



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22098

Owner Name: HAWKSLEY DOROTHEA KAMILLA

Case Planner: Suray Nathan, Assistant Planner

Date Posted: _____

Date Approved: 05/25/2022

Project Location: Carpenter Street 4 SE of 3rd Avenue

APN #: 010014015000 **BLOCK/LOT:** 42/8

Applicant: Kate Novotny

Project Description: Remove a 5' 6" x 5' 6" casement window and replace it with a 5' 6" x 6' 8" matt black iron-framed French door and reroof with CertainTeed Presidential Shake TL in shadow grey located on Carpenter Street 4 SE of 3rd Avenue in the Single-Family Residential (R-1) District.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study (DS 22-098, Kiwi & Me, LLC) authorizes to remove a 5' 6" x 5' 6" casement window and replace it with a 5' 6" x 6' 8" matt black iron-framed French door and reroof with CertainTeed Presidential Shake TL in shadow grey located on Carpenter Street 4 SE of 3rd Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Kate Novotny stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).	✓
7.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of	✓

	Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
	Landscape Conditions	
8.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
9.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
10.	Erosion Control in the Right-of-Way. Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native Trees" located in the Forest Management Plan.	✓
11.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of 	✓

	<p>wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</p> <ul style="list-style-type: none"> ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. 	
12.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
13.	Steel Frame Windows and Doors. The applicant shall submit product information for the steel-framed windows and doors prior to issuance of a building permit. The window style shall be consistent with authentic steel windows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.	✓
14.	Asphalt Shingle Roofing. The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.	✓
15.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project	✓

	approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
16.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
17.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
18.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
19.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
SPECIAL CONDITIONS		
20.	Notice of Authorization. A Notice of Authorization to work is required after the 10-calendar day appeal period and prior to commencing work.	✓

Acknowledgement and acceptance of conditions of approval:

Property Owner Signature

Printed Name

Date

Once signed, please email to snathan@ci.carmel.ca.us.

SHEET INDEX:

A-1.0 SITE PLAN
A-2.0 ELEVATIONS

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 22-098 (Kiwi & Me, LLC)

Date Approved: 05/25/2022

Planner: Suray Nathan.

KATE NOVOTNY
310. 924. 9337
katenovotny1@gmail.com

Kate S. Novotny
5/25/22

PROJECT DESCRIPTION:
APN. 010-014-015

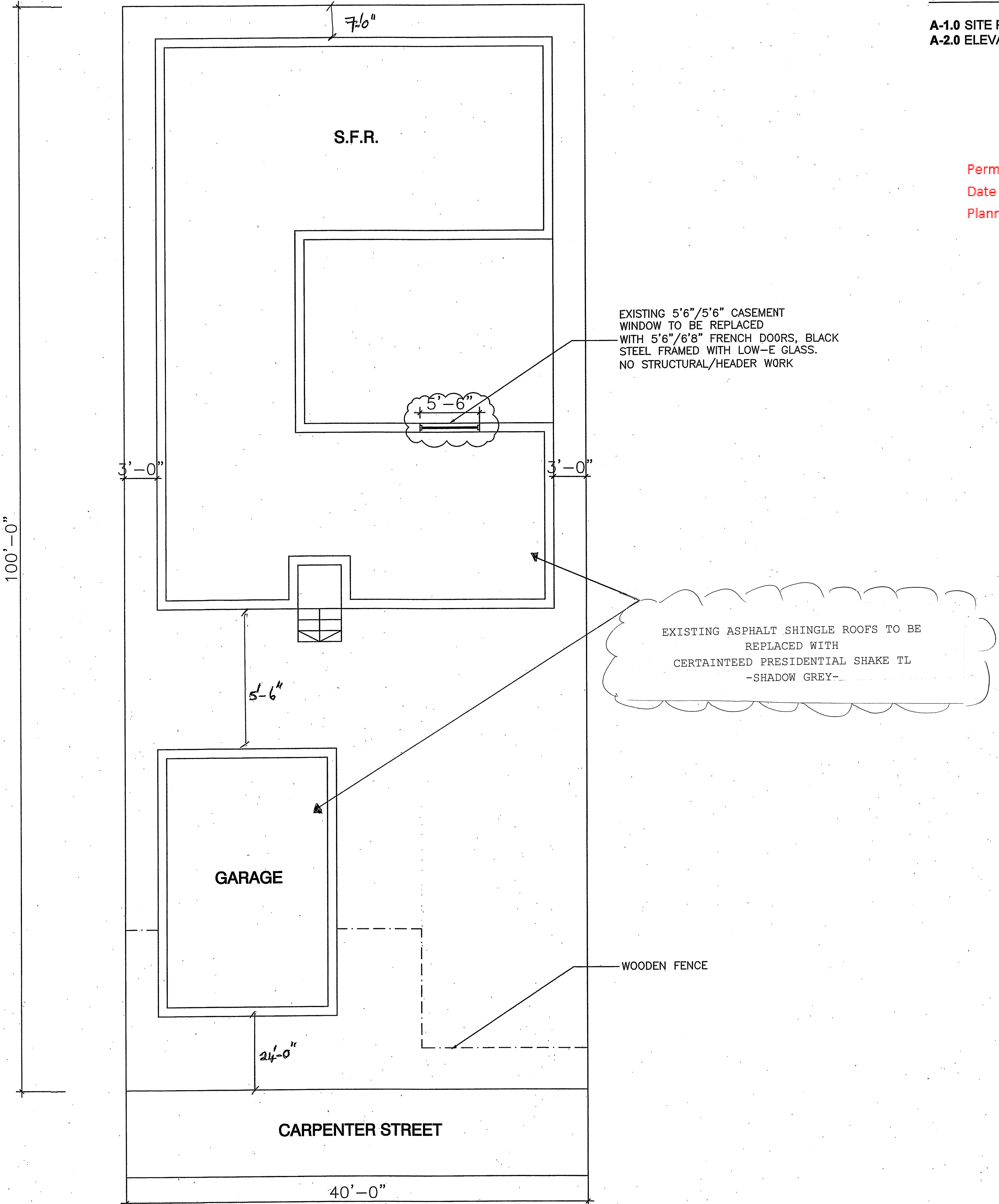
REMOVE 5'6"/5'6" CASEMENT WINDOW AND INSTALL 5'6"/6'8" FRENCH DOOR SET. NO STRUCTURAL/HEADER WORK.
REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH CERTAINTED PRESIDENTIAL SHAKE TL -SHADOW GREY-

INTENT TO COMPLY:
ALL WORK SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, AND ASSOCIATED 2019 CODES.

**FLOOR PLAN
PROPOSED REMODEL FOR:**
KIWI AND ME, LLC
CARPENTER 4 SE OF 3RD.
CARMEL, CA 93921

DATE: 03/25/22
SCALE: 3/16" = 1'-0"

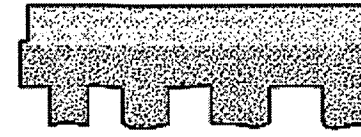
SHEET:
A-1.0



Presidential® Shake® & Presidential® Shake® TL Shingles

PRODUCT INFORMATION

Presidential® Shake® TL, with its sculpted rustic edges, is constructed using three laminated layers of the industry's strongest, most durable materials, making it one of the thickest, toughest and best looking shingles on the market. It has the beauty of a wood shake with less cost and better performance. It is designed to resist blow off in high wind conditions up to 110-mph with normal installation and 130-mph with special installation.



Presidential® Shake®, with its unique sculptured tab, provides the distinct styling, depth and dimension of wood shakes. It is constructed using two laminated layers of the industry's strongest, most durable roofing materials. It is designed to resist blow off in high wind conditions up to 110-mph with normal installation and 130-mph with special installation.

Presidential Shake TL AR (Algae Resistant) and **Presidential Shake AR (Algae Resistant)** shingles help protect against staining or discoloration caused by algae.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: It is recommended to apply these shingles at slopes of 4" per foot slope and greater in order to achieve optimum appearance. Low slope applications (2:12 to < 4:12) of Presidential TL shingles require CertainTeed's WinterGuard® Waterproofing Shingle Underlayment, or its equivalent meeting ASTM D1970, be applied to the entire deck surface, according to application instructions provided with the product and on the shingle package. For low slope applications of Presidential Shake shingles apply CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent, or two layers of 36" wide felt shingle underlayment (product meeting ASTM D226, D4869 or ASTM D6757) lapped 19", over entire deck according to the application instructions provided with the product. In areas where icing along the eaves can cause the back-up of water (all slopes), apply WinterGuard, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, use nine nails and apply spots of roofing cement under each shingle tab, according to application instructions provided with the product and the shingle package.

Product Composition: Presidential Shake TL and Presidential Shake shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. The laminated pieces are firmly adhered in a special tough asphaltic cement. These fiber glass based shingles have self-sealing adhesive applied.

Applicable Standards:

ASTM D3018 Type 1	CSA Standard A123.5
ASTM D3462	CAN/ULC S107 Class A Fire Resistance
ASTM E108 Class A Fire Resistance	Miami-Dade County Product Control Approved
ASTM D3161 Class F Wind Resistance	(Pres Shake - all plants)
ASTM D7158 Class H Wind Resistance	(Pres Shake TL - Shakopee only)
UL 790 Class A Fire Resistance	Florida Product Approval # FL5444
ICC-ES ESR-1389 & ESR-3537	Meets TDI Windstorm Requirements

Technical Data:	Presidential Shake	Presidential Shake TL
Weight/Square (approx.):	350 lb.	465 lb.
Dimensions (overall):	14 1/4" x 40"	14 1/4" x 40"
Shingles/Square:	90	90
Weather Exposure:	4"	4"

INSTALLATION

Detailed installation instructions are supplied on each bundle of Presidential Shake and Presidential Shake TL shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

IMPORTANT NOTE - Presidential Starter or an approved alternative starter system must be used for the two-layered starter course.

Hips and Ridges: For a complementary color, use Cedar Crest® or CertainTeed's enhanced high profile accessory shingle, Mountain Ridge® shingles of a like color for capping the hips and ridges.

MAINTENANCE

Presidential Shake TL and Presidential Shake shingles require virtually no maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

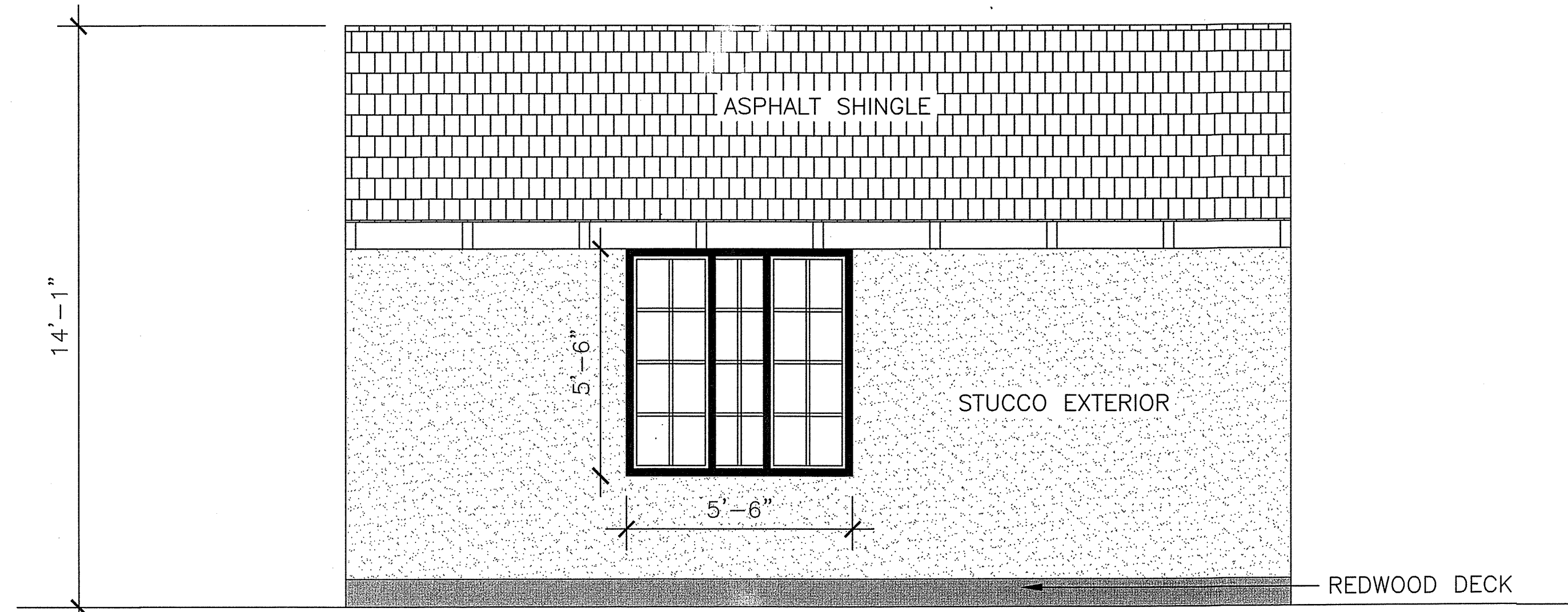
Presidential Shake and Presidential Shake TL carry a lifetime limited transferable warranty against manufacturing defects for the original homeowner when applied to stated CertainTeed application instructions. In addition, both Presidential Shake TL and Presidential Shake shingles also carry 10-years of SureStart™ Protection. Presidential AR and Presidential TL AR shingles carry a 15-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

TECHNICAL SUPPORT

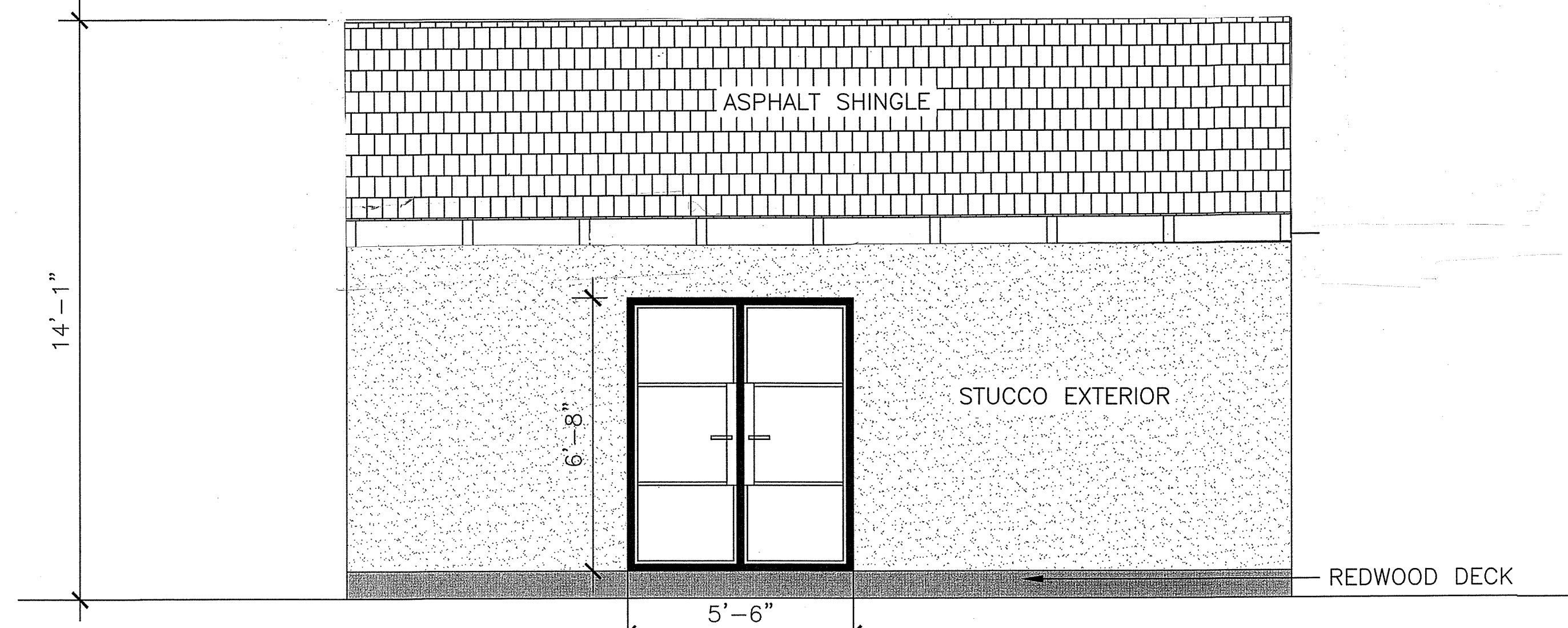
Technical Service Department: 1-800-345-1145
e-mail: RPG.T.Services@saint-gobain.com

FOR MORE INFORMATION

Customer Experience Team: 800-233-8990
e-mail: gethelp@saint-gobain.com
Web site: www.certainteed.com
See us at our on-line specification writing tool, Certaspec, at www.certainteed.com/certaspec



ELEVATION WITH EXISTING CASEMENT WINDOW (WEST ELEVATION)



ELEVATION WITH PROPOSED FRENCH DOOR (WEST ELEVATION)

AND PROPOSED NEW CERTAINTEED
PRESIDENTIAL SHAKE TL - SHADOW GREY

KATE NOVOTNY
310.924.9337
katenovotny1@gmail.com
Kate E. Novotny
6/23/22

PROJECT DESCRIPTION:

APN: 010-014-015
REMOVE 5/8" CASEMENT WINDOW AND INSTALL 6/8" FRENCH DOOR SET. NO STRUCTURAL HEADER WORK. INTERIOR COURTYARD, NOT VISIBLE FROM THE STREET. REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH CERTAINTEED PRESIDENTIAL SHAKE TL. -SHADOW GREY.

INTENT TO COMPLY:
ALL WORK SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, AND ASSOCIATED 2019 CODES.

ELEVATIONS
PROPOSED REMODEL FOR:
KIWI AND ME, LLC
CARPENTER 4 SE OF 3RD.
CARMEL, CA 93921

DATE: 03/25/22

SCALE: 3/4" = 1'-0"

SHEET:

A-2.0