPARTMENT REVISION SET 11/9/2020

DESIGN STUDY APPLICATION 08/09/2022

KEY NOTES

1 NEW LANDSCAPE WALL TO CHANGE FROM CMU BLOCK WITH WOOD PICKETS TO A 6" WIDE CONCRETE BOARD FORMED WALL. COLOR TO BE DARK EARTH TONE.

SHEET NAME:
EXTERIOR ELEVATIONS
SHEET NO.:
A401
FILE NAME: 16053.2-A401 - DS



② STREET PERSPECTIVE - APPROACHING FROM 8TH AVE
SCALE: N.T.S.

① FRONT PERSPECTIVE
SCALE: N.T.S.



④ EXISTING CONDITIONS - APPROACHING FROM 8TH AVE
SCALE: N.T.S.

③ SIDE PERSPECTIVE
SCALE: N.T.S.

EXTERIOR LEGEND

EP-1	TYPE: EXTERIOR PAINT MANUFACTURER: BENJAMIN MOORE STYLE/FINISH: FLAT COLOR/PATTERN: HC-168 CHELSEA GRAY SIZE: N/A NOTE: FIELD CONTACT: GUS MASEBA (925) 640-8101
EP-2	TYPE: EXTERIOR PAINT MANUFACTURER: BENJAMIN MOORE STYLE/FINISH: EGG SHELL COLOR/PATTERN: HC-168 CHELSEA GRAY SIZE: N/A NOTE: TRIM CONTACT: GUS MASEBA (925) 640-8101
WD-1	TYPE: WOOD TRIM; WOOD DECK MANUFACTURER: - STYLE/FINISH: CLEAR COLOR/PATTERN: WESTERN RED CEDAR SIZE: - NOTE: - CONTACT: -
CW-1	TYPE: CAST-IN-PLACE CONCRETE MANUFACTURER: DAVIS COLORS STYLE/FINISH: CONCRETE PIGMENTS COLOR/PATTERN: ADOBE 61078 SIZE: - NOTE: - CONTACT: -
GL-1	TYPE: GLASS RAILING MANUFACTURER: - STYLE/FINISH: CLEAR COLOR/PATTERN: TEMPERED SIZE: - NOTE: - CONTACT: -
GL-2	TYPE: GLASS MANUFACTURER: - STYLE/FINISH: MIRROR FINISH COLOR/PATTERN: TEMPERED SIZE: - NOTE: AT INSERTS ON GARAGE DOOR CONTACT: -
PV-1	TYPE: PAVERS MANUFACTURER: CALSTONE STYLE/FINISH: QUARRY STONE PAVERS COLOR/PATTERN: SEQUOIA SANDSTONE SIZE: 6X9 NOTE: SAND SET, SEMI-PERMEABLE CONTACT: SHANNON LACEY 408-497-0878
PV-2	TYPE: PAVERS MANUFACTURER: CALSTONE STYLE/FINISH: NARROW JOINT PERMEABLE QUARRY PAVERS COLOR/PATTERN: SEQUOIA SANDSTONE SIZE: 6X9 (80MM) NOTE: PERMEABLE AT LOWER PORTION OF DRIVEWAY CONTACT: SHANNON LACEY 408-497-0878
PV-3	TYPE: PAVERS MANUFACTURER: PBM STYLE/FINISH: LARGE FORMAT LIMESTONE PAVERS COLOR/PATTERN: TUSCAN FLAG SIZE: VARIES NOTE: PERMEABLE AT JOINTS BETWEEN STONE CONTACT: SHANNON LACEY 408-497-0878

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MORTEN RESIDENCE REMODEL
DESIGN STUDY APPLICATION

ELISABETH MORTEN
SECOND HOUSE S.E. OF 8TH ON SCENIC ROAD
CARMEL, CA

A.P.N. 010-301-029-000

JOB NO.
16053.2

PRINT DATE: 6.21.2022

PLOT DATE: 6.21.2022

DRAWN BY: AG / SS

CHECKED BY: SS / HR

SET ISSUED:

PLANNING	DATE
SUBMITTAL	12/18/2018
BUILDING DEPARTMENT SUBMITTAL SET	11/15/2019
BUILDING DEPARTMENT REVISION SET	4/22/2020
BUILDING DEPARTMENT REVISION SET	6/29/2020
BUILDING DEPARTMENT REVISION SET	11/9/2020

DESIGN STUDY APPLICATION 06/09/2022

SHEET NAME:
EXTERIOR RENDERED ELEVATIONS

SHEET NO.:

