NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 22029

Owner Name: HOMRIG JEFFREY G & STACI TURNER

Case Planner: Suray Nathan, Assistant Planner

Date Posted: _____

Date Approved: 05/20/2022

Project Location: San Carlos 7 SW of 13th

APN #: 010165037000 **BLOCK/LOT:** 143/ALL LOTS 15 AND 17

Applicant: Anna Bornstein

Project Description: A revision that includes the addition of a skylight at the front elevation, a 7-foot arbor, and no change to the fence on the south elevation to a previously approved Design Study (DS 22-029, Homrig) on May 3, 2022 that includes an external remodeling that includes replacing windows and doors, grapestakes fence, re-roofing, replacing stucco, moving the chimney, and the demolition of a Juliette balcony located on San Carlos 7 SW of 13th Avenue in the Single-Family Residential (R-1) District.

Can this project be appealed to the Coastal Commission? *Yes* ☐ *No* ☑

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

Permit #: DS 22-029 (Homrig)
Date Approved: 05/20/2022
Planner: Suray Nathan.

CONTACT INFO

OWNER	APPLICANT
JEFF & STACI HOMRIG 12 COLTON COURT REDWOOD CITY, CA 94062 (650) 722-7061	LEWIS BUILDERS 3706 The Barnyard G11 Carmel, CA (831) 250 7168
ENGINEERING	
CHRISTIAN K LEE #C62330 STRUCTURAL - E, INC 230 6TH STREET PACIFIC GROVE, CA 93950 831.424.9000 StructuralPlans@gmail.com	

SITE DETAILS

LAND USE:	SINGLE FAMILY RESIDENTIAL
ZONING:	R-1
SITE AREA:	8,000 SF
YEAR BUILT:	1933
OCCUPANCY TYPE:	R-1
CONSTRUCTION TYPE:	V-B
SPRINKLED:	YES
LIVING AREA:	
HOUSE:	3,172 SF
GARAGE:	336 SF
TOTAL:	3,508 SF
JURISDICTION:	CARMEL-BY-THE-SEA
WATER:	CALAM
SEWER:	SEWER
ELECTRICITY/GAS:	PGE
HISTORIC BLDG:	NO
ARCHEOLOGY:	NO
FLOODPLAIN:	NO
WUI:	NO

PROJECT DESCRIPTION

PLANNING
REPLACE ALL WINDOWS & DOORS, UPDATE COLOR OF WINDOWS, DOORS, TRIM.
CHANGE MAIN ROOF TO CHARCOAL STONE COATED STEEL SHAKES & BAYS TO CURVED METAL IN MATTE BLACK.
DEMO CHIMNEY, FOUR ORIEL BAY WINDOWS, JULIETTE BALCONY
REPLACE WHITE STUCCO EXTERIOR OF HOUSE & GARAGE, EXCEPT SOUTH WALL OF GARAGE (REPAINT ONLY) 3
CHANGE STYLE TO SPANISH MODERN.
UPDATE TO 4.5 BATHROOMS.
6 SF REDUCTION IN FLOOR AREA AT FRONT ENTRY. 35 SF REDUCTION W/ BAY REMOVALS.
MINOR REDUCTION IN SITE COVERAGE DUE TO ORIEL BAY & BALCONY REMOVAL. ADD NEW STEPS AT RECONFIGURED DOORS.
REPLACE 70 LF FENCING IN NORTH YARD WITH 6' SOLID WOOD FENCE.
REPLACE 115 LF FRONT YARD FENCING WITH 3' TALL GRAPESTAKE FENCE. REPLACE EXISTING FRONT GATES AND 7' TALL WOOD ARBOR. 4 2
REMOVE THREE STREET FACING (EAST) SKYLIGHTS. RETAIN ONE STREET FACING SKYLIGHT AT NORTHEAST CORNER OF PRIMARY BATHROOM, UPDATE SKYLIGHT TO LOW PROFILE AND ENERGY EFFICIENT WITH BLACKOUT BLIND.

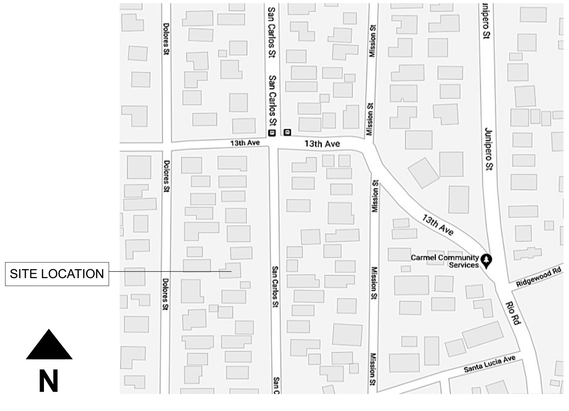
BUILDING
COMPLETE INTERIOR AND EXTERIOR REMODEL OF EXISTING RESIDENCE.
NO CHANGE TO FOUNDATION FOOTPRINT. MINOR RECONFIGURATION/ REDUCTION OF FLOOR AREA AT ENTRY AND REMOVAL OF 2ND FLOOR BAY WINDOWS.
REPLACE ALL ELECTRICAL, PLUMBING, MECHANICAL.
SPRINKLERS ARE REQUIRED.
BURY PG&E LINES TO HOUSE. MAIN PANEL TO BE RELOCATED TO GARAGE.
NO CHANGE TO EXISTING LANDSCAPING OR IRRIGATION.

PAGE INDEX

HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.
DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES :
SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

VICINITY MAP



NOTES

WATER FIXTURE EFFICIENCY UPGRADES.

SPRINKLERS ARE REQUIRED.

ZONING CONFORMANCE

GARAGE	(E) 336 SF	(P) 336 SF
BASEMENT	(E) 282 SF	(P) 282 SF
1ST FLOOR	(E) 1,666 SF	(P) 1,660 SF
2ND FLOOR	(E) 1,263 SF	(P) 1,260 SF
TOTAL	(E) 3,547 SF	(P) 3,538 SF
FLOOR AREA RATIO	(E) 44.34%	(P) 44.22%

SETBACKS FOR 100' X 80' INTERIOR LOT
FRONT 15'
SIDES: 8' SOUTH, 12' NORTH 3
REAR: 3' STRUCTURES UNDER 15' HEIGHT
REAR: 15' STRUCTURES EXCEEDING 15' HEIGHT

BUILDING CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING:
CALIFORNIA BUILDING CODE 2019
CALIFORNIA RESIDENTIAL CODE 2019
CALIFORNIA MECHANICAL CODE 2019
CALIFORNIA PLUMBING CODE 2019
CALIFORNIA ELECTRICAL CODE 2019
CALIFORNIA FIRE CODE 2019
CALIFORNIA ENERGY CODE 2019
CALIFORNIA GREEN BUILDING STANDARDS CODE 2019
CARMEL-BY-THE-SEA MUNICIPAL CODES 2021

DEFERRED SUBMITTAL

FIRE SUPPRESSION

SPECIAL INSPECTIONS

SITE COVERAGE TABLE

2

LOT SIZE	8000			
PERMEABLE COVERAGE (NOT IN ROW)	**EXISTING**	**DEMO**	**NEW**	**PROPOSED**
Existing wood deck south yard	1720	0	0	1720
TOTAL PERMEABLE COVERAGE	**1720**	**0**	**0**	**1720**
TOTAL PERMEABLE PERCENTAGE	**21.5%**			**21.5%**
IMPERMEABLE COVERAGE (NOT IN ROW)	**EXISTING**	**DEMO**	**NEW**	**PROPOSED**
Existing paver driveway	352	0	0	352
Existing concrete walkways front yard	519	0	0	519
Existing concrete walkways rear & north yard	288	0	0	288
Existing stucco garden wall front/south yard	9	0	0	9
Existing flagstone patio front yard	184	0	0	184
Existing concrete patios & steps south yard	43	0	0	43
Existing crawl space access north yard	11	0	0	11
Existing Juliet balcony 2nd floor	12	12	0	0
Existing wood deck 2nd floor	152	0	0	152
Existing concrete front steps and porch	24	0	0	24
Existing bay pbath east not overlapping	4	4	0	0
Existing bay bedroom east not overlapping	7	7	0	0
Existing oriel bay pbath north not overlapping	2	2	0	0
Existing oriel bay office north	8	8	0	0
New concrete walkway infill @ front door steps	0	0	9	9
New concrete north yard step @ mud room door under demo Juliet balcony	0	0	3	3
TOTAL IMPERMEABLE COVERAGE	**1615**	**33**	**12**	**1594**
TOTAL IMPERMEABLE PERCENTAGE	**20.2%**			**19.9%**
TOTAL GROSS COVERAGE	**3335**			**3314**
TOTAL GROSS PERCENTAGE	**41.7%**			**41.4%**

CHANGE ORDER SCOPE

A-0
VERSION: 2.1.9
DATE: 5/18/22

COVER: PROJECT DATA

REV #	DATE / DESCRIPTION	BY
1	SCOPE EDIT: REQ BY PLANNING	ER
2	04/20/22: PLANNING RFI #1	ER
3	05/10/22: CHANGE ORDER #1	ER
4	05/17/22: PLANNING RFI #2	ER

HOMRIG RESIDENCE REMODEL
SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
CALICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

Signature of declarant

GRANT OF EASEMENT

FOR VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Grantor Mervin R. Sutton and Daphne Lewis, Co-Trustees of the Sutton Family Living Trust Dated February 13, 1973 ("Grantor"), at San Carlos 7th S.W. of 13th, Carmel-By-The-Sea, California (the "Grantor Parcel") hereby grants Grantees Frederick J. Benn III and Kathy L. Benn, Co-Trustees of the Benn 2006 Family Trusts UDT dated November 2, 2006 (collectively, "Grantee"), at San Carlos 8th S.W. of 13th, Carmel-By-The-Sea, California (the "Grantee Parcel"), a perpetual and non-exclusive easement for landscaping, on and along the Grantor Parcel, for the benefit of the Grantee Parcel, as described in Exhibit "A" and Exhibit "B" attached hereto. The landscaping shall be reasonably maintained at all times. All landscaping mut be kept below eight feet in height.

Grantee agrees to indemnify and defend Grantor, to the full extent allowed by law, for any damages, claims or injuries arising out of or relating to Grantee's use, and/or Grantee's contractor's, agents', officers', members', employees', invitees', or licensees' use of the Grantor Parcel as allowed by this easement.

Grantor reserves to itself all other uses in the Easement Area.

Binding Effect. The easement granted herein is binding upon and inures to the benefit of the parties, their heirs, successors, assigns and representatives. The easement shall be permanent and perpetual.

Entire Agreement; Amendment. This Agreement contains the entire agreement between the Parties regarding the subject easement and may be signed in counterparts. This Agreement may not be amended, modified or supplemented except by a written agreement executed by all Parties.

Attorneys' Fees. In the event any Party hereto institutes an action or proceeding to enforce any rights arising under this Agreement, the Party prevailing in such action or proceeding shall be paid all reasonable attorneys' fees and costs. These costs include, without limitation, expert witness fees, investigation costs, costs of tests and analysis, travel and accommodation expenses, deposition and trial transcript costs and court costs. A court, and not a jury, will set all such fees and costs, all of which will be included in the judgment entered in such proceeding.

EXHIBIT A

LEGAL DESCRIPTION for a Landscape Easement being a portion of LOT 17 in Block 143 as shown on VOLUME 1 of CITIES & TOWNS at PAGE 44½

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CARMEL-BY-THE-SEA, COUNTY OF MONTEREY, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

Beginning at a point distant West, 17.40 feet from the easterly corner in common to Lot 17 and Lot 19 in Block 143 as shown on the map of Addition Number 2, Carmel-By-The-Sea, in the City of Carmel, County of Monterey County, State of California, according to map filed April 5, 1906 in Volume 1, Page 44 ½, of Maps of Cities and Towns, in the office of the County Recorder of said County; thence westerly along the line in common to said Lot 17 and said Lot 19 in said Block and Map

1) West, 50.60 feet; thence leaving said line in common
2) North, 4.65 feet; thence
3) East, 27.00 feet to an existing structure; thence southerly along said existing structure
4) South, 1.00 feet to the corner of said existing structure; thence easterly along said existing structure
5) East, 23.60 feet to the corner of said existing structure; thence
6) South 3.65 feet to the **point of beginning.**

Containing 211 square feet, more or less

See attached Exhibit B

PROFESSIONAL LAND SURVEYOR
FRANK LUCIDO JR.
Exp. 12-31-21
No. 8368
STATE OF CALIFORNIA

Frank Lucido Jr., PLS 8368
December 23, 2020
Project #2632

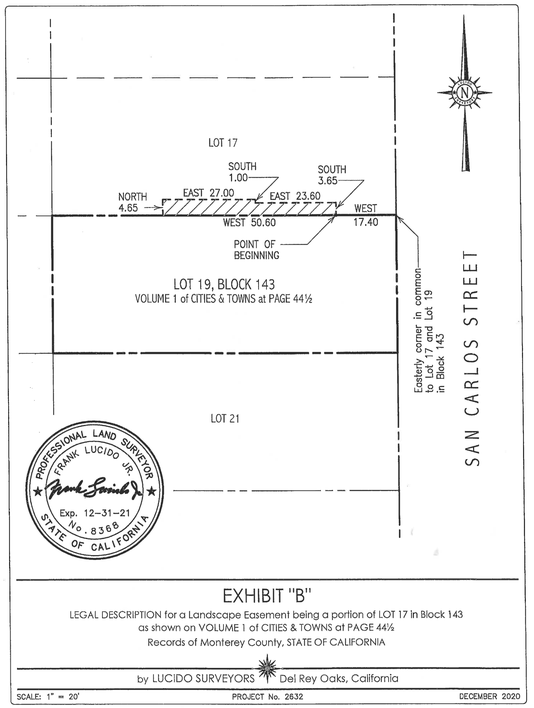


EXHIBIT "B"

LEGAL DESCRIPTION for a Landscape Easement being a portion of LOT 17 in Block 143 as shown on VOLUME 1 of CITIES & TOWNS at PAGE 44½ Records of Monterey County, STATE OF CALIFORNIA

by LUCIDO SURVEYORS Del Rey Oaks, California

SCALE: 1" = 20' PROJECT No. 2632 DECEMBER 2020

SPECIAL INSTRUCTIONS IN LANDSCAPE EASEMENT

(E) NEIGHBOR PLANTS IN VICINITY OF GARAGE WORK TO BE PROTECTED.

VINES CLIMBING SOUTH WALL OF GARAGE TO BE CAREFULLY DETACHED, LAID ON GROUND, AND PROTECTED DURING PAINTING.

CLIMBING PLANTS TO BE RE-STORED TO SIDE OF GARAGE AFTER PAINTING.

SOUTH WALL OF GARAGE TO BE REPAINTED ONLY, NO STUCCO REPLACEMENT UNLESS DAMAGED.

A-1.1

VERSION: 2.1.9
DATE: 5/18/22

EASEMENT INFORMATION

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
	04/20/22: PLANNING RFI #1	ER
3	05/10/22: CHANGE ORDER #1	ER
	05/17/22: PLANNING RFI #2	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
CA LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWIS BUILDERS DESIGN/BUILD

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY METHODS

EFFECTIVE JAN.1,2020

CHAPTER 3
GREEN BUILDING CODE
SECTION 301 GENERAL

301.1 SCOPE.BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE APPLICATIONS CHECKLISTS CONTAINED IN THIS CODE.VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE,BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY,COUNTY,OR CITY OR COUNTY AS SPECIFIED IN SECTION 101.7.

301.1.1 ADDITIONS AND ALTERATIONS.THE MANDATORY PROVISIONS OF CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONDITIONED AREA,VOLUME,OR SIZE.THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

NOTE- ON AND AFTER JANUARY 1,2014,RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS,ADDITIONS,OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.SEE CIVIL CODE SECTION 1101.1.ET SEQ.,FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE,TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

301.2 LOW RISE AND HIGH RISE RESIDENTIAL BUILDINGS.THE PROVISIONS OF INDIVIDUAL SECTIONS OF CALGREEN MAY APPLY EITHER TO LOW RISE RESIDENTIAL BUILDS,HIGH RISE RESIDENTIAL BUILDINGS,OR BOTH.

302.1 MIXTED OCCUPANCY BUILDINGS.IN MIXED OCCUPANCY BUILDINGS,EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN

SECTION 4.102 DEFINITIONS
THE FOLLOWING ITEM ARE DEFINED IN CHAPTER 2 AND INCLUDED HERE FOR REFERENCE.

FRENCH DRAIN.A TRENCH,HOLE OR OTHER DEPRESSED ARE LOOSELY FILLED WITH ROCK,GRAVEL,FRAGMENTS OF BRICK OR SIMILAR PERVIOUS MATERIAL USED TO COLLECT OR CHANNEL DRAINAGE OR RUNOFF WATER.

WATTLES.WATTLES ARE USED TO REDUCE SEDIMENT IN RUNOFFWATTLES ARE OFTEN CONSTRUCTED OF NATURAL PLANT MATERIALS SUCH AS HAY,STRAW OR SIMILAR MATERIAL SHAPED IN THE FORM OF TUBES AND PLACED ON A DOWNFLOW SLOPE.WATTLES ARE ALSO USED FOR PERIMETER AND INLET CONTROLS.

4.106 SITE DEVELOPMENT

4.106 GENERAL.PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES,MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH THIS SECTION.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.PROJECTS WHICH DISTURB LESS THEN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE,SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION,ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY,PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.

1.RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE.
2.WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM,COLLECTION POINT,GUTTER OR SIMILAR DISPOSAL METHOD,WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM,WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
3.COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.

4.106.3 GRADING AND PAVING.CONSTRUCTION PLANS SHALL INCLUDE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE,BUT ARE NOT LIMITED TO,THE FOLLOWING:

1.SWALES
2.WATER COLLECTION AND DISPOSAL SYSTEMS
3.FRENCH DRAINS
4.WATER RETENTION GARDENS
5.OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

4.106.4 ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION.NEW CONSTRUCTION SHALL COMPLY WITH SECTIONS 4.106.4.1,4.106.4.2,4.106.4.3 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS.ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

4.106.4.1 NEW ONE- AND TWO- FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES. FOR EACH DWELLING UNIT,INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT.THE RACEWAY SHALL NOT BE LESS THEN TRADE SIZE 1 (NOMINAL 1-INCH DIAMETER).THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET,BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV CHARGER.RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES.THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

4.106.4.1.1 IDENTIFICATION.THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE" .THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKET AS "EV CAPABLE" .

CHAPTER 4.2 ENERGY EFFICIENCY
4.201 GENERAL
4.201.1 SCOPE FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE,THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION
4.303 INDOOR WATER USE
4.303.1 AFTER CONSERVATION PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

4.303.1.1 WATER CLOSETS.THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S.EPA WATER SENSE SPECIFICATIONS FOR TANK-TYPE TOILETS.

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE,AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

4.303.1.2 URINALS.THE EFFECTIVE FLUSH VOLUME OF WALL MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH.THE EFFECTIVE FLUSH VOLUME OF ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

4.303.1.3 SHOWERHEADS.

4.303.1.3.1 SINGLE SHOWERHEAD.SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI.SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S.EPA WATERSENSE SPECIFICATIONS FOR SHOWERHEADS.

4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER.WHEN A SHOWER IS SERVED BY MORE THEN ONE SHOWERHEAD,THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI,OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

4.303.1.4 FAUCETS.

4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS.THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT TO EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI.THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC RUSE AREAS.THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.

4.303.1.4.3 METERING FAUCETS.METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE.

4.303.1.4.4 KITCHEN FAUCETS.THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE,BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI,AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE,AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE,AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

MAXIMUM FIXTURE FLOW RATES

SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX 1.2 GPM @ 60 PSI MIN 0.8 GPM @ 60 PSI
LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCET	0.2 GAL / CYCLE
WATER CLOSET	1.28 GAL / FLUSH
URINALS	0.125 GAL / FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREA. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO),WHICHEVER IS MORE STRINGENT.

NOTE: THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IS LOCATED IN THE CALIFORNIA CODE OF REGULATIONS,TITLE 23,CHAPTER 2.7,DIVISION 2.

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING.ANNULAR SPACES AROUND PIPES,ELECTRICAL CABLES,CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR,CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

4.408 CONSTRUCTION WASTE REDUCTION,DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT.RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2,4.408.3 OR 4.408.4 OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.

EXCEPTIONS:
1. EXCAVATED SOIL AND LAND CLEARING DEBRIS.
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM OR DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.

408.2 CONSTRUCTION WASTE MANAGEMENT PLAN.SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

1.IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2.SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE STREAM).
3.IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN.
4.IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5.SPECIFY THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME,BUT NOT BY BOTH.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE.PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS,WHICH DUE NOT EXCEED 3.4 LBS/SQ.FT.OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENTS IN SECTION 4.408.1.

4.408.5 DOCUMENTATION.DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 4.408.2,ITEMS 1 THROUGH 5,SECTRIONS 4.408 .3,SECTION 4.408.4.

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL.AT THE TIME OF FINAL INSPECTION,A MANUAL,COMPACT DISC,WEB BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1.DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2.OPERATIONS AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:

A. EQUIPMENT AND APPLIANCES,INCLUDING WATER SAVING DEVICES AND SYSTEMS,HVAC SYSTEMS,PHOTOVOLTAIC SYSTEMS,ELECTRIC VEHICLE CHARGERS,WATER HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
B. ROOF AND YARD DRAINAGE,INCLUDING GUTTERS AND DOWNSPOUTS.
C. SPACE CONDITIONING SYSTEMS.
D. LANDSCAPE IRRIGATION SYSTEMS.
E. WATER REUSE SYSTEMS.

3.INFORMATION FROM LOCAL UTILITY,WATER AND WASTE RECOVERY PROVIDERS OR METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION,INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4.PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5.EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6.INFORMATION ABOUT WATER CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7.INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8.INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES,INCLUDING,BUT NOT LIMITED TO,CAULKING,PAINTING, GRADING AROUND THE BUILDING,ETC.
9.INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10.A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OF THIS (CALIFORNIA GREEN BUILDING STANDARDS) CODE.

DIVISION 4.5 ENVIRONMENTAL QUALITY
SECTION 4.501.1 GENERAL
4.505.1.SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUALITY OF AIR CONTAMINANTS THAT ARE ODOROUS,IRRITATING AND/OR HARMFUL TO THE COMFORT AND WELL BEING OF THE BUILDINGS INSTALLERS, OCCUPANTS AND NEIGHBORS.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 AND INCLUDED HERE FOR REFERENCE:

AGRIFIBER PRODUCTS.
COMPOSITE WOOD PRODUCTS.
DIRECT VENT APPLIANCE.
MAXIMUM INCREMENTAL REACTIVITY (MIR).
MOISTURE CONTENT.
PRODUCT- WEIGHTED MIR (PWMIR).
REACTIVE ORGANIC COMPOUND (ROC).
VOC.

4.503 FIREPLACES
4.503.1. GENERAL.ANY INSTALLED GAS FIREPLACE SHALL DIRECT VENT SEALED COMBUSTION TYPE.ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH THE U.S.EPA NEW SOURCE PERFORMANCE STANDARD (NSPS) EMISSION LIMITS AS APPLICABLE,AND SHALL HAVE A PERMANENT LABEL INDICATION THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS.WOODSTOVES,PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

4.504 POLLUTION CONTROL
4.504.1 COVERING OR DUCT OPENINGS & PROTECTION OR MECHANICAL EQUIPMENT DURING CONSTRUCTION.AT THE TIME OF ROUGH INSTALLATION,DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING,COOLING AND VENTILATION EQUIPMENT,ALL DUST AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE,PLASTIC,SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER,DUST OR DEBRIS WHICH MAY ENTER THE SYSTEM.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL.FINISH MATERIALS SHALL COMPLY WITH THIS SECTION.

4.504.2.4 VERIFICATION.VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.DOCUMENTATION MAY INCLUDE,BUT IS NOT LIMITED TO,THE FOLLOWING:
1.MANUFACTURER'S PRODUCT SPECIFICATION.
2.FIELD VERIFICATION OF ON SITE PRODUCT CONTAINERS.

TABLE 4.504.2 SEALANT VOC LIMIT

SEALANT	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.1 ADHESIVE VOC LIMIT

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVE	50
CARPET PAD ADHESIVE	50
OUTDOOR CARPET ADHESIVE	150
WOOD FLOORING ADHESIVE	100
RUBBER FLOOR ADHESIVE	60
SUBFLOOR ADHESIVE	50
CERAMIC TILE ADHESIVE	65
VCT AND ASPHALT TILE ADHESIVE	50
DRYWALL AND PANEL ADHESIVE	50
COVE BASE ADHESIVE	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVE	100
SINGLE PLY ROOF MEMBRANE ADHESIVE	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP AND TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NON-FLAT HIGH GLOSS COATINGS	150
SPECIALITY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALITY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISH COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS,SEALERS AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALITY PRIMERS,SEALERS AND UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB AND TILE REFINISH COATINGS	420
WATERPROOF MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC RICH PRIMERS	340

A-N.1

VERSION: 2.1.9
DATE: 5/18/22

CAL GREEN NOTES

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
	04/20/22: PLANNING RFI #1	ER
	05/10/22: CHANGE ORDER #1	ER
	05/17/22: PLANNING RFI #2	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7S|W OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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CARMEL CA 93923
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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY METHODS

EFFECTIVE JAN.1,2020

TABLE 4.504.5 FORMALDEHYDE LIMITS	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	**CURRENT LIMIT**
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13

DIVISION 4.5 ENVIRONMENTAL QUALITY (CONTINUED)

4.505.3 CARPET SYSTEMS.ALL CARPET INSTALLED IN THE BUILDING SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF AT LEAST ONE OF THE FOLLOWING:
1.CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
2.CALIFORNIA DEPARTMENT OF PUBLIC HEALTH,"STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, " VERSION 1.1,FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350.)
3.NSF/ANSI 140 AT THE GOLD LEVEL.
4.SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE (TM) GOLD.

4.504.3.1 CARPET CUSHION.ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

4.504.3.2 CARPET ADHESIVE.ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

4.504.4 RE4SILIANT FLOORING SYSTEMS.WHERE RESILIENT FLOORING IS INSTALLED,AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
1.PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH,"STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, " VERSION 1.1,FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350),CERTIFIED AS A CHPS LOW EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
2.PRODUCTS CERTIFIED UNDER UL GREENGAURD GOLD (FORMERLY THE GREENGAURD CHILDREN & SCHOOLS PROGRAM).
3.CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
4.MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH,"STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, " VERSION 1.1, FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350.)

4.504.5 COMPOSITE WOOD PRODUCTS.HARDWOOD PLYWOOD,PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ABB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ES SEQ.),BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS,AS SHOWN IN TABLE 4.504.5.

4.504.1 DOCUMENTATION.VERIFICATION OF COMPLOANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY.DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
1.PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
2.CHAIN OF CUTODY CERTIFICATIONS.
3.PRODUCT LABELED ANBD INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR,TITLE 17, SECTION 93120,ET SEQ.).
4.EXTERIOR GRADE PRODUCTS MARKET AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION,THE AUSTRALIA AS/NXA 2269,EUROPEAN 6363S,AND CANADIAN CSA 0121,CSA 0151,CSA 0153 AND CSA 0325 STANDARDS.
5.OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 GENERAL.BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE.

4.505.2 CONCRETE SLAB FOUNDATIONS.CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA BUILDING CODE,CHAPTER 19 OR CONCRETE SLAB ON GRADE FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE,CHAPTER 5,SHALL ALSO COMPLY WITH THIS SECTION.

4.505.2.1 CAPILLARY BREAK.A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
1.A 4" THICK (101.6 MM) BASE OF 1/2 INCH (12.7 MM) OR LARGER CLEAN AGGRIGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH THE CONCRETE AND A CONCRETE MIX DESIGN,WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING,SHALL BE USED.FOR ADDITIONAL INFORMATION,SEE AMERICAN CONCRETE INSTITUTE,ACI 302.2R-06.
2.OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3.A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.BUILDING MATERIALS WITH VISIBLY SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED.WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT.MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
1.MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2.MOISTURE READING SHALL BE TAKEN AT A POINT 2 FEET (610MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3.AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLE WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.WET APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURES' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 BATHROOM EXHAUST FANS.EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND COMPLY WITH THE FOLLOWING:
1.FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2.UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM,FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
A.HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF <50 PERCENT TO A MAXIMUM OF 80 PERCENT.A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
B.A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E.BUILD IN).

NOTE:
1. FOR THE PURPOSES OF THIS SECTION,A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB,SHOWER OR TUB/ SHOWER COMBINATION.
2. LIGHTING INTEGRAL TO A BATHROOM EXHAUST FAN SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

4.507 ENVIRONMENTAL CONTROL

4.507.2 HEATING AND AIR CONDITIONING SYSTEM DESIGN.HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
1.THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 (RESIDENTIAL LOAD CALCULATIONS),ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
2.DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2016 (RESIDENTIAL DUCT SYSTEMS),ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
3.SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEM FUNCTIONS ARE ACCEPTABLE.

CHAPTER 7 INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS

702.QUALIFICATIONS

702.1 INSTALLER TRAINING.HVAC INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONAL OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM.UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON LICENSED TO INSTALL HVAC SYSTEMS.EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1.STATE CERTIFIED APPRENTICESHIP PROGRAMS.
2.PUBLIC UTILITY TRAINING PROGRAMS.
3.TRAINING PROGRAMS SPONSORED BY TRADE,LABOR OR STATE WIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS.
4.PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS.
5.OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

702.2 SPECIAL INSPECTIONS WHEN REQUIRED BY THE ENFORCING AGENCY,THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE.SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THIS PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED.IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY,THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WITH EVALUATING THE QUALIFICATIONS OF THE SPECIAL INSPECTOR:
1.CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2.CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION,SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS,AND HOME ENERGY AUDITORS.
3.SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4.OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTE:
1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS).

[BSC-CG] WHEN REQUIRED BY THE ENFORCING AGENCY,THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE THE COMPLIANCE WITH THIS CODE.SPECIAL INSPECTORS SHALL DEMONSTRATE COMPLIANCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED.IN ADDITION,THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION,AS DETERMINED BY THE LOCAL AGENCY,THE AREA OF CERTIFICATION SHALL BE CLOSELY RELATED TO THE PRIMARY JOB FUNCTION,AS DETERMINED BY THE LOCAL AGENCY.

NOTE: SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

703 VERIFICATIONS

703.1 DOCUMENTATION.DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO,CONSTRUCTION DOCUMENTS,PLANS,SPECIFICATIONS,INSPECTION REPORTS,OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE.WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IN NECESSARY TO VERIFY COMPLIANCE,THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.

MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleanings must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ Contaminated Soils
- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks
  - Abandoned wells
  - Buried barrels, debris, or trash.

PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO $10,000 PER DAY!

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture		Value		Count
Washbasin	3	x	1.0	=	3
Two Washbasins in the Master Bathroom*	1	x	1.0	=	1
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	4	x	1.8	=	7.2
Toilet, High Efficiency (HET)		x	1.3	=	
Toilet, Ultra High Efficiency (UHET)		x	0.8	=	
Urinal, Pint (0.125 gallon maximum)		x	0.1	=	
Urinal, Zero Water Consumption		x	0.0	=	
Masterbath (one per Dwelling): Tub & Shower Stall*		x	3.0	=	
Large Bathtub (may have Showerhead above)		x	3.0	=	
Standard Bathtub or Shower Stall (one head)	3	x	2.0	=	6
Shower, each additional (heads, body spray, etc)		x	2.0	=	
Shower system, Rain Bar/ Custom Shower (specs)		x	2.0	=	
Kitchen Sink (with optional Dishwasher)	1	x	2.0	=	2
Kitchen Sink with High Efficiency Dishwasher		x	1.5	=	
Dishwasher, each additional (with optional sink)		x	2.0	=	
Dishwasher, High Efficiency (with opt. sink)		x	1.5	=	
Laundry Sink/Utility Sink (one per Site)	1	x	2.0	=	2
Clothes Washer	1	x	2.0	=	2
Clothes Washer, (HEW) 5.0 water factor or less		x	1.0	=	
Bidet		x	2.0	=	
Bar Sink		x	1.0	=	
Entertainment Sink		x	1.0	=	
Vegetable Sink		x	1.0	=	
Swimming Pool (each 100 sq-ft of pool surface)		x	1.0	=	
Other _____Instant Hot Water_____		x	-0.5	=	
Other _____		x		=	
Other _____		x		=	
Other _____		x		=	

* Use this fixture count if a previous Permit was issued utilizing the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT **TOTAL** = **23.2**

Table No. 2 Proposed Property Fixture Count
(All fixtures after project)

Type of Fixture	Fixture		Value		Count
Washbasin	4	x	1.0	=	4
Two Washbasins in the Master Bathroom*	1	x	1.0	=	1
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	1	x	1.8	=	1.8
Toilet, High Efficiency (HET)	4	x	1.3	=	5.2
Toilet, Ultra High Efficiency (UHET)		x	0.8	=	
Urinal, Pint (0.125 gallon maximum)		x	0.1	=	
Urinal, Zero Water Consumption		x	0.0	=	
Masterbath (one per Dwelling): Tub & Shower Stall*		x	3.0	=	
Large Bathtub (may have Showerhead above)		x	3.0	=	
Standard Bathtub or Shower Stall (one head)	4	x	2.0	=	8
Shower, each additional (heads, body spray, etc)		x	2.0	=	
Shower system, Rain Bar/ Custom Shower (specs)		x	2.0	=	
Kitchen Sink (with optional Dishwasher)		x	2.0	=	
Kitchen Sink with High Efficiency Dishwasher	1	x	1.5	=	1.5
Dishwasher, each additional (with optional sink)		x	2.0	=	
Dishwasher, High Efficiency (with opt. sink)		x	1.5	=	
Laundry Sink/Utility Sink (one per Site)		x	2.0	=	
Clothes Washer		x	2.0	=	
Clothes Washer, (HEW) 5.0 water factor or less	1	x	1.0	=	1
Bidet		x	2.0	=	
Bar Sink	1	x	1.0	=	1
Entertainment Sink		x	1.0	=	
Vegetable Sink		x	1.0	=	
Instant-Access-Hot-Water System (fixture credit)	1	x	-0.5	=	-0.5
Subtotal proposed indoor fixtures					23
New Connection - Refer to District Rule 24-A5 "Exterior Residential Water Demand Calculations"		x		=	
Swimming Pool (each 100 sq-ft of pool surface)		x	1.0	=	

PROPOSED FIXTURE UNIT COUNT **TOTAL** = **23**

A-N.2

VERSION: 2.1.9
DATE: 5/18/22

CAL GREEN, BMP'S, MPWMD

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
1	04/20/22: PLANNING RFI #1	ER
2	05/10/22: CHANGE ORDER #1	ER
	05/17/22: PLANNING RFI #2	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
CA.LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS
DESIGN/BUILD

GENERAL NOTES:

1 THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK.
2 WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.
3 ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
4 WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
5 PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

1 HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES.
2 SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
3 ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.
4 ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

CALIFORNIA GREEN BUILDING NOTES:

1 SEPERATE AND RECYCLE ATLEAST 65% OF ALL CONSTRUCTION WASTE.
2 ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET FORTH IN TABLE 4.504.1, TABLE 4.504.2 AND TABLE 4.504.3.
3 CANTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON REQUEST.
4 AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

CONCRETE NOTES:

1 ALL CONCRETE AND REINFORCEMENT SHALL CONFORM TO THE MORE STRINGENT REQUIREMENTS OF THE LATEST EDITION OF EITHER THE A.C.I., C.R.C., OR C.B.C.
2 ALL CONCRETE SHALL ATTAIN A MINIMUM STRENGTH OF 2500 P.S.I. IN 28 DAYS U.N.O. DESIGN MIXTURE SHALL BE 5-1/2 SACK CEMENT PER CUBIC YARD CONCRETE. COARSE AGGREGATE SHALL BE 3/4" U.N.O. THE USE OF A DESIGN PUMP MIXTURE MAY BE SUBSTITUTED IF THE CEMENT RATIO IS INCREASED TO 6 SACKS U.N.O.
3 ALL CEMENT SHALL BE PORTLAND TYPE I OR TYPE II OF A.S.T.M. (C-150)
4 THERE SHALL BE NO ADMIXTURES USED UNLESS SPECIFIED OR APPROVED BY THE ENGINEER.
5 ALL CONCRETE SHALL BE VIBRATED AND PLACED IN ACCORDANCE WITH A.S.T.M. (C-143) U.N.O.
6 ALL CONCRETE SHALL BE CURED BY KEEPING THE EXPOSED SURFACES CONTINUOUSLY MOIST FOR A 7 DAY PERIOD AND BY USING AN APPROVED CURING COMPOUND AFTER 7 DAY WET CURE.
7 ALL CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
8 SLABS SHALL NOT EXCEED 20' IN ANY DIRECTION WITHOUT A CONTROL JOINT PERPENDICULAR TO THAT DIRECTION U.N.O.
9 THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF: CONCRETE WHICH SHOWS HONEYCOMBING, SPALLING, CRACKING, OR OTHER SIGNS OF INADEQUATE STRENGTH; LACK, MISPLACEMENT, OR UNDER SIZING OF ANCHOR HARDWARE. ANY UNCERTAINTY ABOUT HARDWARE OR REINFORCEMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PLACING OF CONCRETE.
10 THE BUILDING INSPECTOR AND, WHEN SPECIFIED, ENGINEER SHALL INSPECT REINFORCEMENT AND HARDWARE BEFORE CONCRETE IS PLACED.
11 ALL FALSEWORK AND FORMING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. FALSEWORK MUST STAY IN PLACE UNTIL CONCRETE REACHES A STRENGTH OF 2000 P.S.I.
12 CONCRETE CYLINDER SAMPLES SHOULD BE TAKEN THROUGHOUT EACH STAGE OF THE FOUNDATION PLACEMENT AND TESTED FOR COMPRESSIVE STRENGTH WHERE MINIMUM REQUIRED STRENGTH IS GREATER THAN 2500 P.S.I
13 ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
14 HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
15 ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER

STRUCTURAL HARDWARE:

1 ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
2 HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
3 ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER.

CARPENTRY:

1 SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR ICF SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL CONFORM TO CBC 2304.10.1.
2 PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
3 GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:
4 PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER may VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

SECTION R311 MEANS OF EGRESS

R311.1 MEANS OF EGRESS DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
R311.2 EGRESS DOOR NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.
R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.
R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.
R311.3.3 STORM AND SCREEN DOORS STORM AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER EXTERIOR STAIRS AND LANDINGS.
R311.4 VERTICAL EGRESS EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTICS AND BASEMENTS THAT ARE NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R311.2 SHALL BE BY ONE OR MORE RAMPS IN ACCORDANCE WITH SECTION R311.8 OR ONE OR MORE STAIRWAYS IN ACCORDANCE WITH SECTION R311.7 OR BOTH. FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (15 240 MM).
R311.5 LANDING, DECK, BALCONY AND STAIR CONSTRUCTION AND ATTACHMENT EXTERIOR LANDINGS, DECKS, BALCONIES, STAIRS AND SIMILAR FACILITIES SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES OR SHALL BE DESIGNED TO BE SELF-SUPPORTING. ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL.
R311.6 HALLWAYS THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 3 FEET (914 MM).
R311.7 STAIRWAYS R311.7.1 WIDTH STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 311/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES. EXCEPTION: THE WIDTH OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.
R311.7.2 HEADROOM THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. EXCEPTIONS:
1 WHERE THE NOSINGS OF TREADS AT THE SIDE OF A FLIGHT EXTEND UNDER THE EDGE OF A FLOOR OPENING THROUGH WHICH THE STAIR PASSES, THE FLOOR OPENING SHALL NOT PROJECT HORIZONTALLY INTO THE REQUIRED HEADROOM MORE THAN 43/4 INCHES (121 MM).
2 THE HEADROOM FOR SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.
R311.7.3 VERTICAL RISE A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 151 INCHES (3835 MM) BETWEEN FLOOR LEVELS OR LANDINGS.
R311.7.4 WALKLINE THE WALKLINE ACROSS WINDER TREADS AND LANDINGS SHALL BE CONCENTRIC TO THE TURN AND PARALLEL TO THE DIRECTION OF TRAVEL ENTERING AND EXITING THE TURN. THE WALKLINE SHALL BE LOCATED 12 INCHES (305 MM) FROM THE INSIDE OF THE TURN. THE 12-INCH (305 MM) DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE. WHERE WINDERS ARE ADJACENT WITHIN A FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED.
R311.7.5 STAIR TREADS AND RISERS STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION. FOR THE PURPOSES OF THIS SECTION, DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RUNNERS.
R311.7.5.1 RISERS THE RISER HEIGHT SHALL BE NOT MORE THAN 73/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW SHALL NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE. EXCEPTIONS:
1 THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON SPIRAL STAIRWAYS.
2 THE RISER HEIGHT OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.
R311.7.5.2 TREADS THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).
R311.7.5.2.1 WINDER TREADS WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES (254 MM) MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES (152 MM) AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH (9.5 MM). CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND SHALL NOT BE REQUIRED TO BE WITHIN 3/8 INCH (9.5 MM) OF THE RECTANGULAR TREAD DEPTH. EXCEPTION: THE TREAD DEPTH AT SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.
R311.7.5.3 NOSINGS NOSINGS AT TREADS, LANDINGS AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER THAN 9/16 INCH (14 MM) OR A BEVEL NOT GREATER THAN 1/2 INCH (12.7 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19 MM) AND NOT MORE THAN 11/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) WITHIN A STAIRWAY.
EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11 INCHES (279 MM). R311.7.5.4 EXTERIOR PLASTIC COMPOSITE STAIR TREADS PLASTIC COMPOSITE EXTERIOR STAIR TREADS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION AND SECTION R507.2.2.
R311.7.6 LANDINGS FOR STAIRWAYS THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. FOR LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR, THE DEPTH AT THE WALK LINE AND THE TOTAL AREA SHALL BE NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM). EXCEPTION: A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED THAT A DOOR DOES NOT SWING OVER THE STAIRS. R311.7.7 STAIRWAY WALKING SURFACE THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN ONE UNIT VERTICAL IN 48 INCHES HORIZONTAL (2-PERCENT SLOPE).
R311.7.8 HANDRAILS HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
R311.7.8.1 HEIGHT HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM). EXCEPTIONS:
1 THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
2 WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITIONS AT WINDER TREADS, THE TRANSITION FROM HANDRAIL TO GUARD, OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED 38 INCHES (965 MM).

R311.7.8.2 HANDRAIL PROJECTION HANDRAILS SHALL NOT PROJECT MORE THAN 41/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY. EXCEPTION: WHERE NOSINGS OF LANDINGS, FLOORS OR PASSING FLIGHTS PROJECT INTO THE STAIRWAY REDUCING THE CLEARANCE AT PASSING HANDRAILS, HANDRAILS SHALL PROJECT NOT MORE THAN 61/2 INCHES (165 MM) INTO THE STAIRWAY, PROVIDED THAT THE STAIR WIDTH AND HANDRAIL CLEARANCE ARE NOT REDUCED TO LESS THAN THAT REQUIRED.
R311.7.8.3 HANDRAIL CLEARANCE HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 11/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.
R311.7.8.4 CONTINUITY HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. EXCEPTIONS:
1 HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT WITH WINDERS, AT A LANDING, OR OVER THE LOWEST TREAD.
2 A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED TO TERMINATE OVER THE LOWEST TREAD.
R311.7.8.5 GRIP SIZE REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.
1 TYPE I. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 11/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4 INCHES (102 MM) AND NOT GREATER THAN 61/4 INCHES (160 MM) AND A CROSS SECTION OF NOT MORE THAN 21/4 INCHES (57 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).
2 TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 61/4 INCHES (160 MM) SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 5/16 INCH (8 MM) WITHIN 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/8 INCH (10 MM) TO A LEVEL THAT IS NOT LESS THAN 13/4 INCHES (45 MM) BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 11/4 INCHES (32 MM) AND NOT MORE THAN 23/4 INCHES (70 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).
R312.1.3 OPENING LIMITATIONS REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER.

SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. EXCEPTIONS:
1 STORM SHELTERS AND BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT EXCEEDING A TOTAL FLOOR AREA OF 200 SQUARE FEET (18.58 M2).
2 WHERE THE DWELLING OR TOWNHOUSE IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION P2904, SLEEPING ROOMS IN BASEMENTS SHALL NOT BE REQUIRED TO HAVE EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THAT THE BASEMENT HAS ONE OF THE FOLLOWING:
1 2.1. ONE MEANS OF EGRESS COMPLYING WITH SECTION R311 AND ONE EMERGENCY ESCAPE AND RESCUE OPENING.
2 2.2. TWO MEANS OF EGRESS COMPLYING WITH SECTION R311.
R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090.
R310.2 EMERGENCY ESCAPE AND RESCUE OPENINGS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.
R310.2.1 MINIMUM OPENING AREA EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM). EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET (0.465 M2). R310.2.2 WINDOW SILL HEIGHT WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

A-N.3

VERSION: 2.1.9
DATE: 5/18/22

GENERAL NOTES

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
	04/20/22: PLANNING RFI #1	ER
	05/10/22: CHANGE ORDER #1	ER

REV #	DATE / DESCRIPTION	BY
	05/17/22: PLANNING RFI #2	ER
		ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
CA.LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS
DESIGN/BUILD

(E) PERMEABLE WOOD DECK IN SOUTH SIDE YARD

DEMO JULIET BALCONY ON NORTH FACADE

(E) IMPERMEABLE FLAGSTONE PATIO IN FRONT YARD

(N) 6' WOOD FENCE NORTH YARD

(E) 3' GRAPESTAKE FENCE SOUTH PROPERTY LINE TO MATCH

ALL REFERENCES TO DEMOLITION OF SITE COVERAGE (PERMEABLE AND IMPERMEABLE) HAVE BEEN REMOVED. ORIGINAL COVERAGE WILL BE RETAINED.

ALL FENCES WILL BE DEMOLISHED AND REPLACED,EXCEPTING NATURAL 3' GRAPESTAKE FENCE ON SOUTH PROPERTY LINE, SOUTHEAST GARAGE CORNER.

SITE PLANS SHOW APPROXIMATE PLACEMENT OF HOUSE, GARAGE, SITE COVERAGE, TREES AND FENCES. PLEASE SEE SEE SURVEY DATED MAY 2022 FOR ACCURATE PLACEMENT.

SEE SURVEY FOR STRUCTURE ALIGNMENT TO PROPERTY LINES, TREE SPECIES AND SIZE(NO CHANGE); EXISTING UTILITY LOCATIONS (NO CHANGE TO GAS OR WATER); GRADE CONTOURS (NO CHANGE); ELEVATION DATA POINTS (NO CHANGE); RETAINING WALL LOCATIONS (NO CHANGE), PERMEABLE AND IMPERMEABLE COVERAGE

EXISTING SITE PLAN

SCALE: 1/8"=1'

(E) NEIGHBOR PLANTS IN VICINITY OF GARAGE WORK TO BE PROTECTED. VINES CLIMBING SOUTH WALL OF GARAGE TO BE CAREFULLY DETACHED, LAID ON GROUND, AND PROTECTED DURING PAINTING. CLIMBING PLANTS TO BE RE-STORED TO SIDE OF GARAGE AFTER PAINTING

ALL TREES ON THE BUILDING SITE AND NEIGHBORING PROPERTY WITHIN 6' OF GARAGE WORK SHALL HAVE PROTECTIVE BARRICADES OF UPRIGHT TWO INCH BY 4 INCH PLANTS STANDING A MINIMUM OF EIGHT FEET VERTICALLY, CONFORMING TO THE TREE, TIED WITH WIRE OR ROPE, FORMING A MIXIMUM OF ONE INCH SPACE BETWEEN THE PLANKS.

ALL COVERAGE ITEMS RETURNED TO EXISTING CONDITIONS EXCEPT WHERE NOTED

NO CHANGES TO TREES, EXCEPTING REMOVAL OF STUMP AT GARAGE CORNER. REMOVAL APPROVED BY CITY FORESTER. SEE SURVEY DATED MAY 2022 FOR SIZE AND SPECIES OF TREES AND LARGE SHRUBS.

PROPOSED SITE PLAN

SCALE: 1/8"=1'

(E) ARBOR AT FRONT (EAST) GATE. REPLACE WITH SAME STYLE, BUT NATURAL WOOD TO MATCH NEW GRAPESTAKE FENCING. MAXIMUM HEIGHT 7'.

thegreatoutdoors

Item #	UPC Code:
72411-51A-L	747290087436
Product Family Name:	Finish:
Wynterfield	Rust Finish
Product Name:	Category Type:
OUTDOOR WALL MOUNT	
Undercoded:	
3195126	
Patents:	
Notes:	

Image File Name: 72411-51A-L.jpg

MEASUREMENTS

Width:	Length:	Height:	Extension:
6.75		15.5	8.25
Weight Adjustable:	Min Overall Height:	Max Overall Height:	Adjustable:
No		15.5	No
Arm Length:	Chain Length:	Safety Cable Included:	Net Weight:
7		No	2.8
Canopy Width:	Canopy Height:	Canopy Length:	Center to Bottom:
		3	7.75
Backplate Width:	Backplate Height:	Center to Top:	
6.0	11.0	7.75	

No. of Bulbs:	Light Type:			
1	LJ-ACT-MODULE			
Max Bulb Wattage:	Bulb Type:			
10	LED MODULE			
Dimmable:	Ballast:	Rated Life (hours):	Photocell Included:	Bulb/LED Included:
No		30000	No	Yes
Bulb/LED Included:	Color Temp.:	CRI:	Max Lumens:	Delivered Lumens:
Yes	2700	80	400.0	163.03

SHIPPING

Carton Width:	Carton Height:	Carton Length:	
8.75	17.75	9.85	
Carton Weight:	Carton Cubic Feet:	Small Package Shippable:	
4.18	0.885	Yes	
Master Pack Width:	Master Pack Height:	Master Pack Length:	
Master Pack Weight:	Master Cubic Feet:	Multi Pack: 1	Master Pack: 1

Description:	Material:	
CLEAR SEEDY GLASS	GLASS	
Item #:	Quantity:	
G72411	1	
Width:	Length:	
Height:		

LED — LED

Wet Location

ETL Intertek

SECTION OF EXTERIOR LIGHT FIXTURE SHOWING LED BULB (H) IS DOWNFACING AND RECESSED IN THE TOP COVER (F)

INSTALLATION INSTRUCTIONS

For Model 72411-51A-L /72412-51A-L /72413-51A-L

READ AND SAVE THESE INSTRUCTIONS

WARNING! SHUT POWER OFF AT FUSE OR CIRCUIT BREAKER.
AVERTISSEMENT! COUPER LE COURANT AU NIVEAU DES FUSIBLES OU DU DISJONCTEUR.

HANGING THE FIXTURE (Fig. 1)
1. Shut off the power at the circuit breaker and remove the old fixture, including the mounting hardware.
2. Carefully unpack your new fixture and lay out all the parts on a clear area. Take care not to lose any small parts necessary for installation.
3. Thread the 2 mounting screws (E) into the mounting plate (C) spaced the same distance apart as the holes in the fixture back plate. (You can adjust the length of the screws if necessary.)
4. Attach the mounting plate (C) to the outlet box (A) (not supplied) with mounting screws (B). (Size: #8-32*0.78"L).

CONNECTING THE WIRES (Fig. 2)
5. Connect the electrical wires as shown in Fig.2.Making sure that all wire connectors are secured. If your outlet box has a ground wire (green or bare copper), connect the fixture's ground wire to it. Otherwise, connect the fixture's ground wire directly to the circular strap using the green screw provided.

COMPLETING THE INSTALLATION (Fig.1)
6. Align the fixture back plate to mounting screws (C) and secure with cap nuts (E).
7. To prevent moisture from entering the outlet box and causing a short, use clear caulking (i.e. Indoor/Outdoor silicone sealant) to outline the outside of fixture back plate where it meets the wall leaving a space at bottom to allow moisture a means to escape. (Fig. 3)
8. Bulb (H) information:(1 x AC LED 10W included.)
DO NOT EXCEED THE MAXIMUM WATTAGE RATING! (NE PAS DEPASSER LA PUISSANCE NOMINALE MAXIMALE!)

Replacing LED module (Fig. 4)
The LED module can be replaced by a qualified electrician without cutting of wire and without damage to any decorative element to which the fixture is attached. See installation steps for more details (Fig.4.)
a. Remove top cover (F) by loosening screws (Q) (Fig.1), then remove aluminum cover (O) by loosening screws (K).
b. Remove the wire nuts (L) hex nuts (N) washers (M) and carefully remove the LED module (Q) for re-lamping. Note: The LED module should be provided by a specified supplier.
c. For better heat dissipation the LED module (Q) should be installed with the heat transfer material (P) when re-lamping

Your installation is now complete. Return power to the junction box and test the fixture

Note: Illustration (Fig. 1) on this manual is for installation purposes only. It may or may not be identical to the fixture purchased.

Fig. 1

Set A # A-620-0
-Mounting plate
-Ground screw
-Mounting screws(2)

Fig. 2

Fig. 3

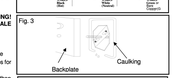
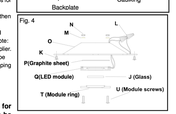


Fig. 4



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A-1.2

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SITE PLANS

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
2	04/20/22: PLANNING RFI #1	ER
3	05/10/22: CHANGE ORDER #1	ER
4	05/17/22: PLANNING RFI #2	ER

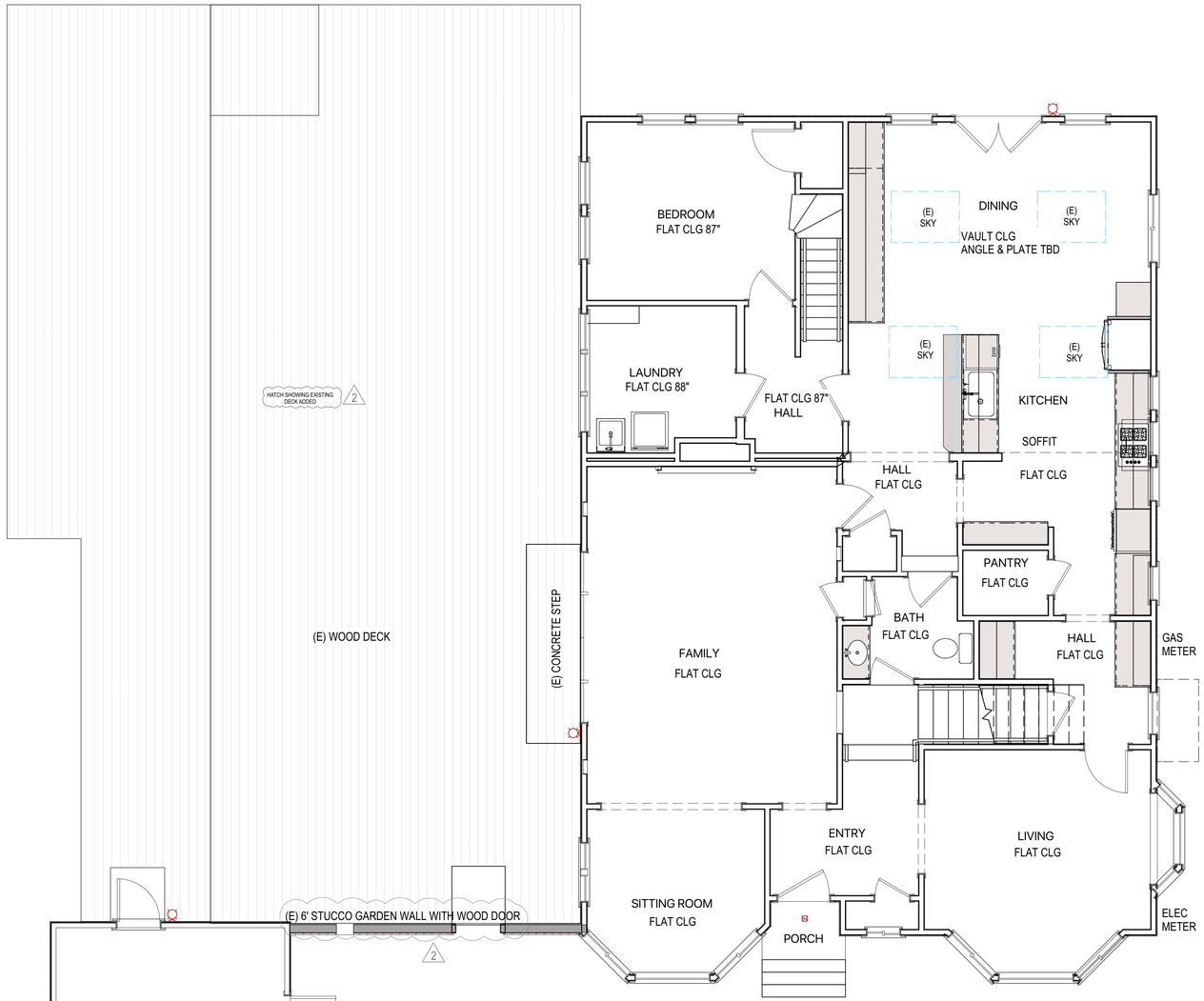
HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

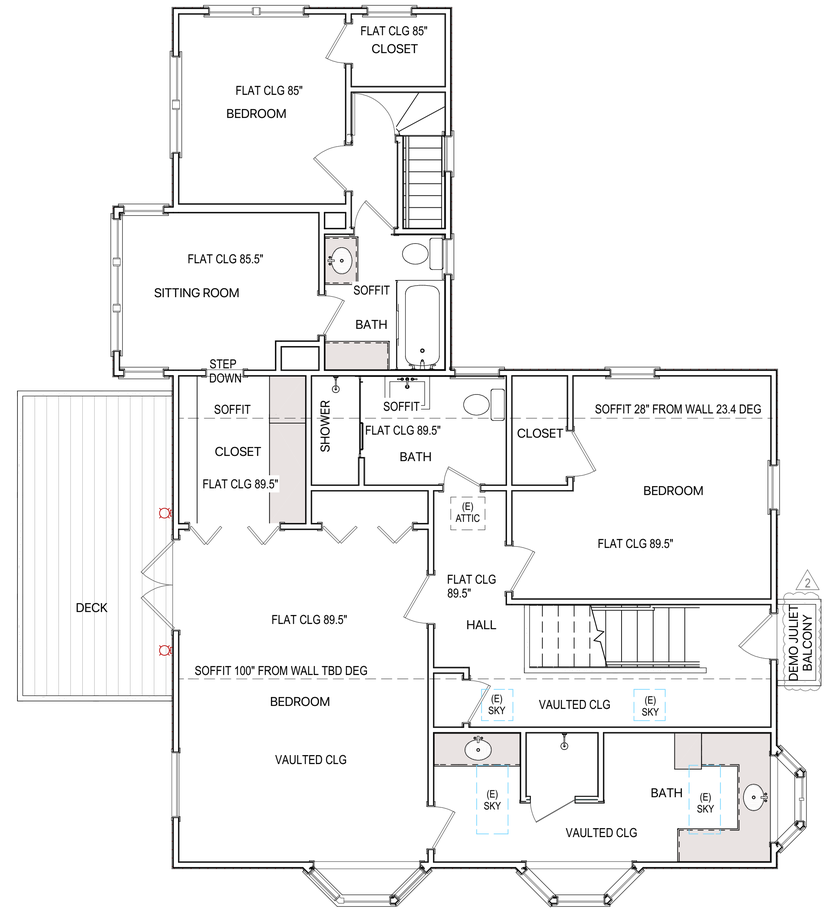
STAMP/SIGNATURE

LEWIS BUILDERS
CA LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS DESIGN BUILD



EXISTING LOWER FLOOR



EXISTING UPPER FLOOR

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM

EXISTING FLOOR PLANS

SCALE: 1/4"=1'

A-2.1

VERSION: 2.1.9

DATE: 5/18/22

EXISTING FLOOR PLANS

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
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HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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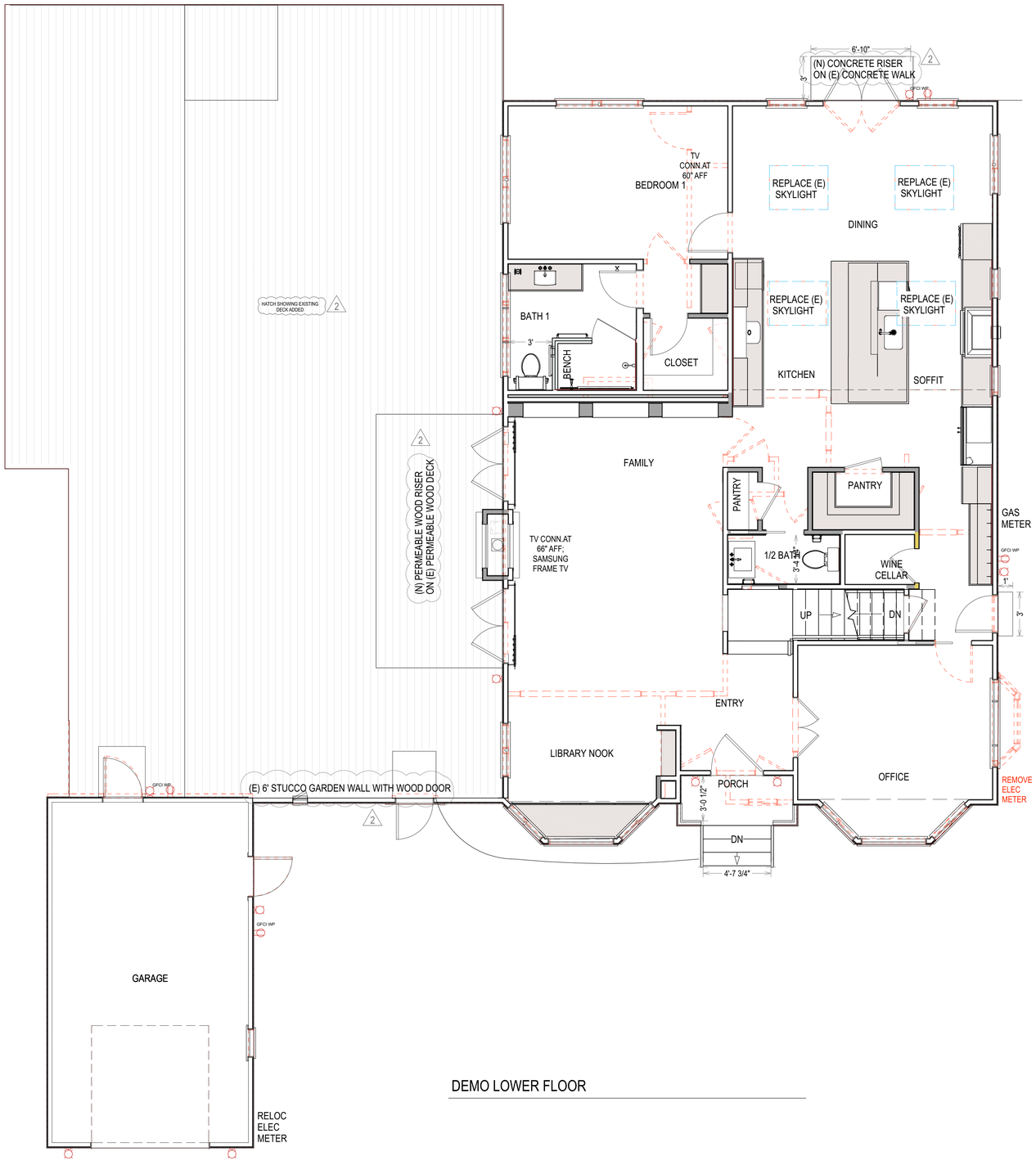
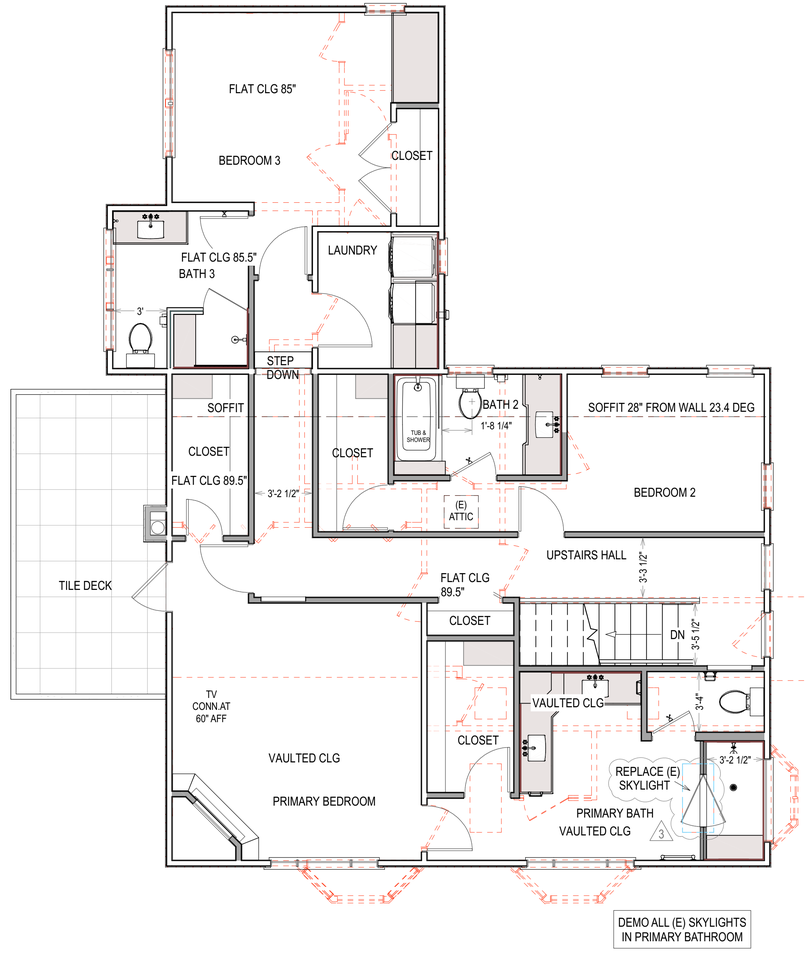


DEMO LOWER FLOOR



DEMO UPPER FLOOR

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED

DEMO FLOOR PLANS

SCALE: 1/4"=1'

A-2.2

VERSION: 2.1.9

DATE: 5/18/22

DEMO FLOOR PLANS

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
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3		

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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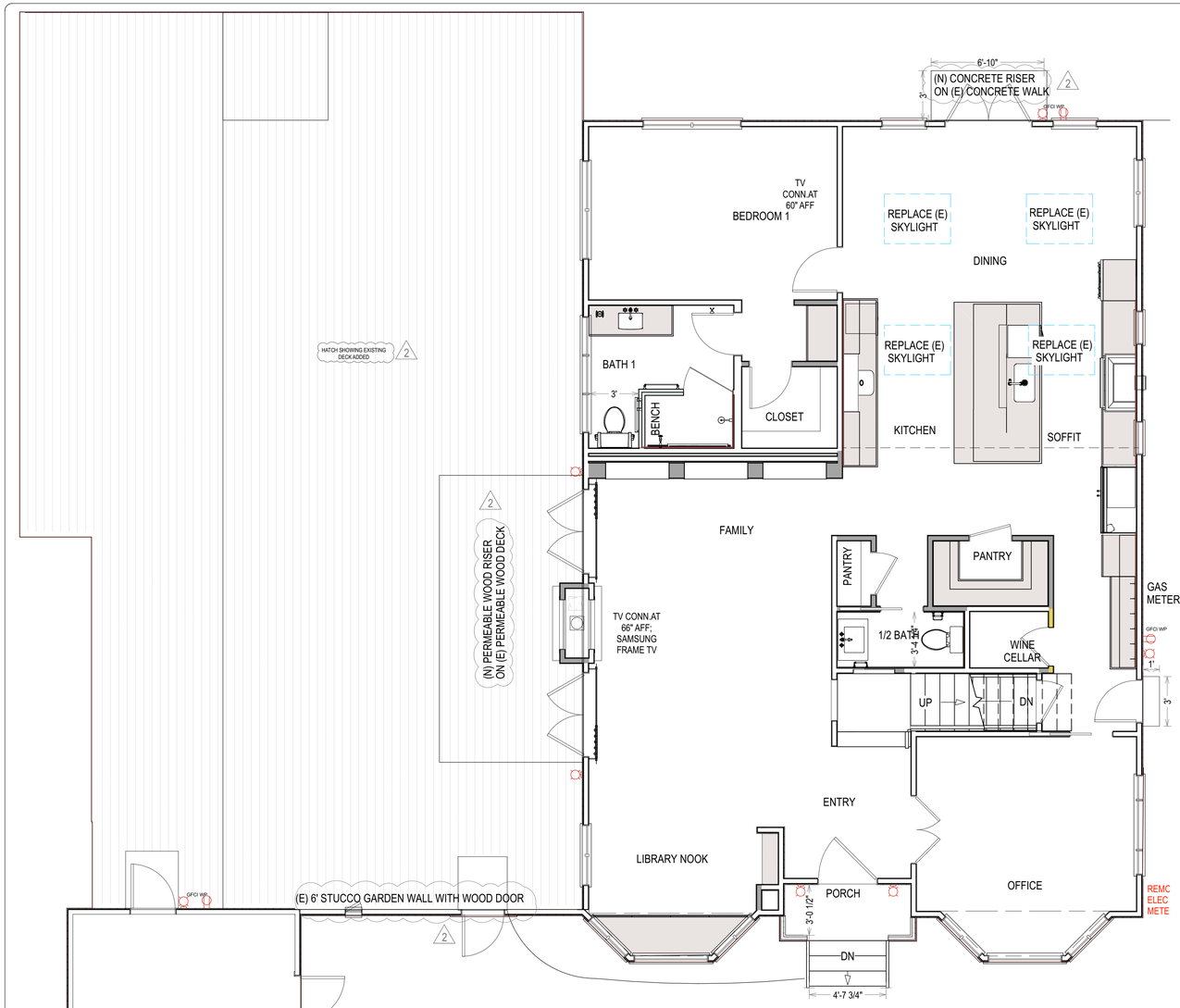
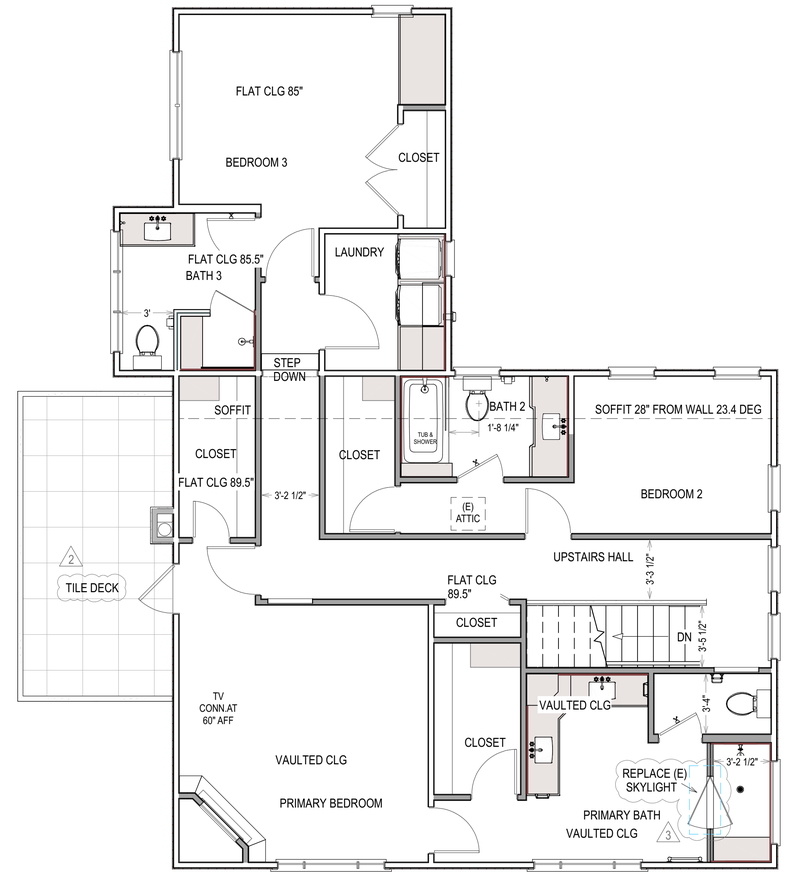
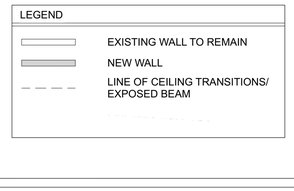
LEWISBUILDERS DESIGN+BUILD



PROPOSED LOWER FLOOR



PROPOSED UPPER FLOOR



PROPOSED FLOOR PLANS

SCALE: 1/4"=1'

FLOOR PLAN NOTES

1 ALL NEW STUDS PER STRUCTURAL PLANS UNO.
2 GLASS SHOWER WALL NOTES
2.1 GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.
2.2 SHOWERS SHALL BE PROVIDED WITH DAMS/THRESHOLDS AT LEAST 2 " AND NOT MORE THAN 9 " ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 " INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22 " UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6.
2.3 ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.
2.4 SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN.
2.5 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

STAIRS AND GUARDRAILS

STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7]
A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2]
B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]
C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1¼ INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]

MINIMUM CODE REQUIREMENTS:
A) MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2]
B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2]
C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]
D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]
E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]

UNDERSTAIR AREAS:
HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM GWB, PER CRC R302.7

A-2.3

VERSION: 2.1.9
DATE: 5/18/22

PROPOSED FLOOR PLANS

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
	04/20/22: PLANNING RFI #1	ER
2	05/10/22: CHANGE ORDER #1	ER
3		

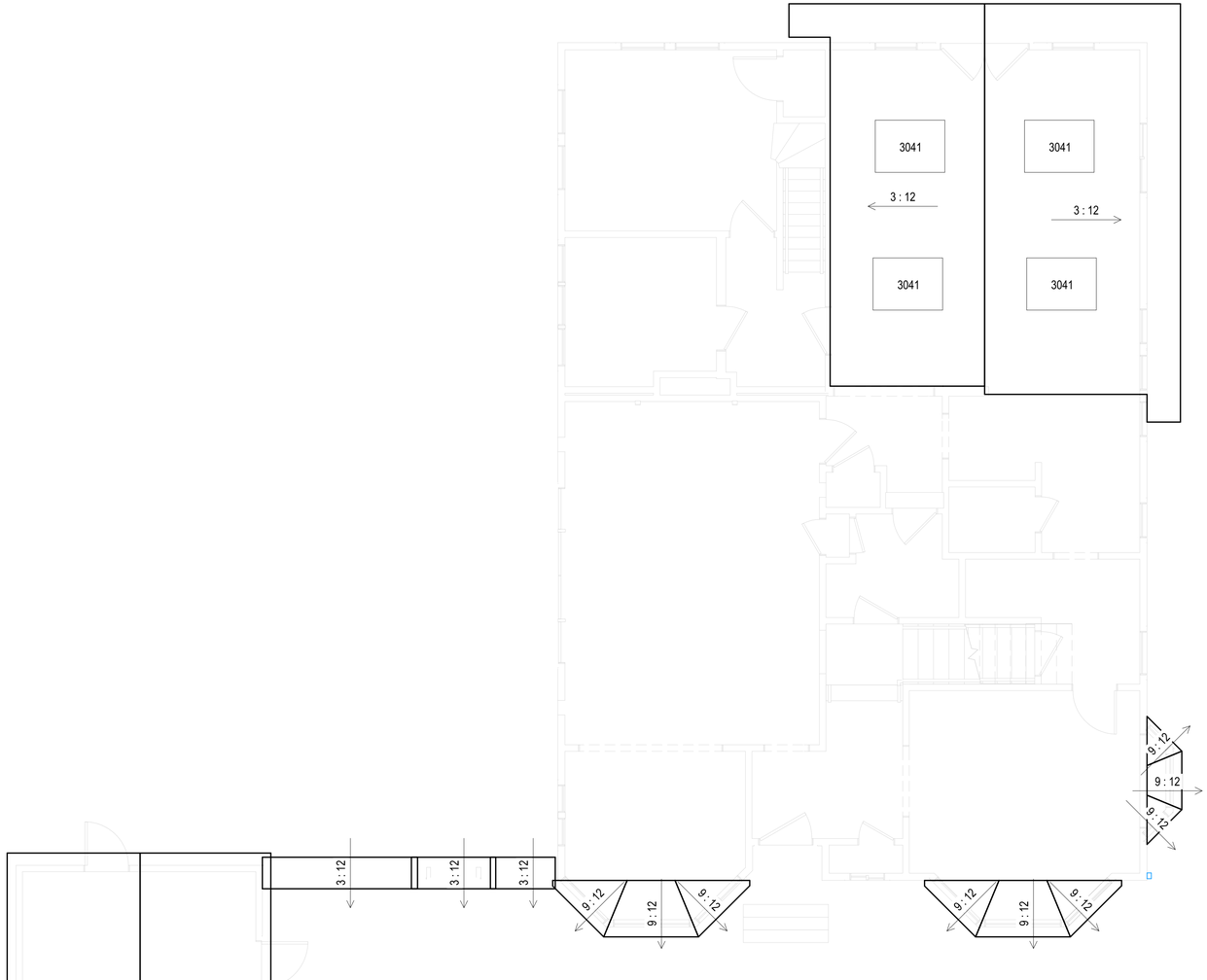
HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

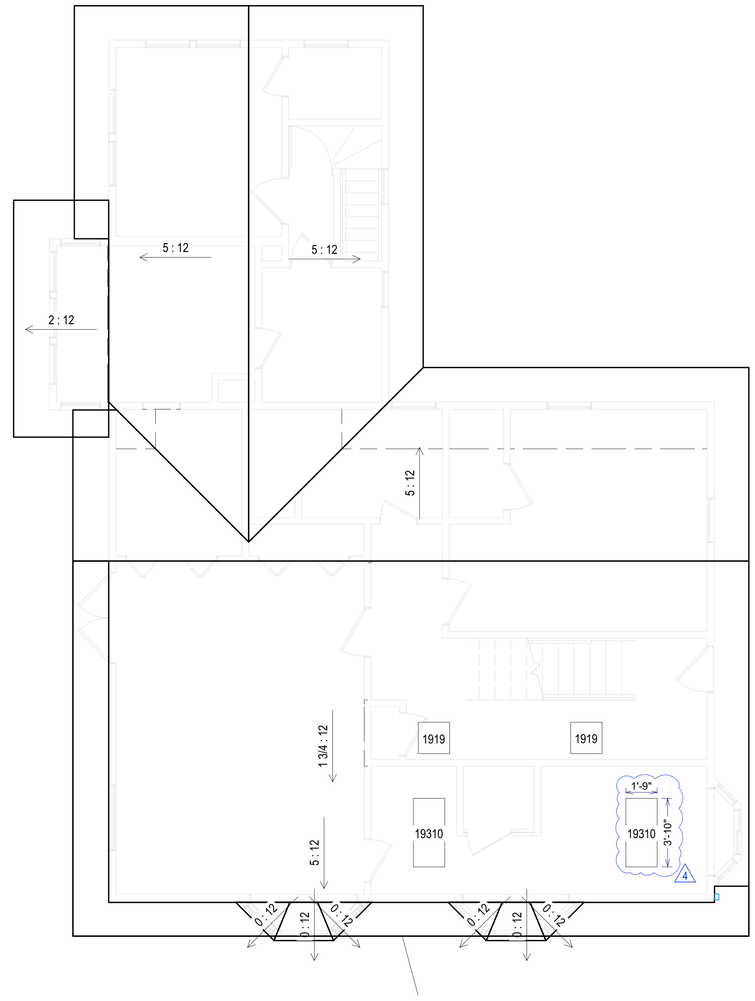
LEWIS BUILDERS
CALICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS DESIGN+BUILD



EXISTING LOWER FLOOR ROOF

ALL ROOFING TO BE REMOVED AND REPLACED.
DEMO SKYLIGHTS IN PRIMARY BATHROOM.
REPLACE SKYLIGHTS IN DINING ROOM.



EXISTING UPPER FLOOR ROOF

EXISTING ROOF PLAN

SCALE: 1/4"=1'

A-2.4

VERSION: 2.1.9

DATE: 5/18/22

EXISTING ROOF PLAN

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
3	04/20/22: PLANNING RFI #1	ER
	05/10/22: CHANGE ORDER #1	ER
4	05/17/22: PLANNING RFI #2	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

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CARMEL CA 93923
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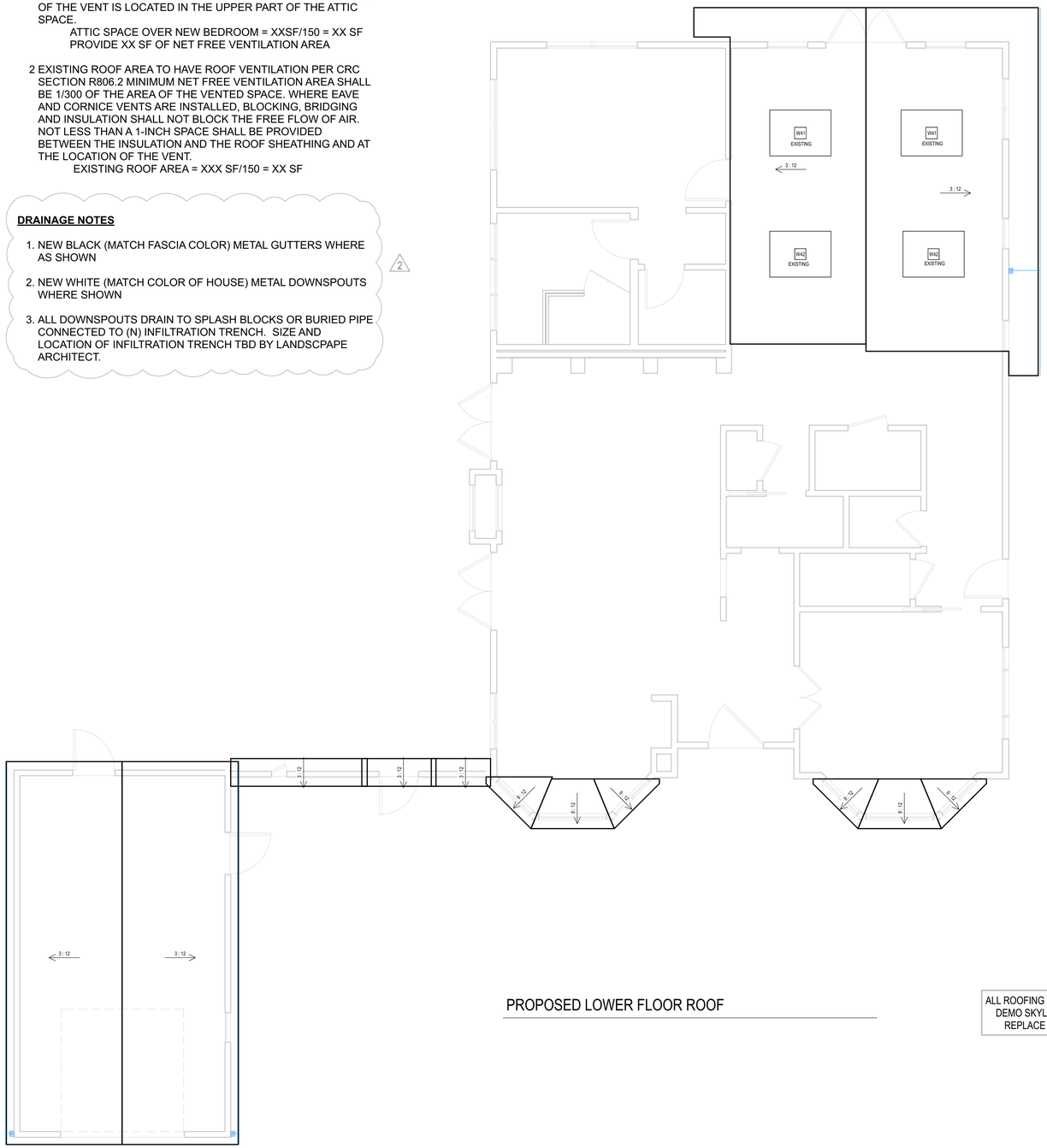
ROOF PLAN NOTES

1 PROVIDE ATTIC VENT PER CRC SECTION R806.2. MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE WHEN AT LEAST 40% BUT NOT MORE THAN 50% OF THE VENT IS LOCATED IN THE UPPER PART OF THE ATTIC SPACE.
ATTIC SPACE OVER NEW BEDROOM = XXSF/150 = XX SF
PROVIDE XX SF OF NET FREE VENTILATION AREA

2 EXISTING ROOF AREA TO HAVE ROOF VENTILATION PER CRC SECTION R806.2 MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. WHERE EAVE AND CORNICE VENTS ARE INSTALLED, BLOCKING, BRIDGING AND INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
EXISTING ROOF AREA = XXX SF/150 = XX SF

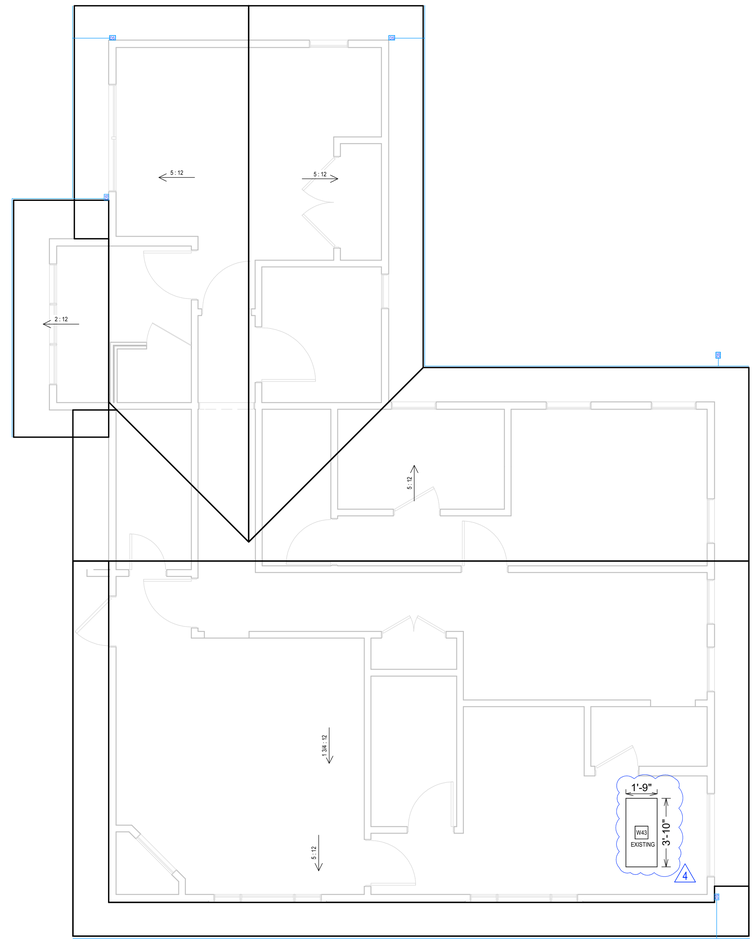
DRAINAGE NOTES

1. NEW BLACK (MATCH FASCIA COLOR) METAL GUTTERS WHERE AS SHOWN
2. NEW WHITE (MATCH COLOR OF HOUSE) METAL DOWNSPOUTS WHERE SHOWN
3. ALL DOWNSPOUTS DRAIN TO SPLASH BLOCKS OR BURIED PIPE CONNECTED TO (N) INFILTRATION TRENCH. SIZE AND LOCATION OF INFILTRATION TRENCH TBD BY LANDSCPAPE ARCHITECT.



PROPOSED LOWER FLOOR ROOF

ALL ROOFING TO BE REMOVED AND REPLACED.
DEMO SKYLIGHTS IN PRIMARY BATHROOM.
REPLACE SKYLIGHTS IN DINING ROOM.



PROPOSED UPPER FLOOR ROOF

PROPOSED ROOF PLAN

SCALE: 1/4"=1'

A-2.5

VERSION: 2.1.9
DATE: 5/18/22

PROPOSED ROOF PLAN

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3	05/10/22: CHANGE ORDER #1	ER
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HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
CA LICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWISBUILDERS DESIGN/BUILD

EXISTING ELEVATION - EAST (STREET VIEW)

PROPOSED ELEVATION - EAST (STREET VIEW)

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

EXTERIOR ELEVATIONS - EAST

SCALE: 1/4"=1'

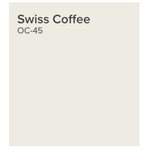
ADDRESS IDENTIFICATION

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

EXTERIOR STUCCO / PLASTER NOTES

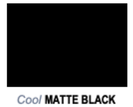
1. WEATHER RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN CRC R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER PER CRC R703.6.
2. PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3 COATS WHEN APPLIED OVER METAL LATHE OR WIRE FABRIC LATH PER CRC R703.6.2.
3. A MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT WEEP SCREED SHALL BE INSTALLED WITH:
A. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
B. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.

EXTERIOR MATERIALS



STUCCO
BENJAMIN MOORE
SWISS COFFEE

ROOFING
BORAL STONE STEEL SHAKE
CHARCOAL



Cool **MATTE BLACK**
SRI: 29 • LRV: 5 • GA: 24 & 22

LOWER BAY ROOFING
AEP SPAN DESIGN SPAN HP
COOL MATTE BLACK (LRV 5)

FRONT DOOR
ALDER WOOD
STAINED WALNUT

WINDOWS / DOORS
SIERRA PACIFIC
ALUMINUM CLAD WOOD BLACK 023
2

42" RAILING SECOND FLOOR DECK
WROUGHT IRON
FLAT BLACK
2

LOWER BAY ROOFING
CURVED METAL ROOF
MATTE BLACK

GARAGE DOOR
INSULATED STEEL
ULTRA GRAIN WALNUT
2

A-3.1

VERSION: 2.1.9
DATE: 5/18/22

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4	05/17/22: PLANNING RFI #2	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
CALICENSE
#B-844741
CARMEL CA 93923
(831) 250 7168

LEWIS BUILDERS
DESIGN BUILD

EXISTING ELEVATION - NORTH

PROPOSED ELEVATION - NORTH

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

EXTERIOR ELEVATIONS - NORTH

SCALE: 1/4"=1'

Boral Roofing
Build something great™

BoralSTEEL
STONE COATED ROOFING

PRODUCT INFORMATION

Profile:	**PINE-CREST Shake**
Color Name:	**Charcoal**
SKU Number:	**4DAP9104000**
Product Weight:	**Lightweight 1.5 Lbs per Sq Ft**
Installation Type:	**Direct or Batten**
Pallet Layout:	**Left-to-Right or Right-to-Left**
Fastening:	**Exposed**
Batten Spacing:	**14.5" (368mm)**
Available Regions:	**Nationwide**

Reflectivity:	**0.04**
Aged Ref. (3 yr):	**N/A**
Emmisivity:	**0.89**
Aged Em. (3 yr)	**N/A**
SRI:	**-2**
Aged SRI (3 yr):	**N/A**

Product Specifications

Size:	**18" x 52.5" (457 x 1334 mm)**
Coverage:	**14.625" x 49.5" (371 x 1257 mm)**
Panels per 100 Sq Ft:	**20**
Sq M per Panel:	**0.46**
Sq M per Pallet:	**186**
Panels per Pallet:	**400**
Squares per Pallet:	**20**
Pallets per Full Truck:	**15**
Squares per Full Track:	**300**
Panels per Container Size 20ft (6.1M) With Accessories:	**5,600**
No Accessories:	**6,400**
Pallets per Container Size 20ft (6.1M) With Accessories:	**14**
No Accessories:	**16**

The printed color shown here may vary from actual available tile color and should not be used to color match. Please contact your local Sales Representative for actual panel samples.

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BORAL®

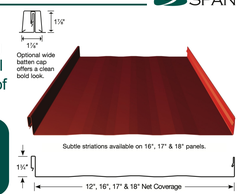
ROOFING
BORAL STONE STEEL SHAKE
CHARCOAL

Design Span® *hp*

AEP SPAN

Design Span *hp* is a performance-rated structural standing seam, concealed fastener metal roof system with net coverage of 12", 16", 17" & 18".

Design Span *hp* is excellent as a roof over metal or wood decking, and as a fascia or mansard over plywood or supports.



Section Properties

Width	Gauge	Base Steel Thickness (in)	Yield (ksi)	Tensile (ksi)	Wt. (lbs/ft²)	I+ (in⁴/ft)	S+ (in³/ft)	I- (in⁴/ft)	S- (in³/ft)
12"	24	0.0232	50	65	1.45	0.1185	0.0820	0.0762	0.0586
	22	0.0294	50	65	1.83	0.1522	0.1080	0.0997	0.0771
16"	24	0.0232	50	65	1.34	0.0943	0.0624	0.0593	0.0440
	22	0.0294	50	65	1.68	0.1213	0.0825	0.0773	0.0580
17"	24	0.0232	50	65	1.31	0.0901	0.0589	0.0562	0.0414
	22	0.0294	50	65	1.65	0.1158	0.0779	0.0734	0.0546
18"	24	0.0232	50	65	1.30	0.0858	0.0557	0.0533	0.0391
	22	0.0294	50	65	1.63	0.1104	0.0737	0.0696	0.0515

NOTE: The hybrid positive moment of inertia, I, presented for determining deflection is: $(I_{fullwidth} + I_{flange})/3$

standard features

- Offered in 12", 16", 17" & 18" widths.
- Factory applied sealant is a standard offer.
- Custom manufactured sheet lengths from 5'-3" to 45'-0".
- Subtle striations between ribs available for 16" and wider panels.
- Available in 24ga and 22ga in standard finishes - Refer to AEP Span Color Charts for full range of color options, prints, textures, finishes and paint systems.
- Recommended minimum slope of 2:12. Inquire for slopes below 2:12.
- Tested in accordance with UL580-Class 90 & ASTM E1592.
- Has been tested for air infiltration per ASTM E1680, and water infiltration per ASTM E1646.
- Snap-together panel, no field seaming required.
- Panel evaluated by accredited third party. All structural performance data is contained within an IBC/IRC 2018 code compliance report #ER-0309.

optional features

- Short cut sheets from 6'-0" to 1'-0". Additional fees and lead times may apply.
- Lengths over 45' available for additional charge.
- Additional wide batten cap option offers a clean bold look with the structural capacity and weather resistance of regular Design Span *hp*.
- Factory notching available for turn under at the eave.

Cool **MATTE BLACK**
SRI: 29 • LRV: 5 • GA: 24 & 22

Customer Service Center
Tacoma, WA
Phone: 800-733-4955
Fax: 253-272-0791
For most current versions of literature please visit
www.aepspan.com

LOWER BAY ROOFING
AEP SPAN DESIGN SPAN HP
COOL MATTE BLACK (LRV 5)

A-3.2

VERSION: 2.1.9
DATE: 5/18/22

EXTERIOR ELEVATIONS - NORTH

REV #	DATE / DESCRIPTION	BY
	05/17/22: PLANNING RFI #2	ER
2	04/20/22: PLANNING RFI #1	ER
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HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
CA LICENSE
#B-844741
CARMEL CA 93923
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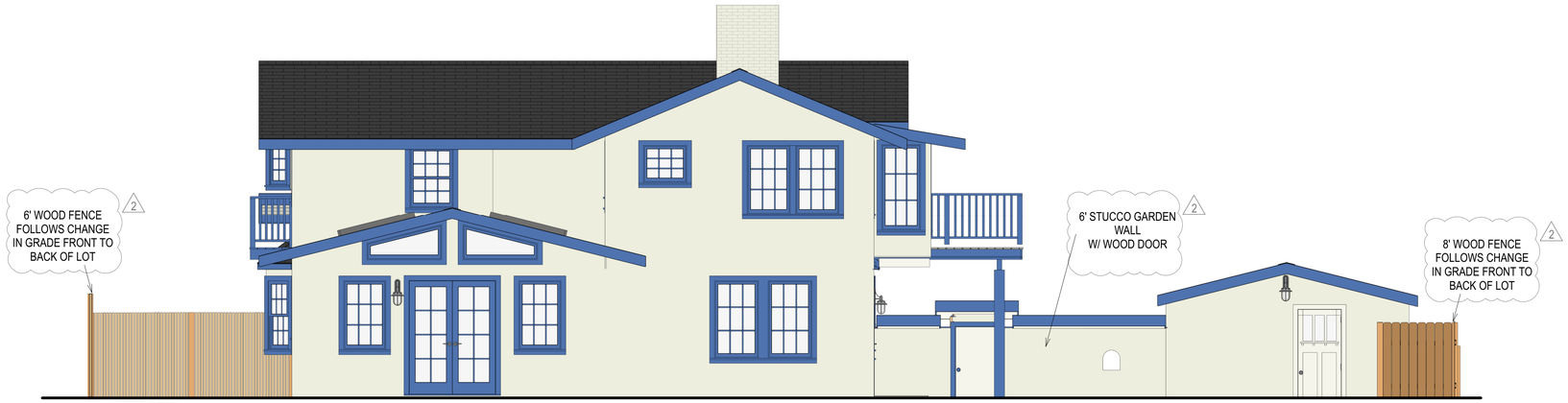

EXISTING ELEVATION - WEST

PROPOSED ELEVATION - WEST

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

EXTERIOR ELEVATIONS - WEST

SCALE: 1/4"=1'

A-3.3

VERSION: 2.1.9

DATE: 5/18/22

EXTERIOR ELEVATIONS - WEST

REV #	DATE / DESCRIPTION	BY
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HOMRIG RESIDENCE REMODEL

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LEWISBUILDERS DESIGN+BUILD

EXISTING ELEVATION - SOUTH

PROPOSED ELEVATION - SOUTH

NO CHANGE TO PLATE HEIGHTS, RIDGE HEIGHT NOR FLOOR ELEVATIONS

EXTERIOR ELEVATIONS - SOUTH

SCALE: 1/4"=1'

A-3.4

VERSION: 2.1.9

DATE: 5/18/22

EXTERIOR ELEVATIONS - SOUTH

REV #	DATE / DESCRIPTION	BY
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HOMRIG RESIDENCE REMODEL

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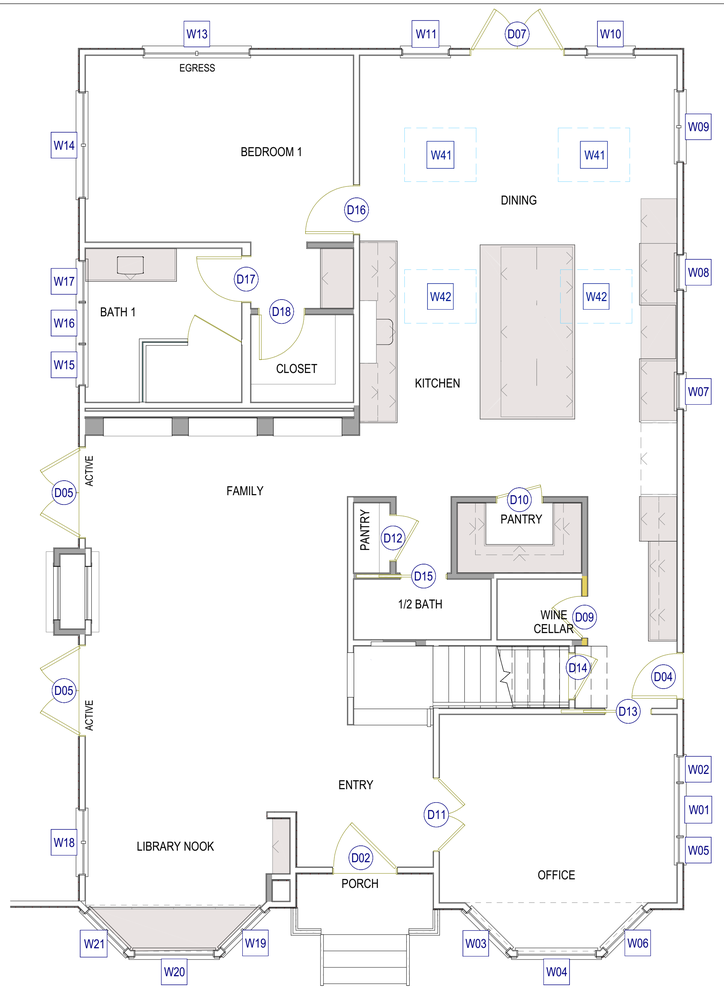

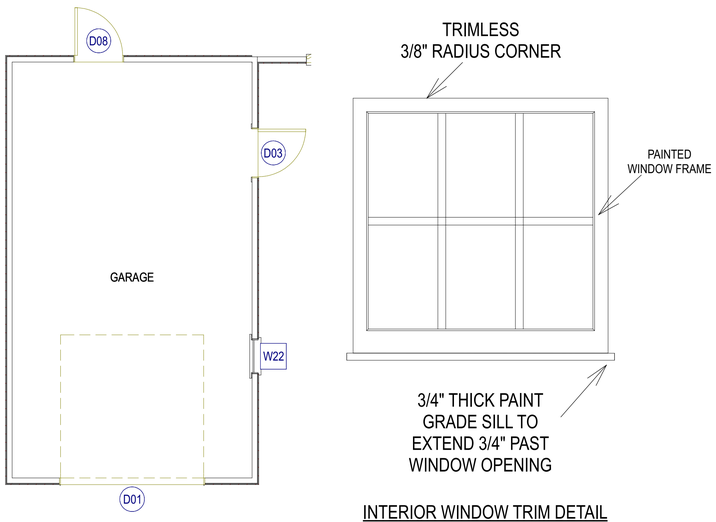

INTERIOR WINDOW TRIM DETAIL

DOOR SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	DESCRIPTION	TEMPERED	COMMENTS	3D INTERIOR ELEVATION
D01	1	1	GARAGE	8080	GARAGE-GARAGE DOOR P03		WOOD TEXTURED STEEL, COLOR WALNUT	
D02	1	1	ENTRY	3668 R EX	EXT. HINGED-DOOR P12			
D03	1	1	GARAGE	2868 L EX	EXT. HINGED-DOOR E21	YES		
D04	1	1	KITCHEN	2668 L EX	EXT. HINGED-GLASS PANEL	YES		
D05	2	1	FAMILY/DECK	5068 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	YES		
D06	1	2	PRIMARY BEDROOM/TILE DECK	2968 R EX	EXT. HINGED-GLASS PANEL	YES		
D07	1	1	DINING	5266 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	YES		
D08	1	1	GARAGE/UNSPECIFIED	2868 L EX	EXT. HINGED-DOOR E21	YES		
D09	1	1	WINE CELLAR/KITCHEN	2468 L IN	HINGED-DOOR D505		WINDE CELLAR: INSULATED	
D10	1	1	PANTRY/KITCHEN	2668 L IN	HINGED-GLASS PANEL		PAINT GRADE INT / EXT TO MATCH WINDOW AND EXT DR PACKAGE	
D11	1	1	OFFICE/ENTRY	4068 L/R IN	DOUBLE HINGED-DOOR F06			
D12	1	1	PANTRY/KITCHEN	2668 R IN	HINGED-DOOR P01			
D13	1	1	KITCHEN/OFFICE	2668 L	POCKET-DOOR P01			
D14	1	1	KITCHEN/OPEN BELOW	2660 R IN	HINGED-DOOR P01			
D15	1	1	KITCHEN/1/2 BATH	2668 L	POCKET-DOOR P01			
D16	1	1	BEDROOM 1/DINING	2868 L IN	HINGED-DOOR P01			
D17	1	1	BATH 1/BEDROOM 1	2668 R IN	HINGED-DOOR P01			
D18	1	1	BEDROOM 1/CLOSET	2668 R IN	HINGED-DOOR P01			

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	WIDTH	HEIGHT	DESCRIPTION	EGRESS	TEMPERED	COMMENTS	3D EXTERIOR ELEVATION
W01	1	1	OFFICE	3043FX	36 1/4 "	50 1/2 "	FIXED GLASS				
W02	1	1	OFFICE	1643SC	18 "	50 1/2 "	SINGLE CASEMENT-HR				
W03	1	1	OFFICE	3244DC	37 3/4 "	51 1/2 "	DOUBLE CASEMENT-LHL				
W04	1	1	OFFICE	4544FX	53 3/8 "	51 1/2 "	FIXED GLASS				
W05	1	1	OFFICE	1643SC	18 "	50 1/2 "	SINGLE CASEMENT-HL				
W06	1	1	OFFICE	3244DC	37 3/4 "	51 1/2 "	DOUBLE CASEMENT-RHR				
W07	1	1	KITCHEN	2030SC	24 "	36 "	SINGLE CASEMENT-HL				
W08	1	1	KITCHEN	2030SC	24 "	36 "	SINGLE CASEMENT-HR				
W09	1	1	DINING	4036DC	48 "	45 "	DOUBLE CASEMENT-LHLRHR				
W10	1	1	DINING	2838SC	31 3/4 "	44 1/4 "	SINGLE CASEMENT-HL		YES		
W11	1	1	DINING	2838SC	31 3/4 "	44 1/4 "	SINGLE CASEMENT-HR		YES		
W12	2	2		4420FX	52 "	24 5/16 "	FIXED GLASS				
W13	1	1	BEDROOM 1	5113110C	71 1/4 "	46 7/8 "	DOUBLE CASEMENT-LHLRHR	YES			
W14	1	1	BEDROOM 1	51130DC	71 1/4 "	36 "	DOUBLE CASEMENT-LHLRHR				
W15	1	1	BATH 1	2430SC	28 "	36 "	SINGLE CASEMENT-HR				
W16	1	1	BATH 1	2430FX	28 "	36 "	FIXED GLASS				
W17	1	1	BATH 1	2430SC	28 "	36 "	SINGLE CASEMENT-HL				
W18	1	1	LIBRARY NOOK/UNSPECIFIED	3636DC	44 "	42 "	DOUBLE CASEMENT-LHLRHR				
W19	1	1	LIBRARY NOOK	3244DC	37 3/4 "	51 3/4 "	DOUBLE CASEMENT-RHR				
W20	1	1	LIBRARY NOOK	4644FX	53 3/4 "	51 1/2 "	FIXED GLASS				
W21	1	1	LIBRARY NOOK	3144DC	37 1/4 "	51 3/4 "	DOUBLE CASEMENT-LHL				
W22	1	1	GARAGE	111211SC	23 1/4 "	35 1/4 "	SINGLE CASEMENT-HL				
W41	2	1	DINING	3041	36 "	49 1/2 "	RECT. SKYLIGHT				
W42	2	1	KITCHEN	3041	36 "	49 1/2 "	RECT. SKYLIGHT				

DOOR NOTES

1 ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE
2 INTERIOR DOORS SHALL BE PAINTED.
3 EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

DOOR AND WINDOW GLAZING NOTES :

1 REQUIRED SAFETY GLAZING SHALL CONFORM TO THE HUMAN IMPACT LOADS PER CRC R308.3, R308.4
2 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

EXCEPTIONS:

2.1 GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3-INCH-DIAMETER SPHERE IS UNABLE TO PASS.
2.2 DECORATIVE GLAZING.
3 GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
3.1 WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLAN OF THE DOOR IN A CLOSED POSITION.
3.2 WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITIONS AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.

EXCEPTIONS:

3.2.1 DECORATIVE GLAZING.
3.2.2 WHERE THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING.
3.2.3 WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH. GLAZING IN THIS APPLICATION SHALL COMPLY WITH SECTION R308.4.3.
3.2.4 GLAZING THAT IS ADJACENT TO THE FIXED PANEL OF PATIO DOORS.
4 GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE WINDOW PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
4.1 THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
4.2 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
4.3 THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
4.4 ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

EXCEPTIONS:

4.4.1 DECORATIVE GLAZING.
4.4.2 WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED 34 TO 38 INCHES ABOVE THE WALKIN SURFACE. THE RAIL SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS AND HAVE A CROSS-SECTIONAL HEIGHT OF NOT LESS THAN 1-1/2 INCHES.
4.4.3 OUTBOARD PANES IN INSULATED GLASS UNITS AND OTHER MULTIPLE GLAZING PANELS WHERE THE BOTTOM EDGE OF THE GLASS IS 25 FEET OR MORE ABOVE GRADE, A ROOF, WALKING SURFACES OR OTHER HORIZONTAL SURFACE ADJACENT TO THE GLASS EXTERIOR.

SKYLIGHT NOTES 4

1. SKYLIGHTS SHALL BE FLAT
2. THE FLASHING SHALL MATCH THE ROOF COLOR
3. SKYLIGHT SHALL HAVE NON-REFLECTIVE GLASS
4. SKYLIGHT TO BE EQUIPPED WITH AN INTERIOR SHADE THAT CAN BE PULLED ACROSS THE SKYLIGHT TO PREVENT GLARE TO NEIGHBORING PROPERTIES.
5. SKYLIGHT SHADE TO BE VELUX CLOTH BLACK OUT SHADE, MANUALLY OPERATED.

A-5.1

VERSION: 2.1.9
DATE: 5/18/22

DOOR & WINDOW SCHEDULE 1ST FL

REV #	DATE / DESCRIPTION	BY
	SCOPE EDIT: REQ BY PLANNING	ER
2	04/20/22: PLANNING RFI #1	ER
	05/10/22: CHANGE ORDER #1	ER
4	05/17/22: PLANNING RFI #2	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

LEWIS BUILDERS
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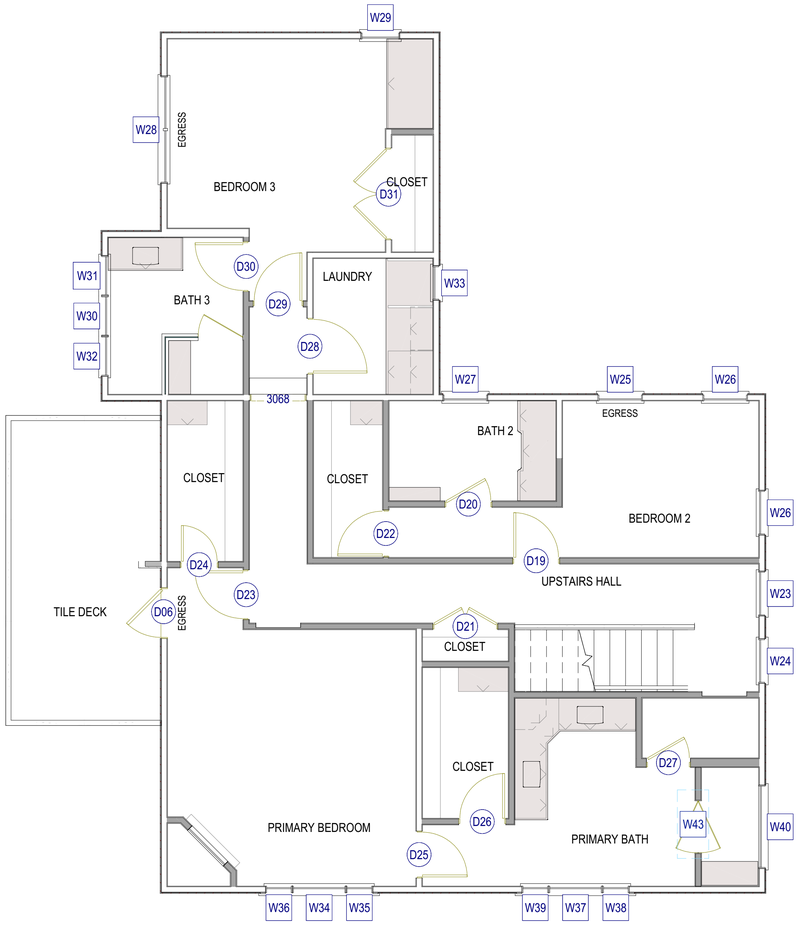
CARMEL CA 93923
(831) 250 7168



DOOR SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	DESCRIPTION	TEMPERED	COMMENTS	3D INTERIOR ELEVATION
D19	1	2	BEDROOM 2/UPSTAIRS HALL	2668 L IN	HINGED-DOOR P01			
D20	1	2	BATH 2/BEDROOM 2	2668 L IN	HINGED-DOOR P01			
D21	1	2	UPSTAIRS HALL/CLOSET	3668 L/R IN	DOUBLE HINGED-DOOR P01			
D22	1	2	CLOSET/BEDROOM 2	2668 L IN	HINGED-DOOR P01			
D23	1	2	UPSTAIRS HALL/PRIMARY BEDROOM	2868 R IN	HINGED-DOOR P01			
D24	1	2	CLOSET/PRIMARY BEDROOM	2068 L IN	HINGED-DOOR P01			
D25	1	2	PRIMARY BEDROOM/ PRIMARY BATH	2668 R IN	HINGED-DOOR P01			
D26	1	2	PRIMARY BATH/CLOSET	2668 R IN	HINGED-DOOR P01			
D27	1	2	PRIMARY BATH/PRIMARY BATH	2468 L IN	HINGED-DOOR P01			
D28	1	2	HALL/LAUNDRY	3068 R IN	HINGED-DOOR P01			
D29	1	2	HALL/BEDROOM 3	2868 R IN	HINGED-DOOR P01			
D30	1	2	BEDROOM 3/BATH 3	2868 R IN	HINGED-DOOR P01			
D31	1	2	CLOSET/BEDROOM 3	5068 L/R IN	DOUBLE HINGED-DOOR P01		MIRRORED CENTER PANELS	

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	ROOM NAME	SIZE	WIDTH	HEIGHT	DESCRIPTION	EGRESS	TEMPERED	COMMENTS	3D EXTERIOR ELEVATION
W23	1	2	UPSTAIRS HALL	2643SC	30 "	50 1/2 "	SINGLE CASEMENT-HR				
W24	1	2	UPSTAIRS HALL	2643SC	30 "	50 1/2 "	SINGLE CASEMENT-HL				
W25	1	2	BEDROOM 2	2636SC	30 "	42 "	SINGLE CASEMENT-HR	YES			
W26	2	2	BEDROOM 2	2636SC	30 "	42 "	SINGLE CASEMENT-HL				
W27	1	2	BATH 2	2626SC	30 "	30 "	SINGLE CASEMENT-HR				
W28	1	2	BEDROOM 3	6036DC	72 "	42 "	DOUBLE CASEMENT-LHL/RHR	YES			
W29	1	2	BEDROOM 3	2238FX	26 "	44 "	FIXED GLASS				
W30	1	2	BATH 3	2328FX	27 "	30 "	FIXED GLASS				
W31	1	2	BATH 3	2326SC	27 "	30 "	SINGLE CASEMENT-HL				
W32	1	2	BATH 3	2326SC	27 "	30 "	SINGLE CASEMENT-HR				
W33	1	2	LAUNDRY	11126SC	23 1/4 "	30 "	SINGLE CASEMENT-HR				
W34	1	2	PRIMARY BEDROOM	3039FX	36 "	41 1/4 "	FIXED GLASS				
W35	1	2	PRIMARY BEDROOM	1635SC	18 "	41 1/4 "	SINGLE CASEMENT-HR				
W36	1	2	PRIMARY BEDROOM	1635SC	18 "	41 1/4 "	SINGLE CASEMENT-HL				
W37	1	2	PRIMARY BATH	3039FX	36 "	41 1/4 "	FIXED GLASS				
W38	1	2	PRIMARY BATH	1635SC	18 "	41 1/4 "	SINGLE CASEMENT-HR				
W39	1	2	PRIMARY BATH	1635SC	18 "	41 1/4 "	SINGLE CASEMENT-HL				
W40	1	2	PRIMARY BATH	4816AW	56 "	18 "	SINGLE AWNING				
W43	1	2	PRIMARY BATH	1931O	21 "	46 1/2 "	RECT. SKYLIGHT				

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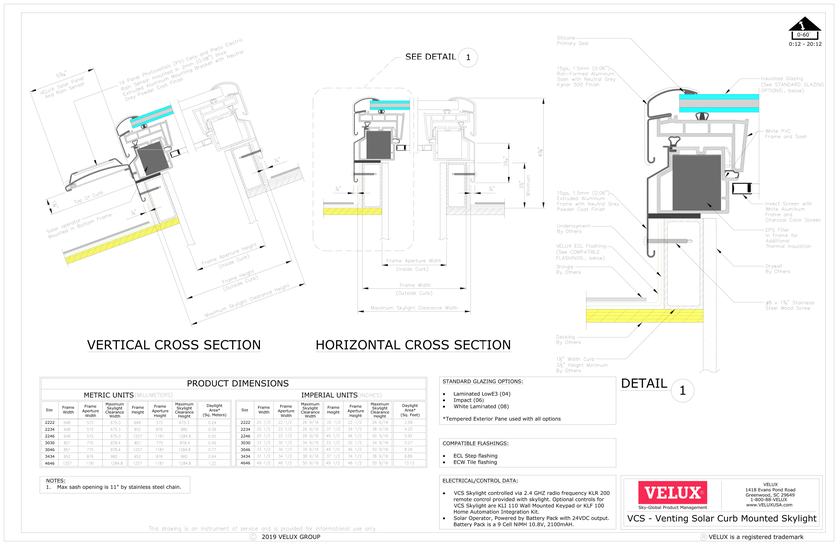
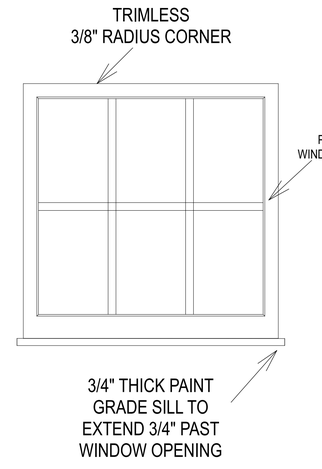


SKYLIGHT DETAILS



INTERIOR WINDOW TRIM DETAIL

A-5.2

VERSION: 2.1.9
DATE: 5/18/22

DOOR & WINDOW SCHEDULE 2ND FL

REV #	DATE / DESCRIPTION	BY
4	05/17/22: PLANNING RFI #2	ER
	SCOPE EDIT: REQ BY PLANNING	ER
2	04/20/22: PLANNING RFI #1	ER
3	05/10/22: CHANGE ORDER #1	ER

HOMRIG RESIDENCE REMODEL

SAN CARLOS 7SW OF 13TH, CARMEL-BY-THE-SEA, CA
APN #010-165-037-000

STAMP/SIGNATURE

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LEWIS BUILDERS DESIGN BUILD