



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22042

Owner Name: WARD CATHERINE A TR & WARD GREGG TR

Case Planner: Evan Kort, Associate Planner

Date Posted: _____

Date Approved: 06/01/2022

Project Location: Casanova 3 NW of 9th

APN #: 010263006000 **BLOCK/LOT:** I/15

Applicant: Jon Sather Erlandson

Project Description: This approval of Design Study (DS 22-042) authorizes a 63 square foot addition to an existing single family residence to be located in place of an existing deck on the south side of the property including the removal of a 2nd floor balcony to allow for a change in the roof form to accommodate the addition, replacement of the balcony doors with new windows, as well as the installation of 3 new skylights in the Single-Family Residential (R-1) District as depicted in the plans prepared by Jon Erlandson dated approved by Community Planning & Building Department on June 1, 2022 unless modified by the conditions of approval contained herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of Design Study (DS 22-042) authorizes a 63 square foot addition to an existing single family residence to be located in place of an existing deck on the south side of the property including the removal of a 2 nd floor balcony to allow for a change in the roof form to accommodate the addition, replacement of the balcony doors with new windows, as well as the installation of 3 new skylights in the Single-Family Residential (R-1) District as depicted in the plans prepared by Jon Erlandson dated approved by Community Planning & Building Department on June 1, 2022 unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing: <ul style="list-style-type: none"> • The roof height and plate height for conformance with the approved plans prior to roof sheathing inspection. Written certifications prepared, sealed and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.	✓
6.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
7.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)	✓
8.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to	✓

	<p>incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	
9.	<p>Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.</p>	✓
10.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning & Building Director, or their designee.</p> <p>When changes or modifications to the project are proposed, the applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>	✓
11.	<p>Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p>	✓
12.	<p>Skylights & Skylight Shades. The applicant shall submit product information for the skylights and skylight shades prior to issuance of a building permit. All skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. Skylight flashing shall match the roof color.</p>	✓
13.	<p>Unclad Wood Frame Windows. The applicant shall install unclad wood windows. Windows that have been approved with divided lights shall be constructed with true</p>	✓

	divided lights. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted. The manufacturer's specifications for the windows shall be included in the construction drawings submitted with the building permit application.	
14.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
15.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
16.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
17.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Landscape Conditions		
18.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
19.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
20.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. 	✓

	<ul style="list-style-type: none"> ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	
SPECIAL CONDITIONS		
21.	<p>Non-conforming Site Coverage. The site is currently non-conforming in respect to site coverage. In accordance with CMC 17.10.030.C.2: <i>Sites not in compliance with site coverage limits shall not be authorized to increase site coverage. Sites with excess coverage may add floor area consistent with subsection (D)(3) of this section, Exterior Volume, only when:</i></p> <ul style="list-style-type: none"> a. <i>The site complies with the R-1 district tree density provisions established in CMC 17.48.080(A) and all existing and new trees have sufficient space to protect the root zones and provide for new growth; and</i> <ul style="list-style-type: none"> a. The plans submitted for building permit review shall identify all existing trees. The tree density for a 4,000 sf site in CMC 17.48.080(A) is 3 upper and 1 lower canopy tree. If the density is not currently met, the applicant shall plant the required trees to meet the recommended density and identify the proposed location and species on the site plan. The species and location of the trees shall be approved by the City Forester. The tree size shall be, at a 	✓

	<p>minimum, a 15 gallon container or a 24" box. Should a tree die within 5 years, a replacement tree of the same size and species shall be planted on site unless otherwise approved by the City Forester.</p> <p>b. Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less.</p> <p>a. 63 square feet of site coverage has been proposed to be removed – an amount equal to the addition. However, an additional 63 square feet shall be removed to comply with the requirements above.</p>	
22.	<p>Condition of Approval Acknowledgement. The Condition of Approval Acknowledgement form, available from the Community Planning and Building Department, shall be signed by the appropriate parties prior to the issuance of a building permit. A signed copy of the acknowledgement shall also be printed in the building plan set.</p>	✓

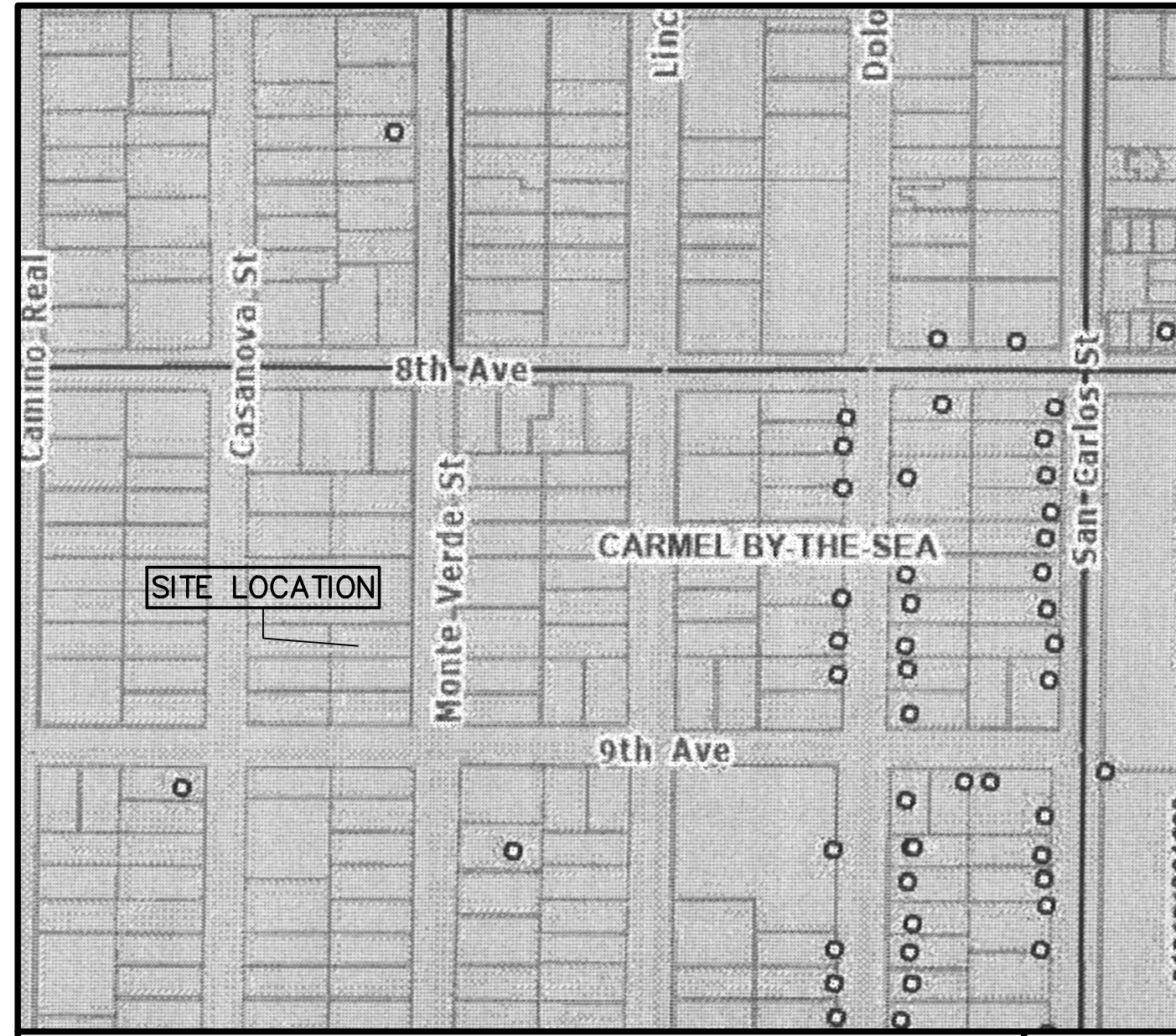
Acknowledgement and acceptance of conditions of approval:

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning & Building Department.



VICINITY MAP

1

Ward Residence

Casanova Street 3 NW of 9th Street
Carmel By The Sea - California

PROJECT DESCRIPTION:
Enclose 63 SF of an Existing Raised Deck. Move the

PROJECT LOCATION:
Casanova Street 3 Northwest of 9th Avenue
Carmel By The Sea, California 93921

OWNER:
Gregg and Cathy Ward
Casanova Street 3 Northwest of 9th Avenue
Carmel By The Sea, California 93921

PROPERTY INFORMATION:
Assessor's Parcel Number: 010-283-006-000
Lot Area: 4,000 SF
Zoning: R-1

UTILITY PROVIDERS:

GAS and ELECTRICITY:
Pacific Gas & Electric

WATER SERVICE:
CalAm

SEWER SERVICE:
Carmel Wastewater

PROJECT INFORMATION

2

- 2019 CA Building Code (Based on 2006 International Building Code)
- 2019 CA Fire Code (Based on 2006 International Fire Code)
- 2019 CA Plumbing Code (Based on 2006 Uniform Plumbing Code)
- 2019 CA Mechanical Code (Based on 2006 Uniform Mechanical Code)
- 2019 CA Electrical Code (Based on 2005 National Electrical Code)
- 2019 CA Residential Code
- 2019 CA Energy Code

CONSTRUCTION TYPE:
TYPE V NON-RATED

OCCUPANCY:
TYPE R-3/U

BUILDING CODES

3

BUILDING AREA	EXISTING	PROPOSED	
Residence First Floor	1,257 SF	1,298 SF	(+63 SF)
Residence Second Floor	233 SF	233 SF	No Change
Detached Garage	209 SF	209 SF	No Change
Total Floor Area	1,699 SF	1,762 SF	No Change
Floor Area Ratio	43.4%	44.1%	

SITE COVERAGE	EXISTING		PROPOSED		
	Impervious	Pervious	Impervious	Pervious	
Paver Driveway	452 SF	0 SF	452 SF	0 SF	No Change
Front Stone Porch	77 SF	0 SF	77 SF	0 SF	No Change
Side Yard Wood Deck	100 SF	0 SF	37 SF	0 SF	(-63 SF)
Rear Yard Stone Porch	51 SF	0 SF	51 SF	0 SF	No Change
Rear Yard Gravel Patio	0 SF	231 SF	0 SF	231 SF	No Change
Concrete Apron & Band	29 SF	0 SF	29 SF	0 SF	No Change
Stepping Stones	58 SF	0 SF	58 SF	0 SF	No Change
TOTALS:	767 SF	231 SF	704 SF	231 SF	

Net Reduction: 63 SF

ARCHITECTURAL DRAWINGS

SHEET G-1.0	TITLE SHEET- PROJECT INFORMATION
SHEET C-1.0	SITE PLAN
SHEET A-1.1	PROPOSED FLOOR PLANS
SHEET A-1.2	PROPOSED ROOF PLAN
SHEET A-2.1	PROPOSED EXTERIOR ELEVATIONS
SHEET A-3.1	BUILDING SECTION

SHEET EX-1.1	EXISTING FLOOR PLAN
SHEET EX-1.2	EXISTING ROOF PLAN
SHEET EX-2.1	EXISTING EXTERIOR ELEVATIONS

DRAWING INDEX

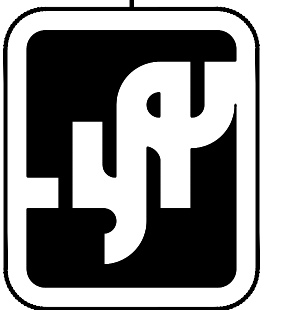
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PROJECT DATA

5

DATE	REVISION

Jon Sather Erlandson Architect - C11925



MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Facsimile: (831) 625-1578 Email: jon@jserlandson.com

Ward Residence
Casanova 3 NW of 9th Avenue
Carmel by The Sea, California

Job Number
2021-07

Drawn By:

Date
5-12-2022

Revisions

Sheet Number

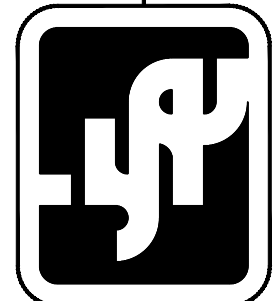
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of: Sheets

TITLE SHEET and INDEX

DATE	REVISION

Jon Sather Erlandson Architect - C11925



MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
 Phone: (831) 625-6163 Facsimile: (831) 625-1578 Email: jon@jonerlandson.com

Ward Residence

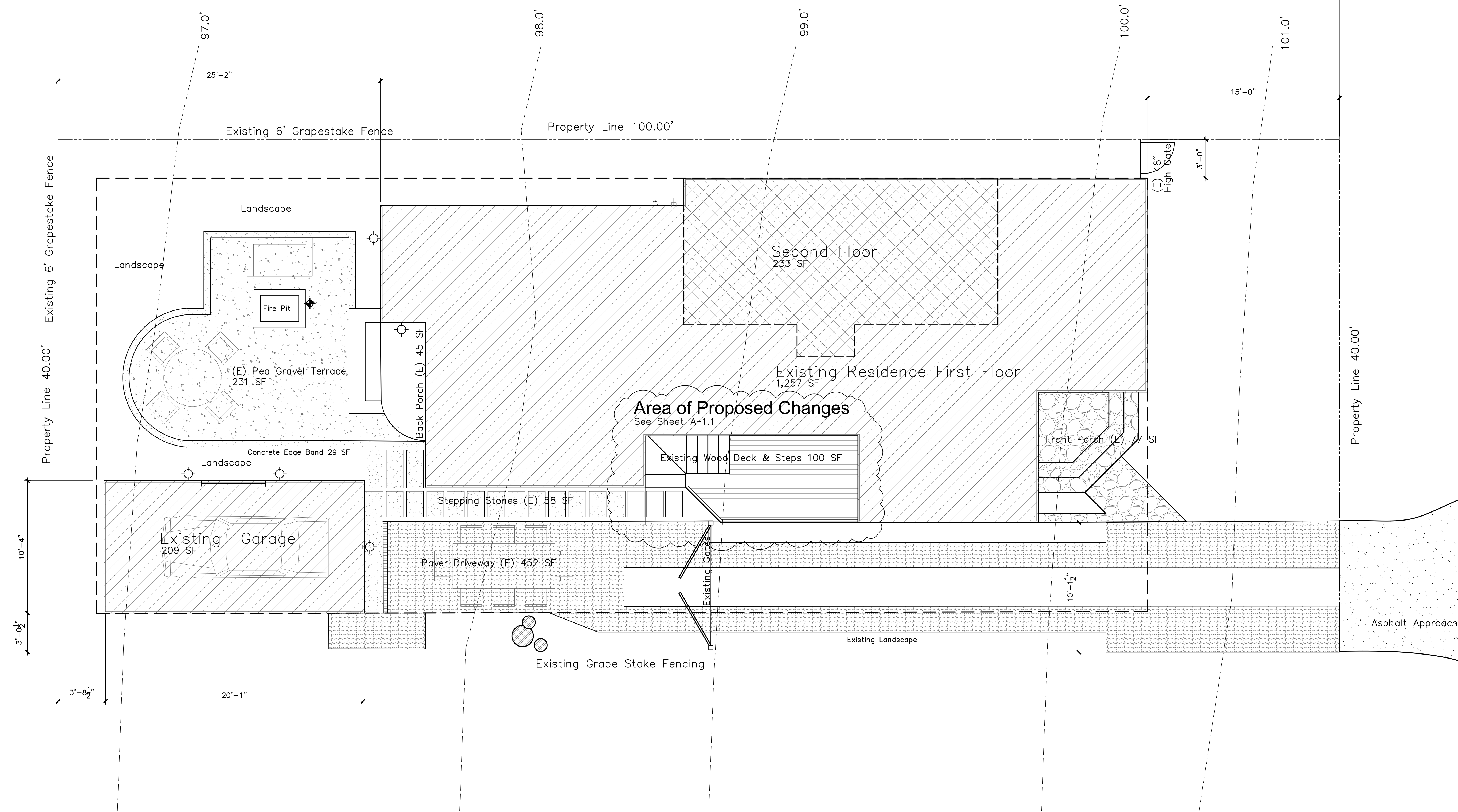
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 Carmel by The Sea, California

Job Number: 2021-07 Drawn By: _____

Date: 01-30-2022 Revisions: 5-12-2022

Sheet Number: **C-1.0**
of: _____ Sheets

Existing Site Plan

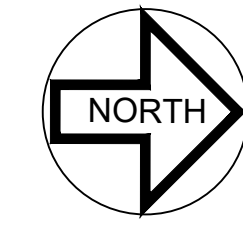
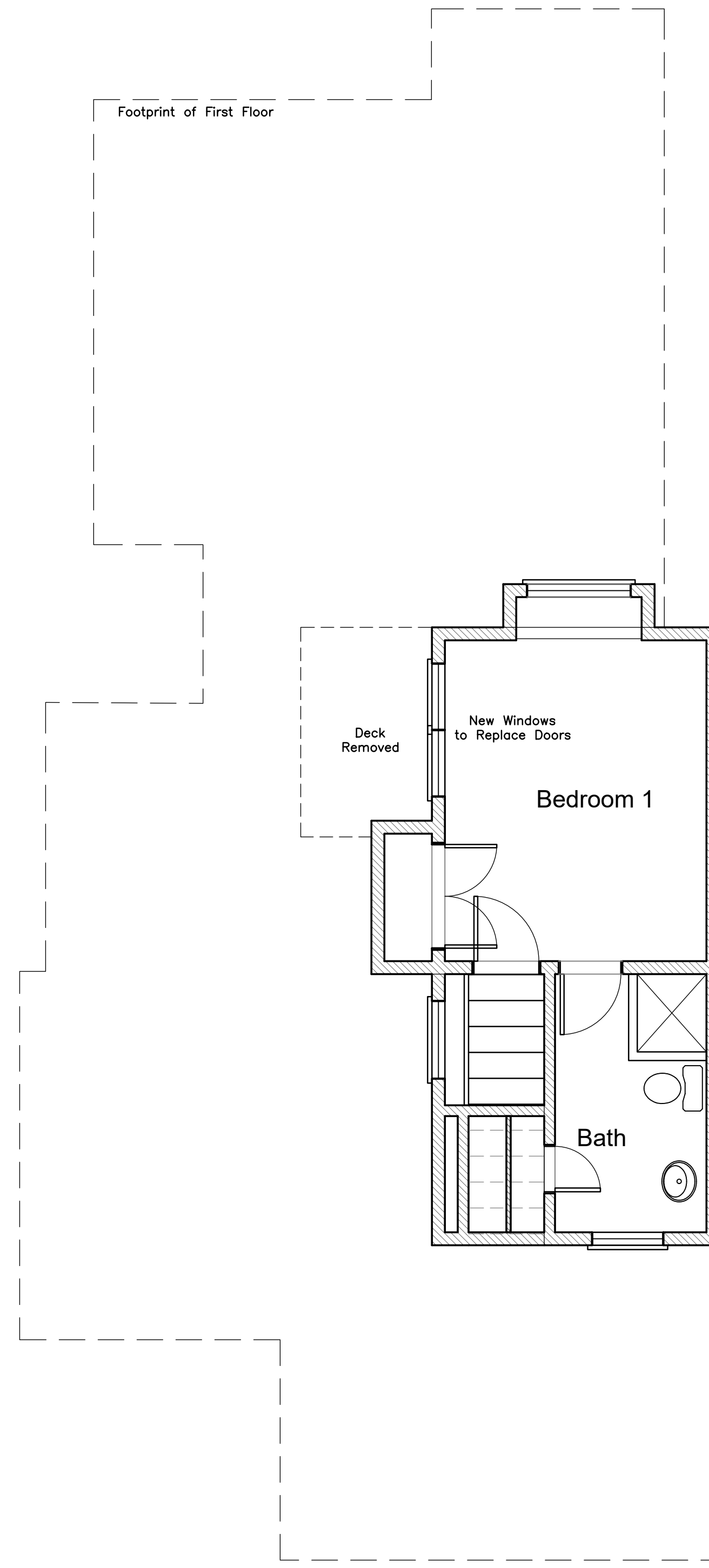


EXISTING SITE PLAN

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1'	2'	4'
3'		

1



Second Floor Area: 233 SF

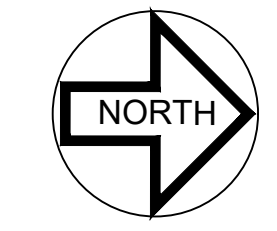
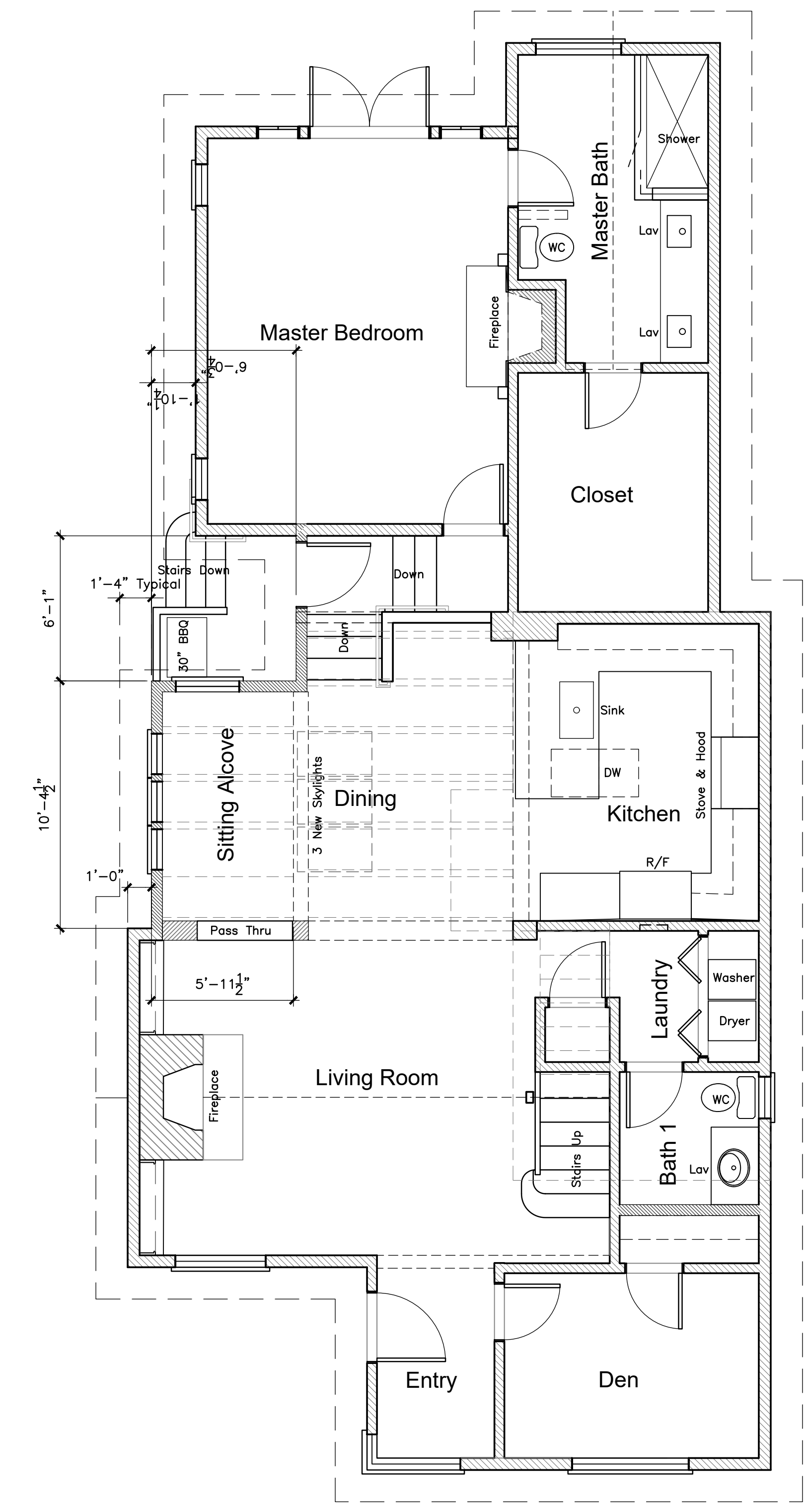
1'

Scale: 1/4"=1'-0"

1'	2'	4'
1'	3'	4'

2

PROPOSED SECOND FLOOR PLAN



First Floor Living: 1,320 SF (63 SF New)
Garage Area: 209 SF

Scale: 1/4"=1'-0"

1'	2'	4'
1'	3'	4'

1

PROPOSED FIRST FLOOR PLAN

DATE	REVISION

Jon Sather Erlandson Architect - C11925

MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
 Phone: (831) 625-6163 Facsimile: (831) 625-1578 Email: jon@jonerlandson.com

Ward Residence

Casanova Street 3 Northwest of 9th Avenue
 Carmel by the Sea, California 93920

Job Number 2021-07	Drawn By:
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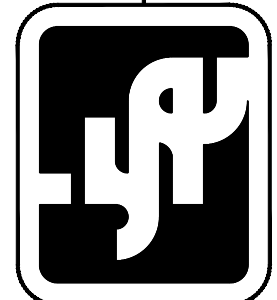
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PROPOSED FLOOR PLANS

DATE	REVISION

Jon Sather Erlandson Architect - C11925



MAL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
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Ward Residence

Casanova 3 NW of 9th Avenue
Carmel by The Sea, California

Job Number
2021-07

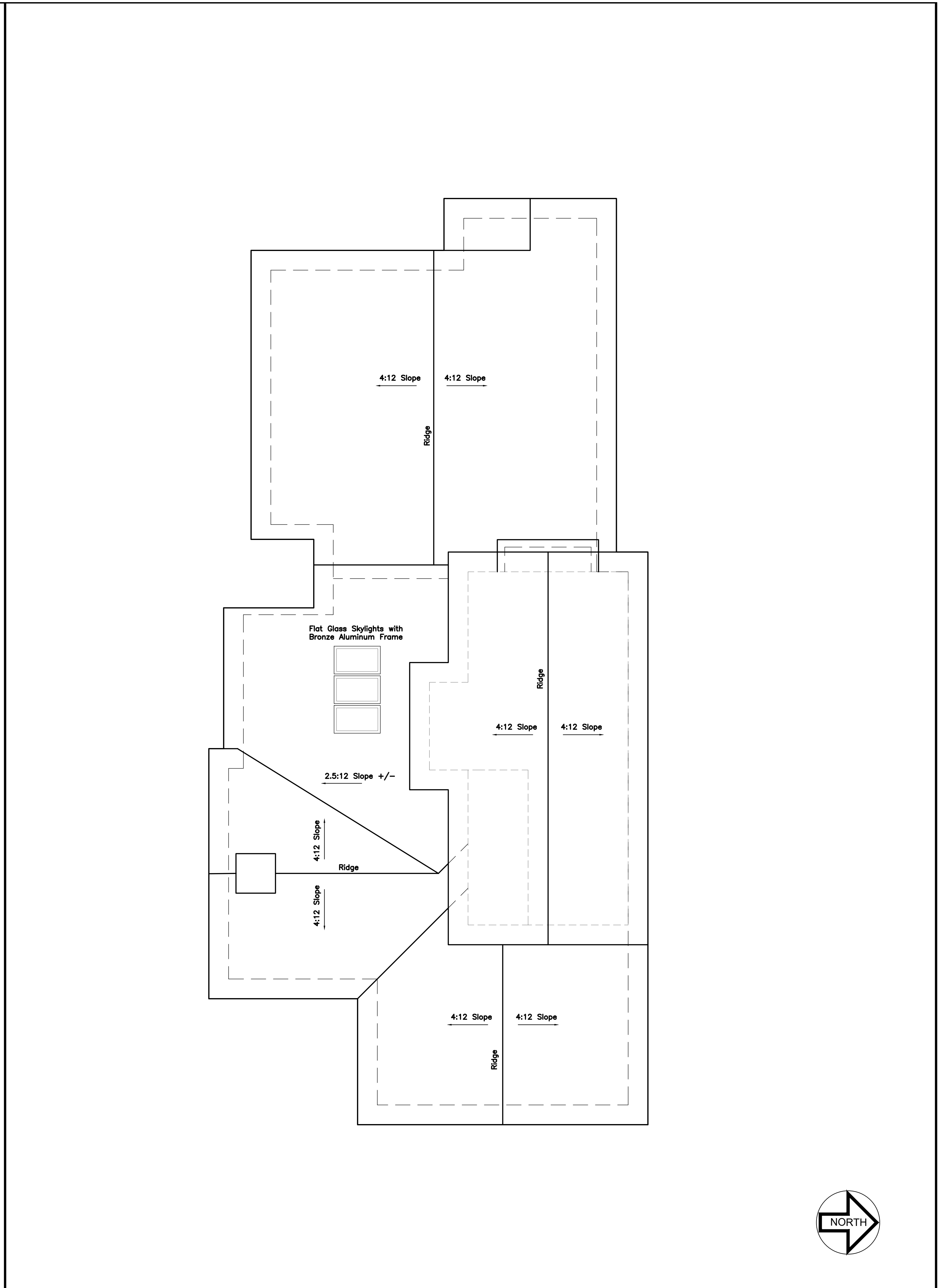
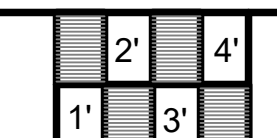
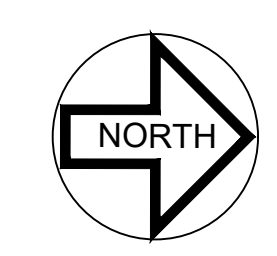
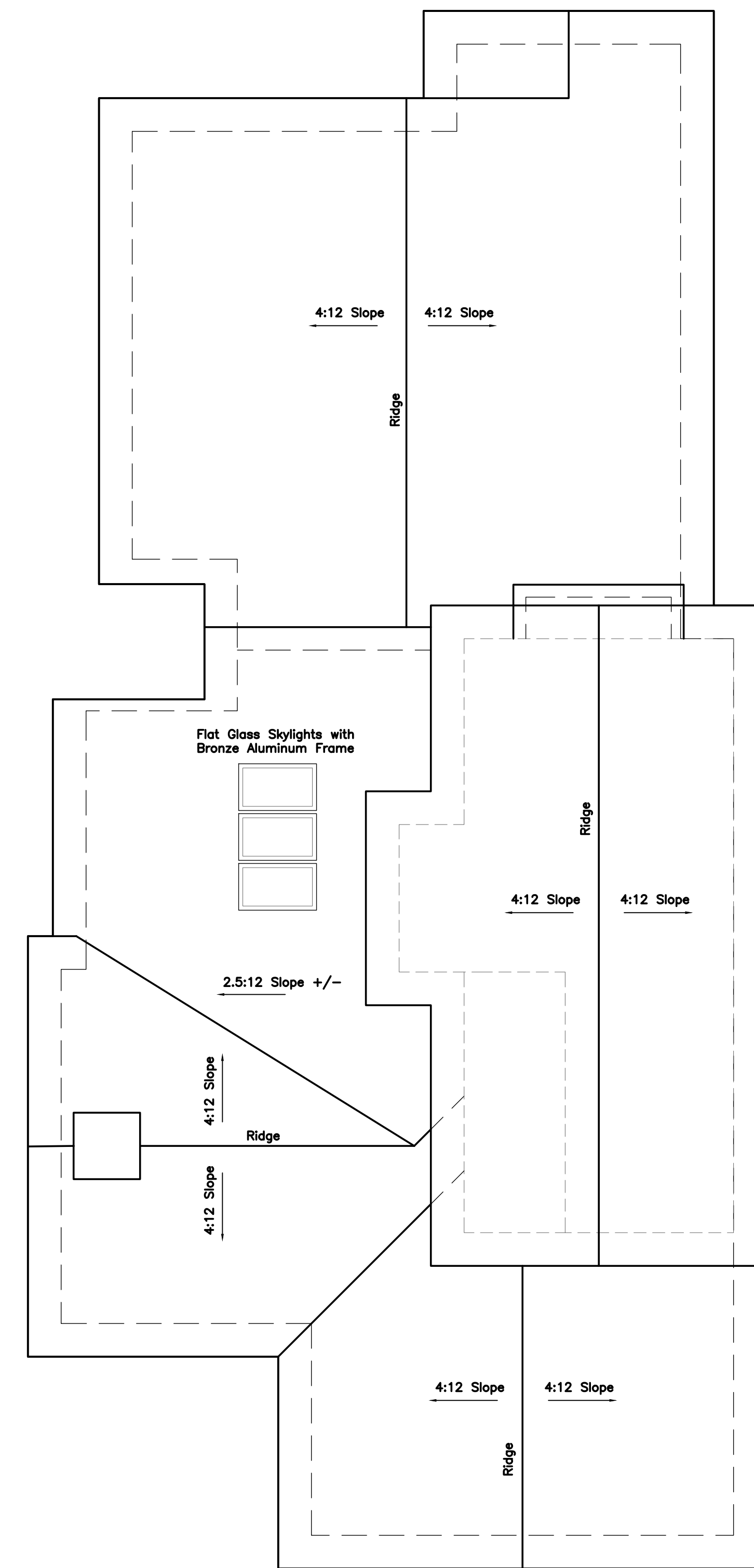
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Date
01-30-2022

Revisions
5-12-2022

Sheet Number
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Proposed Roof Plan

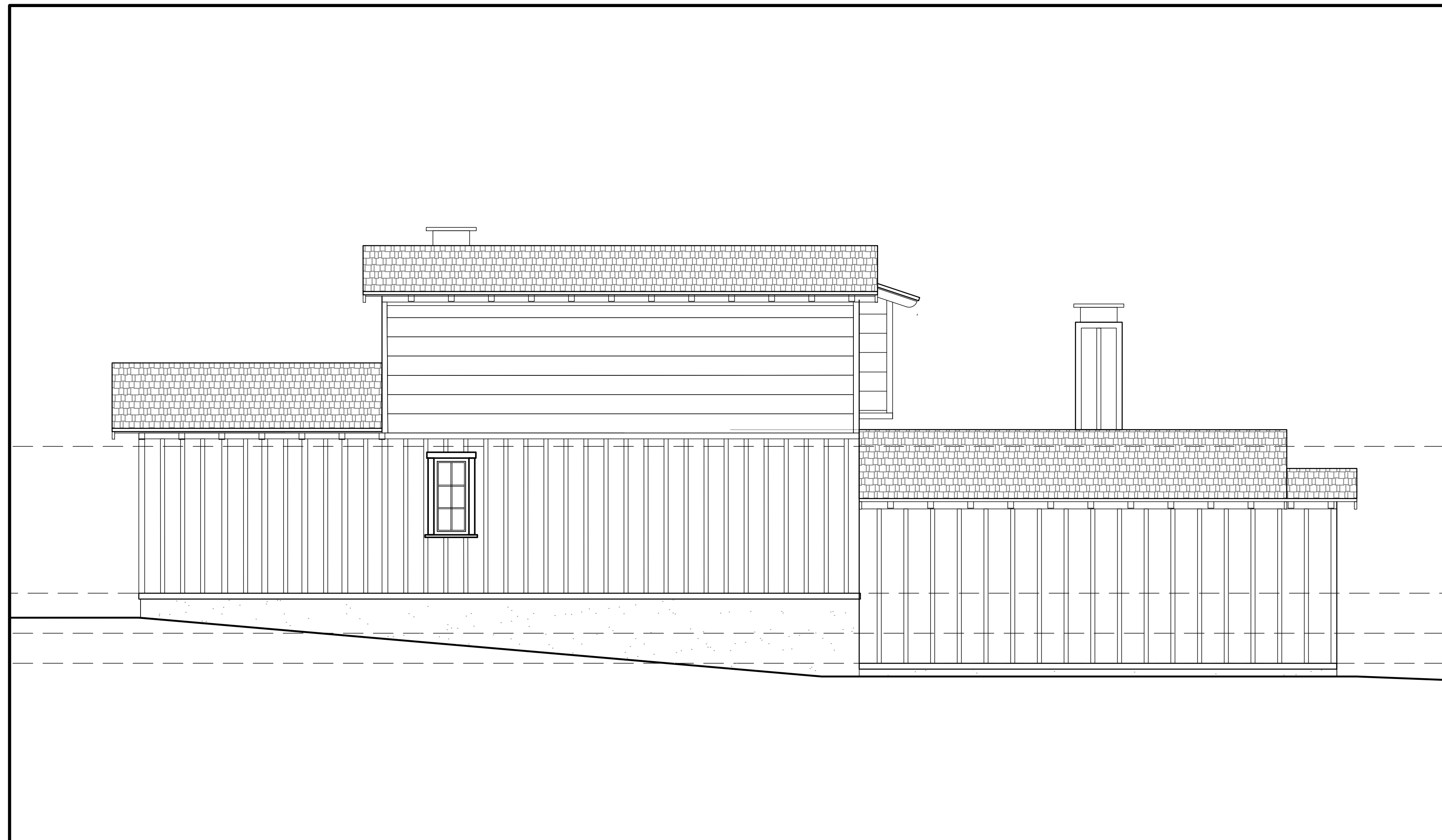


DATE	REVISION

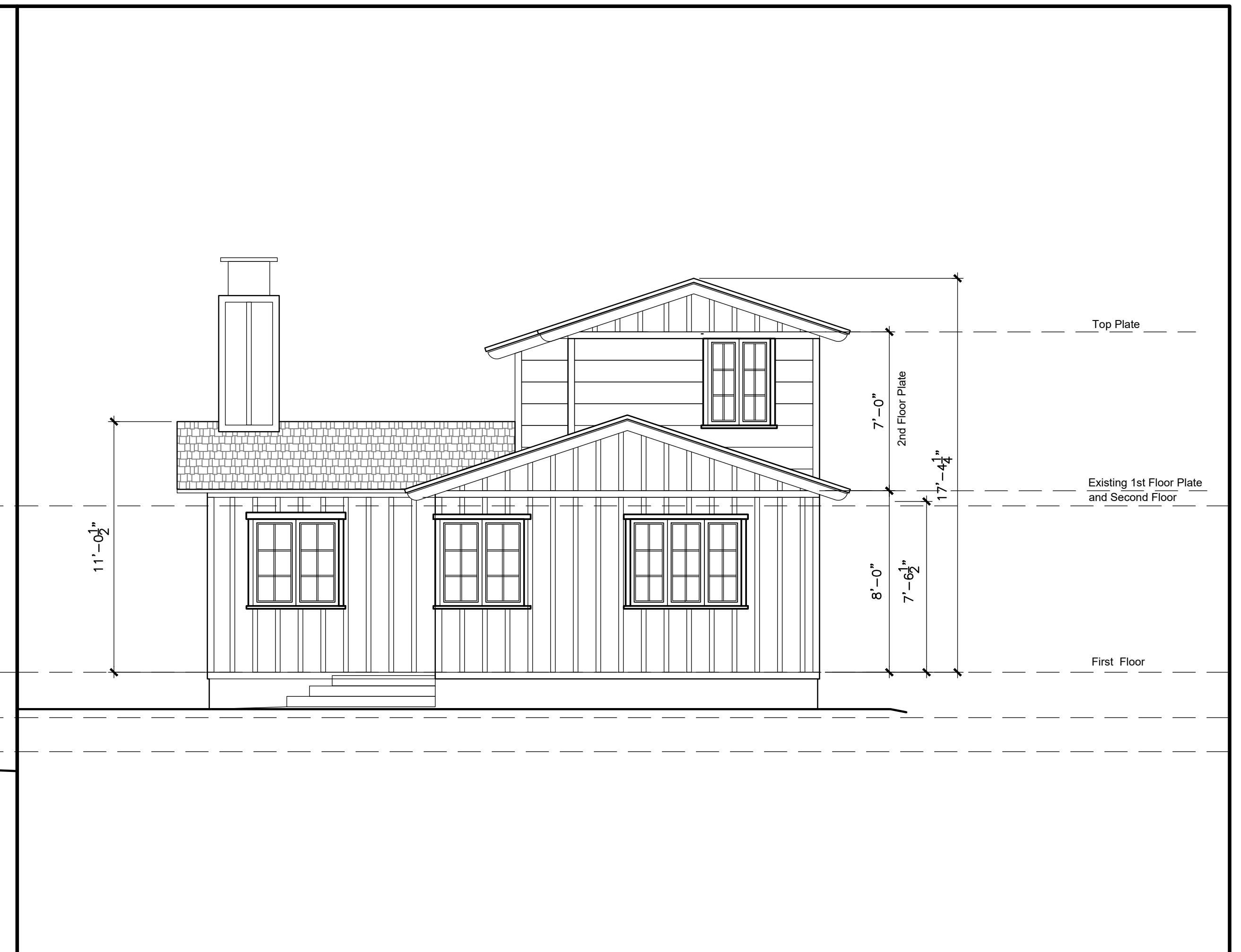
Jon Sather Erlandson Architect - C11925

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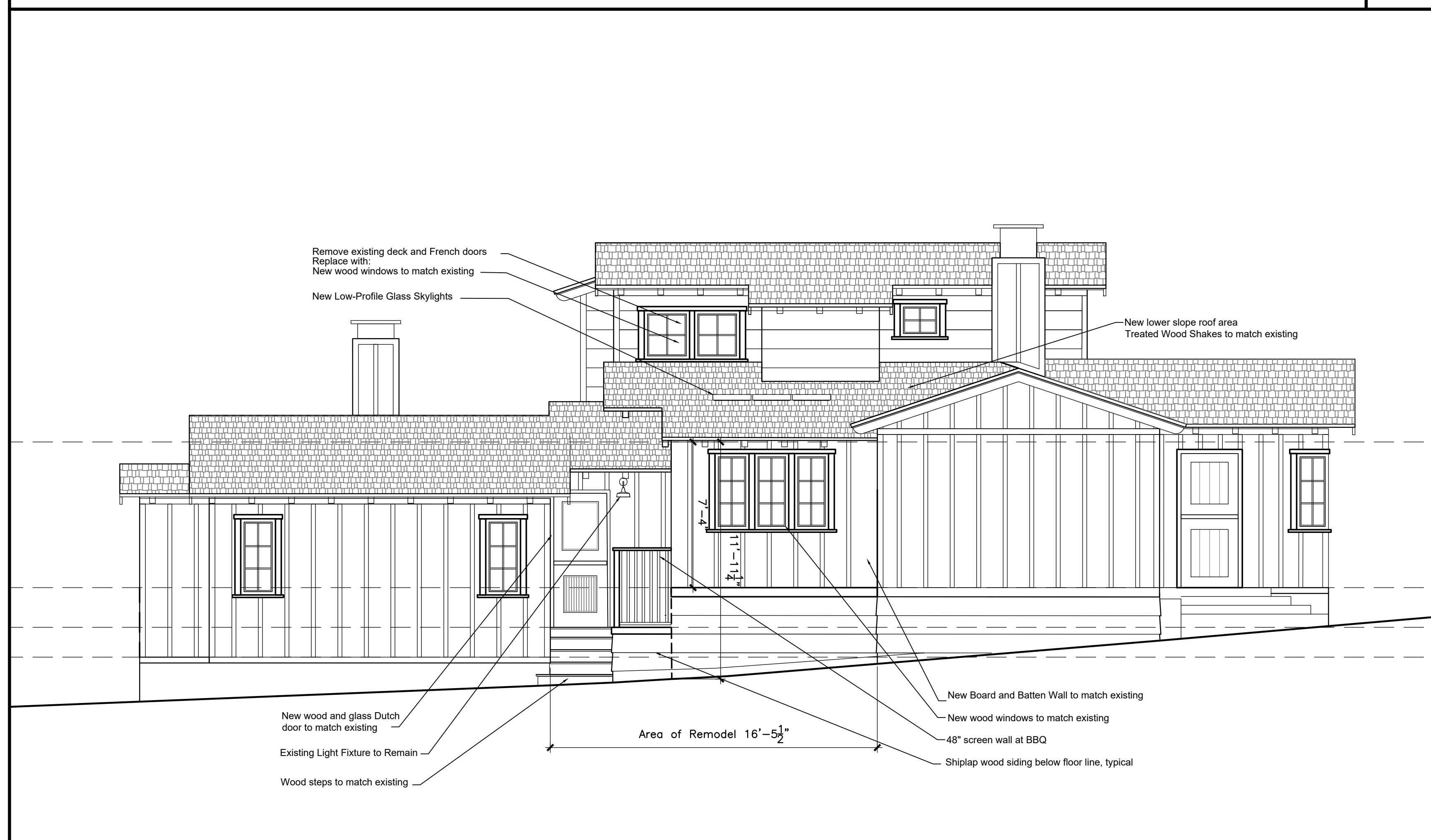
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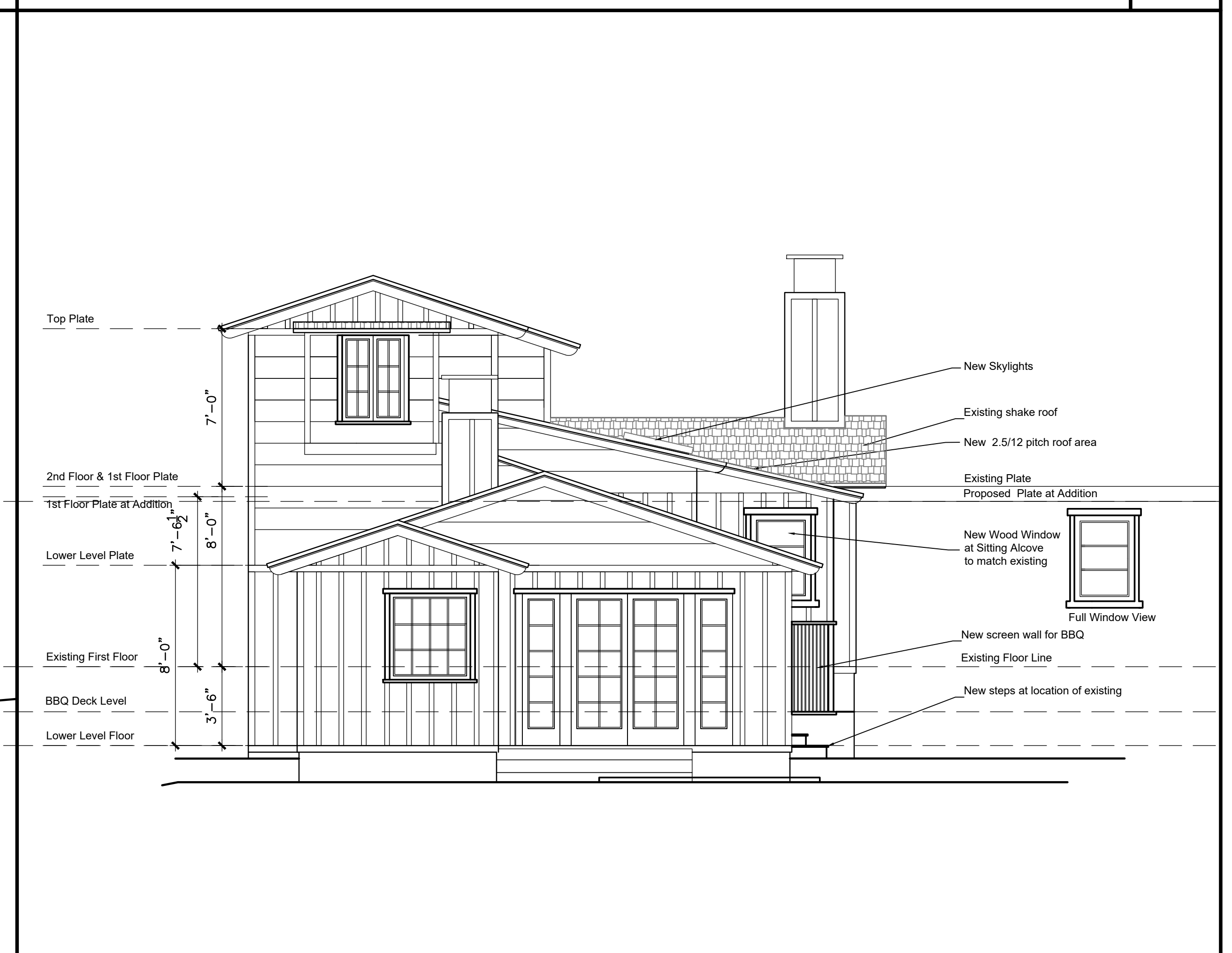
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PROPOSED EAST EXTERIOR ELEVATION Scale: 1/4"=1'-0" **E**



PROPOSED SOUTH EXTERIOR ELEVATION Scale: 1/4"=1'-0" **S**



PROPOSED EXTERIOR ELEVATION Scale: 1/4"=1'-0" **W**

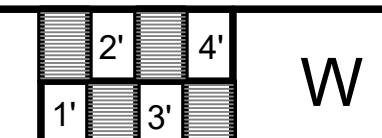
Ward Residence
 Casanova Street 3 NW of 9th Avenue
 Carmel by The Sea, California

Job Number 2021-07 Drawn By:

Date 01-02-2014 Revisions 5-12-2022

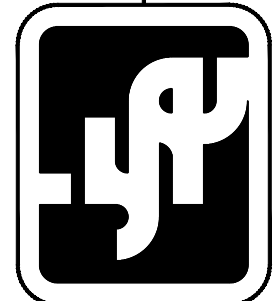
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EXTERIOR ELEVATIONS



DATE	REVISION

Jon Sather Erlandson Architect - C11925



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Ward Residence

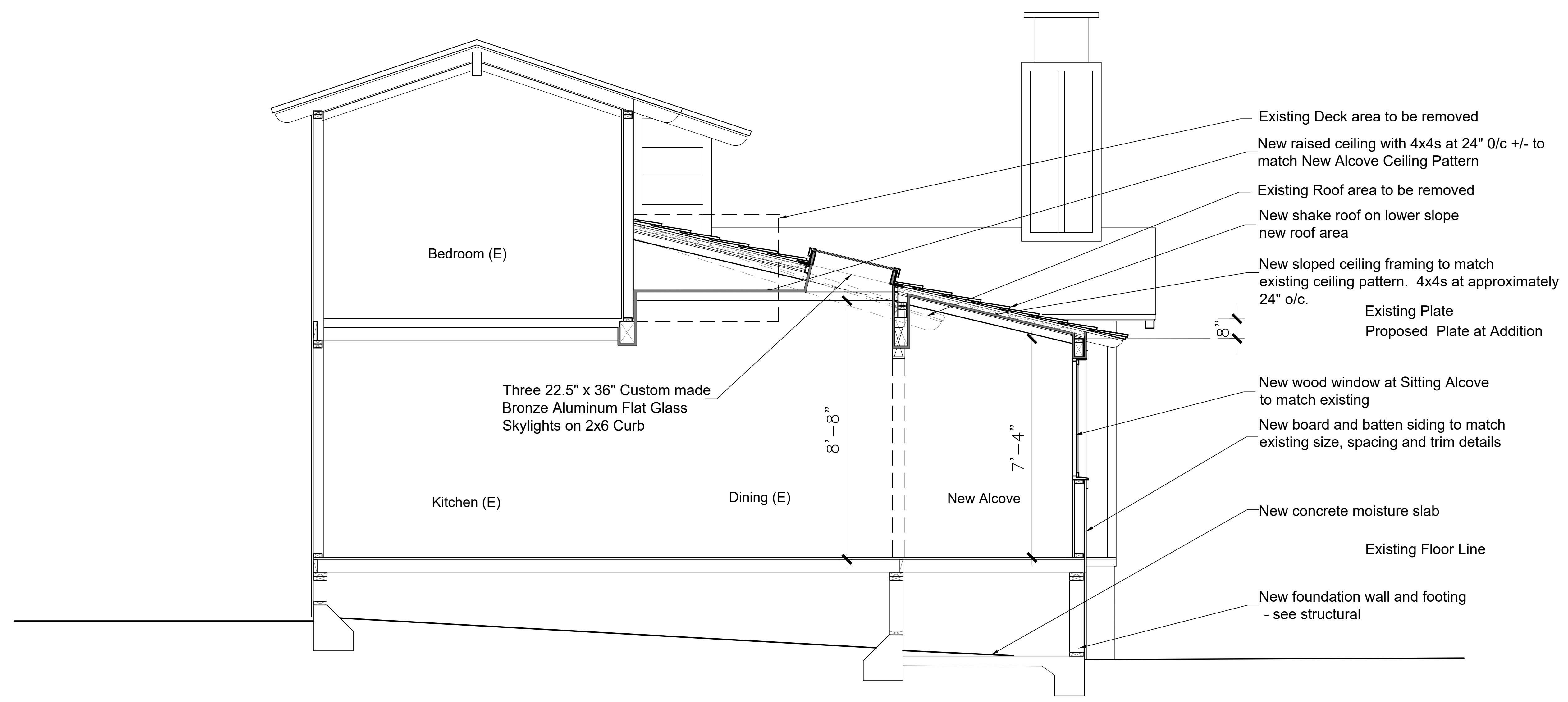
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 Carmel by The Sea, California

Job Number: 2021-07 Drawn By:

Date: 05-03-2022 Revisions: 5-12-2022

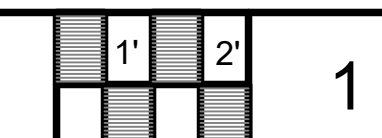
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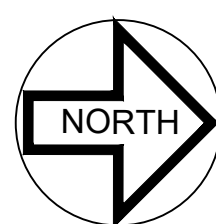
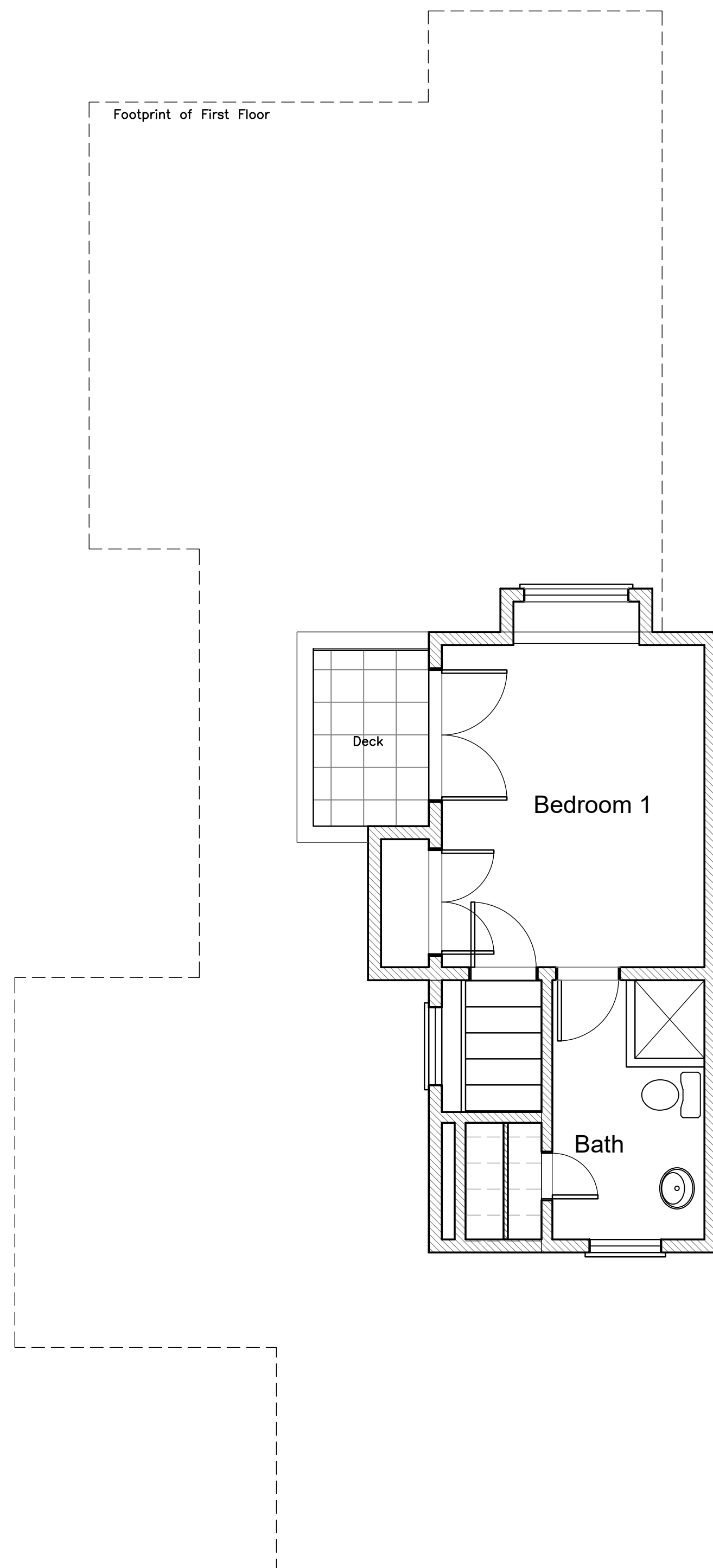
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BUILDING SECTION

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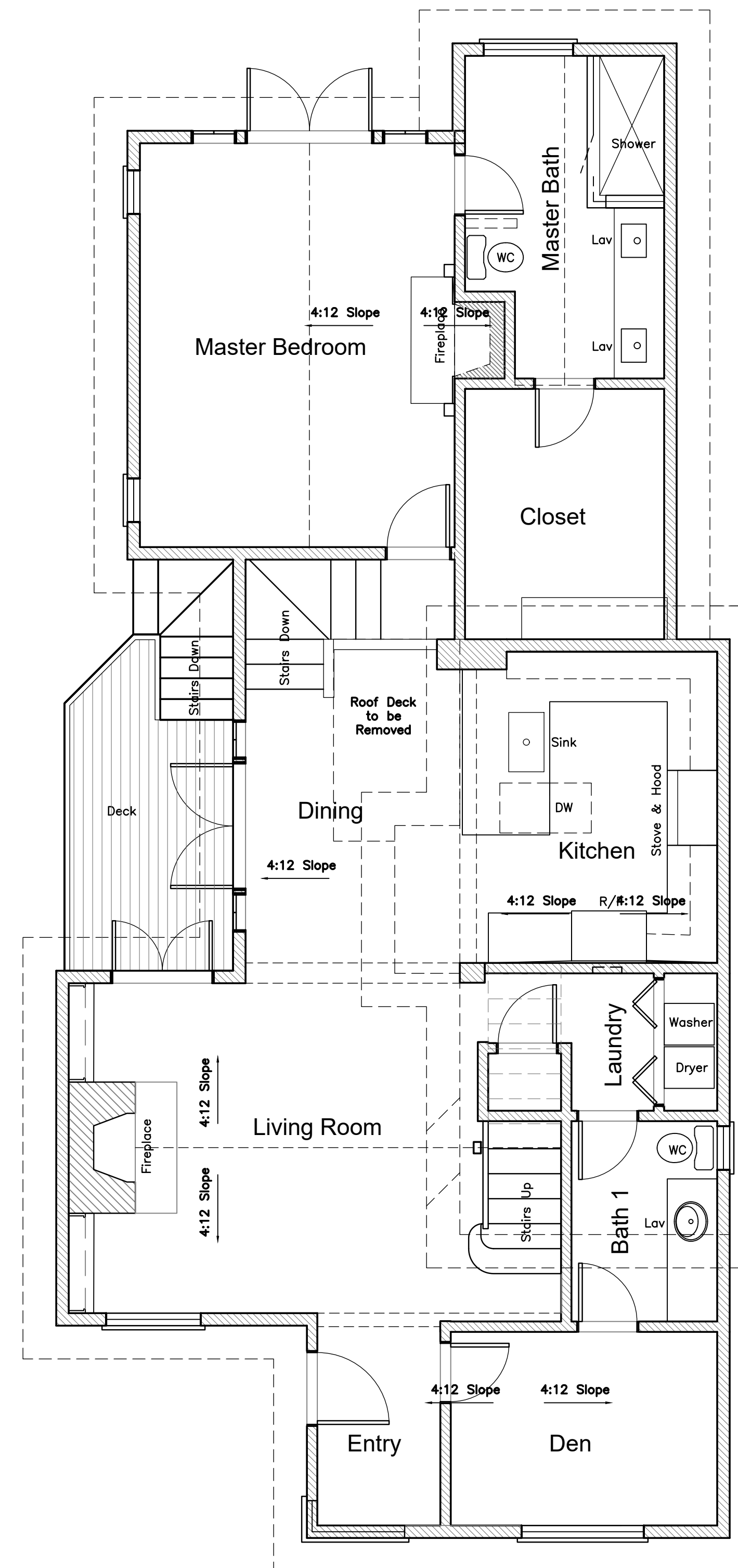


Second Floor Area: 233 SF

EXISTING SECOND FLOOR PLAN

Scale: 1/4"=1'-0"

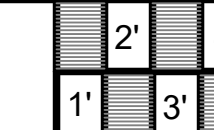
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First Floor Living: 1,257 SF
Garage Area: 209 SF

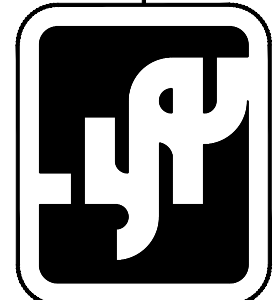
EXISTING FIRST FLOOR PLAN

Scale: 1/4"=1'-0"



1

DATE	REVISION



Jon Sather Erlandson
Architect - C11925

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Ward Residence

Casanova Street 3 Northwest of 9th Avenue
Carmel by the Sea, California 93920

Job Number 2021-07	Drawn By:
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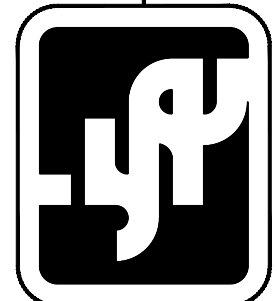
Date 12-28-2021	Revisions 5-3-2022
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Sheet Number EX-1.1	of: Sheets
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EXISTING FLOOR PLANS

DATE	REVISION

Jon Sather Erlandson Architect - C11925



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Ward Residence
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 Carmel by The Sea, California

Job Number
2021-07

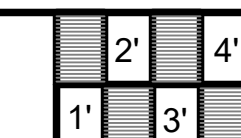
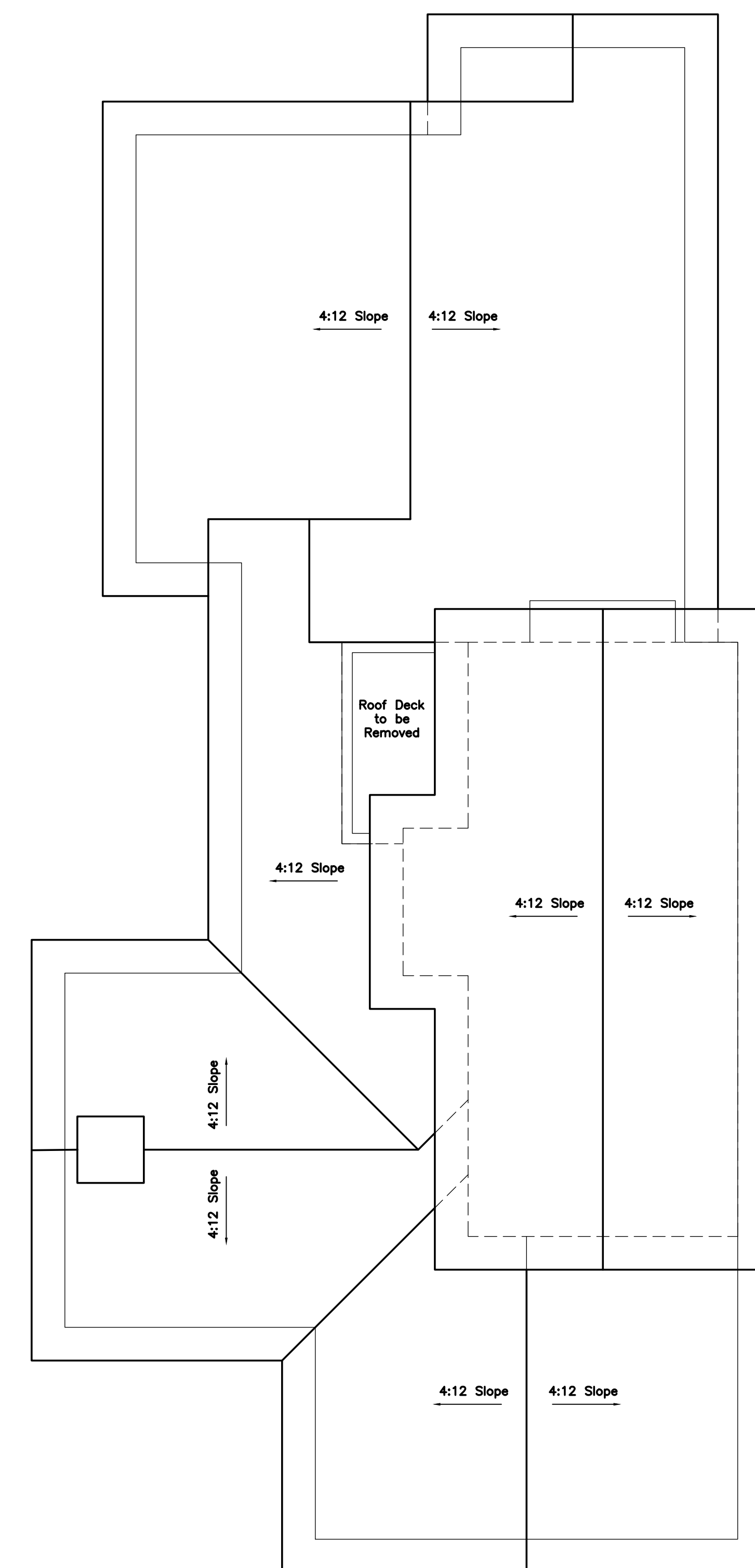
Drawn By:

Date
01-30-2014

Revisions
5-3-2022

Sheet Number
EX-1.2
of: Sheets

Existing Roof Plan



*

Scale: 1/4"=1'-0"

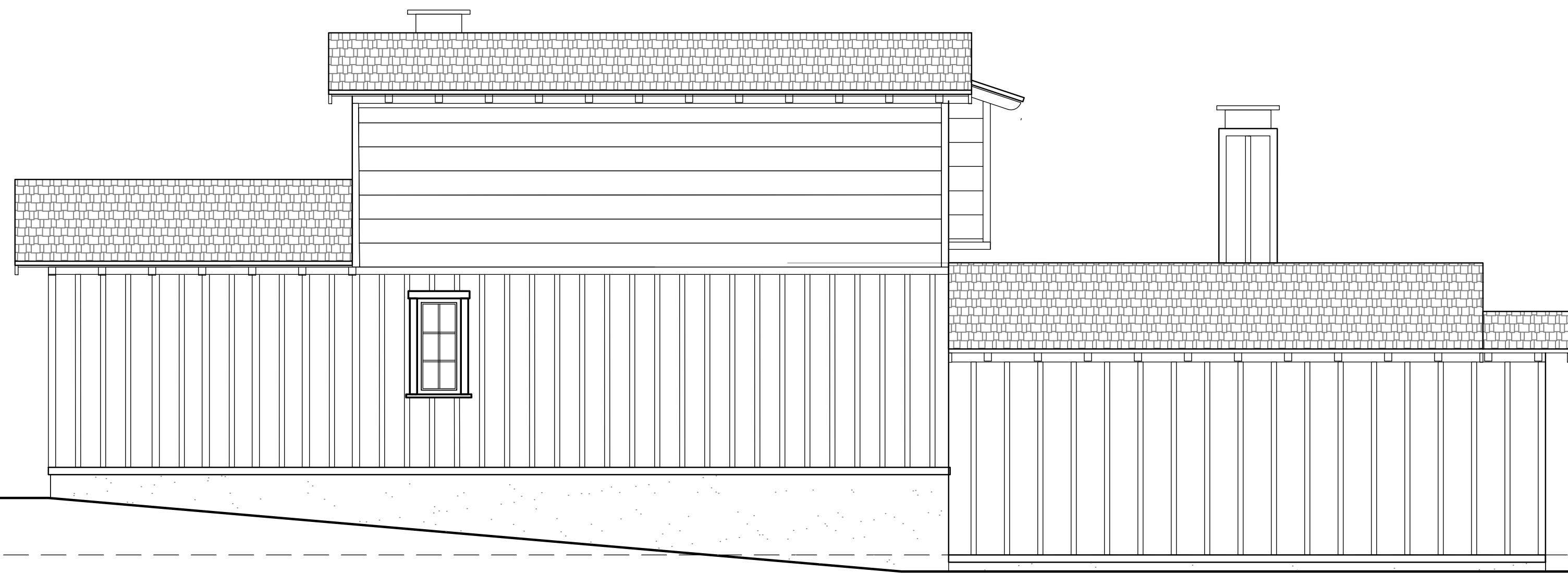
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EXISTING ROOF PLAN

Scale: 1/4"=1'-0"

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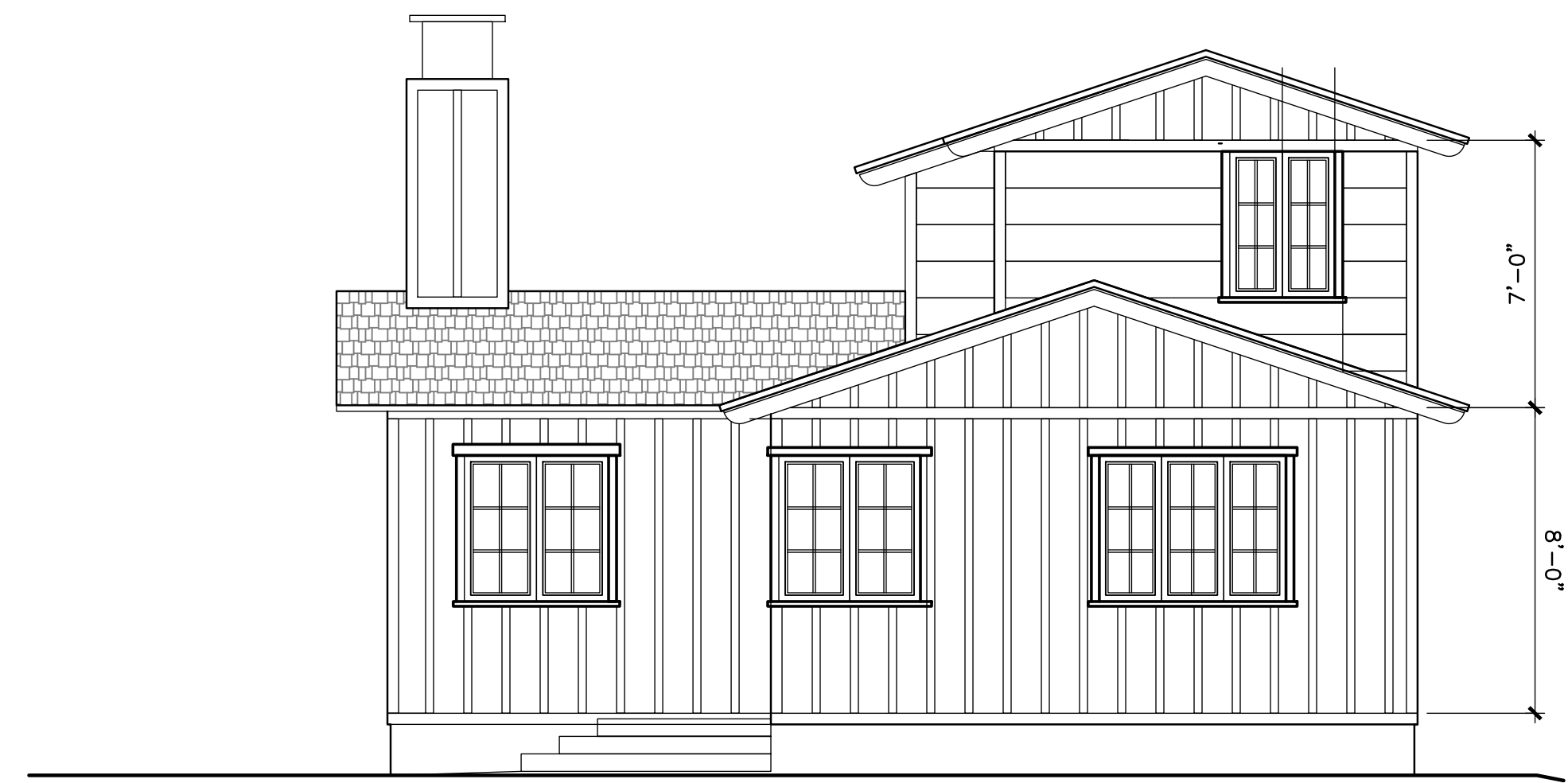
DATE	REVISION



EXISTING NORTH EXTERIOR ELEVATION

Scale: 1/4"=1'-0"

N



EXISTING EAST EXTERIOR ELEVATION

Scale: 1/4"=1'-0"

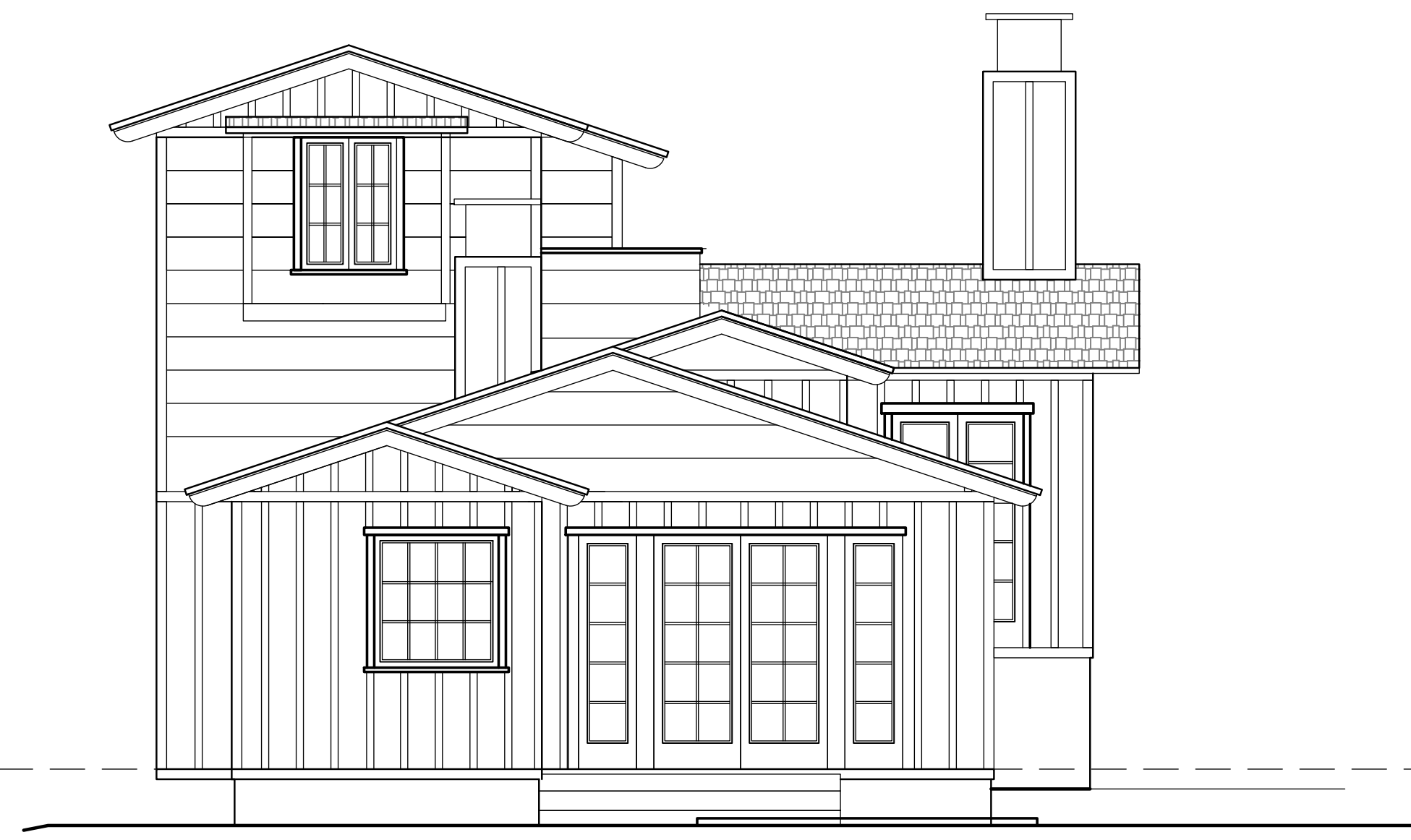
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EXISTING SOUTH EXTERIOR ELEVATION

Scale: 1/4"=1'-0"

S



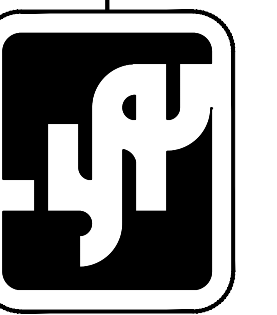
EXISTING WEST EXTERIOR ELEVATION

Scale: 1/4"=1'-0"

W



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Ward Residence
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2021-07

Drawn By:

Date
01-02-2014

Revisions
5-3-2022

Sheet Number

EX-2.1

of: Sheets

EXTERIOR ELEVATIONS